

Meeting Agenda
City of Springboro Planning Commission Work Session
Wednesday, July 8, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 8, 2020 work session via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for information to connect to the meeting.

- I. Call to Order

- II. Agenda Items
 - A. Final Development Plan Review, Advance Drive PUD, Planned Unit Development, commercial building
 - B. Site Plan Review, southeast corner Edward Drive and Tahlequah Trail, commercial building for Thaler Machine
 - C. Discussion, Planning & Zoning Text Amendment, combined meetings

- III. Guest Comments

- IV. Planning Commission and Staff Comments

- V. Adjournment

Background Information & Staff Comments
City of Springboro Planning Commission Meeting—Conducted by Conference Call (Zoom)
Wednesday, July 8, 2020, 6:00 p.m.

II. Agenda Items

A. Final Development Plan

Advanced Drive PUD, Planned Unit Development, proposed commercial building

Background Information

This agenda item is an application for final development plan approval for a site located in the Stolz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Provide a color rendition of proposed building elevations.
2. Indicate proposed exterior materials for proposed dumpster enclosure.
3. Indicate number employees at maximum shift for the purposes of determining the off-street parking requirement for the building/site.
4. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
5. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
6. Provide lot line information in vicinity of improvements.
7. Provide additional storm sewer details such as catch basin type.

8. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
9. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
10. Water meter to be located inside of building.
11. Provide spot elevations throughout parking lot.
12. Revise sheet C-5 to include dandy bags on all storm sewer structures.
13. Provide detention calculations for review.
14. Change title block from Franklin Township to Clearcreek Township.
15. Revise plat according to Warren County review comments, if any.
16. The Clearcreek Fire District has no comments at this time.

B. Site Plan Review

Southeast Corner Edwards Drive and Tahlequah Trail, commercial building for Thaler Machine

Background Information

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Integrity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
2. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
3. Sanitary lateral to have minimum 2% slope.
4. Obtain easement from adjacent property owner for storm sewer connection.

5. Water meter to be set inside of building.
6. The Clearcreek Fire District has no comments at this time.

C. Discussion

Planning & Zoning Code Text Amendment, combined meetings

Background Information & Staff Recommendation

This agenda item is picking up a discussion that was last discussed at the May 13th work session, text amendments that would result in the consolidation of the Planning Commission meeting into a single meeting each month. Following a review of the Planning & Zoning Code by City staff, and discussions with the Law Director Jerry McDonald, City staff is recommending a proposal that is largely similar to the one proposed where things left off in May.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

Following discussion of this recommendation at the July 8th work session, a formal recommendation may be made at the July 29th meeting. We can begin the process of planning how we would like to compose future combined Planning Commission meetings—scheduling, deadlines, the meeting agenda format, and more.

Proposed Text Amendments to Accommodate Combined Meetings

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

Section 1284.04, Submission of a Site Plan

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.
- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed **on a preliminary basis** at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement **for a preliminary review** ~~for a work session~~. Each site plan shall be submitted **in compliance with the deadlines established by the Director of Planning** ~~at least 12 days~~ in advance of the Planning Commission ~~work session~~ meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)
- (f) **Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval.** Each site plan must be submitted **in compliance with the deadline established by** ~~19 days prior to the regular Planning Commission meeting unless modified by the~~ **Director of Planning** ~~Director~~.

Section 1284.05, Site Plan Contents

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require ~~fewer~~ **other** details for the site plan to be reviewed ~~at the Work Session~~ **in the course of its review.**

Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses

The Planning Commission shall review the site plan and the reports of City staff at a ~~Work Session~~ **meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning** ~~not later than 12 days after the site plan submission deadline~~ (see Table 10 at the end of this chapter). At the ~~Work Session~~ **preliminary review**, the Planning Commission shall ~~schedule~~ **determine if** formal review of the site plan **is appropriate** at its next ~~regular~~ meeting to take place ~~at least 16 days after the Work Session~~ if all of the following requirements are met and/or

recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

Section 1282.04, Organization & Responsibilities, Planning Commission

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.

The information contained in this report is based on material provided to the City of Springboro as of Friday, July 2, 2020 at 2:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

- ☐ Owner
- ☒ Agent
- ☐ Lessee
- ☐ Signed Purchase Contract

APPLICANT'S NAME: Dalton Withom

same as below

Telephone No. (513) 561-6633 x107

Fax No. (513) 561-3554

Email Address dwithom@cncgroup.com

PROPERTY OWNER'S NAME: Springboro Advance LLC

Address: 4774 Red Bank Expressway
Cincinnati, OH 45227

Telephone No. (513) 561-6633

Address of Property: Advance Drive Lot Number: 0419127009

Existing Use: undeveloped lot Zoning District: PUD

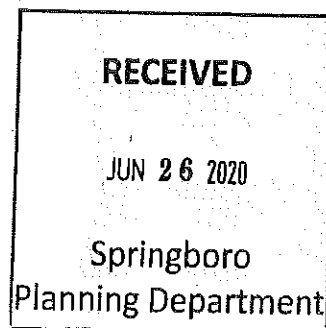
Proposed Use: Speculative tenant building

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

Dalton Withom
(Signature of Applicant and/or Agent)

6/26/20
(Date)

check #44145
pd in full \$553-
6/26/2020



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGRI.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

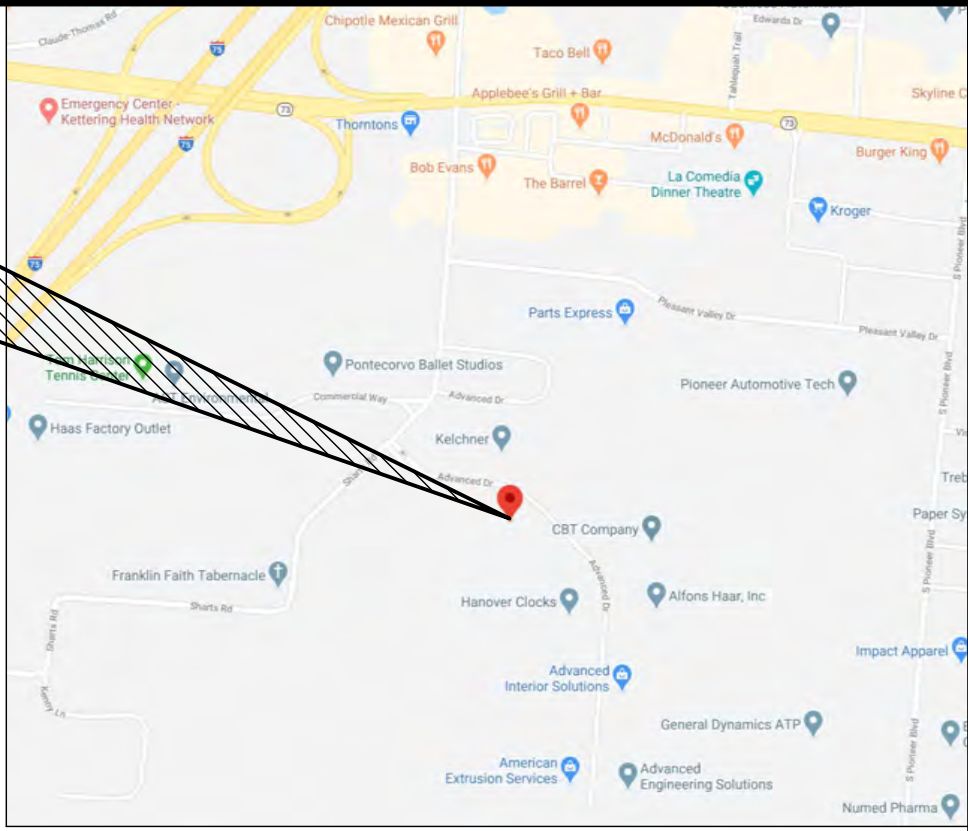
DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

COMMERCIAL BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO
JUNE, 2020

PROPOSED SITE



LOCATION MAP

DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD,
HARRISON, OH 45030
(513)-202-0525
DANNY BINZ, P.S.

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-5 STORMWATER POLLUTION PREVENTION PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
- CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
- CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
- MH 1.2 (1-15-2016) MANHOLE NO. 3
- BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
- INSTALL STORMWATER MANAGEMENT SYSTEMS.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
TITLE SHEET & GENERAL
NOTES

ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.

1"=30'

N/A

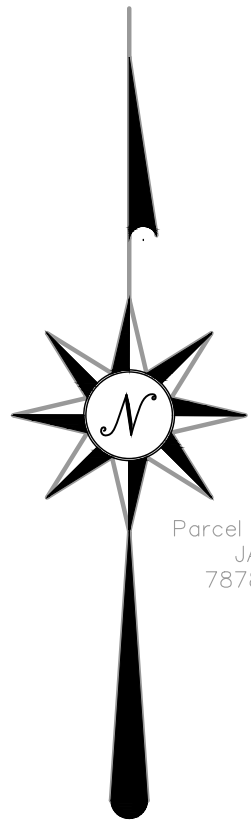
JOB NO. 20-140

DATE Jun. 25, 2020

SHEET NO.

C-1





Parcel No. 0419176002
JAMES THOMAS
7878 SHARTS RD.

N 3°38'35" E - 1943.69'

S 84°04'42" E - 30.03'

FLEXIBLE SPACE BUILDING

SINGLE STORY~10,000 SF;
F.F.E.=779.00'
10 SPACES INCLUDING 1 ADA

PR. A.D.A. SIGN

DRIVE IN DOOR

9'X10' DOCK DOOR W/
SEAL

POSSIBLE EXPANSION

SINGLE STORY~10,000 SF;

RADIUS=270.00'
ARC=184.27'
CHORD=180.71'
S 64°31'38" E

ZONED "PUD"

Parcel No. 0419127009
SPRINGBORO ADVANCE LLC.
ADVANCED DR.

ADVANCED DR.

S 48°53'17" W - 376.49'

Parcel No. 0419127006
JC COMMERCIAL PROPERTIES
125 ADVANCED DR.

LEGEND-PROP. FEATURES

	LIGHT DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	NEW PORTLAND CEMENT CONCRETE PAVEMENT
	NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

PROPOSED PARKING=	9
ADA ACCESSIBLE =	1
TOTAL PARKING	10 SPACES (MIN. 9'X18')

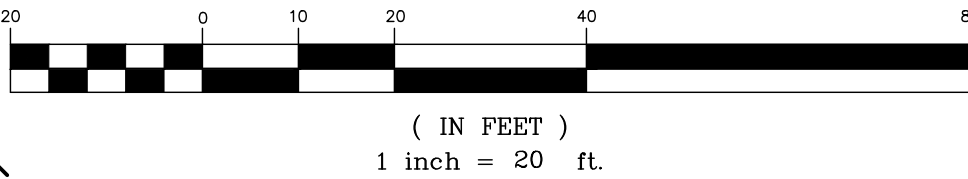
IMPERVIOUS SURFACE RATIO:

LOT SIZE =	XXX SF (X.XX ACRES)
IMPERVIOUS AREA =	XXX SF
PERVIOUS AREA=	XXX SF
ISR=	X.XX

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

GRAPHIC SCALE



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
SITE DIMENSION PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB. NO.	20-140
DATE	Jun. 25, 2020

SHEET NO.

C-3

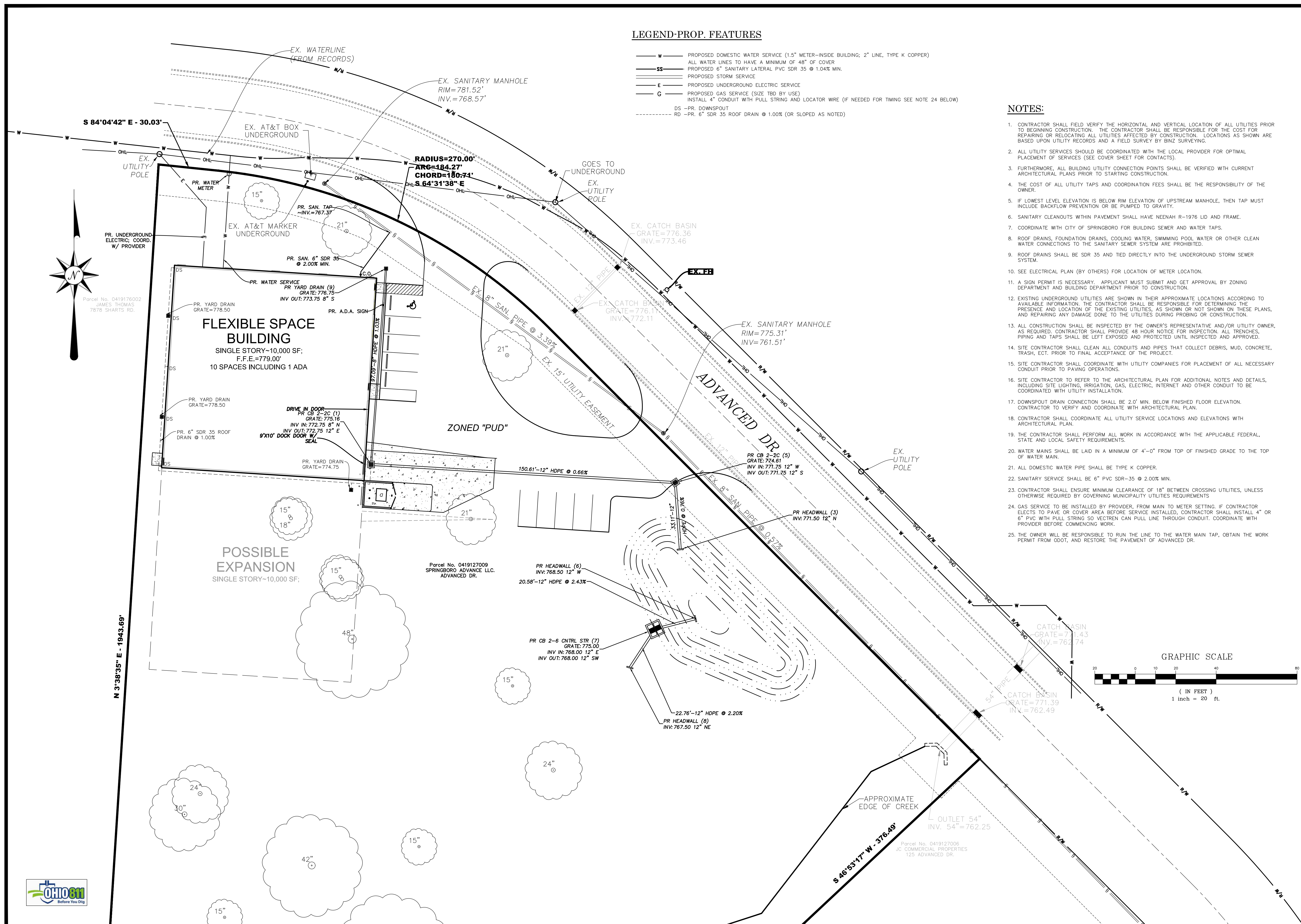
----- **W** ----- PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING; 2" LINE, TYPE K COPPER)
----- **SS** ----- ALL WATER LINES TO HAVE A MINIMUM OF 48" OF COVER
----- PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 1.04% MIN.
----- PROPOSED STORM SERVICE
----- **E** ----- PROPOSED UNDERGROUND ELECTRIC SERVICE
----- PROPOSED GAS SERVICE (SIZE TBD BY USE)
----- INSTALL 4" CONDUIT WITH FULL STRING AND LOCATOR WIRE (IF NEEDED FOR TIMING SEE NOTE 24 BELOW)
----- **DS** ----- PR. DOWNSPOUT
----- **DR** ----- PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

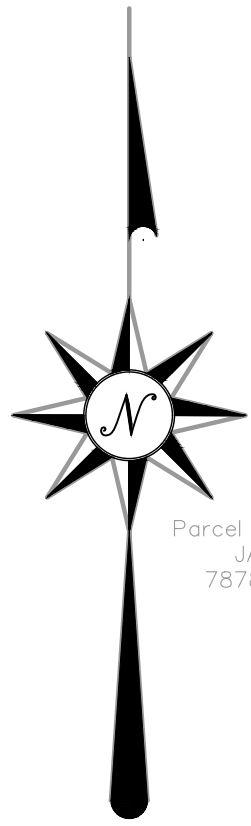
1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BINZ SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
7. COORDINATE WITH CITY OF SPRINGBORO FOR BUILDING SEWER AND WATER TAPS.
8. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ECT. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAYING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0" MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS
24. GAS SERVICE TO BE INSTALLED BY PROVIDER, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO WETREN CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH PROVIDER BEFORE COMMENCING WORK.
25. THE OWNER WILL BE RESPONSIBLE TO RUN THE LINE TO THE WATER MAIN TAP, OBTAIN THE WORK PERMIT FROM ODOT, AND RESTORE THE PAVEMENT OF ADVANCED DR.

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



C-3.1





Parcel No. 0419176002
JAMES THOMAS
7878 SHARTS RD.

N 3°38'35" E - 1943.69'

S 84°04'42" E - 30.03'

RADIUS=270.00'
ARC=184.27'
CHORD=180.71'
S 64°31'38" E

FLEXIBLE SPACE BUILDING

SINGLE STORY~10,000 SF;
F.F.E.=779.00'
10 SPACES INCLUDING 1 ADA

ZONED "PUD"

POSSIBLE EXPANSION

SINGLE STORY~10,000 SF;

Parcel No. 0419127009
SPRINGBORO ADVANCE LLC.
ADVANCED DR.

Parcel No. 0419127006
JC COMMERCIAL PROPERTIES
125 ADVANCED DR.

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH
GEOTECHNICAL ENGINEER BEFORE
COMMENCING EARTHMOVING ACTIVITIES.

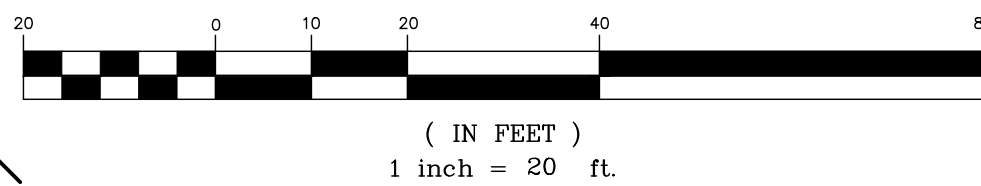
TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK
ACROSS LANDSCAPE AREAS PRIOR TO
SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS
MATERIAL IN ACCORDANCE WITH ALL LOCAL
AND STATE CODES AND PERMIT
REQUIREMENTS. EXPORTED MATERIAL SHALL
BE TRANSPORTED TO AN APPROVED FILL
AREA.

CONTOUR LEGEND:

--- EX. CONTOURS
--- PR. CONTOURS (MAJOR)
--- PR. CONTOUR (MINOR)

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COMMERCIAL BUILDING
GRADING PLAN
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.
1"=20' N/A

JOB NO. 20-140
DATE Jun. 25, 2020

SHEET NO.

C-4



EROSION AND SEDIMENT CONTROL NOTES:

- PRE-CONSTRUCTION:
1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.
2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:
- A. THE REQUIRED PRE-CONSTRUCTION MEETING
 - B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
 - C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE
 - D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
 - E. PRIOR TO FINAL ACCEPTANCE
3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.
5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.
6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE MADE. UNLESS IMMEDIATE ACTION IS NECESSARY, IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

- SAFETY:
8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.
9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVEMENT TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.
11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

- STABILIZED CONSTRUCTION ENTRANCE:
12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS BY THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.
13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES THAT ENTER AND LEAVE THE SITE. SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

- SEDIMENT TRAPS AND BASINS:
14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AND EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.
16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.
17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.
18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.
20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.
21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

- TEMPORARY & PERMANENT STABILIZATION:
22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.
23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.
26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.
28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.
29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE MAINTAINED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.
31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
- OTHER:
32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.
33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.
34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROWING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.
36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.
37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

TEMPORARY AND PERMANENT SEEDING:

- 1.1 SEEDBED PREPARATION
- A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.
- B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.
- 1.2 SEEDING
1. TEMPORARY SEEDING MIXTURE
- | SEEDING PERIOD | TYPE | RATE (1000 SF) |
|-------------------|--------------------|----------------|
| SPRING AND SUMMER | 1. OATS | 3 LBS |
| | 2. PEREN. RYEGRASS | 1 LBS |
| | 3. TALL FESCUE | 1 LBS |
| FALL | 1. PEREN. RYEGRASS | 1 LBS |
| | 2. RYE | 3 LBS |
| | 3. WHEAT | 3 LBS |
| | 4. TALL FESCUE | 1 LBS |
2. PERMANENT SEEDING MIXTURE
- | SEEDING PERIOD | TYPE | RATE (1000 SF) |
|--------------------------|------------------------|----------------|
| SPRING, SUMMER, AND FALL | 1. CREEPING RED FESCUE | 0.5 LBS |
| | DOMESTIC RYEGRASS | 0.25 LBS |
| | KENTUCKY BLUEGRASS | 0.25 LBS |
| | 2. TALL FESCUE | 1 LBS |
| | 3. DWARF FESCUE | 1 LBS |
- 2-1 SEEDING FOR STEEP BANKS OR CUTS
- | | | |
|--------------------------|----------------------------|----------|
| SPRING, SUMMER, AND FALL | 1. TALL FESCUE | 1 LBS |
| | 2. CROWNVEITCH TALL FESCUE | 0.25 LBS |
| | 3. FLATPEA TALL FESCUE | 0.50 LBS |
| | | 0.50 LBS |
- 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES
- | | | |
|-------------------------|----------------|-------|
| SPRING, SUMMER AND FALL | 1. TALL FESCUE | 1 LBS |
|-------------------------|----------------|-------|
- B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (¼) OF AN INCH.
- TEMPORARY AND PERMANENT SEEDING(CONT.)
- C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.
- D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.
- E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OH0C00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."
- CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.
- SOIL STOCKPILE MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.
- SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."
- EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
- THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
- THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.
- UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA OR LOCAL JURISDICTION TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.
- DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

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- DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

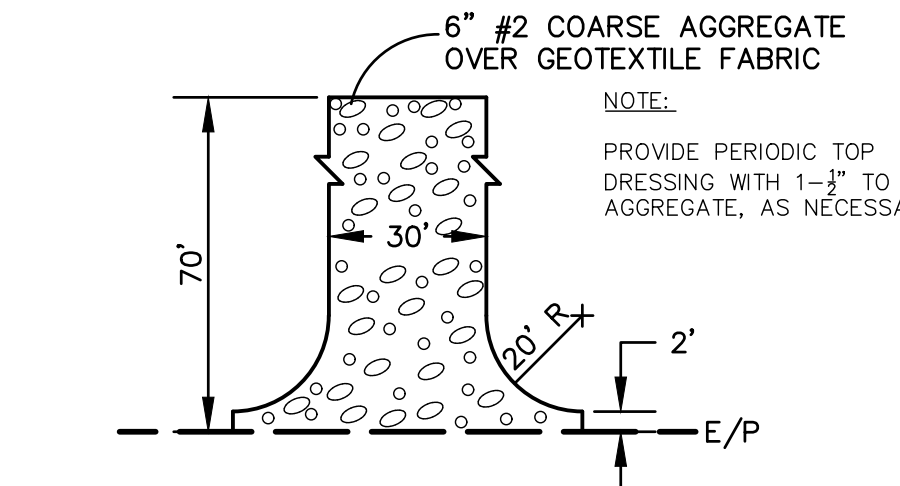
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SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.
2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.
3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.
4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



STABILIZED CONSTRUCTION ENTRANCE
(ONLY IF NECESSARY)
NO SCALE

TEMPORARY AND PERMANENT SEEDING:

- 1.1 SEEDBED PREPARATION
- A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.
- B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.
- 1.2 SEEDING
1. TEMPORARY SEEDING MIXTURE
- | SEEDING PERIOD | TYPE | RATE (1000 SF) |
|-------------------|--------------------|----------------|
| SPRING AND SUMMER | 1. OATS | 3 LBS |
| | 2. PEREN. RYEGRASS | 1 LBS |
| | 3. TALL FESCUE | 1 LBS |
| FALL | 1. PEREN. RYEGRASS | 1 LBS |
| | 2. RYE | 3 LBS |
| | 3. WHEAT | 3 LBS |
| | 4. TALL FESCUE | 1 LBS |
2. PERMANENT SEEDING MIXTURE
- | SEEDING PERIOD | TYPE | RATE (1000 SF) |
|--------------------------|------------------------|----------------|
| SPRING, SUMMER, AND FALL | 1. CREEPING RED FESCUE | 0.5 LBS |
| | DOMESTIC RYEGRASS | 0.25 LBS |
| | KENTUCKY BLUEGRASS | 0.25 LBS |
| | 2. TALL FESCUE | 1 LBS |
| | 3. DWARF FESCUE | 1 LBS |
- 2-1 SEEDING FOR STEEP BANKS OR CUTS
- | | | |
|--------------------------|----------------------------|----------|
| SPRING, SUMMER, AND FALL | 1. TALL FESCUE | 1 LBS |
| | 2. CROWNVEITCH TALL FESCUE | 0.25 LBS |
| | 3. FLATPEA TALL FESCUE | 0.50 LBS |
| | | 0.50 LBS |
- 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES
- | | | |
|-------------------------|----------------|-------|
| SPRING, SUMMER AND FALL | 1. TALL FESCUE | 1 LBS |
|-------------------------|----------------|-------|
- B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (¼) OF AN INCH.
- TEMPORARY AND PERMANENT SEEDING(CONT.)
- C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.
- D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.
- E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OH0C00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."
- CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.
- SOIL STOCKPILE MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.
- SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."
- EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
- THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.
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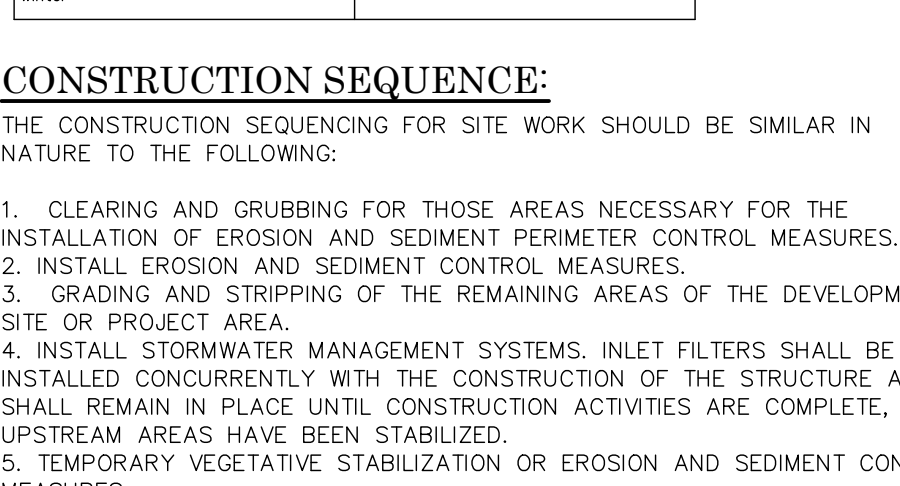
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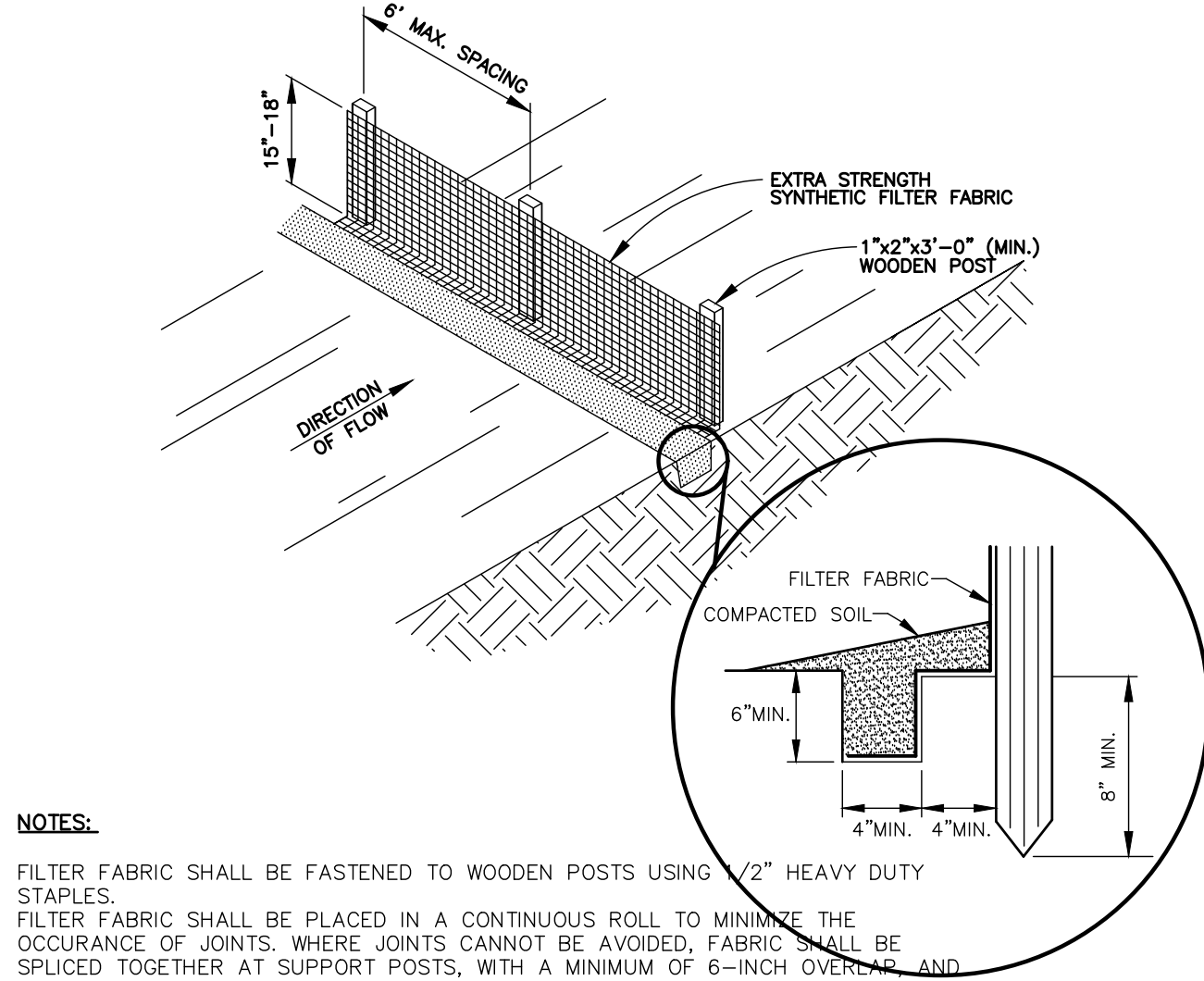
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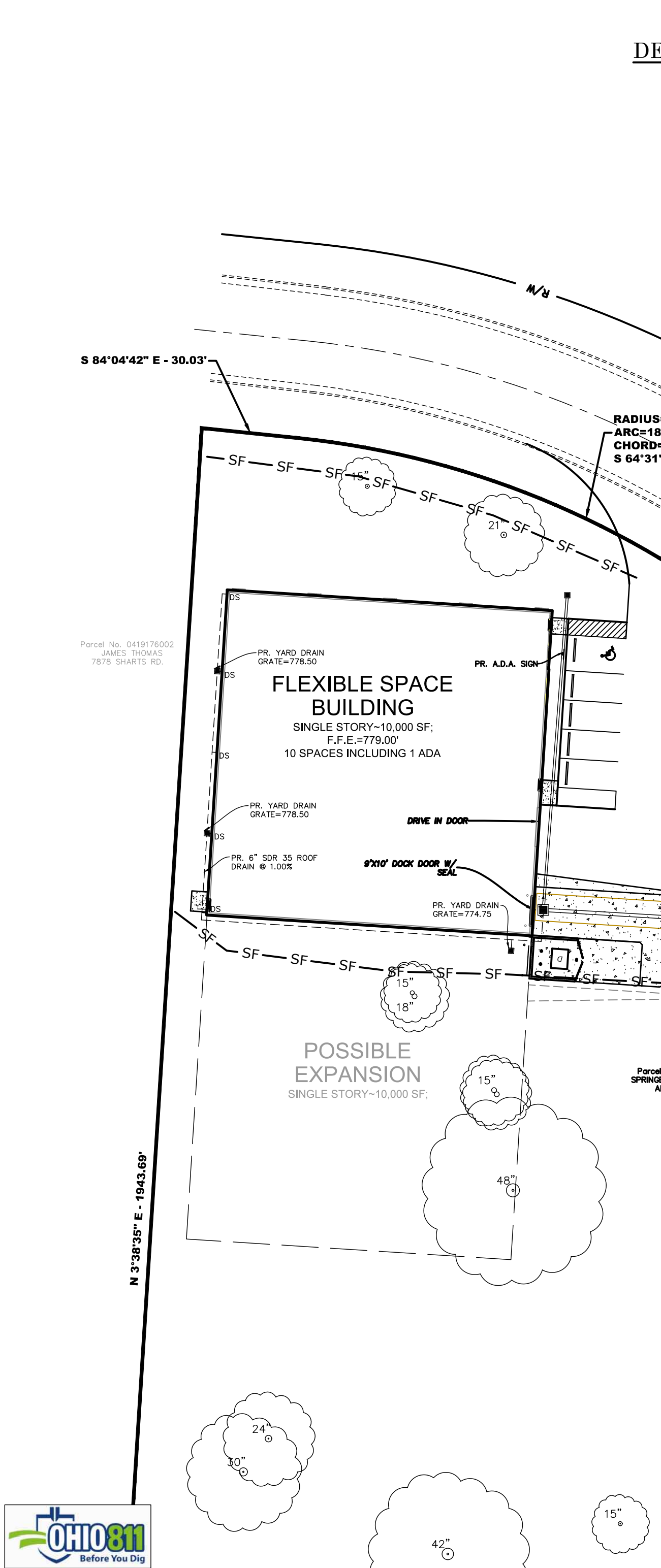
STABILIZED CONSTRUCTION ENTRANCE
(ONLY IF NECESSARY)
NO SCALE

CONSTRUCTION SEQUENCE:

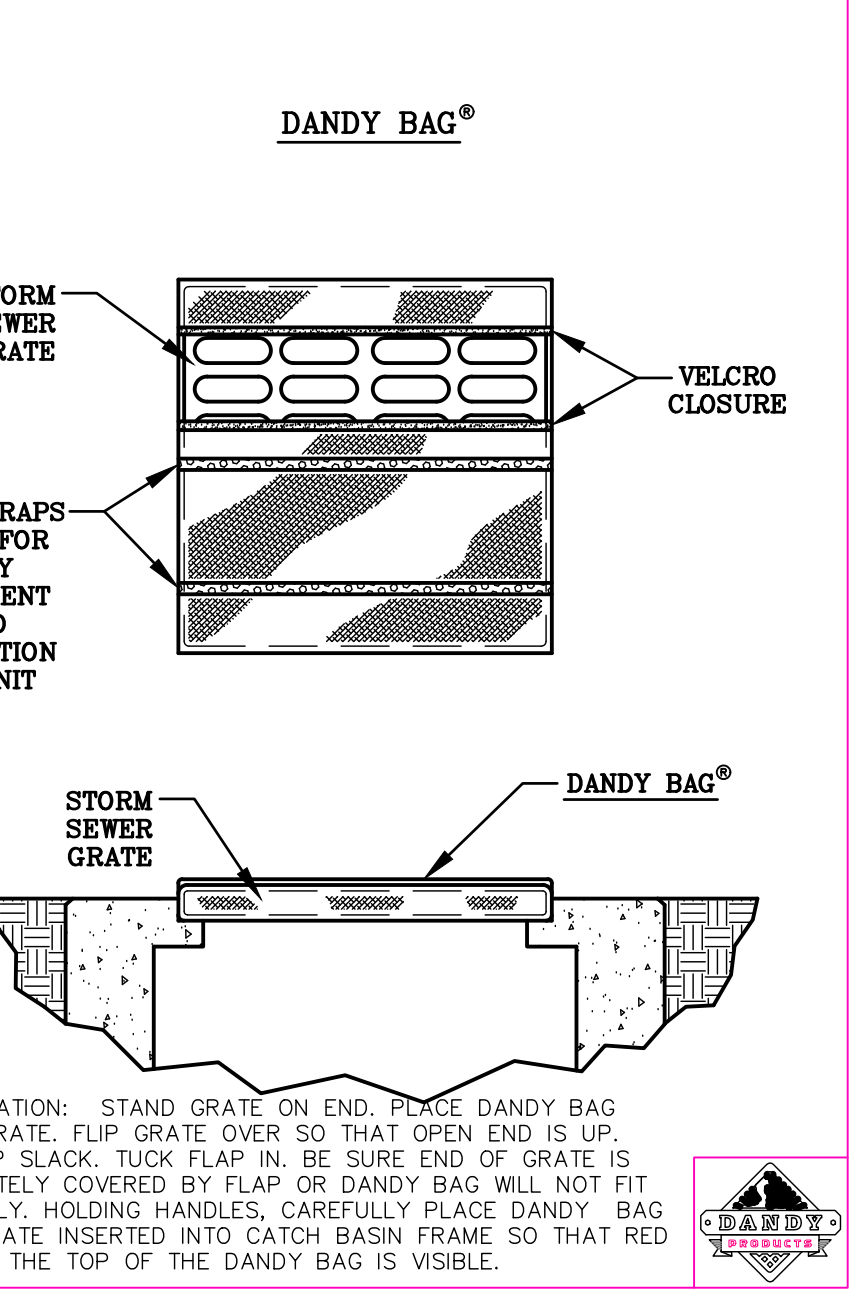
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 9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
 10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



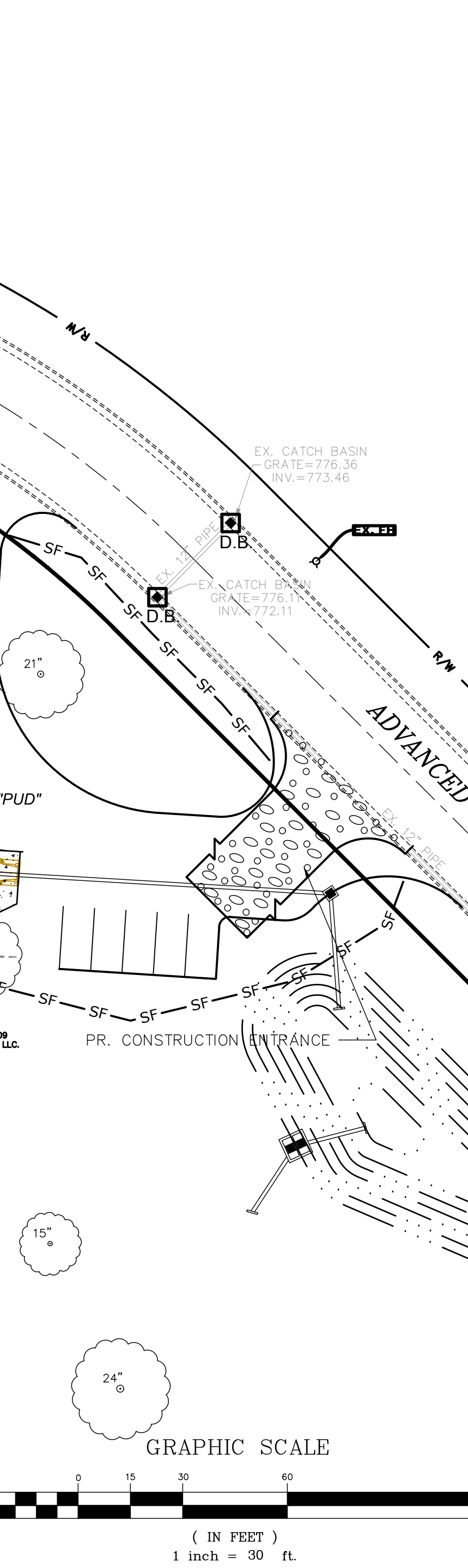
SILT FENCE (SF) DETAIL
NO SCALE



STABILIZED CONSTRUCTION ENTRANCE
(ONLY IF NECESSARY)
NO SCALE



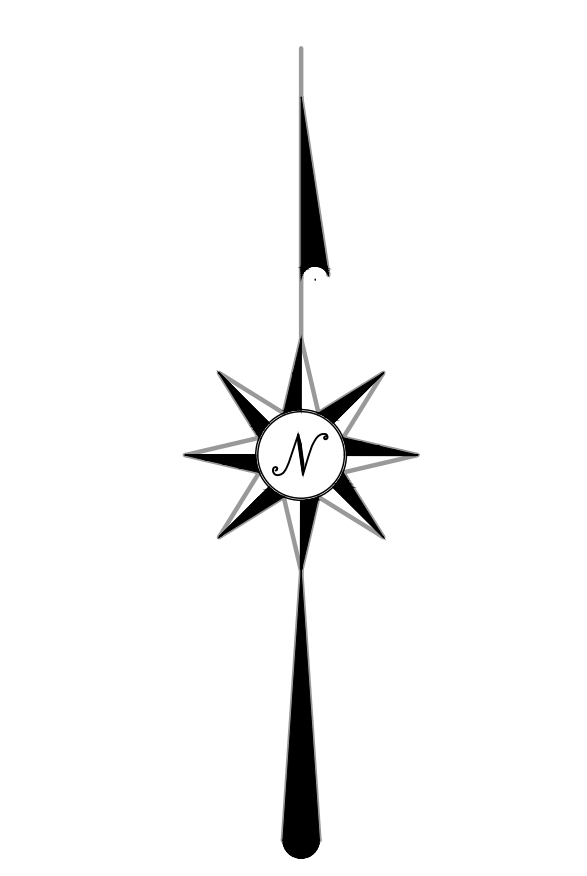
DETAIL OF INLET SEDIMENT CONTROL DEVICE
DANDY BAG (DB)



STABILIZED CONSTRUCTION ENTRANCE
(ONLY IF NECESSARY)
NO SCALE

EROSION CONTROL LEGEND

- SF — SILT FENCE
- D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
- CONSTRUCTION ENTRANCE



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Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

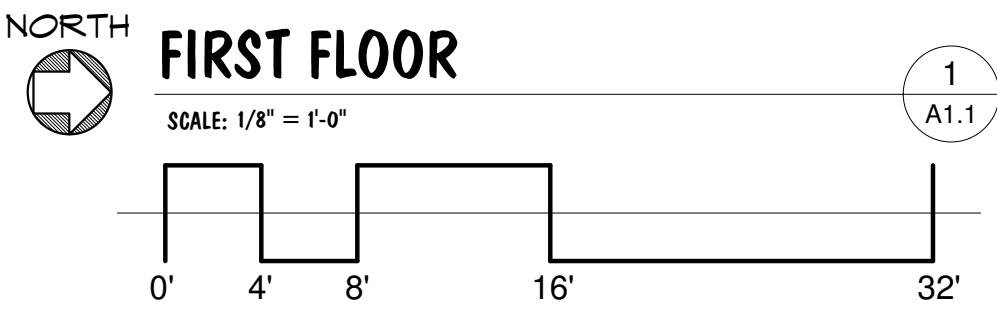
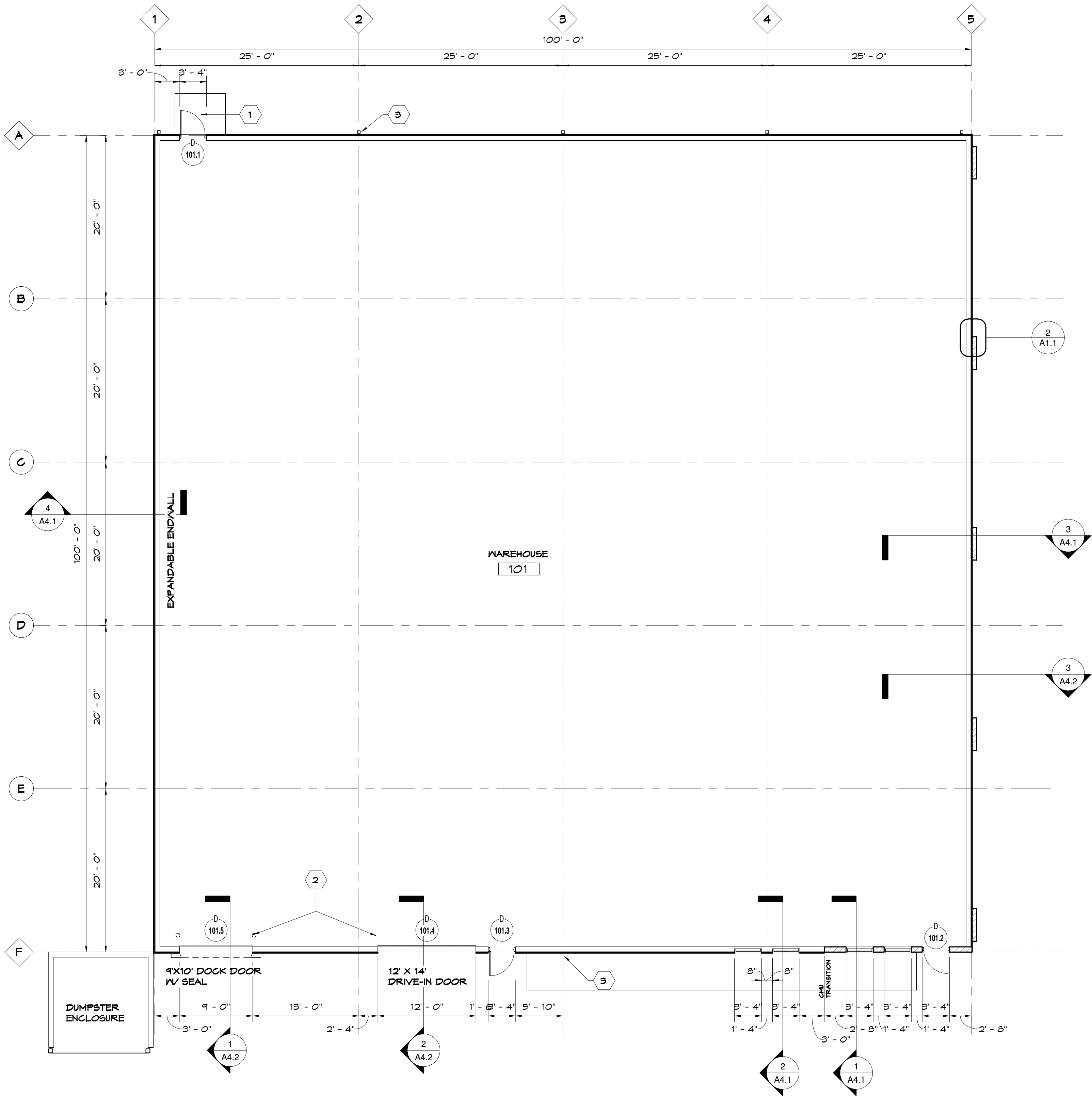
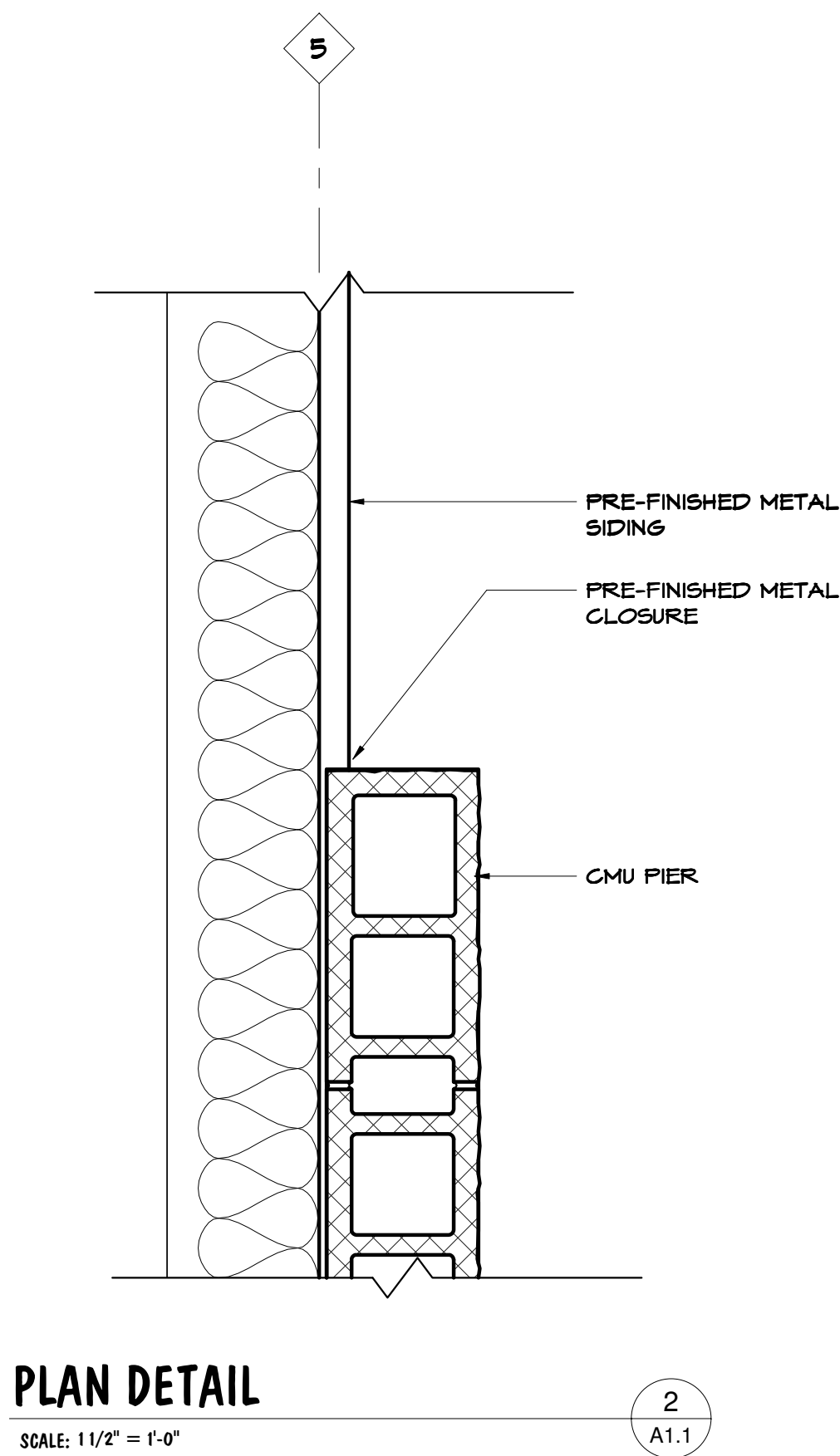
REV. DATE CK'D

Drawn By:WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A1.1



- KEYNOTES**
- 5' X 5' X 4" CONCRETE STOOP
 - CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 7/A3.1
 - PRE-FINISHED METAL DOWNSPOUT, COORD. W/FEMB DRAWINGS



LOOKING NORTHWEST

SCALE: 1/2" = 1'-0"

1
A1.4



LOOKING WEST

SCALE: 1/2" = 1'-0"

2
A1.4

Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

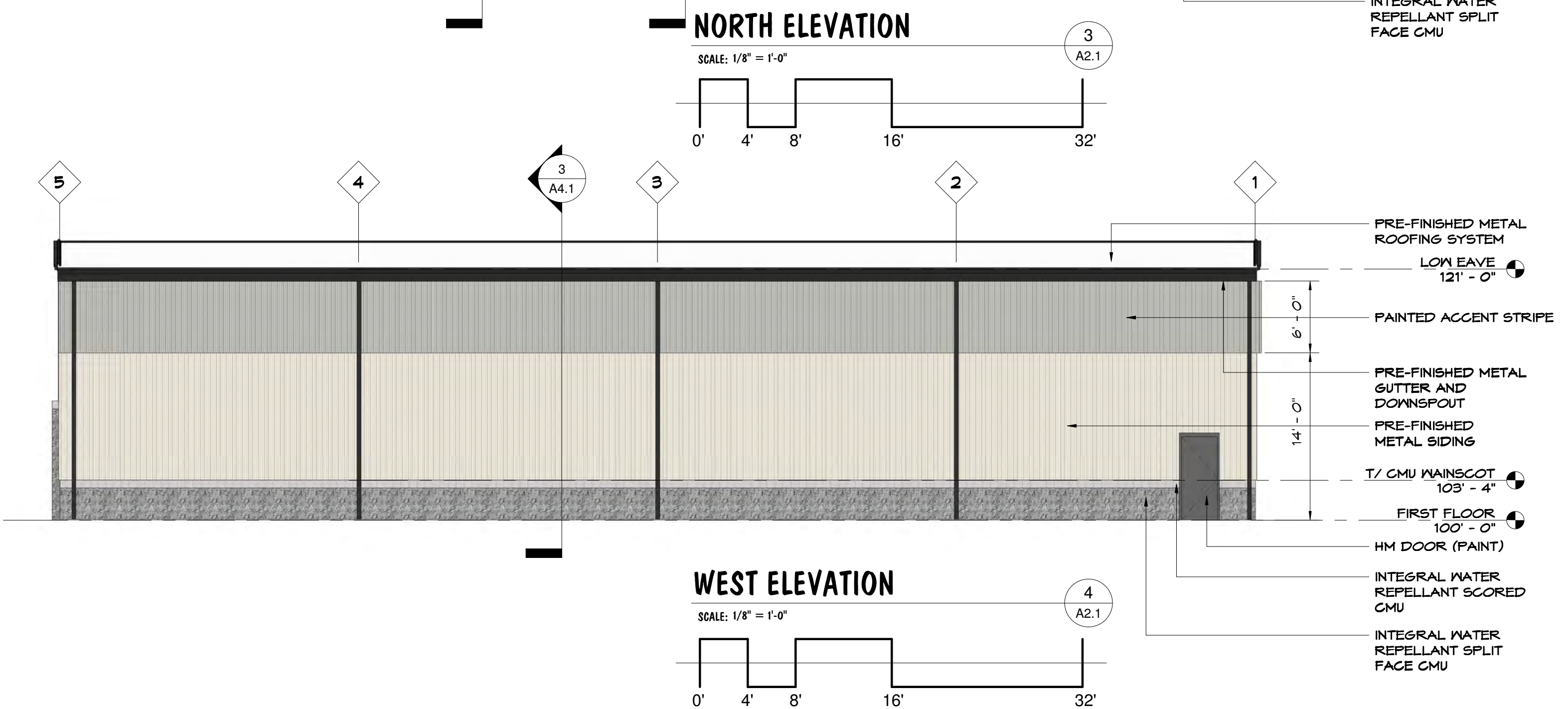
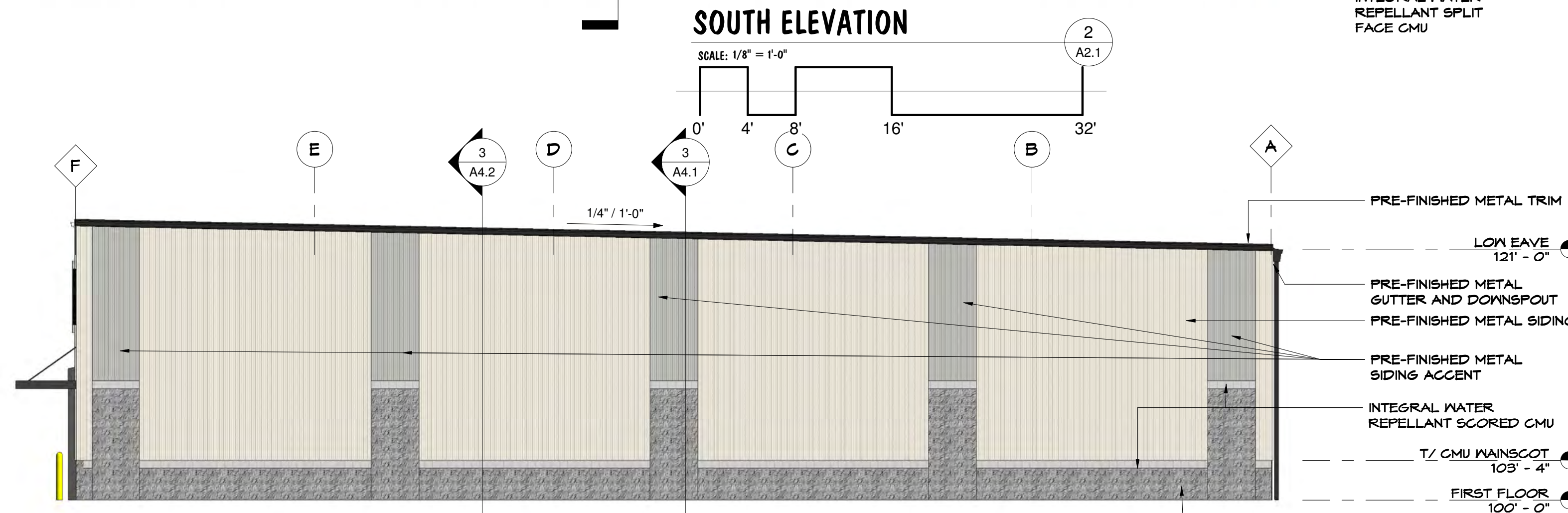
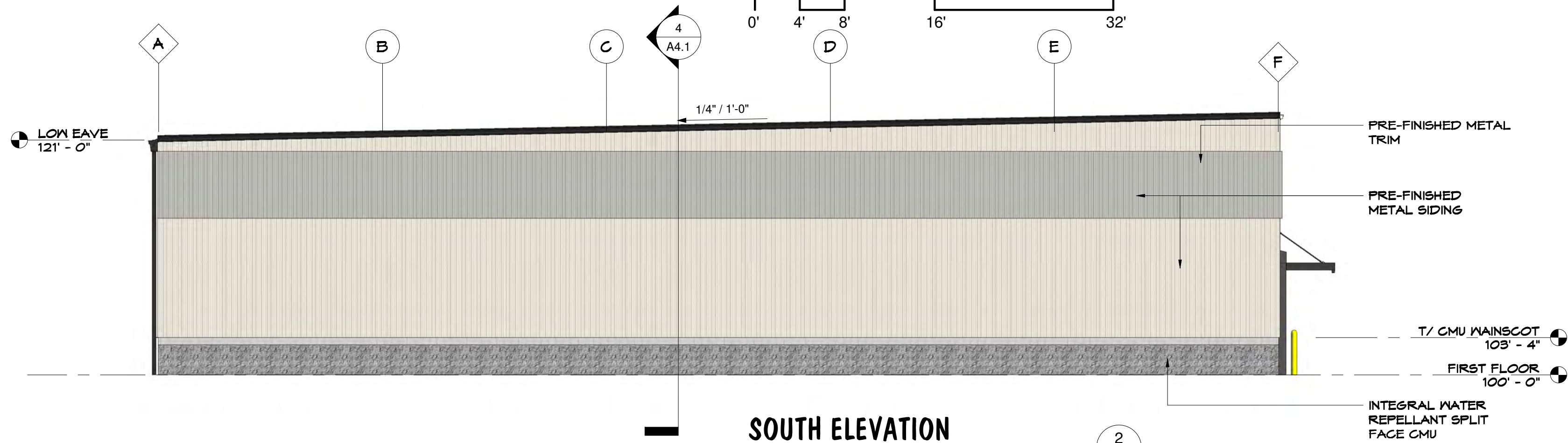
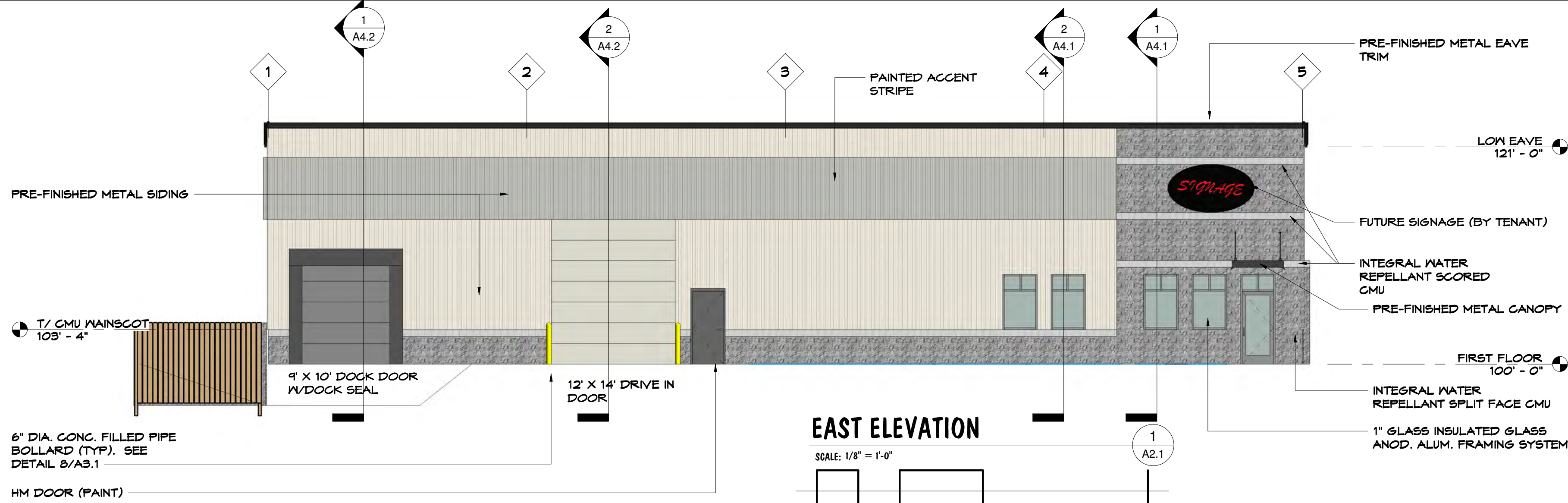
REV. DATE CK'D

Drawn By: WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A1.4



CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____

☐ SITE PLAN ☒ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT'S NAME: _____

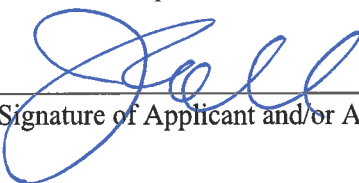
John M. Roll
3176 Kettering Blvd.
Denton, OH 45439
Telephone No. (937) 299-4243
Fax No. (937) 299-3254
Email Address jroll@rollassoc.com

PROPERTY OWNER'S NAME: _____

Thaler Machine Co.
Address: 216 Tahlequah Trail
Springboro, OH 45066
Telephone No. (937) 550-2400

Address of Property: Edwards Dr./Tahlequah Tr Lot Number: 5
Existing Use: Vacant lot Zoning District: HBD
Proposed Use: 10,500 SF Warehouse with Loading Dock

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

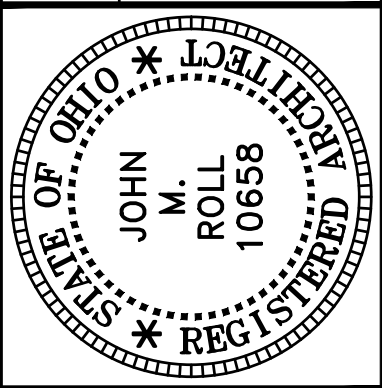

(Signature of Applicant and/or Agent)

6.26.20
(Date)

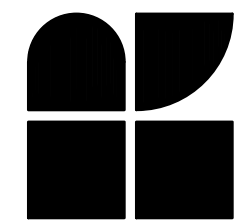


THALER WAREHOUSE

DATE	DESCRIPTION
6-26-20	PLANNING SUBMITTAL
7-2-20	PLANNING SUBMITTAL



ROLL & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
3176 KETTERING BOULEVARD DAYTON, OHIO 45439
PHONE (937) 299-4243 FAX (937) 299-3234



THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343

PROJECT NO.
56083

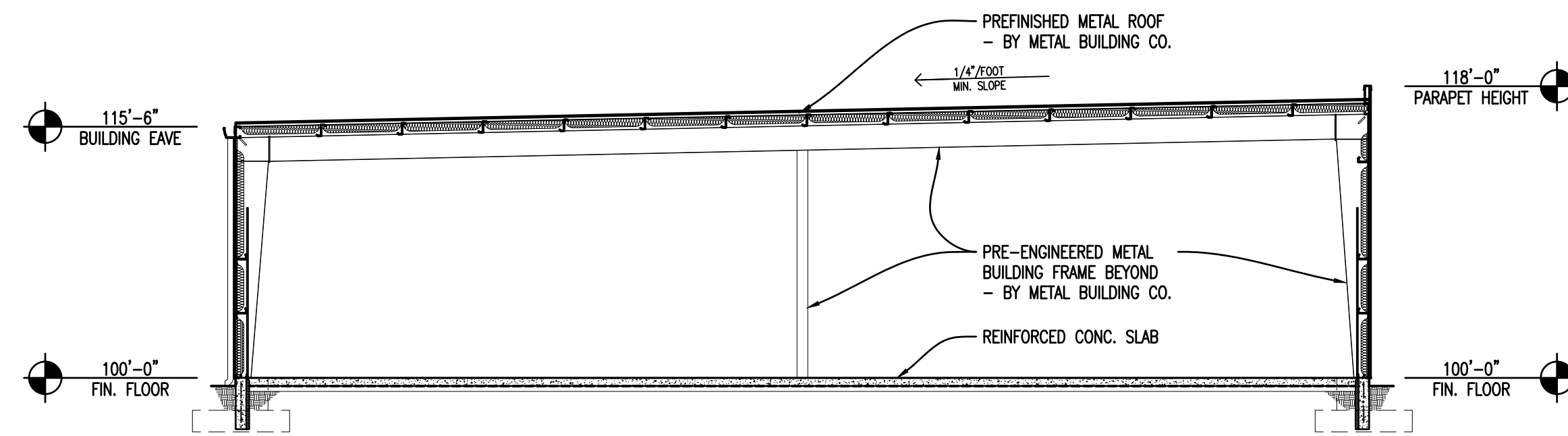
PROJECT TITLE

WAREHOUSE

DWG. TITLE
**BUILDING
PLAN**

DWG. NO.

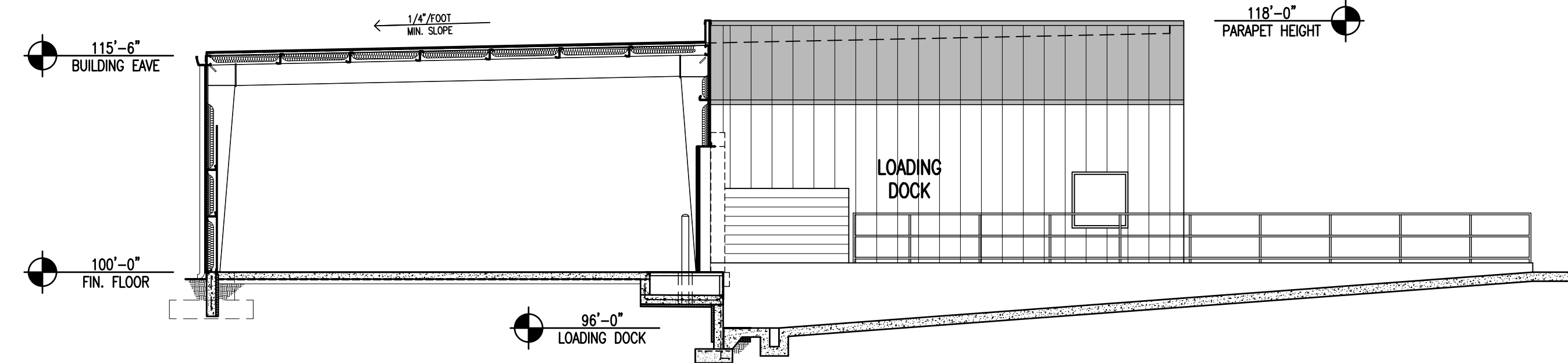
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BUILDING SECTION

1/8" = 1'-0"

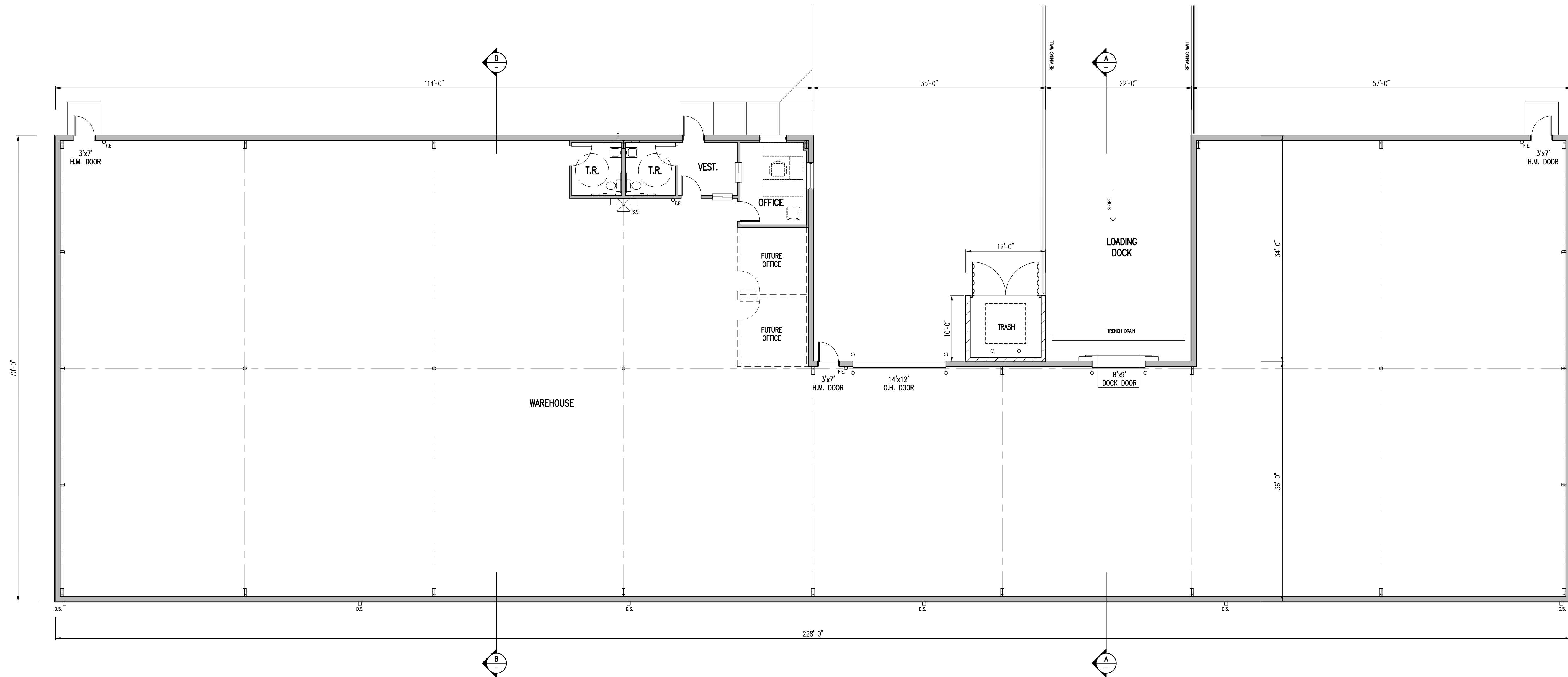
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BUILDING SECTION

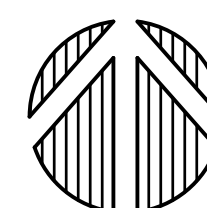
1/8" = 1'-0"

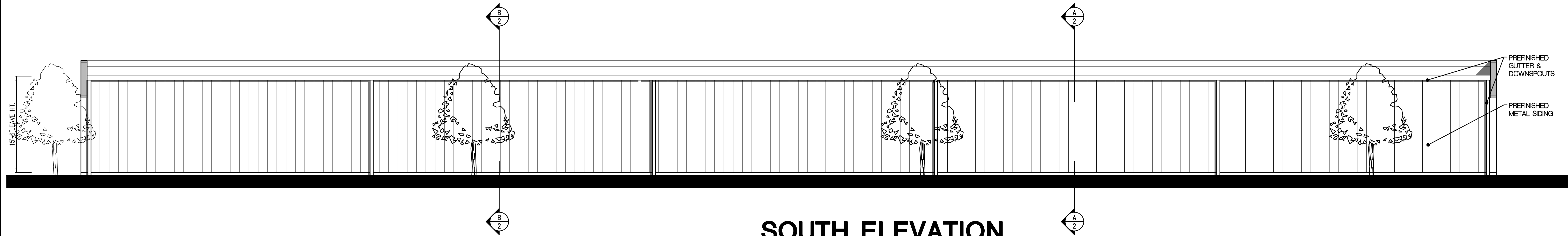
A



BUILDING PLAN

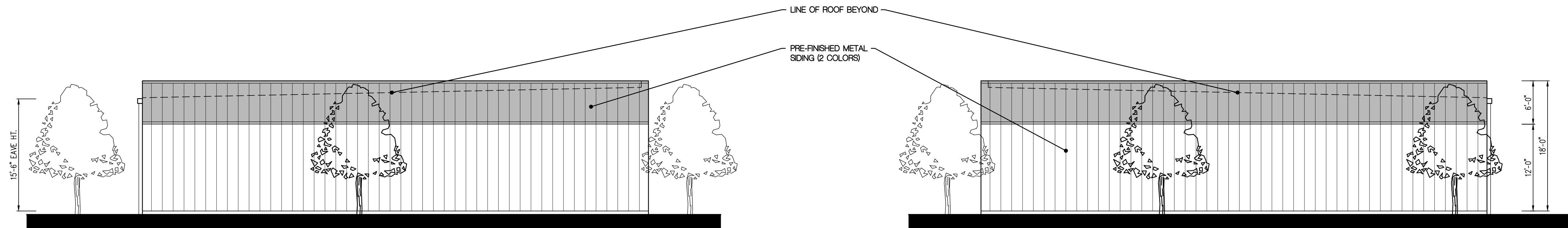
1/8" = 1'-0"





SOUTH ELEVATION

1/8" = 1'-0"

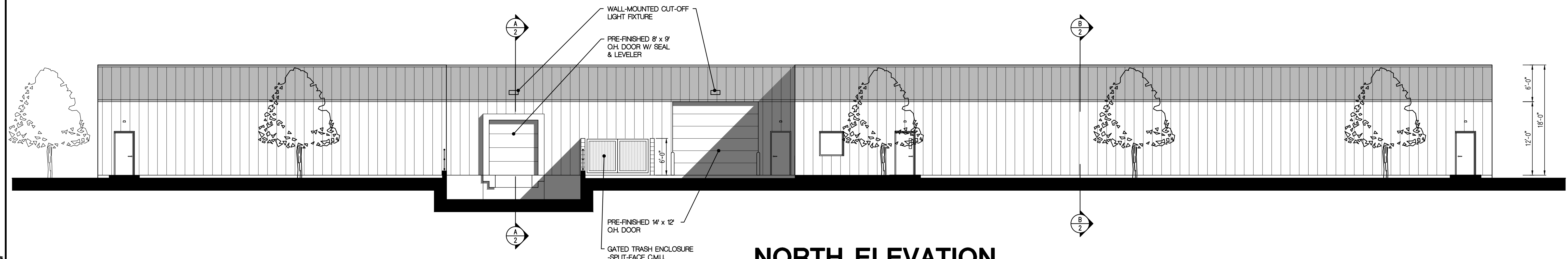


EAST ELEVATION

1/8" = 1'-0"

WEST ELEVATION

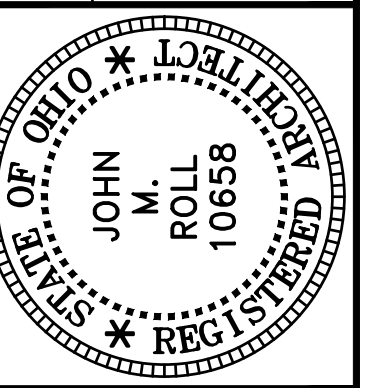
1/8" = 1'-0"



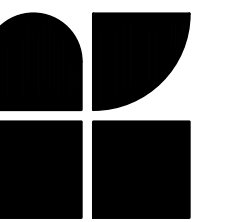
NORTH ELEVATION

1/8" = 1'-0"

DATE	DESCRIPTION
6-26-20	PLANNING SUBMITTAL
7-2-20	PLANNING SUBMITTAL



ROLL & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
3176 KETTERING BOULEVARD DAYTON, OHIO 45439
PHONE (937) 299-4243 FAX (937) 299-3254



THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343

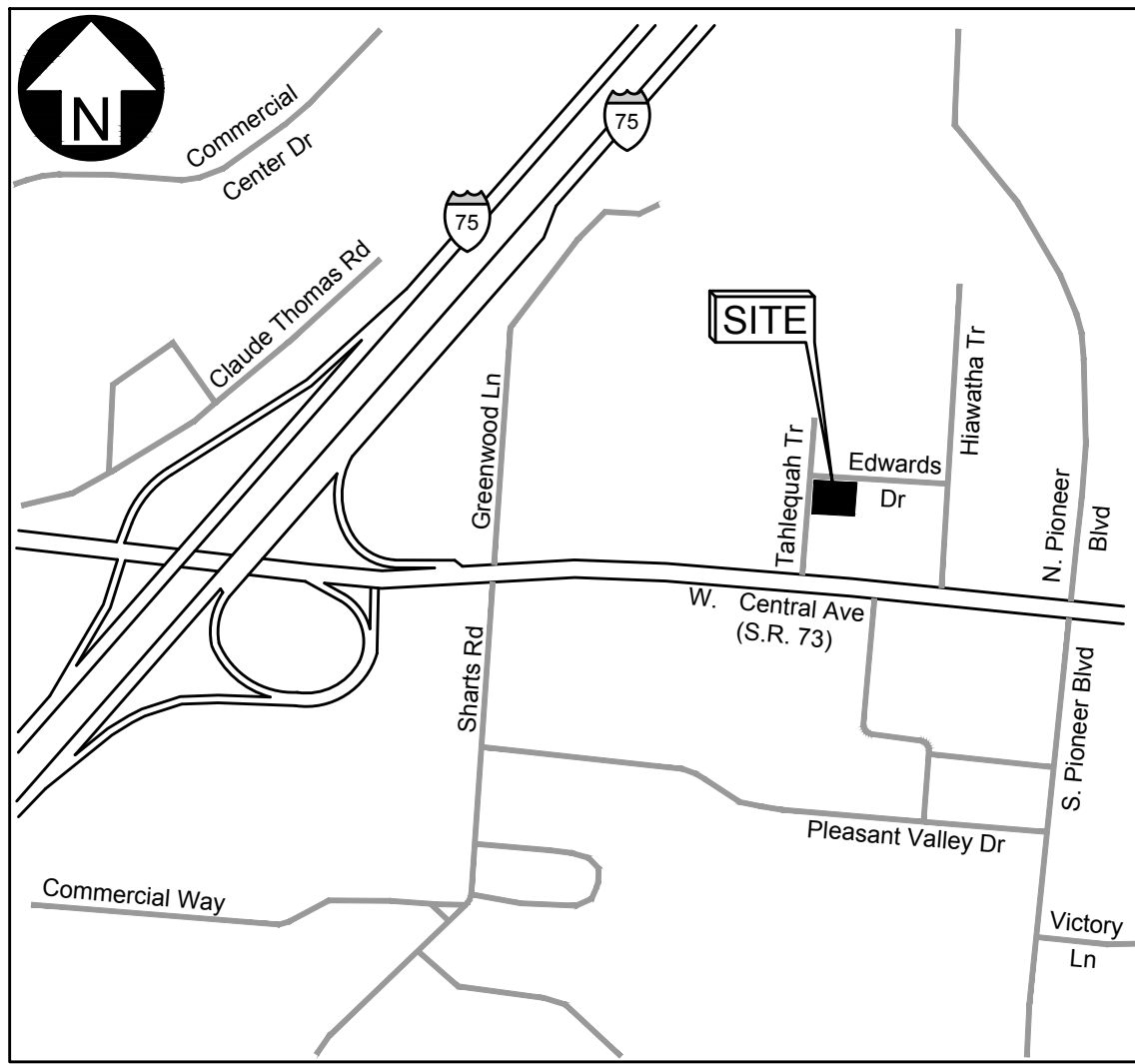
PROJECT NO.
56083

PROJECT TITLE
WAREHOUSE

DWG. TITLE
BUILDING ELEVATIONS

DWG. NO.
3

SITE DEVELOPMENT PLANS FOR
THALER MACHINE COMPANY LLC
 LOT # 5, MIDWAY MEADOWS SECTION 2
 CITY OF SPRINGBORO, WARREN COUNTY, OHIO



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- C-1.0: TITLE SHEET, EXISTING CONDITIONS, & DEMOLITION PLAN
 C-2.0: SITE PLAN & DETAILS
 C-3.0: UTILITY PLAN
 C-4.0: GRADING PLAN & SOIL EROSION CONTROL PLAN
 C-5.0: STORMWATER MANAGEMENT PLAN

DEMOLITION NOTES

1. All work shall strictly comply with all City, State, and Federal regulations and requirements.
 2. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
 3. All items noted to be removed shall be done as part of the contract for general construction.
 4. Remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, gravel fills, tree roots, pipes, etc.
 5. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
 6. Any disturbance incurred to any adjoining property or within the right-of-way due to demolition or construction shall be restored to the previous condition or better, in accordance with all Local and State Authorities.
 7. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor should contact "811", 72 hours before commencement of work and verify all utility locations.

DEMOLITION KEYNOTES

- (01) STRIP AND STOCKPILE TOPSOIL. REFERENCE GEOTECHNICAL REPORT FOR SITE PREPARATION.
 (02) SAWCUT AND REMOVE EXISTING CONCRETE CURB FOR NEW DRIVE — — — SAWCUT LINE

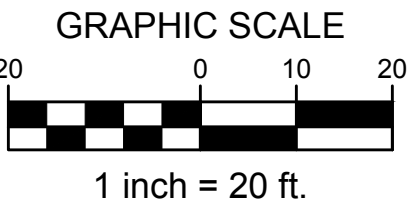
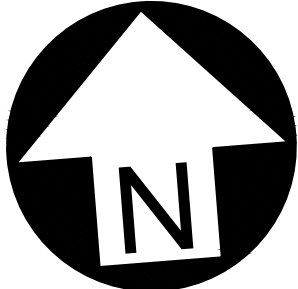
RIGHT-OF-WAY CURVE DATA			
CURVE NO.	RADIUS	ARC LENGTH	CHORD BEARING & DISTANCE
C1	20.00'	31.31'	N 49°56'27" E ~ 28.21'

SITE BENCHMARKS

- BM#1: FIRE HYDRANT TOP FLANGE
 ELEVATION = 833.32'
 BM#2: FIRE HYDRANT TOP FLANGE
 ELEVATION = 829.71'

EXISTING SITE LEGEND

- IRON PIN FOUND
 ▲ PIPE FOUND
 □ DRAINAGE INLET
 ○ SANITARY MANHOLE
 ○ FIRE HYDRANT
 ○ WATER MAIN VALVE
 ○ UTILITY POLE
 □ TELEPHONE CABINET
 — STORM SEWER MAIN
 — SANITARY SEWER MAIN
 — WATER MAIN
 — ELECTRIC LINE
 - - - FENCE
 ~~~~ TREE LINE  
 --- CONTOUR LINE



Owner's Signature

Owner Name

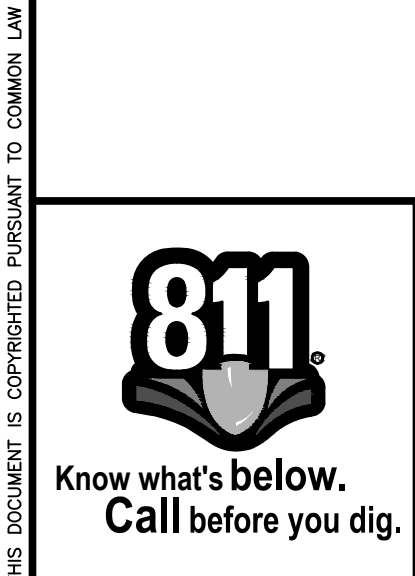
Date

**Owner & Developer**  
 Thaler Machine Company  
 1195 Mound Road  
 Miamisburg, Ohio 45343  
 937-550-2400

**Civil Engineer**  
 Burkhardt Engineering  
 Kurt Ziessler, P.E.  
 28 North Cherry Street  
 Germantown, OH 45327  
 937-388-0060

**Architect**  
 Roll & Associates, Inc.  
 John M. Roll, A.I.A.  
 3176 Kettering Boulevard  
 Dayton, OH 45439  
 937-299-4243

**Zoning**  
 Current Zone: Highway Business District (HBD)  
 Min. Lot Area: (Per Planning Commission)  
 Setbacks Per ED Zoning:  
 Front: 35' From Edwards Drive R/W  
 West Side: 35' From Tahlequah Trail R/W  
 East Side: 35'  
 Rear: 35'



DATE

DESCRIPTION

6-26-20

PC SUBMITTAL

7-02-20

REVISED SUBMITTAL

STATE OF OHIO

KURT M. ZIESSLER

REGISTERED PROFESSIONAL ENGINEER

BURKHARDT ENGINEERS & SURVEYORS

28 North Cherry Street | Cincinnati, Ohio 45221 | Phone: 937-388-0060 | burkhardtinc.com

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

THALER MACHINE COMPANY

1195 MOUND RD. MIAMISBURG, OH 45343

PROJECT NO.

56083

PROJECT TITLE

WAREHOUSE

DWG. TITLE

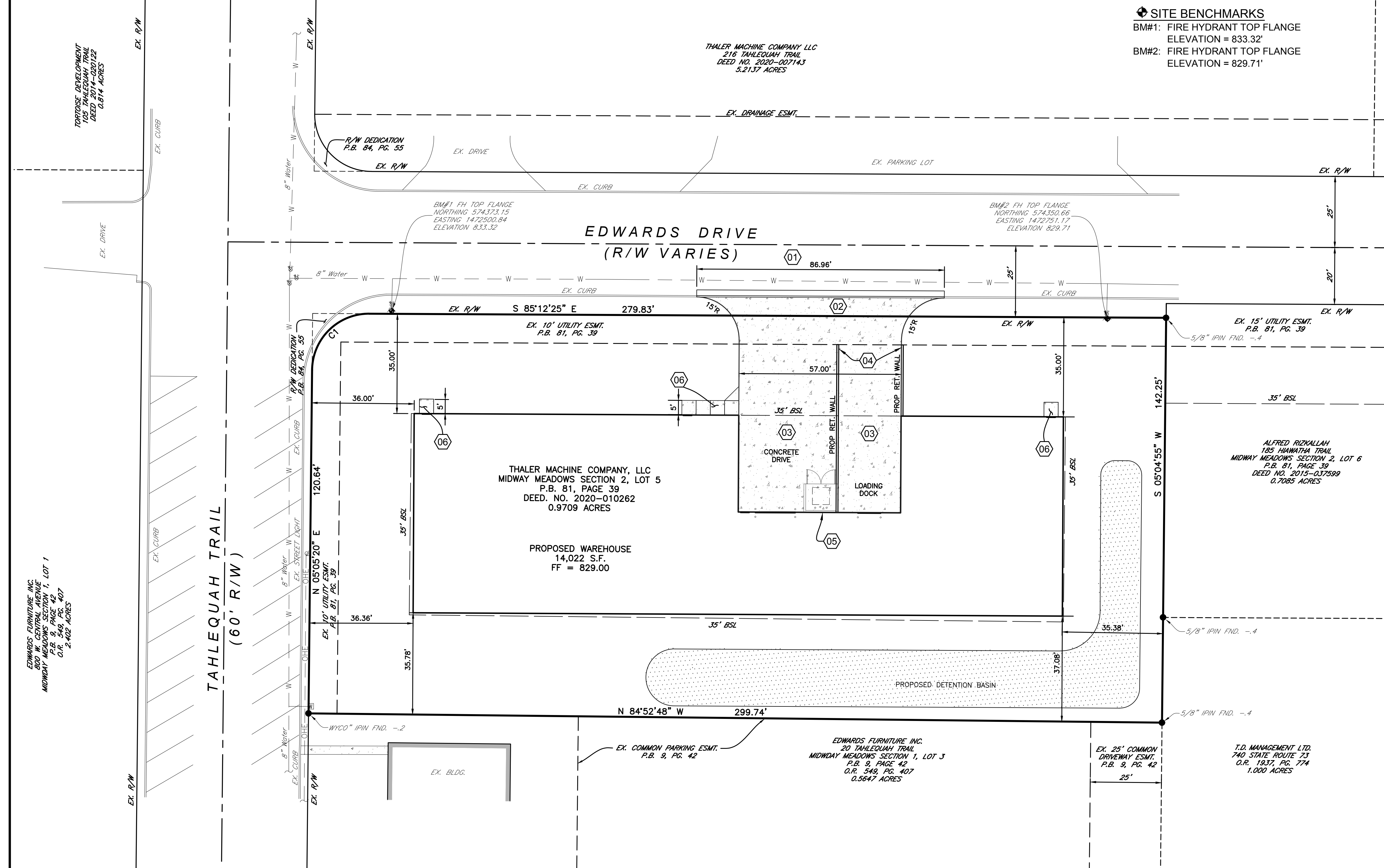
TITLE SHEET, EX. CONDITIONS, & DEMO PLAN

DWG. NO.

C-1.0



THIS DOCUMENT IS COPYRIGHTED PURSUANT TO COMMON LAW



**SITE BENCHMARKS**  
BM#1: FIRE HYDRANT TOP FLANGE  
ELEVATION = 833.32'  
BM#2: FIRE HYDRANT TOP FLANGE  
ELEVATION = 829.71'

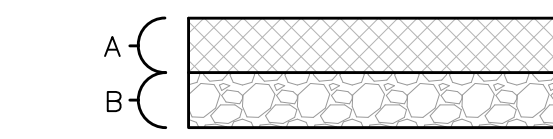
**SITE NOTES**

- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- All construction shall comply with City and State Standards.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted. All Building dimensions are references to the outside face of structure.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Municipal and/or State specifications and requirements.
- The Contractor shall abide by all OSHA, Federal, State and Local Regulations when operating cranes, booms, hoists, etc., in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local power company to make arrangements for proper safeguards.
- The Contractor shall obtain City permits for work within the road right-of-ways, including local curb cut permit, sewer and water connection permit and erosion control bond if required before the start of any activity. The Contractor shall post all bonds, pay all fees, provide proof of insurance, and provide traffic protection necessary for the work.
- All material schedules shown on the plans are for general information only. The Contractor shall prepare his own material schedules based upon his plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
- All proposed handicap ramps and parking areas shall comply with current Federal, State, and Local Regulations.
- Proof roll building and all pavement areas. Notify Owner and/or Owner's Representative of any unacceptable areas.

**SITE KEYNOTES**

- 01 DEPRESSED CONCRETE CURB & GUTTER FOR DRIVEWAY  
- SEE DETAIL THIS SHEET
- 02 CONCRETE APPROACH - 7" QCI CONCRETE  
-SEE COMMERCIAL DRIVEWAY DETAIL THIS SHEET
- 03 CONCRETE PAVEMENT  
- SEE DETAIL THIS SHEET
- 04 CONCRETE RETAINING WALL FOR LOADING DOCK AREA  
-SEE ARCHITECTURAL PLANS FOR DETAILS
- 05 DUMPSTER PAD & ENCLOSURE  
-SEE ARCHITECTURAL PLANS FOR DETAILS
- 06 CONCRETE SIDEWALK  
- SEE DETAIL THIS SHEET

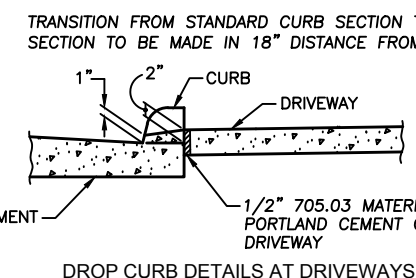
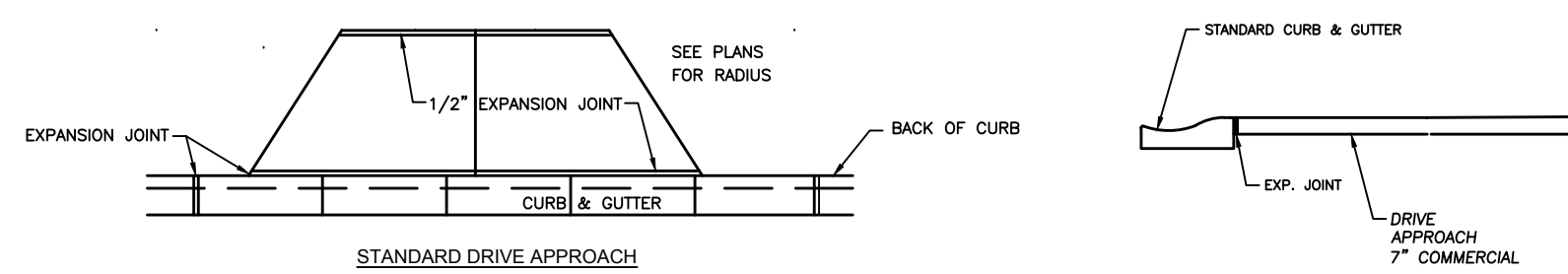
**KEY**  
A - 8" CONCRETE (PER GEOTECHNICAL REPORT ???)  
B - 4" ODOT ITEM 304



\*PAVEMENT SECTION TO BE OWNER APPROVED.  
NO TESTING OR DESIGN WAS PERFORMED BY  
THE CIVIL ENGINEER IN SELECTING THIS SECTION.

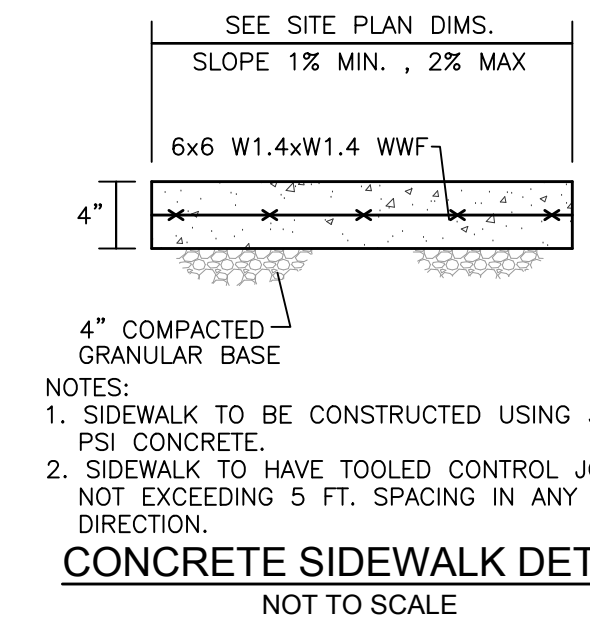
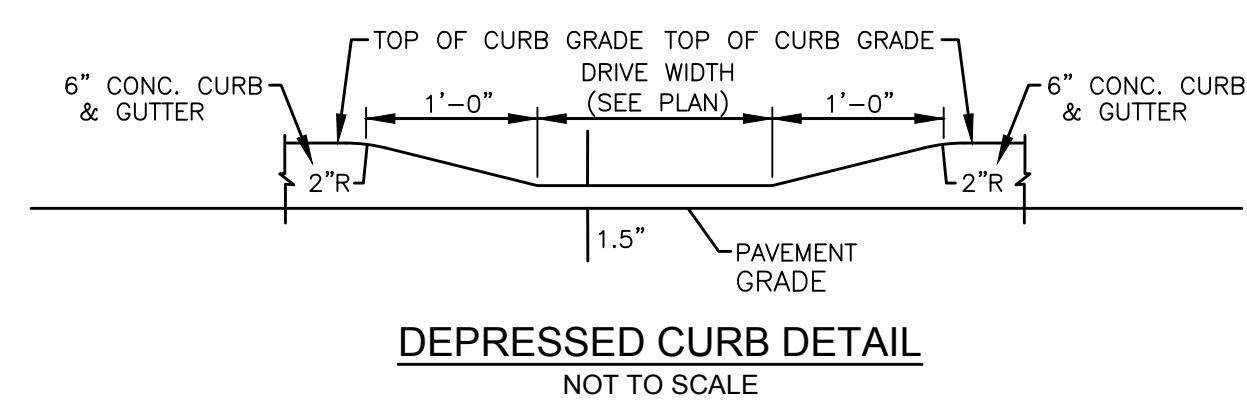
**CONCRETE  
PAVEMENT SECTION  
NOT TO SCALE**

| RIGHT-OF-WAY CURVE DATA |        |            |                          |
|-------------------------|--------|------------|--------------------------|
| CURVE NO.               | RADIUS | ARC LENGTH | CHORD BEARING & DISTANCE |
| C1                      | 20.00' | 31.31'     | N 49°56'27" E ~ 28.21'   |

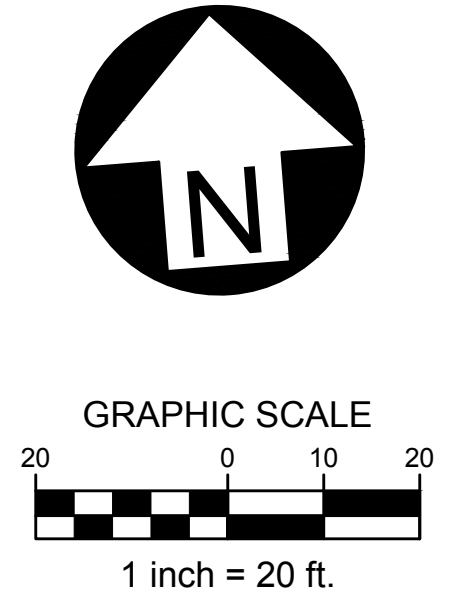


**GENERAL NOTES**

- DRIVE APPROACHES SHALL NOT BE POURED MONOLITHICALLY WITH CURB & GUTTER.
- MAXIMUM JOINT SPACING SHALL BE 10' LONGITUDINALLY AND TRANSVERSELY.
- COMPACTED GRAVEL MAY BE USED FOR LEVELING COURSE UNDER CONCRETE DRIVE APPROACH.
- WHERE ASPHALTIC CONCRETE PAVEMENT IS DISTURBED, THE ASPHALT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
- WHERE SIDEWALK EXIST PRIOR TO CONSTRUCTION OF DRIVE APPROACH, THE REPLACEMENT OF THE SIDEWALK IS NECESSARY FOR PROPER DEPTH.
- ANY VARIATION FROM THE AASHTO STANDARD MUST BE APPROVED BY THE ENGINEER.
- ALL CONCRETE FOR CURB AND GUTTER, SIDEWALK, AND DRIVE APPROACH SHALL MEET THE REQUIREMENTS SET FORTH IN ITEM 608 (ODOT SPECS.) CONCRETE SHALL BE CLASS C.
- EXPANSION MATERIAL TO BE PROFLEX VINYL EXPANSION MATERIAL AND SHALL MEET ASTM D-1752 SECTION FIVE OR AASHTO M153-98 SPECIFICATION.



| SITE AND PAVEMENT LEGEND |                                                            |
|--------------------------|------------------------------------------------------------|
|                          | CONCRETE                                                   |
|                          | BUILDING FACADE/AWNING/OVERHANG<br>O/O CONCRETE FOUNDATION |



DATE

DESCRIPTION

6-26-20

PC SUBMITTAL

7-02-20

REVISED SUBMITTAL

STATE OF OHIO

KURT M. ZIESSLER

E-62910

REGISTERED PROFESSIONAL ENGINEER

BURKHARDT

ENGINEERS & SURVEYORS

20 North Cherry Street | Cincinnati, Ohio 45227 | Phone: 513-388-0600 | SURV@BURKHARDT.COM

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

THALER MACHINE COMPANY

1195 MOUND RD. MIAMI SBURG, OH 45343

PROJECT NO.

56083

PROJECT TITLE

WAREHOUSE

DWG. TITLE

SITE PLAN & DETAILS

DWG. NO.

C-2.0





Know what's below.  
Call before you dig.

#### EXISTING UTILITY NOTE

The Contractor shall verify the depth of the existing water main and sanitary sewer at all utility crossings prior to construction. Contact Chad Dixon, City Engineer, 937-748-6184, for construction inspection.

#### UTILITY KEYNOTES

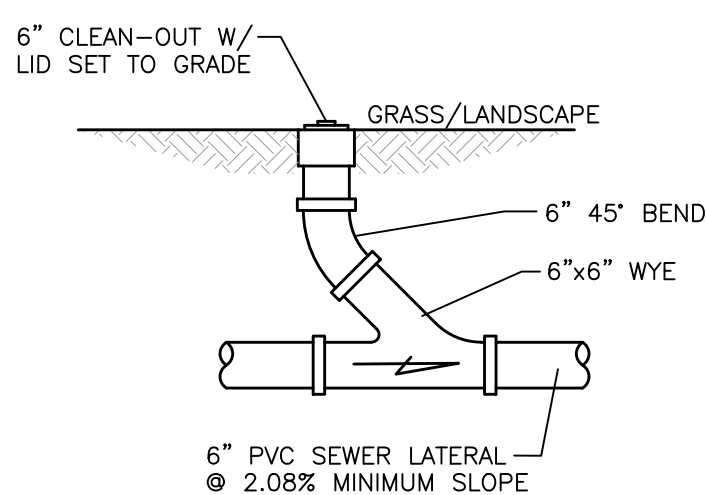
- 01 VERIFY EXACT LOCATION AND ELEVATION OF WATER SERVICES AND SANITARY SERVICE WITH PLUMBING PLANS.
- 02 MAINTAIN 1.5' VERTICAL CLEARANCE BETWEEN EXISTING WATER LINE, EXISTING STORM LINE AND PROPOSED SANITARY SERVICE. LOWER EX. WATER PER CITY REQUIREMENTS IF NEEDED.
- 03 FIRE DEPARTMENT CONNECTION (FDC) LOCATED ON BUILDING. FDC TO BE PER FIRE DEPARTMENT REQUIREMENTS. VERIFY EXACT LOCATION WITH PLUMBING PLANS.

#### UTILITY TRENCH NOTES

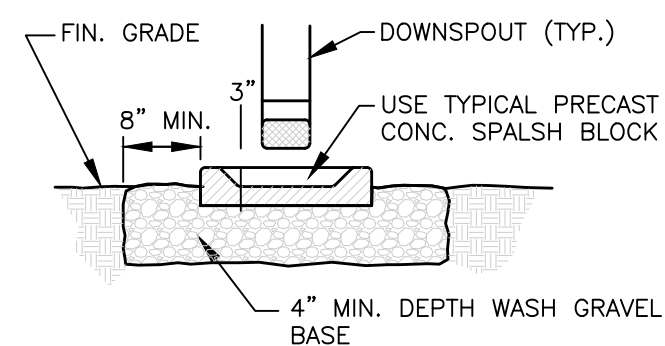
All utility trenches shall have backfill per City of Springboro requirements.

#### STORM STRUCTURE INFORMATION

- 1 2-2-A CATCH BASIN  
SEE SHEET C-5.0 FOR DETAILS
- 2 2-2-B CATCH BASIN  
PER STD-304  
GRATE = 825.80  
12" (S&W) INV. = 823.15
- 3 2-2-B CATCH BASIN  
PER STD-304  
GRATE = 828.00  
12" (E) INV. = 823.67  
6" (SE) INV. = 823.67  
8" (W) INV. = 824.00
- 4 2-2-B CATCH BASIN  
PER STD-304  
GRATE = 827.50  
8" (E) INV. = 824.52
- E1 TYPE B HEADWALL  
PER STD-306  
12" INV. = 823.00  
INSTALL 10' x 5' x 1.5'  
TYPE C ROCK CHANNEL  
PROTECTION
- TD TRENCH DRAIN  
PER DETAIL THIS SHEET  
OR APPROVED EQUAL  
GRATE = 824.92  
6" (NW) INV. = 823.86

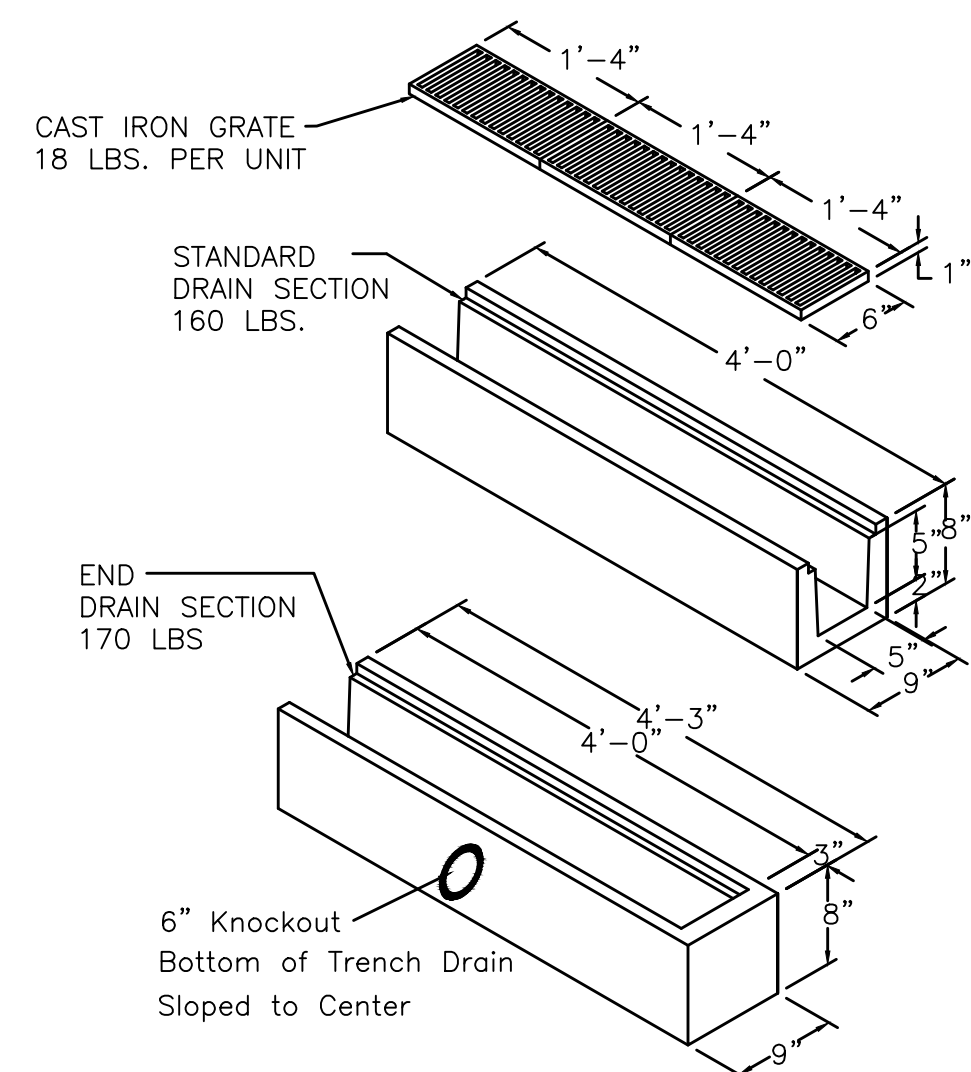
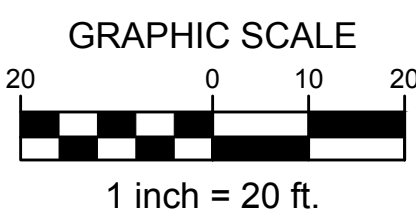
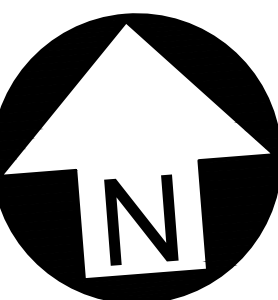


SANITARY CLEAN-OUT DETAIL  
NOT TO SCALE



NOTE: THE GRAVEL BASE MUST EXTEND 12" MIN. IN FRONT OF SPLASH BLOCK WITH FRONT EDGE OF FLUME TO BE FLUSH W/TOP OF GRAVEL.

CONCRETE SPLASH BLOCK  
NOT TO SCALE



TRENCH DRAIN DETAIL  
NOT TO SCALE

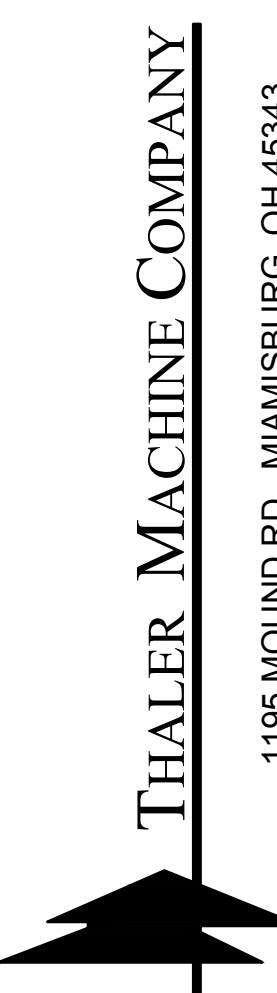
#### UTILITY LEGEND

- WATER VALVE
- ▽ FIRE HYDRANT
- DS DOWNSPOUT
- CATCH BASIN
- ⊖ YARD DRAIN
- STORM SEWER
- E ELECTRIC SERVICE
- TEL TELEPHONE LINE
- W WATER SERVICE
- SS SANITARY SEWER SERVICE
- ○ ○ SANITARY CLEAN OUT
- W WATER METER, PER CITY STANDARDS

#### UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- General Contractor to coordinate with the local Utility Companies for all locations and connections. A preconstruction meeting with the various Utility Companies, may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the elevation and location of all utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where sewers cross existing utilities, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact Burkhardt Engineering in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall insure that all Utility Companies and City Standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective Utility Company. The Contractor shall coordinate work to be performed by the various Utility Companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- All valve boxes and curb boxes shall be adjusted to the final grades. All curb boxes shall be located in grassed areas unless indicated otherwise on the plans.
- Sanitary lateral shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed. Contractor shall center one joint of pipe at crossing.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All sanitary sewer lines shall be SDR 35 or Schedule 40 PVC pipe with a minimum slope of 1.04%. All PVC pipe shall be installed in accordance with the manufacturer's recommended procedure.
- Remote reader to be installed within building for water service.
- Water sewer lateral to be Type "K" copper with minimum cover of 4.5'.
- Storm sewer in Right of Way to be Reinforced Concrete Pipe, Class IV
- On site storm sewer shall be Reinforced Concrete Pipe, Class III minimum, or high-density Polyethylene Pipe (ADS N-12 or equivalent).

| DATE    | DESCRIPTION       |
|---------|-------------------|
| 6-26-20 | PC SUBMITTAL      |
| 7-02-20 | REVISED SUBMITTAL |
|         |                   |
|         |                   |
|         |                   |
|         |                   |
|         |                   |
|         |                   |
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|                                   |
|-----------------------------------|
| PROJECT NO.<br><b>56083</b>       |
| PROJECT TITLE<br><b>WAREHOUSE</b> |
| DWG. TITLE<br><b>UTILITY PLAN</b> |
| DWG. NO.<br><b>C-3.0</b>          |