

**Meeting Agenda**  
**City of Springboro Planning Commission Work Session**  
**Wednesday, July 8, 2020, 6:00 p.m.**

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 8, 2020 work session via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for information to connect to the meeting.

- I. Call to Order
- II. Agenda Items
  - A. Final Development Plan Review, Advance Drive PUD, Planned Unit Development, commercial building
  - B. Site Plan Review, southeast corner Edward Drive and Tahlequah Trail, commercial building for Thaler Machine
  - C. Discussion, Planning & Zoning Text Amendment, combined meetings
- III. Guest Comments
- IV. Planning Commission and Staff Comments
- V. Adjournment

**Background Information & Staff Comments**  
**City of Springboro Planning Commission Meeting—Conducted by Conference Call (Zoom)**  
**Wednesday, July 8, 2020, 6:00 p.m.**

**II. Agenda Items**

**A. Final Development Plan**

**Advanced Drive PUD, Planned Unit Development, proposed commercial building**

**Background Information**

This agenda item is an application for final development plan approval for a site located in the Stoltz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stoltz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

**Staff Comments**

City staff identified the following comments for this agenda item at this time:

1. Provide a color rendition of proposed building elevations.
2. Indicate proposed exterior materials for proposed dumpster enclosure.
3. Indicate number employees at maximum shift for the purposes of determining the off-street parking requirement for the building/site.
4. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
5. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
6. Provide lot line information in vicinity of improvements.
7. Provide additional storm sewer details such as catch basin type.

8. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
9. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
10. Water meter to be located inside of building.
11. Provide spot elevations throughout parking lot.
12. Revise sheet C-5 to include dandy bags on all storm sewer structures.
13. Provide detention calculations for review.
14. Change title block from Franklin Township to Clearcreek Township.
15. Revise plat according to Warren County review comments, if any.
16. The Clearcreek Fire District has no comments at this time.

## **B. Site Plan Review**

### **Southeast Corner Edwards Drive and Tahlequah Trail, commercial building for Thaler Machine**

#### **Background Information**

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Intregity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

#### **Staff Comments**

City staff identified the following comments for this agenda item at this time:

1. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
2. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
3. Sanitary lateral to have minimum 2% slope.
4. Obtain easement from adjacent property owner for storm sewer connection.

5. Water meter to be set inside of building.
6. The Clearcreek Fire District has no comments at this time.

### C. Discussion

#### **Planning & Zoning Code Text Amendment, combined meetings**

##### **Background Information & Staff Recommendation**

This agenda item is picking up a discussion that was last discussed at the May 13th work session, text amendments that would result in the consolidation of the Planning Commission meeting into a single meeting each month. Following a review of the Planning & Zoning Code by City staff, and discussions with the Law Director Jerry McDonald, City staff is recommending a proposal that is largely similar to the one proposed where things left off in May.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

Following discussion of this recommendation at the July 8th work session, a formal recommendation may be made at the July 29th meeting. We can begin the process of planning how we would like to compose future combined Planning Commission meetings—scheduling, deadlines, the meeting agenda format, and more.

#### **Proposed Text Amendments to Accommodate Combined Meetings**

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

## **Section 1284.04, Submission of a Site Plan**

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.
- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed on a preliminary basis at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement for a preliminary review for a ~~work session~~. Each site plan shall be submitted in compliance with the deadlines established by the Director of Planning at least 12 days in advance of the Planning Commission ~~work session~~ meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)
- (f) Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval. Each site plan must be submitted in compliance with the deadline established by 19 days prior to the regular Planning Commission meeting unless modified by the Director of Planning Director.

## **Section 1284.05, Site Plan Contents**

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require fewer other details for the site plan to be reviewed at the ~~Work Session~~ in the course of its review.

## **Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses**

The Planning Commission shall review the site plan and the reports of City staff at a ~~Work Session~~ meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning not later than 12 days after the site plan submission deadline (see Table 10 at the end of this chapter). At the ~~Work Session~~ preliminary review, the Planning Commission shall schedule determine if formal review of the site plan is appropriate at its next regular meeting to take place at least 16 days after the ~~Work Session~~ if all of the following requirements are met and/or

recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

#### **Section 1282.04, Organization & Responsibilities, Planning Commission**

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

**In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.**

The information contained in this report is based on material provided to the City of Springboro as of Friday, July 2, 2020 at 2:00 p.m.

# CITY OF SPRINGBORO PLANNING COMMISSION

Application  
Case # \_\_\_\_\_

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void.

- Owner
- Agent
- Lessee
- Signed Purchase Contract

APPLICANT'S NAME: Dalton Withom

Dalton AG Withom

Telephone No. (513) 561-6633 x107

Fax No. (513) 561-3584

Email Address [dwthom@cnctgroup.com](mailto:dwthom@cnctgroup.com)

PROPERTY OWNER'S NAME: Springboro Advance LLC

Address: 4774 Red Bank Expressway

Cincinnati, OH 45227

Telephone No. (513) 561-6633

Address of Property:

Advance Drive

Lot Number: 0419127009

Existing Use:

Undeveloped Lot

Zoning District: PUD

Proposed Use:

Speculative tenant building

**NOTE:** Applicant will furnish fifteen (17) copies of plans with attached requirements. Please note that all plans submitted with this proposal must be pre-folded. The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

Dalton Withom  
(Signature of Applicant and/or Agent)

6/26/20  
(Date)

Check #44145  
pd in full \$553 -  
6/26/2020

RECEIVED
JUN 26 2020
Springboro Planning Department

## GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL COVER ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://WWW.AGRI.OHIO.GOV/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:  
ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM." SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.



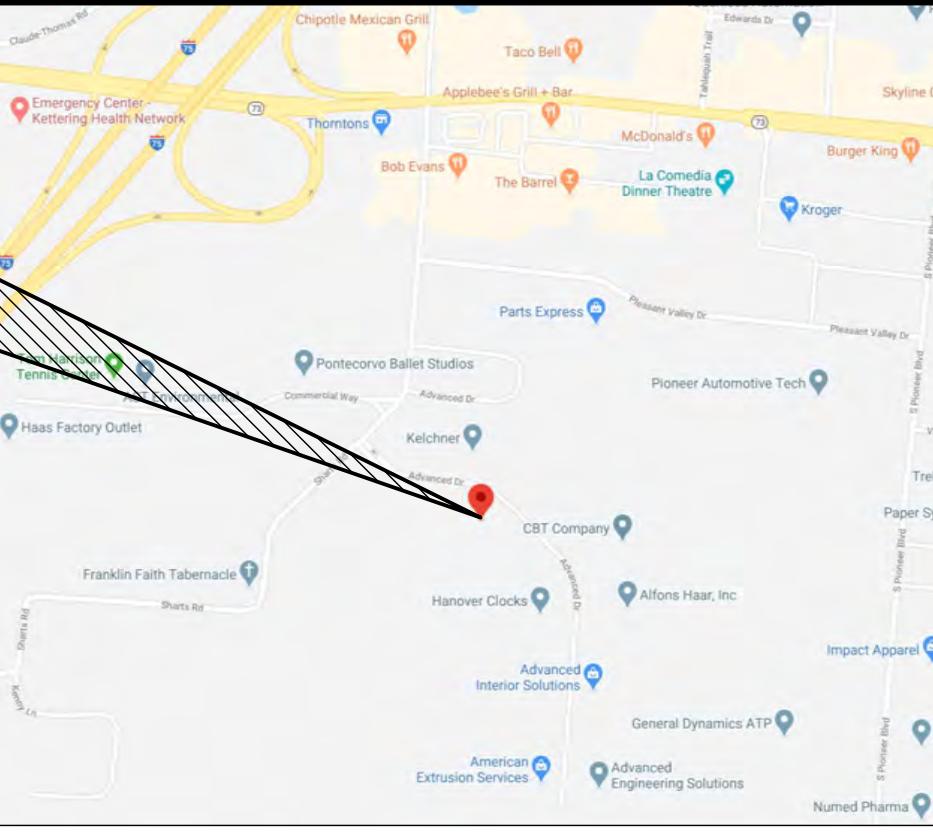
## PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

# COMMERCIAL BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO

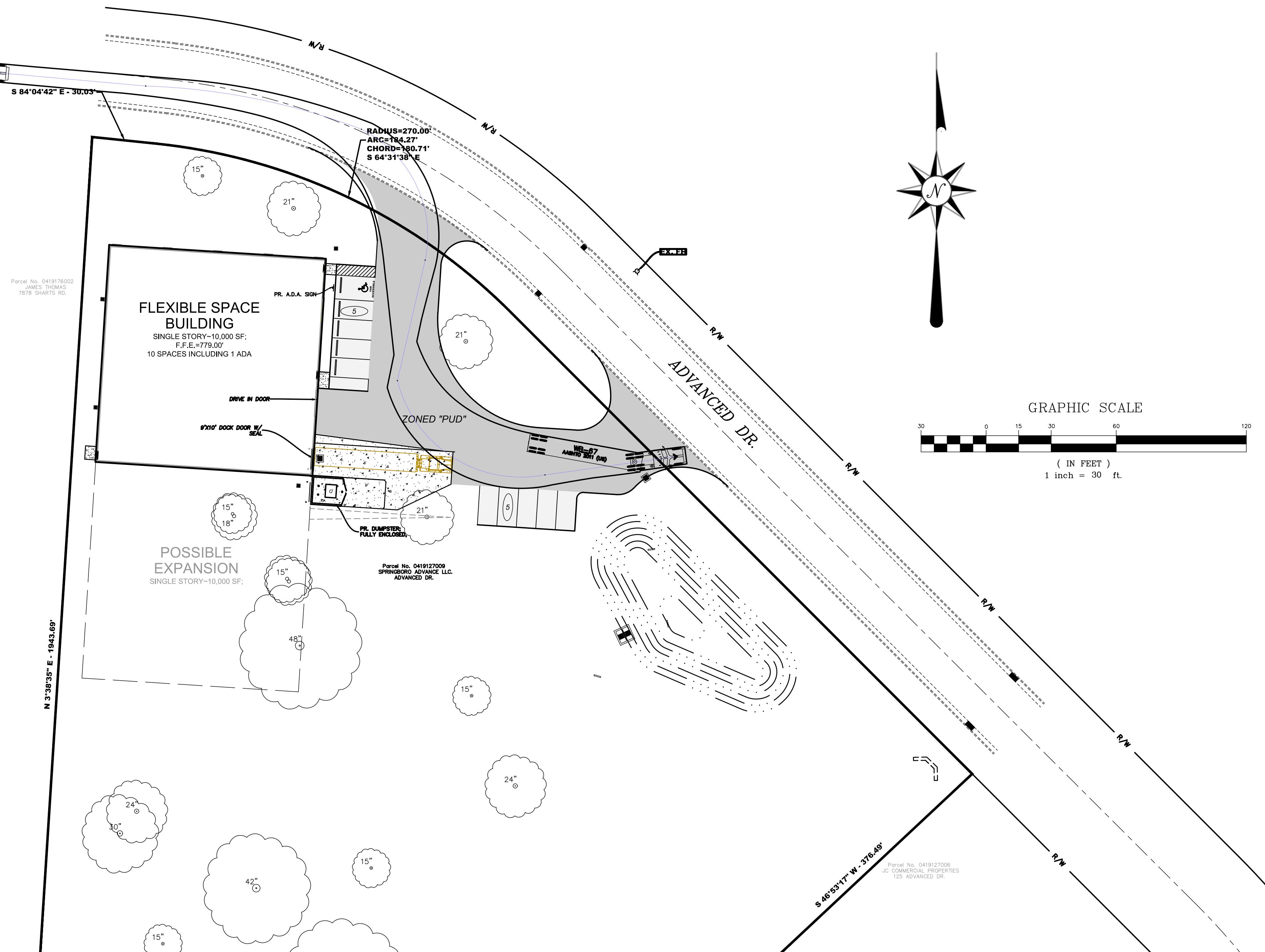
JUNE, 2020

## PROPOSED SITE



LOCATION MAP

PRELIMINARY  
NOT FOR CONSTRUCTION



## DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.  
4779 RED BANK EXPRESSWAY  
CINCINNATI, OH 45227  
JOHN WESTHEIMER

## SURVEYING:

BINZ SURVEYING, LLC  
6547 BROOKS RD,  
HARRISON, OH 45030  
(513)-202-0525  
DANNY BINZ, P.S.

## CIVIL ENGINEERING:

EVANS ENGINEERING  
4240 AIRPORT RD., SUITE 211  
CINCINNATI, OHIO 45226  
(513)-321-2168  
JONATHAN R. EVANS, P.E.

## INDEX:

C-1	TITLE SHEET & GENERAL NOTES
C-1.1	SITE CONSTRUCTION DETAILS
C-2	EXISTING CONDITIONS & DEMO PLAN
C-3	SITE DIMENSION PLAN
C-3.1	UTILITY SERVICE PLAN
C-4	GRADING PLAN
C-5	STORMWATER POLLUTION PREVENTION PLAN

## STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C  
CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4  
CB 2.2 (7-20-2018) CATCH BASIN NO. 3A  
MH 1.2 (1-15-2016) MANHOLE NO. 3  
BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

## CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

## TITLE SHEET & GENERAL NOTES

COMMERCIAL BUILDING  
ADVANCED DR.,  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SHEET NO.  
C-1

SCALE: HORIZ. VERT.  
1"=30' N/A

JOB NO. 20-140  
DATE Jun. 25, 2020

## Utility Notes

THE LOCATION OF UTILITES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, GAS, ELECTRIC, STORM SEWER, TELEPHONE, AND WATER LINES AND/OR SERVICE IS AVAILABLE FOR THE SUBJECT PROPERTY WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS AS SHOWN.

## Legend of Symbols & Abbreviations

◆	LIGHT POLE	▲	SIGN	DS	DOWNSPOUT
FH	FIRE HYDRANT	GV	GAS VALVE	GM	GAS METER
☒	HEATING, VENTILATION AIR CONDITIONING UNIT	CO	CLEANOUT	UP	GUY WIRE UTILITY POLE
	CONCRETE	CB	CATCH BASIN	UP	OVERHEAD UTILITY
CM	COMMUNICATION MANHOLE		OLD WIRE FENCE		
MH	MANHOLE			WM	WATER METER
SV	SPRINKLER VALVE	♿	HANDICAP PARKING SPACE		
WV	WATER VALVE		GUARDRAIL		PARKING STOPPERS
UP	UTILITY POLE				
★	WATER FAUCET	EB	ELECTRIC BOX	EM	ELECTRIC METER
	UNDERGROUND UTILITY	•	BALLARD	↙	ENTRANCE DOOR

## NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "PUD". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF SPRINGBORO ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0017E EFFECTIVE 12/17/2010, THE SUBJECT PROPERTY IS A NON-PRINTED MAP, LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

**EVANS ENGINEERING**  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



# COMMERCIAL BUILDING EXISTING CONDITIONS & DEMO PLAN

ADVANCED DR.,  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

# COMMERCIAL BUILDING INSPECTION CONDITION REPORT

# DEMO PLAN

LE:	HORIZ.	VERT.
	1"=40'	N/A

NO.	20-140	
	Jun. 25, 202	

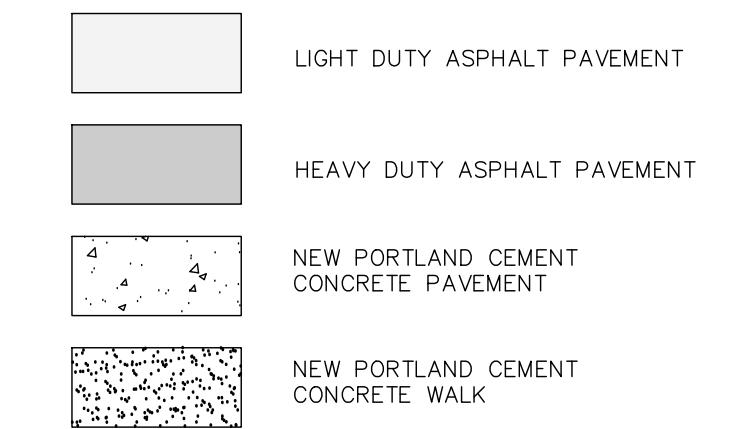
SHEET NO.

C-2





LEGEND-PROP. FEATURES



SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

PROPOSED PARKING	9
ADA ACCESSIBLE	1
TOTAL PARKING	10 SPACES (MIN. 9'X18')

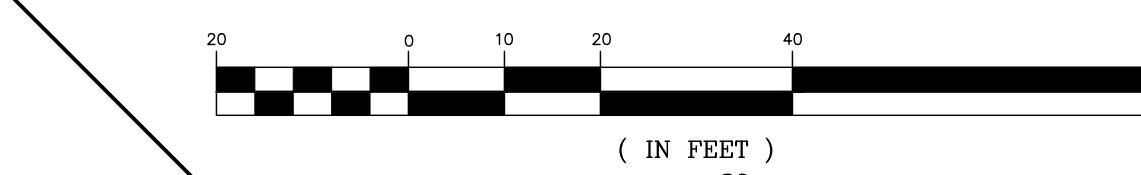
IMPERVIOUS SURFACE RATIO:

LOT SIZE = XXX SF (XX ACRES)  
IMPERVIOUS AREA = XXX SF  
PERVIOUS AREA = XXX SF  
ISR = X.XX

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

GRAPHIC SCALE

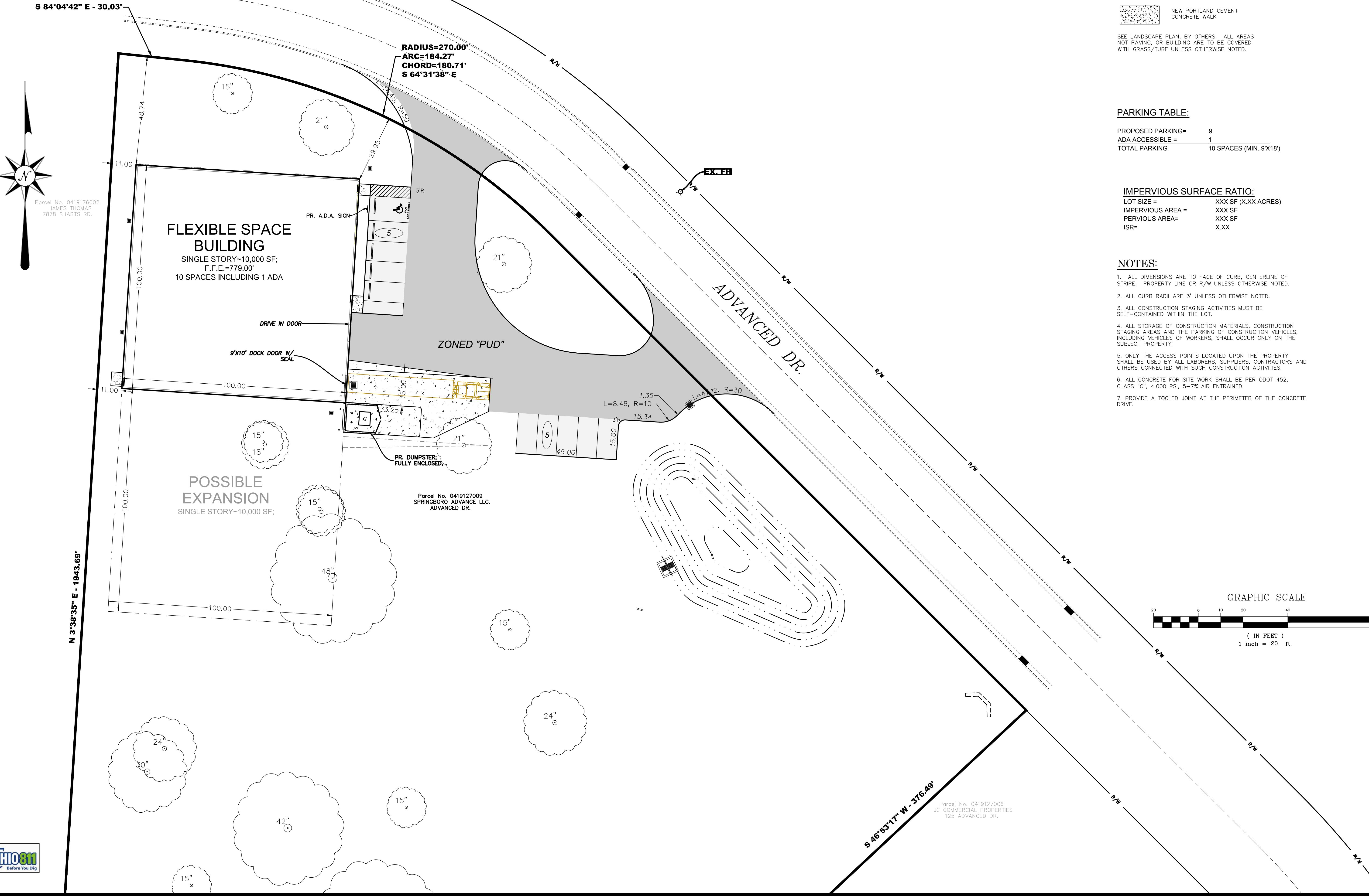


SCALE: HORIZ. VERT.  
1"=20' N/A

JOB. NO. 20-140  
DATE Jun. 25, 2020

SHEET NO.

C-3



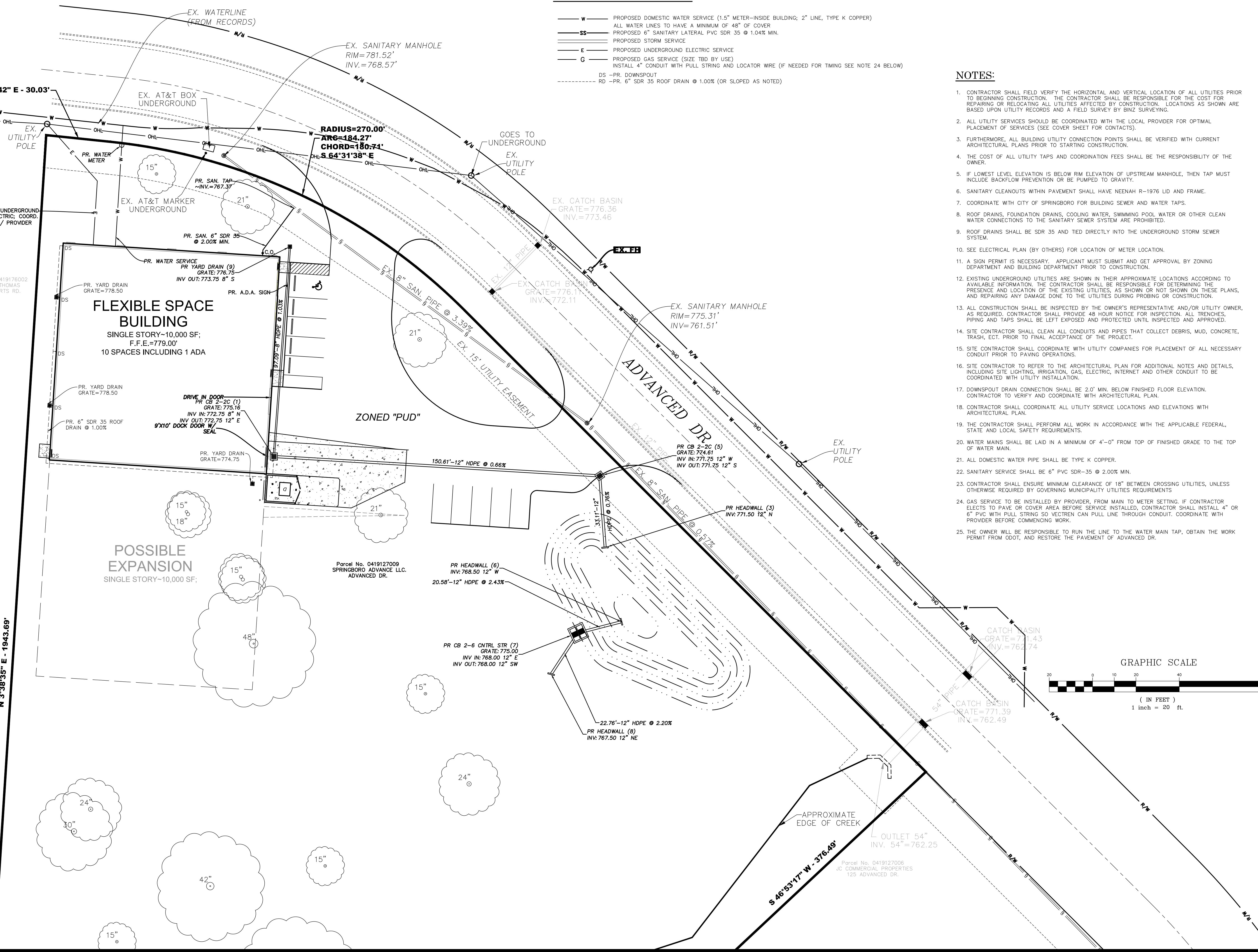


LEGEND-PROP. FEATURES

W	PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING; 2" LINE, TYPE K COPPER)
SS	PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 1.04% MIN.
E	PROPOSED STORM SERVICE
G	PROPOSED GAS SERVICE (SIZE TBD BY USE)
DS	INSTALL 4" CONDUIT WITH PULL STRING AND LOCATOR WIRE (IF NEEDED FOR TIMING SEE NOTE 24 BELOW)
PR. DOWNSPOUT	
RD	PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY B1NZ SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
7. COORDINATE WITH CITY OF SPRINGBORO FOR BUILDING SEWER AND WATER TAPS.
8. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.
24. GAS SERVICE TO BE INSTALLED BY PROVIDER, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO VECTREN CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH PROVIDER BEFORE COMMENCING WORK.
25. THE OWNER WILL BE RESPONSIBLE TO RUN THE LINE TO THE WATER MAIN TAP, OBTAIN THE WORK PERMIT FROM ODOT, AND RESTORE THE PAVEMENT OF ADVANCED DR.



## GRADING LEGEND

TC=TOP OF CURB ELEVATION  
P=FINISHED GRADE (PAVEMENT)  
F =FINISHED GRADE  
TW=TOP OF WALL  
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE  
B/W=EXISTING BACK OF WALL GRADE  
EX.=EXISTING GRADE

## **SPECIAL NOTES:**

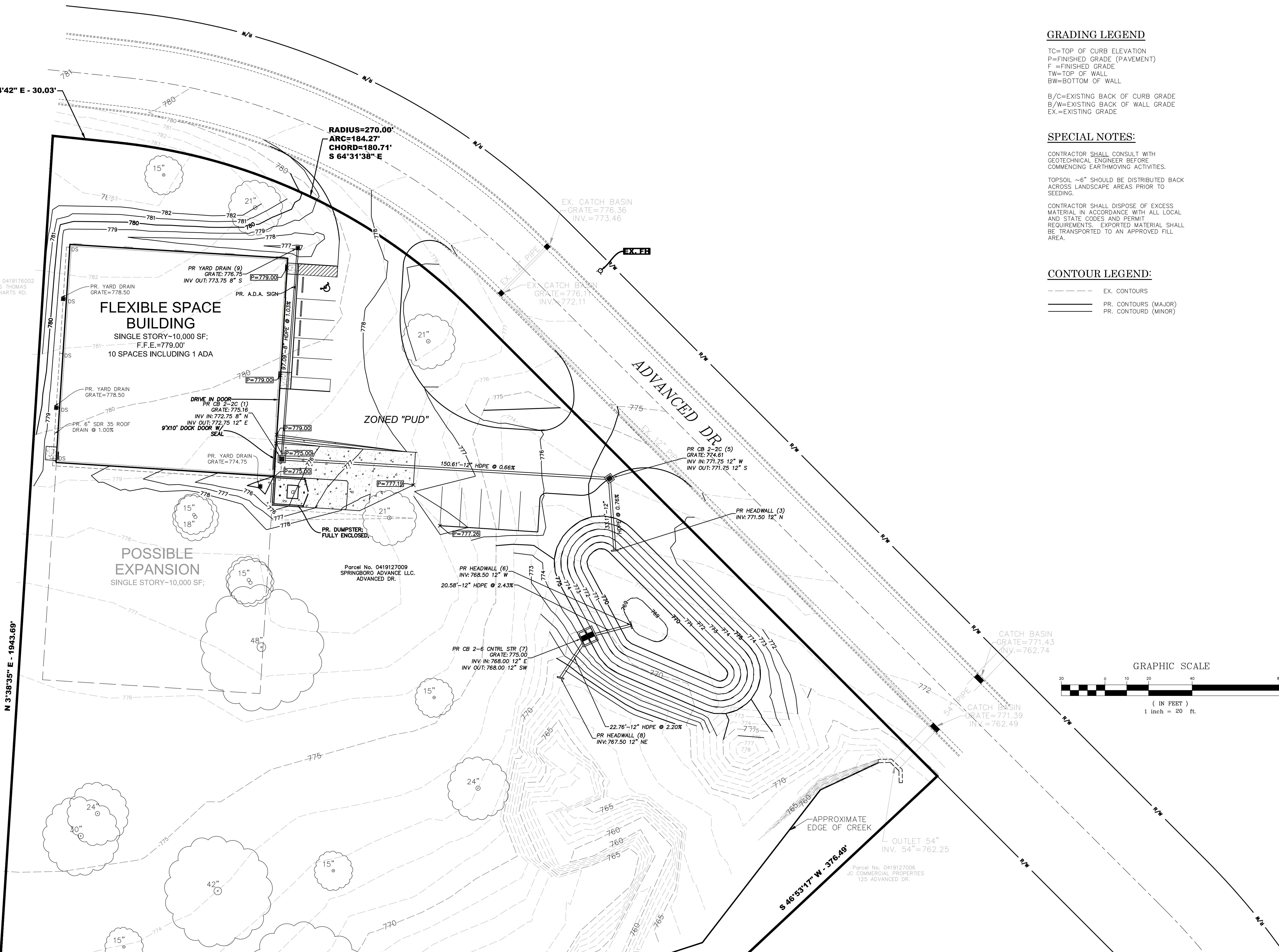
CONTRACTOR SHALL CONSULT WITH  
GEOTECHNICAL ENGINEER BEFORE  
COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

### CONTOUR LEGEND:

— — — — — EX. CONTOURS  
— — — — — PR. CONTOURS (MAJOR)  
— — — — — PR. CONTOURS (MINOR)



DATE	BY	NO. & DESCRIPTION

ALE:	HORIZ.	VERT.
	1 " = 20'	N/A

B. NO.	20-140	
DATE	Jun. 25, 2020	

---

**SHEET NO.**

C-4

## EROSION AND SEDIMENT CONTROL NOTES:

### PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. REQUIRED PRE-CONSTRUCTION MEETING
- B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
- C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
- D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
- E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

### SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR CONTRACTOR IS RESPONSIBLE FOR PULVERIZING OR REMOVING SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

### STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS onto PUBLIC ROADS. ALL MATERIALS DEPOSITED onto PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDGY AREAS OR CLEANED BEFORE LEAVING SITE.

### SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AND EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

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18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

### TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE REMOVED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

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29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE REMOVED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

## TEMPORARY AND PERMANENT SEEDING:

### 1.1 SEEDED PREPARATION:

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL ( $pH=5.5$  OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOIL TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

### 1.2 SEEDING:

#### 1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING AND SUMMER 1. OATS 3 LBS  
2. PEREN. RYEGRASS 1 LBS  
3. TALL FESCUE 1 LBS

FALL 1. PEREN. RYEGRASS 1 LBS  
2. RYE 3 LBS  
3. WHEAT 3 LBS  
4. TALL FESCUE 1 LBS

#### 2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING, SUMMER, AND FALL 1. CREEPING RED FESCUE 0.5 LBS  
DOMESTIC RYEGRASS 0.25 LBS  
KENTUCKY BLUEGRASS 0.25 LBS  
2. TALL FESCUE 1 LBS  
3. DWARF FESCUE 1 LBS

#### 2-1 SEEDING FOR STEEP BANKS OR CUTS

SPRING, SUMMER, AND FALL 1. TALL FESCUE 1 LBS  
2. CROWNFETCH 0.25 LBS  
3. TALL FESCUE 0.50 LBS  
4. FLAT FESCUE 0.50 LBS  
TALL FESCUE 0.50 LBS

#### 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SPRING, SUMMER, AND FALL 1. TALL FESCUE 1 LBS

B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SOIL. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) INCH.

C. TEMPORARY AND PERMANENT SEEDING (CONT.)

C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.

D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.

E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.</p

**Proposed Building For:  
10,000 s.f. Speculative Building**

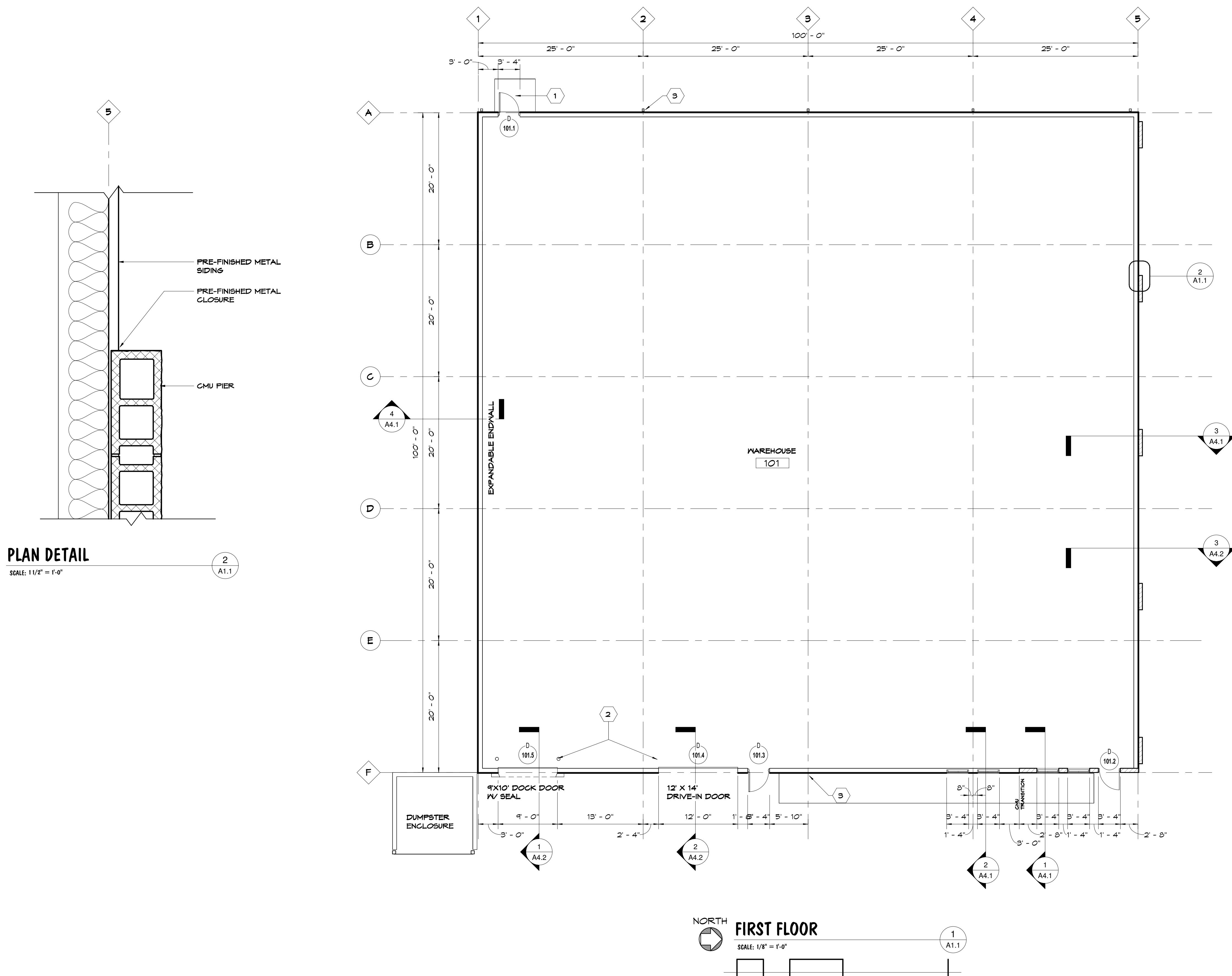
Advanced Drive  
Springboro, Ohio 45066

REV. DATE CK'D

Drawn By:WNS Checked By:  
Preliminary  
Not For  
Construction

Date: 06/24/20 Job No: 20.077

**A1.1**



**Proposed Building For:**  
**10,000 s.f. Speculative Building**  
**Advanced Drive**  
**Springboro, Ohio 45066**

Drawn By:WNS      Checked By:

Preliminary  
Not For  
Construction

Date: 06/24/20 Job No: 20.077

**A1.4**



**LOOKING NORTHWEST**

SCALE: 12" = 1'-0"

1

A1.4



**LOOKING WEST**

SCALE: 12" = 1'-0"

2

A1.4

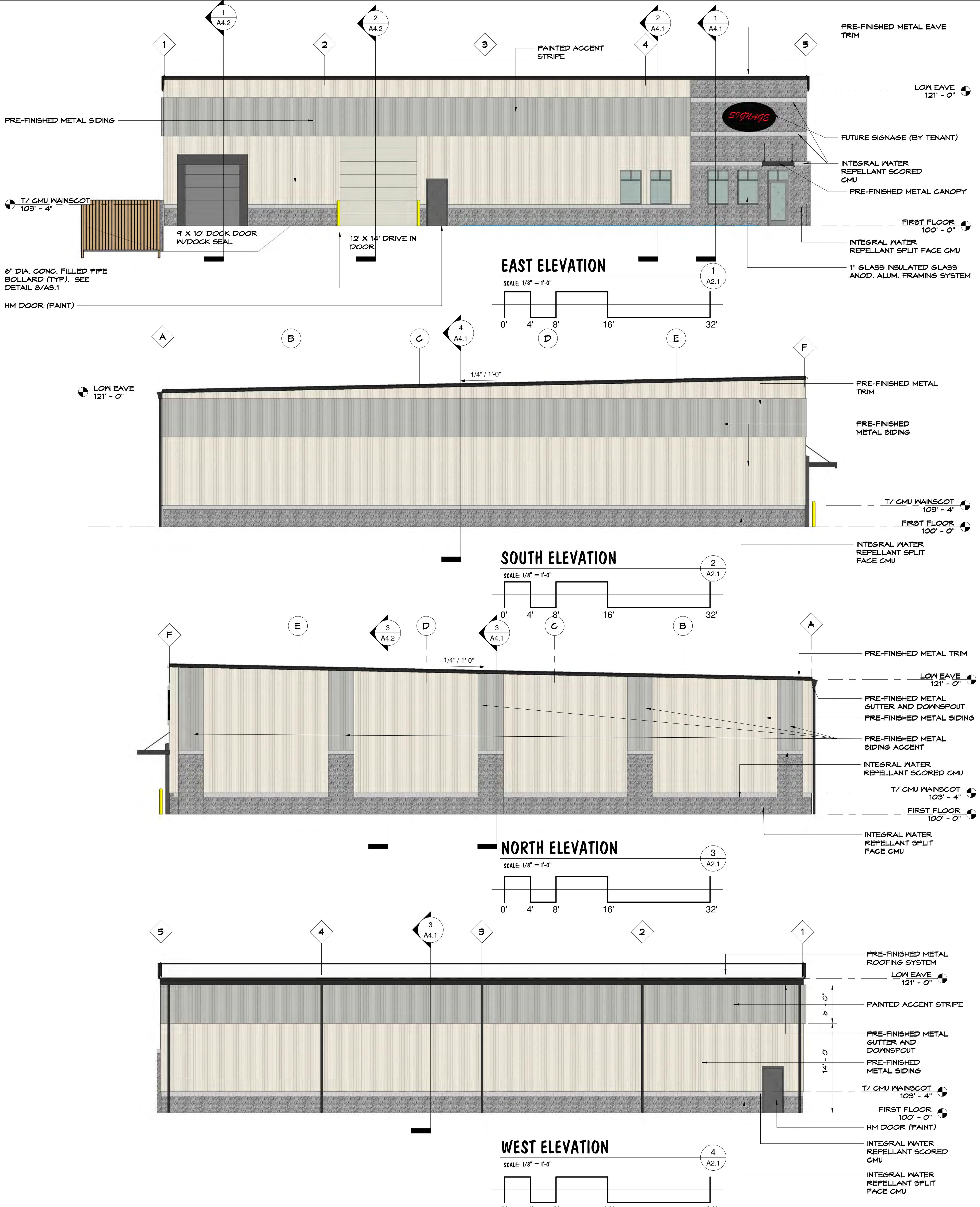
**Proposed Building For:  
10,000 s.f. Speculative Building  
Advanced Drive  
Springboro, Ohio 45066**

REV. DATE CK'D

Drawn By:WNS Checked By:  
Preliminary  
Not For  
Construction

Date: 06/24/20 Job No: 20.077

**A2.1**



# CITY OF SPRINGBORO PLANNING COMMISSION

Application  
Case # \_\_\_\_\_

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

- Owner
- Agent
- Lessee
- Signed Purchase Contract

APPLICANT'S NAME: John M. Roll  
3176 Kettering Blvd.  
Dayton, OH 45439  
Telephone No. (937) 299-4243  
Fax No. (937) 299-3254  
Email Address jroll@rollassoc.com

PROPERTY OWNER'S NAME: Thaler Machine Co.  
Address: 216 Tahlequah Trail  
Springboro, OH 45066  
Telephone No. (937) 550-2400

Address of Property: Edwards Dr./Tahlequah Tr Lot Number: 5  
Existing Use: Vacant lot Zoning District: HBD  
Proposed Use: 10,500 SF Warehouse with Loading Dock

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. Please note that all plans submitted with this proposal must be pre-folded. The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

  
(Signature of Applicant and/or Agent)

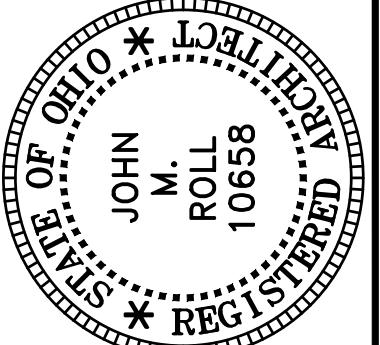
6.26.20  
(Date)



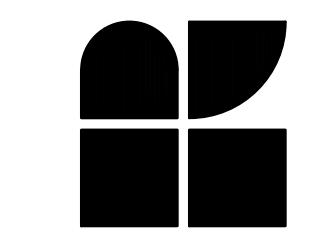
THALER WAREHOUSE



DATE	DESCRIPTION
6-26-20	PLANNING SUBMITTAL
7-2-20	PLANNING SUBMITTAL



**ROLL & ASSOCIATES, INC.**  
ARCHITECTS & PLANNERS  
3176 KETTERING BOULEVARD DAYTON, OHIO 45439  
PHONE (937) 299-3254 FAX (937) 299-4243



**THALER MACHINE COMPANY**  
1195 MOUND RD. MIAMISBURG, OH 45343

PROJECT NO.  
**56083**

PROJECT TITLE

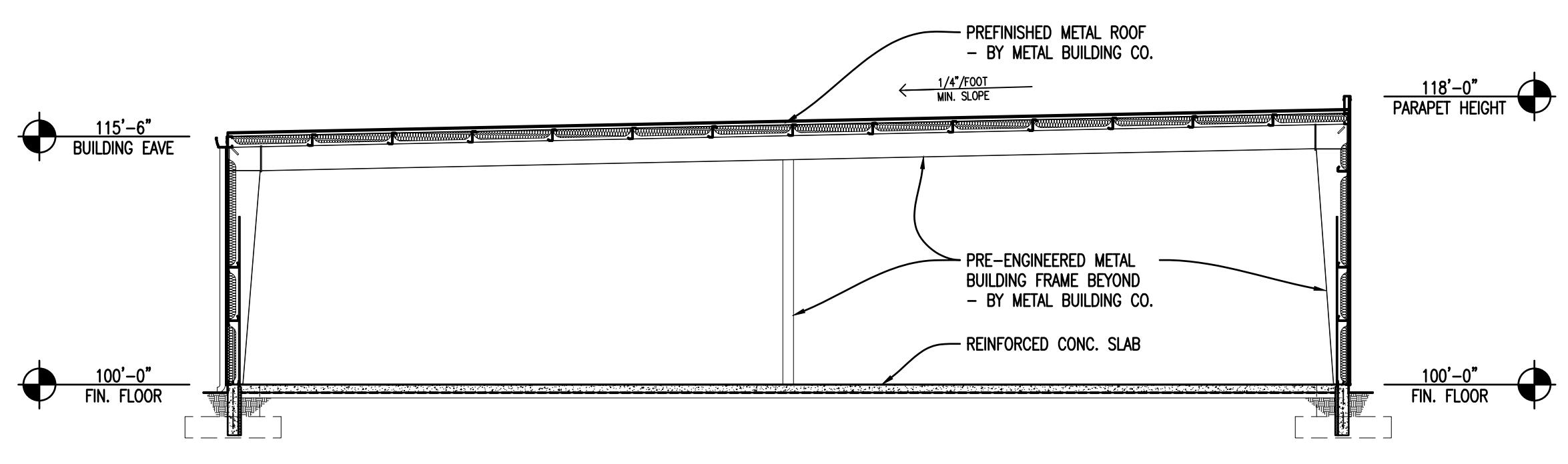
**WAREHOUSE**

DWG. TITLE

**BUILDING  
PLAN**

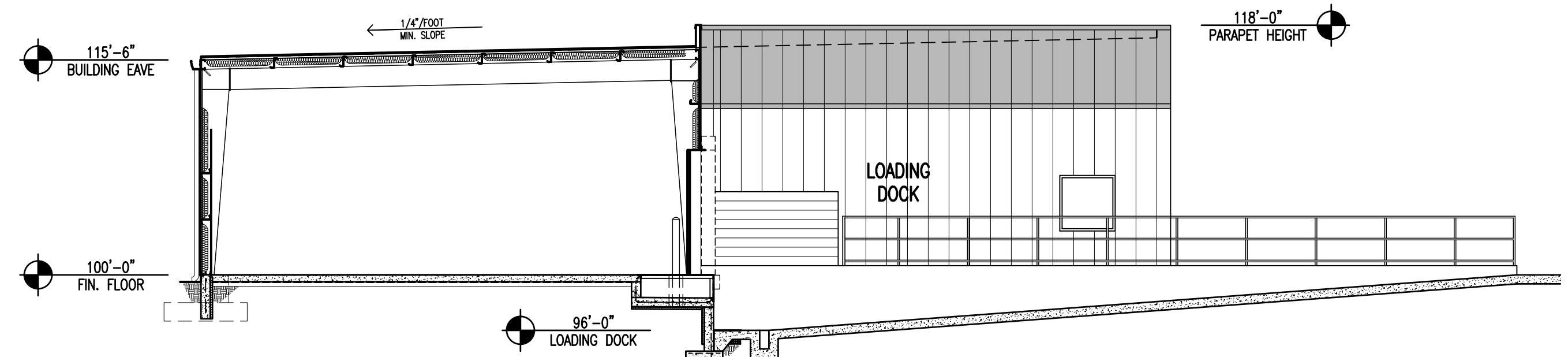
DWG. NO.

**2**



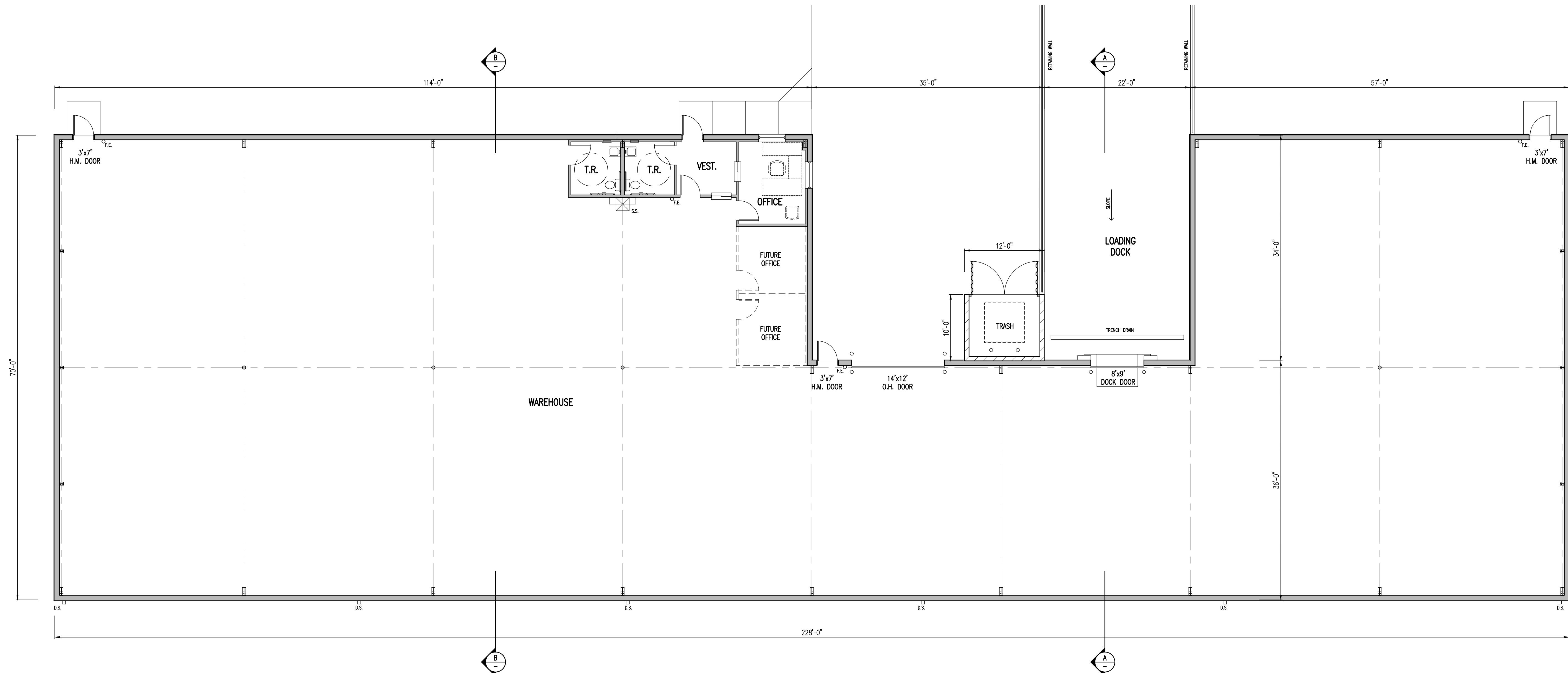
**BUILDING SECTION**

1/8" = 1'-0"



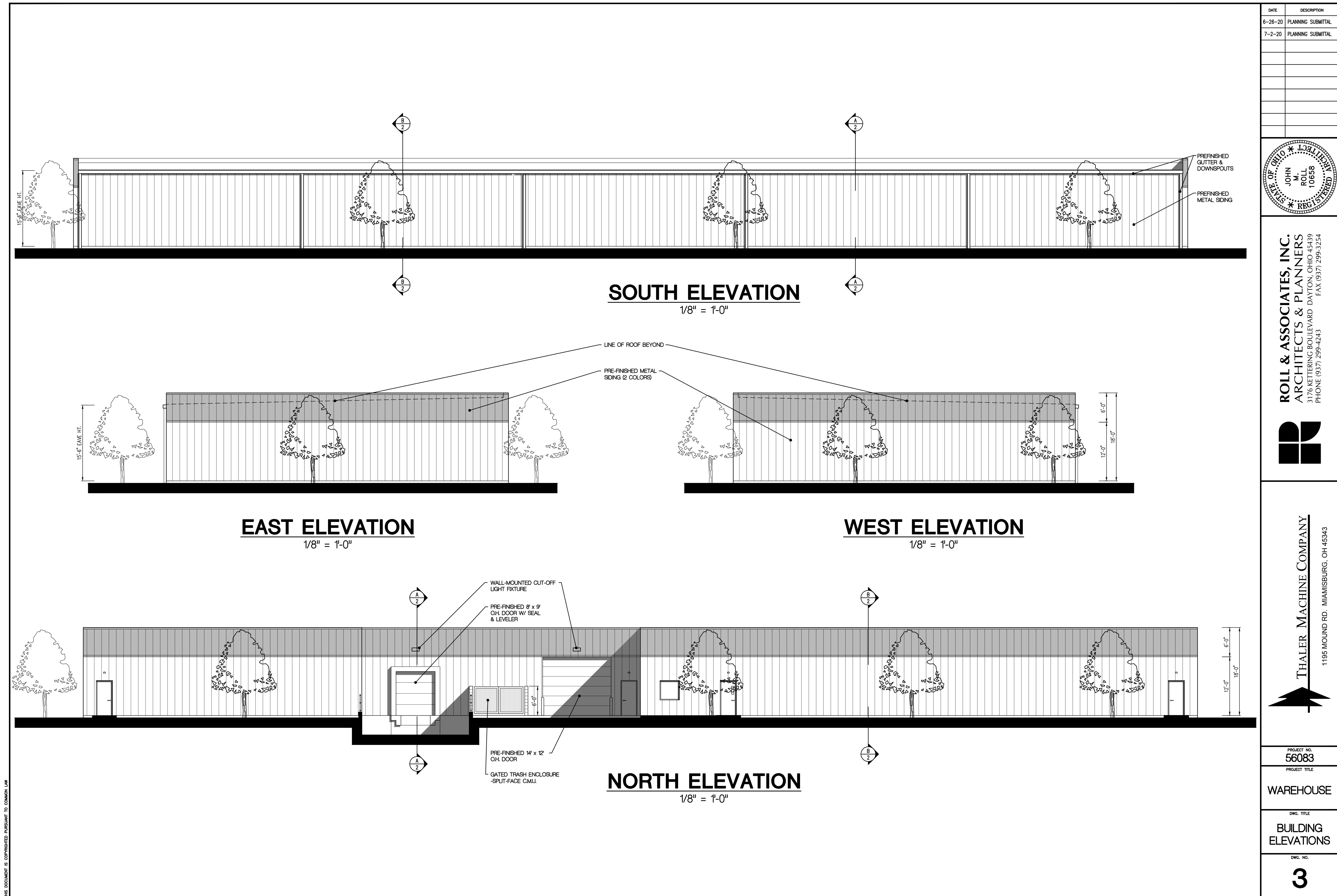
**BUILDING SECTION**

1/8" = 1'-0"



**BUILDING PLAN**

1/8" = 1'-0"



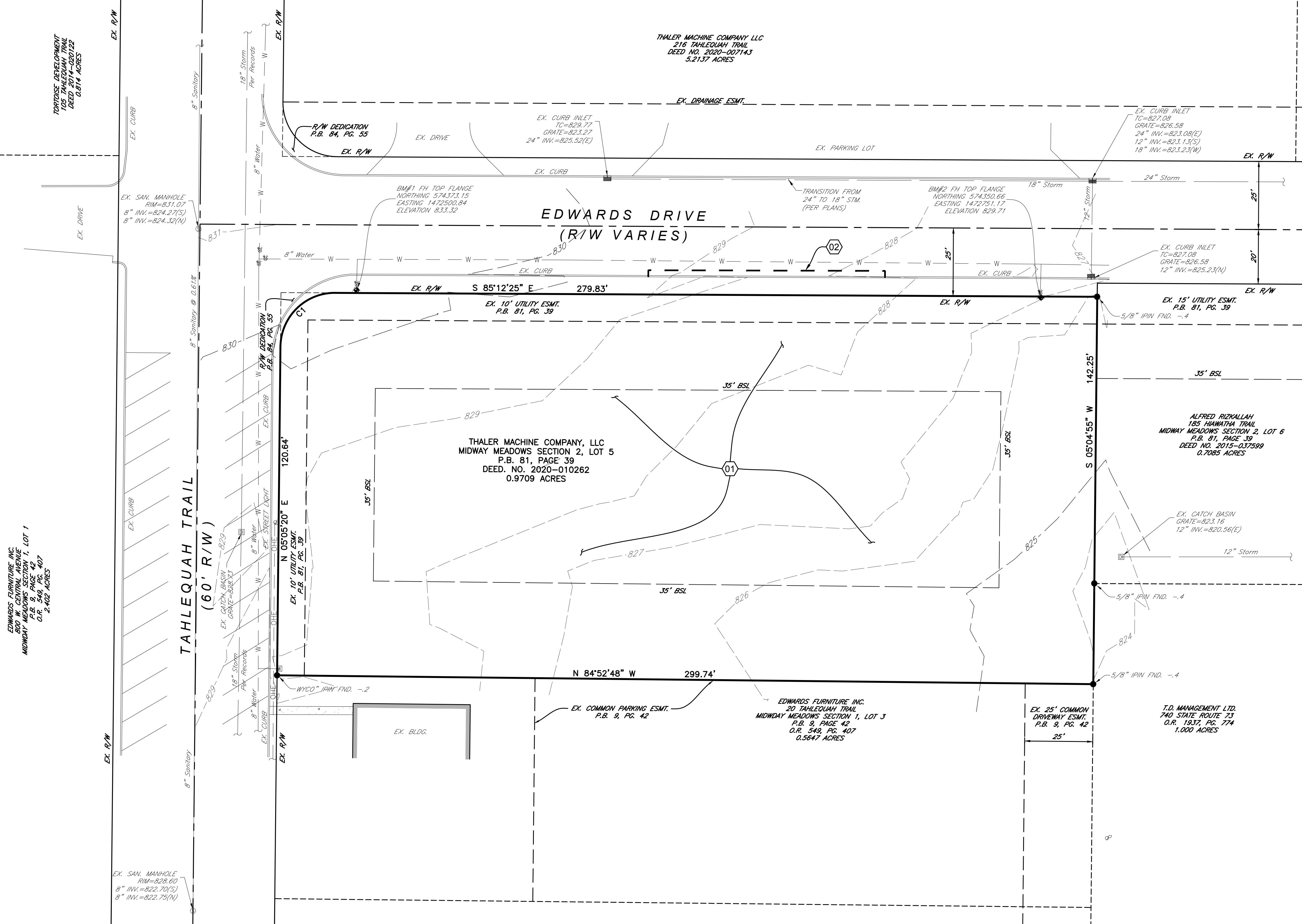
SITE DEVELOPMENT PLANS FOR  
**THALER MACHINE COMPANY LLC**  
LOT # 5, MIDWAY MEADOWS SECTION 2  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

EDWARDS FURNITURE INC.  
200 W. CENTRAL AVENUE  
Y MEADOWS SECTION 1, LOT 1  
P.B. 9, PAGE 42  
O.R. 549, PG. 407  
2.402 ACRES

EDWARDS FURNITURE INC.  
300 W. CENTRAL AVENUE  
Y MEADOWS SECTION 1, LOT 1  
P.R. 9, PAGE 42  
O.R. 549, PG. 407  
2.402 ACRES

no

ow what's below.  
**Call before you dig.**



Owner & Developer  
Thaler Machine Company  
1195 Mound Road  
Miamisburg, Ohio 45343  
937-550-2400

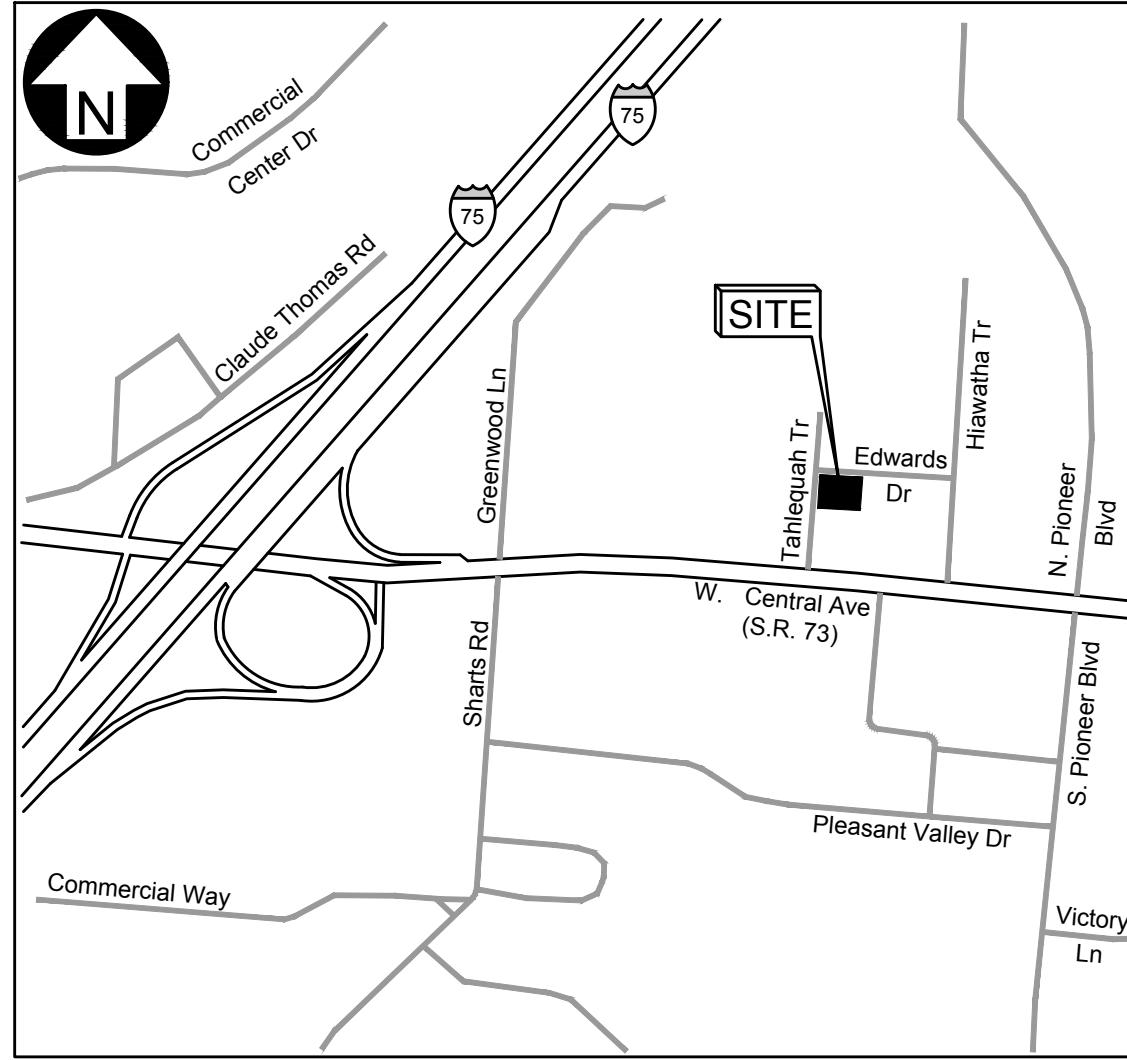
**Civil Engineer**  
Burkhardt Engineering  
Kurt Ziessler, P.E.  
28 North Cherry Street  
Germantown, OH 45327  
937-388-0060

Architect  
Roll & Associates, Inc.  
John M. Roll, A.I.A  
3176 Kettering Boulevard  
Dayton, OH 45439  
937-299-4243

Zoning  
Current Zone: Highway Business District (HBD)  
Min. Lot Area: (Per Planning Commission)  
Setbacks Per ED Zoning:  
Front: 35' From Edwards Drive R/W  
West Side: 35' From Tahlequah Trail R/W  
East Side: 35'  
Rear: 35'

Owner's Signature

Owner Name \_\_\_\_\_ Date \_\_\_\_\_



# VICINITY MAP

NOT TO SCALE

## SHEET INDEX

- C-1.0: TITLE SHEET, EXISTING CONDITIONS, & DEMOLITION PLAN
- C-2.0: SITE PLAN & DETAILS
- C-3.0: UTILITY PLAN
- 
- C-4.0: GRADING PLAN & SOIL EROSION CONTROL PLAN
- C-5.0: STORMWATER MANAGEMENT PLAN

## — DEMOLITION NOTES

1. All work shall strictly comply with all City, State, and Federal regulations and requirements.
2. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
3. All items noted to be removed shall be done as part of the contract for general construction.
4. Remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, gravel fills, tree roots, pipes, etc.
5. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
6. Any disturbance incurred to any adjoining property or within the right-of-way due to demolition or construction shall be restored to the previous condition or better, in accordance with all Local and State Authorities.
7. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor should contact "811", 72 hours before commencement of work and verify all utility locations.

## DEMOLITION KEYNOTES

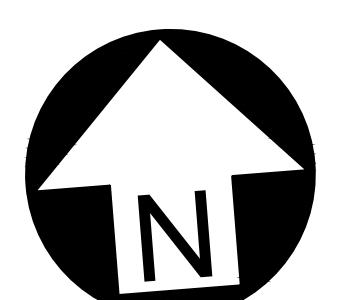
- 01 STRIP AND STOCKPILE TOPSOIL. REFERENCE GEOTECHNICAL REPORT FOR SITE PREPARATION.
- 02 SAWCUT AND REMOVE EXISTING CONCRETE CURB FOR NEW DRIVE — — — SAWCUT LINE

RIGHT-OF-WAY CURVE DATA				
CURVE NO.	RADIUS	ARC LENGTH	CHORD BEARING &	DISTANCE
C1	20.00'	31.31'	N 49°56'27" E	~ 28.21'

## SITE BENCHMARKS

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BM#1: FIRE HYDRANT TOP FLANGE  
ELEVATION = 833.32'  
BM#2: FIRE HYDRANT TOP FLANGE  
ELEVATION = 829.71'

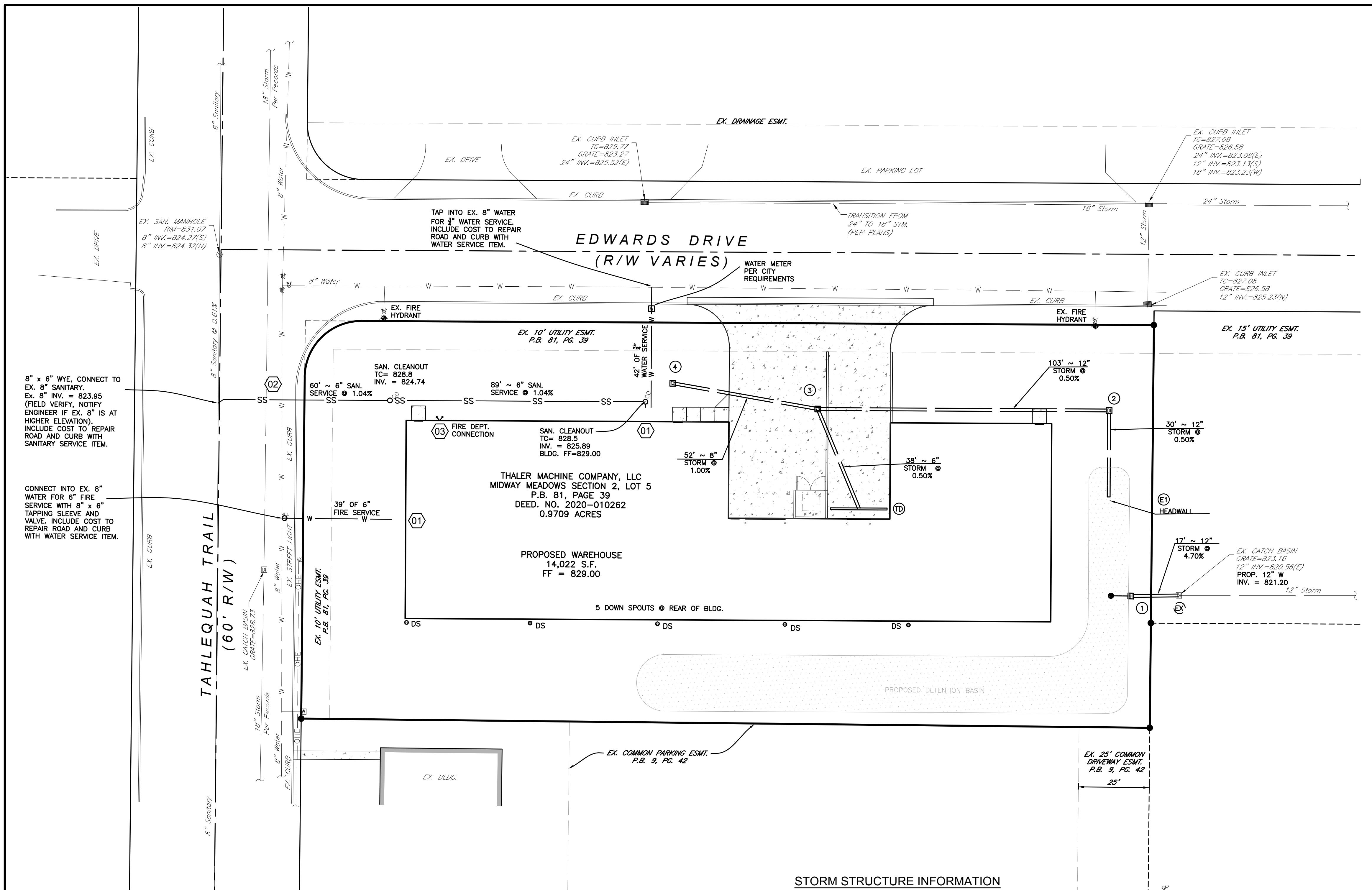


## EXISTING SITE LEGEND

## EXISTING SITE LEGEND

# C-1.0





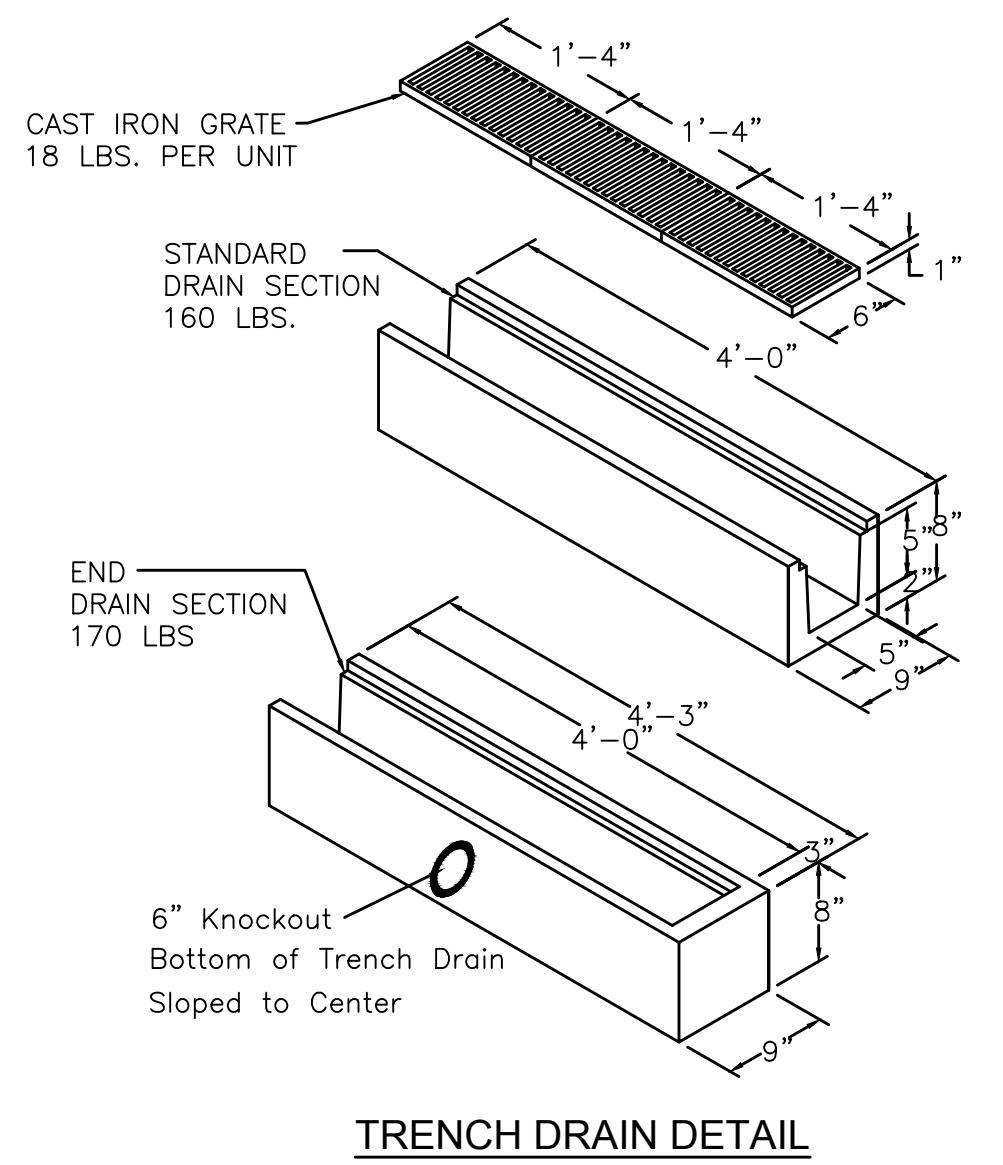
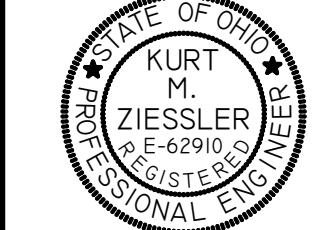
**UTILITY NOTES:**

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- General Contractor to coordinate with the local Utility Companies for all locations and connections. A preconstruction meeting with the various Utility Companies, may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the elevation and location of all utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where sewers cross existing utilities, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact Burkhardt Engineering in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall insure that all Utility Companies and City Standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective Utility Company. The Contractor shall coordinate work to be performed by the various Utility Companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- All valve boxes and curb boxes shall be adjusted to the final grades. All curb boxes shall be located in grassed areas unless indicated otherwise on the plans.
- Sanitary lateral shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All sanitary sewer lines shall be SDR 35 or Schedule 40 PVC pipe with a minimum slope of 1.04%. All PVC pipe shall be installed in accordance with the manufacturer's recommended procedure.
- Remote reader to be installed within building for water service.
- Water service lateral to be Type "K" copper with minimum cover of 4.5'.
- Storm sewer in Right of Way to be Reinforced Concrete Pipe, Class IV
- On site storm sewer shall be Reinforced Concrete Pipe, Class III minimum, or high-density Polyethylene Pipe (ADS N-12 or equivalent).

**BURKHARDT**  
ENGINEERS SURVEYORS  
23 North Cherry Street | Germania, Ohio 45327 | Phone: 937-384-0460 | [BURKHARDT.COM](http://BURKHARDT.COM)  
CIVIL ENGINEERING | NATIONAL RETAIL SITE DEVELOPMENT

**THALER MACHINE COMPANY**  
1195 MOUND RD. MIAMISBURG, OH 45343

DATE	DESCRIPTION
6-26-20	PC SUBMITTAL
7-02-20	REVISED SUBMITTAL



UTILITY LEGEND	
○	WATER VALVE
○	FIRE HYDRANT
○ DS	DOWNSPOUT
○ D	CATCH BASIN
○ C	YARD DRAIN
—	STORM SEWER
— E	ELECTRIC SERVICE
— UST	TELEPHONE LINE
— W	WATER SERVICE
— SS	SANITARY SEWER SERVICE
○ CO	SANITARY CLEAN OUT
○ H	WATER METER, PER CITY STANDARDS

