

Memo

To: Members of Springboro Planning Commission, Elmer Dudas, Development Director, Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary

From: Dan Boron, Staff Liaison

Date: July 24, 2020

Re: Instructions for Wednesday, July 29, 2020 Planning Commission Meeting

The Wednesday, July 29, 2020 BPAC meeting will be conducted remotely by teleconference using Zoom. The meeting will begin at 6:00 p.m., however the virtual meeting room will be available for you to join beginning at 5:45 p.m. Wednesday night.

Meeting materials (agenda, minutes for approval, staff comments, and applications) are included in this packet following these instructions. You may read at your leisure and let me know if you have any questions or comments. In order to make the meeting proceed as smoothly as possible, I ask for any corrections or comments to the meeting minutes to be made before the meeting by emailing Ann Burns at ann.burns@cityofspringboro.com before 4:30 p.m. Wednesday afternoon.

Here is how things will work on Wednesday night:

- 1) Beginning at 5:45 p.m. log on to www.zoom.us. You do this by going to www.zoom.us. (If you have Chrome as an internet browser choice, use that as it seems to work best.)
- 2) Once you are on the Zoom website, click "Join a Meeting" at the top right hand corner, which will bring you to the "Meeting ID" prompt. Enter Meeting ID and click button provided below.
- 3) At this point, it may prompt you to download the Zoom app (if you haven't used Zoom on that laptop / computer before). Download the app and click the .exe file in the bottom left hand corner once it is downloaded.
- 4) Then it may say "Open Zoom". Click "Open Zoom."
- 5) Then it should ask you for a meeting password. Enter meeting password and click Join Meeting.
- 6) Make sure at some point you click the "Join with Video" button. The meeting host will then accept you into the meeting. This may take a few seconds, so don't worry if you aren't joined right away.
- 7) Once you see other members who have joined, click the "Join Audio" on bottom left hand corner of screen and then click "Computer Audio".

8) You should be ready to go!

The City of Springboro is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission Meeting

Time: Jul 29, 2020 05:45 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/82236852483?pwd=UkNVQm50ZVd1NHIXVExtU3hoRHIKZz09>

Meeting ID: **822 3685 2483**

Passcode: **502198**

One tap mobile

+13017158592,,82236852483#,,,,,0#,,502198# US (Germantown)

+13126266799,,82236852483#,,,,,0#,,502198# US (Chicago)

Dial by your location

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

Meeting ID: **822 3685 2483**

Passcode: **502198**

Find your local number: <https://us02web.zoom.us/j/keFKIcDfi3>

Find your local number: <https://us02web.zoom.us/j/kIAIHxV7>

Meeting deliberations will begin at 6:00 p.m. If you are encountering technical difficulties, please let me know by texting me at 937-952-9035, however we will proceed with the meeting with the members present at the regular time. The meeting will be recorded for both sound and video.

If you have any questions regarding the meeting free to reach out to me at 937-748-6183 or danb@cityofspringboro.com. After 5:00 p.m. on meeting night the best way to reach me will be by text or phone at 937-952-9035.

Meeting Agenda
City of Springboro Planning Commission Meeting
Wednesday, July 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 29, 2020 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Approval of Minutes
 - A. June 24, 2020 Planning Commission Meeting
 - B. July 8, 2020 Planning Commission Work Session Meeting
- III. Agenda Items
 - A. Final Development Plan Review, Advance Drive PUD, Planned Unit Development, commercial building
 - B. Site Plan Review, Southeast Corner Edwards Drive and Tahlequah Trail, warehouse building for Thaler Machine
 - C. Preliminary Plan (Stage 2 Approval), 6329 Red Lion Five Points Road, proposed Clearcreek Reserves West residential subdivision
 - D. Planning & Zoning Text Amendment - Combined Meetings
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, June 24, 2020

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. by video conference.

Present: Mark Davis, Chris Pearson, Robert Dimmitt, John Sillies, Becky Iverson and Becky Hartle.

Staff: Dan Boron, City Planner; Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary. Also present was Norm Cox, The Greenway Collaborative

Mr. Dimmitt motioned to excuse Mr. Harding. Ms. Hartle seconded the motion.

Vote: Iverson, yes; Pearson, yes; Sillies, yes; Davis, yes; Hartle, yes; Iverson, yes (6-0)

II. Approval of Minutes

A. May 27, 2020 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes.

There were none.

Mr. Pearson motioned to approve the May 27, 2020 Planning Commission minutes as submitted. Mr. Dimmitt seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle, yes. (6-0)

B. June 10, 2020 Planning Commission Work Session Minutes

Mr. Dimmitt motioned to approve the June 10, 2020 Work Session minutes as submitted. Ms. Hartle seconded the motion.

Vote: Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle, yes; Pearson, yes (6-0)

III. Agenda Items

A. Approval of the Bicycle & Pedestrian Plan Draft Report

Background Information & Staff Comments

City staff is requesting that the Planning Commission approve a recommendation to City Council to adopt the Bicycle & Pedestrian Plan with amendments. The plan report paper copy distributed prior to the June 10th work session is still current less the amendments listed here.

The plan can be found at <https://walkbike.info/springboro/plan/>. This item that was reviewed at the June 10th work session. The amendments are as follows:

Amendment #1. During the June 10th work session review, a recommendation was made to amend the policy "Establish Citizen Support Groups" on page 55 to incorporate adoption and friends of programs to capitalize on the interest shown by companies located in Springboro on the proposed trails. The following text is recommend for that policy:

Establish Citizen Support Groups

For natural area preservation work, specialized bicycle facilities, and trails, establish citizen and corporate "adoption" and "friends of" programs to help improve and maintain the parks and facilities. The City should promote and recognize these groups and provide the volunteers and organizations with the tools and resources they require for their volunteer efforts.

Amendment #2. The second amendment is in part an infrastructure recommendations carried over from the 2013 plan. On Lytle-Five Points Road, adding crosswalks with Rectangular Rapid Flash Beacons (RRFBs), the same crossing designs as those installed on South Main Street at the Market Street and South Street intersections was recommended in the May 15th draft report for the intersection of Country Club Lane, and coincides with the resurfacing/restriping project on Lytle-Five Points Road east of the Settlers Walk subdivision that will occur shortly.

The recommendation is to add two additional RRFB crossings to the west. The first is at Tanglewood Lane/Great Oak Drive, a proposal that was in the 2013 plan but was left off the 2020 plan to this point in time. This proposal would be beneficial in connecting Settlers Walk to the signed bike route on Tanglewood Lane that connects ultimately to SR 741. The second RRFB crossing is new and is proposed for the Settlers Walk Boulevard/Innsbruck Lane intersection. Again, this change would improve connections between Settlers Walk and areas to the south by way of Woodland Greens Boulevard. The amendment would read as follows:

On Lytle-Five Points Road, add crosswalks with Rectangular Rapid Flash Beacons (RRFBs) at the intersections with Tanglewood Drive/Great Oak Drive and Settlers Walk Blvd/Innsbrook Lane. This change would be reflected on pages 39-41, and on the large Proposed Network & Plan map.

Staff Recommendation

City staff recommends approval of a recommendation to adopt the Bicycle & Pedestrian Plan, May 15, 2020 draft with the amendments discussed above

Discussion:

Mr. Boron briefly reviewed the minor changes recommended by Norm Cox at the last work session meeting. One is a revision on page 55 regarding the adoption of "friends of" programs as part of the recreational trails within parks and other facilities of the plan recommendations. He explained the other amendment the recommendation for two (2) additional crossing with flashing beacons on Lytle-Five Points Road. One is already shown in the plan at Greenleaf Village, staff is recommending additional

locations at the Great Oak Drive/Tanglewood Drive and also Settlers Walk Boulevard/Innsbrook Lane intersections.

This recommendation will be forwarded to City Council at their July 2nd meeting for adoption.

Mr. Pearson thought these were good revisions, noting that the crossing Lytle-Five Points Road can be difficult at times.

Ms. Iverson thanked staff as well as Norm Cox for all their work on this plan and is very pleased that Springboro is bike and pedestrian friendly.

Ms. Iverson asked for a motion to approve the Bicycle & Pedestrian Plan Draft Report

Mr. Davis motioned to approve. Ms. Hartle seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes, (6-0)

IV. Guest Comments

There were no guest comments.

V. Planning Commission and Staff Comments

Mr. Boron noted that Mr. Cox would be attending the City Council meeting on July 2nd to present the plan recommendations and to address any questions that could come up.

Mr. Boron reported there are currently two agenda items for the July 8th Planning Commission meeting, which will still be conducted as a Zoom meeting. There will also be a staff recommendation on the combine meeting text amendment. The packets will be distributed on Thursday, July 2nd due to the observed July 4th holiday and City offices being closed July 3rd.

Mr. Davis asked if the possible combined meetings is one of the agenda items for next time.

Mr. Boron confirmed that is the text amendment he was referring to.

Adjournment

Mr. Davis motioned to adjourn the June 24, 2020 Planning Commission Regular Meeting at 6:11 p.m. Ms. Hartle seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes, (6-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Work Session
Wednesday, July 8, 2020, 6:00 p.m.

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Work Session to order at 6:00 p.m. by video conference.

Present: Chris Pearson, Robert Dimmitt, John Sillies, Steven Harding, Becky Iverson, Becky Hartle, and Mark Davis.

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer; and Ann Burns, Planning Commission Secretary.

II. Agenda Items

A. Final Development Plan

Advanced Drive PUD, Planned Unit Development, proposed commercial building

Background Information

This agenda item is an application for final development plan approval for a site located in the Stolz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Provide a color rendition of proposed building elevations.
2. Indicate proposed exterior materials for proposed dumpster enclosure.
3. Indicate number employees at maximum shift for the purposes of determining the off-street parking requirement for the building/site.
4. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
5. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
6. Provide lot line information in vicinity of improvements.
7. Provide additional storm sewer details such as catch basin type.
8. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
9. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
10. Water meter to be located inside of building.
11. Provide spot elevations throughout parking lot.
12. Revise sheet C-5 to include dandy bags on all storm sewer structures.
13. Provide detention calculations for review.
14. Change title block from Franklin Township to Clearcreek Township.
15. Revise plat according to Warren County review comments, if any.
16. The Clearcreek Fire District has no comments at this time.

Discussion

John Westheimer and Dalton Witham, both with Cincinnati Commercial Contracting, owner and developer, and Jonathan Evans, Evans Engineering, were present for this agenda item.

Ms. Iverson asked City staff to provide background on this agenda item.

Mr. Boron briefly reviewed the background on the project, noting that the owner proposes to build a 10,000-square foot flexible space light industrial building, with a possible expansion up to 20,000 square feet. He added that these plans were consistent with all zoning requirements for the site.

Mr. Westheimer stated they were prepared to move ahead with this project as soon as possible following the Planning Commission's review.

Mr. Boron stated that the applicant is requesting this item be on the Council agenda for formal adoption at the July 29th meeting, which is acceptable, providing they meet the deadline for submissions. That would include additional details on lighting, landscaping, and additional work on storm water details.

Staff and the Commission had no objections to moving forward.

B. Site Plan Review

Southeast Corner Edwards Drive and Tahlequah Trail, commercial building for Thaler Machine

Background Information

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Integrity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
2. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
3. Sanitary lateral to have minimum 2% slope.
4. Obtain easement from adjacent property owner for storm sewer connection.
5. Water meter to be set inside of building.
6. The Clearcreek Fire District has no comments at this time.

Discussion

John Roll of Roll & Associates, project architect, and Kurt Ziessler, Burkhart Engineering, project civil engineer, was present for this agenda item.

Ms. Iverson asked City staff to provide background information on this agenda item.

Mr. Boron reported that City staff has been working with Mr. Roll and his team on this request for some time, a proposals to construct of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail.

Thaler's main operation is on the north side of Edwards Drive. He noted that this property is zoned HBD, Highway Business District, a zoning category that permits the proposed use.

Mr. Roll stated that the original plan was for 10,500-square foot building, but the owner recently decided to increase the size to 14,000 square feet. The company is in need of this expansion, and they agree to work out all issues mentioned in the staff comments.

Mr. Ziessler noted they will also be working on resolving the issues regarding the storm water easement related to the nearby car wash.

Mr. Davis asked if there was any additional parking needed, or just the proposed loading docks.

Mr. Roll confirmed the existing parking was sufficient.

Mr. Boron added that Thaler is a significant employer to the City who works with aerospace and military production. This building will replace several storage trailers that are currently being used to store bulk materials for their customers.

Mr. Boron stated that this applicant is also requesting this item be on the Council agenda for formal adoption at the July 29th meeting, which if acceptable, providing they meet the submission deadline.

Staff and the Commission had no objections to moving forward.

C. Discussion

Planning & Zoning Code Text Amendment, combined meetings

Background Information & Staff Recommendation

This agenda item is picking up on a discussion that was last addressed at the May 13th work session, text amendments that would result in the consolidation of the Planning Commission meeting into a single meeting each month. Following a review of the Planning & Zoning Code by City staff, and discussions with the Law Director Jerry McDonald, City staff is recommending a proposal that is largely similar to the one proposed where things left off in May.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project

on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

Following discussion of this recommendation at the July 8th work session, a formal recommendation may be made at the July 29th meeting. We can begin the process of planning how we would like to compose future combined Planning Commission meetings—scheduling, deadlines, the meeting agenda format, and more.

Proposed Text Amendments to Accommodate Combined Meetings

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

Section 1284.04, Submission of a Site Plan

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.
- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed **on a preliminary basis** at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement ~~for a preliminary review for a work session~~. Each site plan shall be submitted **in compliance with the deadlines established by the Director of Planning** ~~at least 12 days in advance of the Planning Commission work session~~

meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)

- (f) Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval. Each site plan must be submitted in compliance with the deadline established by 19 days prior to the regular Planning Commission meeting unless modified by the Director of Planning Director.

Section 1284.05, Site Plan Contents

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require ~~fewer other~~ details for the site plan to be reviewed ~~at the Work Session~~ in the course of its review.

Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses

The Planning Commission shall review the site plan and the reports of City staff at a ~~Work Session~~ meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning ~~not later than 12 days after the site plan submission deadline (see Table 10 at the end of this chapter).~~ At the ~~Work Session~~ preliminary review, the Planning Commission shall ~~schedule~~ determine if formal review of the site plan is appropriate at its next ~~regular meeting to take place at least 16 days after the Work Session~~ if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;

- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

Section 1282.04, Organization & Responsibilities, Planning Commission

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.

Discussion

Mr. Boron explained that the text changes presented today are largely the same as the May 13th work session. Jerry McDonald, Law Director, has thoroughly reviewed these text changes, and they are all outlined above in the staff comments.

Mr. Boron reviewed an additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process. These proposed changes will reduce the number of meetings and allow for flexibility for unforeseen circumstances.

Mr. Pearson asked how it is determined if a submission is preliminary or formal.

Mr. Boron explained that it will be up to the Planning Commission and they can require some items to require a second review. He provided one example that a re-zoning request would require a preliminary review.

Mr. Boron noted that there are still some minor unresolved questions such as which week of the month to hold the meetings, and when to start the new schedule. There was further discussion about these details.

Ms. Iverson pointed out the importance of not delaying the applicants.

Mr. Boron noted that he will work together with the Clerk of Council on coordinating the schedule with City Council on adoption of the text change.

Staff and the Planning Commission had no objections to moving forward and placing this on the agenda for a recommendation to City Council at the July 29th meeting.

II. Guest Comments

There were no guest comments. No comments were received by the deadline for incorporating guest comments.

IV. Planning Commission and Staff Comments

Mr. Boron noted that Preliminary Plan (Stage 2 Approval), 6329 Red Lion Five Points Road, proposed Clearcreek Reserves West residential subdivision will also be on the agenda for the July 29th meeting.

Mr. Boron announced that the Annual Planning & Zoning Workshop in December has been cancelled, with no virtual option proposed. We'll investigate other ongoing training options for Planning Commission.

V. Adjournment

Ms. Iverson adjourned the Wednesday, July 8, 2020 Planning Commission Work Session at 6:36 p.m.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting—Conducted by Conference Call (Zoom)
Wednesday, July 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 29, 2020 work session via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6.1> for a link to connect to the meeting.

III. Agenda Items

A. Final Development Plan

Advance Drive PUD, Planned Unit Development, new commercial building

Background Information & Staff Comments

This agenda item is an application for final development plan approval for a site located in the Stolz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

This agenda item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting agenda for formal adoption. No City Council action is required on this agenda item.

Staff Recommendation

City staff recommends APPROVAL of the site plan for the proposed site plan subject to the following conditions:

1. Regarding the proposed lighting plan, staff has the following comments:

- a. Proposed wall pack lighting is not acceptable. Coordinate with City staff on an acceptable fixture.
 - b. Verify if lighting fixtures proposed comply with maximum 3500° Kelvin color-temperature standard.
2. Provide lot line information in vicinity of improvements.
3. Provide additional storm sewer details such as catch basin type.
4. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
5. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
6. Revise Sheet C-3.1 to state water meter to be located inside of building.
7. Provide spot elevations throughout parking lot.
8. Revise sheet C-5 to include dandy bags on all storm sewer structures on site.
9. Detention calculations currently under review.
10. Final approved site plan shall be submitted and to include signature of the owner or duly authorized officer and revisions from staff comments and planning commission.
11. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
12. Clearcreek Fire District has no comments at this time.

B. Site Plan Review

Southeast Corner Edwards Drive and Tahlequah Trail, warehouse for Thaler Machine

Background Information & Staff Comments

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Integrity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

This agenda item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting agenda for formal adoption. No City Council action is required on this agenda item.

Staff Recommendation

City staff recommends APPROVAL of the site plan for the proposed site plan subject to the following conditions:

1. Provide a photometric analysis of the lighting proposed for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code. Indicate if lighting complies with maximum 3500° Kelvin color-temperature standard.
2. Sanitary lateral to have minimum 2% slope.
3. Obtain private storm sewer easement from adjacent property owner for storm sewer connection prior to occupancy permit.
4. Water lateral to be minimum 1", with curb box behind curb.
5. Final approved site plan shall be submitted and to include signature of the owner or duly authorized officer and revisions from staff comments and planning commission.
6. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
7. The Clearcreek Fire District has no comments at this time.

C. Preliminary Plan (Stage 2 Approval) of Subdivision 6329 Red Lion-Five Points Road, proposed Clearcreek Reserve West subdivision

Background Information & Staff Comments

This agenda item is an application for preliminary plan approval through the City of Springboro's subdivision review and approval process included in Chapter 1242 of the Planning & Zoning Code. This application was filed on behalf of Headwaters Capital, LTD, Springboro, and proposes the development of an 11-unit, single-family residential subdivision on a 34.1-acre site located at 6329 Red Lion-Five Points Road. The working title of the subdivision is Clearcreek Reserve West. The property is also commonly known as the Conover property.

The subject property has frontage on Red Lion-Five Point Road and is located immediately adjacent to the Heatherwoode community north of the intersection of Red Lion-Five Points Road and Balcomie Way. The subject property is situated between the Heatherwoode subdivision in Springboro to the west and the Clearcreek Reserve subdivision in Clearcreek Township to the west. A number of single-family residential homes are also located adjacent to the subdivision on the east side of Red Lion-Five Points Road. A vicinity map is included with the meeting materials.

The subject property is zoned R-1, Estate-Type Residential District, a zoning designation that permits single-family residential development at the rate of 2 dwelling units per acre on lots with a minimum size of 20,000 square feet. The R-1 District also allows public and semi-public uses such as churches and schools, accessory uses, and other land uses.

The property has been zoned R-1 District since 2015. At that time the City of Springboro rezoned this and roughly 20% of the City's land area from (T)R-1, Clearcreek Township Rural Residence District (and area of Franklin Township Rural Residence District), in order to bring land development regulations for the entire community under the City's codes. The property was zoned (T)R-1 District from the time it was annexed in 1991. The two districts have the same 2 dwelling unit per acre development density/20,000 square foot minimum lot size.

The density for the proposed subdivision is 0.35 dwelling units per acre. For comparison purposes the adjacent Heatherwoode subdivision was developed, excluding golf course property and other open space areas not on the golf course, at 2.1 dwelling units per acre. As proposed the subdivision includes 11 single-family residential lots ranging in size from 1.25 acres in proposed lot #1, to 8.03 acres in proposed lot #11. The average lot size is 3.01 acres. The subdivision proposes the dedication of 0.96 acres of right-of-way in the form of an un-named, proposed cul-de-sac that accessed lots 4 through 11. Lots 1 through 3 will be accessed directly from Red Lion-Five Points Road. No common space is proposed as part of the development. Lots will be served by City of Springboro water and on-site septic. A 10-foot multiuse side path is proposed for the Red Lion-Five Points frontage.

Adjacent land uses include a mix of farmland, low-density residential, and the Heatherwoode Golf Course. Heatherwoode Golf Course holes #5 and #6 are located to the west and northwest of the subject property, and residential home sites in Heatherwoode are located to the southwest on Nairn Court and Royal Highlands Court. To the north on the north side of Clear Creek is an active farm. To the east is the developing Clearcreek Reserves subdivision as well as single-family residential on the east side of Red Lion-Five Points Road, both in Clearcreek Township.

Clear Creek forms a portion of the northern boundary of the property. The northern portion of the property includes floodway and 100- and 500-year flood zones from the creek.

Adjacent zoning includes to the west PUD, Planned Unit Development (Ordinance O-90-13) associated with the Heatherwoode Golf Course and the adjoining residential subdivision, and PUD-R, Planned Unit Development-Residential (Ordinance O-07-13), associated with farmland located to the north of the subject property. Zoning for the sites to the east in Clearcreek Township are zoned SR-1, Suburban Residence Zone, and R-1, Rural Residence District.

Preliminary plan review is the second stage in the subdivision review process that includes (1) concept plan between the applicant and City staff, (2) preliminary plan, and (3) record plan. Preliminary plan review and approval follows concept plan review and approval which takes place between the applicant and City staff, focusing on compliance with the City's subdivision regulations that manage the manner in which private property is developed (the design of streets and lots, utilities, connections to other development, etc.) as well as compliance with Planning & Zoning Code requirements (minimum lot sizes, setback, etc.). This conventional subdivision review with no rezoning requested is similar to the Sawgrass Pointe subdivision review initiated by Associate Construction in 2018.

The developer has indicated their intention, following approval of the preliminary plan, to develop lots 1-3 in the near term.

This item was reviewed on a preliminary basis at the June 10th work session at which time the Planning Commission authorized this to be place Approval of the preliminary plan by Planning Commission may take place at a regular business meeting following review at a work session. That may take place as soon as the July 29, 2020 Planning Commission meeting. No City Council review is required. Following preliminary plan review and approval a record plan may be submitted by the application for review and approval by the Planning Commission and City Council.

Staff Recommendation

City staff recommends APPROVAL of the preliminary plan for Clearcreek Reserve West subject to the following conditions:

1. Development to comply with R-1 District design and development standards including but not limited to setbacks, height, lot coverage, frontage, minimum lot size, etc.
2. Architectural plans to comply with Planning & Zoning Code Section 1264.06, Development Standards for Single-Family Detached Dwellings, provisions including exterior building materials, appearance conforming to neighborhood surround development, and garage placement/design.
3. Applicant to provide mechanism for the construction of the proposed 10-foot multiuse trail along Red Lion-Five Points Road.
4. The following landscaping will need to be provided as part of the proposed development in accordance with Chapter 1280, Landscaping, of the Planning & Zoning Code.
 - a. Landscape Buffer. Provide a 10-foot buffer between the proposed subdivision and adjoining residential property. Landscaping within the buffer to be provided at the rate of 1 tree per 40 linear feet of property line. The buffer to consist of trees, shrubs and earthen mounds, decorative fences and masonry walls in combination. The only development permitted within the buffer aside from landscaping are sidewalks and bicycle paths.
 - b. Roadway Landscaping. Landscaping shall be provided along West Factory Road at the rate of 1 shade or evergreen tree per 40 feet of right-of-way frontage, 1 ornamental tree per 100 feet of right-of-way frontage and 1 shrub per 5 feet of right-of-way frontage.
 - c. Natural Vegetation Preservation. Existing site vegetation greater than 4 inches diameter at breast height shall be noted pre-development. Such trees, if retained, shall be credited for landscaping required as part of Chapter 1280.
 - d. Site Landscaping. One tree shall be provided on the site at the rate of 1 tree per 3,000 square feet of site area.
 - e. Golf Course. Applicant to provide language for the protection of all existing vegetation in the proposed 20-foot conservation easement for the protection of the adjacent golf course.
5. Provide base flood elevations on construction drawings and record plan.
6. Coordinate with post office concerning location of CBU (mail box unit) and provide on construction drawings for review.
7. Construction drawings to include Phases one and two on one drawing.
8. Provide HOA documents for review and approval. Documents to be recorded prior to recording of the record plan.
9. Provide detention calculations.
10. Provide construction drawings "As-Built".
11. The Clearcreek Fire District has no comments at this time.

D. Planning & Zoning Code Text Amendment Combined Meetings

Background Information & Staff Comments

This agenda item is a request by City staff to amend parts of the Planning & Zoning Code that would result in the consolidation of the Planning Commission meeting into a single meeting each month. This item was discussed at the May 13th and July 8th work session.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

This item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting for formal approval. City Council set a public hearing on this item for its August 20th meeting.

Proposed Text Amendments to Accommodate Combined Meetings

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

Section 1284.04, Submission of a Site Plan

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.

- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed on a preliminary basis at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement for a preliminary review ~~for a work session~~. Each site plan shall be submitted in compliance with the deadlines established by the Director of Planning ~~at least 12 days~~ in advance of the Planning Commission ~~work session~~ meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)
- (f) Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval. Each site plan must be submitted in compliance with the deadline established by 19 days prior to the regular Planning Commission meeting unless modified by the Director of Planning ~~Director~~.

Section 1284.05, Site Plan Contents

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require ~~fewer~~ other details for the site plan to be reviewed ~~at the Work Session~~ in the course of its review.

Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses

The Planning Commission shall review the site plan and the reports of City staff at a ~~Work Session~~ meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning ~~not later than 12 days after the site plan submission deadline~~ (see Table 10 at the end of this chapter). At the ~~Work Session~~ preliminary review, the Planning Commission shall ~~schedule~~ determine if formal review of the site plan is appropriate at its next ~~regular~~ meeting to take place ~~at least 16 days after the Work Session~~ if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;

- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

Section 1282.04, Organization & Responsibilities, Planning Commission

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.

Staff Recommendation

City staff recommends APPROVAL of this Planning & Zoning Code text amendment as submitted. Staff looks forward to working with Planning Commission on the process of implementing this single meeting per month. That includes scheduling and deadlines, the meeting agenda format, and more.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, July 21 at 12:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase
Contract

APPLICANT'S NAME: Dalton Withom

SAME AS BELOW

Telephone No. (513) 561-6633 x107

Fax No. (513) 561-3554

Email Address dwithom@mcgroup.com

PROPERTY OWNER'S NAME: Springboro Advance LLC

Address: 47741 Red Bank Expressway

Cincinnati, OH 45227

Telephone No. (513) 561-6633

Address of Property: Advance Drive

Lot Number: 0449127009

Existing Use: Undeveloped Lot

Zoning District: PUD

Proposed Use:

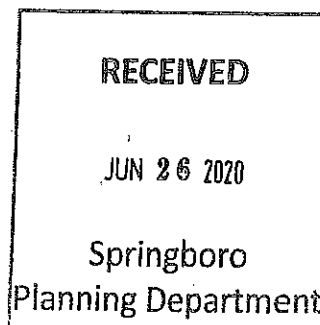
Speculative tenant building

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

Dalton Withom
(Signature of Applicant and/or Agent)

6/26/20
(Date)

check #44145
pd in full \$553-
6/26/2020



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGRI.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

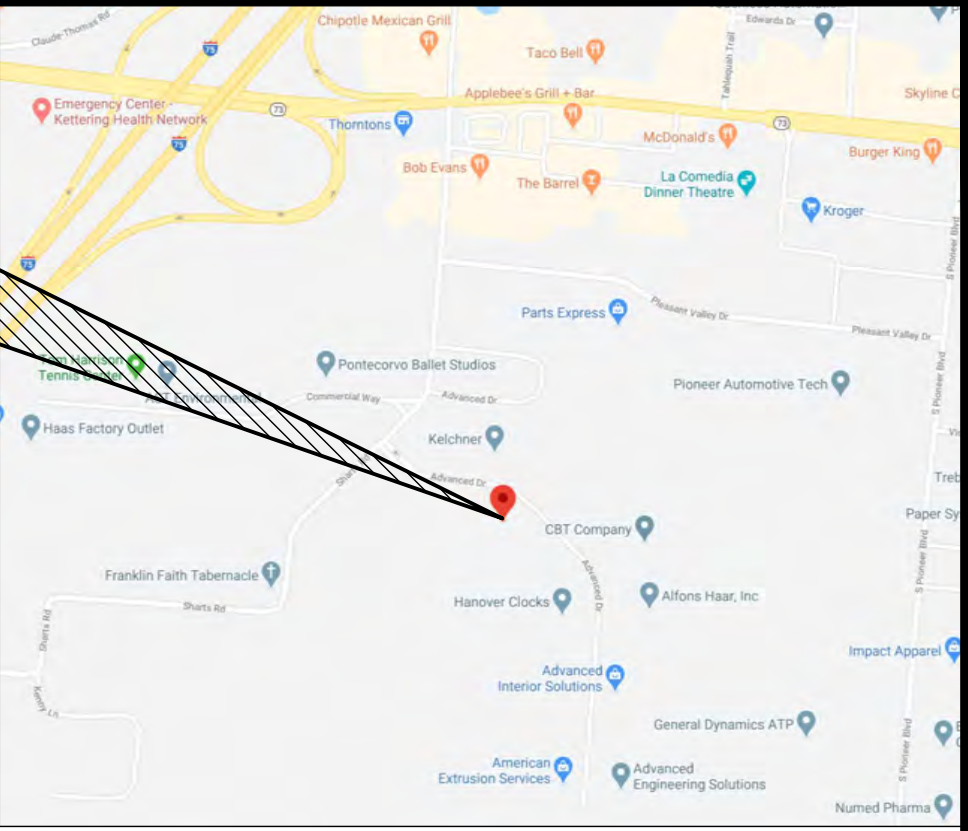
DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

COMMERCIAL BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO
JUNE, 2020

PROPOSED SITE



LOCATION MAP

DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD,
HARRISON, OH 45030
(513)-202-0525
DANNY BINZ, P.S.

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-5 STORMWATER POLLUTION PREVENTION PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
- CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
- CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
- MH 1.2 (1-15-2016) MANHOLE NO. 3
- BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
- INSTALL STORMWATER MANAGEMENT SYSTEMS.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
TITLE SHEET & GENERAL
NOTES

ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.

1"=30' N/A

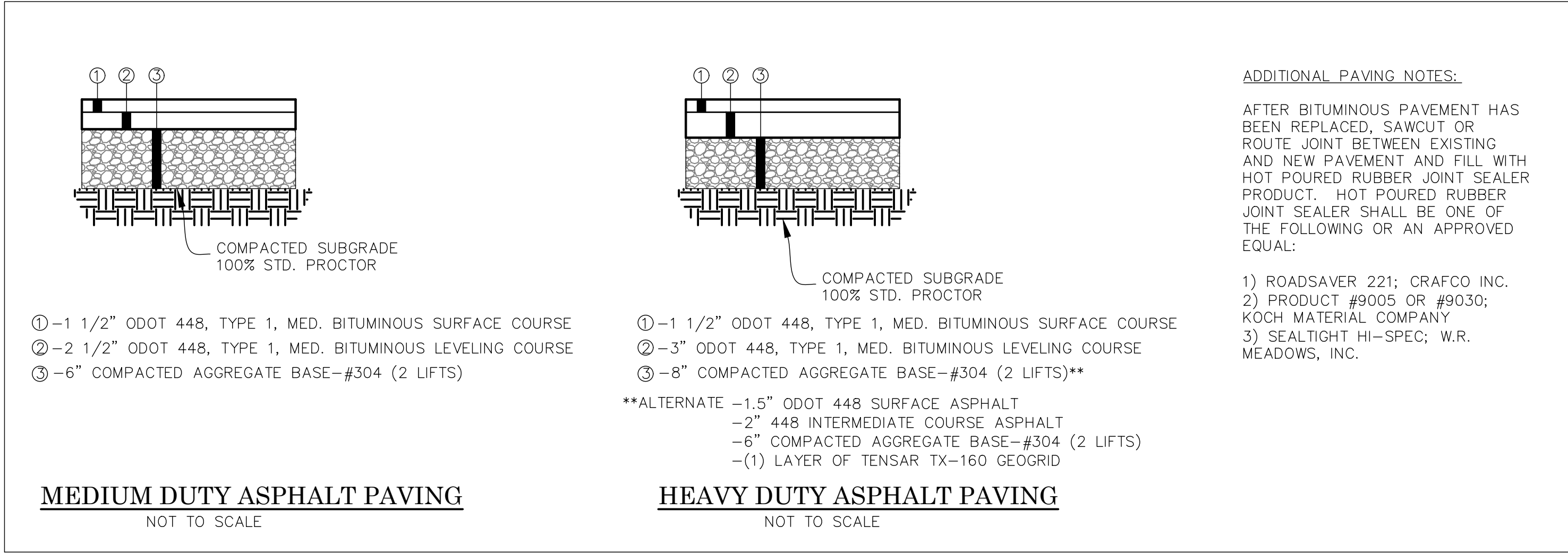
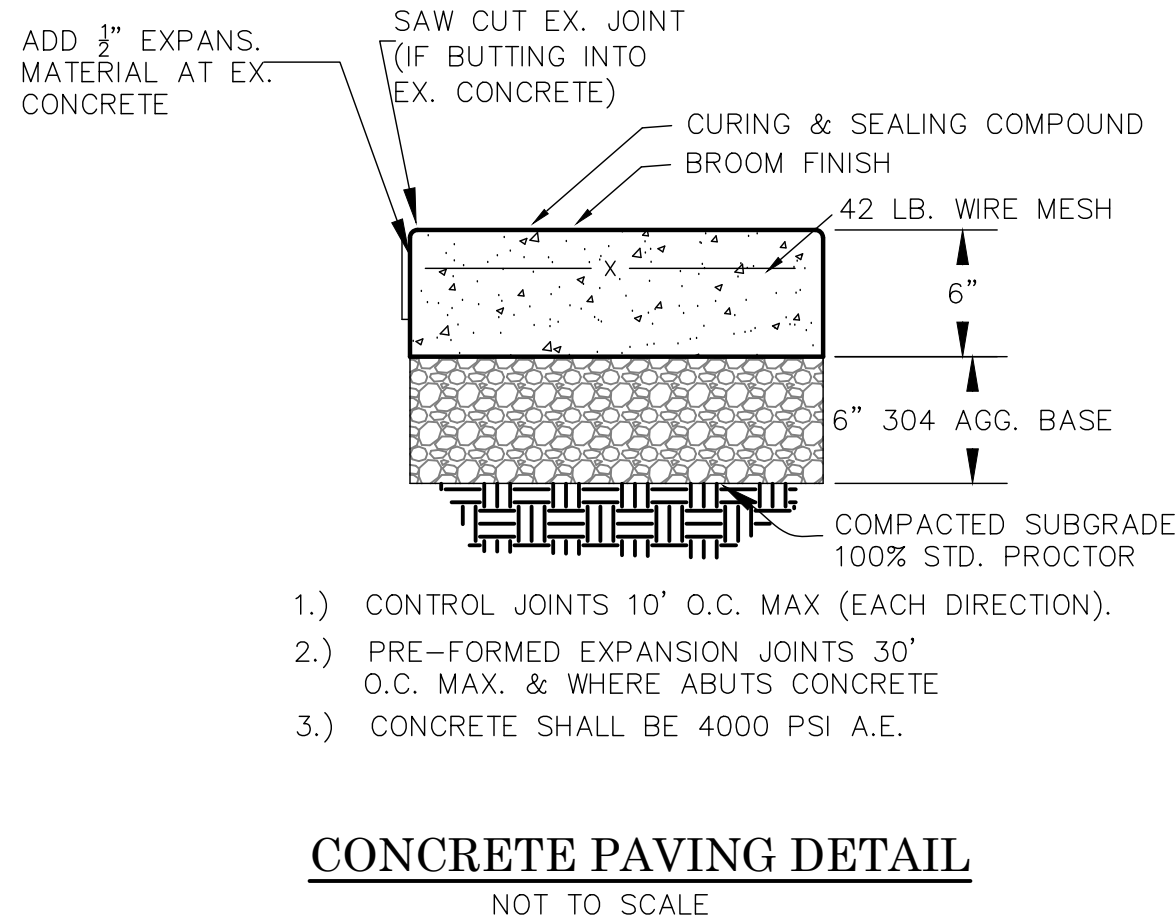
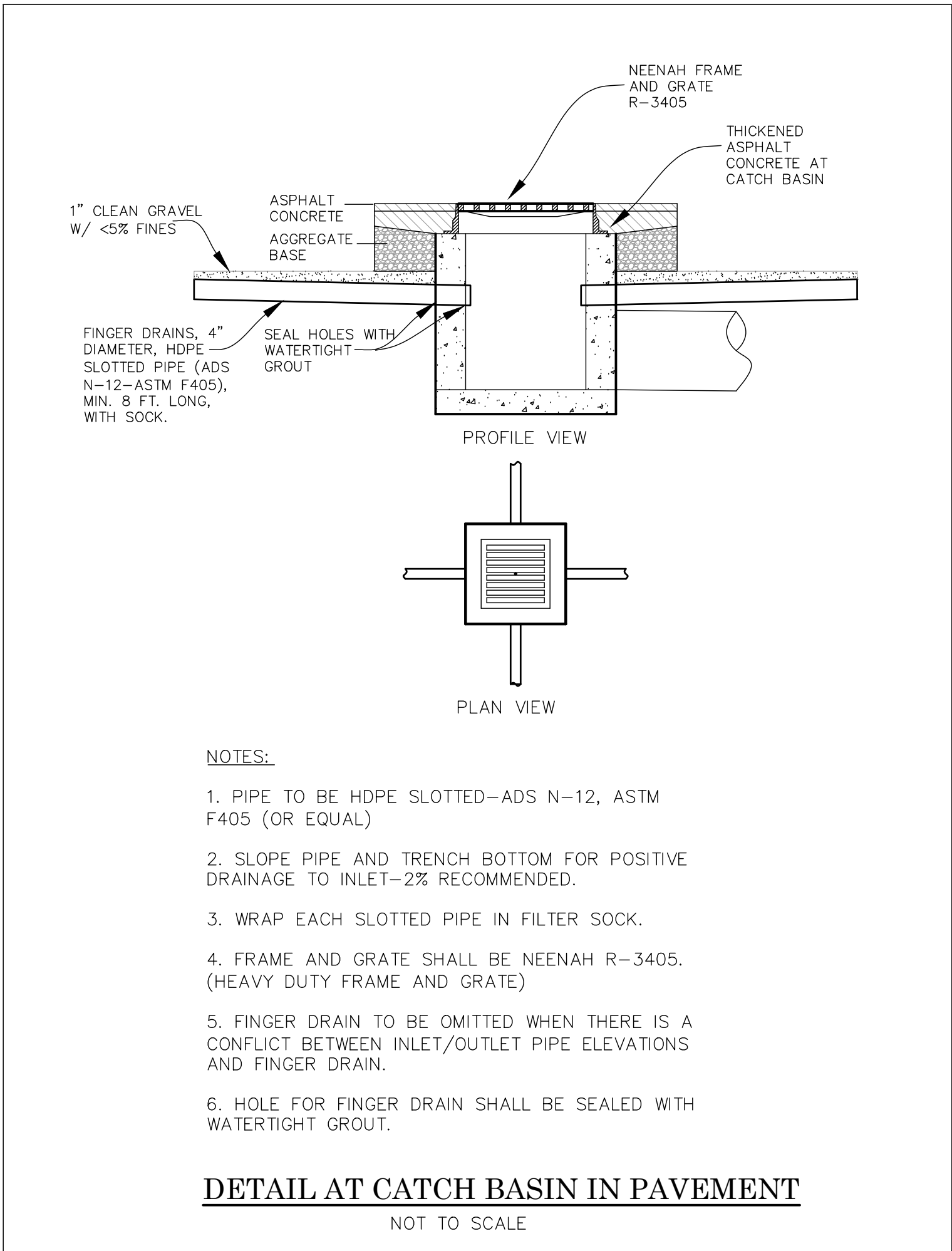
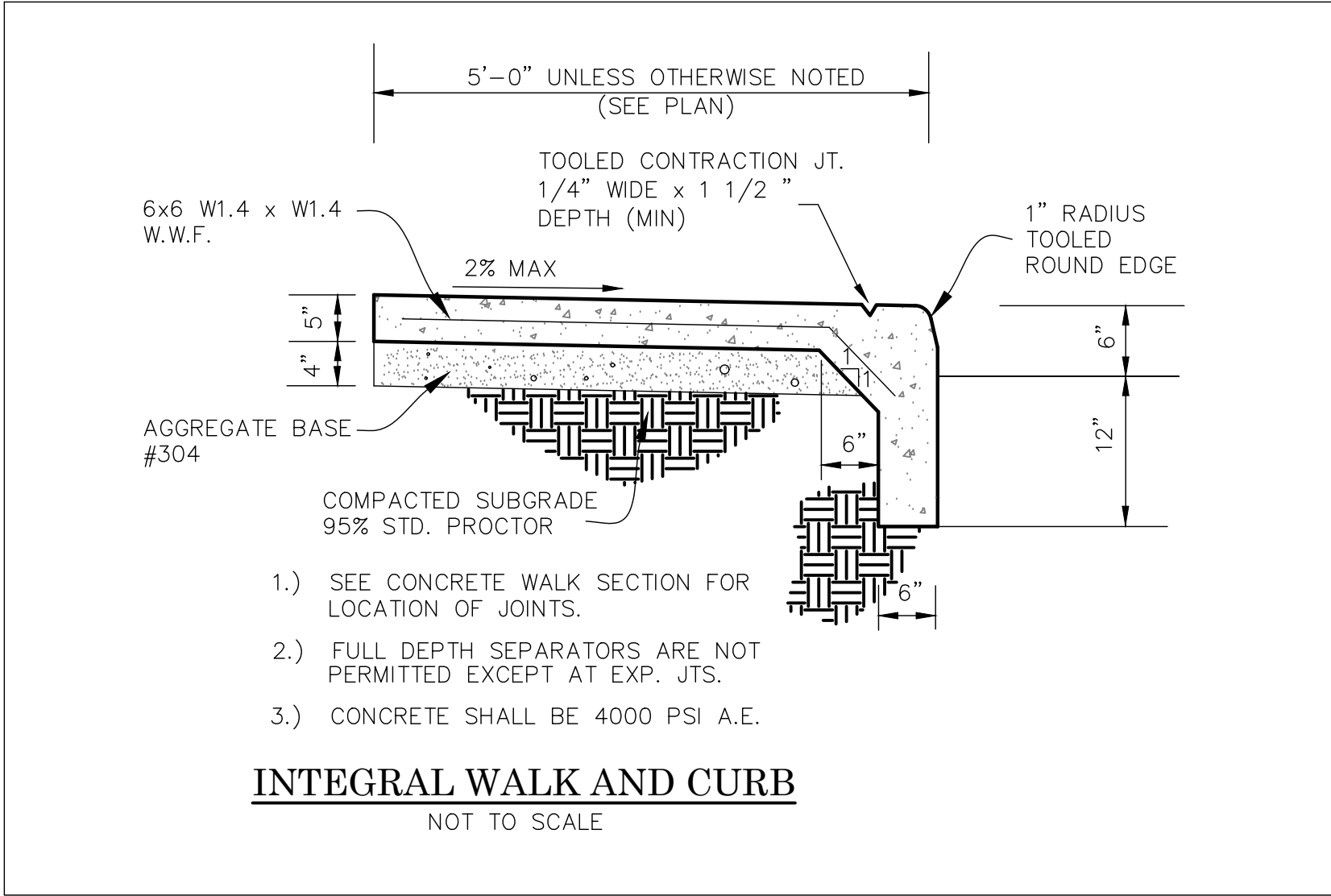
JOB NO. 20-140

DATE Jul. 6, 2020

SHEET NO.

C-1





PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
SITE CONSTRUCTION
DETAILS

ADVANCED DR.
CITY OF STRINGBORO, WARREN COUNTY, OHIO

| SCALE: | HORIZ. | VERT. |
|---------|--------------|-------|
| | N/A | N/A |
| JOB NO. | 20-140 | |
| DATE | Jul. 6, 2020 | |

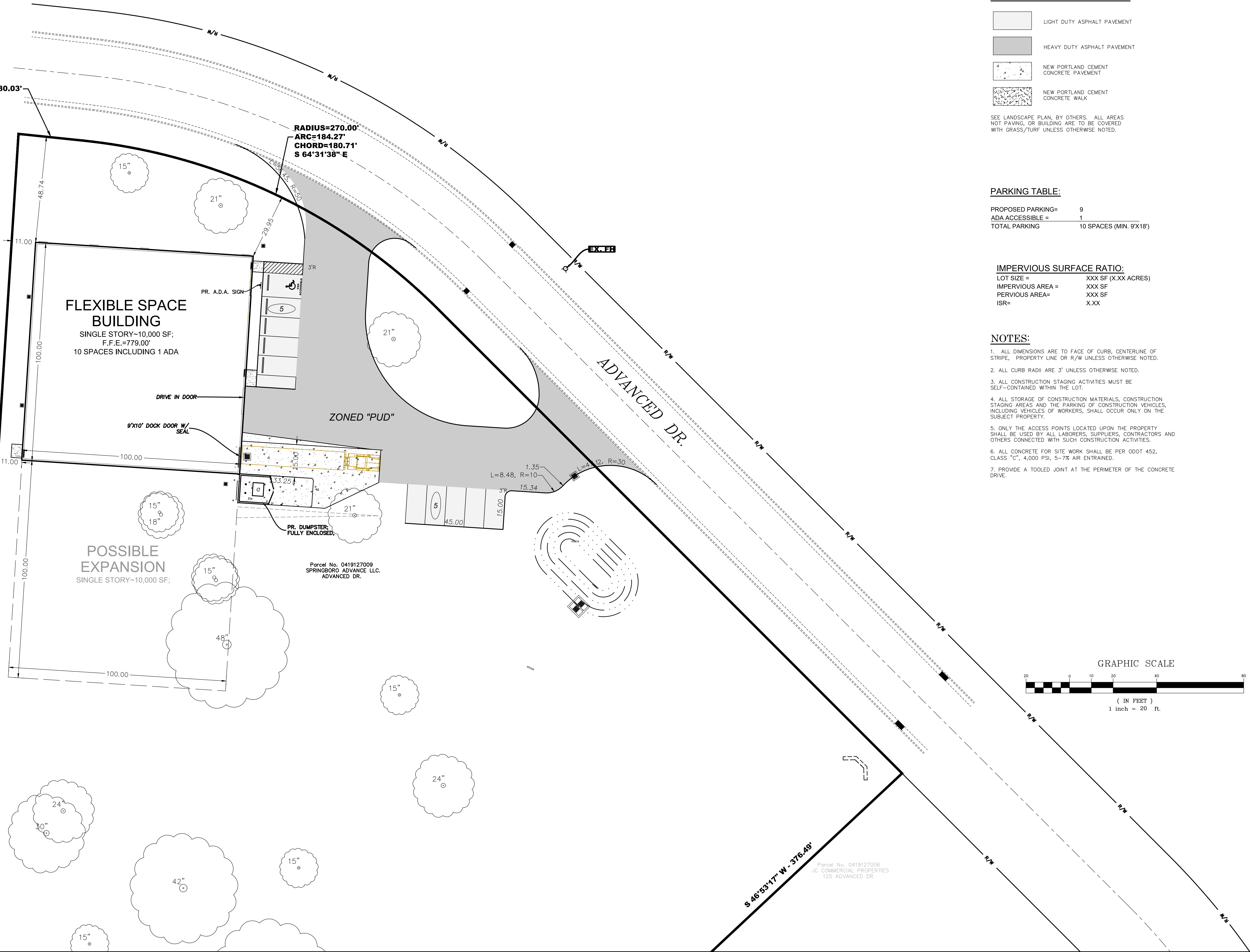
SHEET NO.

C-1.1





Parcel No. 0419176002
JAMES THOMAS
7878 SHARTS RD.



PRELIMINARY
NOT FOR CONSTRUCTION

| REVISIONS | |
|-----------|-------------|
| NO. | DESCRIPTION |
| | |
| | |
| | |

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
SITE DIMENSION PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

| | | |
|----------|--------------|-------|
| SCALE: | HORIZ. | VERT. |
| | 1"=20' | N/A |
| JOB. NO. | 20-140 | |
| DATE | Jul. 6, 2020 | |

SHEET NO.

C-3

LEGEND-PROP. FEATURES

- W — PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING; 2" LINE, TYPE K COPPER)
— SS — ALL WATER LINES TO HAVE A MINIMUM OF 48" OF COVER
— PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 1.04% MIN.
— PROPOSED STORM SERVICE
— E — PROPOSED UNDERGROUND ELECTRIC SERVICE
— G — PROPOSED GAS SERVICE (SIZE TBD BY USE)
— INSTALL 4" CONDUIT WITH PULL STRING AND LOCATOR WIRE (IF NEEDED FOR TIMING SEE NOTE 24 BELOW)
DS —PR. DOWNSPOUT
RD —PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

- CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BINZ SURVEYING.
- ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
- FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
- THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
- IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
- SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
- COORDINATE WITH CITY OF SPRINGBORO FOR BUILDING SEWER AND WATER TAPS.
- ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
- SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
- A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
- SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ECT. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
- SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
- DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
- WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
- ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
- SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
- CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS
- GAS SERVICE TO BE INSTALLED BY PROVIDER, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO VECTREN CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH PROVIDER BEFORE COMMENCING WORK.
- THE OWNER WILL BE RESPONSIBLE TO RUN THE LINE TO THE WATER MAIN TAP, OBTAIN THE WORK PERMIT FROM ODOT, AND RESTORE THE PAVEMENT OF ADVANCED DR.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



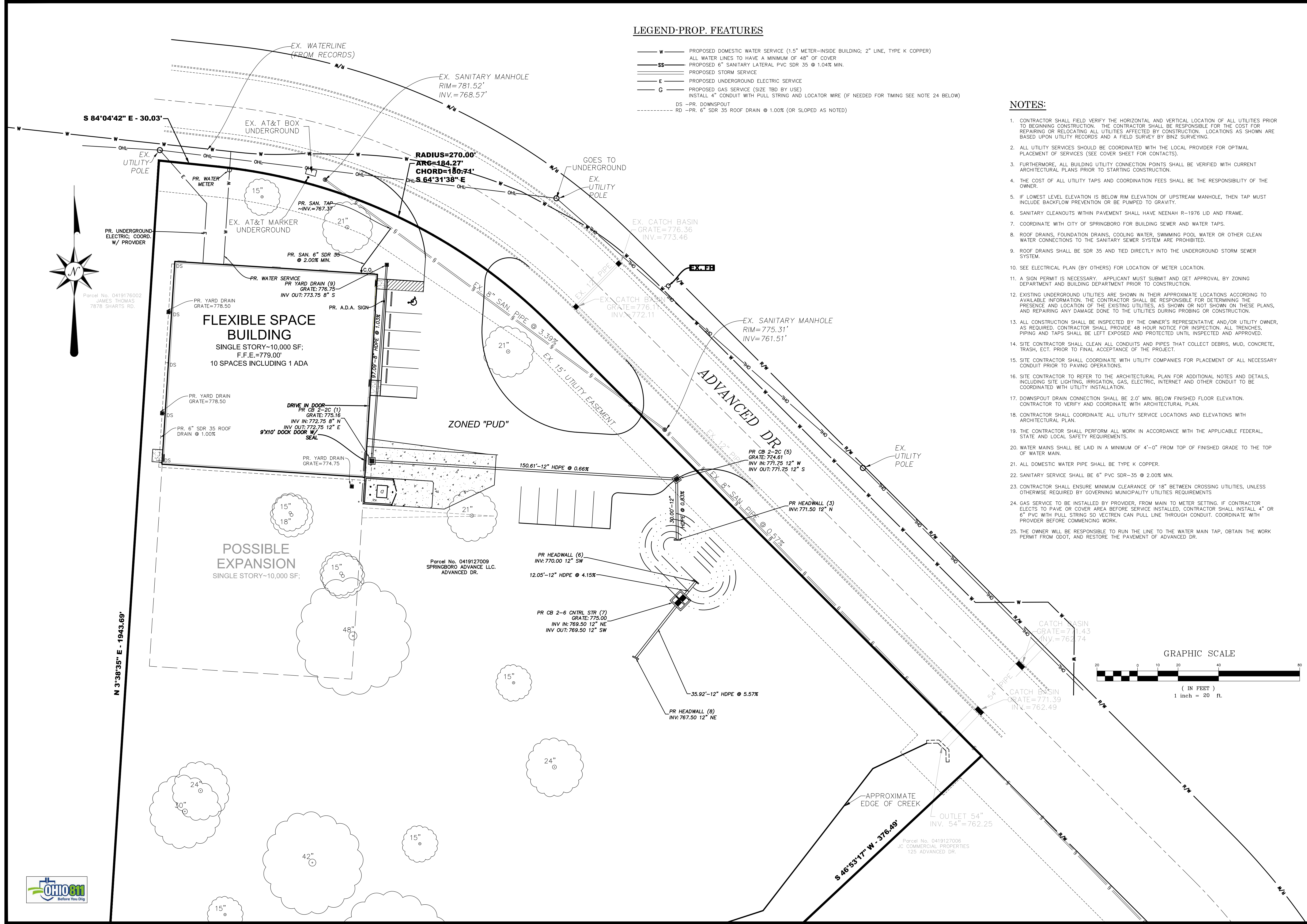
COMMERCIAL BUILDING
UTILITY SERVICE PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

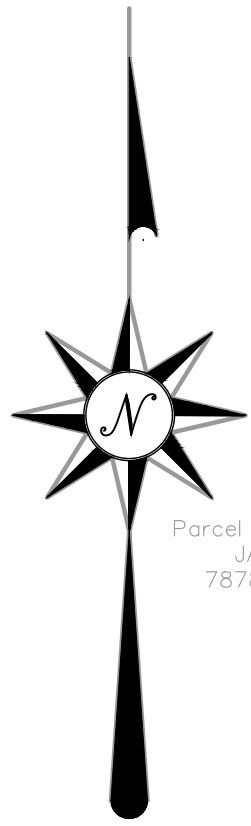
SCALE: HORIZ. VERT.
1"=20' N/A

JOB NO. 20-140
DATE Jul. 6, 2020

SHEET NO.

C-3.1





Parcel No. 0419176002
JAMES THOMAS
7878 SHARTS RD.

N 3°38'35" E - 1943.69'

S 84°04'42" E - 30.03'

RADIUS=270.00'
ARC=184.27'
CHORD=180.71'
S 64°31'38" E

FLEXIBLE SPACE BUILDING

SINGLE STORY~10,000 SF;
F.F.E.=779.00'
10 SPACES INCLUDING 1 ADA

ZONED "PUD"

POSSIBLE EXPANSION

SINGLE STORY~10,000 SF;

Parcel No. 0419127009
SPRINGBORO ADVANCE LLC.
ADVANCED DR.

Parcel No. 0419127006
JC COMMERCIAL PROPERTIES
125 ADVANCED DR.

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH
GEOTECHNICAL ENGINEER BEFORE
COMMENCING EARTHMOVING ACTIVITIES.

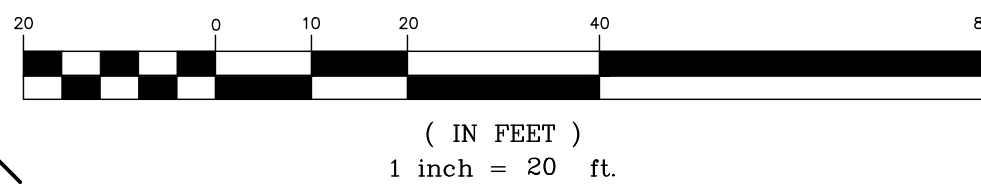
TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK
ACROSS LANDSCAPE AREAS PRIOR TO
SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS
MATERIAL IN ACCORDANCE WITH ALL LOCAL
AND STATE CODES AND PERMIT
REQUIREMENTS. EXPORTED MATERIAL SHALL
BE TRANSPORTED TO AN APPROVED FILL
AREA.

CONTOUR LEGEND:

--- EX. CONTOURS
--- PR. CONTOURS (MAJOR)
--- PR. CONTOUR (MINOR)

GRAPHIC SCALE



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
GRADING PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.
1"=20' N/A

JOB NO. 20-140
DATE Jul. 6, 2020

SHEET NO.

C-4



EROSION AND SEDIMENT CONTROL NOTES:

- PRE-CONSTRUCTION:
1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.
 2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:
 - A. THE REQUIRED PRE-CONSTRUCTION MEETING
 - B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
 - C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE
 - D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
 - E. PRIOR TO FINAL ACCEPTANCE
 3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
 4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.
 5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.
 6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE MADE UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
 7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

- SAFETY:
8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.
 9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
 10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVEMENT TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.
 11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

- STABILIZED CONSTRUCTION ENTRANCE:
12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.
 13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES THAT ENTER AND LEAVE THE SITE. SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

- SEDIMENT TRAPS AND BASINS:
14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AN EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
 15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.
 16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.
 17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.
 18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
 19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.
 20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.
 21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE- FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

- TEMPORARY & PERMANENT STABILIZATION:
22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.
 23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
 24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
 25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.
 26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
 27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OF ACHIEVING FINAL GRADE.
 28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.
 29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE MAINTAINED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

- OHIO 811 Before You Dig
30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.
 31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

- OTHER:
32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.
 33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.
 34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
 35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROWING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.
 36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.
 37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OHCO00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."
- CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

- SOIL STOCKPILE MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.
- SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

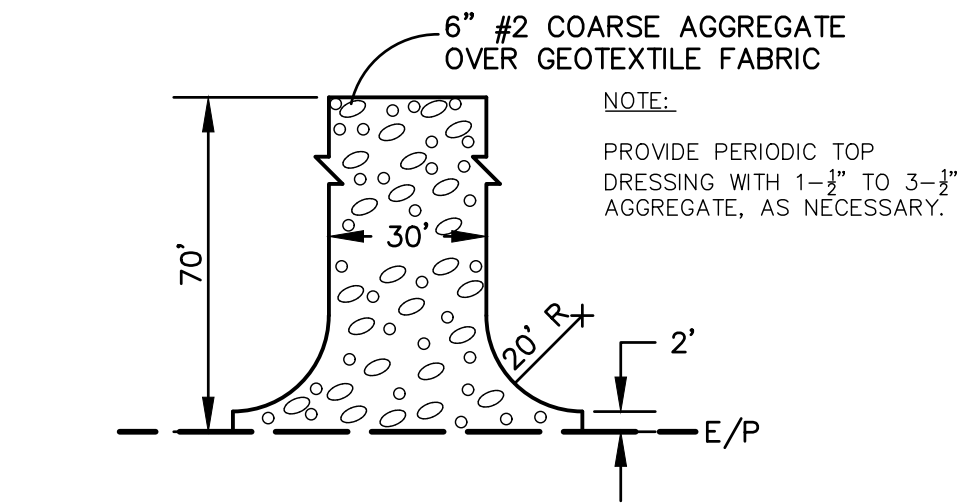
- EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
- THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
- THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

- UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA OR LOCAL JURISDICTION TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

- DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.
2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.
3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.
4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



STABILIZED CONSTRUCTION ENTRANCE (ONLY IF NECESSARY) NO SCALE

TEMPORARY AND PERMANENT SEEDING:

| | | | |
|---|----------------------------|----------------|----------|
| 1. <u>SEEDBED PREPARATION</u> | | | |
| A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE. | | | |
| B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT. | | | |
| 1.2 SEEDING | | | |
| 1. TEMPORARY SEEDING MIXTURE | | | |
| SEEDING PERIOD | TYPE | RATE (1000 SF) | |
| SPRING AND SUMMER | 1. OATS | 3 LBS | |
| | 2. PEREN. RYEGRASS | 1 LBS | |
| | 3. TALL FESCUE | 1 LBS | |
| FALL | 1. PEREN. RYEGRASS | 1 LBS | |
| | 2. RYE | 3 LBS | |
| | 3. WHEAT | 3 LBS | |
| | 4. TALL FESCUE | 1 LBS | |
| 2. PERMANENT SEEDING MIXTURE | | | |
| SEEDING PERIOD | TYPE | RATE (1000 SF) | |
| SPRING, SUMMER, AND FALL | 1. CREEPING RED FESCUE | 0.5 LBS | |
| | DOMESTIC RYEGRASS | 0.25 LBS | |
| | KENTUCKY BLUEGRASS | 0.25 LBS | |
| | 2. TALL FESCUE | 1 LBS | |
| | 3. DWARF FESCUE | 1 LBS | |
| 2-1 SEEDING FOR STEEP BANKS OR CUTS | | | |
| SPRING, SUMMER, AND FALL | 1. TALL FESCUE | 1 LBS | |
| | 2. CROWNVEITCH TALL FESCUE | 0.25 LBS | 0.50 LBS |
| | 3. FLATPEA TALL FESCUE | 0.50 LBS | 0.50 LBS |
| | 4. TALL FESCUE | 0.50 LBS | |
| 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES | | | |
| SPRING, SUMMER AND FALL | 1. TALL FESCUE | 1 LBS | |
| | 2. CROWNVEITCH TALL FESCUE | 0.25 LBS | 0.50 LBS |

- B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) OF AN INCH.

TEMPORARY AND PERMANENT SEEDING(CONT.)

- C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.
- D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.
- E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

2. DORMANT SEEDING
- A. TEMPORARY SEEDING-AFTER NOVEMBER 1, USE MULCH ONLY.
- B. PERMANENT SEEDING- SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING":
1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
3. MULCHING
- A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.
- B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.
- C. MULCH ANCHORING METHODS:
1. MECHANICAL- USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.
 2. ASPHALT EMULSION-APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
 3. MULCH NETTING-USE ACCORDING TO THE MANUF. RECOMMENDATIONS.
4. IRRIGATION
- SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

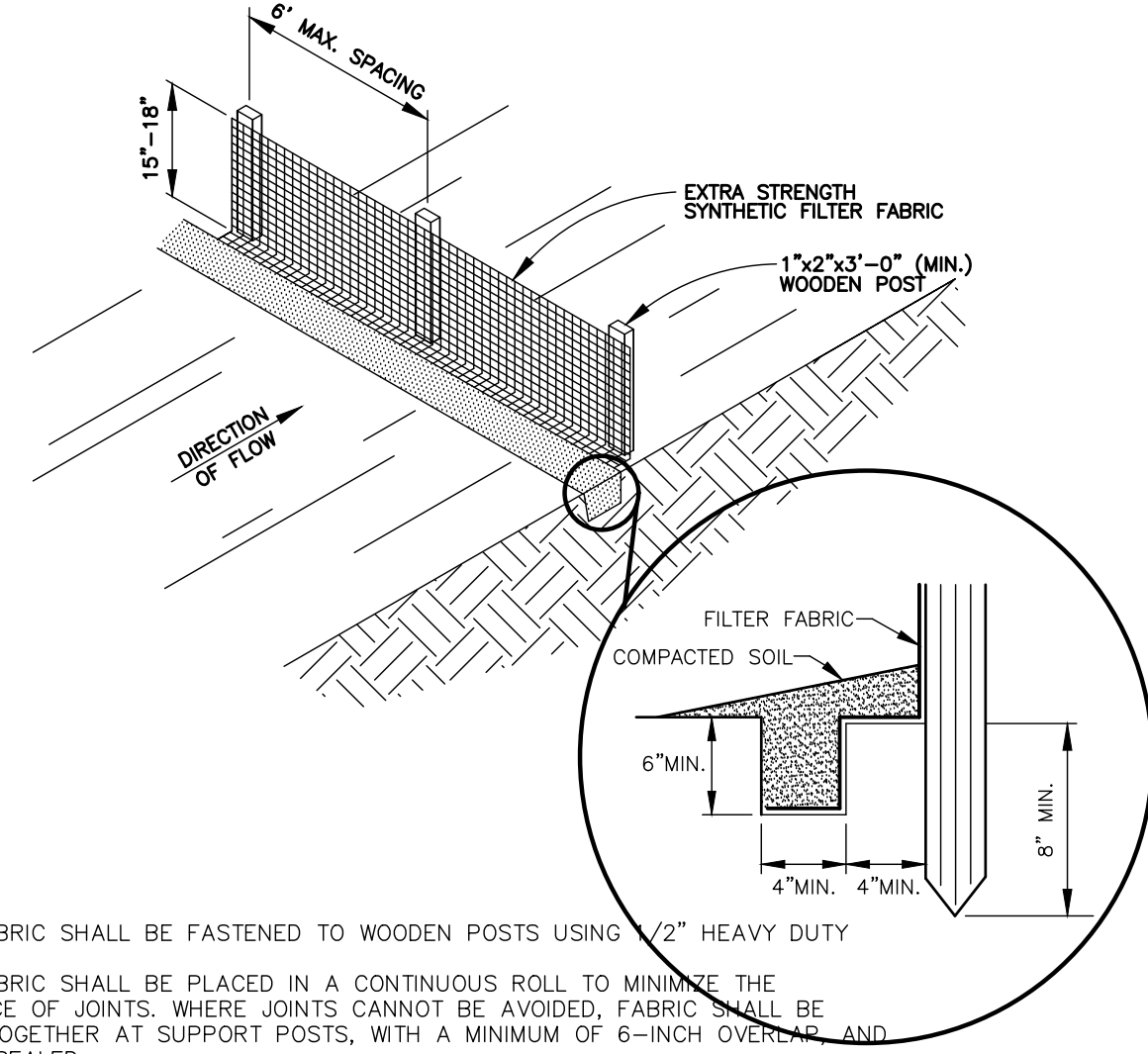
STABILIZATION:

| | |
|--|--|
| DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS: | |
| PERMANENT STABILIZATION | |
| Area requiring permanent stabilization | Time frame to apply erosion controls |
| Any area that will lie dormant for one year or more | Within seven days of the most recent disturbance |
| Any area within 50 feet of surface water of the state and not at final grade | Within two days of reaching final grade |
| All other areas at final grade | Within seven days of reaching final grade within that area |

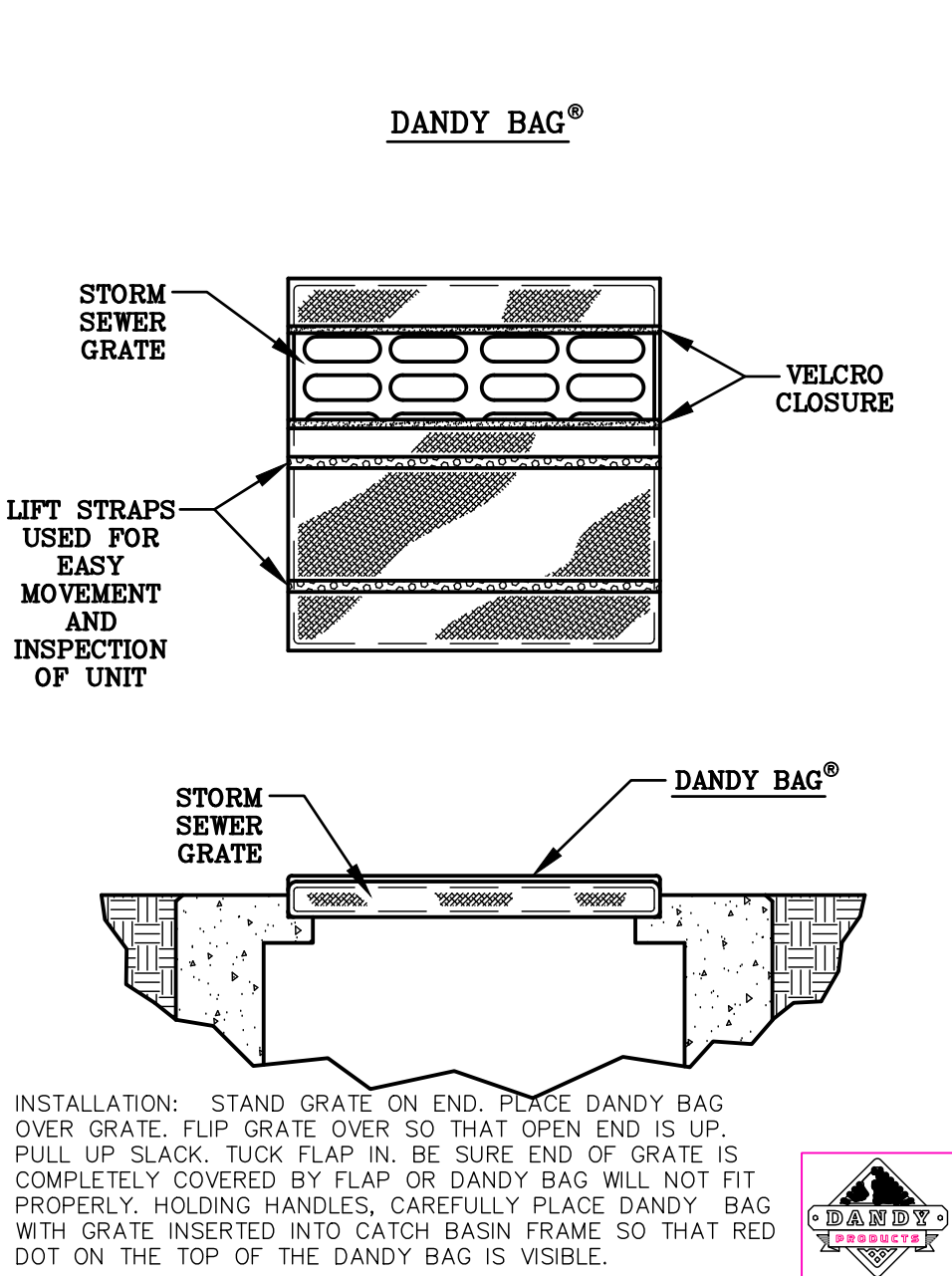
| | |
|--|--|
| TEMPORARY STABILIZATION | |
| Area requiring temporary stabilization | Time frame to apply erosion controls |
| Any disturbed areas within 50 feet of surface water of the state and not at final grade | Within two days of the most recent disturbance. If the area will lie dormant for more than 14 days |
| For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of surface water of the state | Within seven days of the most recent disturbance within the area |
| Disturbed areas that will be idle over winter | Prior to the onset of winter weather |

CONSTRUCTION SEQUENCE:

- THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
 2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
 3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
 4. INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
 5. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
 6. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
 7. INSTALLATION OF ALL UTILITIES.
 8. SITE CONSTRUCTION.
 9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
 10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



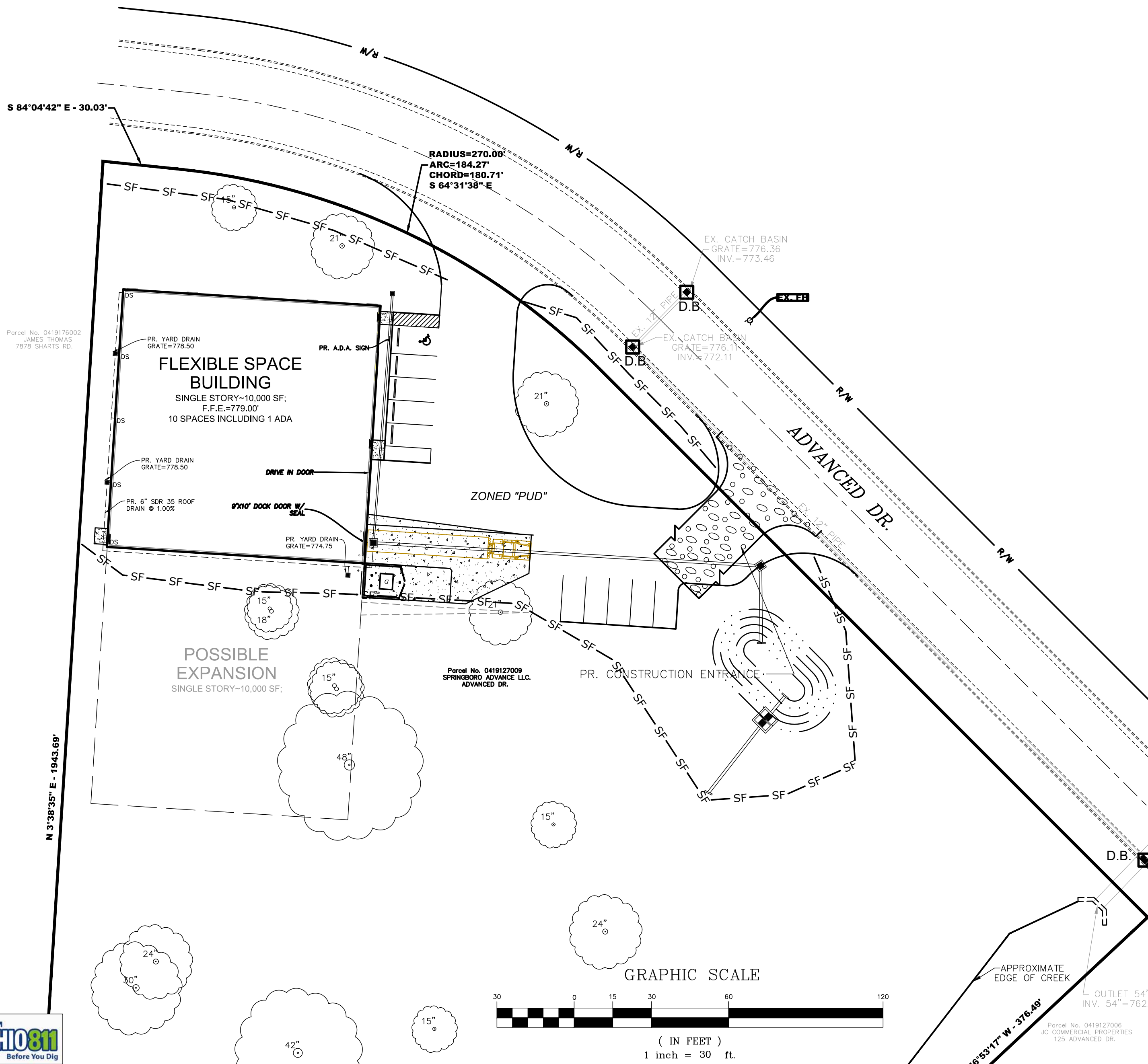
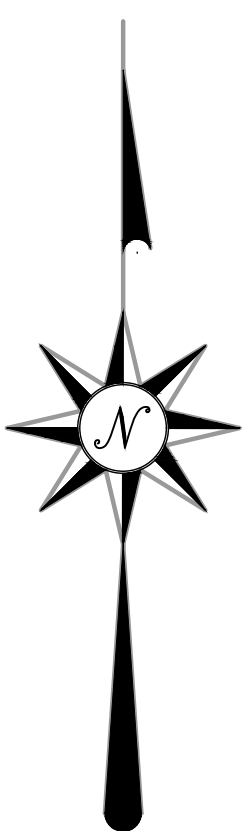
SILT FENCE (SF) DETAIL NO SCALE



DETAIL OF INLET SEDIMENT CONTROL DEVICE DANDY BAG (DB)

EROSION CONTROL LEGEND

- SF — SILT FENCE
- D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
- CONSTRUCTION ENTRANCE



PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
STORMWATER POLLUTION
PREVENTION PLAN

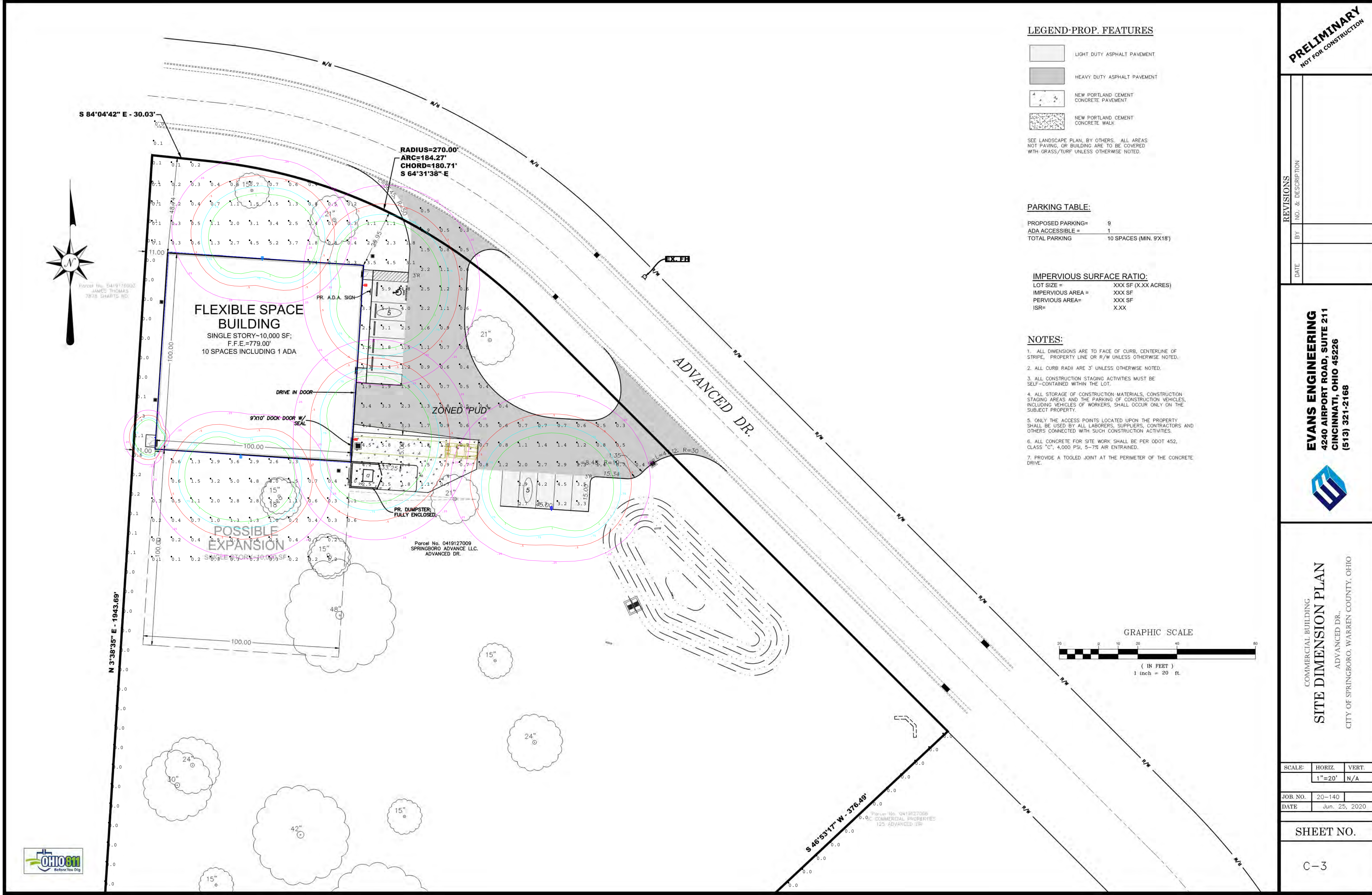
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.
1"=30' N/A

JOB NO. 20-140
DATE Jul. 6, 2020

SHEET NO.

C-5



LEGEND-PROP. FEATURES

- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

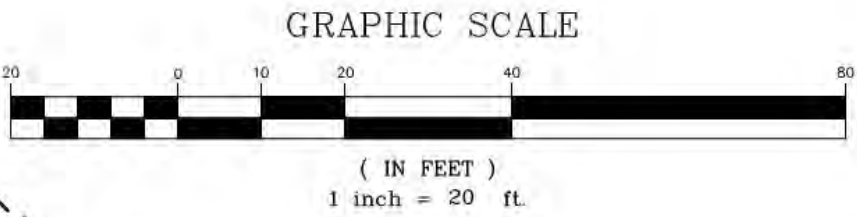
| | |
|-------------------|-------------------------|
| PROPOSED PARKING= | 9 |
| ADA ACCESSIBLE= | 1 |
| TOTAL PARKING | 10 SPACES (MIN. 9'X18') |

IMPERVIOUS SURFACE RATIO:

| | |
|-------------------|---------------------|
| LOT SIZE = | XXX SF (X.XX ACRES) |
| IMPERVIOUS AREA = | XXX SF |
| PERVIOUS AREA = | XXX SF |
| ISR = | X.XX |

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
- PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

| DATE | BY | NO. & DESCRIPTION |
|------|----|-------------------|
| | | |

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
SITE DIMENSION PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

| | | |
|---------|---------------|-------|
| SCALE: | HORIZ. | VERT. |
| | 1"=20' | N/A |
| JOB NO. | 20-140 | |
| DATE | Jun. 25, 2020 | |

SHEET NO.

C-3

Lighting Design Disclaimer

The Lighting Analysis and/or Lighting Design provided by "YOUR COMPANY" represents an anticipated prediction of lighting system performance based upon data supplied by others. These design parameters and information have not been field verified by "YOUR COMPANY". "YOUR COMPANY" does not warrant, represent, or guarantee the accuracy, completeness, or suitability of the design information provided. "YOUR COMPANY" shall not be responsible for any errors, omissions, or inaccuracies in the design information provided. "YOUR COMPANY" shall not be responsible for any damages, losses, or liabilities arising from the use of the design information provided. "YOUR COMPANY" shall not be responsible for any damages, losses, or liabilities arising from the use of the design information provided.

Scale: as noted

Date: 6/30/2020

Filename:

Drawn By: TONY BROWN

Job Name:

x

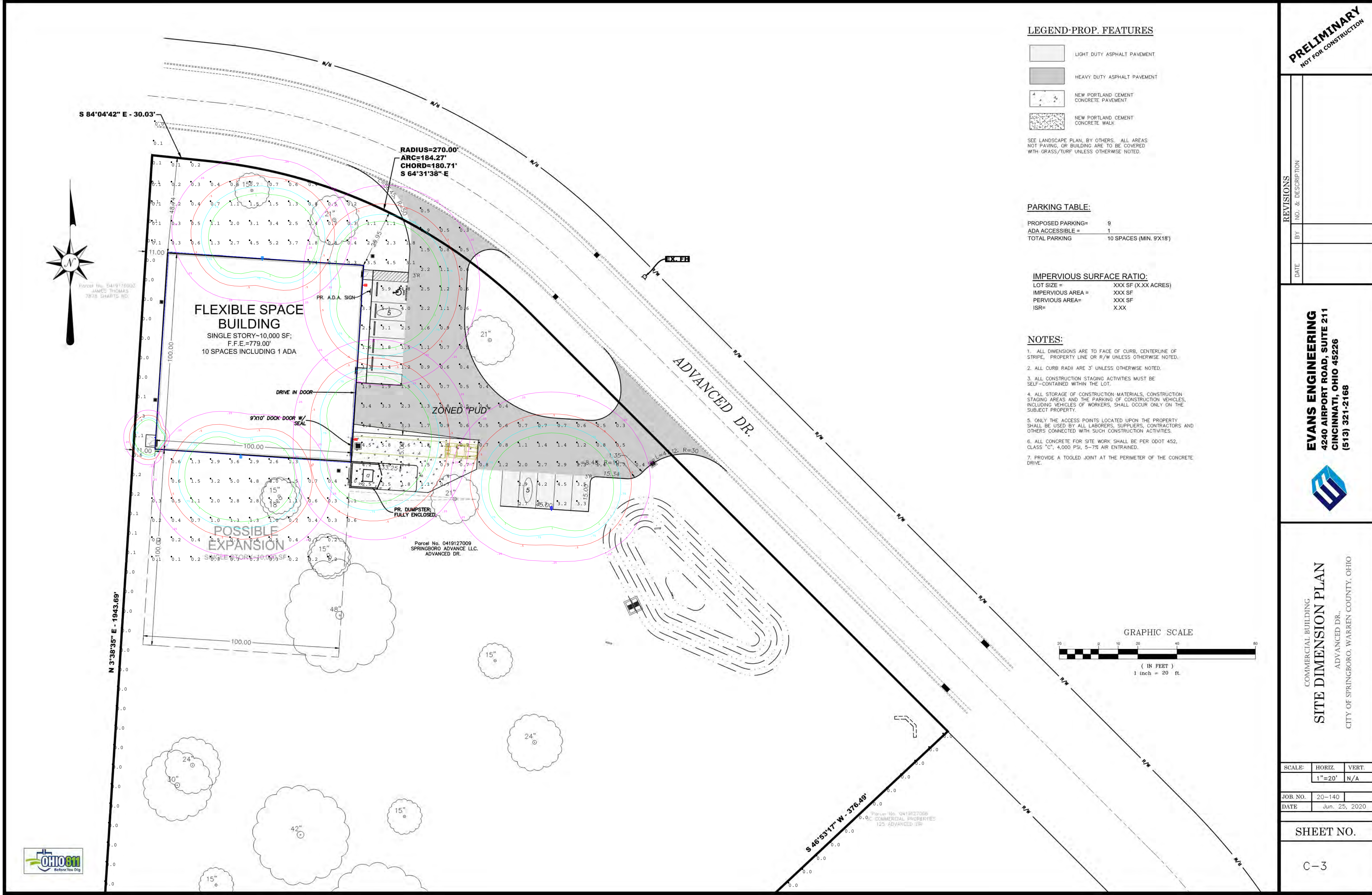
Lighting Layout
Version A

Prepared For:
Rep. Agency Name
Address

Filename:



Scale: 1 inch= 23.08 Ft.



LEGEND-PROP. FEATURES

- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

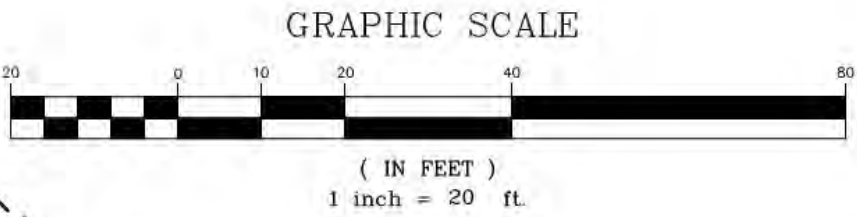
| | |
|-------------------|-------------------------|
| PROPOSED PARKING= | 9 |
| ADA ACCESSIBLE= | 1 |
| TOTAL PARKING | 10 SPACES (MIN. 9'X18') |

IMPERVIOUS SURFACE RATIO:

| | |
|-------------------|---------------------|
| LOT SIZE = | XXX SF (X.XX ACRES) |
| IMPERVIOUS AREA = | XXX SF |
| PERVIOUS AREA = | XXX SF |
| ISR = | X.XX |

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
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- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
- PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

| DATE | BY | NO. & DESCRIPTION |
|------|----|-------------------|
| | | |

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



COMMERCIAL BUILDING
SITE DIMENSION PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

| | | |
|---------|---------------|-------|
| SCALE: | HORIZ. | VERT. |
| | 1"=20' | N/A |
| JOB NO. | 20-140 | |
| DATE | Jun. 25, 2020 | |

SHEET NO.

C-3

Lighting Design Disclaimer

The Lighting Analysis and/or Lighting Design provided by "YOUR COMPANY" represents an anticipated prediction of lighting system performance based upon data supplied by others. These design parameters and information have not been verified by "YOUR COMPANY". "YOUR COMPANY" does not warrant, represent or guarantee the accuracy, completeness or suitability of the design information provided. "YOUR COMPANY" shall not be responsible for any errors, omissions or delays, in whole or in part, as advisory documentation package.

Scale: as noted

Date: 6/30/2020

Filename:

Drawn By: TONY BROWN

Job Name:

x

Lighting Layout
Version A

Prepared For:
Rep. Agency Name
Address

Filename:



Scale: 1 inch= 23.08 Ft.

Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

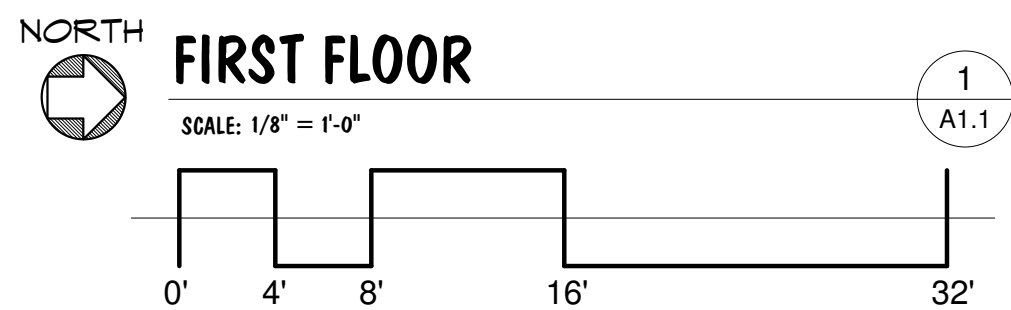
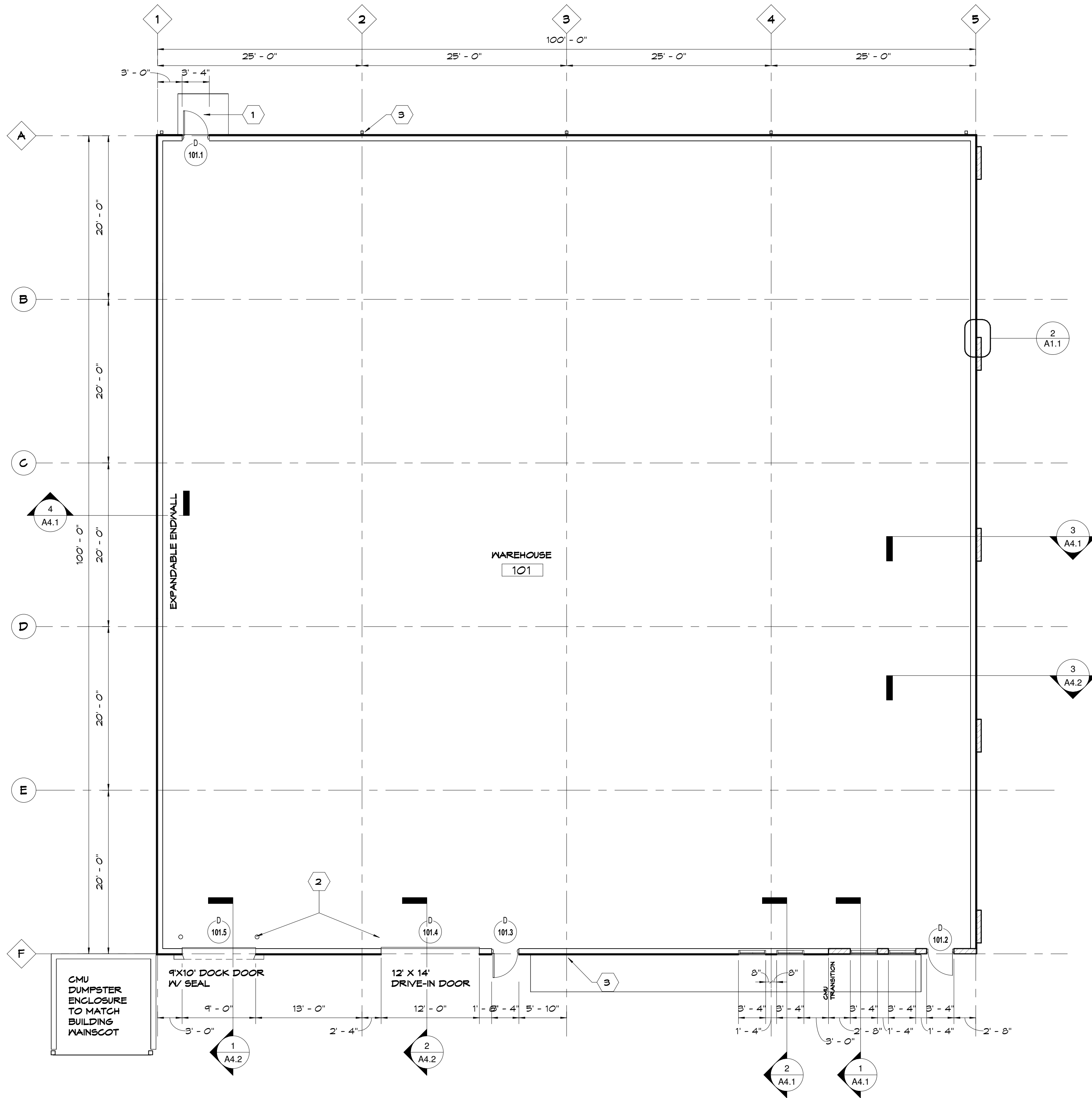
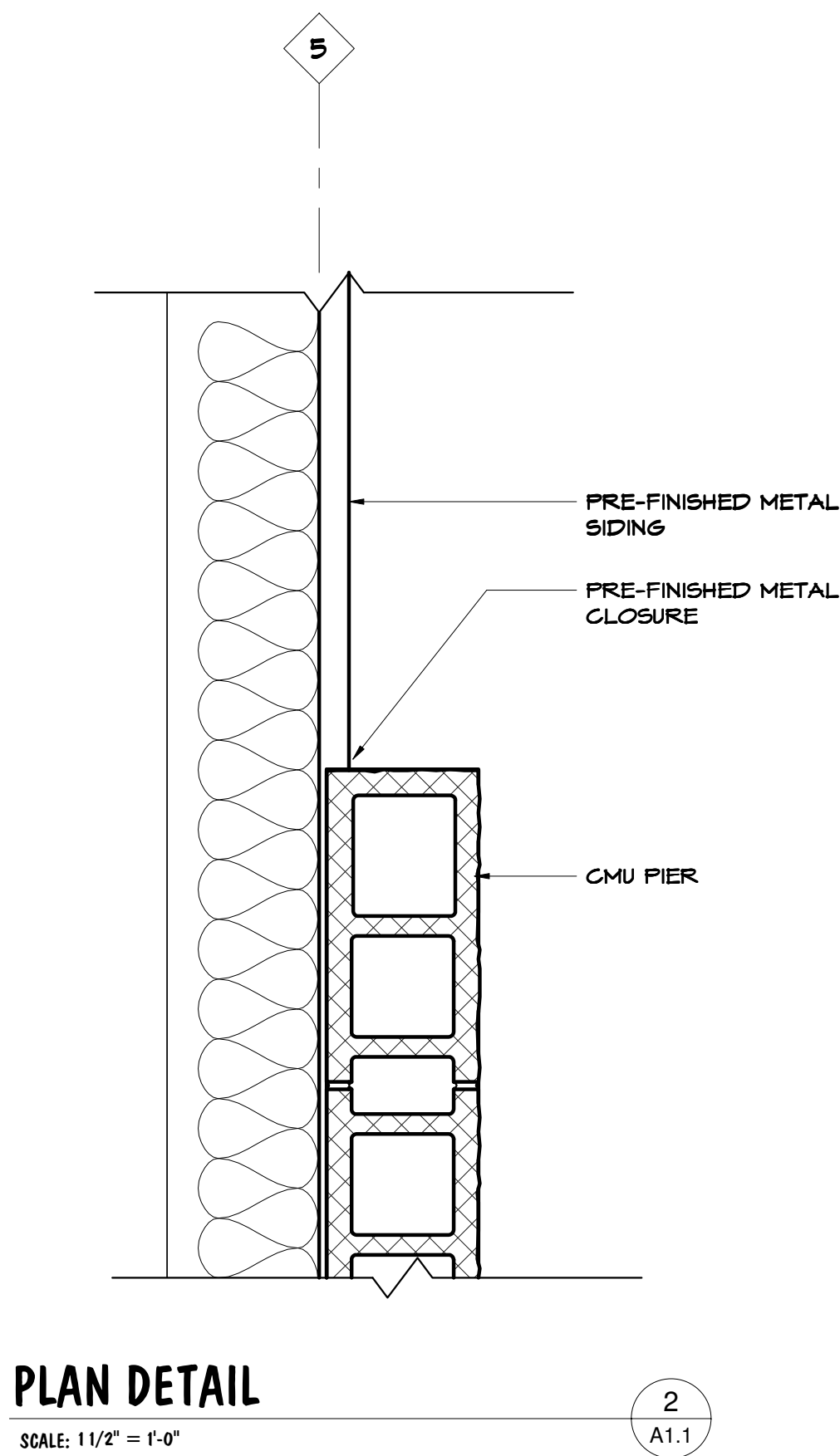
REV. DATE CK'D

Drawn By:WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A1.1



- KEYNOTES**
- 5' X 5' X 4" CONCRETE STOOP
 - CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 7/A3.1
 - PRE-FINISHED METAL DOWNSPOUT, COORD. W/FEMB DRAWINGS



LOOKING NORTHWEST

SCALE: 1/2" = 1'-0"

1
A1.4



LOOKING WEST

SCALE: 1/2" = 1'-0"

2
A1.4

Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

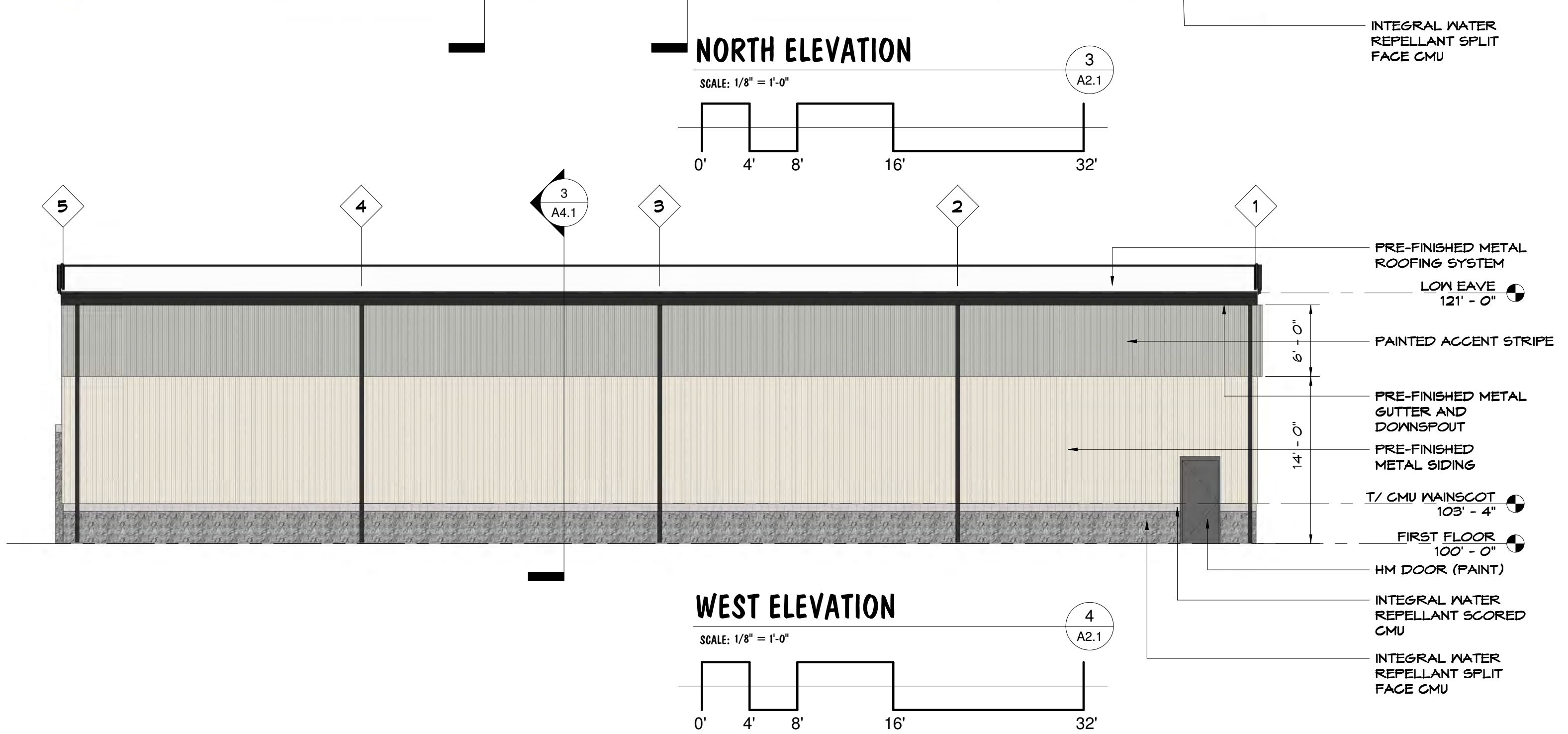
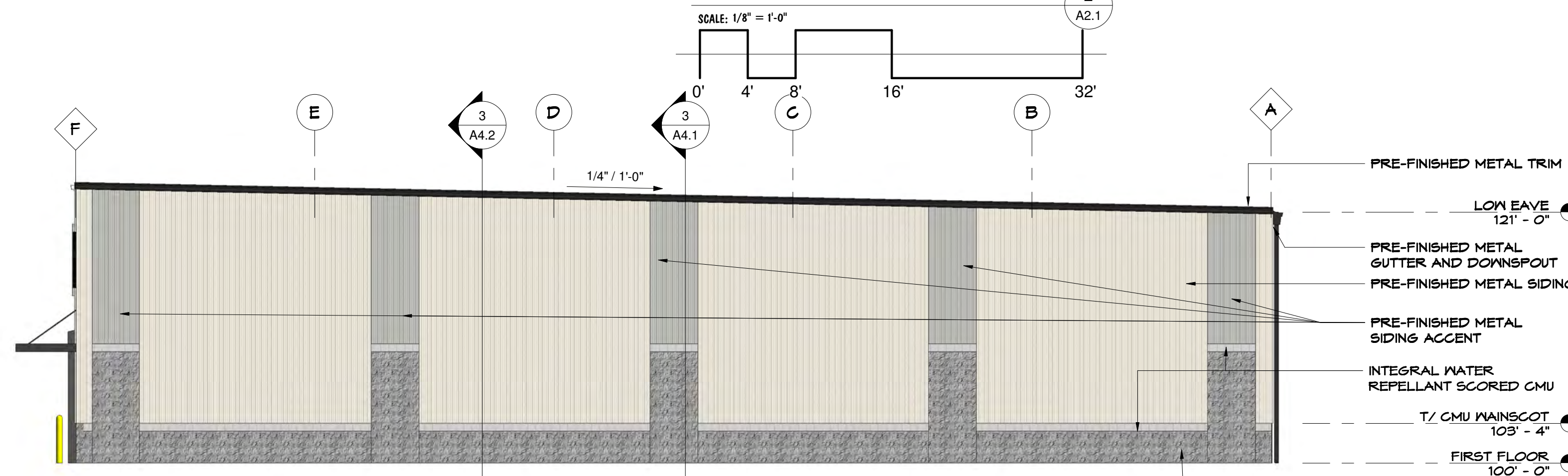
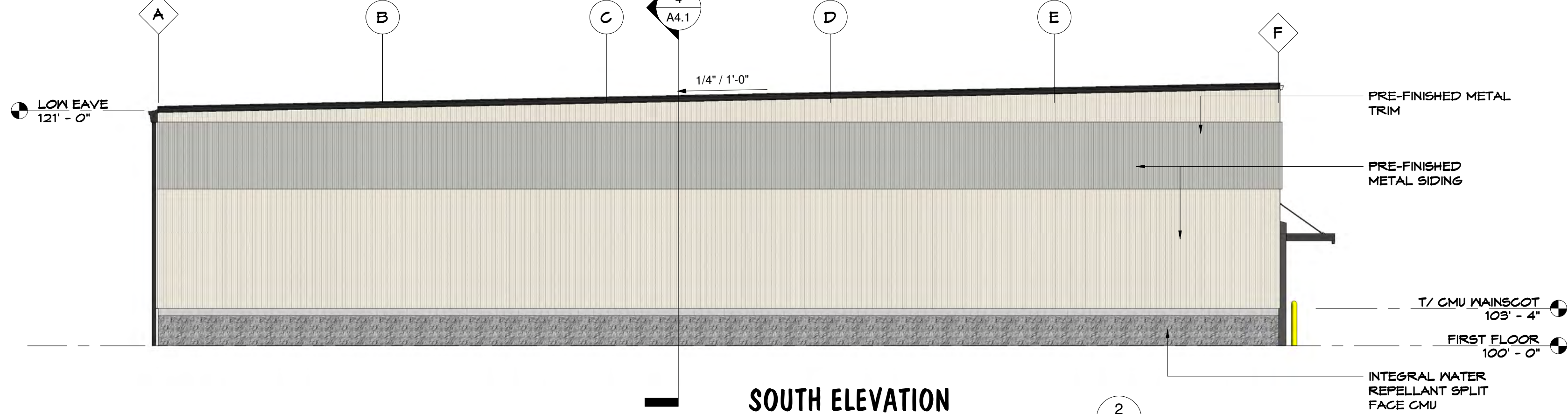
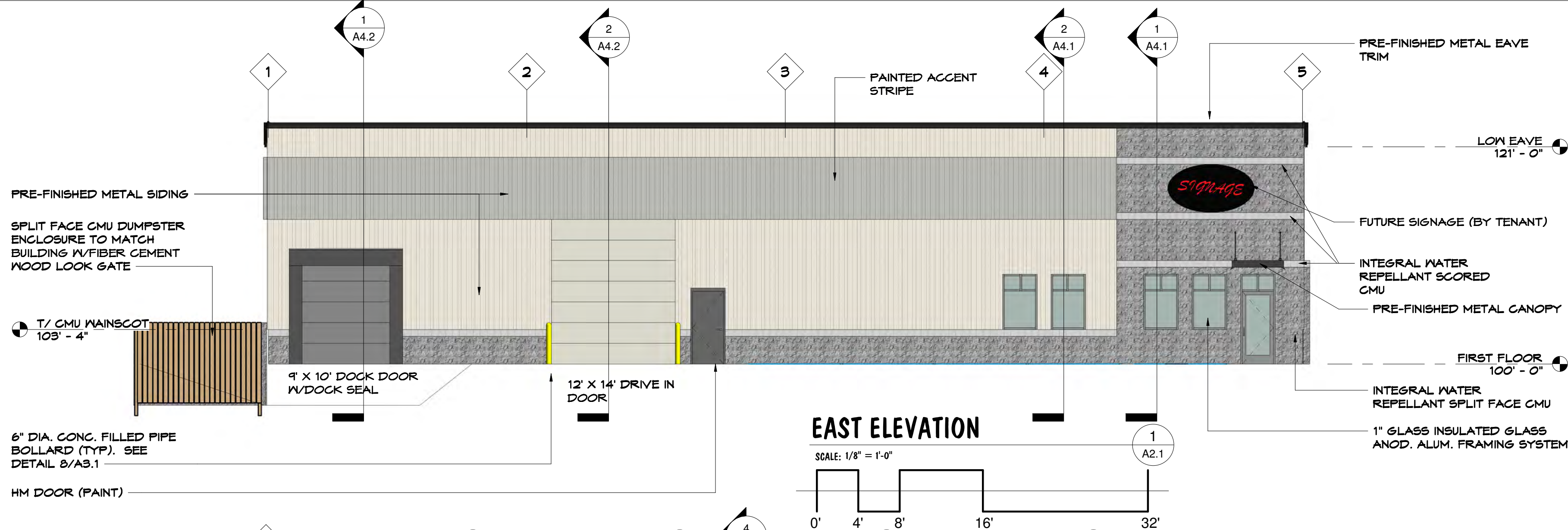
REV. DATE CK'D

Drawn By: WNS Checked By:

**Preliminary
Not For
Construction**

Date: 06/24/20 Job No: 20.077

A1.4



Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

REV. DATE CK'D

Drawn By:WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A2.1

S 84°04'42" E - 30.03'

RADIUS=270.00'
ARC=184.27'
CHORD=180.71'
S 64°31'38" E

EXISTING TREES TO
REMAIN. PROTECT
FROM DAMAGE.

(19)JC
(1)CC

EXISTING TREES TO
REMAIN. PROTECT
FROM DAMAGE.

(1)TC

ADVANCED DR.

APPROXIMATE
EDGE OF CREEK

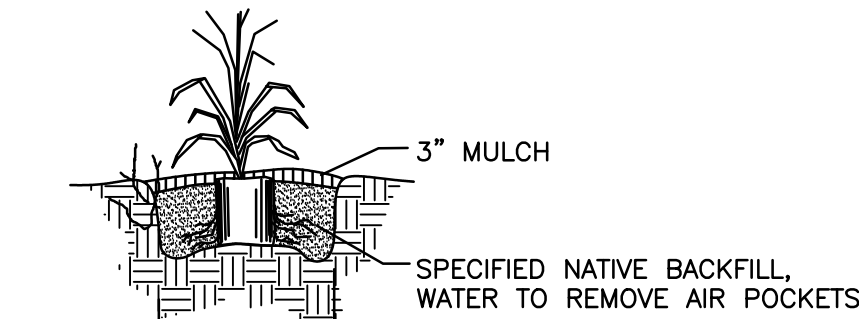
S 46°53'17" W - 376.48'

APPROXIMATE
EDGE OF CREEK

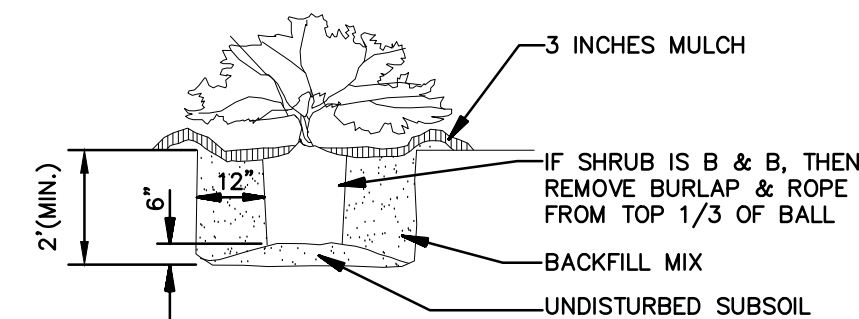
PERMANENT SEEDING

- (1) ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- (2) TILL AREAS TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- (3) PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEEDED AREAS.

| KEY | QTY. | SCIENTIFIC NAME | COMMON NAME | SIZE | CONDITION | REMARKS |
|-------------------------|------|---------------------------------|------------------------------|-----------|-----------|-------------------------|
| ORNAMENTAL/CANOPY TREES | | | | | | |
| CC | 1 | Cercis canadensis | Red Bud | 2.0" cal. | B&B | Straight Central Leader |
| TC | 1 | Tilia cordata 'Greenspire' | Greenspire Littleleaf Linden | 2.5" cal. | B&B | Straight Central Leader |
| SHRUBS | | | | | | |
| JC | 19 | Juniperus chinensis 'Sea Green' | Sea Green Juniper | | #3 cont. | |

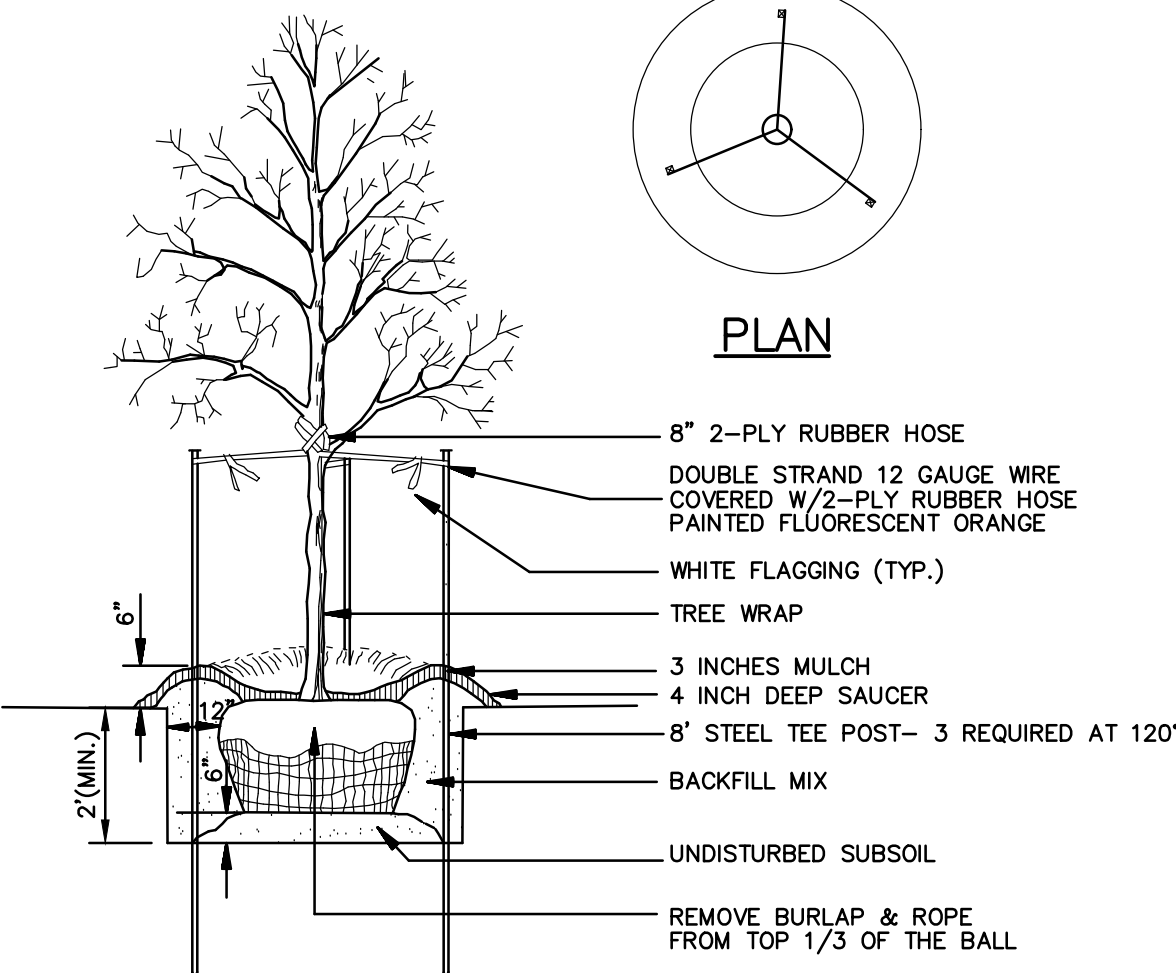


- ① LOOSEN SOIL IN ROOT BALL AND SPREAD ROOTS PRIOR TO PLACING IN PIT.



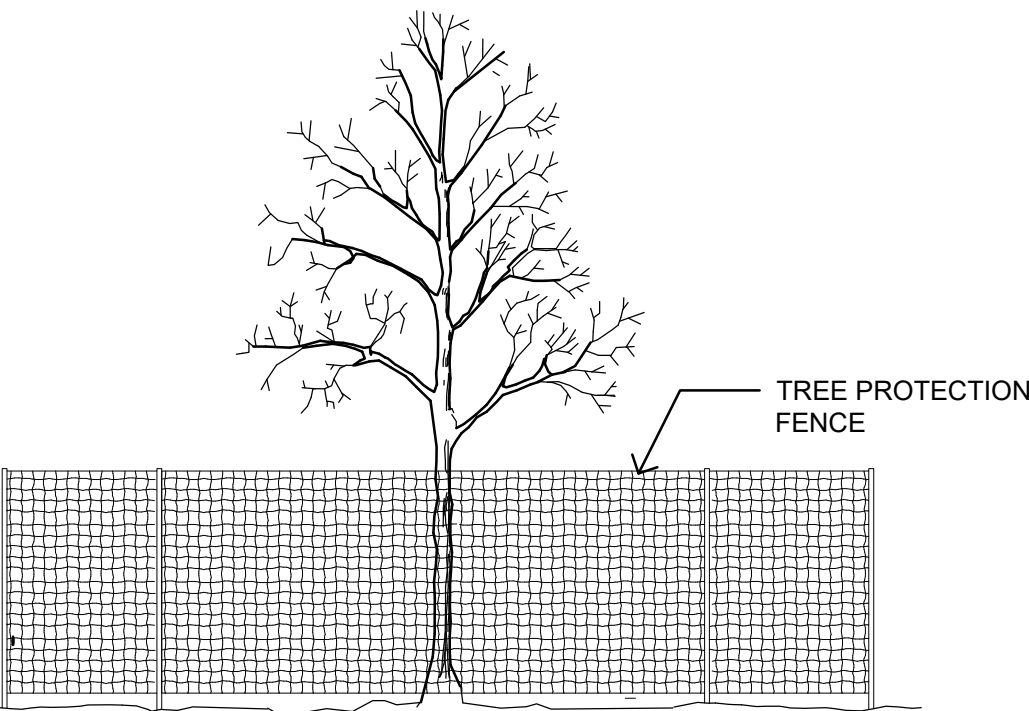
SHRUB PLANTING

NOT TO SCALE



TREE PLANTING

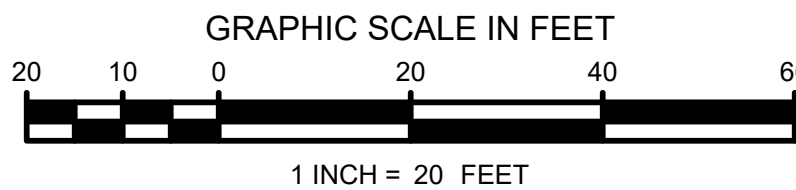
NOT TO SCALE



TREE PROTECTION

NOT TO SCALE

- ① TREE PROTECTION FENCE MUST BE A MINIMUM OF 5' TALL AND CONSTRUCTED OF DURABLE MATERIAL. MOUNTED ON DURABLE POSTS APPROXIMATELY 8'-0" O.C. MAX.
- ② TREE PROTECTION FENCING SHALL BE ERECTED AT DRIP LINE OR BEYOND PRIOR TO START OF CONSTRUCTION.



LANDSCAPE NOTES:

1. ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. IT IS THE CONTRACTORS OPINION WETHER TO STAKE OR NOT A TREE. BUT IT IS THE CONTRACTORS RESPONSIBILITY TO ASSURE PLANTS REMAIN IN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED.
11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
12. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
13. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.
14. ALL EXISTING TREES SHOWN ON THE PLAN TO BE PRESERVED AND PROTECTED.

LANDSCAPE PLAN

ADVANCED DRIVE
CITY OF SPRINGBORO, OHIO

OWNER:

PROJECT NO.: 2020-23

DATE: JUNE 26, 2020

DRAWN BY: KTC

CHECKED BY: KTC

SCALE:

SHEET:

L-1

REVISION NUMBER: DATE:

2K LA

2K Landscape Architecture, LLC
3204 Harvest Ave.
Springboro, Ohio 45213
513.226.8572
www.2KlandscapeArchitecture.com

CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____



☐ SITE PLAN ☒ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT'S NAME: John M. Roll
3176 Kettering Blvd.
Dayton, OH 45439
Telephone No. (937) 299-4243
Fax No. (937) 299-3254
Email Address jroll@rollassoc.com

PROPERTY OWNER'S NAME: Thaler Machine Co.
Address: 216 Tahlequah Trail
Springboro, OH 45066
Telephone No. (937) 550-2400

Address of Property: Edwards Dr./Tahlequah Tr. Lot Number: 5
Existing Use: Vacant lot Zoning District: HBD
Proposed Use: 10,500 SF Warehouse with Loading Dock

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

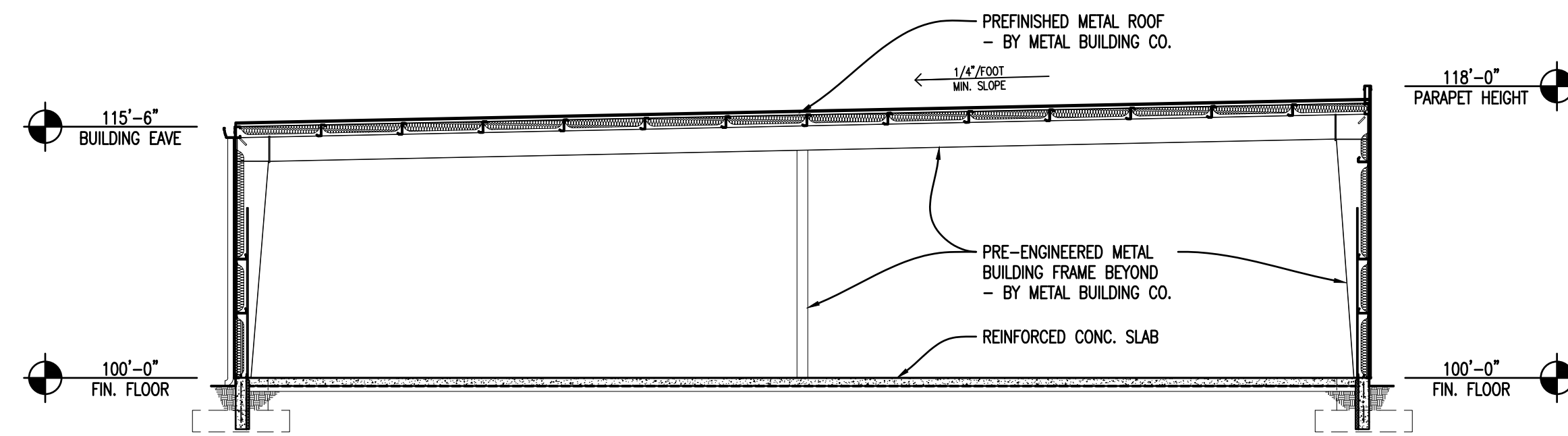

(Signature of Applicant and/or Agent)

6.26.20
(Date)



THALER WAREHOUSE

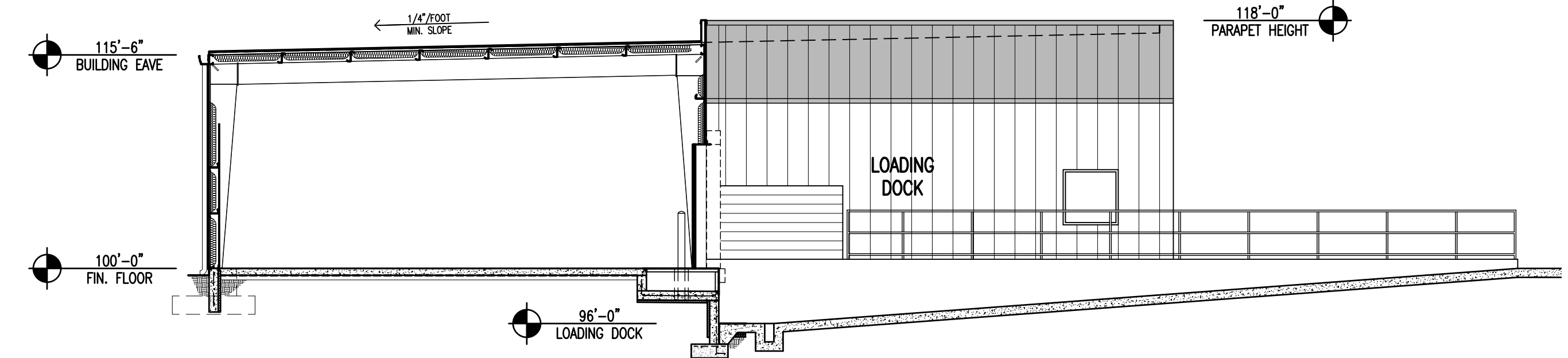
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BUILDING SECTION

1/8" = 1'-0"

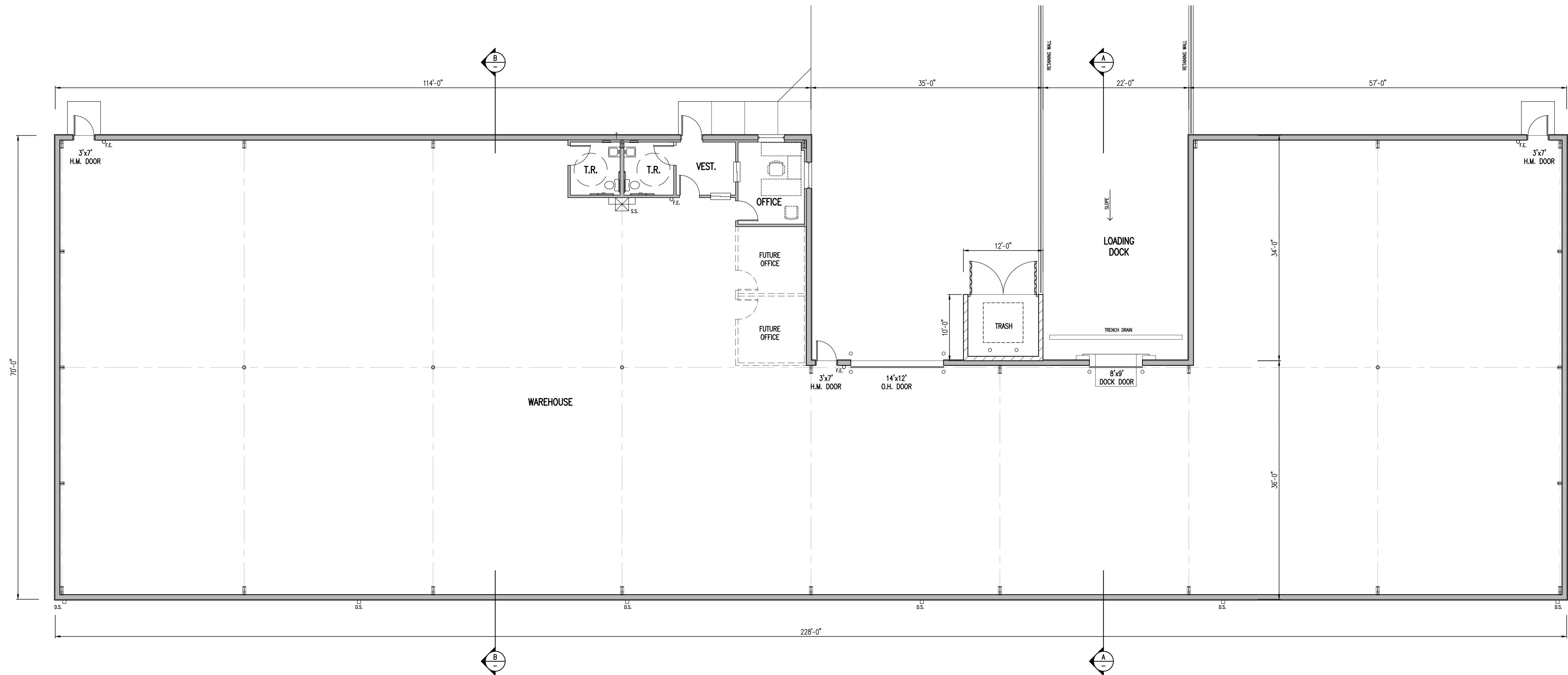
B



BUILDING SECTION

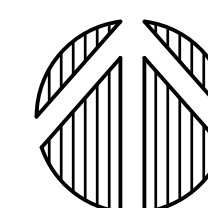
1/8" = 1'-0"

A

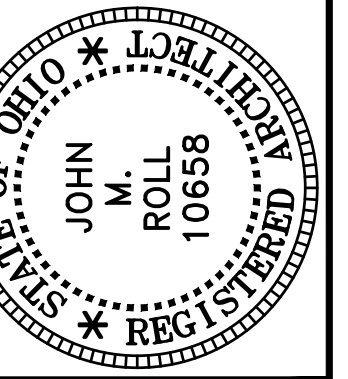


BUILDING PLAN

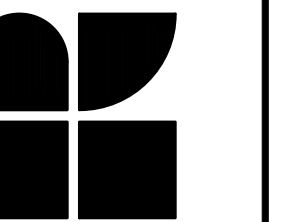
1/8" = 1'-0"



| DATE | DESCRIPTION |
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| 6-26-20 | PLANNING SUBMITTAL |
| 7-2-20 | PLANNING SUBMITTAL |



ROLL & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
3176 KETTERING BOULEVARD DAYTON, OHIO 45439
PHONE (937) 299-4243 FAX (937) 299-3234



THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343

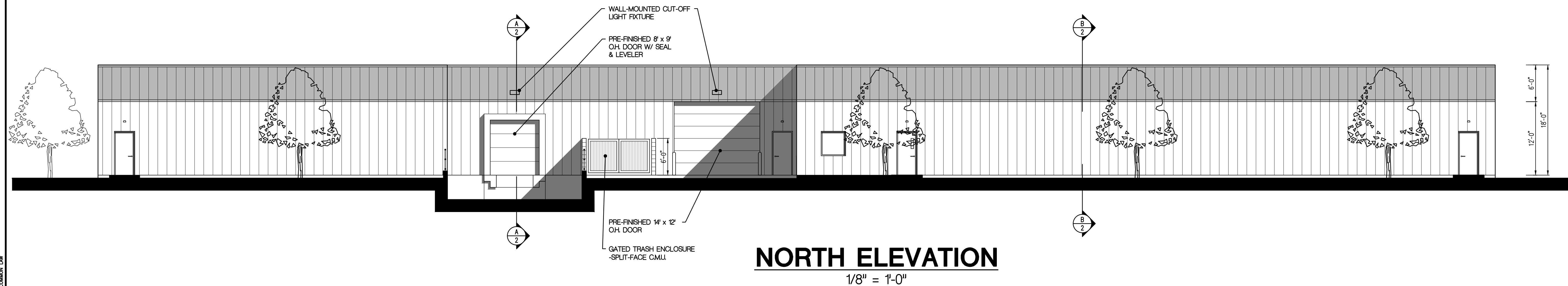
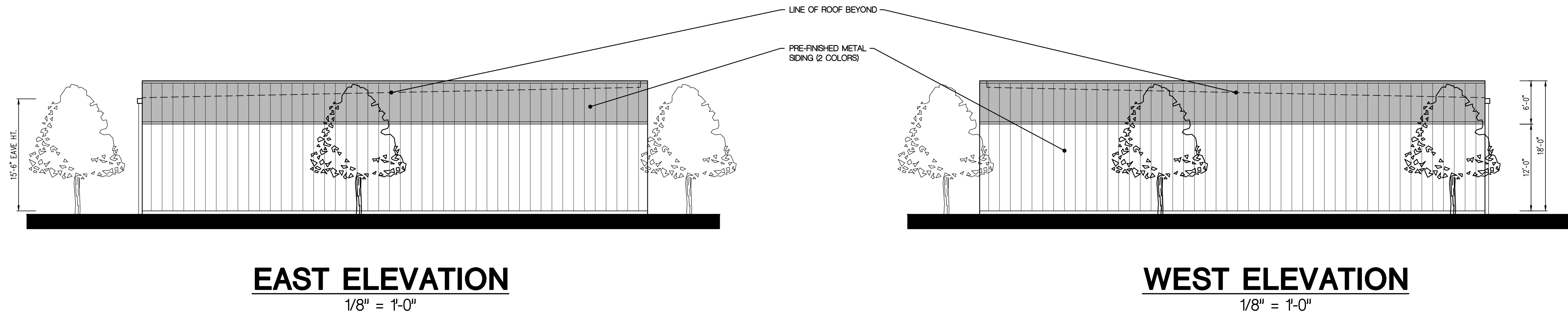
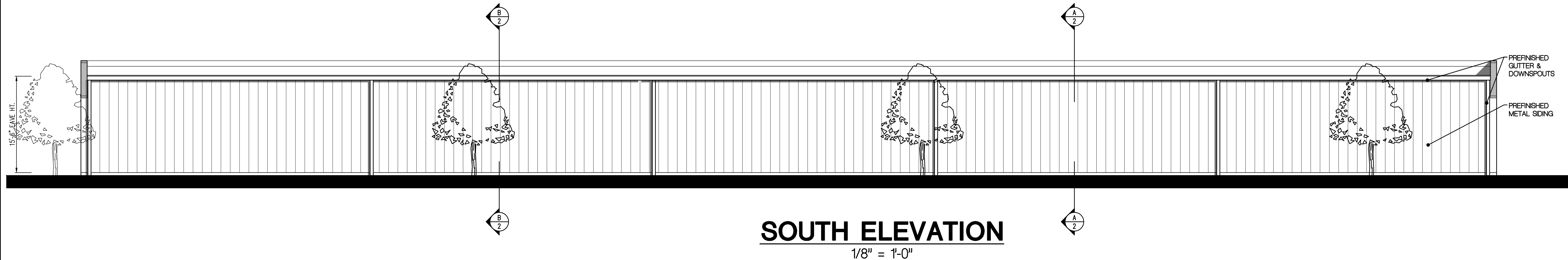
PROJECT NO.
56083

PROJECT TITLE
WAREHOUSE

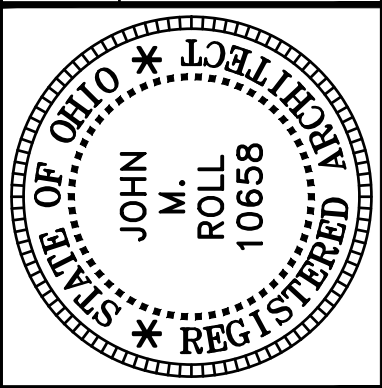
DWG. TITLE
BUILDING PLAN

DWG. NO.
2

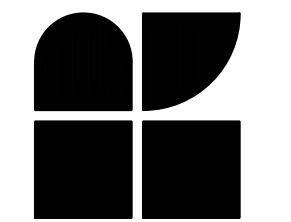
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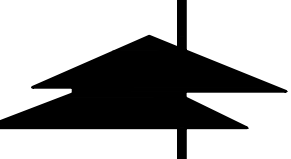
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| 7-2-20 | PLANNING SUBMITTAL |
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ROLL & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
3176 KETTERING BOULEVARD DAYTON, OHIO 45439
PHONE (937) 299-4243 FAX (937) 299-3254

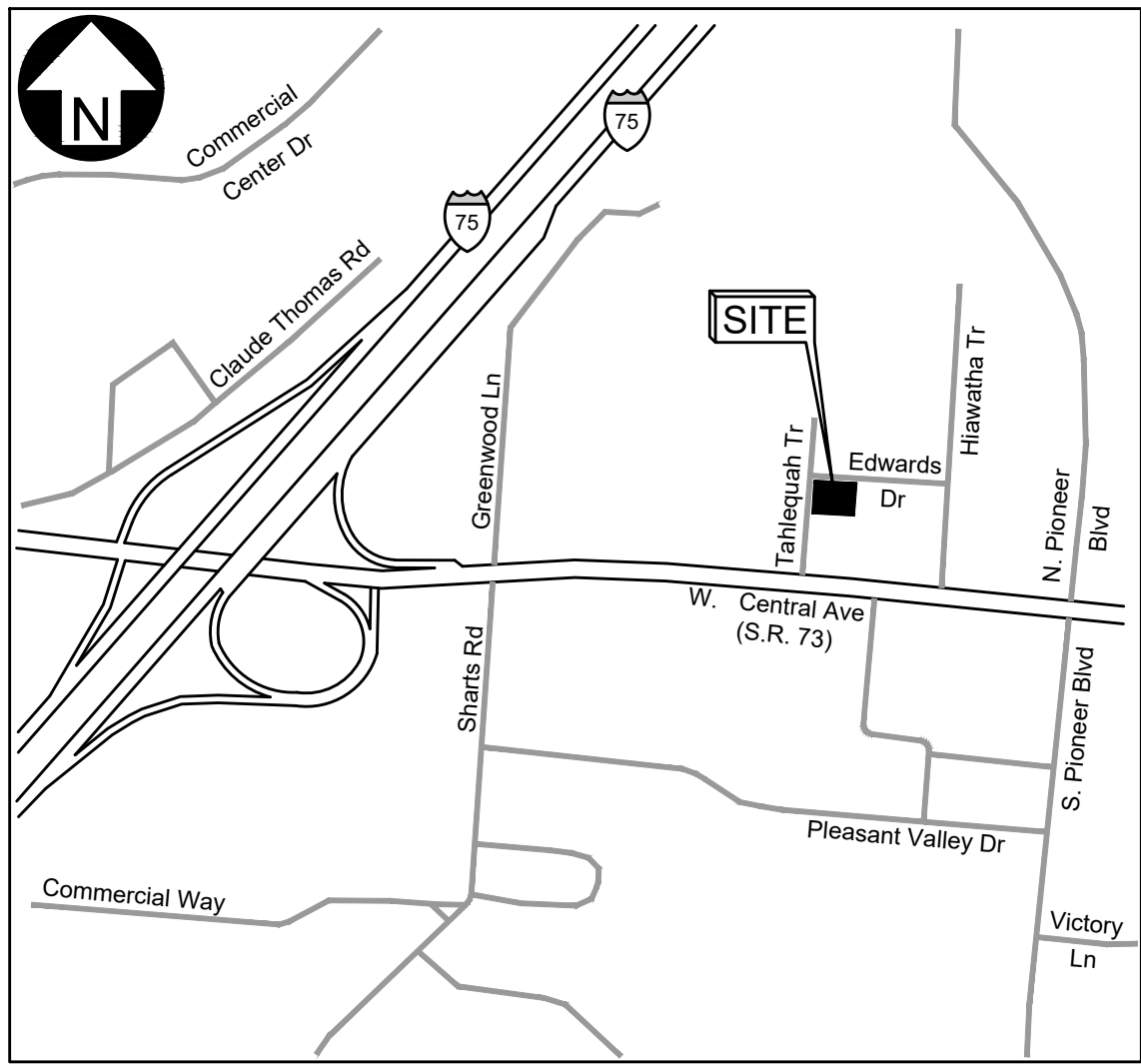


THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343



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| PROJECT NO. 56083 |
| PROJECT TITLE WAREHOUSE |
| DWG. TITLE BUILDING ELEVATIONS |
| DWG. NO. 3 |

SITE DEVELOPMENT PLANS FOR
THALER MACHINE COMPANY LLC
LOT # 5, MIDWAY MEADOWS SECTION 2
CITY OF SPRINGBORO, WARREN COUNTY, OHIO



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- C-1.0: TITLE SHEET, EXISTING CONDITIONS, & DEMOLITION PLAN
C-2.0: SITE PLAN & DETAILS
C-3.0: UTILITY PLAN
C-4.0: GRADING PLAN & SOIL EROSION CONTROL PLAN
C-5.0: STORMWATER MANAGEMENT PLAN

DEMOLITION NOTES

- All work shall strictly comply with all City, State, and Federal regulations and requirements.
- Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
- All items noted to be removed shall be done as part of the contract for general construction.
- Remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, gravel fills, tree roots, pipes, etc.
- Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
- Any disturbance incurred to any adjoining property or within the right-of-way due to demolition or construction shall be restored to the previous condition or better, in accordance with all Local and State Authorities.
- Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor should contact "811", 72 hours before commencement of work and verify all utility locations.

DEMOLITION KEYNOTES

- (01) STRIP AND STOCKPILE TOPSOIL. REFERENCE GEOTECHNICAL REPORT FOR SITE PREPARATION.
- (02) SAWCUT AND REMOVE EXISTING CONCRETE CURB FOR NEW DRIVE — — — SAWCUT LINE

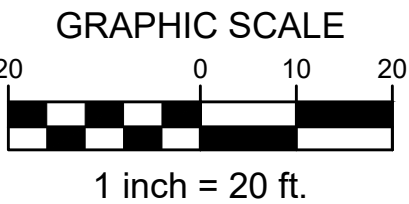
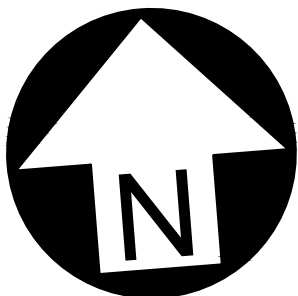
| RIGHT-OF-WAY CURVE DATA | | | |
|-------------------------|--------|------------|--------------------------|
| CURVE NO. | RADIUS | ARC LENGTH | CHORD BEARING & DISTANCE |
| C1 | 20.00' | 31.31' | N 49°56'27" E ~ 28.21' |

◆ SITE BENCHMARKS

- BM#1: FIRE HYDRANT TOP FLANGE
ELEVATION = 833.32'
- BM#2: FIRE HYDRANT TOP FLANGE
ELEVATION = 829.71'

EXISTING SITE LEGEND

- IRON PIN FOUND
- ▲ PIPE FOUND
- DRAINAGE INLET
- ⊙ SANITARY MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER MAIN VALVE
- ⊙ UTILITY POLE
- TELEPHONE CABINET
- STORM SEWER MAIN
- SANITARY SEWER MAIN
- WATER MAIN
- ELECTRIC LINE
- FENCE
- TREE LINE
- CONTOUR LINE



Owner's Signature

Owner Name

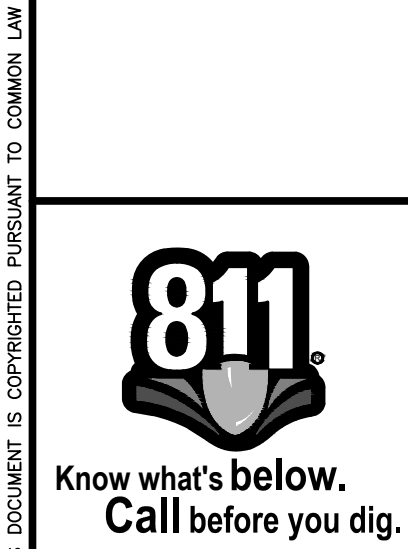
Date

Owner & Developer
Thaler Machine Company
1195 Mound Road
Miamisburg, Ohio 45343
937-550-2400

Civil Engineer
Burkhardt Engineering
Kurt Ziessler, P.E.
28 North Cherry Street
Germantown, OH 45327
937-388-0060

Architect
Roll & Associates, Inc.
John M. Roll, A.I.A.
3176 Kettering Boulevard
Dayton, OH 45439
937-299-4243

Zoning
Current Zone: Highway Business District (HBD)
Min. Lot Area: (Per Planning Commission)
Setbacks Per ED Zoning:
Front: 35' From Edwards Drive R/W
West Side: 35' From Tahlequah Trail R/W
East Side: 35'
Rear: 35'



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| 7-02-20 | REVISED SUBMITTAL |
| 7-10-20 | REVISED SUBMITTAL |
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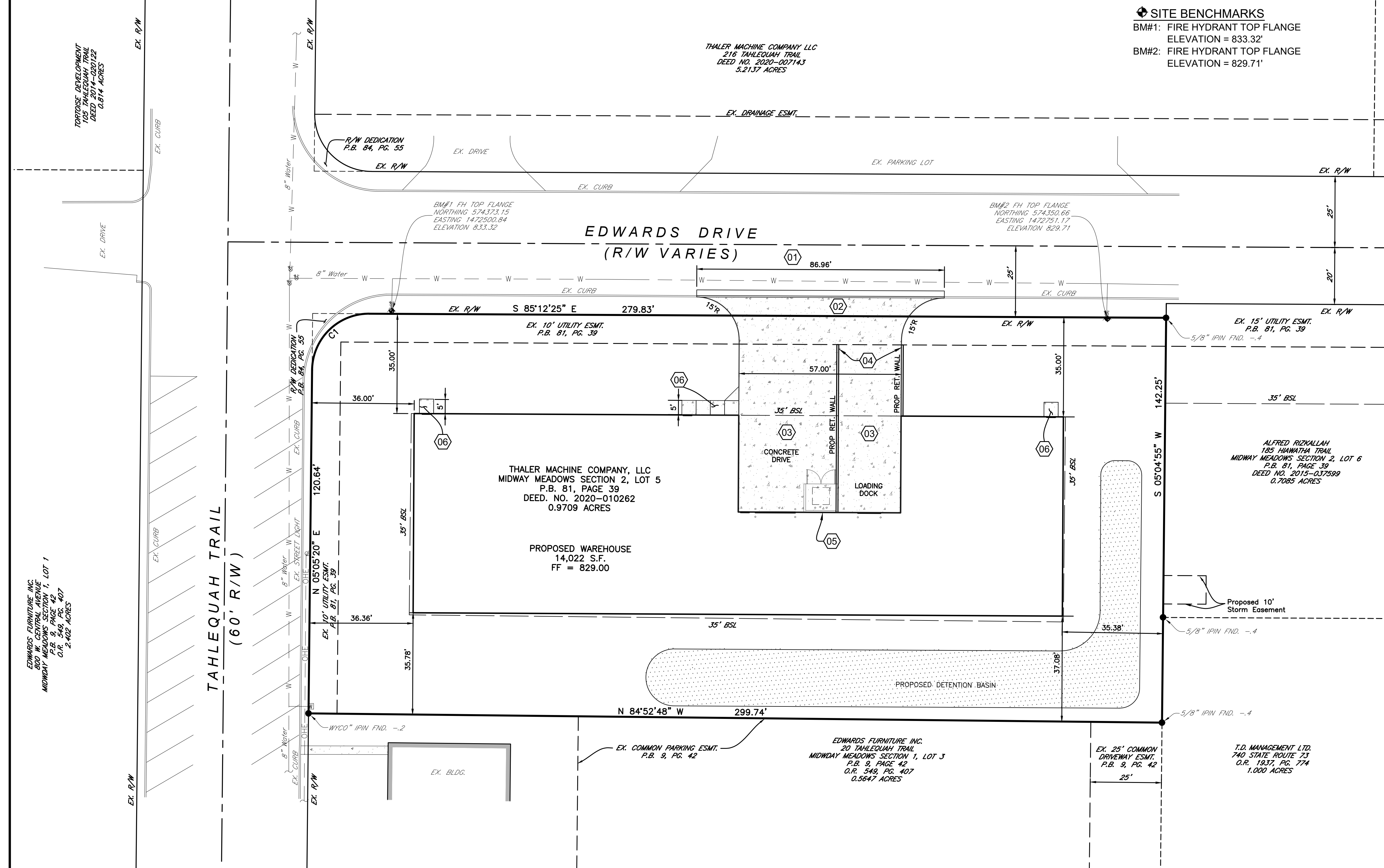


PROJECT NO.
56083
PROJECT TITLE

WAREHOUSE

DWG. TITLE
**TITLE SHEET,
EX. CONDITIONS,
& DEMO PLAN**

DWG. NO.
C-1.0

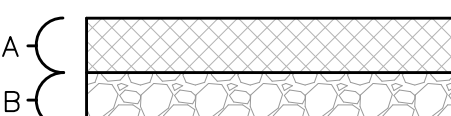


SITE BENCHMARKS
BM#1: FIRE HYDRANT TOP FLANGE
ELEVATION = 833.32'
BM#2: FIRE HYDRANT TOP FLANGE
ELEVATION = 829.71'

SITE NOTES
1. Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
2. All construction shall comply with City and State Standards.
3. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact building dimensions.
4. All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted. All Building dimensions are references to the outside face of structure.
5. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Municipal and/or State specifications and requirements.
6. The Contractor shall abide by all OSHA, Federal, State and Local Regulations when operating cranes, booms, hoists, etc., in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local power company to make arrangements for proper safeguards.
7. The Contractor shall obtain City permits for work within the road right-of-ways, including local curb cut permit, sewer and water connection permit and erosion control bond if required before the start of any activity. The Contractor shall post all bonds, pay all fees, provide proof of insurance, and provide traffic protection necessary for the work.
8. All material schedules shown on the plans are for general information only. The Contractor shall prepare his own material schedules based upon his plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
9. All proposed handicap ramps and parking areas shall comply with current Federal, State, and Local Regulations.
10. Proof roll building and all pavement areas. Notify Owner and/or Owner's Representative of any unacceptable areas.

- SITE KEYNOTES**
- 01 DEPRESSED CONCRETE CURB & GUTTER FOR DRIVEWAY
- SEE DETAIL THIS SHEET
 - 02 CONCRETE APPROACH - 7" QCI CONCRETE
-SEE COMMERCIAL DRIVEWAY DETAIL THIS SHEET
 - 03 CONCRETE PAVEMENT
- SEE DETAIL THIS SHEET
 - 04 CONCRETE RETAINING WALL FOR LOADING DOCK AREA
-SEE ARCHITECTURAL PLANS FOR DETAILS
 - 05 DUMPSTER PAD & ENCLOSURE
-SEE ARCHITECTURAL PLANS FOR DETAILS
 - 06 CONCRETE SIDEWALK
- SEE DETAIL THIS SHEET

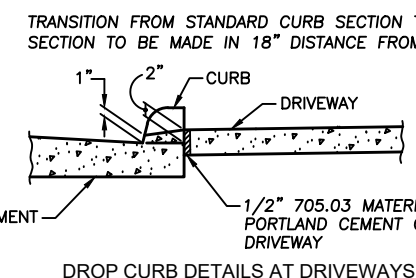
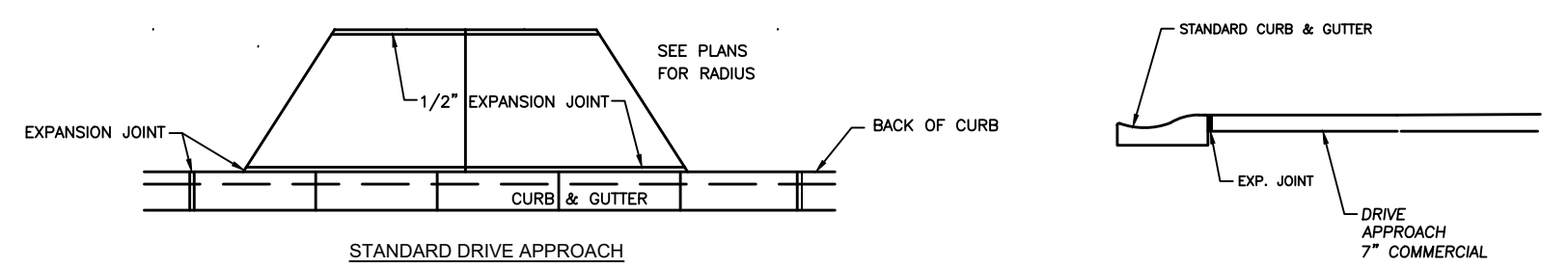
KEY
A - 8" CONCRETE (PER GEOTECHNICAL REPORT ???)
B - 4" ODOT ITEM 304



*PAVEMENT SECTION TO BE OWNER APPROVED.
NO TESTING OR DESIGN WAS PERFORMED BY
THE CIVIL ENGINEER IN SELECTING THIS SECTION.

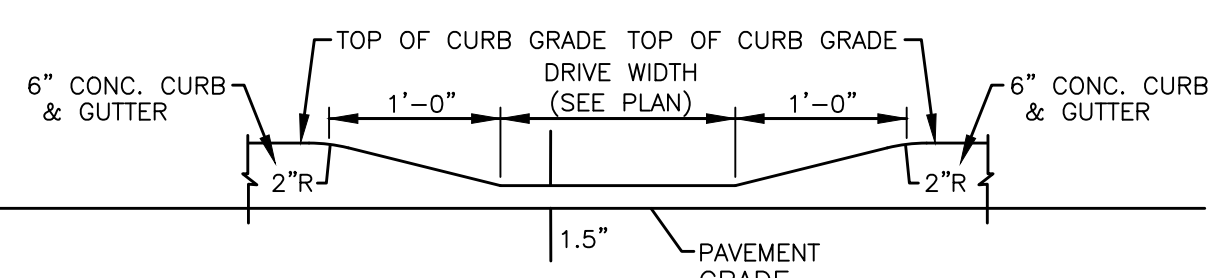
**CONCRETE
PAVEMENT SECTION
NOT TO SCALE**

| RIGHT-OF-WAY CURVE DATA | | | |
|-------------------------|--------|------------|--------------------------|
| CURVE NO. | RADIUS | ARC LENGTH | CHORD BEARING & DISTANCE |
| C1 | 20.00' | 31.31' | N 49°56'27" E ~ 28.21' |

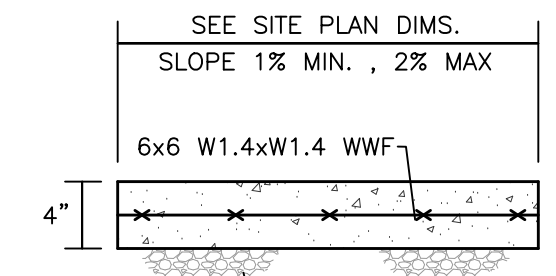


- GENERAL NOTES**
1. DRIVE APPROACHES SHALL NOT BE POURED MONOLITHICALLY WITH CURB & GUTTER.
 2. MAXIMUM JOINT SPACING SHALL BE 10' LONGITUDINALLY AND TRANSVERSELY.
 3. COMPACTED GRAVEL MAY BE USED FOR LEVELING COURSE UNDER CONCRETE DRIVE APPROACH.
 4. WHERE ASPHALTIC CONCRETE PAVEMENT IS DISTURBED, THE ASPHALT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
 5. ANY VARIATION FROM THE AASHTO STANDARD MUST BE APPROVED BY THE ENGINEER.
 6. ALL CONCRETE FOR CURB AND GUTTER, SIDEWALK, AND DRIVE APPROACH SHALL MEET THE REQUIREMENTS SET FORTH IN ITEM 608 (ODOT SPECS.) CONCRETE SHALL BE CLASS C.
 7. EXPANSION MATERIAL TO BE PROFLEX VINYL EXPANSION MATERIAL AND SHALL MEET ASTM D-1752 SECTION FIVE OR AGGREGATE M153-98 SPECIFICATION.

COMMERCIAL DRIVEWAY APPROACH



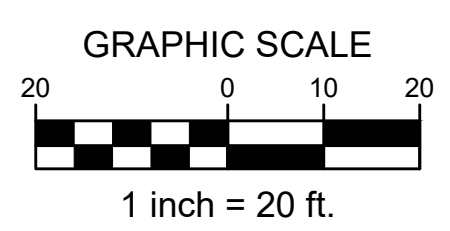
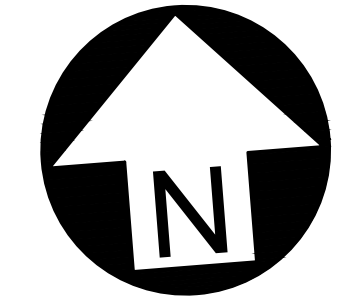
**DEPRESSED CURB DETAIL
NOT TO SCALE**



- NOTES:**
1. SIDEWALK TO BE CONSTRUCTED USING 3500 PSI CONCRETE.
 2. SIDEWALK TO HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

**CONCRETE SIDEWALK DETAIL
NOT TO SCALE**

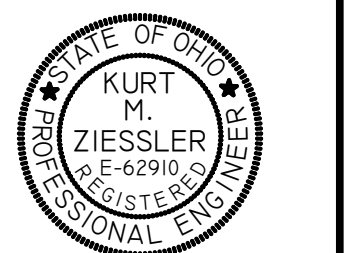
| SITE AND PAVEMENT LEGEND | |
|--------------------------|--|
| | CONCRETE |
| | BUILDING FACADE/AWNING/OVERHANG O/O CONCRETE FOUNDATION |



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| 6-26-20 | PC SUBMITTAL |
| 7-02-20 | REVISED SUBMITTAL |
| 7-10-20 | REVISED SUBMITTAL |
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BURKHARDT
ENGINEERS & SURVEYORS
20 North Cherry Street | Cincinnati, Ohio 45227 | Phone: 513-388-0600 | info@burkhardtinc.com
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

THALER MACHINE COMPANY
1195 MOUND RD. MIAMI SBURG, OH 45343

PROJECT NO.
56083
PROJECT TITLE
WAREHOUSE
DWG. TITLE
SITE PLAN & DETAILS
DWG. NO.
C-2.0



Know what's below.
Call before you dig.

EXISTING UTILITY NOTE

The Contractor shall verify the depth of the existing water main and sanitary sewer at all utility crossings prior to construction. Contact Chad Dixon, City Engineer, 937-748-6184, for construction inspection.

UTILITY KEYNOTES

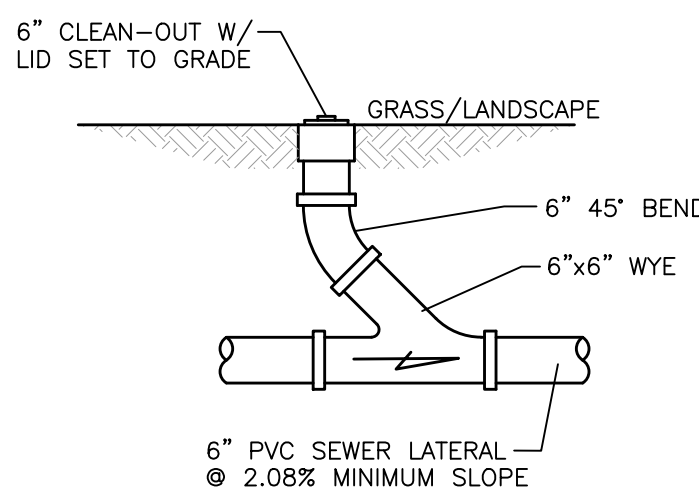
- 01 VERIFY EXACT LOCATION AND ELEVATION OF WATER SERVICES AND SANITARY SERVICE WITH PLUMBING/FIRE PROTECTION PLANS.
- 02 MAINTAIN 1.5' VERTICAL CLEARANCE BETWEEN EXISTING WATER LINE, EXISTING STORM LINE AND PROPOSED SANITARY SERVICE. LOWER EX. WATER PER CITY REQUIREMENTS IF NEEDED.
- 03 FIRE DEPARTMENT CONNECTION (FDC) LOCATED ON BUILDING. FDC TO BE PER FIRE DEPARTMENT REQUIREMENTS. VERIFY EXACT LOCATION WITH FIRE PROTECTION PLANS.

UTILITY TRENCH NOTES

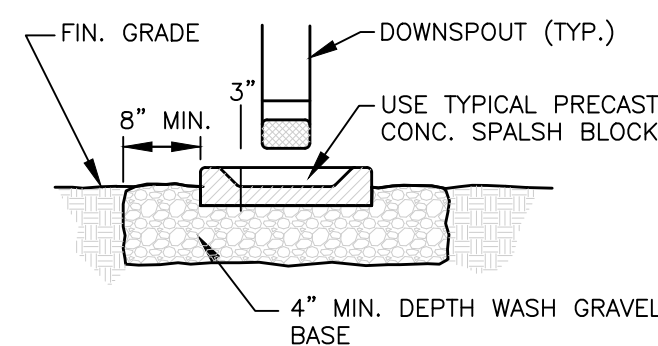
All utility trenches shall have backfill per City of Springboro requirements.

STORM STRUCTURE INFORMATION

- 1 2-2-A CATCH BASIN
SEE SHEET C-5.0 FOR DETAILS
- 2 2-2-B CATCH BASIN
PER STD-304
GRATE = 825.80
12" (S&W) INV. = 823.15
- 3 2-2-B CATCH BASIN
PER STD-304
GRATE = 828.00
12" (E) INV. = 823.67
6" (SE) INV. = 823.67
8" (W) INV. = 824.00
- 4 2-2-B CATCH BASIN
PER STD-304
GRATE = 827.50
8" (E) INV. = 824.52
- E1 TYPE B HEADWALL
PER STD-306
12" INV. = 823.00
INSTALL 10' x 5' x 1.5'
TYPE C ROCK CHANNEL
PROTECTION
- TD TRENCH DRAIN
PER DETAIL THIS SHEET
OR APPROVED EQUAL
GRATE = 824.92
6" (NW) INV. = 823.86

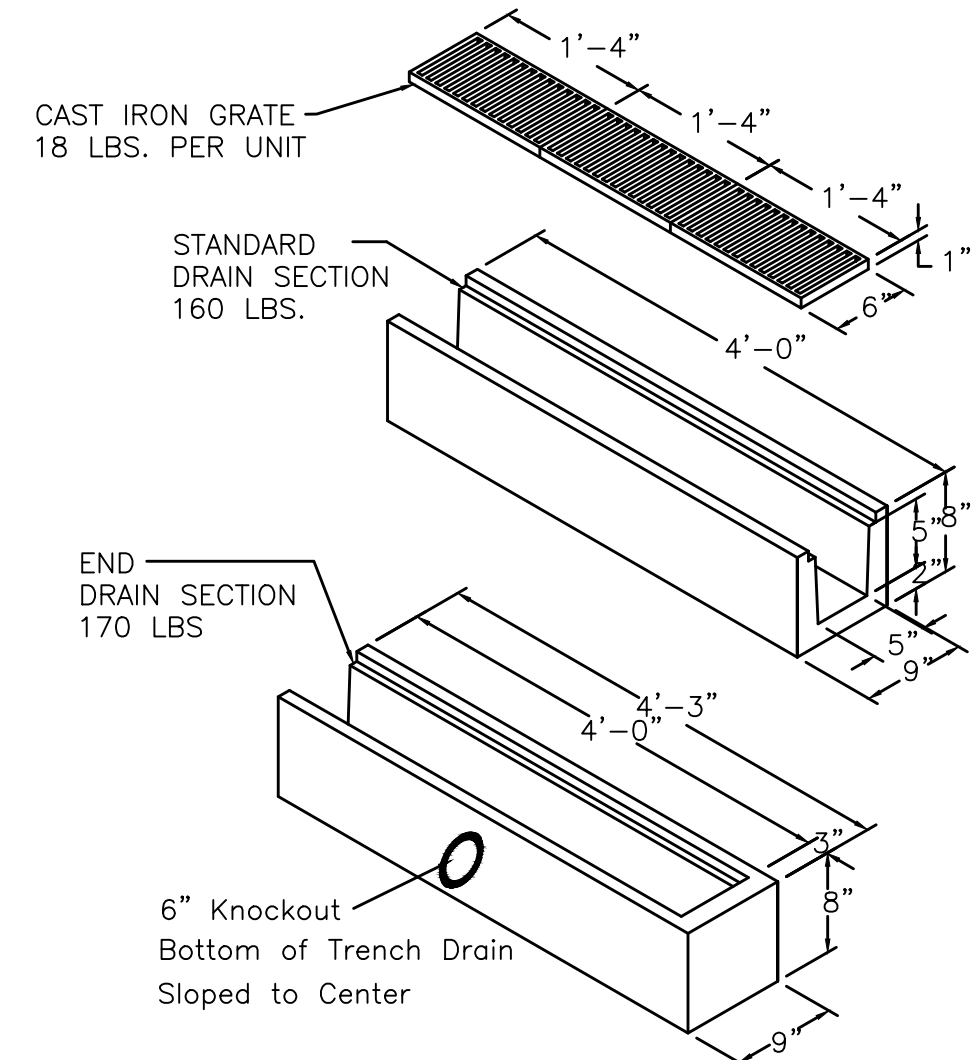
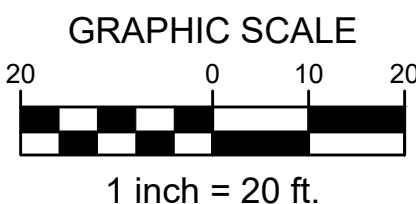
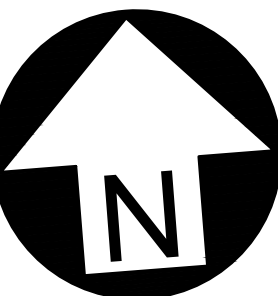


SANITARY CLEAN-OUT DETAIL
NOT TO SCALE



NOTE: THE GRAVEL BASE MUST EXTEND 12" MIN. IN FRONT OF SPLASH BLOCK WITH FRONT EDGE OF FLUME TO BE FLUSH W/TOP OF GRAVEL.

CONCRETE SPLASH BLOCK
NOT TO SCALE



TRENCH DRAIN DETAIL
NOT TO SCALE

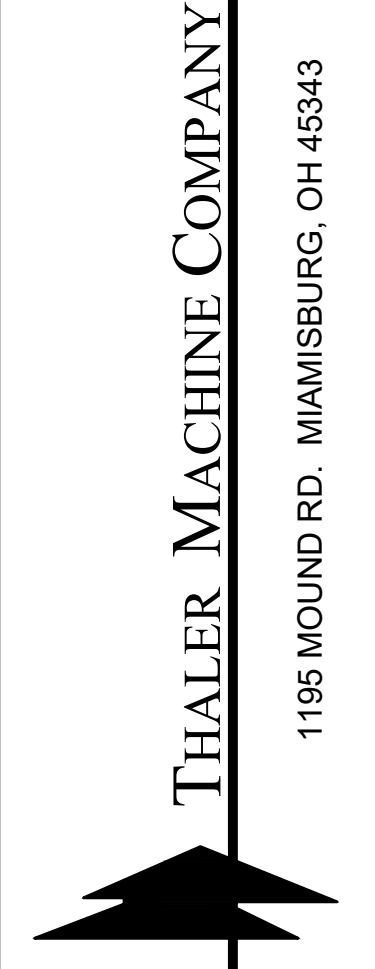
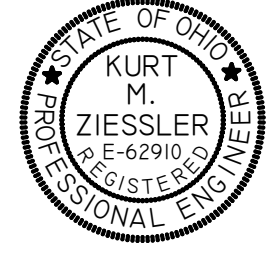
UTILITY LEGEND

- WATER VALVE
▽ FIRE HYDRANT
○DS DOWNSPOUT
□ CATCH BASIN
⊖ YARD DRAIN
- STORM SEWER
— E ELECTRIC SERVICE
— TEL TELEPHONE LINE
— W WATER SERVICE
— SS SANITARY SEWER SERVICE
- ○ SANITARY CLEAN OUT
W WATER METER, PER CITY STANDARDS

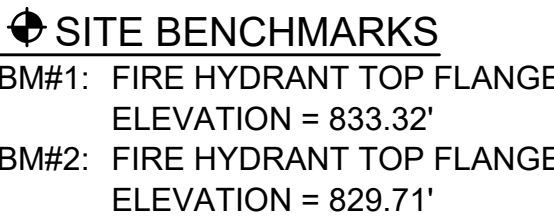
UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- General Contractor to coordinate with the local Utility Companies for all locations and connections. A preconstruction meeting with the various Utility Companies, may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the elevation and location of all utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where sewers cross existing utilities, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact Burkhardt Engineering in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall insure that all Utility Companies and City Standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective Utility Company. The Contractor shall coordinate work to be performed by the various Utility Companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- All valve boxes and curb boxes shall be adjusted to the final grades. All curb boxes shall be located in grassed areas unless indicated otherwise on the plans.
- Sanitary lateral shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed. Contractor shall center one joint of pipe at crossing.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All sanitary sewer lines shall be SDR 35 or Schedule 40 PVC pipe with a minimum slope of 2.00%. All PVC pipe shall be installed in accordance with the manufacturer's recommended procedure.
- Remote reader to be installed within building for water service.
- Water sewer lateral to be Type "K" copper with minimum cover of 4.5'.
- Storm sewer in Right of Way to be Reinforced Concrete Pipe, Class IV
- On site storm sewer shall be Reinforced Concrete Pipe, Class III minimum, or high-density Polyethylene Pipe (ADS N-12 or equivalent).

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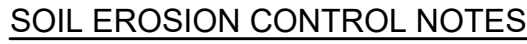
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|-----------------------------------|
| PROJECT NO. 56083 |
| PROJECT TITLE WAREHOUSE |
| DWG. TITLE UTILITY PLAN |
| DWG. NO. C-3.0 |



- ## GENERAL STORMWATER POLLUTION PREVENTION NOTES

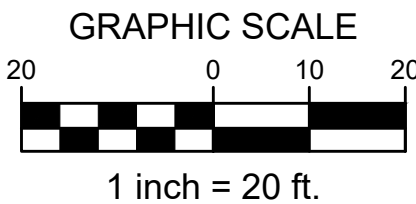
- ### SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

- CONTRACTOR TO DETERMINE BEST LOCATION
FOR CONSTRUCTION ENTRANCE AND
CONCRETE WASH OUT ON THE SITE ONCE
CONSTRUCTION HAS STARTED



All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent)

(ADD 800 TO PROPOSED SPOT ELEVATIONS)

[illegible]

BURKHARDT
ENGINEERS & SURVEYORS

20 North Cherry Street | Cincinnati, Ohio 45221 | Phone: 937-538-8600 | BURKHARDTING.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

THALER MACHINE COMPANY

1195 MOUND RD. MIAMISBURG, OH 45343



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| PROJECT NO. 56083 |
| PROJECT TITLE |

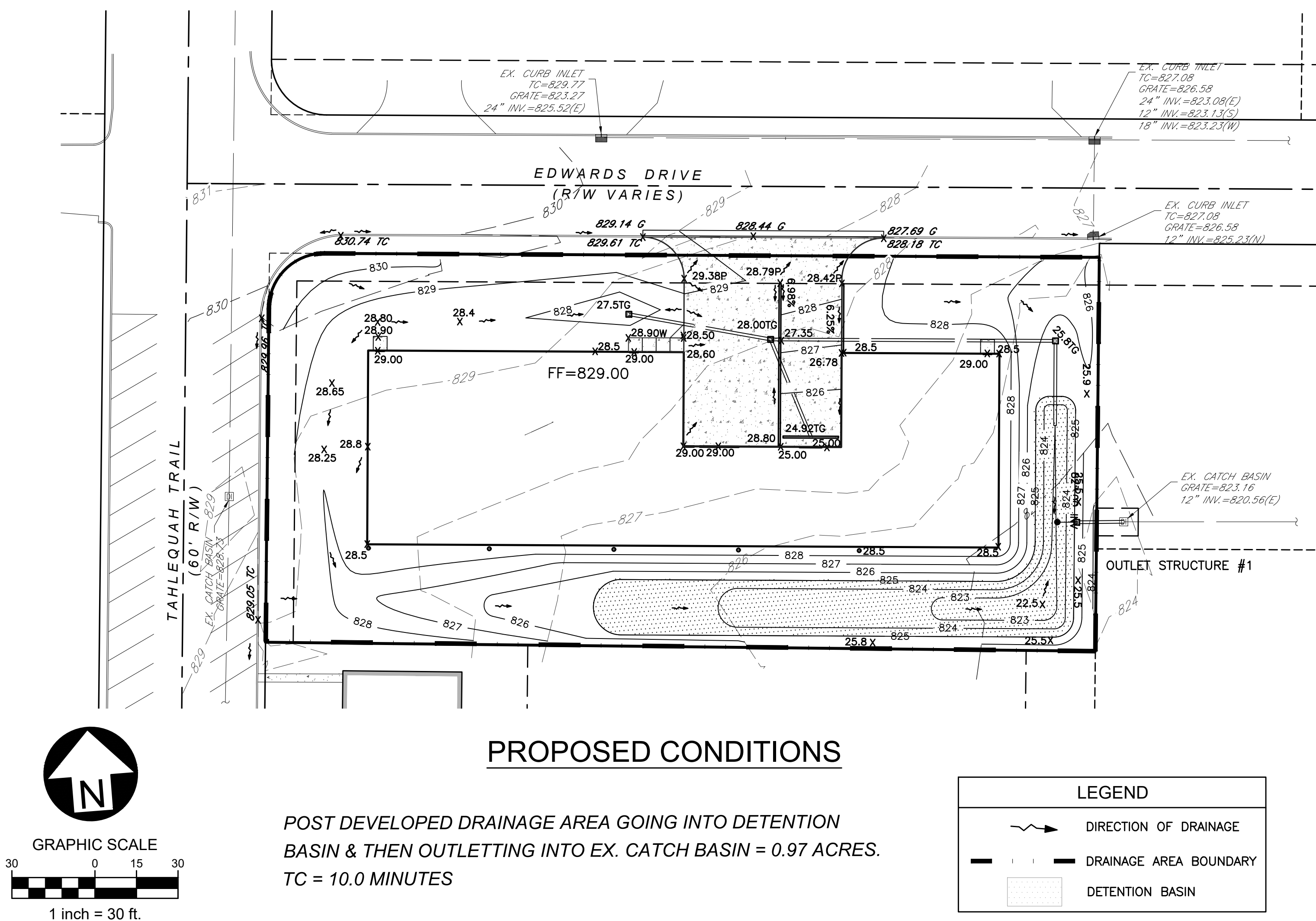
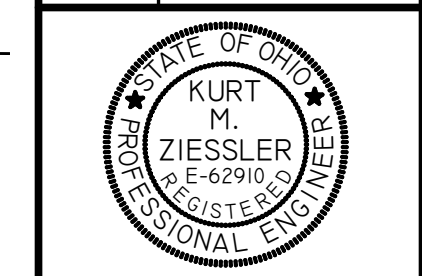
WAREHOUSE

DWG. TITLE

GRADING PLAN &
SOIL EROSION
CONTROL PLAN

DWG. NO.

C-4.0

[illegible]

BURKHARDT
ENGINEERS ▾ SURVEYORS

28 North Cherry Street | Cincinnati, Ohio 45221 | Phone: 937-368-0650 | BURKHARDTINC.COM

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

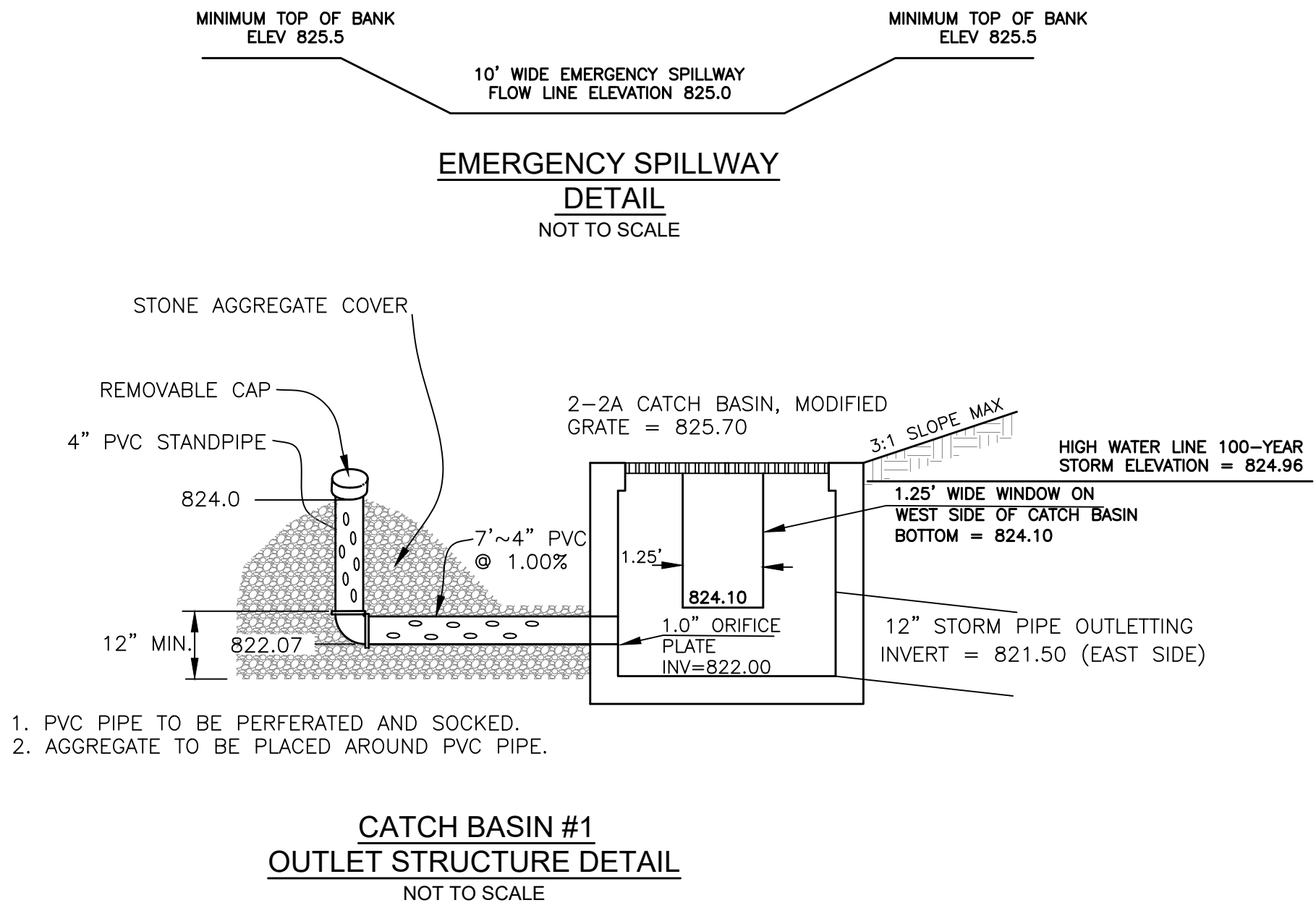
STORMWATER MANAGEMENT

Reference Materials and Methodology for Calculations:
USDA - Urban Hydrology for Small Watersheds - Technical Release 55
USDA - Web Soil Survey
City of Springboro Stormwater Regulations
Ohio EPA Permit No 00HC000005
ODNR Rainwater and Land Development Manual
NOAA Atlas 14, Volume 2, Version 3

Runoff Control Requirements:
Provide detention as necessary to reduce post-construction runoff rates to pre-development rates in accordance with the Critical Storm Method.

| Detention Areas - Storage - Discharge Table | | | | | | |
|---|-------------------------------|--------------------------------|--------------------------------|-----------------------|----------------------|------------------------|
| Event | Pre-Developed Discharge (CFS) | Post-Developed Discharge (CFS) | Allowable Peak Discharge (CFS) | Basin Discharge (CFS) | Basin-Elevation (FT) | Basin Volume (CubicFt) |
| 1 | 0.73 | 1.51 | 0.73 | 0.07 | 824.12 | 1,891 |
| 2 | 1.06 | 2.06 | 0.73 | 0.22 | 824.22 | 2,207 |
| 5 | 1.57 | 2.84 | 0.73 | 0.70 | 824.39 | 2,782 |
| 10 | 1.98 | 3.46 | 1.98 | 1.24 | 824.54 | 3,254 |
| 25 | 2.56 | 4.31 | 2.56 | 2.03 | 824.71 | 3,836 |
| 50 | 3.02 | 4.98 | 3.02 | 2.67 | 824.84 | 4,252 |
| 100 | 3.50 | 5.66 | 3.50 | 3.34 | 824.96 | 4,650 |

Critical Storm



Critical Storm Method Calculations

Pre-Development Conditions

Area = 0.97 acres

CN = 79 (Soil Type C, open space in fair condition)

Tc = 20.8 minutes (TR-55 Tc Method)

Post-Development Conditions

Area = 0.97 acres

Composite CN = 84

0.42 acres of Pavement/Building (CN=98)

0.55 acres of Open Space in Good Condition (CN=741)

Tc = 1 minutes

Pre-developed 10 year storm runoff volume = 2,534 cu-ft

Post-developed 1 year storm runoff volume = 3,418 cu-ft

35% increase in runoff volume

Critical Storm = 5 year

Storm Water Quality Requirements:
Provide post-construction water quality volume per Ohio EPA Permit No OHC000005 and the Ohio Rainwater and Land Development Manual. A Dry Extended Detention Basin has been selected as the post construction BMP for our site.

Water Quality Volume Calculations

$R_v \cdot P \cdot A / 12$

A=0.97 acres (Total Area Disturbed)

P=0.90 inches

$R_v = 0.05 + 0.9i$ ($i=0.43$ =decimal impervious)

$R_v = 0.44$

$WQ_v = 0.032 \text{ acre-ft} = 1,395 \text{ cu-ft}$

20% Increase per EPA Regulations: $WQ_v = 1,673 \text{ cu-ft}$


$WQ_v \text{ Provided} = 1,811 \text{ cu-ft @ Elevation } 824.10$

WQ controlled by a 1.0" diameter orifice at invert elevation = 822.00

Drawdown Time = $\text{Volume} / Q_{avg} = 1811 \text{ cu-ft} / 0.019 \text{ cfs} = 27 \text{ hours}$

811

Know what's below.
Call before you dig.



THALER MACHINE COMPANY

1195 MOUND RD. MIAMISBURG, OH 45343

| |
|---|
| PROJECT NO. 56083 |
| PROJECT TITLE WAREHOUSE |
| DWG. TITLE STORMWATER MANAGEMENT PLAN |
| DWG. NO. C-5.0 |

LED PATRIOT® WALL SCNCE (XPWS3)



DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

| LIGHT OUTPUT - XPWS3 | | | | | |
|-------------------------|-----------|-------------------------------|---------|---------|-------|
| | | Distribution/Lumens (Nominal) | | | |
| Milliamps | # of LEDs | Type FT | Type WT | Type WW | Watts |
| Cool White 350 mA | 28 | 3100 | 3000 | 3200 | 34 |
| | 48 | 5100 | 5100 | 5200 | 55 |
| | 28 | 3700 | 3600 | 3800 | 44 |
| | 48 | 6200 | 6100 | 6300 | 72 |
| Neutral White 450 mA | 28 | 2900 | 2900 | 3100 | 34 |
| | 48 | 4900 | 4800 | 4900 | 55 |
| | 28 | 3500 | 3500 | 3700 | 44 |
| | 48 | 5800 | 5700 | 5800 | 72 |

LED Chips are frequently updated therefore values may increase.

Also available in traditional light sources

US patent 7828456, 8002428 and CAN 2736757 & 2736757 and MX patent 29631 and ISRL 49679 and AUS 2008312668 and US & Int'l. patents pending

SMARTTEC™ -LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature

ENERGY SAVING CONTROL OPTIONS - DIM- 0-10 volt dimming enabled with controls by others.

OPTIONAL INTEGRAL MOTION SENSOR - Passive infrared motion sensor activates switching of luminaire light levels. High level light is activated when passersby enter target zone and increased to full bright in 1-2 seconds. Low light level (30% of maximum drive current) is activated when target zone is absent of motion activity for 5 minutes and is gradually ramped down (10 seconds) to low level. Sensor detection range 110° horizontal x 93° vertical x 10 meters maximum distance.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEDS - Available with 28 or 48 select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.

OPTICS/DISTRIBUTIONS - Ultra-high efficiency reflectors provide three distributions. Choose from Wide Throw (WT), Forward Throw (FT) or Wall Wash (WW).

HOUSING - One-piece die-cast aluminum housing is smoothly contoured rectangular shape. Mounting hardware is stainless steel or electro-zinc plated steel. Housing and optical unit are sealed with extruded silicone gasket; supply conductors with molded EPDM bushing.

OPTICAL UNIT - Clear tempered optical-grade flat glass lens sealed to the aluminum optic housing creates an IP65 rated unit. Pressure stabilizing breather allows super-tight protection while preventing cycling from building up internal pressures and vacuums that can stress optical unit seals.

WALL MOUNTING - Galvanized-steel universal wall mounting plate easily mounts directly to 4" octagonal or square junction box. EPDM gasket is supplied to be installed between mounting plate and junction box, sealing junction box from entrance of water. Universal plate permits fixture to be mounted in uplighting (indoor only) or downlighting position.

POLE MOUNTING - XPMA (for square) or XPMAR (for round) allows mounting to poles in single and D180 configurations. Use with 3" reduced drilling pattern.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input) or 347-480VAC.

DRIVER - Available in 350mA and 450mA drive currents (Drive currents are factory programmed). Components are fully encased in potting material for IP65 moisture resistance. Driver complies with IEC and FCC standards. Driver can be easily accessed.

EMERGENCY OPTIONS - Optional integral emergency battery-back-up options are available. BB option operates in 0°C to 60°C ambient temperature and CWBB operates in -20°C to 60°C ambient temperature. When primary AC power failure occurs, both options operate 10 LEDs for minimum of 90 minutes.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (in carton) - 30 lbs./13.6Kg

LISTING - ETL listed to ANSI/UL1598, UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position. Optional Class 1 Division 2 (groups A, B, C & D) hazardous location rating is available (Select HL option). For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Intertek
wet location
(downlight only)



IP65



Project Name _____ Fixture Type _____

Catalog # _____

07/28/16

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LSI INDUSTRIES INC.

LED PATRIOT® WALL SCNCE (XPWS3)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XPWS3 FT LED 48 450 CW UE WHT BB**

| Prefix | Distribution | Light Source | # of LEDs | Drive Current | Color Temperature | Input Voltage | Finish | Optional Controls | Optional Sensor/Options |
|---------------------------------|---|--------------|-----------|----------------------------|---|---|---|--|--|
| XPWS3 - LED Patriot Wall Sconce | WT - Wide Throw FT - Forward Throw WW - Wall Wash | LED | 28 48 | 350 - 350mA 450 - 450mA | CW - Cool White (5000K) NW - Neutral White (4000K) | UE - Universal Voltage (120-277) 347-480 | BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | Wireless Control System^{1,2} (blank) - None PCM - Platinum Control System PCMH - Host/Satellite Platinum Control System GCM - Gold Control System GCMH - Host/Satellite Gold Control System DIM - 0-10 volt dimming (required for satellite fixtures) Stand-Alone Control (blank) - None DIM - 0-10 volt dimming ³ (from external signal) | Sensor IMS - Integral Motion Sensor ⁴ PCI120 - 120V Button-Type Photocell ⁵ PCI208 - 208V Button-Type Photocell ⁵ PCI240 - 240V Button-Type Photocell ⁵ PCI277 - 277V Button-Type Photocell ⁵ PCI347 - 347V Button-Type Photocell ⁵ Options BB - Battery Back-up ⁶ CWBB - Cold Weather Battery Back-up ⁶ EMR2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps ⁷ HL - Class 1, Division 2 Hazardous Location Rating, ETL Listed to UL844 ⁸ XPM - Pole Mounting Adaptor w/ Fixture Back Plate for Use with Square Poles ⁹ XPMAR4 - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 4" O.D. Round Poles ⁹ XPMAR5 - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 5" O.D. Round Poles ⁹ |

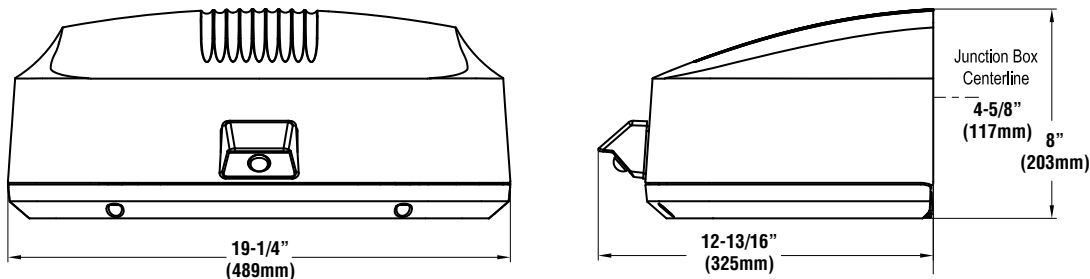
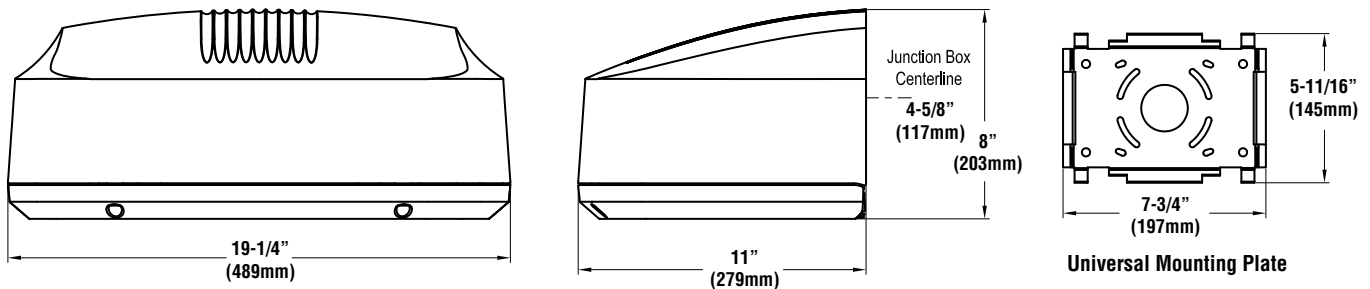
ACCESSORY ORDERING INFORMATION¹ (Accessories are field installed)

| Description | Order Number | Description | Order Number |
|---|---------------------|-----------------------------|--------------------------|
| XPWS3 Polycarbonate Shield | 244657 | DFK208, 240 - Double Fusing | DFK208,240 ¹⁰ |
| XPWS3 SW BLK - Surface Wiring Box (Available in black only) | 356915BLK | DFK480 - Double Fusing | DFK480 ¹⁰ |
| FK120 - Single Fusing | FK120 ¹⁰ | FK347 - Single Fusing | FK347 ¹⁰ |
| FK277 - Single Fusing | FK277 ¹⁰ | | |

FOOTNOTES:

- For wireless controls information and accessories, see Controls section.
- Requires a SiteManager and override switch. Not compatible with battery back-up, IMS, EMR2 or HL Option.
- Not compatible with IMS option.
- Not compatible with wireless controls system or DIM.
- Not compatible with EMR2 or HL option.
- Available with UE voltage only. Not compatible with wireless controls system, EMR2 or HL option.
- Utilizes GZ4 sockets. 12 volt separate circuits required. Not available with wireless controls system, battery back-up, photocell, HL, XPM or XPMAR option.
- Not available with wireless controls system, battery back-up, photocell or EMR2 option.
- Not available with EMR2 option. Designed for 3" reduced drilling pattern. For S or D180 mounting configuration only.
- Fusing to be installed in a compatible junction box supplied by contractor.

DIMENSIONS



Shown with IMS Option



Project Name _____ Fixture Type _____
Catalog # _____

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BUG LISTING**XPWS3 - Type FT**

| Drive Current | Color Temp.* | Lumens | Watts | LER | BUG Rating |
|---------------|--------------|--------|-------|-----|------------|
| 350 | CW | 3055 | 34 | 90 | B1-U0-G1 |
| | | 5094 | 55 | 93 | B1-U0-G1 |
| | NW | 2919 | 34 | 86 | B1-U0-G1 |
| | | 4863 | 55 | 88 | B1-U0-G1 |
| 450 | CW | 3730 | 44 | 85 | B1-U0-G1 |
| | | 6159 | 72 | 86 | B2-U0-G1 |
| | NW | 3529 | 44 | 80 | B1-U0-G1 |
| | | 5775 | 72 | 80 | B1-U0-G1 |

XPWS3 - Type WT

| Drive Current | Color Temp.* | Lumens | Watts | LER | BUG Rating |
|---------------|--------------|--------|-------|-----|------------|
| 350 | CW | 2977 | 34 | 88 | B1-U0-G1 |
| | | 5095 | 55 | 93 | B2-U0-G1 |
| | NW | 2873 | 34 | 86 | B1-U0-G1 |
| | | 4791 | 55 | 87 | B1-U0-G1 |
| 450 | CW | 3636 | 44 | 83 | B1-U0-G1 |
| | | 6144 | 72 | 85 | B2-U0-G1 |
| | NW | 3465 | 44 | 79 | B1-U0-G1 |
| | | 5678 | 72 | 79 | B2-U0-G1 |

XPWS3 - Type WW

| Drive Current | Color Temp.* | Lumens | Watts | LER | BUG Rating |
|---------------|--------------|--------|-------|-----|------------|
| 350 | CW | 3161 | 34 | 93 | B2-U0-G0 |
| | | 5209 | 55 | 95 | B2-U0-G0 |
| | NW | 3074 | 34 | 90 | B1-U0-G0 |
| | | 4881 | 55 | 89 | B2-U0-G0 |
| 450 | CW | 3844 | 44 | 87 | B2-U0-G0 |
| | | 6315 | 72 | 88 | B2-U0-G0 |
| | NW | 3708 | 44 | 84 | B2-U0-G0 |
| | | 5751 | 71 | 81 | B2-U0-G0 |

* Color Temperature: NW-4000K, CW-5000K



Project Name _____ Fixture Type _____
Catalog # _____

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RECEIVED
MAY 23 2020

Case #

Conditions:

PRELIMINARY PLAN
FOR
CLEARCREEK RESERVE WEST
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
SECTION 12, TOWN 3E, RANGE 4N
JULY 2020

GENERAL NOTES

DATE OF SURVEY: FEBRUARY 2020

ZONING: CITY OF SPRINGBORO R-1
FRONT YARD SETBACK - 50'
REAR YARD SETBACK - 40'
SIDE YARD SETBACK - 10' MIN/25' TOTAL

THE DEVELOPMENT WILL COMPLY WITH R-1 DESIGN AND DEVELOPMENT STANDARDS INCLUDING BUT NOT LIMITED TO SETBACKS, HEIGHT, LOT COVERAGE, FRONTAGE, AND MINIMUM LOT SIZE.

DEVELOPMENT WILL COMPLY WITH PLANNING AND ZONING CODE SECTION 1264.06, DEVELOPMENT STANDARDS FOR SINGLE-FAMILY DETACHED DWELLINGS, PROVISIONS INCLUDING EXTERIOR BUILDING MATERIALS, APPEARANCE CONFORMING TO NEIGHBORHOOD SURROUNDING DEVELOPMENT, AND GARAGE PLACEMENT/DESIGN.

SUBDIVISION WILL HAVE ENTRY SIGNAGE COMPLYING WITH PLANNING AND ZONING CODE SECTION 1281.07(a) AND 1281.07(c).

LANDSCAPING FOR THE DEVELOPMENT WILL COMPLY WITH PLANNING AND ZONING CODE CHAPTER 1280 LANDSCAPING.

CONSERVATION EASEMENT AS SHOWN ON THIS PLAN WILL LIMIT CLEARING, DISTURBANCE, AND FUTURE DEVELOPMENT WITHIN THE EASEMENT. LEGAL PROTECTION TO BE PROVIDED AND RECORDED WITH THE FINAL PLAT.

UTILITY AND ROADWAY IMPROVEMENTS WILL BE TO CITY OF SPRINGBORO SPECIFICATIONS.

WATER SERVICE TO BE TIED INTO CITY OF SPRINGBORO SYSTEM.

SANITARY SERVICE TO BE PROVIDED BY ON SITE SEPTIC AND SHALL BE PERMITTED THROUGH WARREN COUNTY HEALTH DEPARTMENT.

STORM WATER MANAGEMENT WILL BE DESIGNED PER CITY OF SPRINGBORO RULES AND REGULATIONS FOR THE DESIGN OF STORM SEWER AND STORM WATER MANAGEMENT SYSTEMS

NO CONSTRUCTION OF ANY KIND SHALL BE IN THE FLOODWAY.

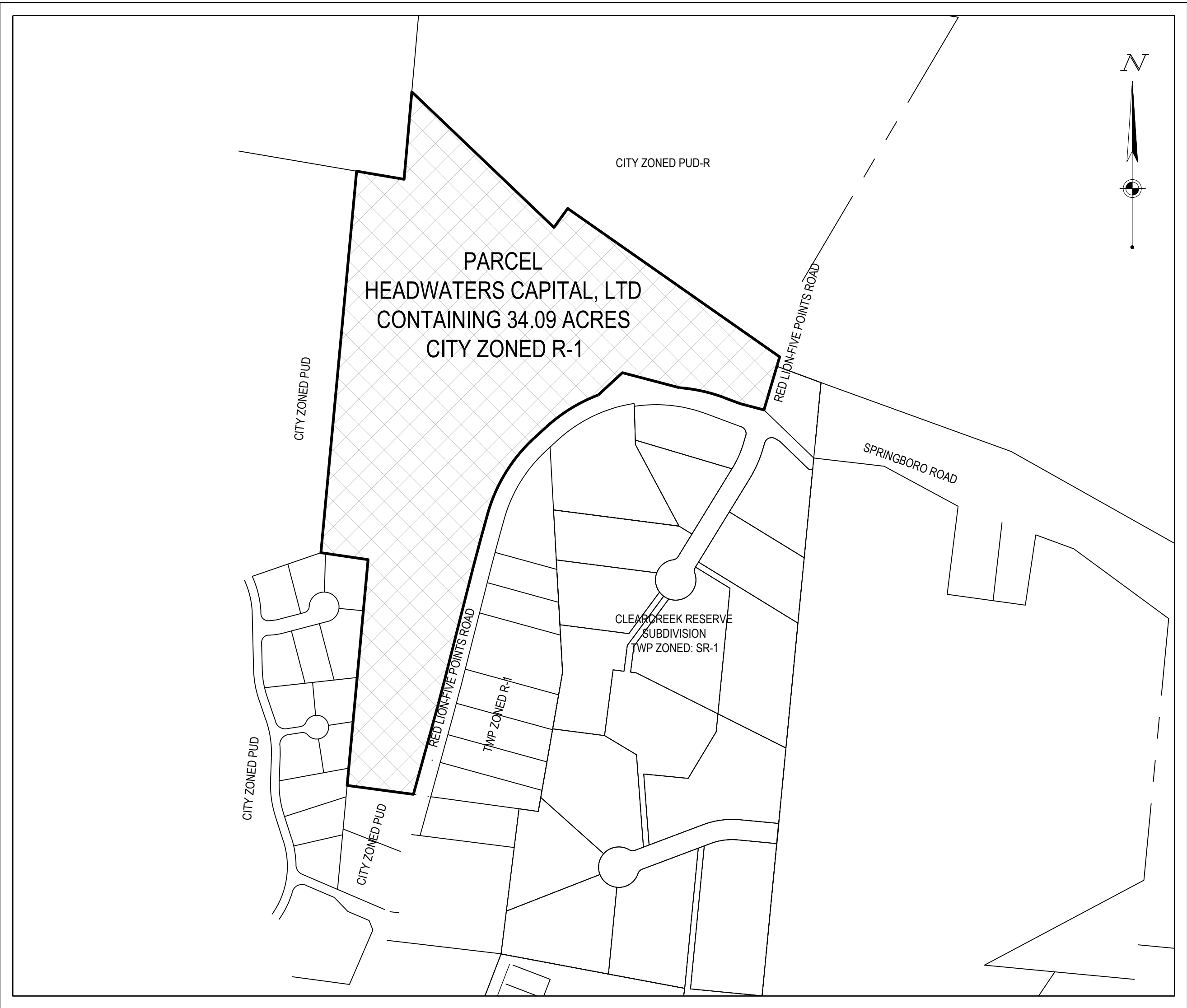
LOTS 4 - 11 SHALL ONLY HAVE DRIVEWAYS CONNECTING TO THE NEW CUL-DE-SAC ROADWAY. DIRECT ACCESS FOR THESE LOTS TO RED LION-FIVE POINTS ROAD IS NOT PERMITTED.

PHASE ONE : LOTS 1 - 3
PHASE TWO: LOTS 4 - 11

BENCHMARK

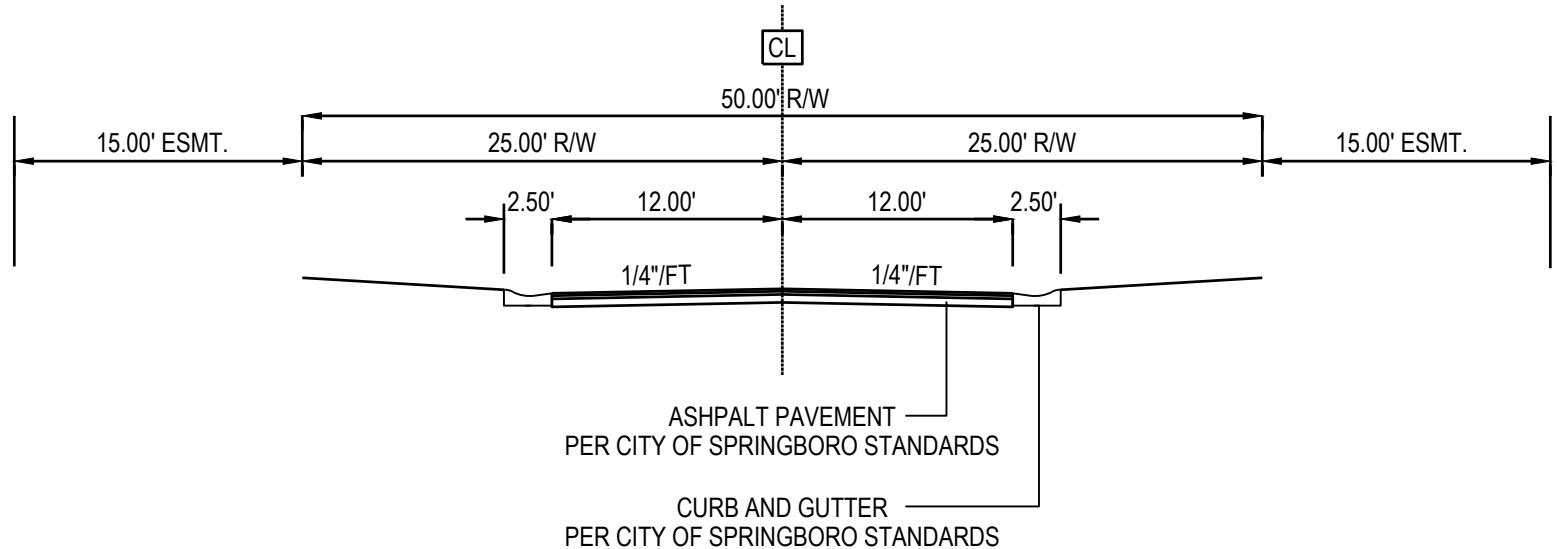
ARROW ON FIRE HYDRANT LOCATED ON THE NORTHWEST CORNER OF RED LION-FIVE POINTS ROAD AND SPRINGBORO ROAD.

ELEV = 765.70 (NAVD 88)

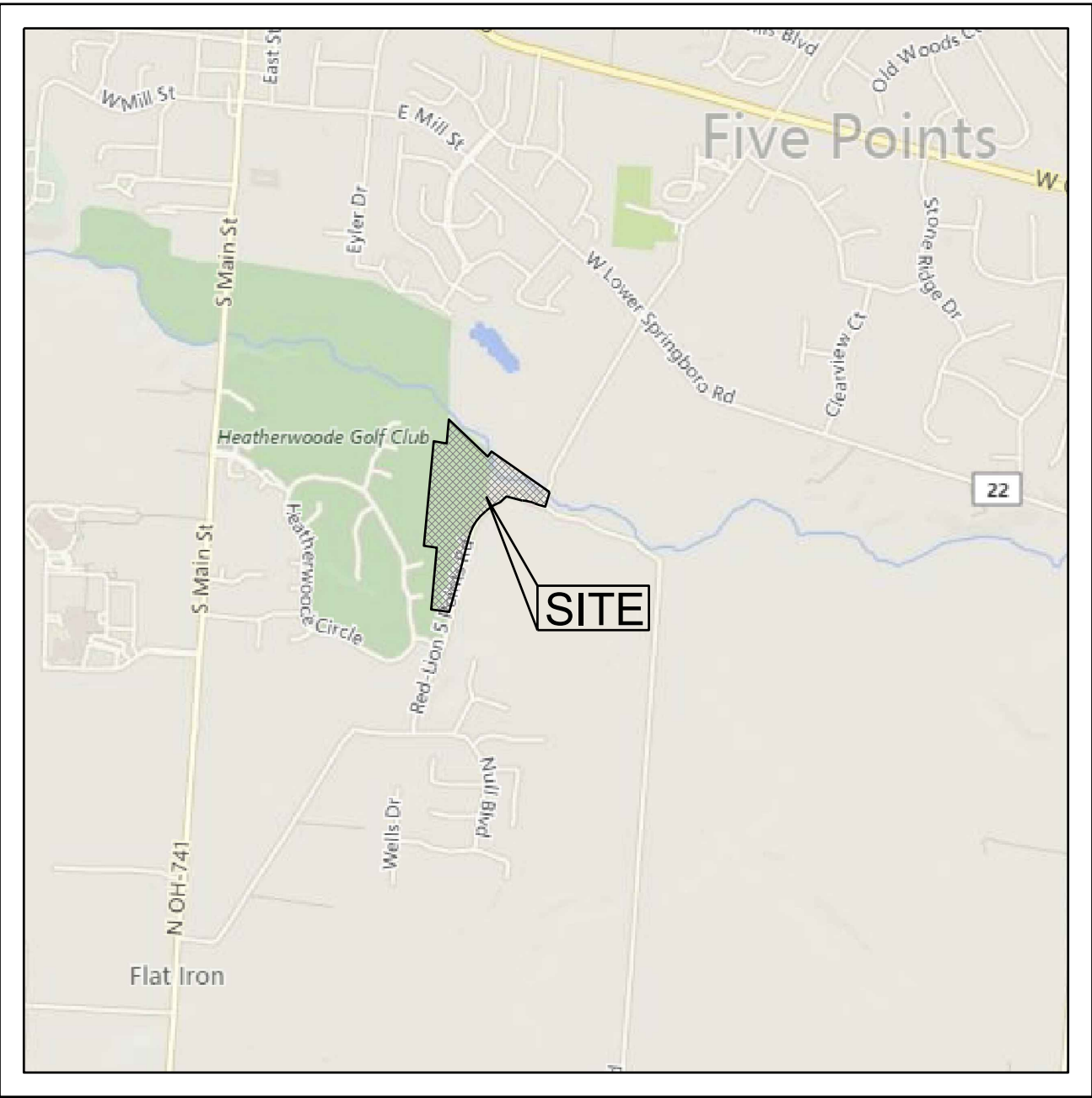


AREA MAP

1" = 300'



TYPICAL SECTION



VICINITY MAP

NTS

LAND USE/SITE DATA TABLE

| | | |
|---------------------------|-------|-------|
| RIGHT-OF-WAY ACREAGE | 0.96 | ACRES |
| RESIDENTIAL ACREAGE | 33.13 | ACRES |
| GROSS ACREAGE OF PROPERTY | 34.09 | ACRES |
| CONSERVATION ACREAGE | 5.96 | ACRES |
| NUMBER OF LOTS | 11 | LOTS |

OWNER

HEADWATERS CAPITAL, LLC.
500 S. MAIN STREET
SPRINGBORO, OHIO 45066
PH: (937) 313-2553
CONTACT:
TODD KELCHNER

APPLICANT

CRW, LLC.
500 S. MAIN STREET
SPRINGBORO, OHIO 45066
PH: (937) 313-2553
CONTACT:
TODD KELCHNER

ENGINEER/SURVEYOR

CESO, INC.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
PH: (937) 435-8584
CONTACTS:
ENGINEER: JUSTIN ELAM, P.E.
SURVEYOR: MICHAEL WILSON, P.S.

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS PLAN
- SITE PLAN
- USGS MAP & DATA



REVISION DESCRIPTION

NO. DATE

CRW, LLC.

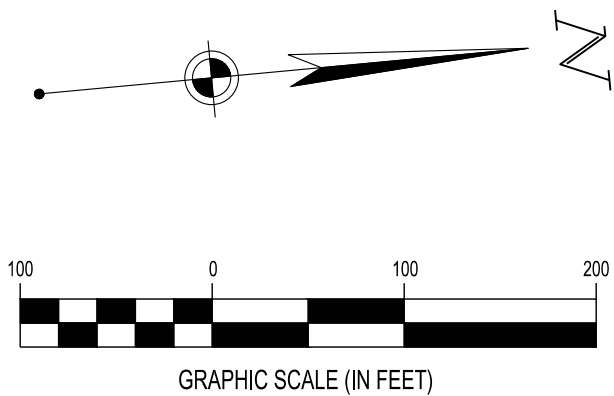
CLEARCREEK
RESERVE WEST

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

TITLE SHEET

| | |
|-----------|-------------|
| ISSUE: | PRELIMINARY |
| DATE: | 07/10/20 |
| JOB NO.: | 757158 |
| DESIGN: | CWS |
| DRAWN: | CWS |
| CHECKED: | JEE |
| SHEET NO. | 1 |

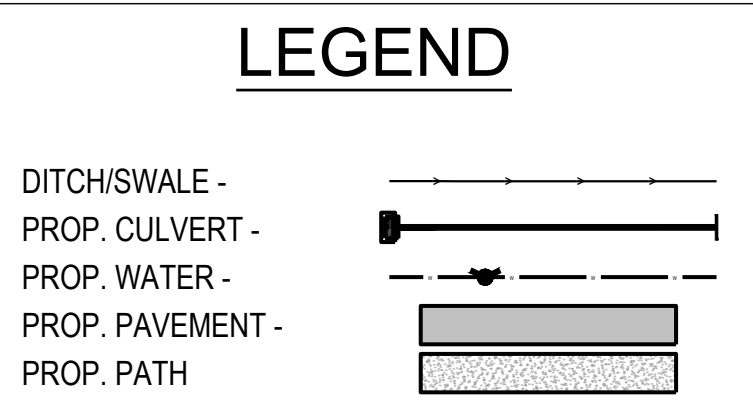
COPYRIGHT: THESE DRAWINGS ARE THE PROPERTY OF CESO, INC.

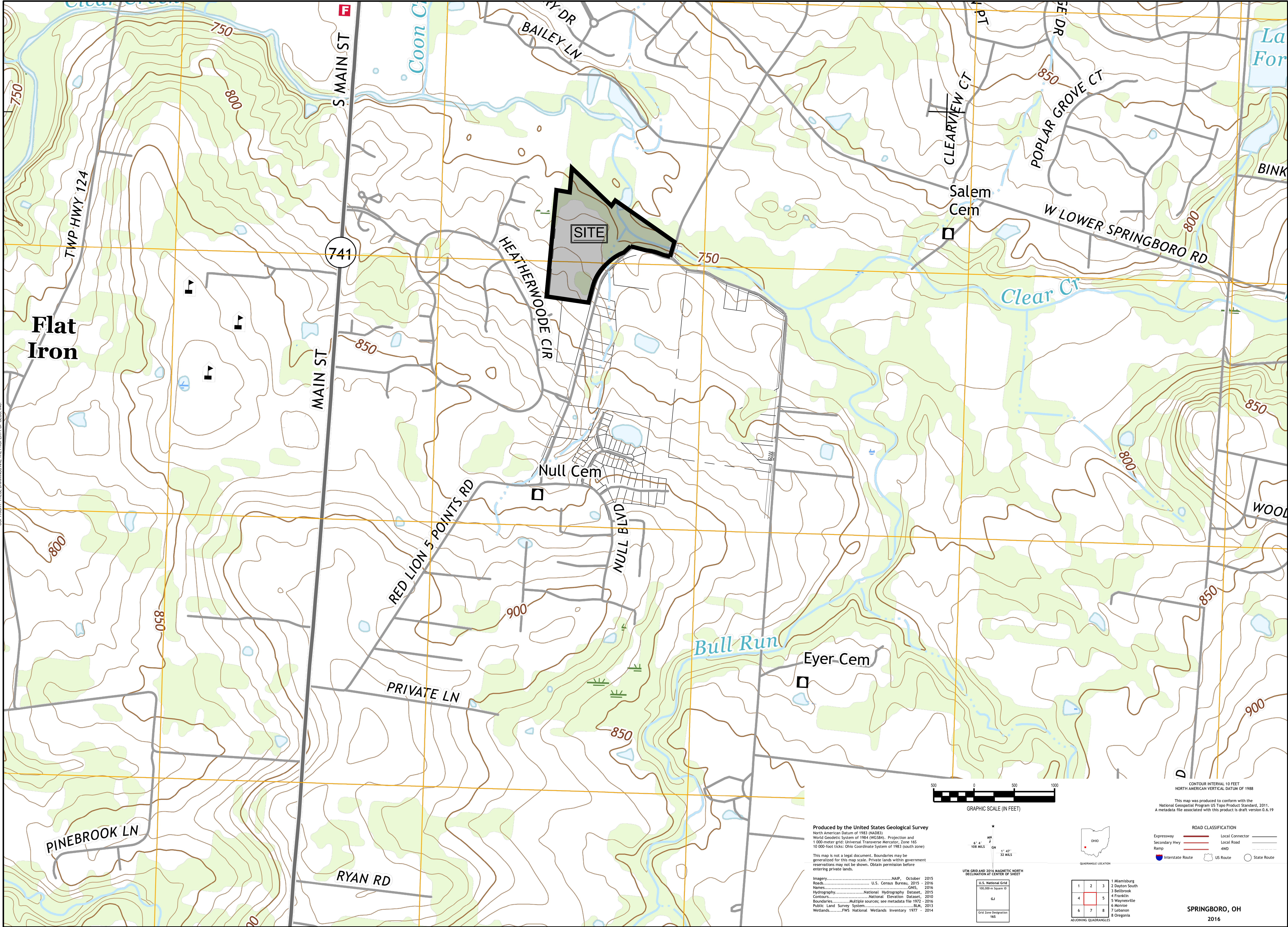


REVISION DESCRIPTION
NO. DATE

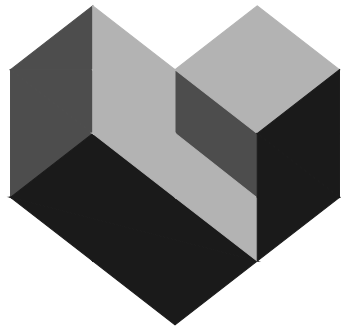
CRW, LLC.
**CLEARCREEK
RESERVE WEST**
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

| EXISTING CONDITIONS PLAN | |
|--------------------------------|--------|
| ISSUE: PRELIMINARY | |
| DATE: 07/10/20 | |
| JOB NO.: | 757158 |
| DESIGN: | CWS |
| DRAWN: | CWS |
| CHECKED: | JEE |
| SHEET NO. | 2 |





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CESO
WWW.CESOINC.COM

REVISION DESCRIPTION
NO. DATE

CRW, LLC.

CLEARCREEK RESERVE WEST

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

USGS MAP & DATA

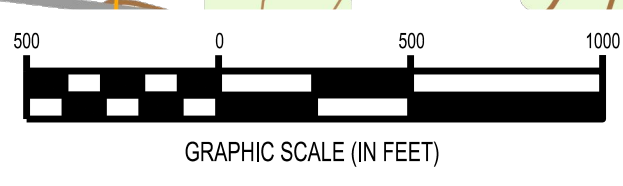
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PRELIMINARY
DATE:
07/10/20

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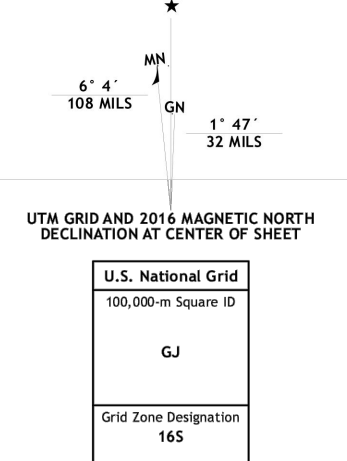
SHEET NO.
4

Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and
1000-meter grid: Universal Transverse Mercator, Zone 16S
10 000-foot ticks: Ohio Coordinate System of 1983 (south zone)
This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery: NADP, October 2015
Roads: U.S. Census Bureau, 2015
Names: National Hydrography Dataset, 2015
Contours: National Elevation Dataset, 2010
Boundaries: Multiple sources; see metadata file 1972 - 2016
Public Land Survey System: BLM, 2013
Wetlands: FWS National Wetlands Inventory 1977 - 2014



GRAPHIC SCALE (IN FEET)



| | | | |
|----|----|----|--------------|
| 1 | 2 | 3 | 1 Miami |
| 4 | 5 | 6 | 2 Dayton |
| 7 | 8 | 9 | 3 Cincinnati |
| 10 | 11 | 12 | 4 Franklin |
| 13 | 14 | 15 | 5 Cincinnati |
| 16 | 17 | 18 | 6 Cincinnati |
| 19 | 20 | 21 | 7 Cincinnati |
| 22 | 23 | 24 | 8 Cincinnati |

CONTOUR INTERVAL 10 FEET
NORTH AMERICAN VERTICAL DATUM OF 1988

This map was produced to conform with the
National Geospatial Program US Topo Product Standard, 2011.
A metadata file associated with this product is draft version 0.6.19

| ROAD CLASSIFICATION | Local Road | State Route |
|---------------------|-----------------|------------------|
| Expressway | Local Connector | Interstate Route |
| Secondary Hwy | Local Road | US Route |
| Ramp | 4WD | |

SPRINGBORO, OH
2016

EXHIBIT FOR AGENDA ITEM D—COMBINED MEETINGS

Meeting Agenda City of Springboro Planning Commission Meeting Wednesday, January 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, May 27, 2020 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Appointment of Planning Commission Chair, Vice Chair for 2020
- III. Approval of Minutes
 - A. December 11, 2019 Planning Commission Meeting
- IV. Agenda Items
 - A. Final Approval, Record Plan, 775 West Central Avenue (SR 73), proposed McDonald's restaurant, dedication of right-of-way
 - B. Preliminary Review, Site Plan Review, 125 Commercial Way, warehouse facility for Woodhull USA, LLC
 - C. Preliminary Review, Planning & Zoning Code text amendment, recreational vehicle storage
- V. Guest Comments
- VI. Planning Commission and Staff Comments
- VII. Adjournment