

Memo

To: Members of Springboro Planning Commission, Elmer Dudas, Development Director, Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary

From: Dan Boron, Staff Liaison

Date: July 24, 2020

Re: Instructions for Wednesday, July 29, 2020 Planning Commission Meeting

The Wednesday, July 29, 2020 BPAC meeting will be conducted remotely by teleconference using Zoom. The meeting will begin at 6:00 p.m., however the virtual meeting room will be available for you to join beginning at 5:45 p.m. Wednesday night.

Meeting materials (agenda, minutes for approval, staff comments, and applications) are included in this packet following these instructions. You may read at your leisure and let me know if you have any questions or comments. In order to make the meeting proceed as smoothly as possible, I ask for any corrections or comments to the meeting minutes to be made before the meeting by emailing Ann Burns at ann.burns@cityofspringboro.com before 4:30 p.m. Wednesday afternoon.

Here is how things will work on Wednesday night:

- 1) Beginning at 5:45 p.m. log on to www.zoom.us. You do this by going to www.zoom.us. (If you have Chrome as an internet browser choice, use that as it seems to work best.)
- 2) Once you are on the Zoom website, click "Join a Meeting" at the top right hand corner, which will bring you to the "Meeting ID" prompt. Enter Meeting ID and click button provided below.
- 3) At this point, it may prompt you to download the Zoom app (if you haven't used Zoom on that laptop / computer before). Download the app and click the .exe file in the bottom left hand corner once it is downloaded.
- 4) Then it may say "Open Zoom". Click "Open Zoom."
- 5) Then it should ask you for a meeting password. Enter meeting password and click Join Meeting.
- 6) Make sure at some point you click the "Join with Video" button. The meeting host will then accept you into the meeting. This may take a few seconds, so don't worry if you aren't joined right away.
- 7) Once you see other members who have joined, click the "Join Audio" on bottom left hand corner of screen and then click "Computer Audio".

8) You should be ready to go!

The City of Springboro is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission Meeting

Time: Jul 29, 2020 05:45 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/82236852483?pwd=UkNVQm50ZVd1NHIxVExtU3hoRHIKZz09>

Meeting ID: 822 3685 2483

Passcode: 502198

One tap mobile

+13017158592,,82236852483#,,,,0#,502198# US (Germantown)

+13126266799,,82236852483#,,,,0#,502198# US (Chicago)

Dial by your location

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

Meeting ID: 822 3685 2483

Passcode: 502198

Find your local number: <https://us02web.zoom.us/u/keFKlcDf3>

Find your local number: <https://us02web.zoom.us/u/kIAIHxV7>

Meeting deliberations will begin at 6:00 p.m. If you are encountering technical difficulties, please let me know by texting me at 937-952-9035, however we will proceed with the meeting with the members present at the regular time. The meeting will be recorded for both sound and video.

If you have any questions regarding the meeting free to reach out to me at 937-748-6183 or danb@cityofspringboro.com. After 5:00 p.m. on meeting night the best way to reach me will be by text or phone at 937-952-9035.

Meeting Agenda
City of Springboro Planning Commission Meeting
Wednesday, July 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 29, 2020 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Approval of Minutes
 - A. June 24, 2020 Planning Commission Meeting
 - B. July 8, 2020 Planning Commission Work Session Meeting
- III. Agenda Items
 - A. Final Development Plan Review, Advance Drive PUD, Planned Unit Development, commercial building
 - B. Site Plan Review, Southeast Corner Edwards Drive and Tahlequah Trail, warehouse building for Thaler Machine
 - C. Preliminary Plan (Stage 2 Approval), 6329 Red Lion Five Points Road, proposed Clearcreek Reserves West residential subdivision
 - D. Planning & Zoning Text Amendment - Combined Meetings
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, June 24, 2020

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. by video conference.

Present: Mark Davis, Chris Pearson, Robert Dimmitt, John Sillies, Becky Iverson and Becky Hartle.

Staff: Dan Boron, City Planner; Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary. Also present was Norm Cox, The Greenway Collaborative

Mr. Dimmitt motioned to excuse Mr. Harding. Ms. Hartle seconded the motion.

Vote: Iverson, yes; Pearson, yes; Sillies, yes, Davis, yes; Hartle, yes; Iverson, yes (6-0)

II. Approval of Minutes

A. May 27, 2020 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes.

There were none.

Mr. Pearson motioned to approve the May 27, 2020 Planning Commission minutes as submitted. Mr. Dimmitt seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes. (6-0)

B. June 10, 2020 Planning Commission Work Session Minutes

Mr. Dimmitt motioned to approve the June 10, 2020 Work Session minutes as submitted. Ms. Hartle seconded the motion.

Vote: Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes, Pearson, yes (6-0)

III. Agenda Items

A. Approval of the Bicycle & Pedestrian Plan Draft Report

Background Information & Staff Comments

City staff is requesting that the Planning Commission approve a recommendation to City Council to adopt the Bicycle & Pedestrian Plan with amendments. The plan report paper copy distributed prior to the June 10th work session is still current less the amendments listed here.

The plan can be found at <https://walkbike.info/springboro/plan/>. This item that was reviewed at the June 10th work session. The amendments are as follows:

Amendment #1. During the June 10th work session review, a recommendation was made to amend the policy "Establish Citizen Support Groups" on page 55 to incorporate adoption and friends of programs to capitalize on the interest shown by companies located in Springboro on the proposed trails. The following text is recommended for that policy:

Establish Citizen Support Groups

For natural area preservation work, specialized bicycle facilities, and trails, establish citizen and corporate "adoption" and "friends of" programs to help improve and maintain the parks and facilities. The City should promote and recognize these groups and provide the volunteers and organizations with the tools and resources they require for their volunteer efforts.

Amendment #2. The second amendment is in part an infrastructure recommendations carried over from the 2013 plan. On Lytle-Five Points Road, adding crosswalks with Rectangular Rapid Flash Beacons (RRFBs), the same crossing designs as those installed on South Main Street at the Market Street and South Street intersections was recommended in the May 15th draft report for the intersection of Country Club Lane, and coincides with the resurfacing/striping project on Lytle-Five Points Road east of the Settlers Walk subdivision that will occur shortly.

The recommendation is to add two additional RRFB crossings to the west. The first is at Tanglewood Lane/Great Oak Drive, a proposal that was in the 2013 plan but was left off the 2020 plan to this point in time. This proposal would be beneficial in connecting Settlers Walk to the signed bike route on Tanglewood Lane that connects ultimately to SR 741. The second RRFB crossing is new and is proposed for the Settlers Walk Boulevard/Innsbrook Lane intersection. Again, this change would improve connections between Settlers Walk and areas to the south by way of Woodland Greens Boulevard. The amendment would read as follows:

On Lytle-Five Points Road, add crosswalks with Rectangular Rapid Flash Beacons (RRFBs) at the intersections with Tanglewood Drive/Great Oak Drive and Settlers Walk Blvd/Innsbrook Lane. This change would be reflected on pages 39-41, and on the large Proposed Network & Plan map.

Staff Recommendation

City staff recommends approval of a recommendation to adopt the Bicycle & Pedestrian Plan, May 15, 2020 draft with the amendments discussed above

Discussion:

Mr. Boron briefly reviewed the minor changes recommended by Norm Cox at the last work session meeting. One is a revision on page 55 regarding the adoption of "friends of" programs as part of the recreational trails within parks and other facilities of the plan recommendations. He explained the other amendment the recommendation for two (2) additional crossing with flashing beacons on Lytle-Five Points Road. One is already shown in the plan at Greenleaf Village, staff is recommending additional

locations at the Great Oak Drive/Tanglewood Drive and also Settlers Walk Boulevard/Innsbrook Lane intersections.

This recommendation will be forwarded to City Council at their July 2nd meeting for adoption.

Mr. Pearson thought these were good revisions, noting that the crossing Lytle-Five Points Road can be difficult at times.

Ms. Iverson thanked staff as well as Norm Cox for all their work on this plan and is very pleased that Springboro is bike and pedestrian friendly.

Ms. Iverson asked for a motion to approve the Bicycle & Pedestrian Plan Draft Report

Mr. Davis motioned to approve. Ms. Hartle seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes, (6-0)

IV. Guest Comments

There were no guest comments.

V. Planning Commission and Staff Comments

Mr. Boron noted that Mr. Cox would be attending the City Council meeting on July 2nd to present the plan recommendations and to address any questions that could come up.

Mr. Boron reported there are currently two agenda items for the July 8th Planning Commission meeting, which will still be conducted as a Zoom meeting. There will also be a staff recommendation on the combine meeting text amendment. The packets will be distributed on Thursday, July 2nd due to the observed July 4th holiday and City offices being closed July 3rd.

Mr. Davis asked if the possible combined meetings is one of the agenda items for next time.

Mr. Boron confirmed that is the text amendment he was referring to.

Adjournment

Mr. Davis motioned to adjourn the June 24, 2020 Planning Commission Regular Meeting at 6:11 p.m. Ms. Hartle seconded the motion.

Vote: Pearson, yes; Davis, yes; Sillies, yes. Dimmitt, yes; Iverson, yes; Hartle; yes, (6-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Work Session
Wednesday, July 8, 2020, 6:00 p.m.

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Work Session to order at 6:00 p.m. by video conference.

Present: Chris Pearson, Robert Dimmitt, John Sillies, Steven Harding, Becky Iverson, Becky Hartle, and Mark Davis.

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer; and Ann Burns, Planning Commission Secretary.

II. Agenda Items

A. Final Development Plan

Advanced Drive PUD, Planned Unit Development, proposed commercial building

Background Information

This agenda item is an application for final development plan approval for a site located in the Stoltz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stoltz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Provide a color rendition of proposed building elevations.
2. Indicate proposed exterior materials for proposed dumpster enclosure.
3. Indicate number employees at maximum shift for the purposes of determining the off-street parking requirement for the building/site.
4. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
5. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
6. Provide lot line information in vicinity of improvements.
7. Provide additional storm sewer details such as catch basin type.
8. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
9. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
10. Water meter to be located inside of building.
11. Provide spot elevations throughout parking lot.
12. Revise sheet C-5 to include dandy bags on all storm sewer structures.
13. Provide detention calculations for review.
14. Change title block from Franklin Township to Clearcreek Township.
15. Revise plat according to Warren County review comments, if any.
16. The Clearcreek Fire District has no comments at this time.

Discussion

John Westheimer and Dalton Witham, both with Cincinnati Commercial Contracting, owner and developer, and Jonathan Evans, Evans Engineering, were present for this agenda item.

Ms. Iverson asked City staff to provide background on this agenda item.

Mr. Boron briefly reviewed the background on the project, noting that the owner proposes to build a 10,000-square foot flexible space light industrial building, with a possible expansion up to 20,000 square feet. He added that these plans were consistent with all zoning requirements for the site.

Mr. Westheimer stated they were prepared to move ahead with this project as soon as possible following the Planning Commission's review.

Mr. Boron stated that the applicant is requesting this item be on the Council agenda for formal adoption at the July 29th meeting, which is acceptable, providing they meet the deadline for submissions. That would include additional details on lighting, landscaping, and additional work on storm water details.

Staff and the Commission had no objections to moving forward.

B. Site Plan Review

Southeast Corner Edwards Drive and Tahlequah Trail, commercial building for Thaler Machine

Background Information

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Integrity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Following preliminary review at July 8th work session, prepare a lighting plan for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code.
2. Following preliminary review at the July 8th work session, prepare a landscaping plan for the site consistent with Chapter 1280 (Landscaping) of the Planning & Zoning Code. Applicant is advised to take credit for existing trees in excess of 4 inches dbh for landscaping requirements.
3. Sanitary lateral to have minimum 2% slope.
4. Obtain easement from adjacent property owner for storm sewer connection.
5. Water meter to be set inside of building.
6. The Clearcreek Fire District has no comments at this time.

Discussion

John Roll of Roll & Associates, project architect, and Kurt Ziessler, Burkhart Engineering, project civil engineer, was present for this agenda item.

Ms. Iverson asked City staff to provide background information on this agenda item.

Mr. Boron reported that City staff has been working with Mr. Roll and his team on this request for some time, a proposals to construct of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail.

Thaler's main operation is on the north side of Edwards Drive. He noted that this property is zoned HBD, Highway Business District, a zoning category that permits the proposed use.

Mr. Roll stated that the original plan was for 10,500-square foot building, but the owner recently decided to increase the size to 14,000 square feet. The company is in need of this expansion, and they agree to work out all issues mentioned in the staff comments.

Mr. Ziessler noted they will also be working on resolving the issues regarding the storm water easement related to the nearby car wash.

Mr. Davis asked if there was any additional parking needed, or just the proposed loading docks.

Mr. Roll confirmed the existing parking was sufficient.

Mr. Boron added that Thaler is a significant employer to the City who works with aerospace and military production. This building will replace several storage trailers that are currently being used to store bulk materials for their customers.

Mr. Boron stated that this applicant is also requesting this item be on the Council agenda for formal adoption at the July 29th meeting, which if acceptable, providing they meet the submission deadline.

Staff and the Commission had no objections to moving forward.

C. Discussion

Planning & Zoning Code Text Amendment, combined meetings

Background Information & Staff Recommendation

This agenda item is picking up on a discussion that was last addressed at the May 13th work session, text amendments that would result in the consolidation of the Planning Commission meeting into a single meeting each month. Following a review of the Planning & Zoning Code by City staff, and discussions with the Law Director Jerry McDonald, City staff is recommending a proposal that is largely similar to the one proposed where things left off in May.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project

on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

Following discussion of this recommendation at the July 8th work session, a formal recommendation may be made at the July 29th meeting. We can begin the process of planning how we would like to compose future combined Planning Commission meetings—scheduling, deadlines, the meeting agenda format, and more.

Proposed Text Amendments to Accommodate Combined Meetings

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

Section 1284.04, Submission of a Site Plan

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.
- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed on a preliminary basis at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement for a preliminary review ~~for a work session~~. Each site plan shall be submitted in compliance with the deadlines established by the Director of Planning ~~at least 12 days~~ in advance of the Planning Commission ~~work session~~

meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)

(f) Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval. Each site plan must be submitted in compliance with the deadline established by 19 days prior to the regular Planning Commission meeting unless modified by the Director of Planning Director.

Section 1284.05, Site Plan Contents

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require fewer other details for the site plan to be reviewed at the Work Session in the course of its review.

Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses

The Planning Commission shall review the site plan and the reports of City staff at a Work Session meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning not later than 12 days after the site plan submission deadline (see Table 10 at the end of this chapter). At the Work Session preliminary review, the Planning Commission shall schedule determine if formal review of the site plan is appropriate at its next regular meeting to take place at least 16 days after the Work Session if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;

- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

Section 1282.04, Organization & Responsibilities, Planning Commission

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.

Discussion

Mr. Boron explained that the text changes presented today are largely the same as the May 13th work session. Jerry McDonald, Law Director, has thoroughly reviewed these text changes, and they are all outlined above in the staff comments.

Mr. Boron reviewed an additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process. These proposed changes will reduce the number of meetings and allow for flexibility for unforeseen circumstances.

Mr. Pearson asked how it is determined if a submission is preliminary or formal.

Mr. Boron explained that it will be up to the Planning Commission and they can require some items to require a second review. He provided one example that a re-zoning request would require a preliminary review.

Mr. Boron noted that there are still some minor unresolved questions such as which week of the month to hold the meetings, and when to start the new schedule. There was further discussion about these details.

Ms. Iverson pointed out the importance of not delaying the applicants.

Mr. Boron noted that he will work together with the Clerk of Council on coordinating the schedule with City Council on adoption of the text change.

Staff and the Planning Commission had no objections to moving forward and placing this on the agenda for a recommendation to City Council at the July 29th meeting.

II. Guest Comments

There were no guest comments. No comments were received by the deadline for incorporating guest comments.

IV. Planning Commission and Staff Comments

Mr. Boron noted that Preliminary Plan (Stage 2 Approval), 6329 Red Lion Five Points Road, proposed Clearcreek Reserves West residential subdivision will also be on the agenda for the July 29th meeting.

Mr. Boron announced that the Annual Planning & Zoning Workshop in December has been cancelled, with no virtual option proposed. We'll investigate other ongoing training options for Planning Commission.

V. Adjournment

Ms. Iverson adjourned the Wednesday, July 8, 2020 Planning Commission Work Session at 6:36 p.m.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting—Conducted by Conference Call (Zoom)
Wednesday, July 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, July 29, 2020 work session via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

III. Agenda Items

A. Final Development Plan

Advance Drive PUD, Planned Unit Development, new commercial building

Background Information & Staff Comments

This agenda item is an application for final development plan approval for a site located in the Stoltz Industrial Park located on Advance Drive near the intersection of Advance Drive and Sharts Road. The proposed building site, located at the north end of the industrial park, immediately south of the Wood Group building (formerly Kelchner Construction) is part of a larger, 18.89-acre site owned by Cincinnati Commercial Contracting. The owner proposes to build a 10,000-square foot flexible space commercial building for a future user that will be subdivided from the larger parcel. The building/site can accommodate expansion for an additional 10,000 square feet of buildable space as shown in the submitted plans. No address has been assigned for the property at this point in time.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park: CBT on the east side of Advance Drive, and Hanover Products immediately to the south, and the aforementioned Wood Group immediately to the north. To the west is undeveloped property located in Franklin Township.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD. That zoning designation also includes the CBT, Hanover Products, and the remainder of the Cincinnati Commercial Contracting property to the south. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stoltz estate. The Wood Group site is zoned ED, Employment Center District. The property to the west is zoned Franklin Township R-1, Rural Residence District.

This agenda item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting agenda for formal adoption. No City Council action is required on this agenda item.

Staff Recommendation

City staff recommends APPROVAL of the site plan for the proposed site plan subject to the following conditions:

1. Regarding the proposed lighting plan, staff has the following comments:

- a. Proposed wall pack lighting is not acceptable. Coordinate with City staff on an acceptable fixture.
- b. Verify if lighting fixtures proposed comply with maximum 3500° Kelvin color-temperature standard.
- 2. Provide lot line information in vicinity of improvements.
- 3. Provide additional storm sewer details such as catch basin type.
- 4. Is curb being placed along parking lot/drive aisle? Please clarify on plans and make any storm sewer adjustments accordingly.
- 5. Water main to have 54" cover, and sanitary lateral to have minimum 2% slope. Adjust sheet notes on C-3.1 accordingly.
- 6. Revise Sheet C-3.1 to state water meter to be located inside of building.
- 7. Provide spot elevations throughout parking lot.
- 8. Revise sheet C-5 to include dandy bags on all storm sewer structures on site.
- 9. Detention calculations currently under review.
- 10. Final approved site plan shall be submitted and to include signature of the owner or duly authorized officer and revisions from staff comments and planning commission.
- 11. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
- 12. Clearcreek Fire District has no comments at this time.

B. Site Plan Review

Southeast Corner Edwards Drive and Tahlequah Trail, warehouse for Thaler Machine

Background Information & Staff Comments

This agenda item is a request for site plan review approval for the construction of a 14,000-square foot building for Thaler Machine Company on a site located at the southeast corner of Edwards Drive and Tahlequah Trail. The site is located immediately to the south of Thaler Machine's existing 69,472-square foot building located on the north side of Edwards Drive. The proposed site of the 14,000 square foot building is zoned HBD, Highway Business District.

As indicated in the submitted plans, the proposed warehouse would have double frontage on both Edwards Drive and Tahlequah Trail, with vehicular access from Edwards Drive to align with the loading docks on the existing Thaler Machining building to the north. Off-street parking for the building would be provided on the main Thaler Machining site to the north.

In addition to the existing Thaler Machine operation to the north, adjacent land uses in the vicinity include the Cascade Car Wash to the east, located at the corner of Edwards Drive and Hiawatha Trail, multi-tenant commercial buildings to the south and south west on the east and west sides of Tahlequah Trail, and Intregity Interiors general contractors to the northwest. Properties to the northwest and north are zoned ED, Employment Center District, while lands to the east, south and west are all zoned HBD District.

This agenda item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting agenda for formal adoption. No City Council action is required on this agenda item.

Staff Recommendation

City staff recommends APPROVAL of the site plan for the proposed site plan subject to the following conditions:

1. Provide a photometric analysis of the lighting proposed for the site consistent with Chapter 1273 (Exterior Lighting) of the Planning & Zoning Code. Indicate if lighting complies with maximum 3500° Kelvin color-temperature standard.
2. Sanitary lateral to have minimum 2% slope.
3. Obtain private storm sewer easement from adjacent property owner for storm sewer connection prior to occupancy permit.
4. Water lateral to be minimum 1", with curb box behind curb.
5. Final approved site plan shall be submitted and to include signature of the owner or duly authorized officer and revisions from staff comments and planning commission.
6. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
7. The Clearcreek Fire District has no comments at this time.

C. Preliminary Plan (Stage 2 Approval) of Subdivision
6329 Red Lion-Five Points Road, proposed Clearcreek Reserve West subdivision

Background Information & Staff Comments

This agenda item is an application for preliminary plan approval through the City of Springboro's subdivision review and approval process included in Chapter 1242 of the Planning & Zoning Code. This application was filed on behalf of Headwaters Capital, LTD, Springboro, and proposes the development of an 11-unit, single-family residential subdivision on a 34.1-acre site located at 6329 Red Lion-Five Points Road. The working title of the subdivision is Clearcreek Reserve West. The property is also commonly known as the Conover property.

The subject property has frontage on Red Lion-Five Point Road and is located immediately adjacent to the Heatherwoode community north of the intersection of Red Lion-Five Points Road and Balcomie Way. The subject property is situated between the Heatherwoode subdivision in Springboro to the west and the Clearcreek Reserve subdivision in Clearcreek Township to the west. A number of single-family residential homes are also located adjacent to the subdivision on the east side of Red Lion-Five Points Road. A vicinity map is included with the meeting materials.

The subject property is zoned R-1, Estate-Type Residential District, a zoning designation that permits single-family residential development at the rate of 2 dwelling units per acre on lots with a minimum size of 20,000 square feet. The R-1 District also allows public and semi-public uses such as churches and schools, accessory uses, and other land uses.

The property has been zoned R-1 District since 2015. At that time the City of Springboro rezoned this and roughly 20% of the City's land area from (T)R-1, Clearcreek Township Rural Residence District (and area of Franklin Township Rural Residence District), in order to bring land development regulations for the entire community under the City's codes. The property was zoned (T)R-1 District from the time it was annexed in 1991. The two districts have the same 2 dwelling unit per acre development density/20,000 square foot minimum lot size.

The density for the proposed subdivision is 0.35 dwelling units per acre. For comparison purposes the adjacent Heatherwoode subdivision was developed, excluding golf course property and other open space areas not on the golf course, at 2.1 dwelling units per acre. As proposed the subdivision includes 11 single-family residential lots ranging in size from 1.25 acres in proposed lot #1, to 8.03 acres in proposed lot #11. The average lot size is 3.01 acres. The subdivision proposes the dedication of 0.96 acres of right-of-way in the form of an un-named, proposed cul-de-sac that accessed lots 4 through 11. Lots 1 through 3 will be accessed directly from Red Lion-Five Points Road. No common space is proposed as part of the development. Lots will be served by City of Springboro water and on-site septic. A 10-foot multiuse side path is proposed for the Red Lion-Five Points frontage.

Adjacent land uses include a mix of farmland, low-density residential, and the Heatherwoode Golf Course. Heatherwoode Golf Course holes #5 and #6 are located to the west and northwest of the subject property, and residential home sites in Heatherwoode are located to the southwest on Nairn Court and Royal Highlands Court. To the north on the north side of Clear Creek is an active farm. To the east is the developing Clearcreek Reserves subdivision as well as single-family residential on the east side of Red Lion-Five Points Road, both in Clearcreek Township.

Clear Creek forms a portion of the northern boundary of the property. The northern portion of the property includes floodway and 100- and 500-year flood zones from the creek.

Adjacent zoning includes to the west PUD, Planned Unit Development (Ordinance O-90-13) associated with the Heatherwoode Golf Course and the adjoining residential subdivision, and PUD-R, Planned Unit Development-Residential (Ordinance O-07-13), associated with farmland located to the north of the subject property. Zoning for the sites to the east in Clearcreek Township are zoned SR-1, Suburban Residence Zone, and R-1, Rural Residence District.

Preliminary plan review is the second stage in the subdivision review process that includes (1) concept plan between the applicant and City staff, (2) preliminary plan, and (3) record plan. Preliminary plan review and approval follows concept plan review and approval which takes place between the applicant and City staff, focusing on compliance with the City's subdivision regulations that manage the manner in which private property is developed (the design of streets and lots, utilities, connections to other development, etc.) as well as compliance with Planning & Zoning Code requirements (minimum lot sizes, setback, etc.). This conventional subdivision review with no rezoning requested is similar to the Sawgrass Pointe subdivision review initiated by Associate Construction in 2018.

The developer has indicated their intention, following approval of the preliminary plan, to develop lots 1-3 in the near term.

This item was reviewed on a preliminary basis at the June 10th work session at which time the Planning Commission authorized this to be placed Approval of the preliminary plan by Planning Commission may take place at a regular business meeting following review at a work session. That may take place as soon as the July 29, 2020 Planning Commission meeting. No City Council review is required. Following preliminary plan review and approval a record plan may be submitted by the application for review and approval by the Planning Commission and City Council.

Staff Recommendation

City staff recommends APPROVAL of the preliminary plan for Clearcreek Reserve West subject to the following conditions:

1. Development to comply with R-1 District design and development standards including but not limited to setbacks, height, lot coverage, frontage, minimum lot size, etc.
2. Architectural plans to comply with Planning & Zoning Code Section 1264.06, Development Standards for Single-Family Detached Dwellings, provisions including exterior building materials, appearance conforming to neighborhood surround development, and garage placement/design.
3. Applicant to provide mechanism for the construction of the proposed 10-foot multiuse trail along Red Lion-Five Points Road.
4. The following landscaping will need to be provided as part of the proposed development in accordance with Chapter 1280, Landscaping, of the Planning & Zoning Code.
 - a. Landscape Buffer. Provide a 10-foot buffer between the proposed subdivision and adjoining residential property. Landscaping within the buffer to be provided at the rate of 1 tree per 40 linear feet of property line. The buffer to consist of trees, shrubs and earthen mounds, decorative fences and masonry walls in combination. The only development permitted within the buffer aside from landscaping are sidewalks and bicycle paths.
 - b. Roadway Landscaping. Landscaping shall be provided along West Factory Road at the rate of 1 shade or evergreen tree per 40 feet of right-of-way frontage, 1 ornamental tree per 100 feet of right-of-way frontage and 1 shrub per 5 feet of right-of-way frontage.
 - c. Natural Vegetation Preservation. Existing site vegetation greater than 4 inches diameter at breast height shall be noted pre-development. Such trees, if retained, shall be credited for landscaping required as part of Chapter 1280.
 - d. Site Landscaping. One tree shall be provided on the site at the rate of 1 tree per 3,000 square feet of site area.
 - e. Golf Course. Applicant to provide language for the protection of all existing vegetation in the proposed 20-foot conservation easement for the protection of the adjacent golf course.
5. Provide base flood elevations on construction drawings and record plan.
6. Coordinate with post office concerning location of CBU (mail box unit) and provide on construction drawings for review.
7. Construction drawings to include Phases one and two on one drawing.
8. Provide HOA documents for review and approval. Documents to be recorded prior to recording of the record plan.
9. Provide detention calculations.
10. Provide construction drawings "As-Builts".
11. The Clearcreek Fire District has no comments at this time.

D. **Planning & Zoning Code Text Amendment**
Combined Meetings

Background Information & Staff Comments

This agenda item is a request by City staff to amend parts of the Planning & Zoning Code that would result in the consolidation of the Planning Commission meeting into a single meeting each month. This item was discussed at the May 13th and July 8th work session.

To begin, in May staff recommended amending three sections of the Site Plan Review Code, Sections 1284.04 (Submission of a Site Plan), 1284.05 (Site Plan Contents), and 1284.08 (Site Plan Review Criteria Applicable to All Land Uses), to eliminate references to a work session of Planning Commission and replacing it with a reference to a preliminary review. These are the only instances where a work session is mentioned, again as discussed back in May, this is largely due to the fact that this chapter was the focus of a lot of attention during the 2015 Planning & Zoning Code Update. Site plan review represents a large portion of Planning Commission's caseload and that was the cause for the changes to Chapter 1284.

As borne out by the last three Planning Commission meeting cycles, there is more to the caseload than site plan reviews: Planning Commission also reviews policy plans (for example the Bicycle & Pedestrian Plan), subdivisions (as with the Clearcreek Reserve West project currently going through the review process), final development plans (Advance Drive project on this agenda) and other parts of the PUD review and approval process, and text and map amendments.

Rather than address all these processes specifically and individually throughout the Planning & Zoning Code, City staff is recommending one additional change to Section 1282.04, Organizations & Responsibilities, Planning Commission, to include the preliminary review being a prerequisite to formal approvals of cases. The text includes "may" so that there is some discretion to allow cases to proceed directly to formal approval. This has happened with the approval of sections of subdivisions through the record plan process.

The recommended text amendments are provided below. Please note that entire sections are provided even in the event text amendments are limited to smaller section of the respective section.

This item was reviewed on a preliminary basis at the July 8th work session at which time the Planning Commission authorized this item to be placed on the July 29th meeting for formal approval. City Council set a public hearing on this item for its August 20th meeting.

Proposed Text Amendments to Accommodate Combined Meetings

Note: existing text to remain appears in plain format, text to be deleted appears in ~~strikeout~~, and proposed text in **bold and underline**.

Section 1284.04, Submission of a Site Plan

- (a) In order to avoid unnecessary expenditures of time and resources, and to ensure a clear understanding of the requirements of this Zoning Code, any developer, builder or owner who is contemplating the filing of a site plan, as required by this Zoning Code, shall confer with the Zoning Inspector, City Engineer, or the City Manager's designee (hereinafter "Planning Director") before developing and filing a site plan.
- (b) Every site plan shall be filed with the City as determined by the Planning Director, an electronic submission may be permitted. Each site plan shall be drawn to a size and scale acceptable to the Planning Director, and a larger scale for all or part of the area may be required by the Planning Director. Narrative attachments shall be included.
- (c) Those elements of a site plan which require special expertise in such fields as surveying, engineering or architecture shall be prepared and certified by an appropriate professional licensed to practice in the State of Ohio.

- (d) Every site plan shall be signed by the owner of the land to which the site plan applies or, if a corporation, by a duly authorized officer of the corporation.
- (e) All site plans must be reviewed on a preliminary basis at a ~~work session~~ meeting of the Planning Commission, unless the Planning Director waives the requirement for a preliminary review ~~for a work session~~. Each site plan shall be submitted in compliance with the deadlines established by the Director of Planning at least 12 days in advance of the Planning Commission ~~work session~~ meeting at which it will first be considered (see Figure 10 at the end of this chapter). (Ord. 00-16. Passed 2-17-00.)
- (f) Planning Commission may authorize the site plan to be placed on a meeting agenda for formal approval. Each site plan must be submitted in compliance with the deadline established by 19 days prior to the regular Planning Commission meeting unless modified by the Director of Planning.

Section 1284.05, Site Plan Contents

Every site plan shall show or provide by written attachments the information identified in the Site Plan Review Checklist of the City, which the City may revise from time to time. The City may require fewer other details for the site plan to be reviewed at the Work Session in the course of its review.

Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses

The Planning Commission shall review the site plan and the reports of City staff at a ~~Work Session meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning~~ not later than 12 days after the site plan submission deadline (see Table 10 at the end of this chapter). At the ~~Work Session~~ preliminary review, the Planning Commission shall schedule determine if formal review of the site plan is appropriate at its next ~~regular~~ meeting to take place at least 16 days after the ~~Work Session~~ if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;

- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development.
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance; and
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community. (Ord. 00-16. Passed 2-17-00.)
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan.
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities.

Following this preliminary discussion, Table 10 at the conclusion of Chapter 1284 will need to be updated and revised.

Section 1282.04, Organization & Responsibilities, Planning Commission

The Planning Commission shall have such powers and duties as are conferred upon it by the laws of Ohio, this Zoning Code, those powers enacted by resolution or ordinance of City Council, and Section 9.06(b) of the Municipal Charter of the City of Springboro.

In the course of completing the review and approval processes described in this Planning and Zoning Code, the Planning Commission may require the preliminary review of applications prior to formal approval.

Staff Recommendation

City staff recommends APPROVAL of this Planning & Zoning Code text amendment as submitted. Staff looks forward to working with Planning Commission on the process of implementing this single meeting per month. That includes scheduling and deadlines, the meeting agenda format, and more.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, July 21 at 12:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void.

Owner
 Agent
 Lessee
 Signed Purchase
Contract

APPLICANT'S NAME: Dalton Withom

Dalton A. Withom

Telephone No. (513) 561-6633 x107

Fax No. (513) 561-3554

Email Address rwithom@mcigov.org

PROPERTY OWNER'S NAME: Springboro Advance LLC

Address: 4774 Red Bank Expressway

Cincinnati, OH 45227

Telephone No. (513) 561-6633

Address of Property:

Advance Drive

Lot Number: 0419127009

Existing Use:

Undeveloped Lot

Zoning District: PUD

Proposed Use:

Speculative tenant buildings

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. Please note that all plans submitted with this proposal must be pre-folded. The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

Dalton A. Withom
(Signature of Applicant and/or Agent)

6/26/20
(Date)

Check #44145
pd 1/11 \$553 -
6/26/2020

RECEIVED
JUN 26 2020
Springboro Planning Department

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL COVER ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAR/](http://www.agri.ohio.gov/ear/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:
ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE FOR THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM." SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.



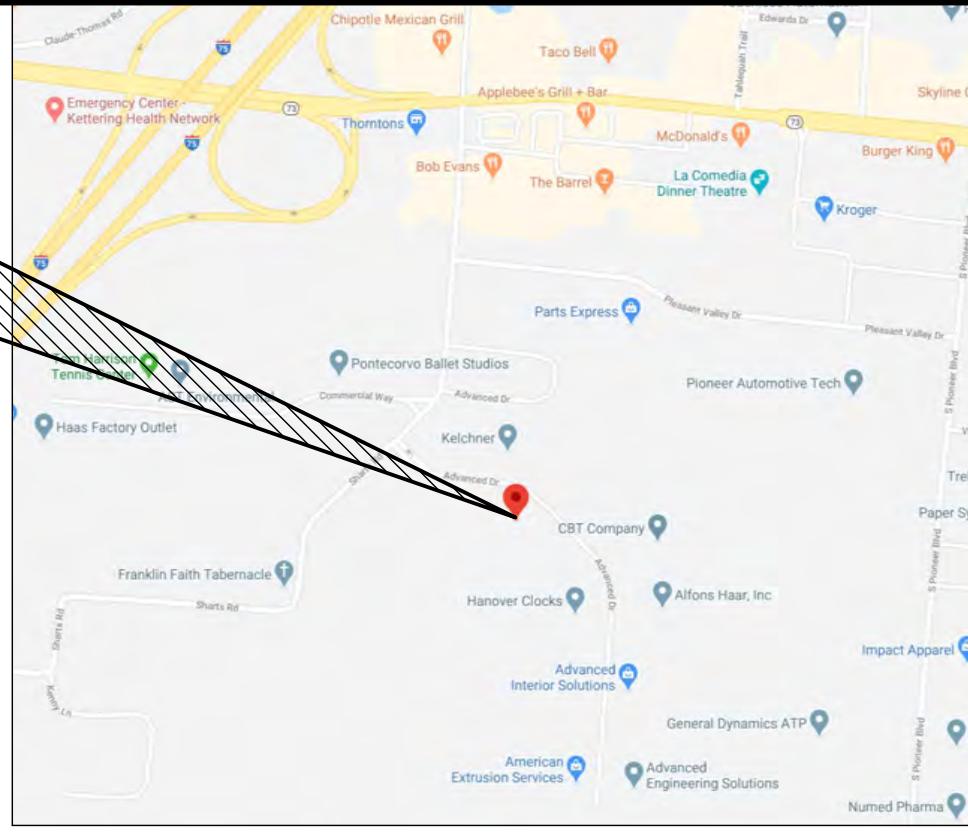
PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

COMMERCIAL BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO

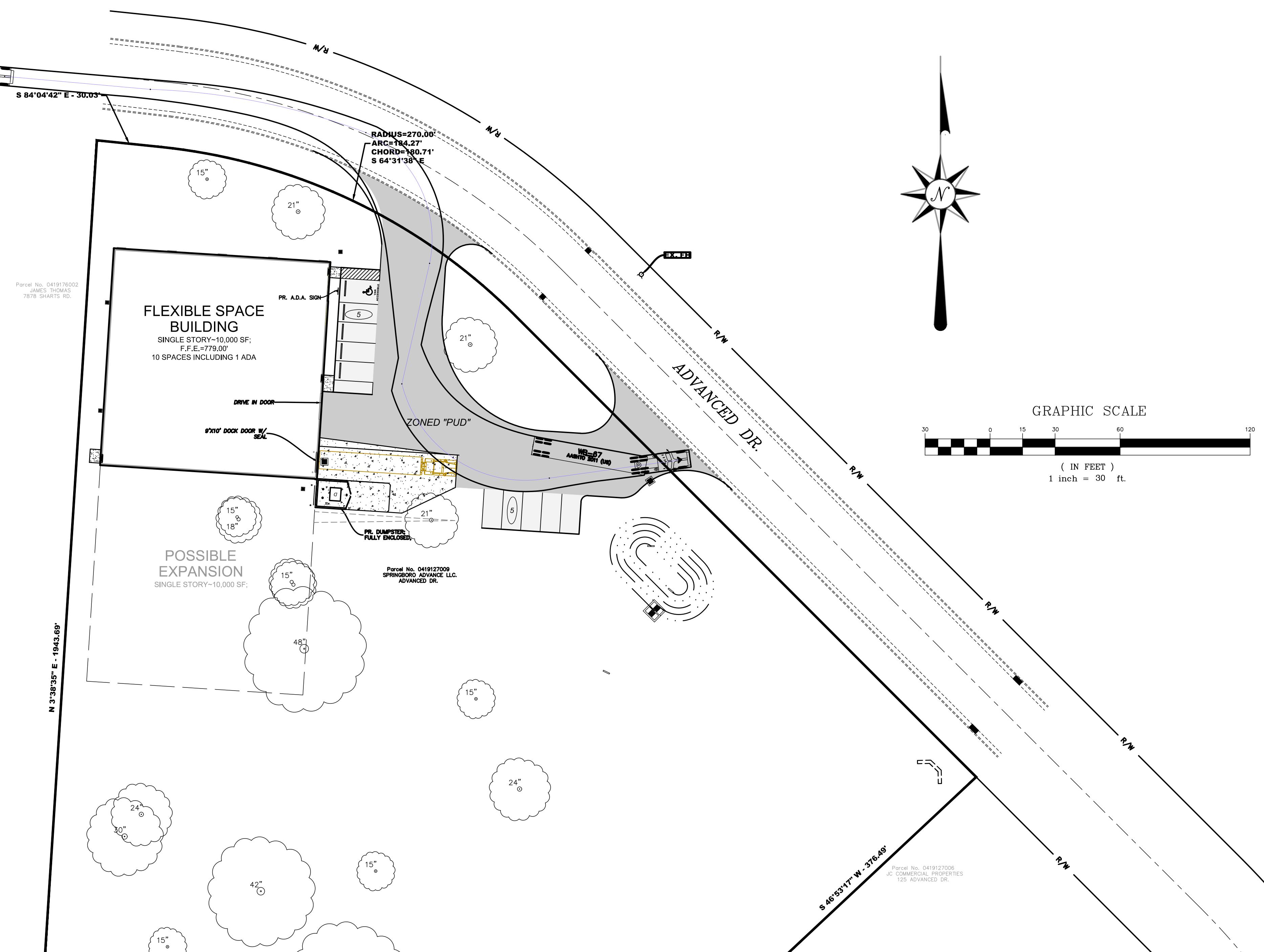
JUNE, 2020

PROPOSED SITE



LOCATION MAP

PRELIMINARY
NOT FOR CONSTRUCTION



DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI, OH 45227
JOHN WESTHEIMER

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD,
HARRISON, OH 45030
(513)-202-0525
DANNY BINZ, P.S.

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

INDEX:

C-1	TITLE SHEET & GENERAL NOTES
C-1.1	SITE CONSTRUCTION DETAILS
C-2	EXISTING CONDITIONS & DEMO PLAN
C-3	SITE DIMENSION PLAN
C-3.1	UTILITY SERVICE PLAN
C-4	GRADING PLAN
C-5	STORMWATER POLLUTION PREVENTION PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
MH 1.2 (1-15-2016) MANHOLE NO. 3
BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

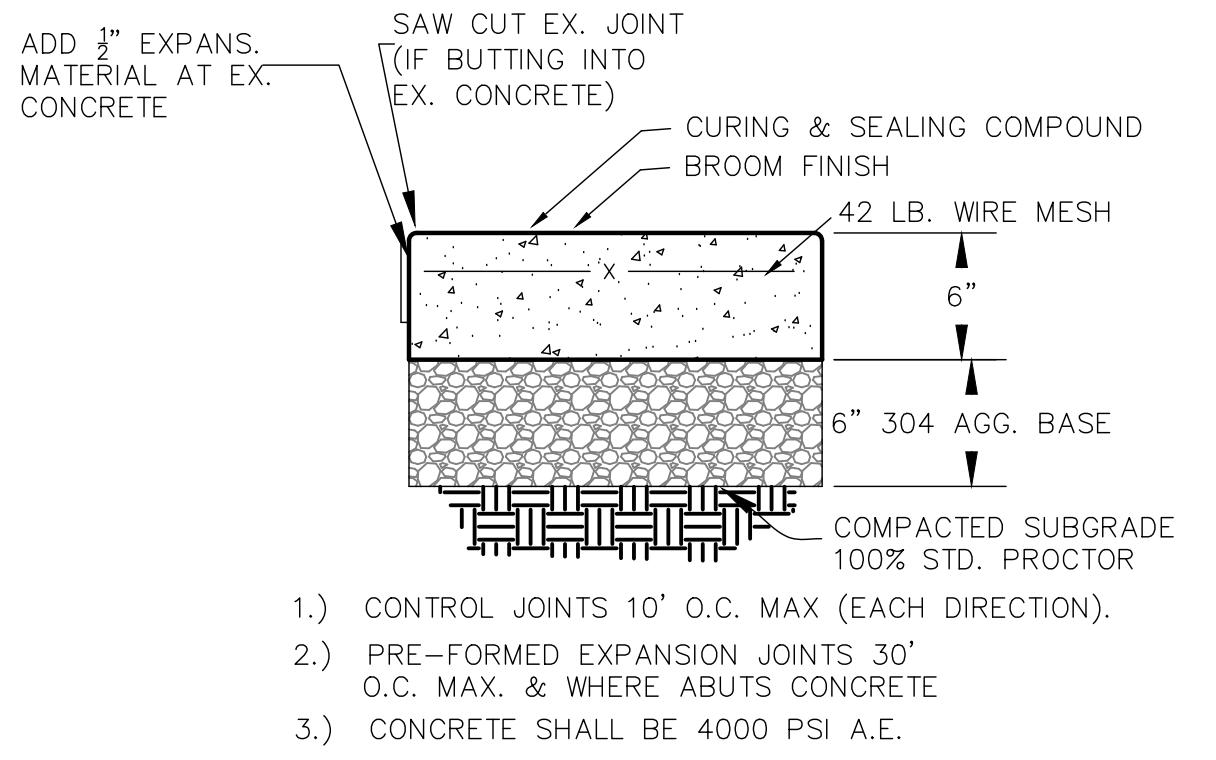
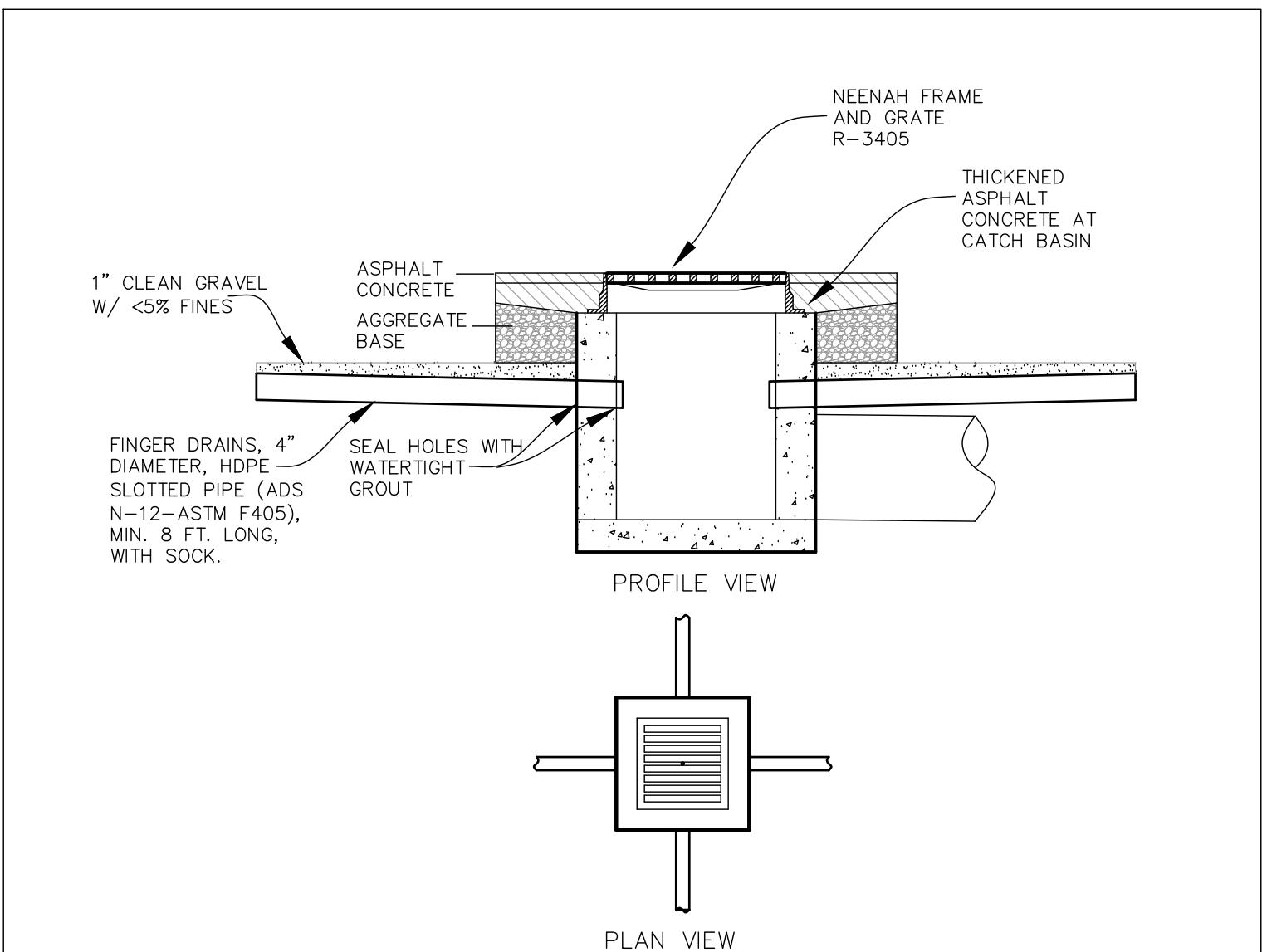
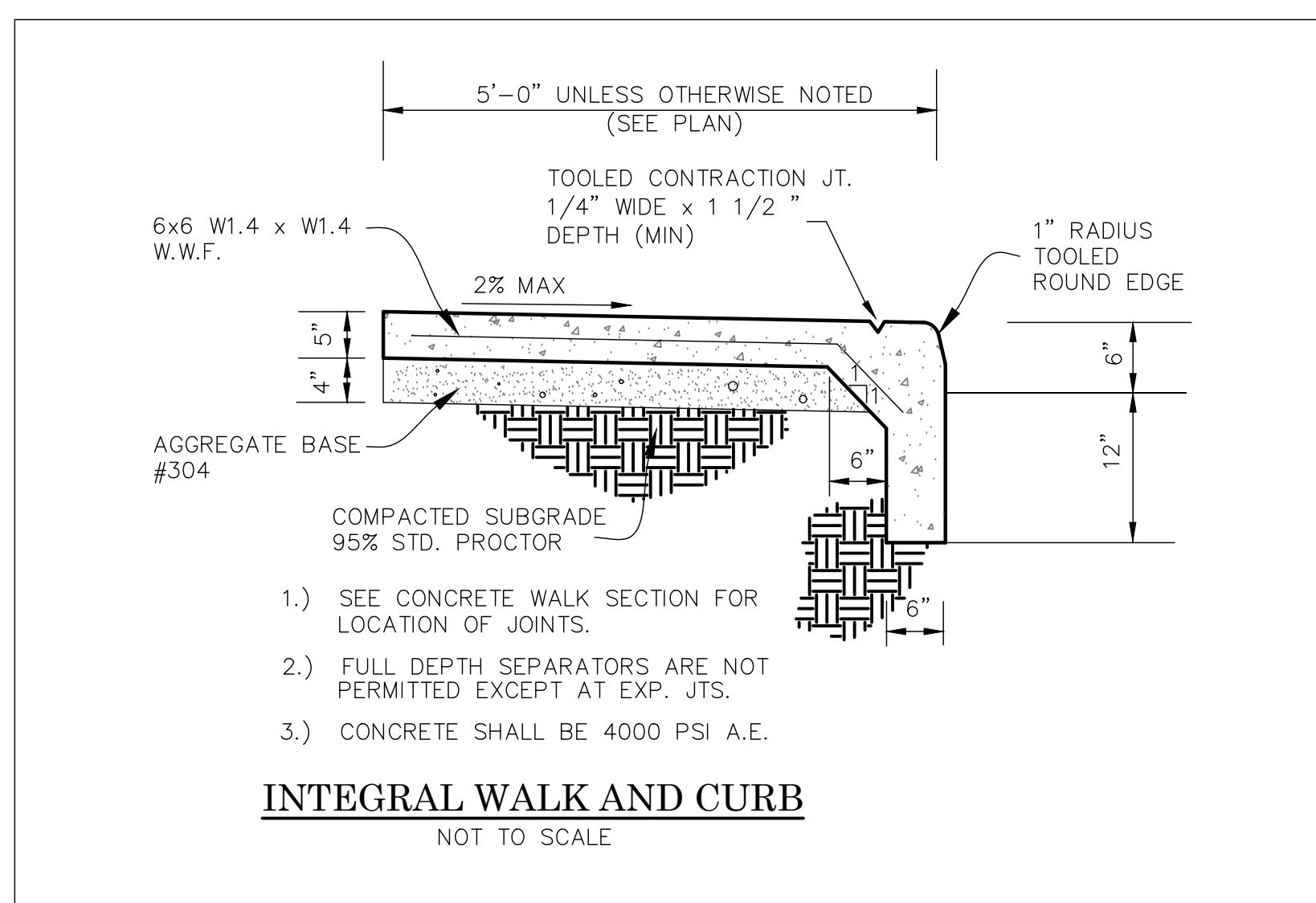
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

TITLE SHEET & GENERAL NOTES

COMMERCIAL BUILDING
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=30'	N/A
JOB NO.:	20-140	
DATE:	JUL. 6, 2020	
SHEET NO.		

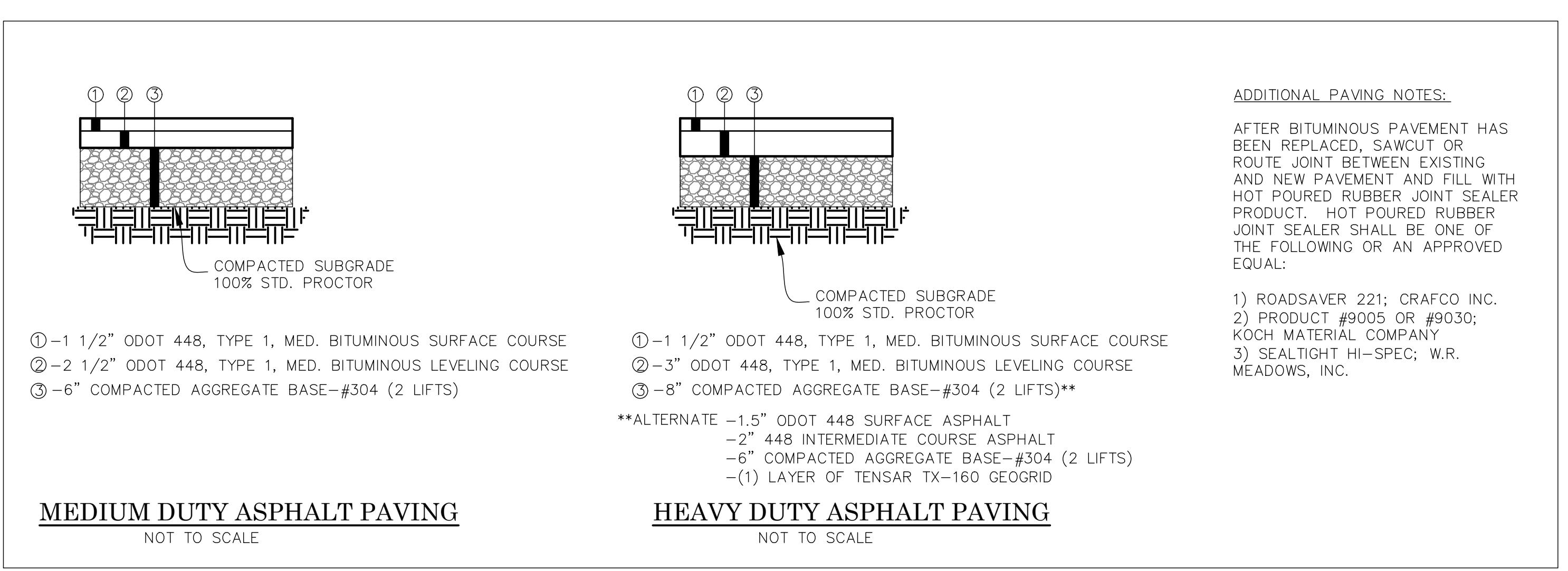
C-1



CONCRETE PAVING DETAIL
NOT TO SCALE

REVISIONS	
DATE	BY NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



SITE CONSTRUCTION DETAILS

COMMERCIAL BUILDING
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.
N/A N/A

JOB NO. 20-140
DATE Jul. 6, 2020

SHEET NO.

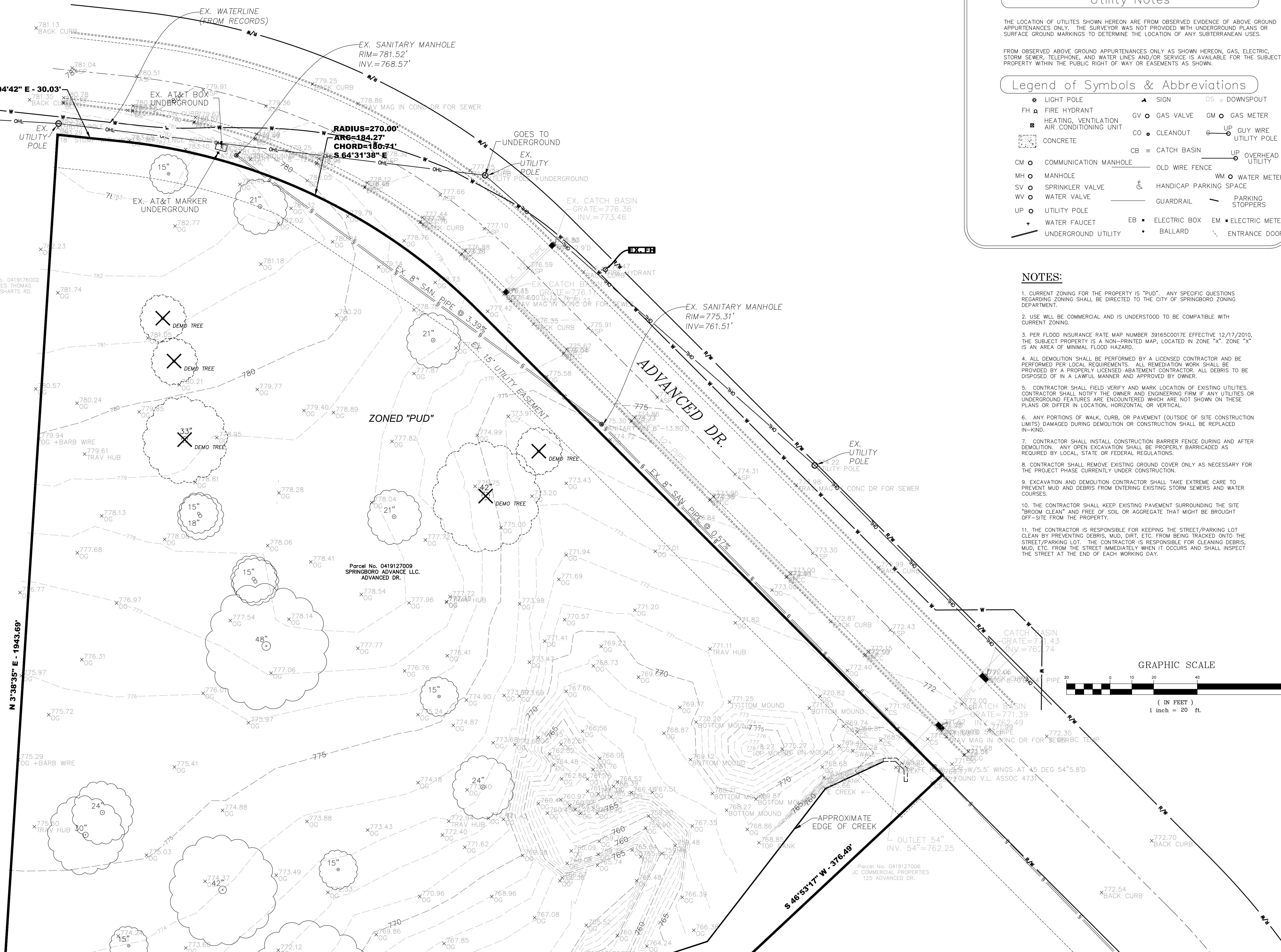
C-1.1



**EXISTING CONDITIONS &
DEMO PLAN**

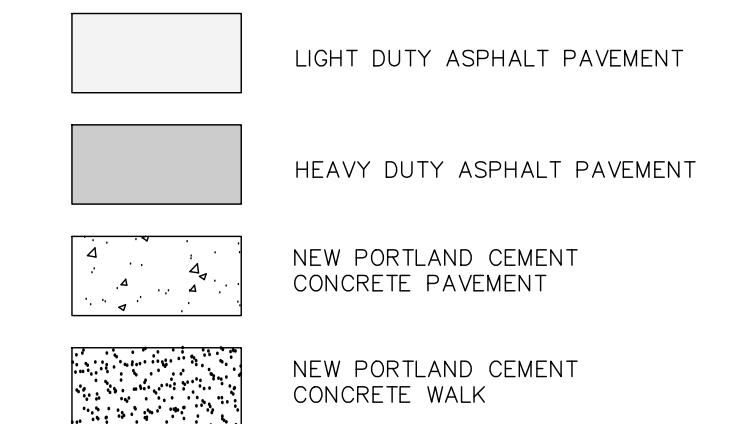
COMMERCIAL BUILDING
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

COMMERCIAL BUILDING
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO





LEGEND-PROP. FEATURES



SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

PROPOSED PARKING	9
ADA ACCESSIBLE	1
TOTAL PARKING	10 SPACES (MIN. 9'X18')

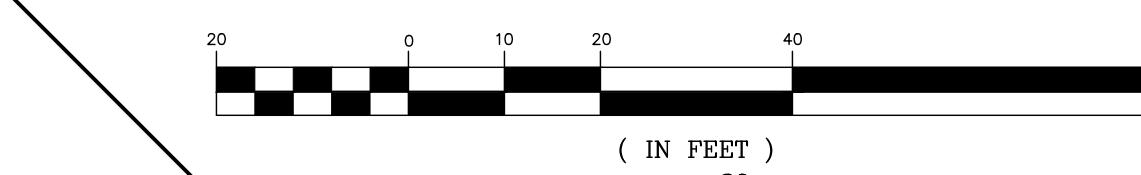
IMPERVIOUS SURFACE RATIO:

LOT SIZE = XXX SF (XX ACRES)
IMPERVIOUS AREA = XXX SF
PERVIOUS AREA = XXX SF
ISR = X.XX

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

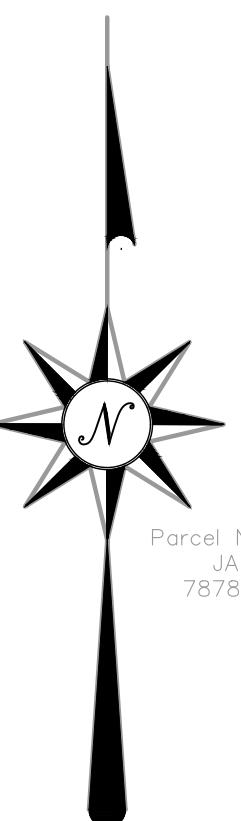
GRAPHIC SCALE



SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB. NO.	20-140	
DATE	JUL. 6, 2020	

SHEET NO.

C-3



Parcel No. 0419176002
JAMES THOMAS
7878 SHARTS RD.

FLEXIBLE SPACE
BUILDING

SINGLE STORY~10,000 SF;
F.F.E.=779.00'
10 SPACES INCLUDING 1 ADA

DRIVE IN DOOR

9'X10' DOCK DOOR W/
SEAL

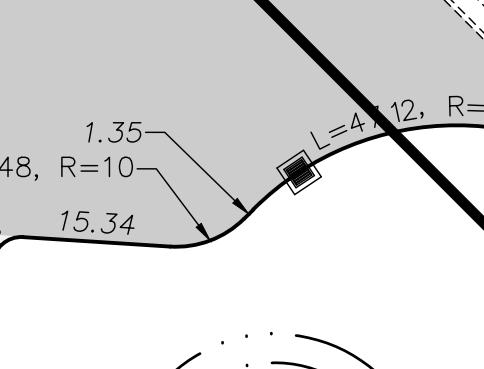
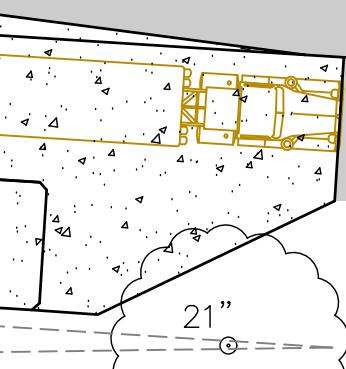
POSSIBLE
EXPANSION

SINGLE STORY~10,000 SF;

PR. A.D.A. SIGN
ACCESIBLE
5

ZONED "PUD"

Parcel No. 0419127009
SPRINGBORO ADVANCE LLC.
ADVANCED DR.



ADVANCED DR.

Parcel No. 0419127006
JC COMMERCIAL PROPERTIES
125 ADVANCED DR.

S 46°53'17" W -376.49'

S 84°04'42" E - 30.03'

48.74

11.00

100.00

11.00

100.00

100.00

100.00

100.00

100.00

100.00

100.00

100.00

100.00

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15"

21"

21"

21"

15"

18"

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15"

48"

15"

24"

30"

24"

42"

15"

15"

15"

15"



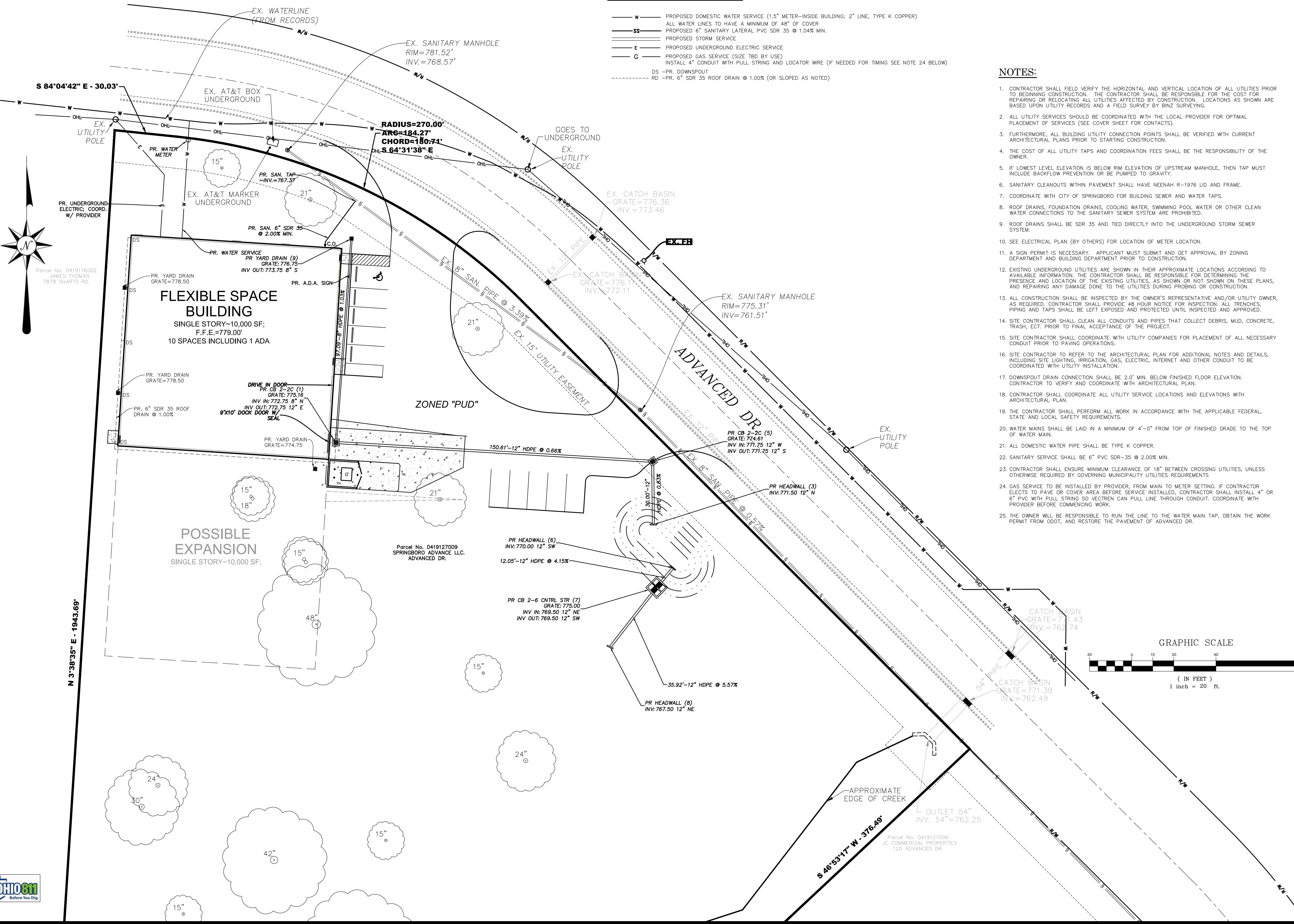


LEGEND-PROP. FEATURES

- W PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING; 2" LINE, TYPE K COPPER)
- SS PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 1.04% MIN.
- E PROPOSED STORM SERVICE
- G PROPOSED GAS SERVICE (SIZE TBD BY USE)
- DS-PR. DOWNSPOUT
- RD-PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY B1NZ SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
7. COORDINATE WITH CITY OF SPRINGBORO FOR BUILDING SEWER AND WATER TAPS.
8. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.
24. GAS SERVICE TO BE INSTALLED BY PROVIDER, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO VECTREN CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH PROVIDER BEFORE COMMENCING WORK.
25. THE OWNER WILL BE RESPONSIBLE TO RUN THE LINE TO THE WATER MAIN TAP, OBTAIN THE WORK PERMIT FROM ODOT, AND RESTORE THE PAVEMENT OF ADVANCED DR.



GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F =FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH
GEOTECHNICAL ENGINEER BEFORE
COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

CONTOUR LEGEND:

— — — — — EX. CONTOURS
— PR. CONTOURS (MAJOR)
— PR. CONTOURS (MINOR)

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
513) 321-2168

COMMERCIAL BUILDING
GRADING PLAN

ADVANCED DR.,

SPRINGBORO WARREN COUNTY OH

THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO

	VER
	N/A

8/88

NO

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

CONTOUR LEGEND:

EX. CONTOURS
PR. CONTOURS (MAJOR)
PR. CONTOUR (MINOR)

Graphic Scale
(IN FEET)
1 inch = 20 ft.

Coordinates:
N 3°38'35" E - 1943.69
4'42" E - 30.03'

Building Footprints:

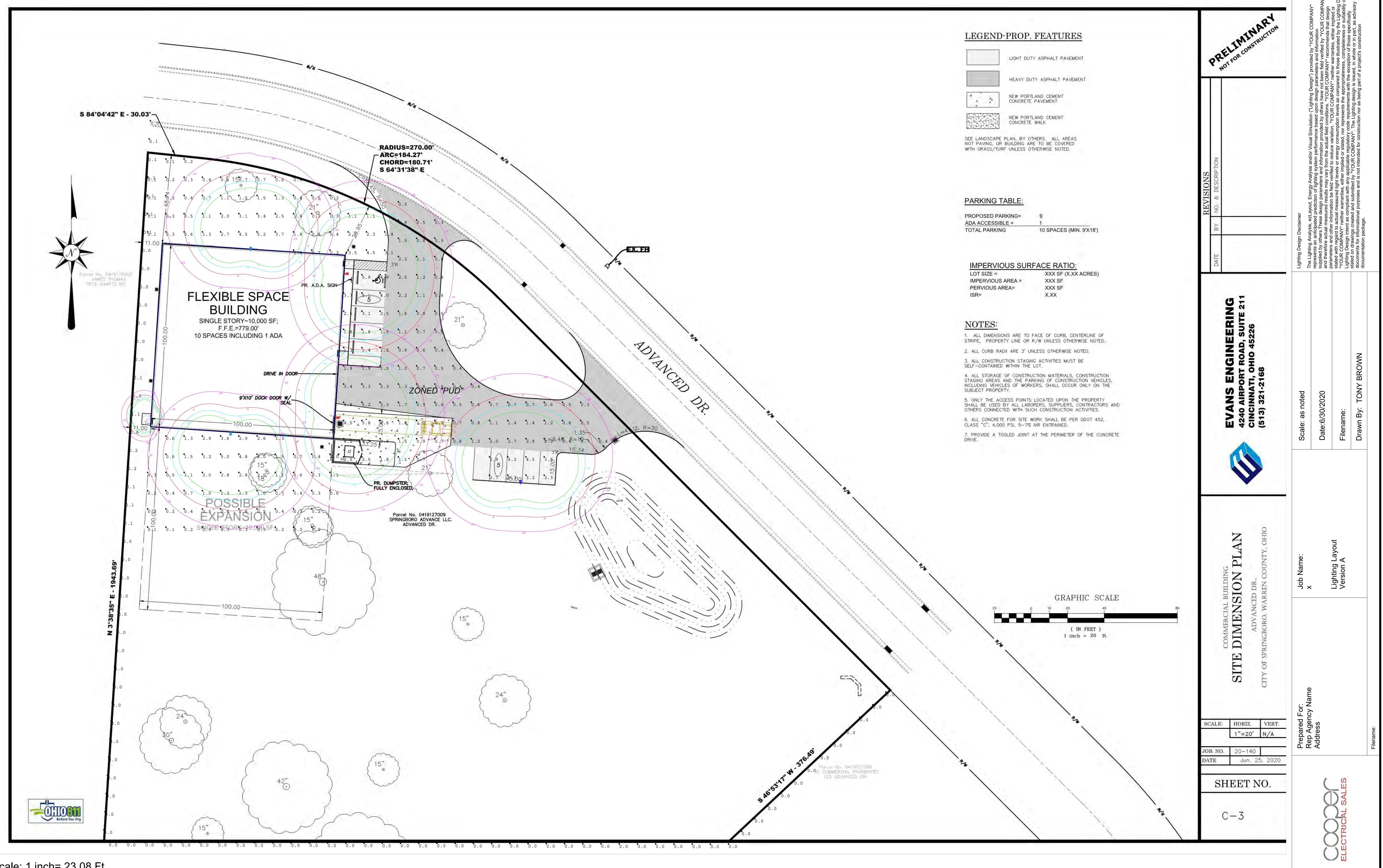
- FLEXIBLE SPACE BUILDING:** Single story ~10,000 SF, F.E.=779.00, 10 spaces including 1 ADA.
- POSSIBLE EXPANSION:** Single story ~10,000 SF.
- Advanced DR:** Parcel No. 0419127009, SPRINGBORO ADVANCE LLC, ADVANCED DR.
- JC Commercial Properties:** Parcel No. 0419127006, JC COMMERCIAL PROPERTIES, 125 ADVANCED DR.

Infrastructure:

- Drains:** PR YARD DRAIN (9) GRATE=776.75 INV OUT=773.75 8" S P=779.00, PR YARD DRAIN GRATE=778.50, PR YARD DRAIN GRATE=778.50, PR YARD DRAIN GRATE=778.50, PR 6" SDR 35 ROOF DRAIN @ 1.00%, DRIVE IN DOOR PR CB 2-2C (1) GRATE=775.16 INV IN:772.75 8" N INV OUT:772.75 12" E 9'X10' DOCK DOOR W/ SEAL, PR YARD DRAIN GRATE=774.75, PR DUMPSTER, FULLY ENCLOSED, PR CB 2-6 CNTRL STR (7) GRATE:775.00 INV IN:769.50 12" NE INV OUT:769.50 12" SW, PR HEADWALL (8) INV:767.50 12" NE.
- Catch Basins:** EX. CATCH BASIN GRATE=776.36 INV=773.46, EX. CATCH BASIN GRATE=776.11 INV=772.11, CATCH BASIN GRATE=771.43 INV=762.74, CATCH BASIN GRATE=771.39 INV=762.49.
- Pipes:** EX. 12" PIPE, EX. 12" PIPE, EX. 12" PIPE, 150.61'-12" HDPE @ 0.66%, 30.00'-12" HDPE @ 0.83%, 12.05'-12" HDPE @ 4.15%, 35.92'-12" HDPE @ 5.57%.
- Walls:** PR HEADWALL (3) INV:771.50 12" N, PR HEADWALL (6) INV:770.00 12" SW.
- Other:** EXTER, APPROXIMATE EDGE OF CREEK, OUTLET 54" INV. 54"=762.25.

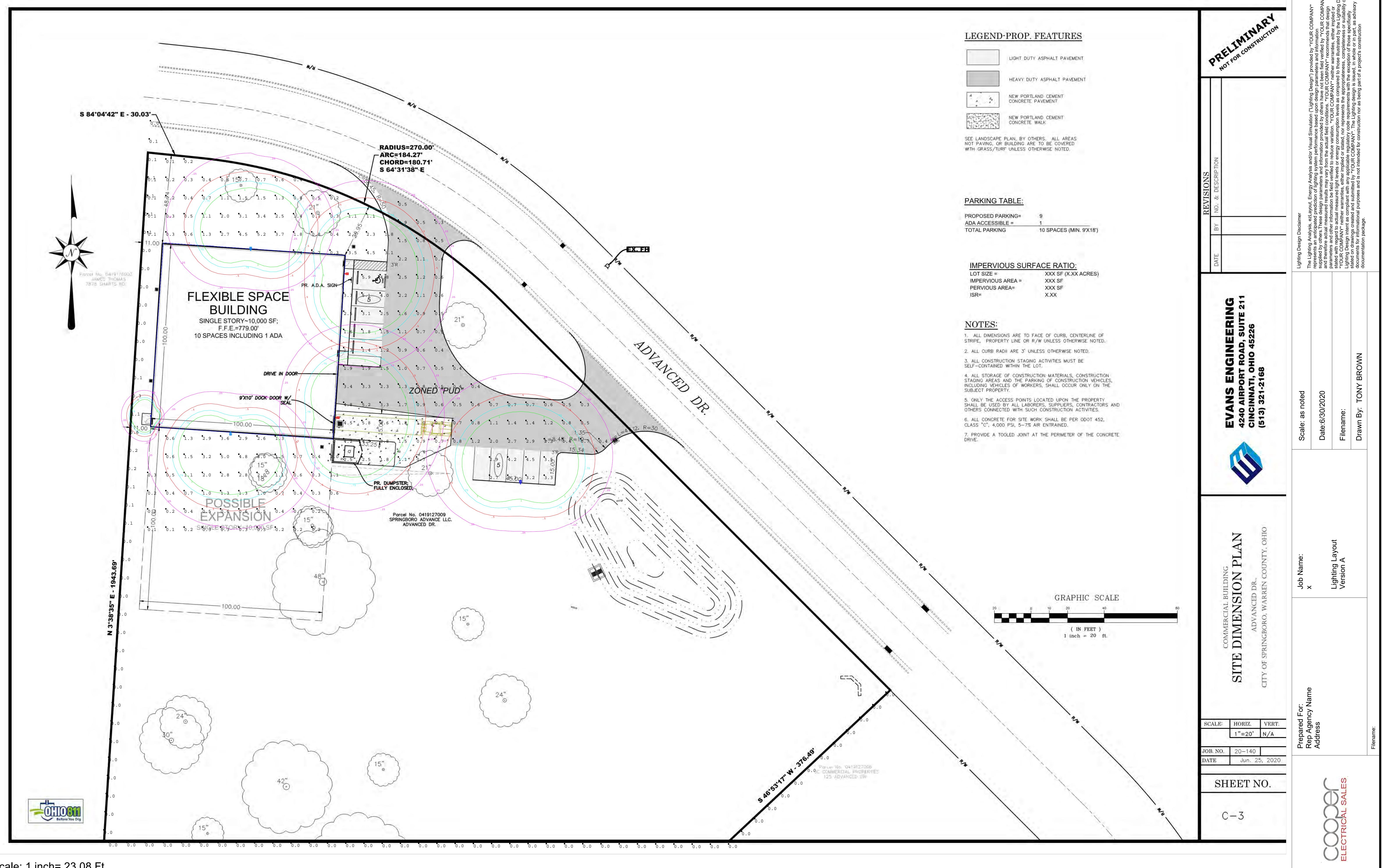
Contour Lines: 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783.





Scale: 1 inch= 23.08 Ft.





Scale: 1 inch= 23.08 Ft.



Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description			
AREA	Illuminance	Fc	1.78	5.9	0.3	5.93	19.67		10	10	Horizontal
FRONT YARD	Illuminance	Fc	1.30	5.2	0.1	13.00	52.00		10	10	Horizontal
PROPERTY LINE	Illuminance	Fc	0.04	1.1	0.0	N.A.	N.A.		10	N.A.	Horizontal
SIDE AREA	Illuminance	Fc	1.13	5.0	0.1	11.30	50.00		10	10	Horizontal

Luminaire Schedule											
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	1	A3	IVAT3-100L740U - DLF1810114-1	SINGLE	9939	1.000	LEVELS TAKEN @ 0.0 AFG	96.2277	96.2277	96.2277	IVAT3-100L740U - DLF1810114-15a-REV2.IES
	2	A4	IVAT4-100L740U DLF1903117-2a	SINGLE	10834	1.000	LEVELS TAKEN @ 0.0 AFG	94.5672	94.5672	189.1344	IVAT4-100L740U DLF1903117-2a.IES
	2	B3	IVAT3-75L740U DLF1901118-2a	SINGLE	7513	1.000	LEVEL STAKEN @ 0.0 AFG	67.1094	67.1094	134.2188	IVAT3-75L740U DLF1901118-2a.IES
	1	E	ENTRA12N - Neutral - ITL76949	SINGLE	982	1.000	LEVELS TAKEN @ 0.0 AFG	13.9	13.9	13.9	ENTRA12N - Neutral - ITL76949.IES



TYPE E : ENTRA12N - Neutral - TYPE A/B : IVATX-100L740U

NOTES:

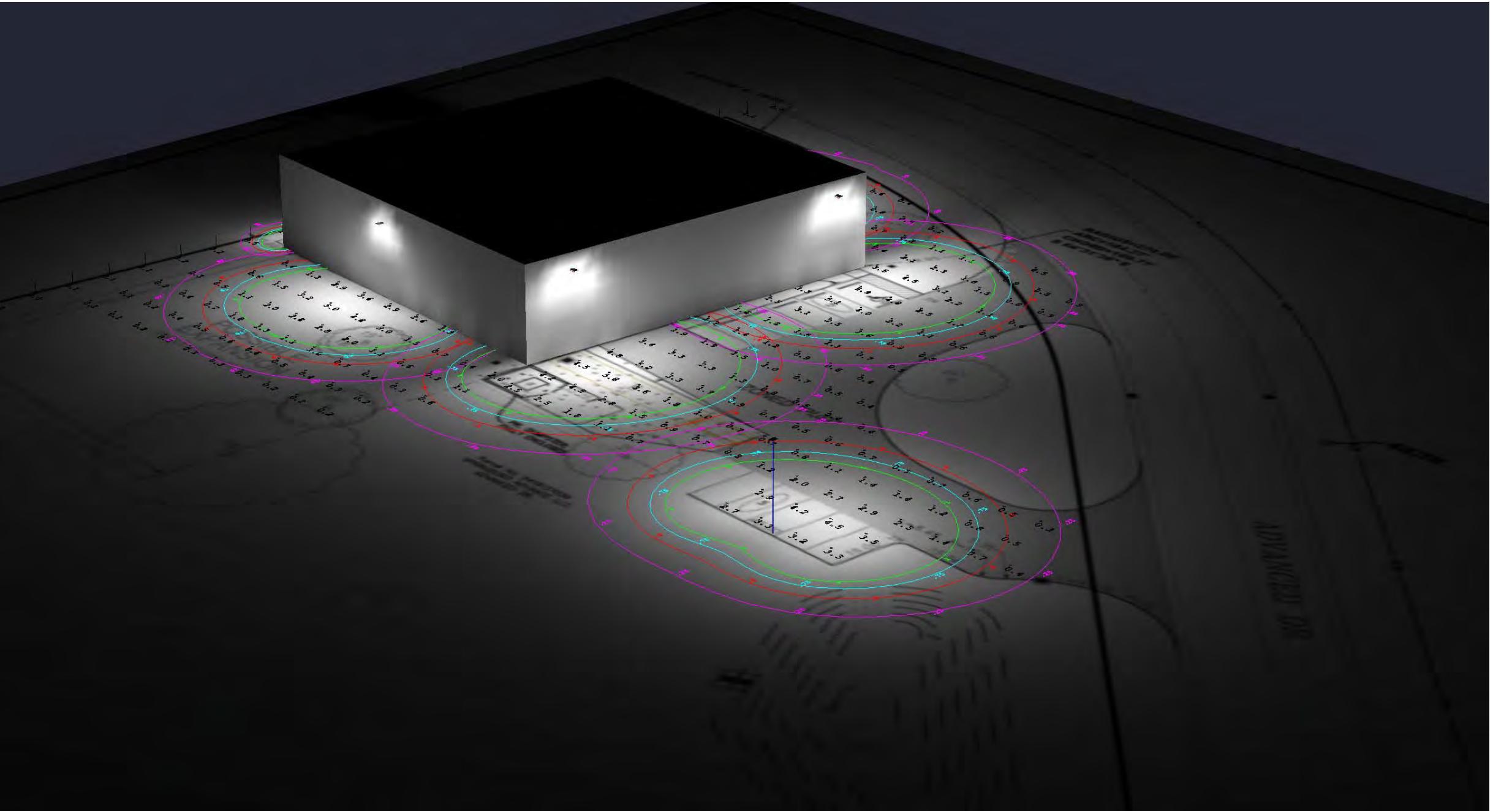
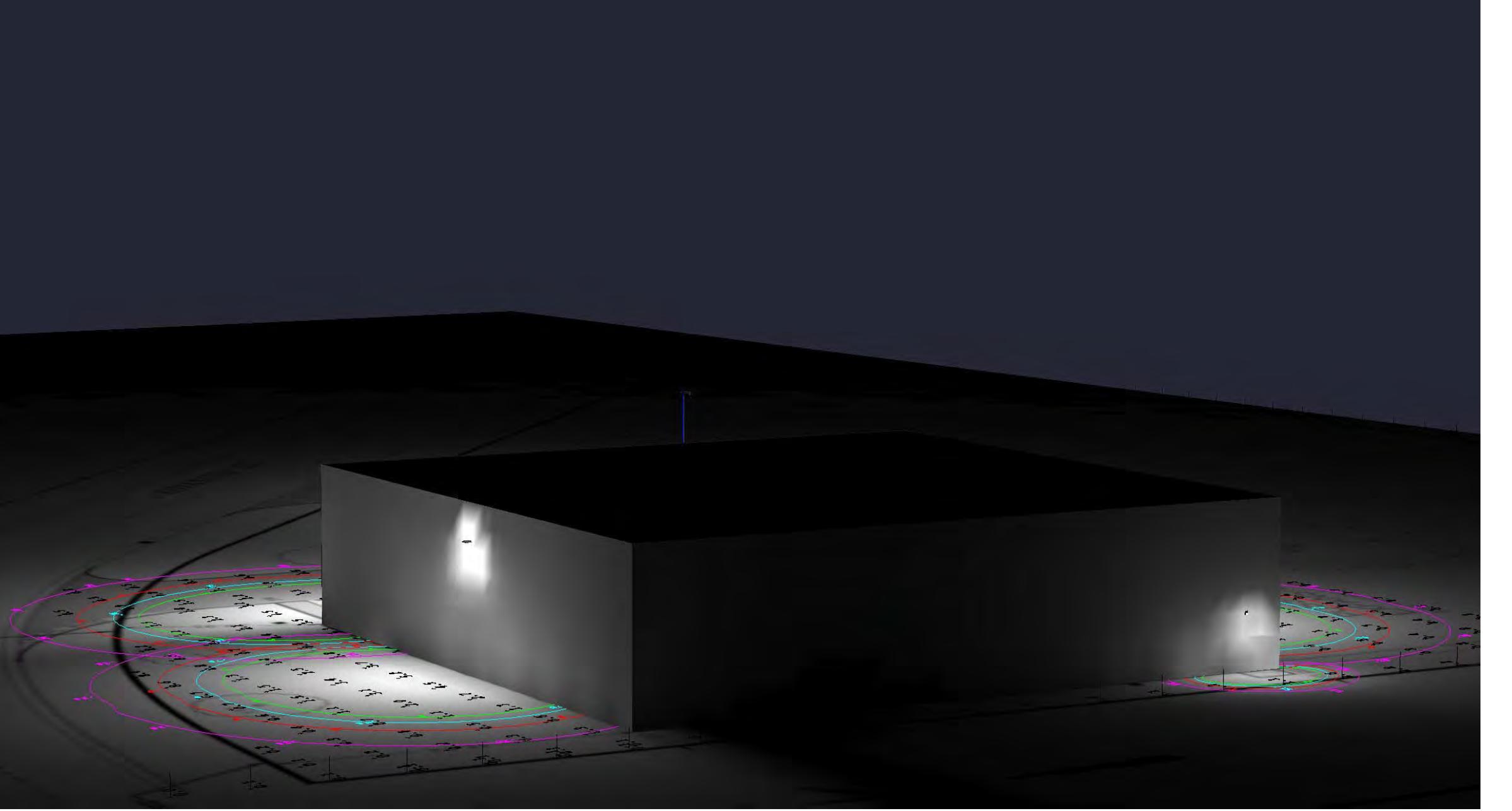
* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of *COOPER ELECTRICAL SALES*.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

COOPER ELECTICALSALES luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal
Patents issued or pending apply.



Prepared For: Rep Agency Name Address	Job Name: X	Scale: as noted	Date: 6/30/2020	Lighting Layout Version A	Filename: COOPER ELECTRICAL SALES
Drawn By: TONY BROWN			Filename:		
<p>Lighting Design Disclaimer</p> <p>The Lighting Analysis, ezLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by COOPER ELECTRICAL SALES represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by COOPER ELECTRICAL SALES and therefore actual measured results may vary from the actual field conditions. COOPER ELECTRICAL SALES recommends that design parameters and other information be field verified to reduce variation. COOPER ELECTRICAL SALES neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. COOPER ELECTRICAL SALES neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by COOPER ELECTRICAL SALES. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.</p>					

**Proposed Building For:
10,000 s.f. Speculative Building**

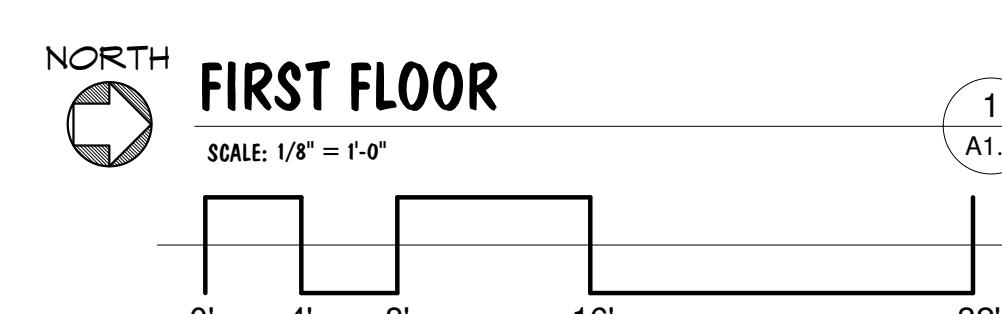
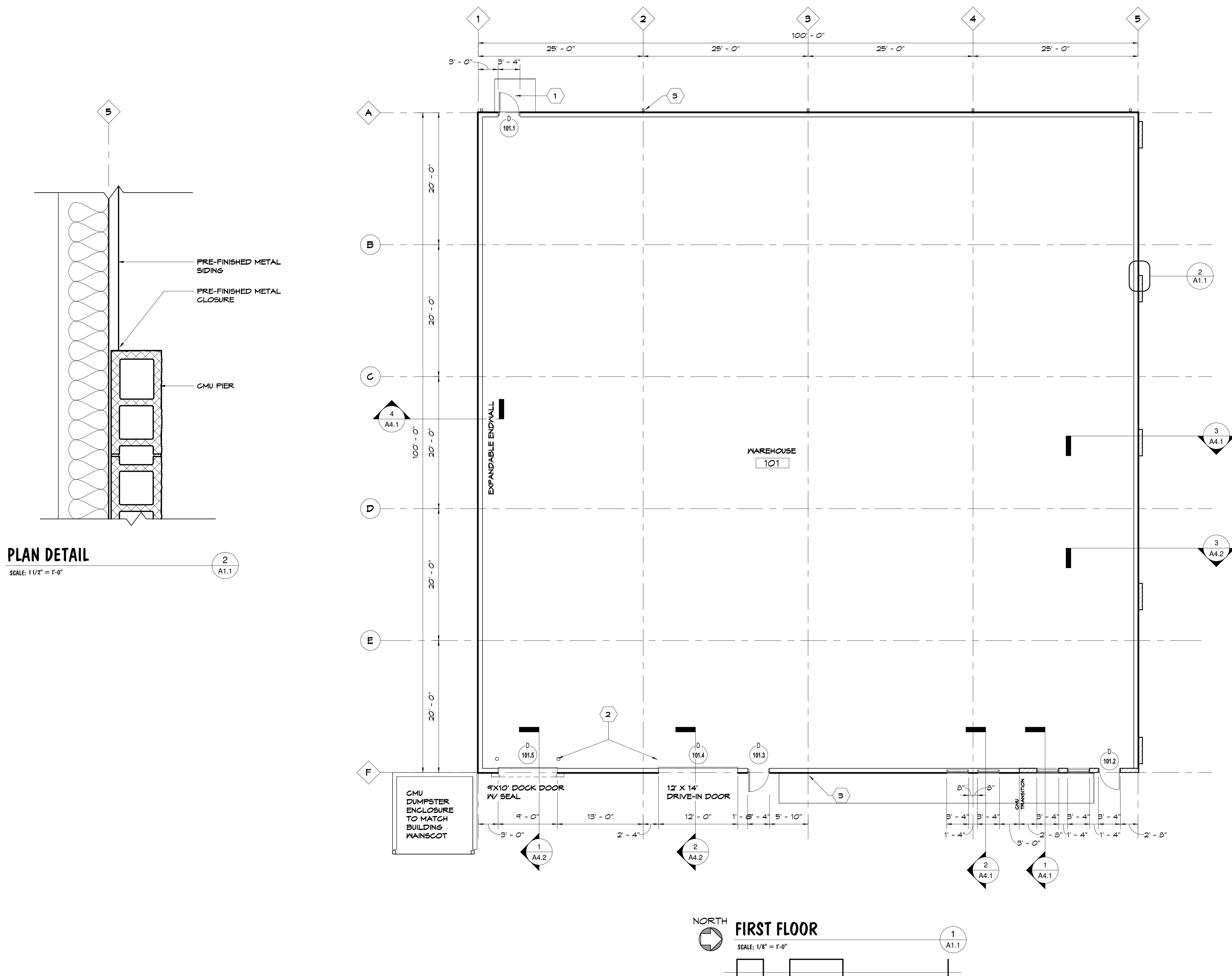
Advanced Drive
Springboro, Ohio 45066

REV. DATE CK'D

Drawn By:WNS Checked By:
Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A1.1



KEYNOTES

1. 5' X 5' X 4" CONCRETE STOOP
2. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 7/A3.1
3. PRE-FINISHED METAL DOWNSPOUT, COORD. W/PEMB DRAWINGS

Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

Drawn By:WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

A1.4



LOOKING NORTHWEST

SCALE: 12" = 1'-0"

1
A1.4



LOOKING WEST

SCALE: 12" = 1'-0"

2
A1.4

**Proposed Building For:
10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066**

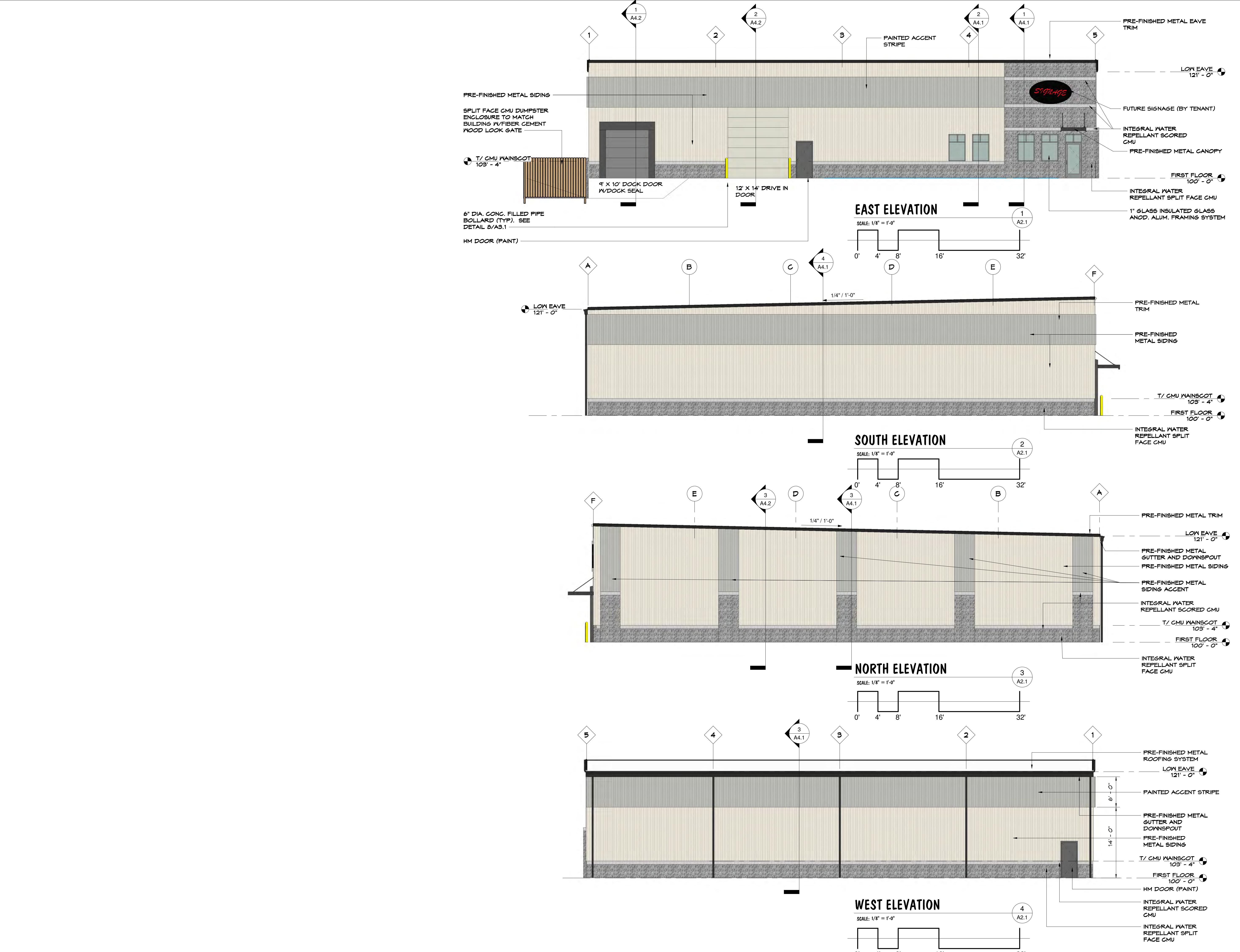
REV. DATE CK'D

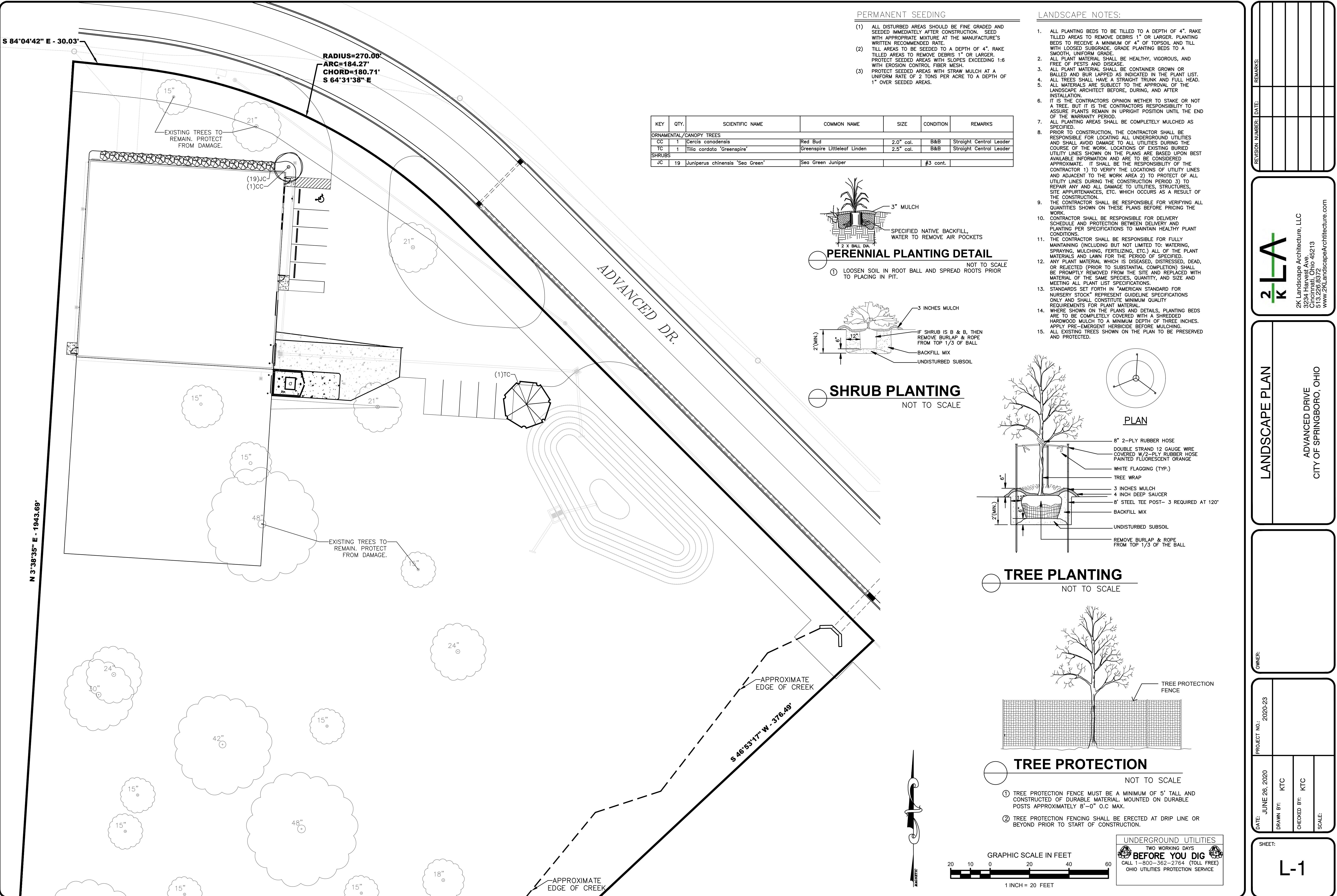
Drawn By:WNS Checked By:

Preliminary
Not For
Construction

Date: 06/24/20 Job No: 20.077

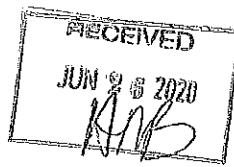
A2.1





CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____



SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void.

Owner
 Agent
 Lessee
 Signed Purchase
Contract

APPLICANT'S NAME:

John M. Roll
3176 Kettering Blvd.
Dayton, OH 45439

Telephone No. (937) 299-4243

Fax No. (937) 299-3254

Email Address jroll@rollassoc.com

PROPERTY OWNER'S NAME: Thaler Machine Co.

Address: 216 Tahlequah Trl
Springboro, OH 45066

Telephone No. (937) 550-2400

Address of Property:

Existing Use:

Proposed Use:

Edwards Dr./Tahlequah Tr. Lot Number: 5
Vacant lot Zoning District: HBD

10,500 SF Warehouse with Loading Dock

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. Please note that all plans submitted with this proposal must be pre-folded. The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

(Signature of Applicant and/or Agent)

(Date)

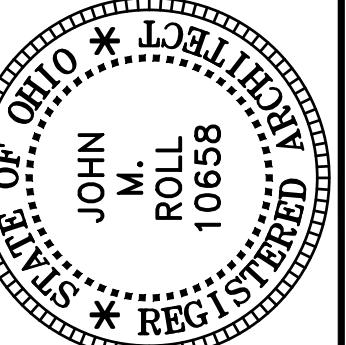
6.26.20



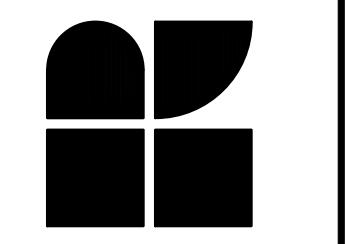
THALER WAREHOUSE



DATE	DESCRIPTION
6-26-20	PLANNING SUBMITTAL
7-2-20	PLANNING SUBMITTAL



ROLL & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
3176 KETTERING BOULEVARD DAYTON, OHIO 45439
PHONE (937) 299-3254 FAX (937) 299-4243



THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343

PROJECT NO.
56083

PROJECT TITLE

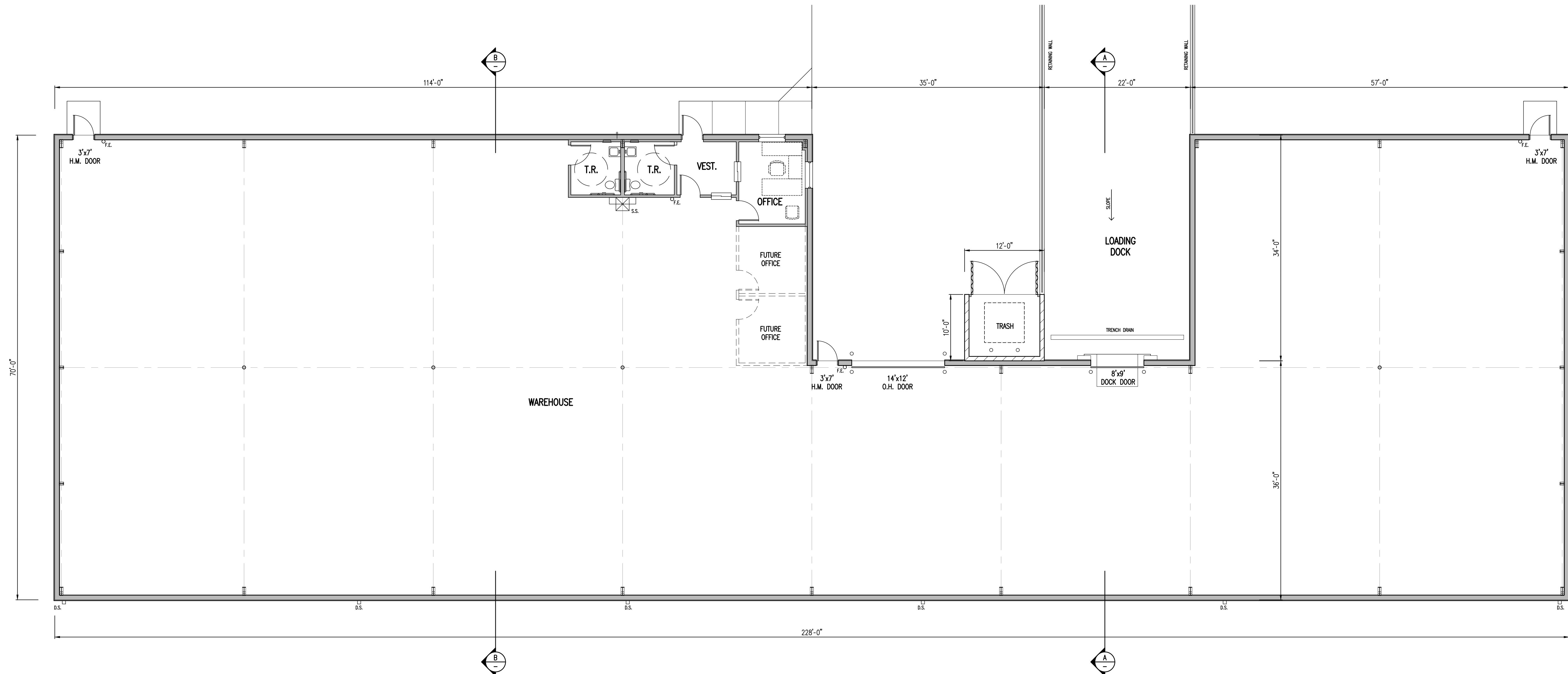
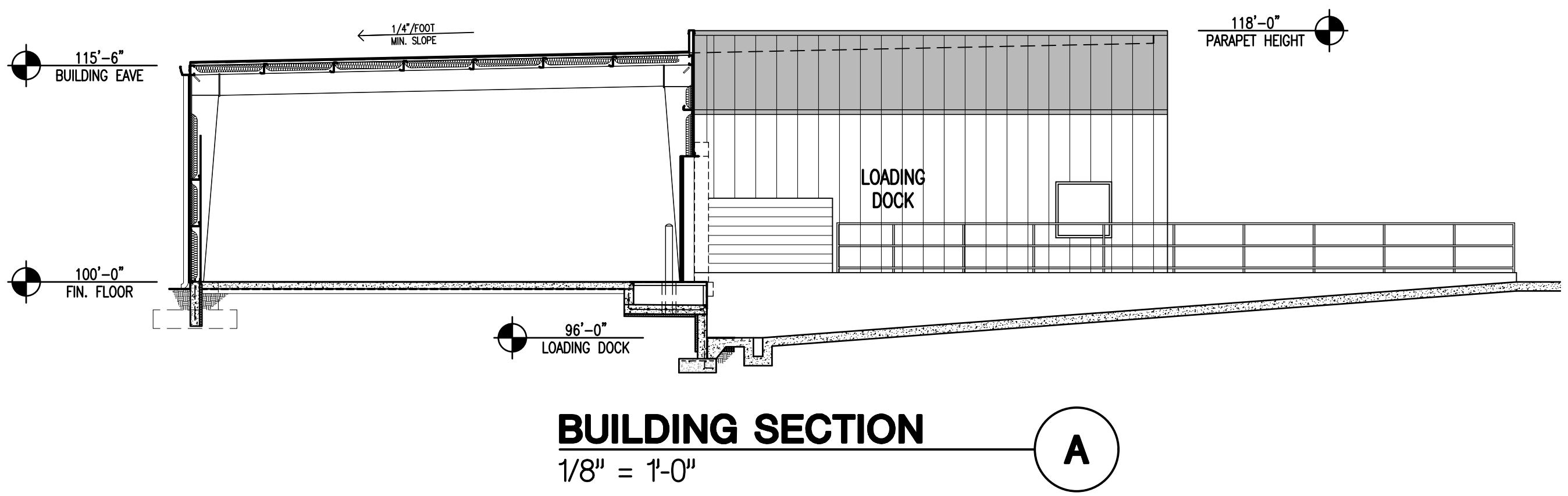
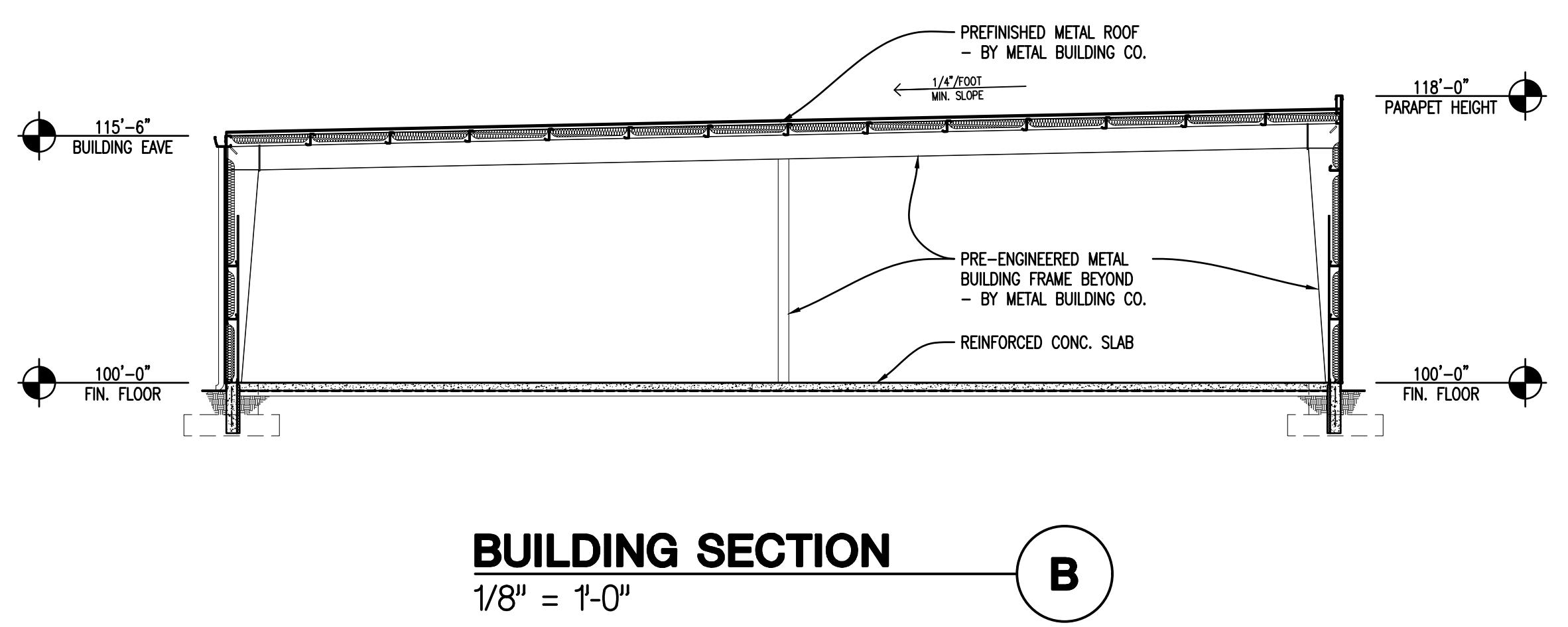
WAREHOUSE

DWG. TITLE

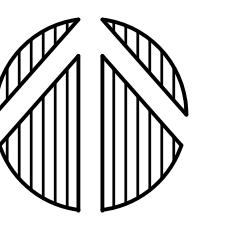
**BUILDING
PLAN**

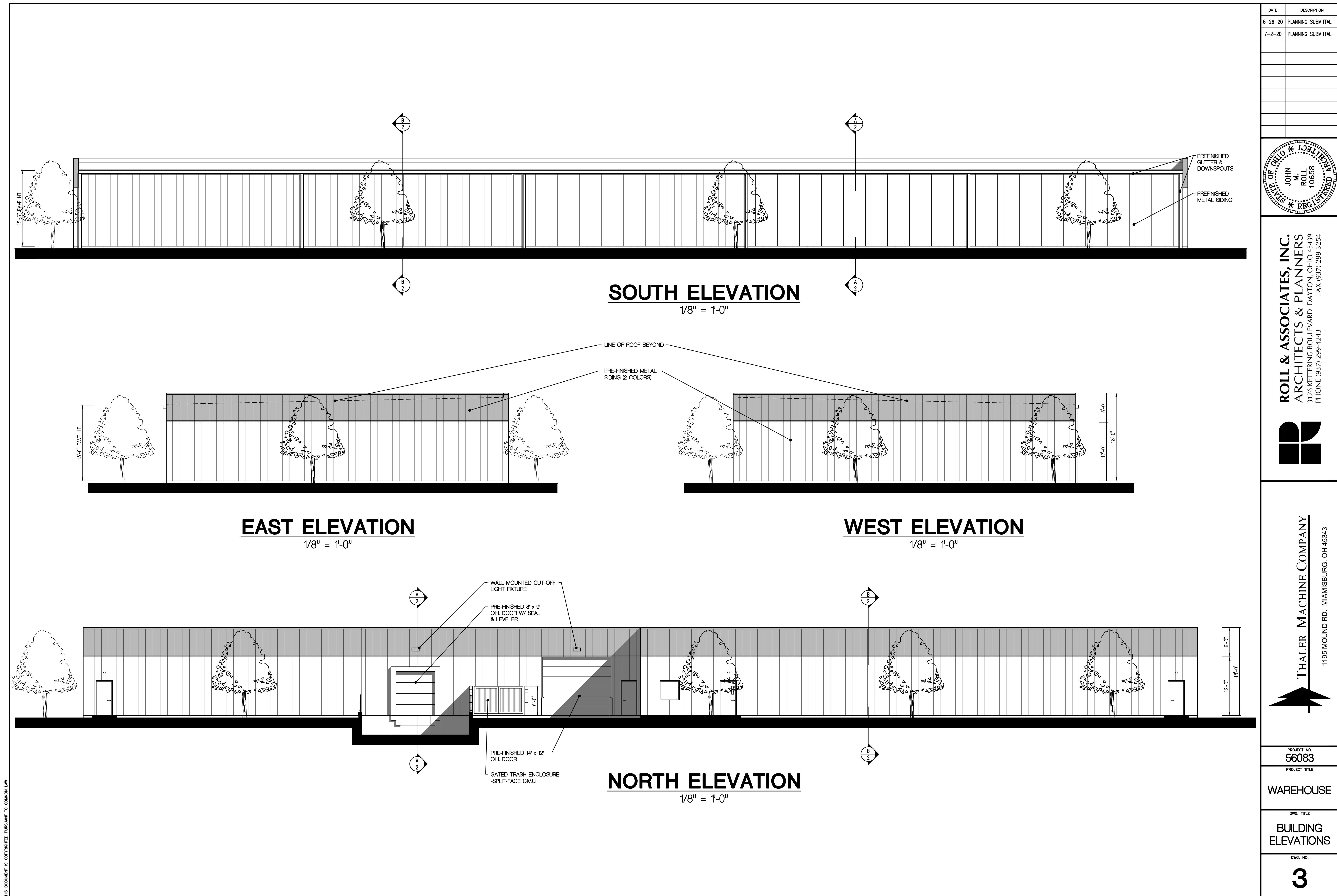
DWG. NO.

2



BUILDING PLAN
1/8" = 1'-0"





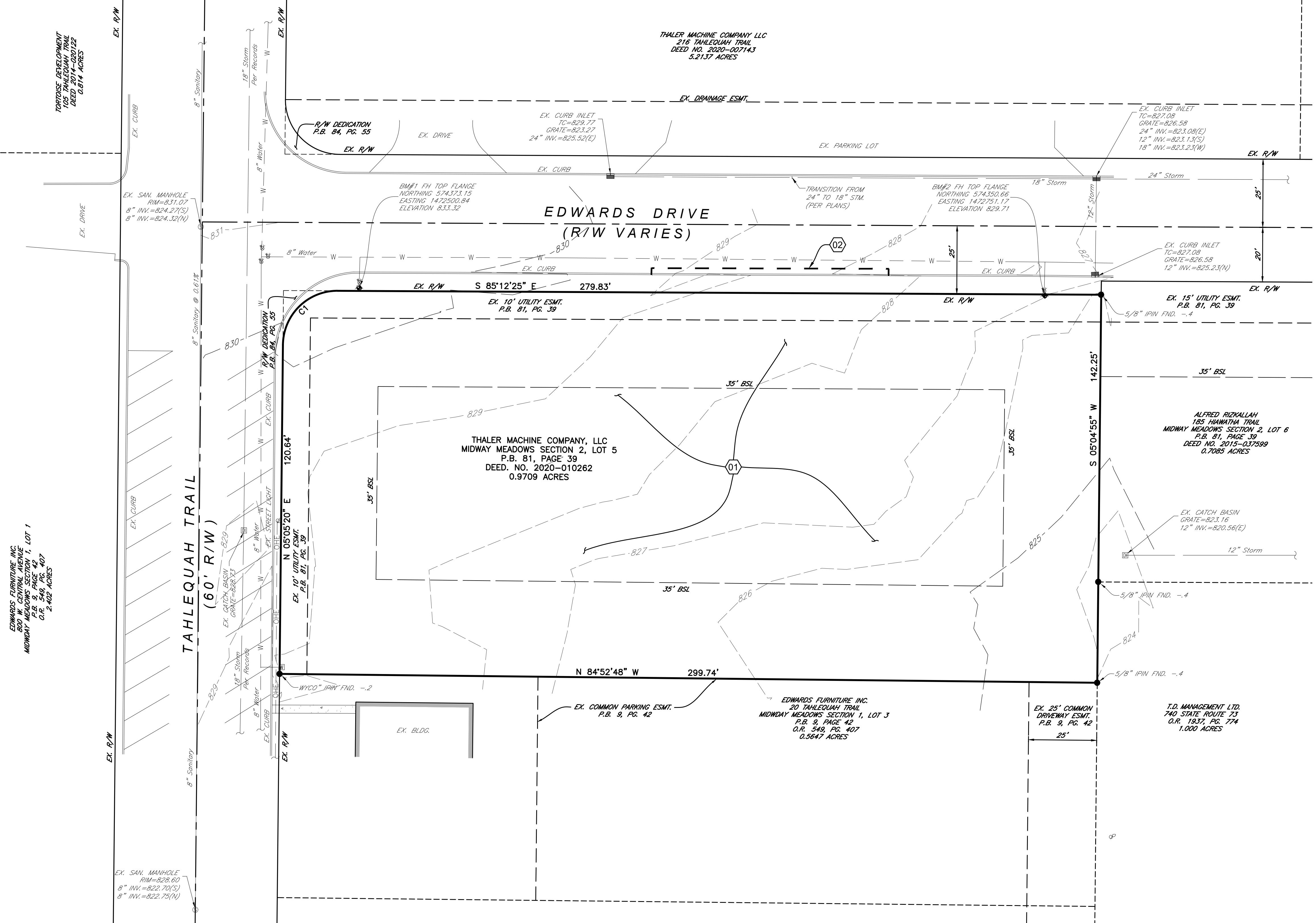
SITE DEVELOPMENT PLANS FOR
THALER MACHINE COMPANY LLC
LOT # 5, MIDWAY MEADOWS SECTION 2
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

EDWARDS FURNITURE INC.
700 W. CENTRAL AVENUE
Y MEADOWS SECTION 1, LOT 1
P.B. 9, PAGE 42
O.R. 549, PG. 407
2.402 ACRES

EDWARDS FURNITURE INC.
800 W. CENTRAL AVENUE
Y MEADOWS SECTION 1, LOT 1
P.B. 9 PAGE 42
O.R. 549 PG. 407
2 100 1000

Kno

Now what's below.
Call before you dig.



Owner & Developer
Thaler Machine Company
1195 Mound Road
Miamisburg, Ohio 45343
937-550-2400

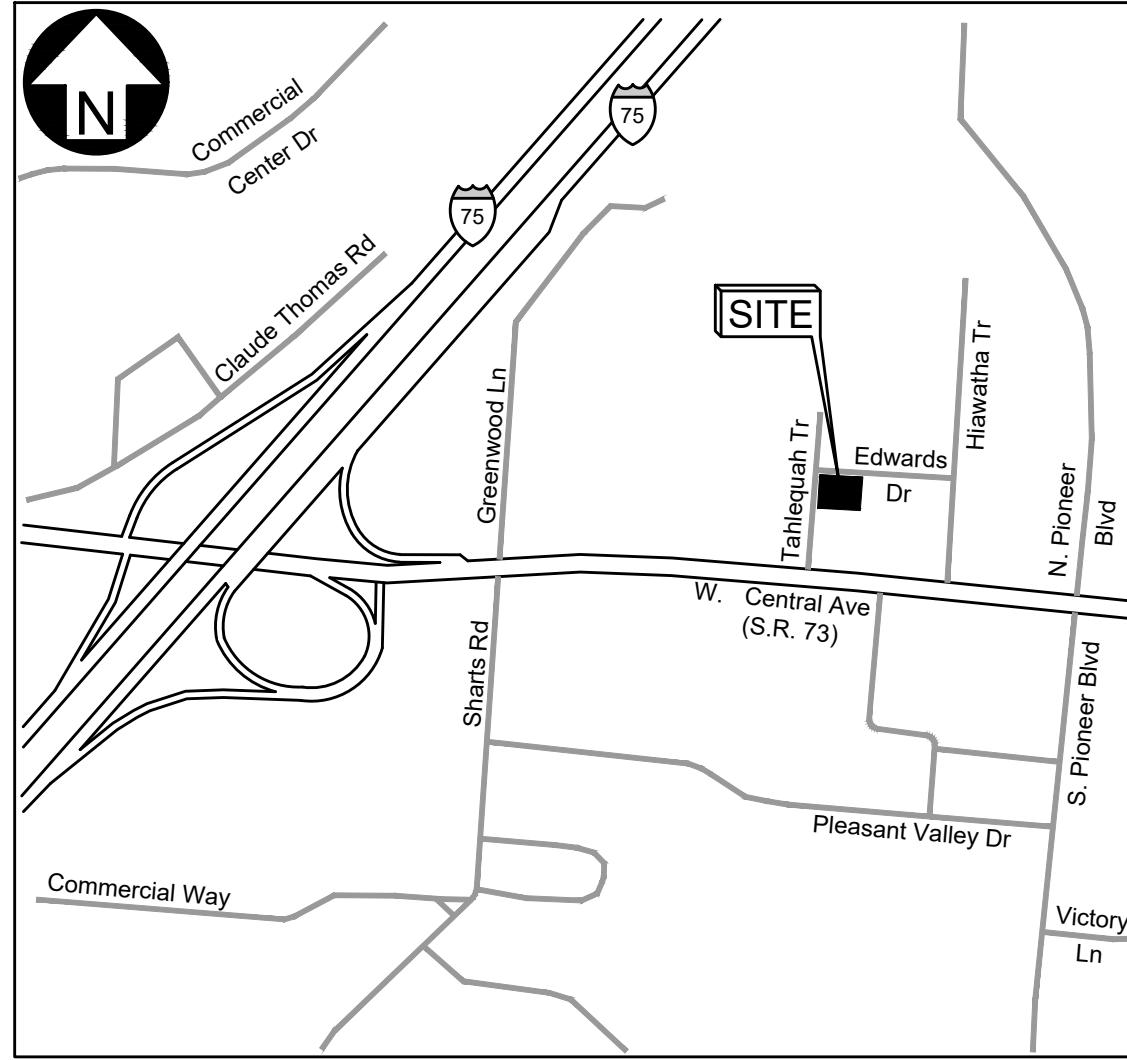
Civil Engineer
Burkhardt Engineering
Kurt Ziessler, P.E.
28 North Cherry Street
Germantown, OH 45327
937-388-0060

Architect
Roll & Associates, Inc.
John M. Roll, A.I.A
3176 Kettering Boulevard
Dayton, OH 45439
937-299-4243

Zoning
Current Zone: Highway Business District (HBD)
Min. Lot Area: (Per Planning Commission)
Setbacks Per ED Zoning:
Front: 35' From Edwards Drive R/W
West Side: 35' From Tahlequah Trail R/W
East Side: 35'
Rear: 35'

Owner's Signature

Owner Name _____ Date _____



VICINITY MAP

NOT TO SCALE

SHEET INDEX

- C-1.0: TITLE SHEET, EXISTING CONDITIONS, & DEMOLITION PLAN
- C-2.0: SITE PLAN & DETAILS
- C-3.0: UTILITY PLAN
-
- C-4.0: GRADING PLAN & SOIL EROSION CONTROL PLAN
- C-5.0: STORMWATER MANAGEMENT PLAN

– DEMOLITION NOTES

1. All work shall strictly comply with all City, State, and Federal regulations and requirements.
2. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
3. All items noted to be removed shall be done as part of the contract for general construction.
4. Remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, gravel fills, tree roots, pipes, etc.
5. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
6. Any disturbance incurred to any adjoining property or within the right-of-way due to demolition or construction shall be restored to the previous condition or better, in accordance with all Local and State Authorities.
7. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor should contact "811", 72 hours before commencement of work and verify all utility locations.

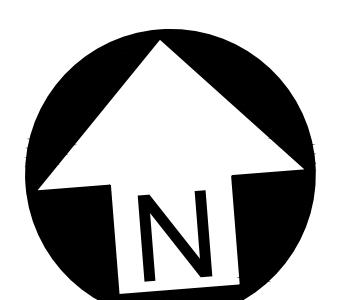
DEMOLITION KEYNOTES

- 01 STRIP AND STOCKPILE TOPSOIL. REFERENCE GEOTECHNICAL REPORT FOR SITE PREPARATION.
- 02 SAWCUT AND REMOVE EXISTING CONCRETE CURB FOR NEW DRIVE — — — SAWCUT LINE

RIGHT-OF-WAY CURVE DATA					
CURVE NO.	RADIUS	ARC LENGTH	CHORD	BEARING &	DISTANCE
C1	20.00'	31.31'		N 49°56'27" E	~ 28.21'

SITE BENCHMARKS

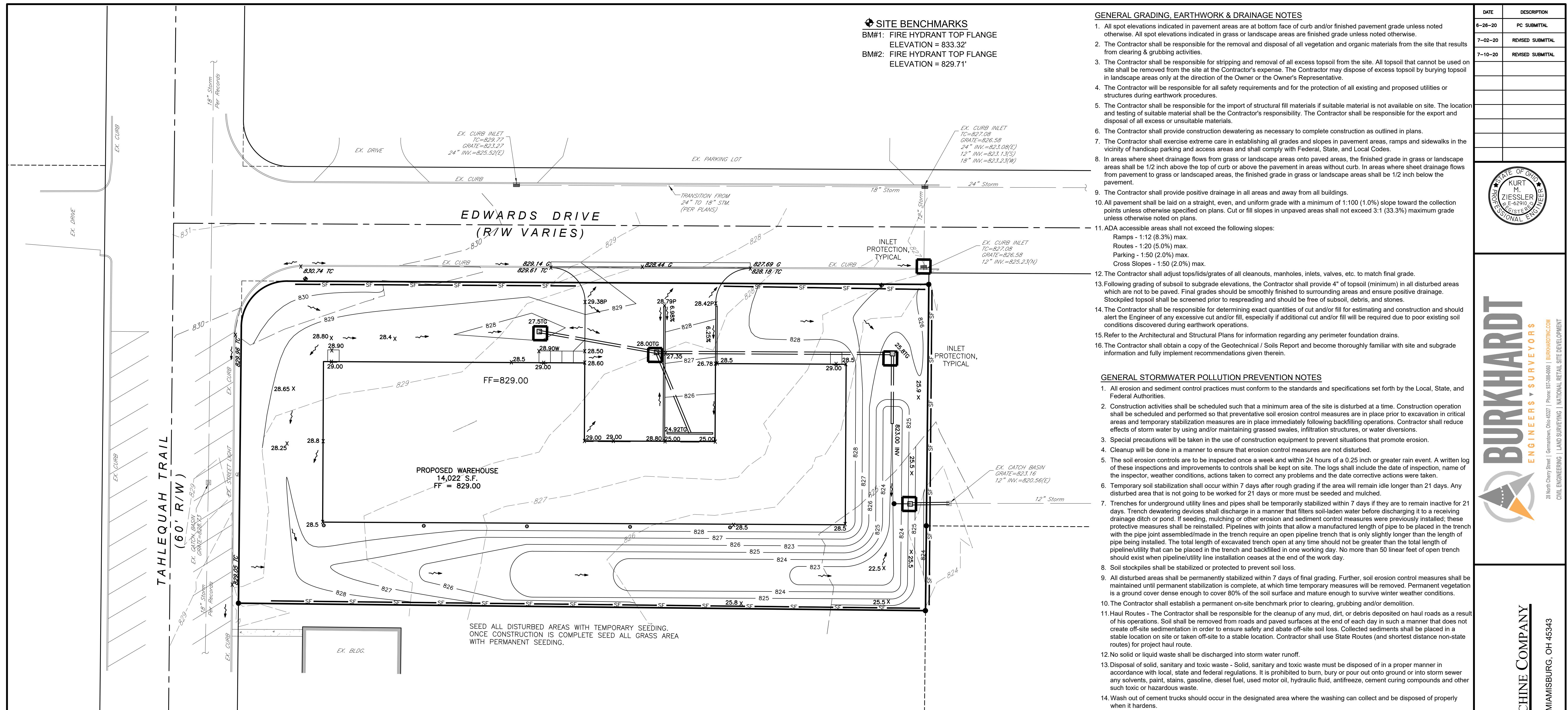
BM#1: FIRE HYDRANT TOP FLANGE
ELEVATION = 833.32'
BM#2: FIRE HYDRANT TOP FLANGE
ELEVATION = 829.71'



EXISTING SITE LEGEND

●	IRON PIN FOUND
▲	PIPE FOUND
□	DRAINAGE INLET
◎	SANITARY MANHOLE
○	FIRE HYDRANT
⊗	WATER MAIN VALVE
∅	UTILITY POLE
□	TELEPHONE CABINET
— — — — —	STORM SEWER MAIN
— — — — —	SANITARY SEWER MAIN
— — — — W —	WATER MAIN
— — — — E —	ELECTRIC LINE
— · — · — — —	FENCE
— — — — —	TREE LINE
— — 000 — —	CONTOUR LINE

C-1.0



SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

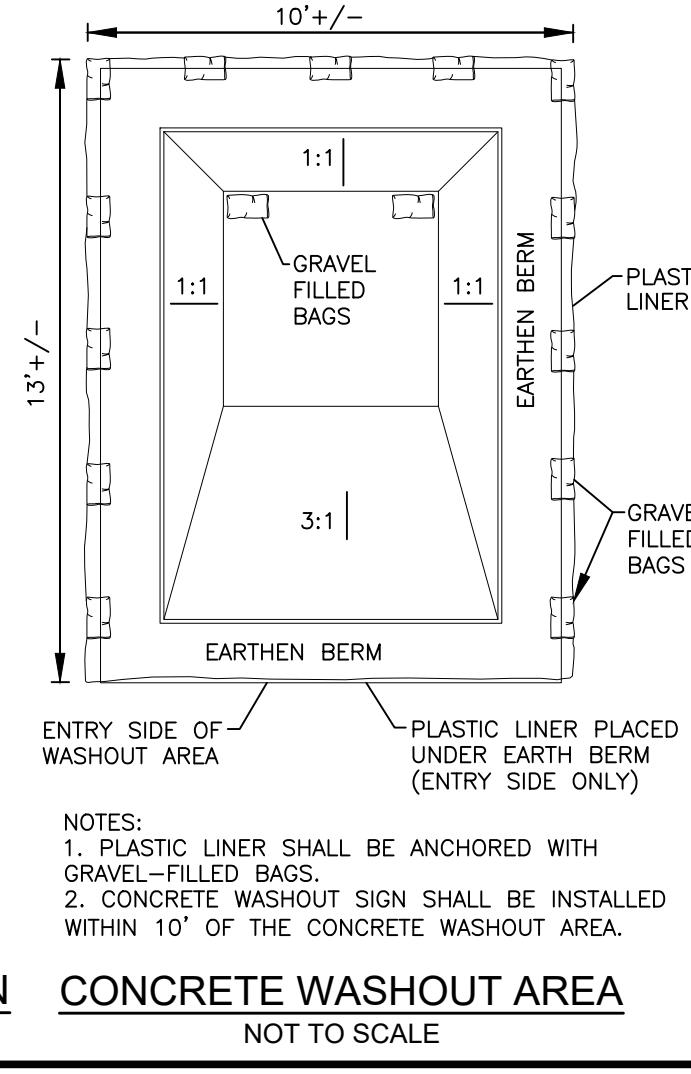
1. Stone tracking pad atop geotextile liner.
2. Install silt fence and protection fencing.
3. Initial clearing, grubbing, and demolition.
4. Strip and stockpile top soil.
5. Rough grade and balance site.
6. Install underground utilities (i.e. Sanitary, Storm & Water)
7. Place inlet filters on all storm inlets.
8. Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
9. Final grade site.
10. Install pavement, curb, and other hardscape structures/surfaces.
11. Stabilize ditches, swales, common areas and slopes.
12. Establish permanent vegetation for all disturbed areas.
13. Remove all temporary erosion and sediment control devices.
14. Clean out storm sewer system and detention area upon completion.

SOIL EROSION CONTROL MAINTENANCE

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.
- Sediment from the detention area shall be removed as necessary to maintain proper functionality.



Know what's below.
Call before you dig.

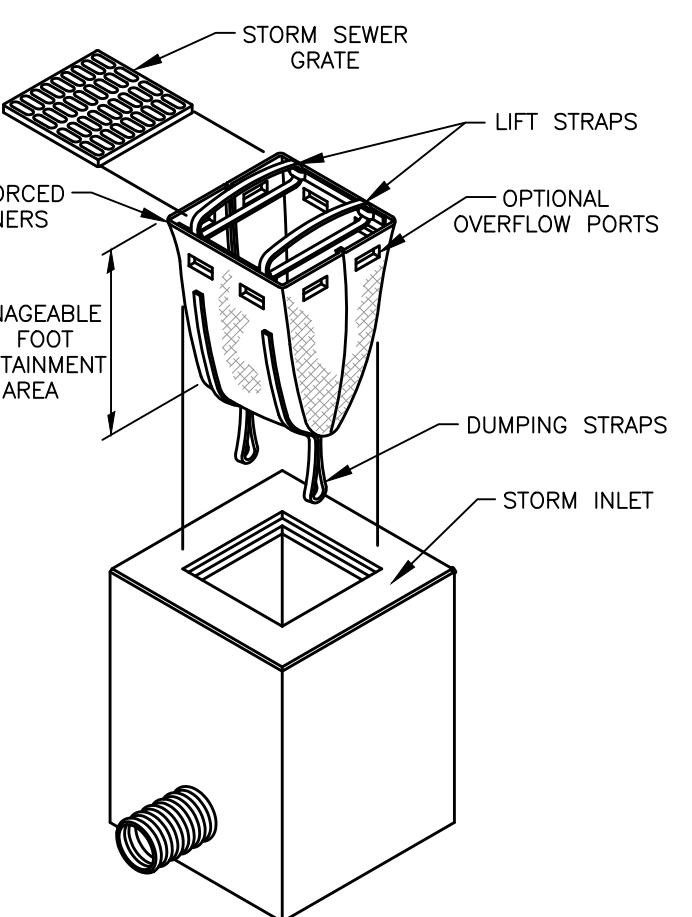


CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

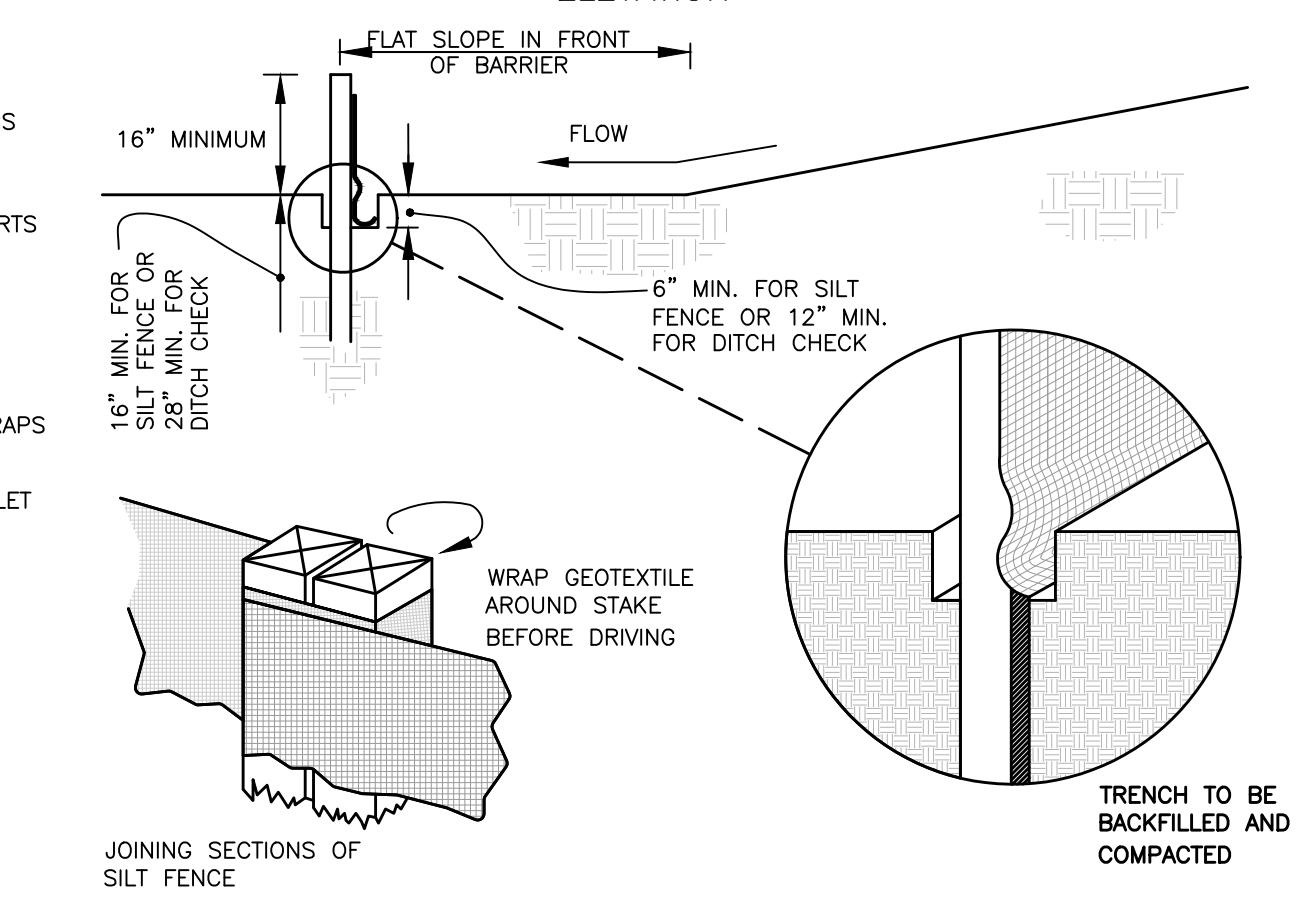
NOT TO SCALE

NOT TO SCALE

NOT TO SCALE



DANDY SACK™ DETAIL
NOT TO SCALE



SILT FENCE & SILT DITCH CHECK DETAIL
NOT TO SCALE

SITE BENCHMARKS

BM#1: FIRE HYDRANT TOP FLANGE
ELEVATION = 833.32'
BM#2: FIRE HYDRANT TOP FLANGE
ELEVATION = 829.71'

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
Ramps - 1:12 (8.3%) max.
Routes - 1:20 (5.0%) max.
Parking - 1:50 (2.0%) max.
Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to resurfacing and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

GENERAL STORMWATER POLLUTION PREVENTION NOTES

1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
2. Construction activities shall be scheduled so that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.25 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 21 days. Any disturbed area that is not going to be worked for 21 days or more must be seeded and mulched.
7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 21 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstated. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated french open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
10. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
11. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of its operations. Soil shall be removed from roads and paved surfaces at the end of each day in a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
12. No solid or liquid waste shall be discharged into storm water runoff.
13. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paints, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
14. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
15. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
16. No fuel storage is permitted on site.
17. All detention areas shall be cleared of construction sediment upon completion of construction.
18. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the State of Ohio EPA.

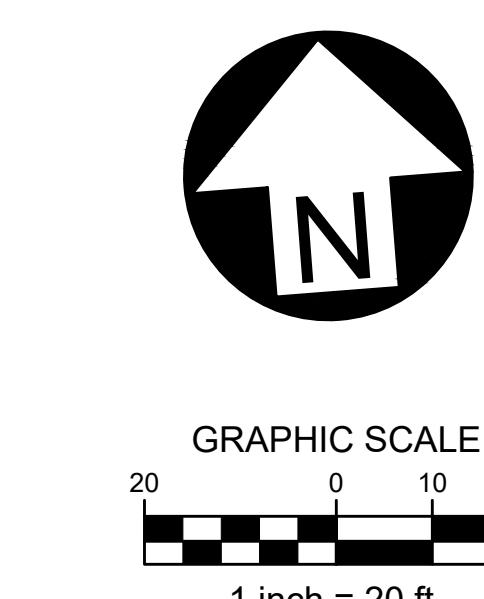
SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

(ADD 800 TO PROPOSED SPOT ELEVATIONS)

GRADING / SOIL EROSION CONTROL LEGEND

+28.80	PROP. "SPOT" ELEVATION (TOP OF PAVEMENT IN PAVED AREAS)
828	DIRECTION OF DRAINAGE
x824.24	PROP. CONTOUR
828	EX. "SPOT" ELEVATION
TG	EX. CONTOUR
20	TOP-OF-GRATE/STORM STRUCTURE
W	TOP-OF-RETAINING WALL
W	SIDEWALK
W	SILT FENCE
W	INLET PROTECTION / DANDY SACK



C-4.0

DATE	DESCRIPTION
6-28-20	PC SUBMITTAL
7-02-20	REVISED SUBMITTAL
7-10-20	REVISED SUBMITTAL



BURKHARDT
ENGINEERS SURVEYORS

28 North Cherry Street | Cincinnati, Ohio 45223 | Phone: 513.384.8680 | BURKHARDT.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

THALER MACHINE COMPANY
1195 MOUND RD. MIAMISBURG, OH 45343



PROJECT NO.
56083

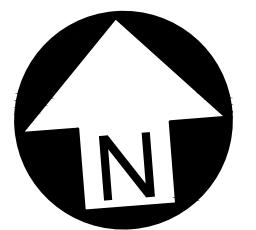
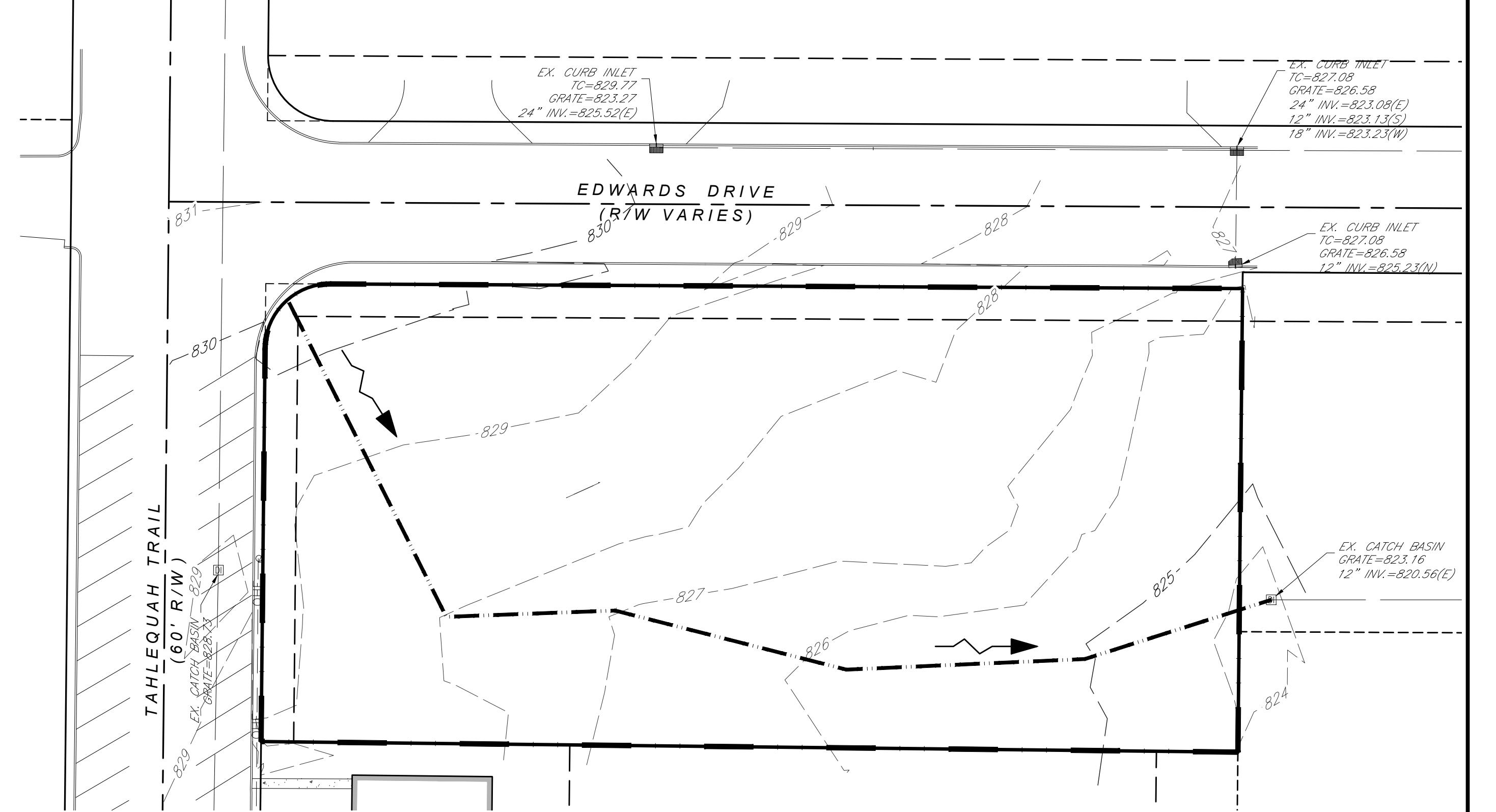
PROJECT TITLE

WAREHOUSE

STORMWATER
MANAGEMENT
PLAN

DWG. NO.

C-5.0

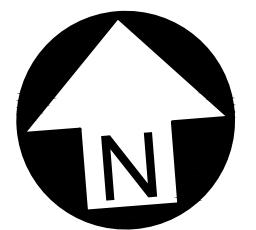
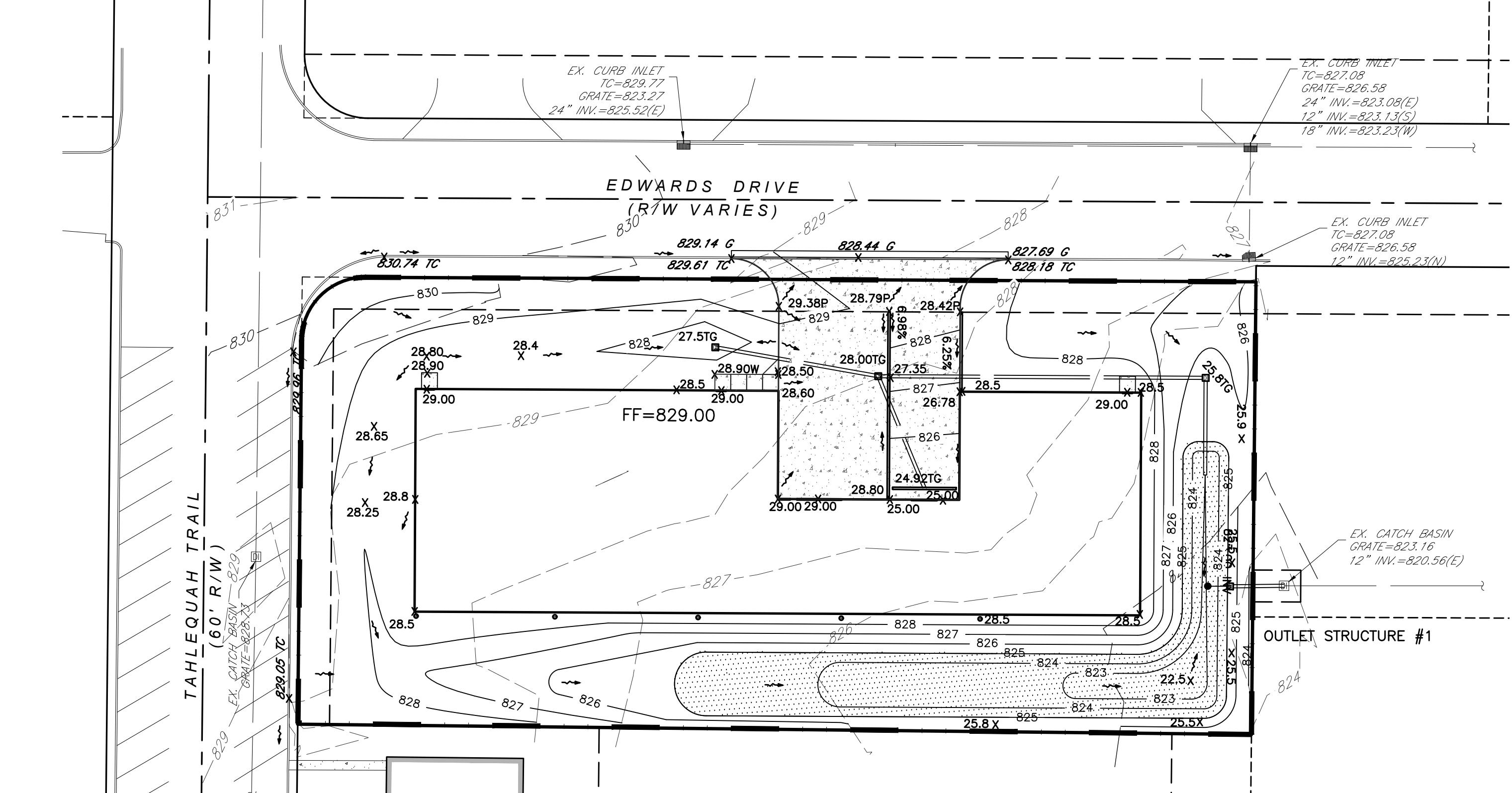


GRAPHIC SCALE
30 0 15 30
1 inch = 30 ft.

EXISTING CONDITIONS

PRE DEVELOPED DRAINAGE AREA GOING
INTO EX. CATCH BASIN = 0.97 ACRES.
TC = 20.8 MINUTES

LEGEND	
	DIRECTION OF DRAINAGE
	DRAINAGE AREA BOUNDARY
	Tc FLOWPATH



GRAPHIC SCALE
30 0 15 30
1 inch = 30 ft.

PROPOSED CONDITIONS

POST DEVELOPED DRAINAGE AREA GOING INTO DETENTION
BASIN & THEN OUTLETTING INTO EX. CATCH BASIN = 0.97 ACRES.
TC = 10.0 MINUTES

LEGEND	
	DIRECTION OF DRAINAGE
	DRAINAGE AREA BOUNDARY
	DETENTION BASIN

EXISTING CONDITIONS

The existing 0.97 acre site is an undeveloped parcel consisting of open space in fair condition and Hydrologic Group C soils giving us a Curve Number of 79 according to tables provided in Chapter 2 of TR-55. The site drains to the east into a catch basin on our east neighbor's property. The site has no offsite drainage areas going through it.

PROPOSED CONDITIONS

The proposed 0.97 site will contain impervious areas (building and pavement), with the remaining areas to be landscaped or restored to grass. The Curve Number will be 84. The site will continue to drain towards the east into the storm sewer. The site will be routed through a Dry Extended Detention Basin, providing both Water Quality Volume and Detention Volume to reduce post-construction runoff rates in accordance with the Ohio EPA and the City of Springboro Regulations.

Watershed information and delineation of each drainage area is noted on the maps provided above. Curve Numbers and Time of Concentration calculations are in accordance with TR-55 methodology.

On-Site Soils:
-DaB - Duna Silt Loam, 2 to 6 Percent Slopes
Hydrologic Soil Group: C
-RvB2 - Russell-Miamian Silt Loams, 2 to 6 Percent Slopes
Hydrologic Soil Group: C

24-hour Rainfall Depths for Springboro, OH

1 year - 2.31"
2 year - 2.76"
5 year - 3.37"
10 year - 3.85"
25 year - 4.49"
50 year - 4.99"
100 year - 5.50"

STORMWATER MANAGEMENT

Reference Materials and Methodology for Calculations:
USDA - Urban Hydrology for Small Watersheds - Technical Release 55
USDA - Web Soil Survey
City of Springboro Stormwater Regulations
Ohio EPA Permit No OHC000005
ODNR Rainwater and Land Development Manual
NOAA Altas 14, Volume 2, Version 3

Runoff Control Requirements:
Provide detention as necessary to reduce post-construction runoff rates to pre-development rates in accordance with the Critical Storm Method.

Critical Storm Method Calculations	
Pre-Development Conditions	
Area = 0.97 acres	
CN = 79 (Soil Type C, open space in fair condition)	
Tc = 20.8 minutes (TR-55 Tc Method)	
Post-Development Conditions	
Area = 0.97 acres	
Composite CN = 84	
0.42 acres of Pavement/Building (CN=98)	
0.55 acres of Open Space in Good Condition (CN=741)	
Tc = 1 minutes	
Pre-developed 10 year storm runoff volume = 2,534 cu-ft	
Post-developed 1 year storm runoff volume = 3,418 cu-ft	
35% increase in runoff volume	
Critical Storm = 5 year	

Storm Water Quality Requirements:
Provide post-construction water quality volume per Ohio EPA Permit No OHC000005 and the Ohio Rainwater and Land Development Manual. A Dry Extended Detention Basin has been selected as the post construction BMP for our site.

Water Quality Volume Calculations	
Rv*P*A/12	
A=0.97 acres (Total Area Disturbed)	
P=0.90 inches	
Rv=0.05+0.9i (i=0.43=decimal impervious)	
Rv=0.44	
WQv = 0.032 acre-ft = 1,395 cu-ft	
20% Increase per EPA Regulations: WQv = 1,673 cu-ft	
WQv Provided = 1,811 cu-ft @ Elevation 824.10	
WQ controlled by a 1.0" diameter orifice at invert elevation = 822.00	
Drawdown Time = Volume/Qavg = 1811 cu-ft / 0.019 cfs = 27 hours	

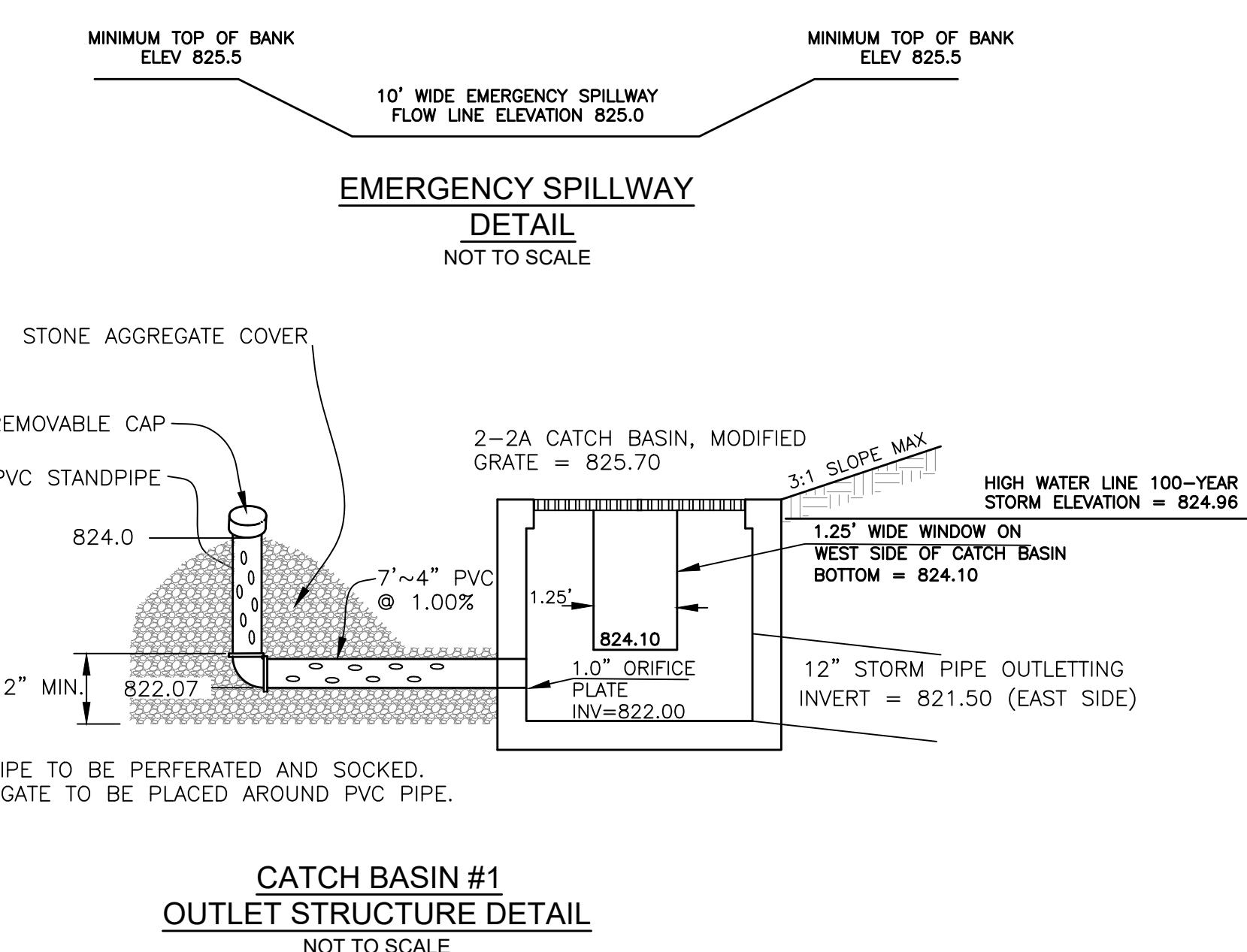


SITE BENCHMARKS
BM#1: FIRE HYDRANT TOP FLANGE
ELEVATION = 833.32'
BM#2: FIRE HYDRANT TOP FLANGE
ELEVATION = 829.71'

Detention Areas - Storage - Discharge Table

Event (YR)	Pre-Developed Discharge (CFS)	Post-Developed Discharge (CFS)	Allowable Peak Discharge (CFS)	Basin Discharge (CFS)	Basin-Elevation (FT)	Basin Volume (CubicFt)
1	0.73	1.51	0.73	0.07	824.12	1,891
2	1.06	2.06	0.73	0.22	824.22	2,207
5	1.57	2.84	0.73	0.70	824.39	2,782
10	1.98	3.46	1.98	1.24	824.54	3,254
25	2.56	4.31	2.56	2.03	824.71	3,836
50	3.02	4.98	3.02	2.67	824.84	4,252
100	3.50	5.66	3.50	3.34	824.96	4,650

Critical Storm



CATCH BASIN #1
OUTLET STRUCTURE DETAIL
NOT TO SCALE

C-5.0

LED PATRIOT® WALL SCONCE (XPWS3)



US patent 7828456, 8002428 and CAN 2736757 & 2736757 and MX patent 29631 and ISRL 49679 and AUS 2008312668 and US & Int'l. patents pending

SMARTTECT™ - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature

ENERGY SAVING CONTROL OPTIONS - DIM- 0-10 volt dimming enabled with controls by others.

OPTIONAL INTEGRAL MOTION SENSOR - Passive infrared motion sensor activates switching of luminaire light levels. High level light is activated when passersby enter target zone and increased to full bright in 1-2 seconds. Low light level (30% of maximum drive current) is activated when target zone is absent of motion activity for 5 minutes and is gradually ramped down (10 seconds) to low level. Sensor detection range 110° horizontal x 93° vertical x 10 meters maximum distance.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEDS - Available with 28 or 48 select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.

OPTICS/DISTRIBUTIONS - Ultra-high efficiency reflectors provide three distributions. Choose from Wide Throw (WT), Forward Throw (FT) or Wall Wash (WW).

HOUSING - One-piece die-cast aluminum housing is smoothly contoured rectangular shape. Mounting hardware is stainless steel or electro-zinc plated steel. Housing and optical unit are sealed with extruded silicone gasket; supply conductors with molded EPDM bushing.

OPTICAL UNIT - Clear tempered optical-grade flat glass lens sealed to the aluminum optic housing creates an IP65 rated unit. Pressure stabilizing breather allows super-tight protection while preventing cycling from building up internal pressures and vacuums that can stress optical unit seals.

WALL MOUNTING - Galvanized-steel universal wall mounting plate easily mounts directly to 4" octagonal or square junction box. EPDM gasket is supplied to be installed between mounting plate and junction box, sealing junction box from entrance of water. Universal plate permits fixture to be mounted in uplighting (indoor only) or downlighting position.

POLE MOUNTING - XPMA (for square) or XPMAR (for round) allows mounting to poles in single and D180 configurations. Use with 3" reduced drilling pattern.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input) or 347-480VAC.

DRIVER - Available in 350mA and 450mA drive currents (Drive currents are factory programmed). Components are fully encased in potting material for IP65 moisture resistance. Driver complies with IEC and FCC standards. Driver can be easily accessed.

EMERGENCY OPTIONS - Optional integral emergency battery-back-up options are available. BB option operates in 0°C to 60°C ambient temperature and CWBB operates in -20°C to 60°C ambient temperature. When primary AC power failure occurs, both options operate 10 LEDs for minimum of 90 minutes.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (in carton) - 30 lbs./13.6Kg

LISTING - ETL listed to ANSI/UL1598, UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position. Optional Class 1 Division 2 (groups A, B, C & D) hazardous location rating is available (Select HL option). For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

LIGHT OUTPUT - XPWS3

Distribution/Lumens (Nominal)					
Millamps	# of LEDs	Type FT	Type WT	Type WW	Watts
Cool White 350 mA	28	3100	3000	3200	34
	48	5100	5100	5200	55
	28	3700	3600	3800	44
	48	6200	6100	6300	72
Neutral White 350 mA	28	2900	2900	3100	34
	48	4900	4800	4900	55
	28	3500	3500	3700	44
	48	5800	5700	5800	72

LED Chips are frequently updated therefore values may increase.

Also available in traditional light sources

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



ARRA
Funding Compliant

IP65



Project Name _____ Fixture Type _____

Catalog # _____

07/28/16

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LED PATRIOT® WALL SCONCE (XPWS3)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XPWS3 FT LED 48 450 CW UE WHT BB**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XPWS3 - LED Patriot Wall Sconce	WT - Wide Throw FT - Forward Throw WW - Wall Wash	LED	28 48	350 - 350mA 450 - 450mA	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277) 347-480	BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	Wireless Control System^{1,2} (blank) - None PCM - Platinum Control System PCMH - Host/Satellite Platinum Control System GCM - Gold Control System GCMH - Host/Satellite Gold Control System DIM - 0-10 volt dimming (required for satellite fixtures) Stand-Alone Control (blank) - None DIM - 0-10 volt dimming ³ (from external signal)	Sensor IMS - Integral Motion Sensor ⁴ PCI120 - 120V Button-Type Photocell ⁵ PCI208 - 208V Button-Type Photocell ⁵ PCI240 - 240V Button-Type Photocell ⁵ PCI277 - 277V Button-Type Photocell ⁵ PCI347 - 347V Button-Type Photocell ⁵ Options BB - Battery Back-up ⁶ CWBB - Cold Weather Battery Back-up ⁶ EMR2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps ⁷ HL - Class 1, Division 2 Hazardous Location Rating, ETL Listed to UL844 ⁸ XPMA - Pole Mounting Adaptor w/ Fixture Back Plate for Use with Square Poles ⁹ XPMAR4 - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 4" O.D. Round Poles ⁹ XPMAR5 - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 5" O.D. Round Poles ⁹

ACCESSORY ORDERING INFORMATION¹

(Accessories are field installed)

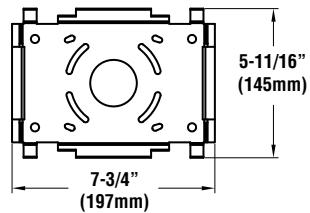
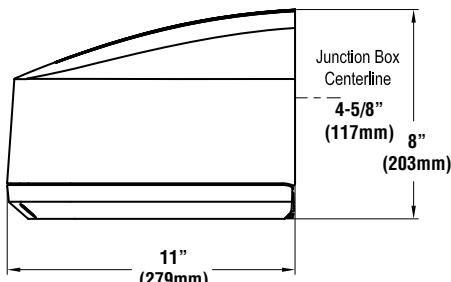
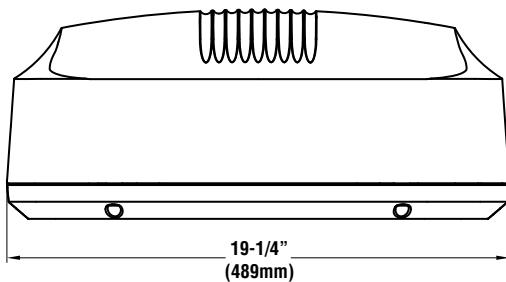
Description	Order Number	Order Number
XPWS3 Polycarbonate Shield	244657	DFK208, 240 - Double Fusing
XPWS3 SW BLK - Surface Wiring Box (Available in black only)	356915BLK	DFK480 - Double Fusing
FK120 - Single Fusing	FK120 ¹⁰	FK347 - Single Fusing
FK277 - Single Fusing	FK277 ¹⁰	

FOOTNOTES:

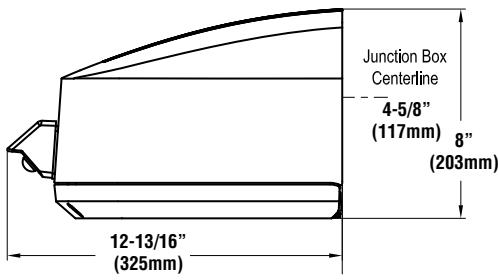
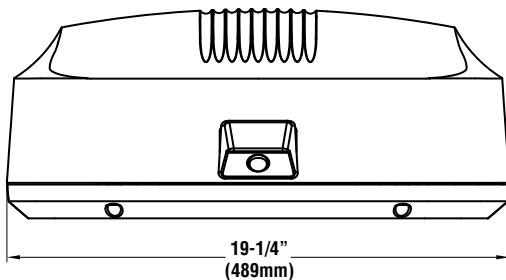
- 1- For wireless controls information and accessories, see Controls section.
- 2- Requires a SiteManager and override switch. Not compatible with battery back-up, IMS, EMR2 or HL Option.
- 3- Not compatible with IMS option.
- 4- Not compatible with wireless controls system or DIM .
- 5- Not compatible with EMR2 or HL option.

- 6- Available with UE voltage only. Not compatible with wireless controls system, EMR2 or HL option.
- 7- Utilizes GZ4 sockets. 12 volt separate circuits required. Not available with wireless controls system, battery back-up, photocell, HL, XPMA or XPMAR option.
- 8- Not available with wireless controls system, battery back-up, photocell or EMR2 option.
- 9- Not available with EMR2 option. Designed for 3" reduced drilling pattern. For S or D180 mounting configuration only.
- 10- Fusing to be installed in a compatible junction box supplied by contractor.

DIMENSIONS



Universal Mounting Plate



Shown with IMS Option



Project Name _____

Fixture Type _____

07/28/16

Catalog # _____

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BUG LISTING**XPWS3 - Type FT**

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
350	CW	3055	34	90	B1-U0-G1
		5094	55	93	B1-U0-G1
	NW	2919	34	86	B1-U0-G1
		4863	55	88	B1-U0-G1
450	CW	3730	44	85	B1-U0-G1
		6159	72	86	B2-U0-G1
	NW	3529	44	80	B1-U0-G1
		5775	72	80	B1-U0-G1

XPWS3 - Type WT

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
350	CW	2977	34	88	B1-U0-G1
		5095	55	93	B2-U0-G1
	NW	2873	34	86	B1-U0-G1
		4791	55	87	B1-U0-G1
450	CW	3636	44	83	B1-U0-G1
		6144	72	85	B2-U0-G1
	NW	3465	44	79	B1-U0-G1
		5678	72	79	B2-U0-G1

XPWS3 - Type WW

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
350	CW	3161	34	93	B2-U0-G0
		5209	55	95	B2-U0-G0
	NW	3074	34	90	B1-U0-G0
		4881	55	89	B2-U0-G0
450	CW	3844	44	87	B2-U0-G0
		6315	72	88	B2-U0-G0
	NW	3708	44	84	B2-U0-G0
		5751	71	81	B2-U0-G0

* Color Temperature: NW-4000K, CW-5000K



Project Name _____ | Fixture Type _____

Catalog # _____

07/28/16

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LSI INDUSTRIES INC.

CITY OF SPRINGBORO PLANNING COMMISSION

RECEIVED

MAY 28 2020

Application
Case # _____

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY PLAN RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

Owner **APPLICANT'S NAME:** CESO, Inc (Justin Elam, P.E., CPESC) Engineer
 Agent 3601 Rigby Road Suite 300
 Lessee Miamisburg, OH 45342
 Signed Purchase Telephone No. (937) 401.3959
Contract Fax No. (_____) _____
Email Address: elam@cesoinc.com

PROPERTY OWNER'S NAME: Headwaters Capital, LTD
Address: 500 S. Main Street
Springboro, Ohio 45066
Telephone No. (937)313.2553

Address of Property: 6329 Red Lion-Five Points Road, Springboro, OH 45066
Lot Number: Parcel ID: 08122510010
Existing Use: Single Family Home/Farm Zoning District: R-1
Proposed Use:
Estate-Type Residential District

NOTE: Applicant will furnish fifteen (15) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

05/27/20

(Signature of Applicant and/or Agent)

(Date)

FOR OFFICIAL USE ONLY

Date Filed: _____, 200____ Landscape Plan Lighting Plan

Date Paid: _____, 200____ CK# _____ Receipt# _____

Date of Meeting: _____, 200____ Granted Denied

Conditions: _____

PRELIMINARY PLAN

FOR

CLEARCREEK RESERVE WEST

CITY OF SPRINGBORO

WARREN COUNTY, OHIO

SECTION 12, TOWN 3E, RANGE 4N

JULY 2020



GENERAL NOTES

DATE OF SURVEY: FEBRUARY 2020

ZONING: CITY OF SPRINGBORO R-1
FRONT YARD SETBACK - 50'
REAR YARD SETBACK - 40'
SIDE YARD SETBACK - 10' MIN/25' TOTAL

THE DEVELOPMENT WILL COMPLY WITH R-1 DESIGN AND DEVELOPMENT STANDARDS INCLUDING BUT NOT LIMITED TO SETBACKS, HEIGHT, LOT COVERAGE, FRONTOAGE, AND MINIMUM LOT SIZE.

DEVELOPMENT WILL COMPLY WITH PLANNING AND ZONING CODE SECTION 1264.06, DEVELOPMENT STANDARDS FOR SINGLE-FAMILY DETACHED DWELLINGS, PROVISIONS INCLUDING EXTERIOR BUILDING MATERIALS, APPEARANCE CONFORMING TO NEIGHBORHOOD SURROUNDING DEVELOPMENT, AND GARAGE PLACEMENT/DESIGN.

SUBDIVISION WILL HAVE ENTRY SIGNAGE COMPLYING WITH PLANNING AND ZONING CODE SECTION 1281.07(a) AND 1281.07(c).

LANDSCAPING FOR THE DEVELOPMENT WILL COMPLY WITH PLANNING AND ZONING CODE CHAPTER 1280 LANDSCAPING.

CONSERVATION EASEMENT AS SHOWN ON THIS PLAN WILL LIMIT CLEARING, DISTURBANCE, AND FUTURE DEVELOPMENT WITHIN THE EASEMENT. LEGAL PROTECTION TO BE PROVIDED AND RECORDED WITH THE FINAL PLAT.

UTILITY AND ROADWAY IMPROVEMENTS WILL BE TO CITY OF SPRINGBORO SPECIFICATIONS.

WATER SERVICE TO BE TIED INTO CITY OF SPRINGBORO SYSTEM.

SANITARY SERVICE TO BE PROVIDED BY ON SITE SEPTIC AND SHALL BE PERMITTED THROUGH WARREN COUNTY HEALTH DEPARTMENT.

STORM WATER MANAGEMENT WILL BE DESIGNED PER CITY OF SPRINGBORO RULES AND REGULATIONS FOR THE DESIGN OF STORM SEWER AND STORM WATER MANAGEMENT SYSTEMS

NO CONSTRUCTION OF ANY KIND SHALL BE IN THE FLOODWAY.

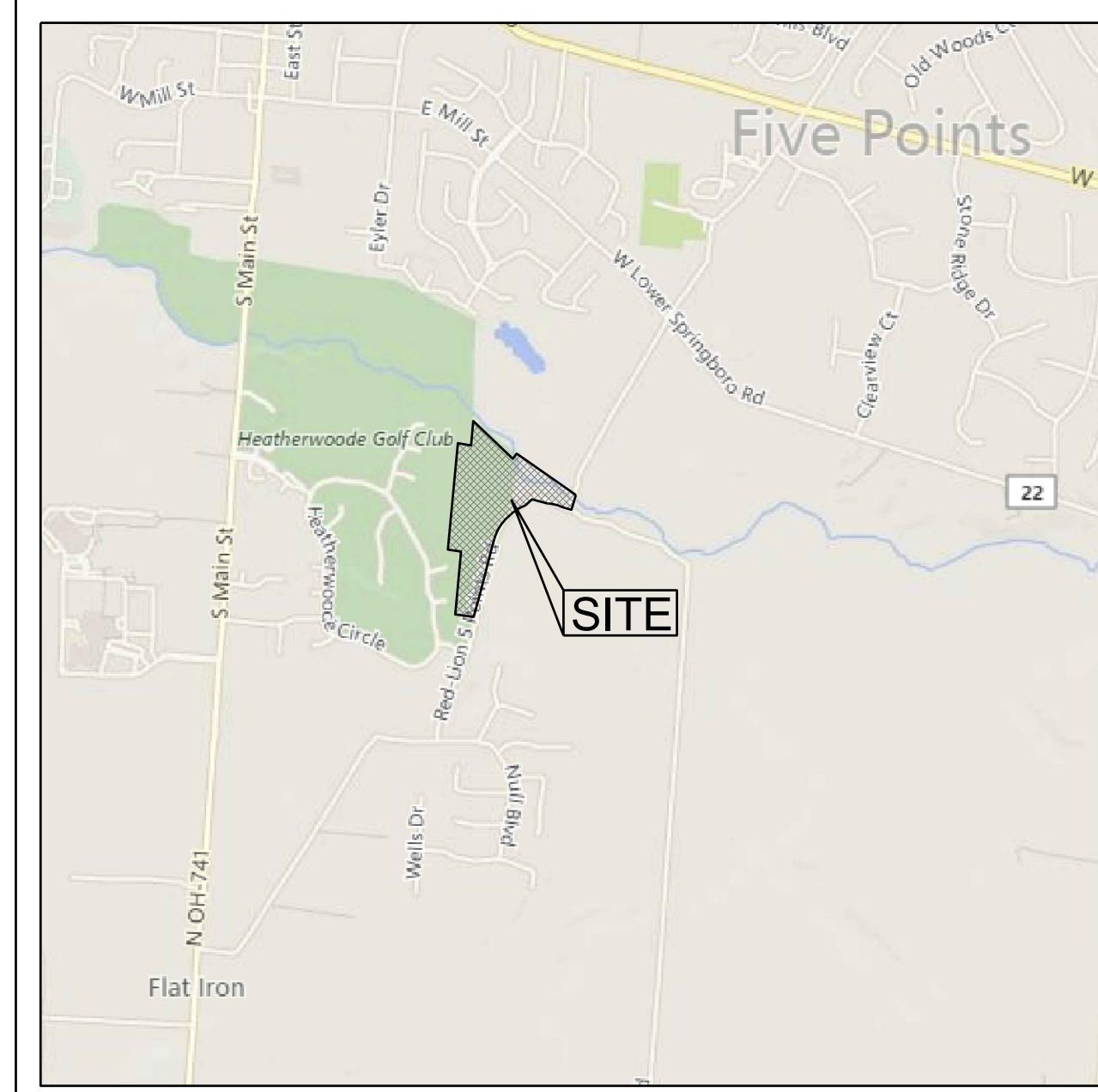
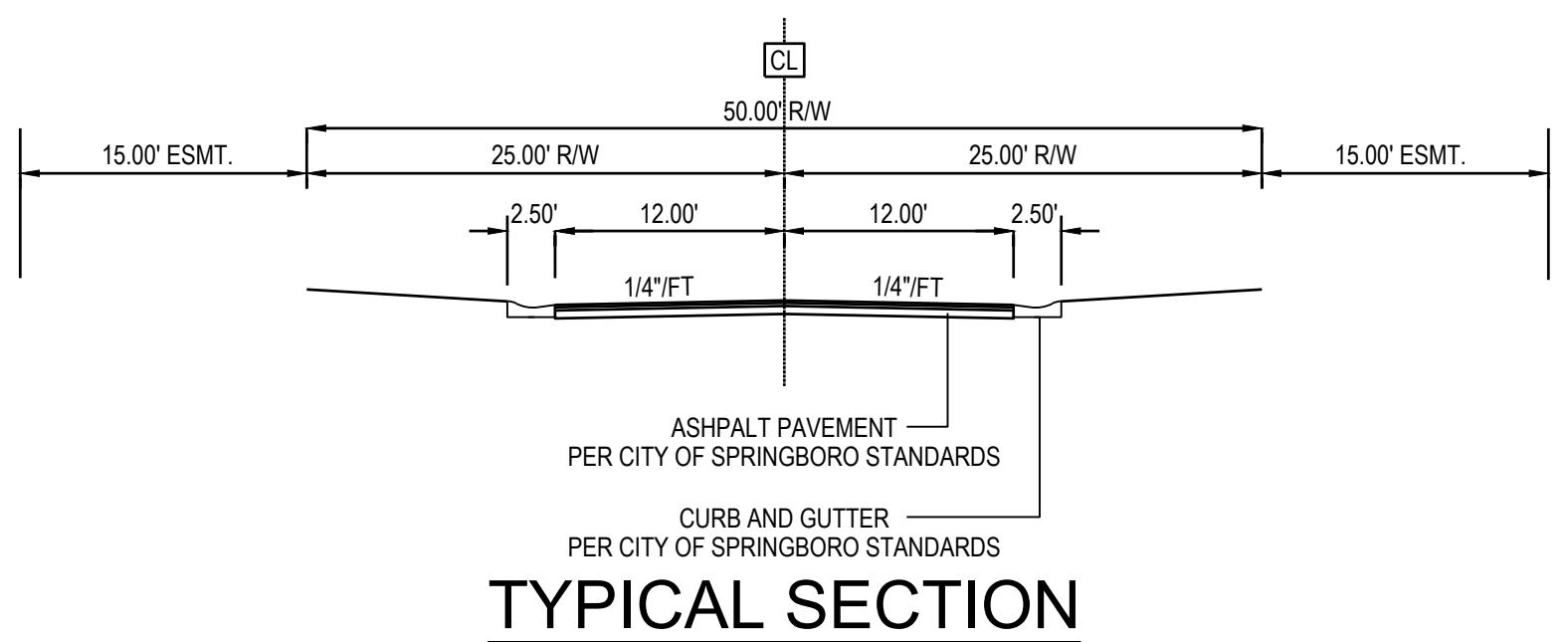
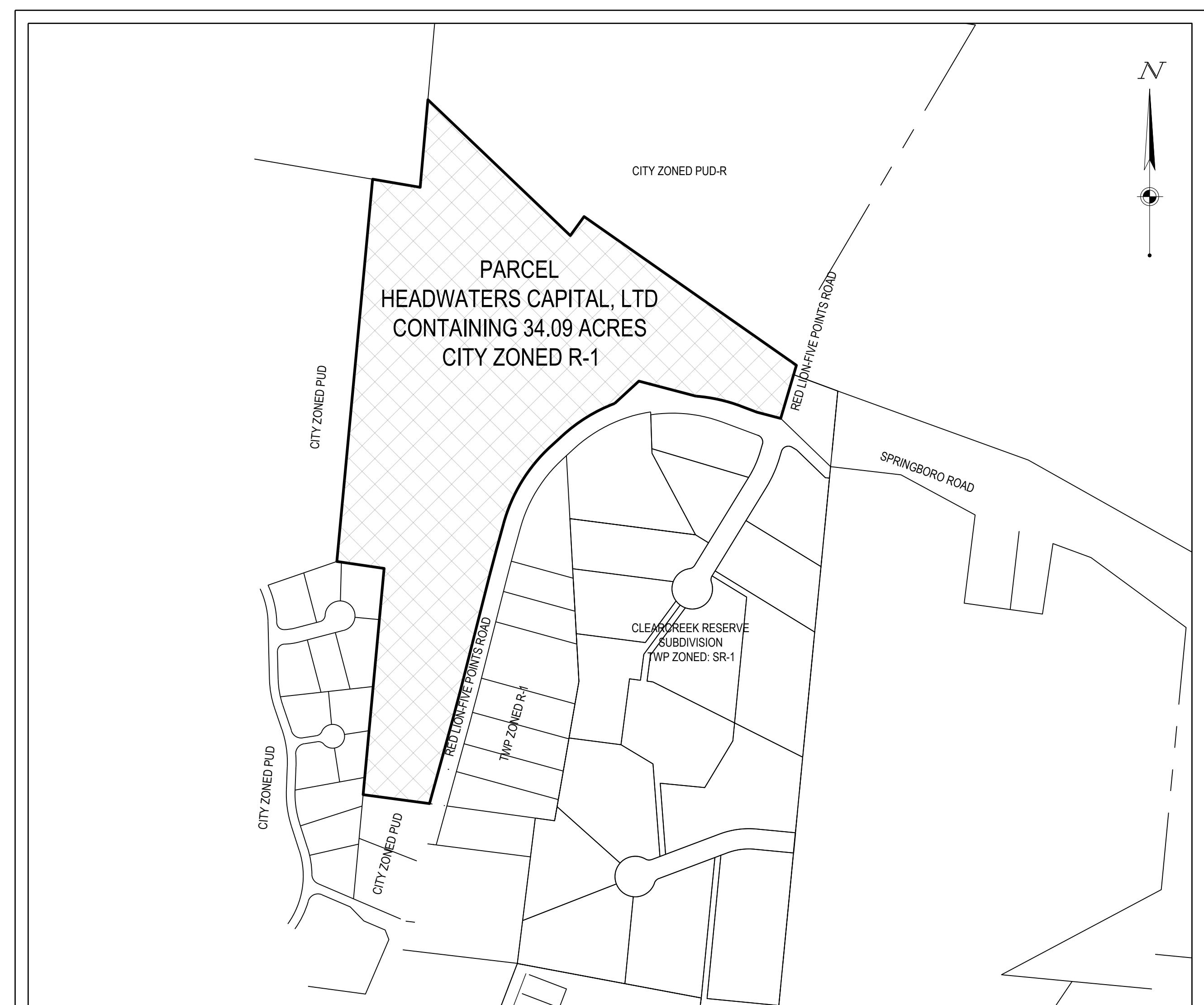
LOTS 4 - 11 SHALL ONLY HAVE DRIVEWAYS CONNECTING TO THE NEW CUL-DE-SAC ROADWAY. DIRECT ACCESS FOR THESE LOTS TO RED LION-FIVE POINTS ROAD IS NOT PERMITTED.

PHASE ONE: LOTS 1 - 3
PHASE TWO: LOTS 4 - 11

BENCHMARK

ARROW ON FIRE HYDRANT LOCATED ON THE NORTHWEST CORNER OF RED LION-FIVE POINTS ROAD AND SPRINGBORO ROAD.

ELEV = 765.70 (NAVD 88)



**CLEARCREEK
RESERVE WEST**

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

**EXISTING
CONDITIONS
PLAN**

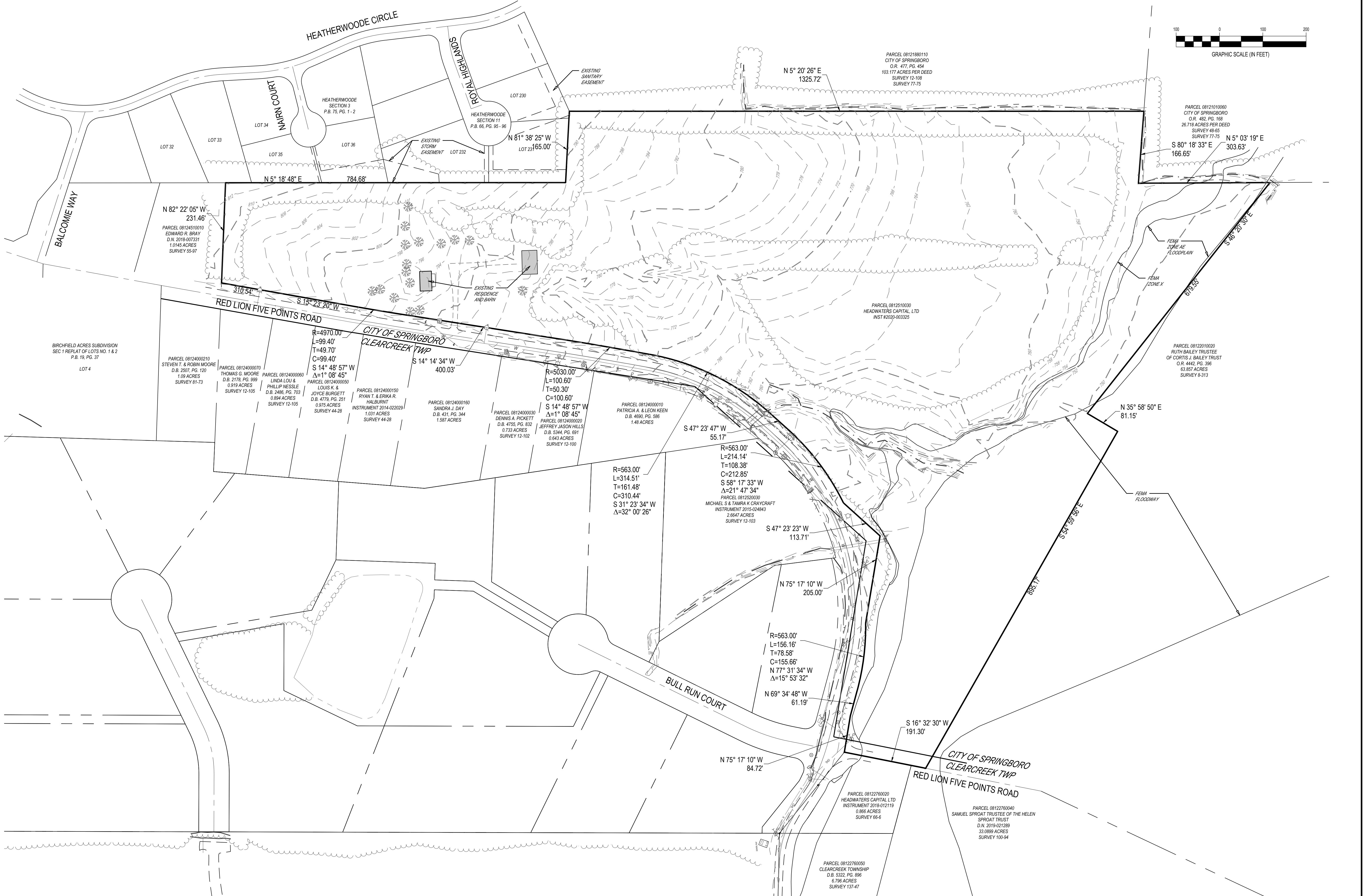
ISSUE:
PRELIMINARY
DATE:
07/10/20

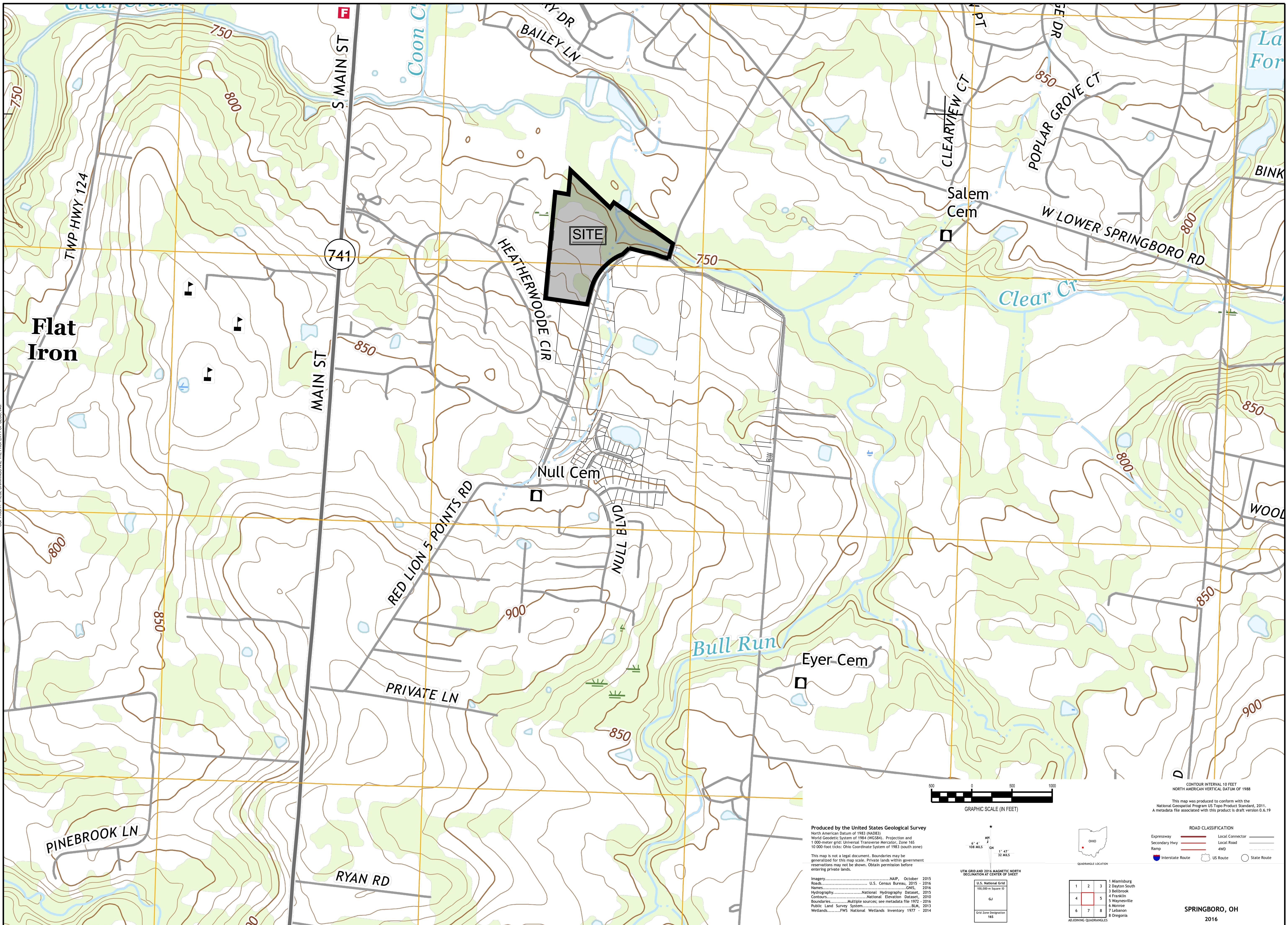
JOB NO.: 757158
DESIGN: CWS
DRAWN: CWS
CHECKED: JEE

SHEET NO.
2

REVISION DESCRIPTION

NO. DATE





Produced by the United States Geological Survey
North American Datum of 1983 (NAVD88)
World Geodetic System of 1984 (WGS84). Projection and
1:100,000-meter grid: Universal Transverse Mercator, Zone 16S
100,000-meter grid: StatePlane Ohio 1983 (NAD83 North zone)
This map is a topographic map. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery.....NAP, October 2015
Roads.....U.S. Census Bureau, 2015 - 2016
Boundaries.....National Hydrography Dataset, 2015
Contours.....National Elevation Dataset, 2010
Boundaries.....Multiple sources; see metadata file 0972 - 2016
Public Land Survey System.....BPL, 2013
Wetlands.....FWS National Wetlands Inventory 1977 - 2014

UTM GRID AND 2016 MAGNETIC NORTH
DECLINATION AT CENTER OF SHEET

U.S. National Grid
100,000-m Square ID
GJ

Grid Zone Designation
16S

ROAD CLASSIFICATION

Expressway	Local Connector
Secondary Hwy	Local Road
Ramp	4WD
Interstate Route	US Route
State Route	

QUADRANGLE LOCATION

SPRINGBORO, OH
2016

EXHIBIT FOR AGENDA ITEM D—COMBINED MEETINGS

Meeting Agenda
City of Springboro Planning Commission Meeting
Wednesday, January 29, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, May 27, 2020 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Appointment of Planning Commission Chair, Vice Chair for 2020
- III. Approval of Minutes
 - A. December 11, 2019 Planning Commission Meeting
- IV. Agenda Items
 - A. Final Approval, Record Plan, 775 West Central Avenue (SR 73), proposed McDonald's restaurant, dedication of right-of-way
 - B. Preliminary Review, Site Plan Review, 125 Commercial Way, warehouse facility for Woodhull USA, LLC
 - C. Preliminary Review, Planning & Zoning Code text amendment, recreational vehicle storage
- V. Guest Comments
- VI. Planning Commission and Staff Comments
- VII. Adjournment