

Memo

To: Members of Springboro Planning Commission, Elmer Dudas, Development Director, Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary

From: Dan Boron, Staff Liaison

Date: November 30, 2020

Re: Instructions for Wednesday, December 9, 2020 Planning Commission Work Session

The Wednesday, December 9, 2020 Planning Commission work session will be conducted remotely by teleconference using Zoom. The meeting will begin at 6:00 p.m., however the virtual meeting room will be available for you to join beginning at 5:45 p.m. Thursday night.

Meeting materials are included in this packet following these instructions. You may read at your leisure and let me know if you have any questions or comments.

Here is how things will work on Wednesday night:

- 1) Beginning at 5:45 p.m. log on to www.zoom.us. You do this by going to www.zoom.us. (If you have Chrome as an internet browser choice, use that as it seems to work best.)
- 2) Once you are on the Zoom website, click "Join a Meeting" at the top right hand corner, which will bring you to the "Meeting ID" prompt. Enter Meeting ID and click button provided below.
- 3) At this point, it may prompt you to download the Zoom app (if you haven't used Zoom on that laptop / computer before). Download the app and click the .exe file in the bottom left hand corner once it is downloaded.
- 4) Then it may say "Open Zoom". Click "Open Zoom."
- 5) Then it should ask you for a meeting password. Enter meeting password and click Join Meeting.
- 6) Make sure at some point you click the "Join with Video" button. The meeting host will then accept you into the meeting. This may take a few seconds, so don't worry if you aren't joined right away.
- 7) Once you see other members who have joined, click the "Join Audio" on bottom left hand corner of screen and then click "Computer Audio".
- 8) You should be ready to go!

Meeting deliberations will begin at 6:00 p.m. If you are encountering technical difficulties, please let me know by texting me at 937-952-9035, however we will proceed with the meeting with the members present at the regular time. The meeting will be recorded for both sound and video.

If you have any questions regarding the meeting free to reach out to me at 937-748-6183 or danb@cityofspringboro.com. After 5:00 p.m. on meeting night the best way to reach me will be by text or phone at 937-952-9035.

The City of Springboro is inviting you to a scheduled Zoom meeting.

Topic: Springboro Planning Commission Meeting

Time: Dec 9, 2020 05:45 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88086769939?pwd=RytTT1djV2U4dGVmdzE0V1VGbTZMUT09>

Meeting ID: 880 8676 9939

Passcode: 771519

One tap mobile

+16465588656,,88086769939#,,,,,0#,771519# US (New York)

+13017158592,,88086769939#,,,,,0#,771519# US (Washington D.C)

Dial by your location

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington D.C)

+1 312 626 6799 US (Chicago)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 880 8676 9939

Passcode: 771519

Find your local number: <https://us02web.zoom.us/u/kbazUvARRK>

Meeting Agenda
City of Springboro Planning Commission Meeting
Thursday, December 9, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Thursday, December 9, 2020 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Approval of Minutes
 - A. November 12, 2020 Planning Commission Meeting
- III. Agenda Items
 - A. Preliminary Review, Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Thursday, November 12, 2020

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. by video conference.

Present: Becky Iverson, Chair, Chris Pearson, Vice-Chair, Steve Harding, Mark Davis, Robert Dimmitt, Becky Hartle, and John Sillies.

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Lois Boytim, Acting Planning Commission Secretary.

II. Approval of Minutes

A. October 14, 2020 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes.

There were none.

Ms. Hartle motioned to approve the October 14, 2020 Planning Commission minutes as submitted. Mr. Pearson seconded the motion.

Vote: Hartle, yes; Harding, yes; Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes. (7-0)

III. Agenda Items

A. Final Approval, Record Plan (Stage 3), 6329 Red Lion-Five Points Road, Clearcreek Reserve West, Section One, residential subdivision

Background Information

This agenda item is a request for record plan (Stage 3) approval for the Clearcreek Reserve West residential subdivision, Section One, located at 6329 Red Lion-Five Points Road. The record plan contains approximately 5.1988 acres of land and three buildable lots. The preliminary plan (Stage 2) of the subdivision approval process was reviewed and approved at the July 29th Planning Commission meeting as an 11-unit, 34.1-acre subdivision on a parcel located east of the Heatherwoode Community, and the Section One record plan is consistent with the Stage 2 approval. The property is zone R-1, Low-Density Residential District, a zoning designation that permits the proposed development. The property is currently occupied by a single-family residence and barn.

Upon Planning Commission approval, it will proceed to City Council for final review and approval following action by the Planning Commission.

Staff Recommendation

City staff recommends APPROVAL of the record plan for Clearcreek Reserve West, Section One, subject to the following conditions:

1. Revise plan according to Warren County review comments, if any.
2. Revise the Conservation Easement language to meet City specifications as follows:

Conservation Easement:

The areas labeled on the record plan as Conservation Easement are non-exclusive and irrevocable easements hereby created for the benefit of the Declarant and the Homeowners Association for the continual and perpetual conservation of the trees and vegetation growing in said Conservation Easement areas. No improvements of any kind may be built or maintained by any lot owner in such easement areas. Trees and vegetation located in said easement shall be maintained in its natural state by all lot owners and the association, provided however that said lot owners and association may from time to time remove diseased or dead trees and vegetation or any trees or vegetation that become hazardous to persons or property. Trees can be removed during development activities if select removal is required to facilitate storm water drainage. In such cases, any trees removed, greater than 4" in caliper at shoulder height, shall be replaced with a new tree planted within the easement by the developer.

3. Remove the Planning Commission approval signature block.
4. Add "Record Plan" to the top of the title block and revise "Record Plat" to read "Record Plan".
5. Provide HOA documents for review. HOA documents must be recorded prior to the record plan being recorded.
6. Revise access easement to read "Public Access Easement".
7. Add note on title sheet stating all lots are subject to a publicly available drainage easement five (5) feet in width along all side yards and ten (10) feet along rear lot lines, except as otherwise indicated.
8. Add note stating all lots shall have an exterior light post with photoelectric cell to be maintained in working order at all times by the property owner.
9. Set a concrete monument (iron pin in concrete) at the southeast corner of lot 1.

Discussion:

Justin Elam, CESO, was in attendance to answer questions of Planning Commission. He stated that he does not have any questions about the staff comments, he will be able to accommodate all of them.

Ms., Iverson asked for any comments from staff.

Mr. Dudas commented that this is straight forward, the zoning is R-1 with three lots, no right of way dedication. All of the improvements are minor; some laterals to the homes which are private. He does not see any problem with Planning Commission approving the record plan tonight. The record plan will go on to Council once it is approved by Planning Commission.

Ms. Iverson asked for questions or comments from Planning Commission.

Mr. Harding asked about the language on the conservation easement. It states that deceased or dead trees and other trees for construction can be removed. He asked whether they could be asked to replace any trees that are removed in order to retain the buffer.

Mr. Dudas answered that that language can be added.

Ms. Iverson commented that maintaining the integrity is a good point.

Mr. Boron commented that there are landscape requirements for new subdivisions. This is different because the intent is to address the long maintenance of the barrier no matter the condition.

Mr. Dudas asked Planning Commission for approval with the condition that staff work out that comment as a condition.

Mr. Elam stated that he does not see a problem with that.

Mr. Pearson asked whether the comment needed to be changed.

Mr. Boron stated that he saw it as a clarification.

Ms. Iverson commented that there was a concern of having no trees at all. It was part of the negotiation and it is important to clarify it.

Ms. Iverson asked for a motion for Approval of the Record Plan (Stage 3), 6329 Red Lion-Five Points Road, Clearcreek Reserve West, Section One, residential subdivision, with the condition of staff comments being met and the staff work with the applicant to maintain the integrity of the planting of trees.

Mr. Harding motioned to approve. Mr. Pearson seconded the motion.

Vote: Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Hartle, yes; Harding, yes; (7-0)

B. Presentation & Preliminary Discussion

Planning & Zoning Code Text Amendment, Sign Code

City staff has contracted Compass Point Planning, Blue Ash, to assist in the development of a plan for the amendment of the sign code, Chapter 1281, of the Planning & Zoning Code. The firm's work will include (1) the completion of a sign code audit to identify elements of the sign code that need to be revised based on her experience on this topic, and (2) crafting revised text, in collaboration with City staff, for review and approval by the Planning Commission and City Council. We will also be including public involvement in the form of a survey to obtain the input of the community.

An ad-hoc committee consisting of the City Manager, City Attorney, Zoning Inspector, who administers the sign code, and City Planner are collaborating with Compass Point Planning on this project. We have invited Compass Point Planning to attend the November 12th meeting to discuss the project goals, schedule, and current status.

No action is requested on this agenda item at this time.

Discussion

Wendy Moeller of Compass Point Planning was in attendance to review the proposed sign code update with the Planning Commission.

Ms. Moeller reviewed the purpose of the sign code audit; complying with changes to federal case law and addressing ongoing issues with the administration of the current standards but not looking to substantially change the amount sign area or height of signs allowed. She reviewed the process of reviewing the existing ordinances including a sign code audit, online survey of businesses and sign users, draft sign code and adoption.

Ms. Moeller reviewed the Supreme Court case of *Reed v. Town of Gilbert, Arizona* and its impact on local sign regulation. The court opinion states that communities cannot regulate a sign based on the message, for example a real estate sign vs a construction sign.

Ms. Moeller discussed content neutrality and the distinction between commercial signs and non-commercial signs. She suggested being hands off with the non-commercial. She discussed eliminating use of on-premise versus off-premise signs.

Mr. Sillies asked about digital billboards and messages that may not be politically correct or could cause issues.

Ms. Moeller answered that technically the message cannot be regulated unless under the obscenity laws. The same applies to temporary signs. The City's focus will be on the size, type and location of the signs.

Ms. Moeller reviewed various recommendations; eliminating the requirement that each building or building unit can have only one wall sign, expanding the methods of calculating sign areas that will provide more flexibility, clarifying the rules for different sign types, incorporating provisions for drive-through signage and establishing a maximum ground sign area in Industrial Districts. She suggested the clarification of signage in the Commercial Districts; current sign code has rules for multiple frontages but not necessarily multiple tenants. She suggested allowing one small wall sign per dwelling in the Residential Districts. She suggested consolidating all of the temporary sign regulations into one section for ease of use.

Ms. Moeller reviewed the sign district map and commented that it does not overlay the zoning district map directly. She will work with staff to determine the future of this map or whether it will tie in to the zoning map.

Ms. Moeller discussed the incorporation of art and murals within the City.

Ms. Moeller commented that the sign code will incorporate more pictures and graphics to illustrate and clarify the meaning of the sign code.

Mr. Boron commented that he and Chris Pozzuto, City Manager, Dan Fitzpatrick, Zoning Inspector and Jerry McDonald, City Law Director met with Ms. Moeller to review the sign code. The audit captured the need for flexibility for the development community and businesses. Content neutrality is the foundation of the needed amendments. This is the first major change to the sign code which in its current form dates back to 1996. In 2015, the Sign Code was moved from the Taxation Code Section of the codified ordinances to Chapter 12, Planning and Zoning Code.

Ms. Iverson asked about the next steps in the process.

Mr. Boron answered that Ms. Moeller and staff are preparing a survey for the business community to weigh in. Staff routinely requests input from business owners about signs, especially in the Historic District; on compatibility with the building design, location on the building, means of attachment, construction technique, and color along with design. Staff will then prepare a full revision for Planning Commission review in the new year.

Mr. Pearson asked whether the survey would be available for more than just businesses.

Mr. Boron answered that it would, but is mostly focused on the development community, business and property owners.

Mr. Pearson asked whether the new codes would mitigate the issues of multi tenants and signage.

Mr. Boron answered that yes, it would. But without allowing an unlimited amount of signage. The intent is to refine the code to allow the building owner to distribute the signage so long as they keep to the maximum message area.

Ms. Moeller commented that the intent is to make the code easier to understand and simplified. There is a cap on the amount of signage; is it a big deal if it is one sign or spread out.

Ms. Moeller commented that the survey is designed so that it can be answered by residents, property and business owners or sign users or companies. One question will ask the respondents to describe their role in Springboro; resident or business owner. Residents will skip over the questions that tie to businesses; she tends to get a big response to questions that deal with the kinds of signs such as LED signs.

Mr. Boron commented that staff is looking for input about multiple signs on a facade is due to a fairness question. Staff is looking for flexibility that takes into account multiple tenant buildings and large buildings. The current code favors single tenant buildings. This cap calculation is the number one issue for staff along with temporary signs in the right of way.

Ms. Moeller commented that no matter how well a sign code is written there will be an enforcement issue. It comes down to consistent enforcement.

Mr. Pearson noticed that in the Historic District there are houses that are also businesses and asked that those businesses can have a sign as opposed to a placard and whether that was handled by the zoning. He asked about houses that have an LED or neon sign in the window and how those are dealt with in the current sign code.

Mr. Harding asked whether some of them were OPEN signs and not technically signs.

Ms. Moeller answered that they are signs and commented that most communities look at them as part of the allowed signage. This is an area where the sign code can reflect the regulations that the Planning Commission wants such as the types of signs.

Ms. Hartle was excused for the remainder of the meeting.

Ms. Moeller commented that she has just completed sign regulations for another City with very strong preservation rules in their downtown. There was a lot of discussion about signs that were allowed in upper floors versus the first floor and sidewalk signs. She commented that her role will be to bring up signs that the Planning Commission may not address that other communities are running into.

Mr. Harding asked about COVID directional signs.

Ms. Moeller commented that many communities have passed temporary ordinances that have suspended enforcement of temporary sign regulations in response to states of emergency.

Ms. Iverson asked Mr. Boron whether there was anything else the Planning Commission needed to discuss. The Commission has good questions and information about the next steps.

Mr. Boron answered that Ms. Moeller will be returning later in the process and that Planning Commission and the community would be invited to participate in the audit that will be run through the City webpage. More details will be provided at the December 9th meeting.

Ms. Iverson thanked Ms. Moeller for her time.

IV. Guest Comments

There were no guest comments.

V. Planning Commission and Staff Comments

Mr. Boron presented the Planning Commission calendar for 2021. Meetings will be held monthly on the second Wednesday of each month.

Mr. Boron noted that the survey for the City Master Plan is available on the City website. A Public Meeting is being held November 18th at 6:30 pm at Heatherwoode. At this time there have been 322 responses to the survey.

Mr. Boron commented that the next Planning Commission meeting would be December 9th.

Adjournment

Mr. Pearson motioned to adjourn the November 12, 2020 Planning Commission Regular Meeting at 6:58 p.m. Mr. Davis seconded the motion.

Vote: Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Davis, yes. (6-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Lois Boytim, Acting Planning Commission
Secretary

DRAFT

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting—Conducted by Conference Call (Zoom)
Wednesday, December 9, 2020, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio House Bill 197, passed in March 2020 in response to the COVID-19 state of emergency, Section 12(A), the Springboro Planning Commission will conduct its Wednesday, December 9, 2020 work session via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

III. Agenda Items

A. Preliminary Review

Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building

Background Information

This agenda item is a request for final development plan approval for an undeveloped site located at the southern terminus of Advanced Drive in the Stoltz Industrial Park. The application was filed by Cincinnati Commercial Contracting, property owner and developer.

Note: portions of the building program for this agenda item are exact to a final development plan reviewed and approved by the Planning Commission at the Jul 27, 2020 meeting. That building, located at 105 Advanced Drive on the northern portion of the Stoltz Industrial Park, is under construction at this time.

The applicant is proposing to construct a one-story, 10,000-square foot flexible space commercial building for a future user. As with the 105 Advanced Drive property reviewed earlier this year, the plan for the site provides for a 10,000-square foot addition at a future date. No address has been assigned for the property at this point in time; addresses are typically not assigned by the Engineering Department until further into the site development process.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park are occupied by the following businesses: Advanced Engineering to the northeast at 240-250 Advanced Drive, Coruexx, LLC, to the west at 245 Advanced Drive, and A-1 Mechanical to the northwest at 235 Advanced Drive. Immediately to the south is the City of Springboro's Clearcreek Park.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stoltz Industrial Park. That zoning designation permits the use of the property for office and light industrial development. Clearcreek Park to the south is zoned R-1, Estate-Type Rural Residence District.

Following this preliminary review, formal approval may occur as soon as the January 13, 2021 Planning Commission meeting. No City Council action is required on this agenda item.

Staff Comments

City staff identified the following comments for this agenda item::

1. Provide a color rendition of the proposed building elevations for large-sheet format drawings.
2. Provide elevations for proposed dumpster screening.
3. When an end user is identified for the use, a Certificate of Zoning Compliance will be needed from the Zoning Inspector.
4. Indicate expected building population at maximum shift for the determination of off-street parking requirements.
5. Following preliminary review, provide landscaping plan in compliance with Chapter 1280 of the Planning & Zoning Code. As part of that review mark all trees to be retained 4 inches DBH for credit against landscaping requirements.
6. Following preliminary review, provide lighting plan in compliance with Chapter 1273 of the Planning & Zoning Code including photometric analysis of site and building lighting with intensity shown in foot-candles, color-temperature, maximum to minimum and average to minimum ratios, and specifications for proposed lighting among other details.
7. Provide detention calculations.
8. Direct connection of sewer lateral to lift station is not permitted. Connect to existing 8-inch sewer main. Provide details accordingly.
9. Show the existing 12-inch water main and 4-inch sewer force main along the west property line.
10. Roof down spouts shall be detained in the detention basin.
11. Provide water lateral curb box near back of existing curb.
12. Dimension from west lot line to drive aisle.
13. Provide curb and pavement repair details at water tap.
14. Existing curb and gutter shall be replaced with depressed curb and gutter at curb cut.
15. Remove drive apron radius and replace with flared apron.
16. Provide storm sewer design information.
17. Is there curbing in the parking lot?
18. Are there any catch basins in the parking lot?
19. Add note on title sheet stating all lots are subject to a publicly available drainage easement five (5) feet in width along all side yards and ten (10) feet along rear lot lines, except as otherwise indicated.
20. Add note stating all lots shall have an exterior light post with photoelectric cell to be maintained in working order at all times by the property owner.
21. Set a concrete monument (iron pin in concrete) at the southeast corner of lot 1.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, November 30, 2020 at 5:00 p.m.

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

 REZONING/GENERAL PLAN FINAL DEVELOPMENT PLAN RECORD PLAN VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** CHRISTIAN STONE
 Agent
 Lessee **Address:** 4779 RED BANK EXPRESSWAY
 Signed Purchase
Contract **Address:** CINCINNATI, OH 45227

Telephone No. (513) 561-6633 X107

Fax No. (513) 561-3554

Email Address CSTONE@CINCIGROUP.COM

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

Telephone No. (_____) _____

Property Address or General Location: SOUTHERN TERMINUS, ADVANCED DRIVE

Parcel Number(s): 04191270090 Acreage: 16.0258 ACRES

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density _____ Number of Residential Units _____

Proposed Use: SPECULATIVE USE (DISTRIBUTION/LIGHT MANUFACTURING/ASSEMBLY)

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Christian Stone
(Signature of Applicant and/or Agent)

11/20/2020
(Date)

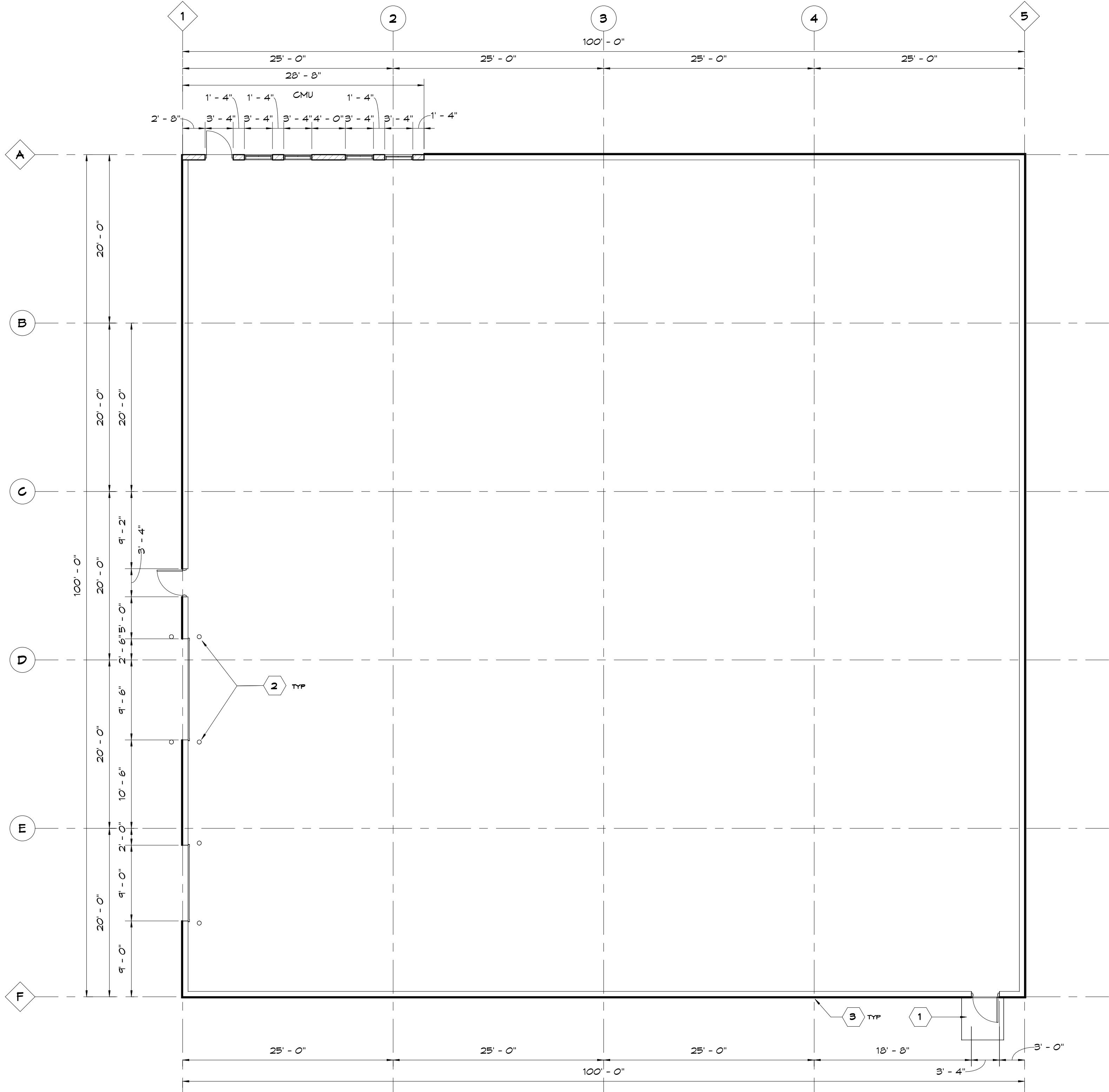
CHRISTIAN STONE
Printed Name



PERSPECTIVE

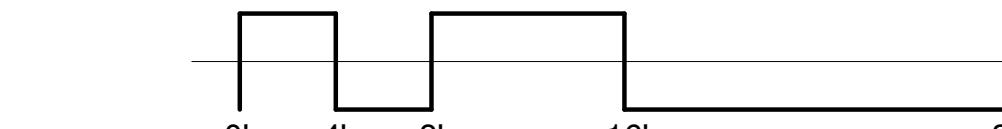
SCALE: 12" = 1'-0"

2
A1.1



NORTH
1
FIRST FLOOR

SCALE: 1/8" = 1'-0"



KEYNOTES

1. 5' X 5' X 4' CONCRETE STOOP
2. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS SHEET A3.1.
3. PRE-FINISHED METAL DOWNSPOUT, COORD. W/PEMB DRAWINGS

**Proposed Building For Lot 2:
10,000 s.f. Speculative Building**

**Advanced Drive
Springboro, Ohio 45066**

Drawn By: WNS Checked By: WNS

Preliminary
Not For
Construction

Date: 11.18.20 Job No: 20.118
A1.1

**Proposed Building For Lot 2:
10,000 s.f. Speculative Building**
Advanced Drive
Springboro, Ohio 45066

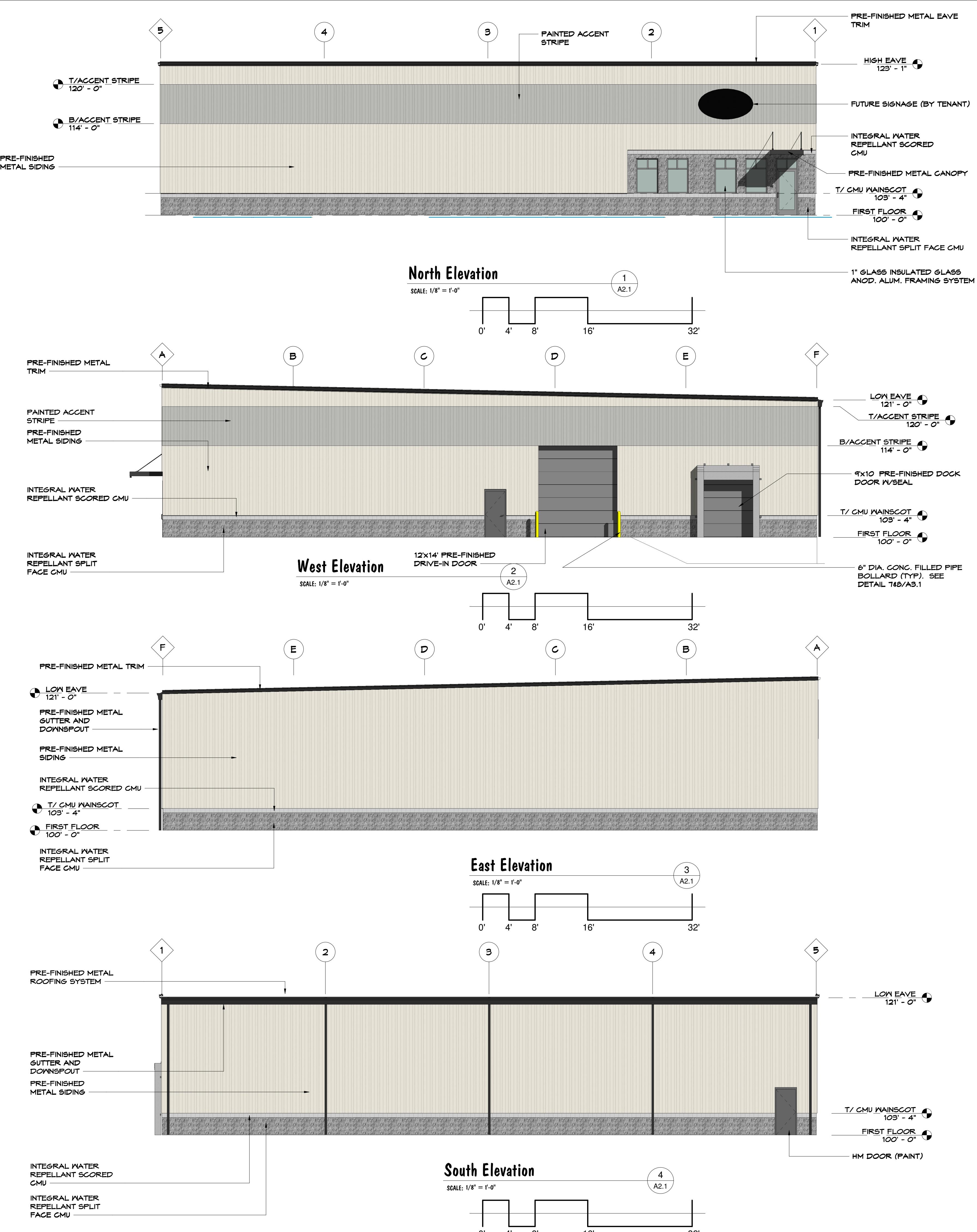
REV. DATE CK'D

Drawn By: WNS Checked By: WNS

Preliminary
Not For
Construction

Date: 11.18.20 Job No: 20.118

A2.1



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL COVER ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://WWW.AGRI.OHIO.GOV/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITework IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPAKED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.



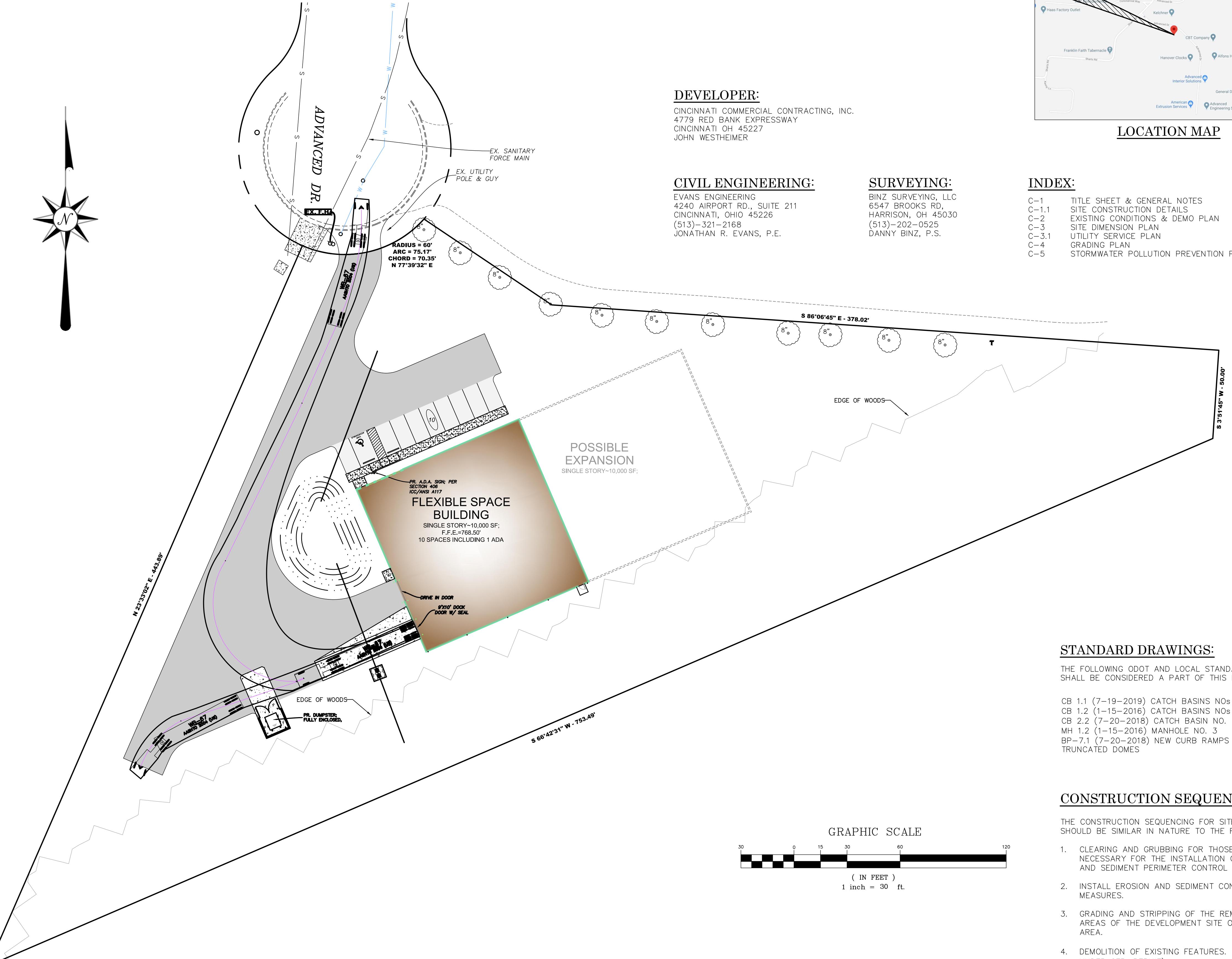
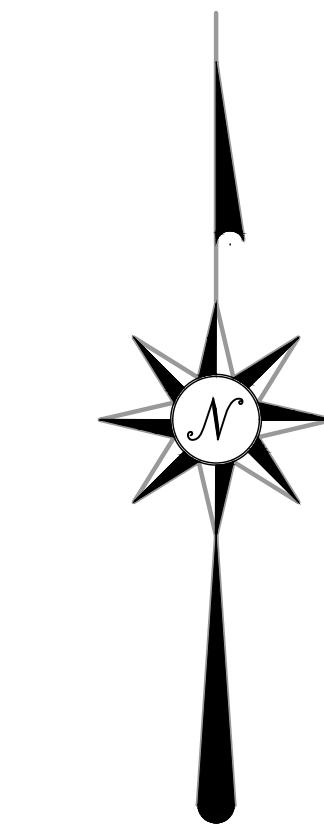
PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

COMMERCIAL BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO

NOVEMBER, 2020

PROPOSED SITE



DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

CIVIL ENGINEERING:

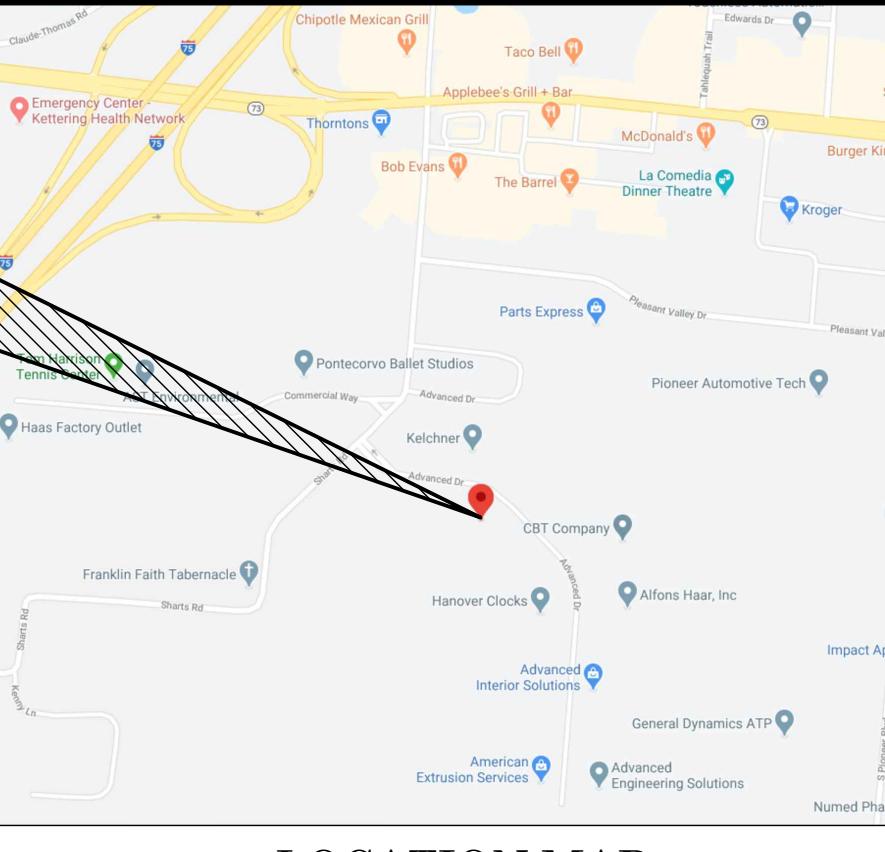
EVANS ENGINEERING
4240 AIRPORT RD, SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD.
HARRISON, OH 45030
(513)-321-2168
DANNY BINZ, P.S.

INDEX:

INDEX	NO. & DESCRIPTION
C-1	TITLE SHEET & GENERAL NOTES
C-1.1	SITE CONSTRUCTION DETAILS
C-2	EXISTING CONDITIONS & DEMO PLAN
C-3	SITE DIMENSION PLAN
C-3.1	UTILITY SERVICE PLAN
C-4	GRADING PLAN
C-5	STORMWATER POLLUTION PREVENTION PLAN



LOCATION MAP

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
(513) 321-2168



COMMERCIAL BUILDING
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

STANDARD DRAWINGS:
THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
MH 1.2 (1-15-2016) MANHOLE NO. 3
BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

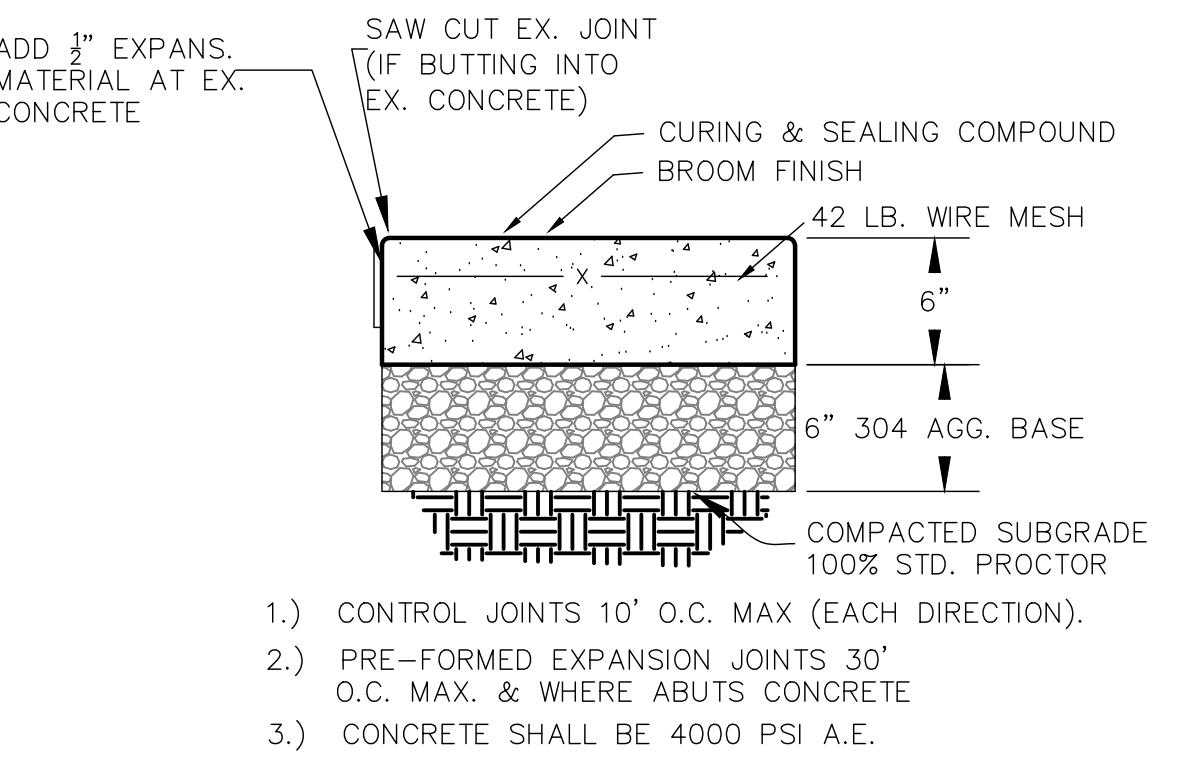
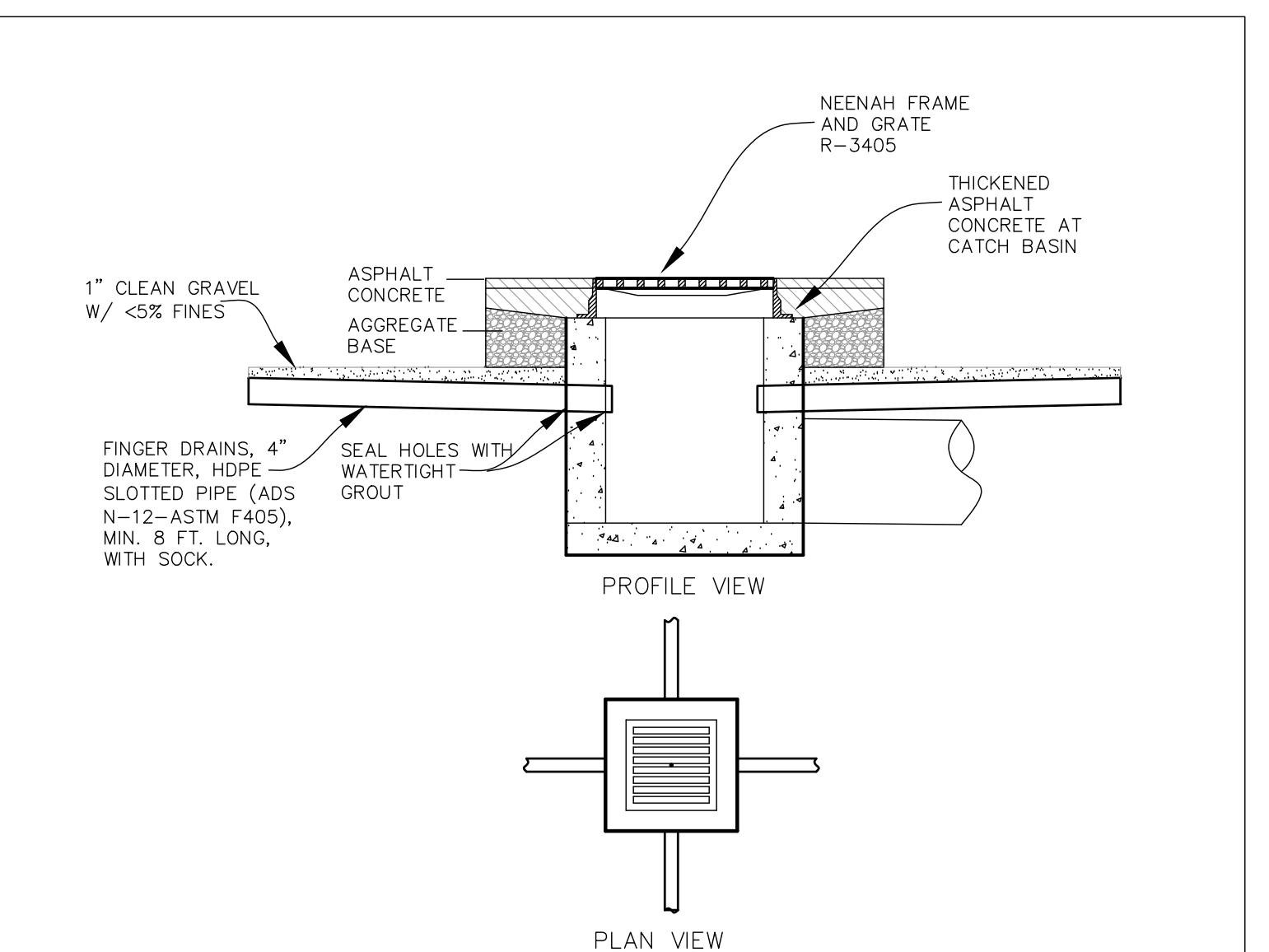
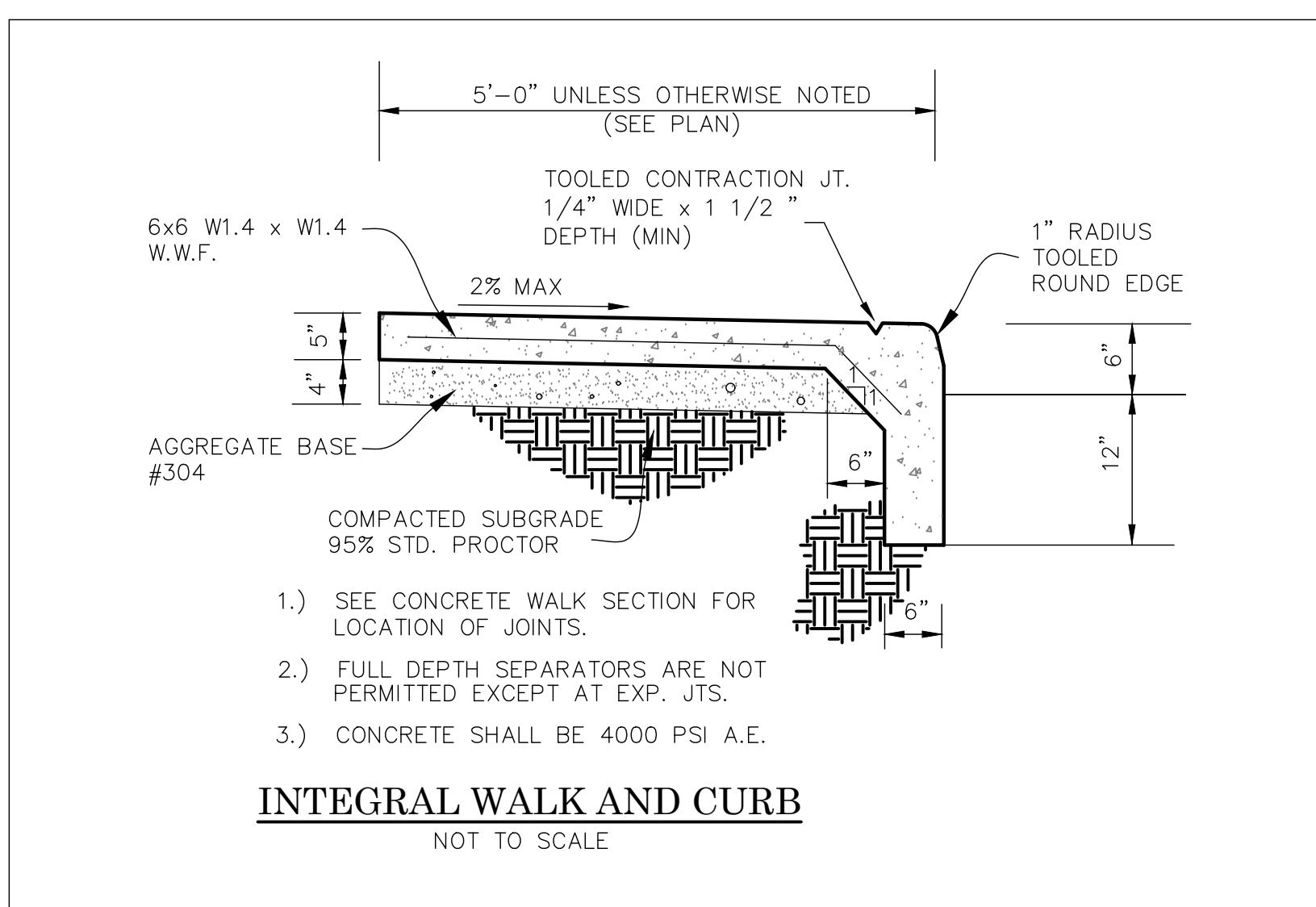
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

SHEET NO.
C-1

SCALE: HORIZ. VERT.
1"=30' N/A

JOB NO. 20-140

DATE Nov. 19, 2020



REVISIONS	
DATE	BY NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



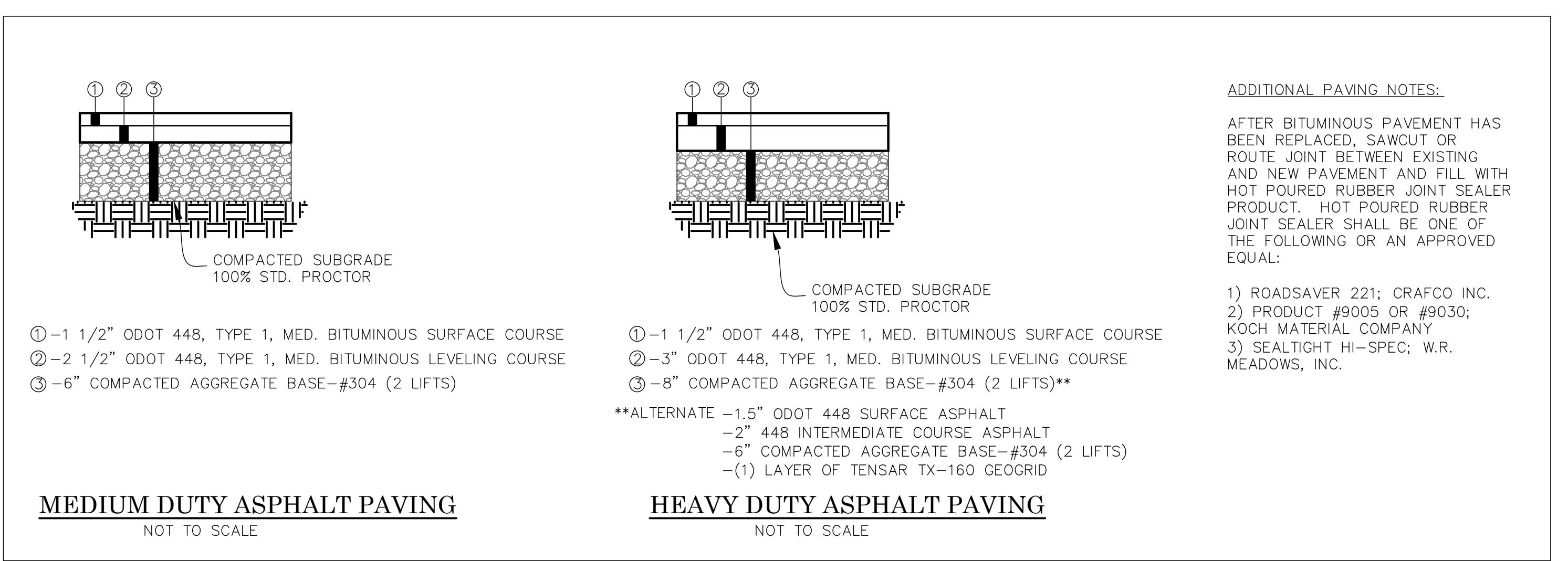
SITE CONSTRUCTION DETAILS

COMMERCIAL BUILDING

ADVANCED DR.,

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

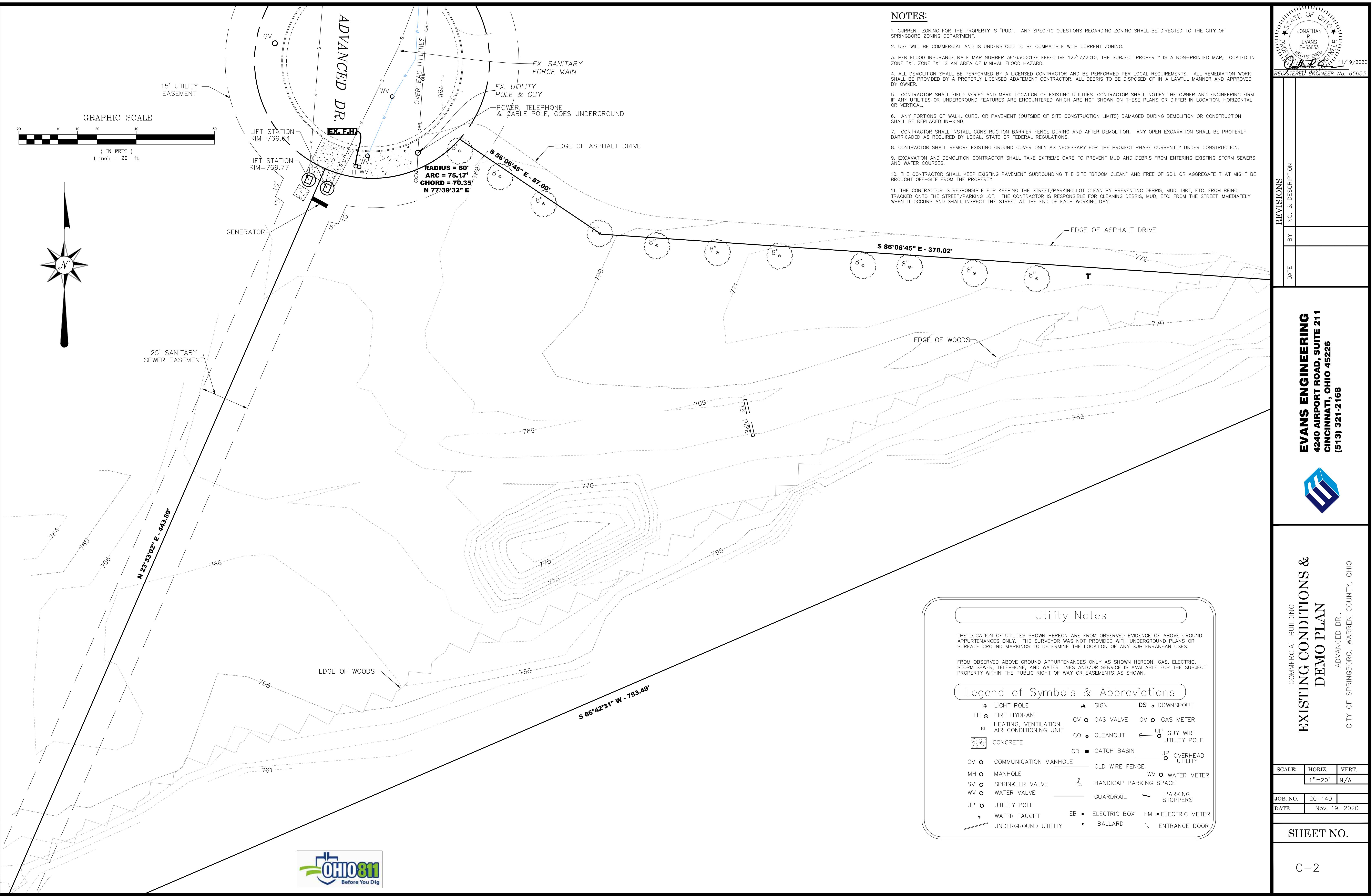


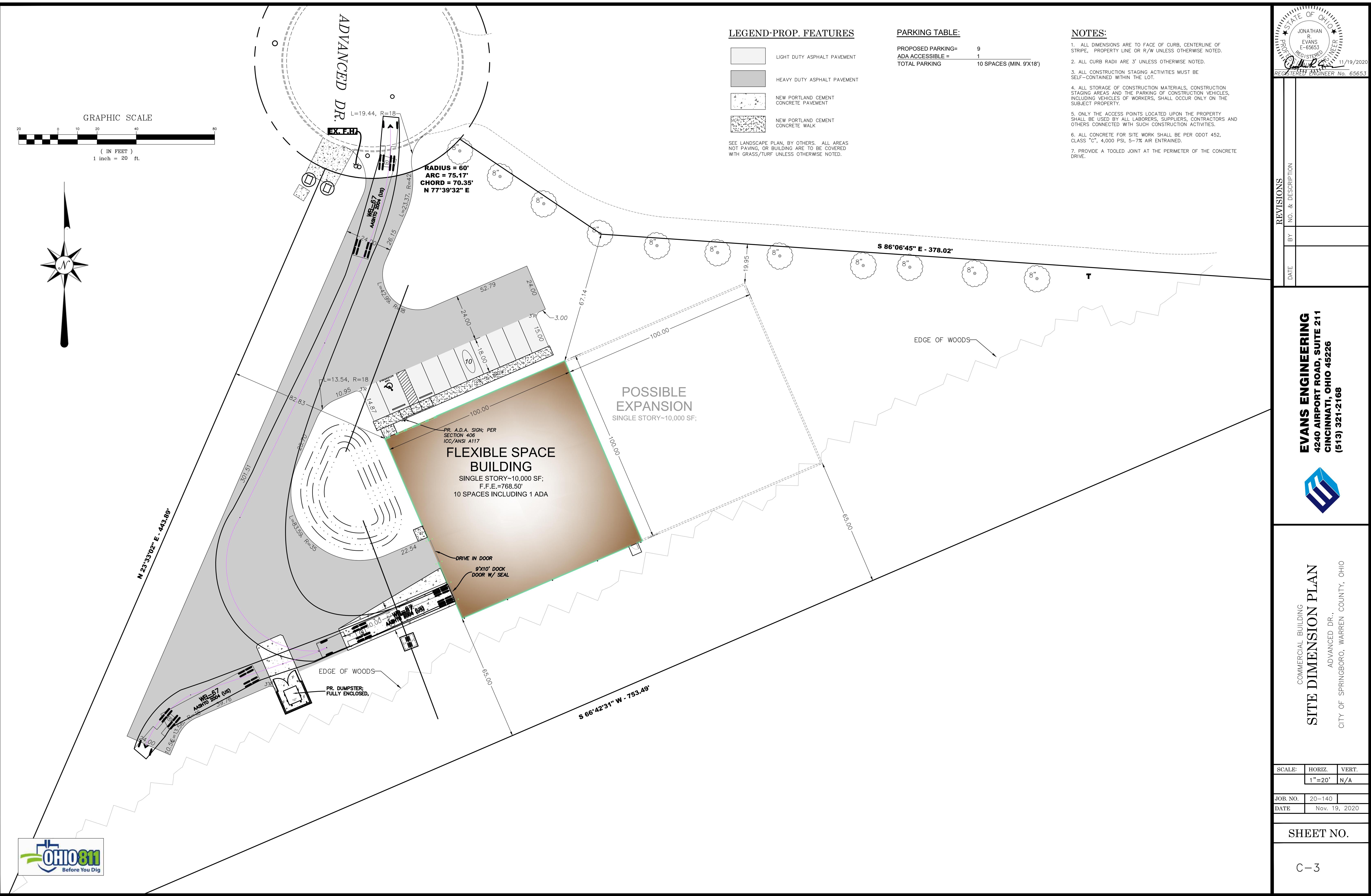
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N/A N/A

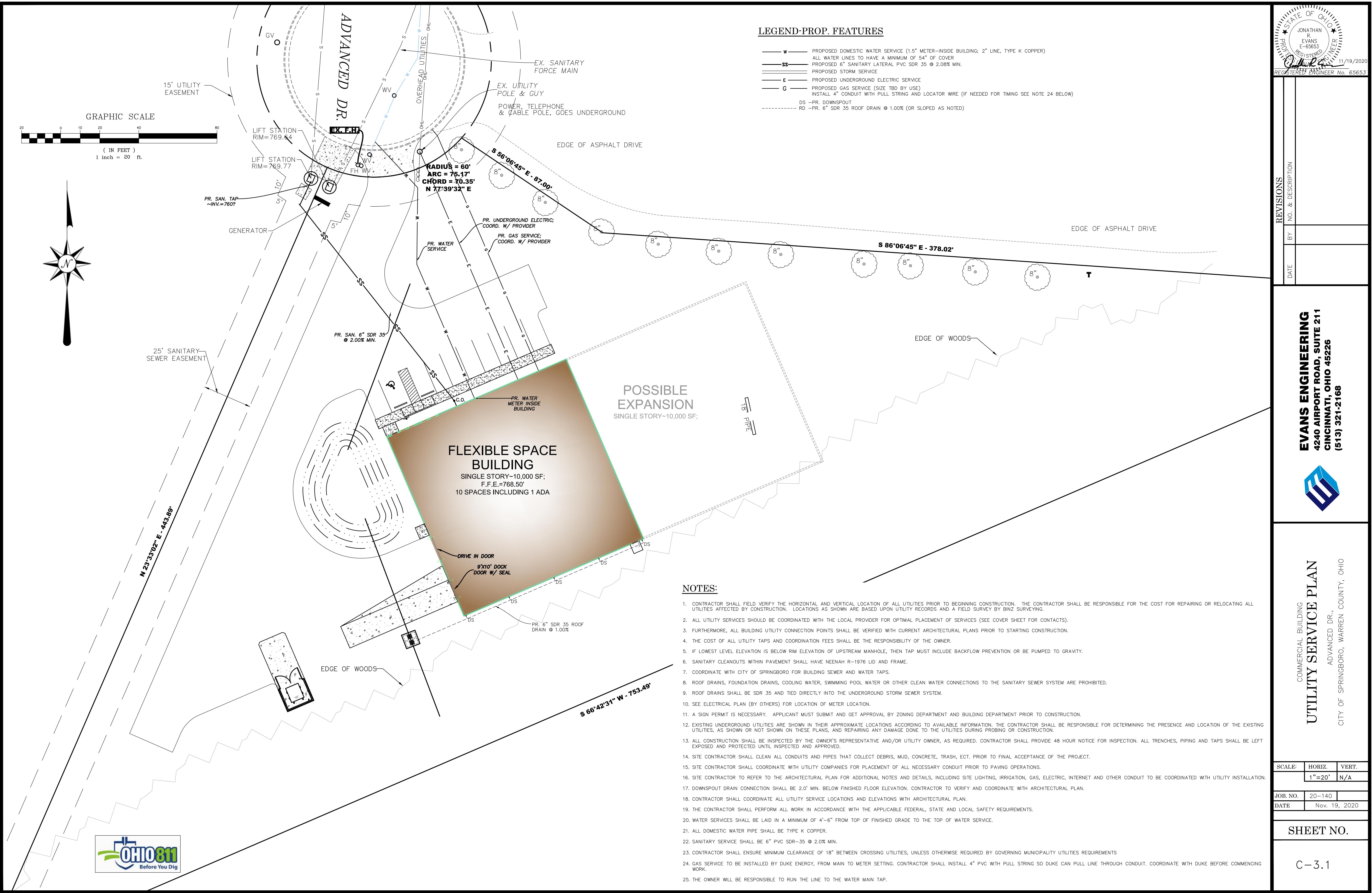
JOB NO. 20-140
DATE Nov. 19, 2020

SHEET NO.

C-1.1



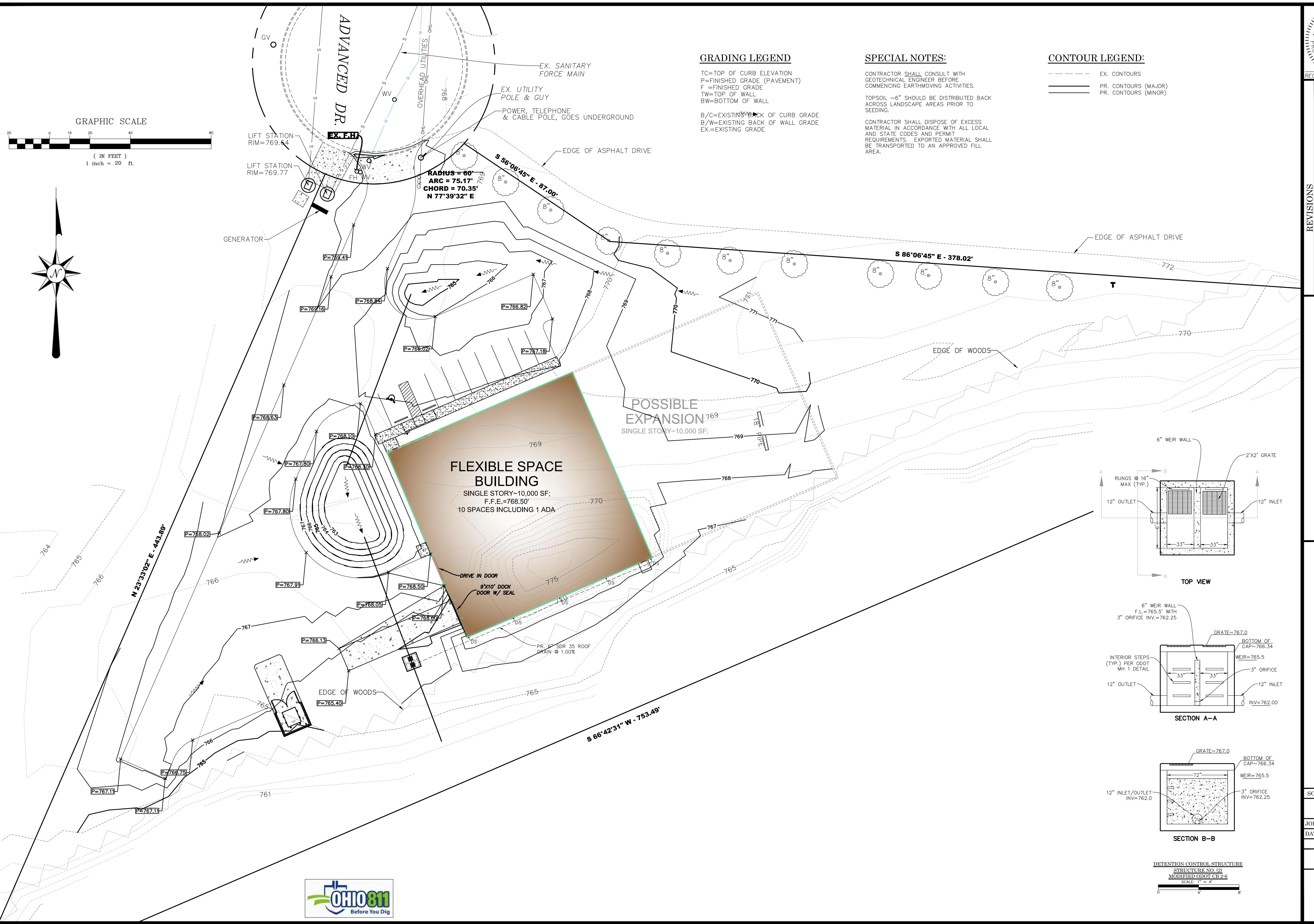






COMMERCIAL BUILDING
GRADING PLAN

ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO



SHEET NO.

C-4

EROSION AND SEDIMENT CONTROL NOTES:

PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. REQUIRED PRE-CONSTRUCTION MEETING
- B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
- C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
- D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
- E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR CONTRACTOR IS RESPONSIBLE FOR PULVERIZING OR REMOVING ALL SAFETY REQUIREMENTS WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES. THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS onto PUBLIC ROADS. ALL MATERIALS DEPOSITED onto PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

SEDIMENT TRAPS AND BASINS:

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDGY AREAS OR CLEANED BEFORE LEAVING SITE.

SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

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18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

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27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

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29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

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TEMPORARY AND PERMANENT SEEDING:

1.1 SEEDED PREPARATION:

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOIL TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

1.2 SEEDING:

1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING AND SUMMER	1. OATS 2. PEREN. RYEGRASS 3. TALL FESCUE	3 LBS 1 LBS 1 LBS
FALL	1. PEREN. RYEGRASS 2. RYE 3. WHEAT 4. TALL FESCUE	0.25 LBS 0.50 LBS 0.50 LBS 1 LBS

2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE 0.5 LBS DOMESTIC RYEGRASS 0.25 LBS KENTUCKY BLUEGRASS 0.25 LBS 2. TALL FESCUE 1 LBS 3. DWARF FESCUE 1 LBS	0.25 LBS 0.50 LBS 0.50 LBS 1 LBS
2-1 SEEDING FOR STEEP BANKS OR CUTS	1. TALL FESCUE 2. CROWNFETCH 3.	

