

Memo

To: Members of Springboro Planning Commission, Elmer Dudas, Development Director, Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary

From: Dan Boron, Staff Liaison

Date: March 1, 2021

Re: Instructions for Wednesday, March 10, 2021 Planning Commission Work Session

The Wednesday, February 10, 2021 Planning Commission work session will be conducted remotely by teleconference using Zoom. The meeting will begin at 6:00 p.m., however the virtual meeting room will be available for you to join beginning at 5:45 p.m. Wednesday night.

Meeting materials are included in this packet following these instructions. You may read at your leisure and let me know if you have any questions or comments.

Here is how things will work on Wednesday night:

- 1) Beginning at 5:45 p.m. log on to www.zoom.us. You do this by going to www.zoom.us. (If you have Chrome as an internet browser choice, use that as it seems to work best.)
- 2) Once you are on the Zoom website, click "Join a Meeting" at the top right hand corner, which will bring you to the "Meeting ID" prompt. Enter Meeting ID and click button provided below.
- 3) At this point, it may prompt you to download the Zoom app (if you haven't used Zoom on that laptop / computer before). Download the app and click the .exe file in the bottom left hand corner once it is downloaded.
- 4) Then it may say "Open Zoom". Click "Open Zoom."
- 5) Then it should ask you for a meeting password. Enter meeting password and click Join Meeting.
- 6) Make sure at some point you click the "Join with Video" button. The meeting host will then accept you into the meeting. This may take a few seconds, so don't worry if you aren't joined right away.
- 7) Once you see other members who have joined, click the "Join Audio" on bottom left hand corner of screen and then click "Computer Audio".
- 8) You should be ready to go!

Meeting deliberations will begin at 6:00 p.m. If you are encountering technical difficulties, please let me know by texting me at **937-952-9035**, however we will proceed with the meeting with the members present at the regular time. The meeting will be recorded for both sound and video.

If you have any questions regarding the meeting free to reach out to me at 937-748-6183 or danb@cityofspringboro.com. After 5:00 p.m. on meeting night the best way to reach me will be by text or phone at 937-952-9035.

City of Springboro is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission Meeting

Time: Mar 10, 2021 05:45 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84278618836?pwd=T2NtSWdadVpmSlhFNmJ0akJlQnhNZz09>

Meeting ID: **842 7861 8836**

Passcode: **876635**

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Meeting ID: **842 7861 8836**

Passcode: **876635**

Find your local number: <https://us02web.zoom.us/j/kbnNuxa3iC>

Agenda
City of Springboro Planning Commission Meeting
Wednesday, March 10, 2021, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio Substitute House Bill 404 made effective November 22, 2020 in response to the COVID-19 state of emergency (Sec. 12), Section 12(A), the Springboro Planning Commission will conduct its Wednesday, February 10, 2021 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6,1> for a link to connect to the meeting.

- I. Call to Order
- II. Approval of Minutes
 - A. February 10, 2021 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Planning & Zoning Code Text Amendment, sign code
 - B. Preliminary Review, Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development
 - C. Preliminary Review, General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, February 10, 2021

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. by video conference.

Present: Becky Iverson, Chair, Chris Pearson, Vice-Chair, Mark Davis, Robert Dimmitt, Steve Harding, Mike Thompson, and John Sillies.

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer, Dan Fitzpatrick, Building/Zoning Inspector, Jerry McDonald, City Attorney and Ann Burns, Planning Commission Secretary.

Also present were Aaron Blue, Onyx Creative, and Wendy Moeller with Compass Point Planning.

II. Approval of Minutes

A. January 12, 2021 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes.

There were none.

Mr. Harding motioned to approve the January 12, 2021 Planning Commission minutes as submitted. Mr. Pearson seconded the motion.

Vote: Harding, yes; Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (7-0)

III. Agenda Items

A. Final Approval - Site Plan Review, 505 West Central Avenue (SR 73), Tractor Supply Company, greenhouse addition

Background Information

This agenda item is a request for site plan review approval for the addition of a 4,200-square foot greenhouse to the Tractor Supply Company's retail store located at 505 West Central Avenue (SR 73). The application was filed by Onyx Creative, architects, on behalf of the property owner.

The applicant is proposing to construct a 35-foot by 120-foot greenhouse enclosure on the east side of the existing 20,800-square foot Tractor Supply building. The greenhouse is proposed to be located within a fenced outdoor sales area on existing pavement.

The greenhouse project is part of a larger plan for improvements to the interior of the building that are not subject to Planning Commission review.

The subject property is zoned HBD, Highway Business District, a zoning category that permits the proposed structure on the site. The subject property has frontage on West Central Avenue with access provided by the signal located at the intersection of West Central Avenue and Clearcreek-Franklin Road. Though interconnected private drives the property is also accessible from South Pioneer Drive.

Adjacent land uses include farmland to the east; to the south industrial (Sunnex) and a regional detention pond; retail (LCNB, Papa John's, and Four Seasons Car Wash) and public (Springboro Post Office) to the west; office (Remax) to the northwest; and undeveloped to the northeast. Existing zoning for the vicinity of the site is O, Office to the east and northeast; HBD to the west and northwest; and ED, Employment Center District to the south.

Given that this request represents a relatively minor change to the site, no net increase in the volume of impermeable surface, City staff recommends final approval of the site plan subject to complying with staff comments. No City Council action is required on this agenda item.

Staff Recommendation

City staff recommends APPROVAL of the site plan for 505 West Central Avenue under this application subject to the following conditions:

1. Notes on sheet AS1.0 reference the possible installation of landscaping and site lighting. Applicant to coordinate with City staff on changes to landscaping (Chapter 1280) and lighting (Chapter 1273) for compliance with code requirements.
2. Provide dimensioning on sheet AS1.0 for proposed structure.
3. Please indicate plans for outdoor storage and display on the site.
4. Provide revise drawings incorporating all staff comments along with signature of the owner or duly authorized officer.
5. An "As Built" drawing showing as built location and elevations of all improvements shall be
6. The Clearcreek Fire District has no comments at this time.

Discussion:

Mr. Boron reviewed the project description and the staff comments noting that the proposed location already has an existing concrete pad and the current zoning structure does permit use of the proposed enclosure.

Aaron Blue, Onyx Creative, stated that he has received and reviewed all comments and have no issues or problems with them.

Mr. Harding stated that the project appears straight forward and he has no objections.

Mr. Pearson referred to the fence line and asked if the propane is being moved.

Mr. Blue explained that the propane will be relocated to the front for easy access.

Mr. Pearson asked if the existing doors out to this area would remain the same.

Mr. Blue noted that they would remain, and plans include the addition of sliding doors.

Ms. Iverson asked for a motion for approval of the Site Plan for 505 W. Central Ave., Tractor Supply greenhouse addition.

Mr. Sillies motioned to approve. Mr. Harding seconded the motion.

Vote: Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes; Harding, yes; (7-0)

B. Discussion

Planning & Zoning Code Text Amendment, Sign Code

City staff have been at work with Wendy Moeller, Compass Point Planning, and Jerry McDonald, City Attorney, on a revision to the City's sign code. This work follows the outline, in the form of a sign code audit, that was discussed at the November 11, 2020 Planning Commission meeting. We are requesting time during the February 10th meeting to review the proposed changes to the sign code in preparation for a formal recommendation to City Council.

Given the large size of the draft amendments and accompanying memorandum, we will be distributing the materials associated with this agenda item in paper form to your home later this week. We will also make digital copies available to members of Planning Commission.

Discussion:

Mr. Boron introduced Wendy Moeller, FAICP, Compass Point Planning, who is serving as consultant on the sign code update, and shared the PowerPoint slides that she will be presenting.

Ms. Moeller explained that the purpose of the update is to revise the sign code to comply with changes in federal law and address ongoing issues with the administration of the current standards. She reviewed the process of the update which began with a sign code audit, the draft sign code being reviewed tonight, and then final adoption. Ms. Moeller explained legal aspects of a code update, provided examples of legal cases regarding the message on signs as well as commercial and noncommercial messages. She clarified the types and sizes of signs allowed in Springboro to accommodate modern practices, noting that it is recommended that the sign district map be replaced with a system based largely on zoning districts. Ms. Moeller reviewed each section of the sign code that was updated. She stated that the entire set of definitions that are now located in chapter 1281 will be consolidated with the rest of the definitions in the zoning code, chapter 1290. These definitions have been updated to define the set of sign types used in the code.

Mr. Boron noted that the City Manager has also been involved in this update and he expressed the importance of this update for the business community. Feedback from several business center owners agree that the update will provide more flexibility.

Mr. Harding agreed this is a positive move for the business community.

Mr. Pearson felt the consultant did a thorough job of streamlining the project.

Mr. Sillies asked if there was currently any limits on the number of flagpoles.

Ms. Moeller explained there are currently no limits and it might be best to address that issue.

Mr. Thomson stated some people may also want to display multiple flags on the same pole, but does understand the need for some limitations.

There was a brief discussion regarding concerns about the variety and sizes of flags and flagpoles and the need for some limitations.

After the discussion, Mr. Boron summarized that the number of flagpoles allowed will be 3 or more and height regulations will be based on district. These revisions will be incorporated in the comments for final approval.

Mr. Boron asked Mr. McDonald to address Section 1281.16 regarding changes to the manner in which variances of the sign code are addressed.

Mr. McDonald outlined this section of the sign code explaining that variances for sign area will now be permitted, and this will now come before the Planning Commission rather than the Board of Zoning Appeals. The BZA standards will continue to hear all other variances with respect to the sign code.

Mr. Boron noted that the planning commission currently hears variances from Planned Unit Developments (PUD) since at least the last update to the Planning & Zoning Code in 2015, so this is not new for the planning commission.

Mr. Boron stated that if everyone is in agreement, the sign code will be on the agenda for the March 10th meeting for formal adoption, followed by the review and approval process of City Council, including a public hearing.

IV. Guest Comments

There were no guest comments.

V. Planning Commission and Staff Comments

Mr. Boron stated that next meeting is scheduled for March 10, 2021, he does expect to have one agenda item as well discussion of the sign code.

Mr. Davis asked if there has been any discussion of future in-person meetings. Mr. Boron stated he is not aware of any discussion since the state of emergency is still in effect.

Adjournment

Ms. Harding motioned to adjourn the February 10, 2021 Planning Commission Regular Meeting at 6:55 p.m. Mr. Thompson seconded the motion.

Vote: Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Thompson, yes; Davis, yes. (7-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, March 10, 2021, 6:00 p.m.

PUBLIC NOTICE:

Per Ohio Substitute House Bill 404 made effective November 22, 2020 in response to the COVID-19 state of emergency (Sec. 12), Section 12(A), the Springboro Planning Commission will conduct its Wednesday, February 10, 2021 Meeting via video conference at 6:00 p.m. EDT. Visit the City of Springboro website at <https://www.cityofspringboro.com/CivicAlerts.aspx?CID=6.1> for a link to connect to the meeting.

III. Agenda Items

A. Formal Approval
Planning & Zoning Text Amendment, Sign Code

As discussed at the February 10th meeting, City staff have been at work with Wendy Moeller, FAICP, Compass Point Planning, and Jerry McDonald, City Attorney, on a revision to the City's sign code. This work follows the outline, in the form of a sign code audit, that was discussed at the November 11, 2020 Planning Commission meeting. We have incorporated changes discussed at the February 10th meeting and are seeking a recommendation to approve the text amendment at the March 10th meeting.

Please see the printed copy of the updated memorandum and draft ordinance in the meeting materials.

- B. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**
- C. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**

Background Information

These agenda items are based on a request filed by Easton Farm Partners, Springboro, seeking rezoning and general plan approval for the Easton Farm, 103.31-acre located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. While included in the PUD-MU rezoning, the applicant proposes to retain the 16.82-acre historic farmstead located on the west side of the property.

The proposed rezoning/general plan appears as two separate items on the Planning Commission work session agenda. The first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislation considered by City Council.

The subject property is located southwest of the intersection of Anna Drive/Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property within a historic farmstead. Vehicular access is presently provided by a single driveway from North Main Street.

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with three components: mixed-use, multi-family, and residential indicated on sheet C1.0 in the submitted materials.

Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's site plan review process, review and approval by Planning Commission is the second stage in the process. Final development plan may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process, this allowing for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes homes on Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the south, residential development including condominiums within Springbrook Commons/Spice Rack subdivision, and the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills and Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south, and transitioning to PUD and R-3, Medium-Density Residential District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This R-2 District pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area

#3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The applicant's General Plan concept drawing proposes the following:

- An 18.75-acre mixed use commercial component on the northeast corner of the property fronting North Main Street. This component includes the following:
 - A 113-unit independent living facility.
 - An 84,400-square foot assisted living/memory care facility.
 - Outparcels for a fire station, restaurants and other retail facilities totaling 16,800 square feet.
 - Two commercial buildings including 37,900 square feet of space.
- A 10.12-acre multi-family residential component on the southeast corner of the property fronting North Main Street that includes multiple buildings including 324 apartments, a 9,500-square foot restaurant, and 3.0 acres of open space comprised of storm water detention ponds.
- A 74.40-acre residential component covering the remainder of the property including the following:
 - Retaining the historic farmstead including 2 homes and preserving most farm buildings.
 - 24 townhomes.
 - 251 single-family lots most of that are served by garages accessed by private drives. The site of lots proposed for this large area ranges from large lots adjacent to the Hunter Springs neighborhood on the north end of the component to smaller lots to the south.
 - 12.82 acres of open space including two small parks, storm water detention ponds, a linear park, and a town green-type open space abutting the mixed use and multi-family residential component.

For proposed residential development areas, a gross density of 6.83 dwelling units per acre (577 dwelling units on 84.52 acres) is proposed.

Access to the proposed development would be provided by an extension of the existing Anna Drive through the development south to Tamarack Trail near the entrance to North Park, an extension of Fox Trail Drive from the Hunter Springs subdivision south into the interior of the site, and an access point onto North Main Street from the proposed Easton Farm Boulevard.

Staff Comments

City staff has the following comments regarding the proposed rezoning/general plan application:

1. Rename the mixed-use component of the PUD to commercial or other to avoid confusion with the overall rezoning request, and provide a component to address historic farmstead design/development standards and proposed permitted uses.
2. Revise full-color illustrative plan to match b/w plan proposal.

3. Revise the submittal for the next review to include the following for each component area: design and development standards including but not limited to setbacks, building heights, dwelling unit sizes, lot coverage, and a list of land uses proposed for each component area. As a companion to this information, provide a color-coded version of the general plan.
4. Easton farmstead is listed as open space. Unless the farm is available for use as common space it should not be included in the calculation.
5. An additional 5.47 acres of open space is needed to satisfy the 25% minimum open space requirement for residential PUDs.
6. Indicate who will manage open spaces proposed in the development.
7. For trails proposed on common areas, if any, include no restrictions for their use by any person with the exception of areas specifically set aside for the members of an association such as pool areas.
8. The trail along Anna Drive to be designed to meet minimum standards for width, turning radius, and to avoid obstructions.
9. City to review Anna Drive extension to intersection with Tamarack Trail and North Park entrance.
10. Indicate proposed phasing including road connections and other improvements with surrounding developments.
11. Provide typical plans for buildings indicating materials, and other details for each component in order to determine concurrence between general plan's concept and specific building plans when final development plans are prepared for review and approval by the Planning Commission.
12. Sidewalks (or trail) to be located on all streets, both sides. This should be verified. The general plan is difficult to tell and a statement would address it.
13. Connect Alley 4 and Alley 8, provided it can be engineered due to elevations.
14. Central mailbox units need to be located on general plan (and approved by the post office). Include this information in the design guidelines.
15. Flag lots not permitted (lots off of cul-de-sac on Red Hawk View). Remove flag lots or extend roadway.
16. Road name proposals to be reviewed by City Engineer in consultation with the police and fire departments.
17. Anna Drive to extend off of existing Anna Drive, and not relocated as shown.
18. Provide Noel Drive typical section.
19. Add a possible drop right turn lane into North Park at the Tamarack Trail connection.
20. Traffic Study to be submitted for review and approved prior to final approval of General Plan/Rezone by planning commission.
21. Right-of-way along North Main Street to be dedicated per city specifications.
22. No construction access permitted from Tamarack Trail or Fox Trail Drive.
23. Engineering design details to be reviewed at the Final Development Plans stage, including but not limited to utility design, storm water management plan including detention/retention design, and roadway design.
24. Road intersections to be at 90 degree angles.
25. HOA documents need to be created for review.
26. All private alleys to have a public access easement description.
27. The Clearcreek Fire District has no comments at this time.

City staff has the following comments regarding the proposed design guidelines booklet included in the rezoning/general plan submission:

1. City staff recommends a review with applicants on the intent of the design guidelines. Are they covenants or are these intended to be incorporated into the general plan approval?
2. Remove references to ARC in design guidelines.
3. Change references to occupancies to permitted uses.
4. Beginning on page 7, define personal care services.
5. Page 7, (p) states no upper floor level use restrictions within mixed-use areas. This needs to be defined.
6. Page 9, explain reference to architectural guidelines.
7. Page 10-11, utility easements are to be located outside of the right-of-way in a 10-foot utility easement, and not within the proposed right-of-way. (page 10, (c); page 11 (e)).
8. Page 13, for loading/unloading provisions, cross-reference City code on hours of operation.
9. Page 14, explain proposed open space area requirements. Are these setbacks?
10. Beginning on page 15, there are many references to traditional design. Is this concept tied down to examples?
11. Page 18, (h) tie-down proposed building heights.
12. For landscaping provisions on page 19, provide cross reference to City requirements in Chapter 1280, Landscaping.
13. Page 22, for exterior lighting, provide cross reference to City requirements in Chapter 1273, Exterior Lighting.
14. Page 30, explain accessory structure uses.
15. Page 31, single-family lots table states 4 story permitted – is this correct? In same table, footnote 1 states front porch encroachment up to 5 feet maximum is permitted. This should be removed and the table should reflect actual need/want.
16. Page 31, define where Village Center, Neighborhood Lane, etc., are in this proposal.
17. Page 31-32, state no parking in alleys permitted (on page 31 (b) and Page 32, 9(a)).
18. Page 32, are parking spaces defined as in a garage?
19. Page 33, are antennas permitted? (page 33, 11 (b)).
20. Page 34, explain Residential Typologies beginning on this page. Are these going to be supported by other design metrics?
21. Parking Dimensions to match city code. Change Stall Length on 0 degree parking from 22 feet to 24 feet.

The information contained in this report is based on material provided to the City of Springboro as of Monday, March 1, 2021 at 5:00 p.m.

Memo

To: Members, Springboro Planning Commission; Christopher Pozzuto, City Manager; Jerry McDonald, Law Director; Elmer Dudas, Development Director; Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary; Wendy Moeller, FAICP, Compass Point Planning, consultant

From: Dan Boron, AICP, City Planner

Date: March 2, 2021

Re: Sign Code Planning & Zoning Code Text Amendments

Enclosed please find a draft text amendment and memorandum regarding a proposed revision to the City's sign ordinance, Chapter 1281 of the codified ordinances, as well as other sections of the Planning & Zoning Code. Following up from the audit discussed at the November 12, 2020 Planning Commission meeting, City staff—Chris Pozzuto, City Manager, Dan Fitzpatrick, Zoning Inspector, and me—have been working with our Law Director Jerry McDonald and our consultant Wendy Moeller of Compass Point Planning on the preparation of this draft for your review and eventually recommendation of approval to City Council. The three-page cover memorandum prepared by Ms. Moeller provides a good orientation for your review.

City staff is requesting approval of the proposed text amendment at the March 10th Planning Commission meeting. We've incorporated changes reflecting the discussion at the February 10th meeting regarding flags, those changes can be found on page 6. The final page includes a number of mark-ups owing to the fact that these sections of the codified ordinances will include the removal and addition of language unlike the full repeal and replace proposed for the sign code. The review and approval process will then move to City Council in the form of a public hearing and readings as is the normal process for Planning & Zoning text amendments.

I thank you for your time in completing this review. If you have any questions regarding this proposed amendment, please feel free to reach out to me at (937) 748-6183 or danb@cityofspringboro.com.

Following the completion of the sign code audit, Compass Point Planning began the process of updating the text to the Springboro sign code. As part of that task, I have worked with staff to review interim drafts to prepare the proposed chapter that is included with this summary. Because there was some substantial reorganizing of the chapter, I am not presenting the updated text in a redline format. Instead, the following is a general outline of major changes included in the update. Most of these were previously highlighted in the sign code audit. As a reminder, one of the overarching changes to the regulations was to avoid the regulation of signs based on the content of the message so we do not have special rules for real estates signs as compared to other temporary signs.

Please note that we are submitting two version of the code text. The first is an annotated draft that includes references in the heading as to where the text is drawn from out of the existing sign code (See parenthetical references in headings). The annotated draft also includes footnotes to explain some of the changes as well as a summary of changes that need to be made outside of the sign code. The second version is the public hearing draft that removes all of the footnotes and parenthetical references in preparation for adoption and incorporation into the Springboro Zoning Code.

1. Based on discussions with staff, we have removed the definitions section from Chapter 1281 and any definitions related to signs will be incorporated into the overall zoning code definitions in Chapter 1290. This will prevent any inconsistencies and will ensure that all definitions related to the code are in one place. We have, however, maintained information on how the city measures various aspects of sign in Chapter 1281.
2. As you will note, the new section 1281.03 incorporates better language related to the measurement of sign height and sign area, etc., including the addition of graphics for clarification. One of the major changes we have made is that applicants will be able to use more than just a rectangle shape to calculate sign area. This gives sign users more flexibility in design because they will not be penalized for round or oval sign shapes, as an example.
3. We have clarified how the city interprets certain aspects of regulations such as when there are one or more signs (sign copy separated by two feet) as well as how the city evaluates the width of a façade that may not be one flat surface.
4. Section 1281.04 (e) consolidates a number of sections from the existing code that outlines various signs that the city allows for but does not require a permit. These tend to be minor signs or signs outside of the control of the city. As part of this section, we have added a provision for flags but the focus is on the regulation of the flag pole/support structure and not the flag itself.
5. Section 1281.05 consolidates a list of prohibited signs. There were some minor enhancements to this section for clarification but no major revisions.
6. Section 1281.06 is marked as a new section but some of the content is pulled from the existing regulations. This section simply consolidates a number of regulations that apply to all signs subject to review under the chapter including a general prohibition of signs in the right-of-way.
7. Section 1281.07 on the proposed sign overlay districts is entirely new. Currently, the existing sign code regulates signs based on established sign districts that can be found on a separate map. For the more part, the sign districts cover applicable zoning districts (i.e., residential districts are residential zoning districts). The exceptions are two special areas that cross multiple zoning district types and that is the architectural district (largely downtown) and the interstate highway district. Instead of keeping a separate sign district, we have proposed to establish two sign overlay districts that are embedded in Chapter 1281 and so there will be no need for an entirely separate map.

8. Section 1281.08 consolidates sign regulations that are currently located outside of the sign code or, are established as part of a separate review (i.e., PUDs). For the most part, the sign language in the UVD and ADD-1 Districts will remain the same, with a few changes as suggested on the last pages of the annotated draft. For PUDs, we have added some guidance for Planning Commission and City Council to use when considering signs as part of a PUD.
9. Section 1281.09 is focused on permanent signage in the city. The first major section clarifies the amount of ground and building sign area allowed in any individual zoning district. The key change here is that the current code is rather challenging to read and understand what counts towards the sign allowances so we have tried to be crystal clear with the revisions.
 - a. As noted in the sign code audit, we have eliminated any references to on- versus off-premise messaging due to several pieces of case law. In reality, few if any businesses are going to give up or lease off space on the signs they have for other businesses so mandating it be on-premise is not necessary. The focus of the regulations is on what types of signs are allowed and the overall size and design of the sign, not the message.
 - b. The overall ratios have remained the same as far as the amount of sign area allowed. The first tables sets out the overall allowance while the remainder of the section sets limits on the various sign types. This approach gives sign users a lot of flexibility in designing sign packages that work best for them based on the location, setback, and other site conditions.
 - c. I will note that we have not set out that on corner lots, the amount of signage allowed is limited to one side of the building over the other (based on street frontage). This means that someone with a building on a corner lot can use signage from one frontage on the other, however, there are still maximum sign area for different sign types so monuments signs will still be similar in size and the ones in place now.
 - d. We have expanded the opportunity for sign users to use projecting signs in any zoning district as long as they meet set standards. There may be instances where someone outside of downtown wants to have a projecting sign on the building if it will be more legible to people walking up from a parking lot or from an adjacent building, as an example.
 - e. We have decreased the minimum setback for ground signs in industrial districts from 25 feet to 8 feet, reflective of best practices and no clear need to have such a wide setback.
 - f. We have increased the amount of window signage allowed from 30% to 50% in commercial zoning districts and from 15% to 25% in the downtown area. These ratios were checked by staff based on actual signs in the city.
 - g. We have created new sign regulations for drive-through facilities (e.g., banks and fast-food restaurants, etc.). There are limits on the size of the cabinets, per stacking lane, unless the drive-through signage is screened from view, in which case they can be any size. The purpose of this approach is to encourage the sign cabinets to be screened from view of streets.
 - h. We have incorporated provisions for driveway signs, which are the small directional signs you may see that say “enter” or “exit”. We have eliminated regulation of content but have maintained provisions to keep these small and only allow them in nonresidential zoning districts.

- i. The new provisions for signs at entries is intended to accommodate subdivision identification signs as well as large industrial or research parks, as an example. This simply allows for an additional sign for large developments that will not count toward the signs on any individual lot.
10. Section 1281.10 deals entirely with temporary signs. This is where there have been substantial changes to the regulations because temporary signs are where there was a substantial amount of content-based sign regulations (e.g., political, real estate, construction, etc.). As an alternative, we have focused on regulating the different types of signs allowed based on whether there is a commercial message or whether the message is related to Free Speech (e.g., political, opinion, religious, etc.). The city will remain relatively hands off when it comes to Free Speech signs but has placed some restrictions on the amount of commercial temporary signage allowed. Sidewalks signs are a form of temporary sign where the language was updated to allow them in all nonresidential zoning districts with the understanding that some businesses may use them on private sidewalks adjacent to their entries and not just on public sidewalks.
11. The remainder of the chapter incorporates updated versions of existing language related to the sign permit process, appeals, variances, etc. We have cleaned up this language, reflective of the goals set out for the update. One substantial change is the proposal to allow for variances to the maximum permitted message area to be heard by the Planning Commission, not the Board of Zoning Appeals. Currently Planning Commission hears variances within Planned Unit Developments, with the Board of Zoning Appeals being tasked with considering other variances. A review of City Charter allows this shift based on review by our Law Director who has participated in the sign code review. Other variance requests tied to the sign code will remain under the jurisdiction of the Board of Zoning Appeals.
12. The definitions included in the draft will be moved to Chapter 1290. These definitions have been overhauled to included definitions of all sign types while also removing definitions that no longer apply.
13. The final section of the document illustrates proposed changes related to signs in sections outside of Chapter 1281 and Chapter 1290 (Definitions). The revisions are based on the fact that some of the language is a universal standard applicable to all zoning districts or where we cleaned up terminology to keep it the same as terms we used in Chapter 1281. There are no substantive changes to the regulations.

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1281.01 Short Title

This chapter shall be called and may be cited as the Springboro Sign Code.

1281.02 Purpose and Intent

- (a) It is the purpose and intent of this chapter to establish reasonable regulations which preserve the health, safety and general welfare of the public, while protecting each person's constitutional right to freedom of speech, as indicated by the following objectives:
 - (1) To prohibit signs which pose an unreasonable risk to the public safety;
 - (2) To limit the visual dominance of signs without unconstitutionally restricting the information conveyed;
 - (3) To provide for reasonable and appropriate methods for locating goods, services, and facilities in all zoning districts by relating the size, type and design of signs to the size, type and design of the uses and districts;
 - (4) To promote traffic safety by preventing obstructions within public rights-of-way, minimizing visual distractions to motorists, ensuring that sign size and height are appropriate to their location and preventing conflicts with public safety signs and police and fire protection;
 - (5) To maintain an aesthetically pleasing urban environment free of excessive visual clutter;
 - (6) To create a system of variances and appeals to allow exceptions, where justified by a hardship; and
 - (7) To facilitate rigorous enforcement of this chapter, while preserving each individual's right to due process.
- (b) The City does not intend to infringe on the rights of free speech as protected by the First Amendment to the United States Constitution and Chapter I, §11 of the Ohio Constitution. All regulations in this chapter are to be construed, whenever possible, in favor of vigorous political debate and accommodation of the rights of persons to speak freely.

1281.03 Definitions, Measurements, and Calculations

- (a) For the purpose of this chapter, certain words and phrases shall have the meanings respectively ascribed to them in Chapter 1290.
- (b) Where terms are related to measurements and calculations set out in this chapter, such terms shall be as established in this section.
- (c) **Sign Setback**

All required setbacks for signs shall be measured as the minimum linear distance between a sign, building, or structure and:

 - (1) The right-of-way line of a public street or highway easement; or
 - (2) The side lot line of an adjacent parcel.
- (d) **Sign Height**
 - (1) The height of a sign shall be computed as the distance from the base of the sign at normal grade (average grade at the base of the sign) to the top of the highest attached component of the sign. Normal grade shall be construed to be the newly established grade after construction, exclusive of any filling, berming, mounding, or excavating solely undertaken for the purpose of locating or increasing the height of sign.
 - (2) The filling of a hole or depression to create an average grade the same level as that surrounding the hole or depression is permitted, provided such filling is allowed by other ordinances.

- (3) In cases where the normal grade is below grade at street level, sign height shall be computed on the assumption that the elevation of the normal grade at the base of the sign is equal to the elevation of the nearest point of the crown of a public or private street. See Figure 1281-1.

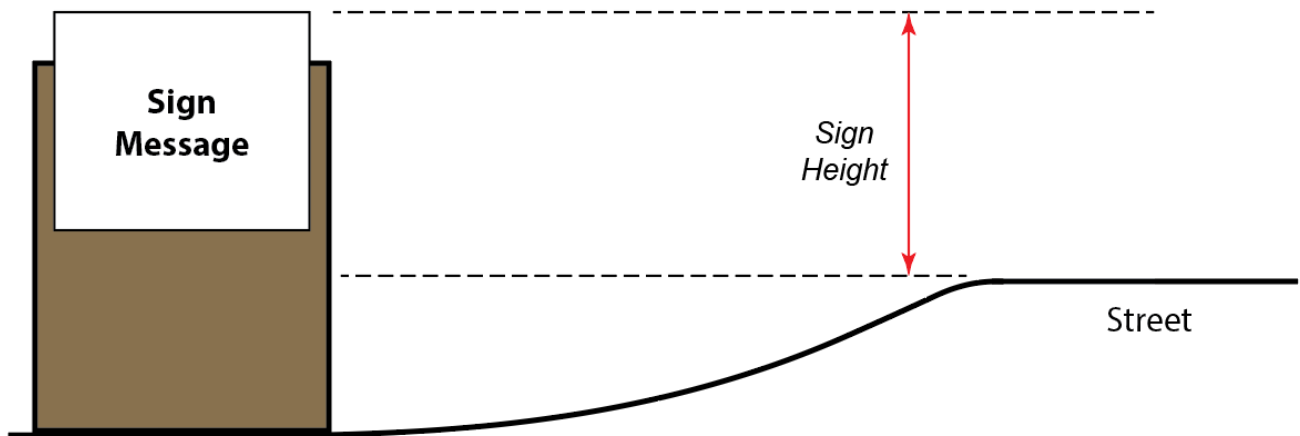


Figure 1281-1: Illustration of the measurement of sign height when the grade at the bottom of the sign is below the grade of the adjacent street.

(e) **Sign Area**

The surface of a sign to be included when computing maximum allowable square footage of sign area shall be calculated as established in this section. For the purposes of calculating sign area, one of the following shapes may be used: circle, ellipse, triangle, square, rectangle, trapezoid, pentagon or hexagon.

- (1) The calculation of sign area shall not include any supporting framework, bracing or decorative fence or wall unless such structural support is determined to constitute an integral part of the sign design by means of text or other commercial message, as determined by the City Manager, or their designee. See Figure 1281-2.
- (2) For sign copy mounted or painted on a background panel, cabinet or surface distinctively painted, textured, lighted or constructed to serve as the background for the sign copy, the sign area shall be computed by means of the single smallest permitted shape that encompasses the extreme limits of the background panel, cabinet or surface. See Figure 1281-2 and Figure 1281-3.

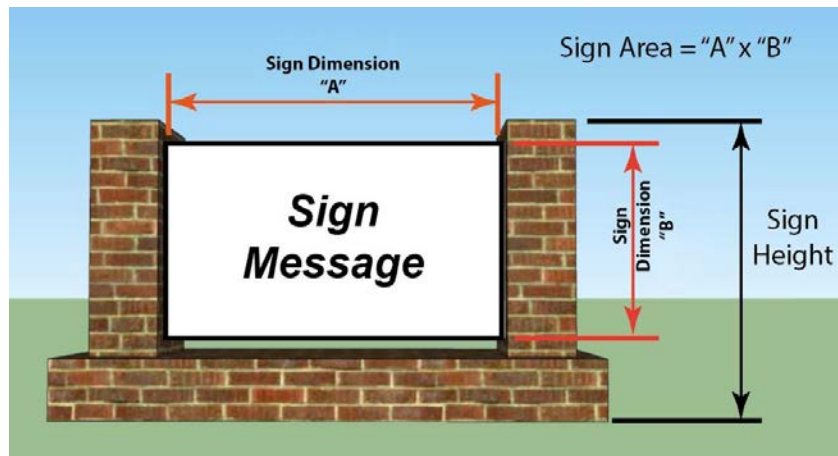


Figure 1281-2: Illustration of sign area calculation for a ground sign with a copy on a distinct, rectangular cabinet. The brick structural support is not included in the sign area calculation.



Figure 1281-3: Illustration of computing the sign area for wall signs with a background panel or cabinet.

- (3) For sign copy where individual letters or elements are mounted on a building façade or window where there is no background panel, cabinet or surface distinctively painted, textured, lighted or constructed to serve as the background for the sign copy, the sign area shall be computed by means of the single smallest permitted shape that encloses all the letters or elements associated with the sign. See Figure 1281-4.

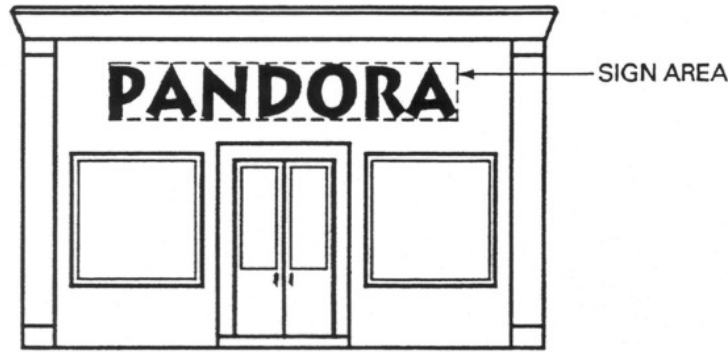


Figure 1281-4: Illustration of sign area calculation for wall signs with individual letters.

- (4) In cases where there are multiple elements of sign copy on the same surface, any areas of sign copy that are within two feet of one another shall be calculated as a single sign area that shall be computed by means of the smallest permitted shape that encloses all sign copy within two feet of one another, otherwise the sign area shall be computed for each separate piece of sign copy. See Figure 1281-5.

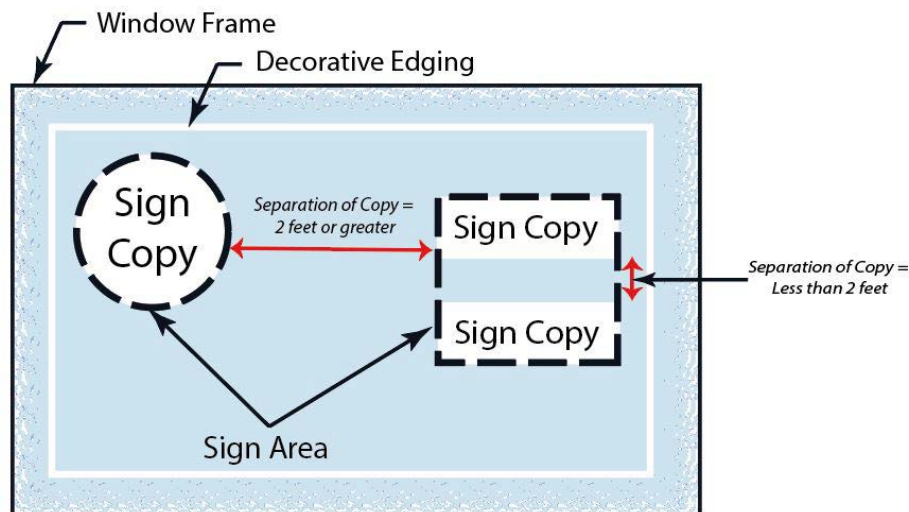


Figure 1281-5: Illustration of sign area calculations for multiple sign areas on a window sign.

- (5) Decorative edging or other window treatments that are not an integral part of the sign copy shall not be considered a part of the sign for the purposes of this chapter. See Figure 1281-5.
- (6) When two identically sized, flat sign faces are placed back-to-back with no more than six inches in separation, so that both faces cannot be viewed from any one point at the same time, the sign area shall be computed by the measurement of one of the sign faces. If the two faces are unequal, the sign area shall be calculated based on the larger of the two faces.
- (f) **Façade Measurements**
- (1) When calculating the permitted sign area based on the width of any façade, such calculation shall be based on viewing the façade from a 90-degree angle (i.e., straight on) from the adjacent street, regardless of façade insets, offsets or angles. See Figure 1281-6.

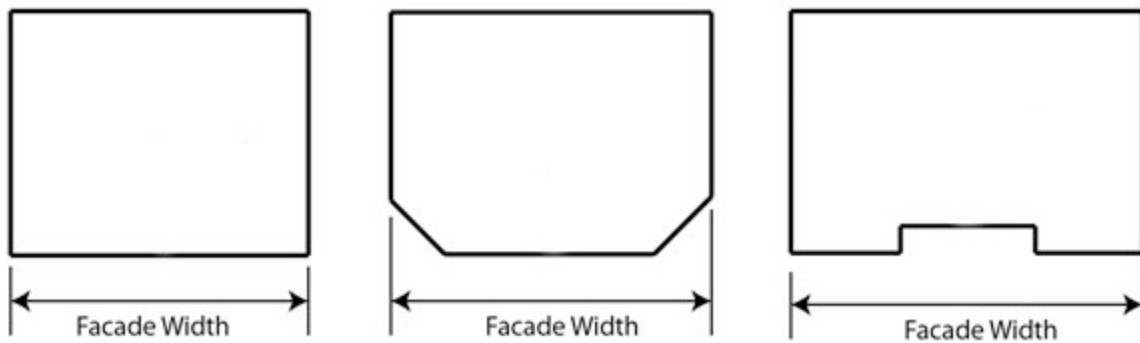


Figure 1281-6: Illustration of façade width measurement on varied façade shapes.

- (2) For multi-tenant buildings, the portion of a building that is owned or leased by a single occupant or tenant shall be considered a building unit.

1281.04 General Applicability

- (a) It shall hereafter be unlawful for any person to erect, place, relocate, expand, modify, maintain or otherwise alter a sign in the City except in accordance with the provisions of this chapter.
- (b) Unless otherwise stated, this chapter shall apply to any sign, in any zoning district, that is visible from a public right-of-way or from an adjacent property.
- (c) Any sign legally established prior to the effective date of this chapter, and which sign is rendered nonconforming by the provisions herein, shall be subject to the nonconforming sign regulations of Section [1281.11](#).
- (d) All signs shall require the issuance of a sign permit, as established in Section [1281.14](#), unless otherwise noted below or as specifically stated in other sections of this chapter.

(e) Sign Permit Exemptions

The following signs are subject to the requirements of this chapter are allowed in all districts but do not require a sign permit. Additionally, any sign area for these signs do not count toward the sign area allowances specified in this chapter for all other permitted signs. Permit-exempt signs, or the structures they are attached to, may still be subject to building code or other applicable code requirements.

- (1) Signs and/or notices issued by any court, officer or other person in performance of a public duty. Any such sign shall be removed no later than seven days after the last day it is required to be displayed;
- (2) Signs that are an integral part of the original construction of vending or similar machines, fuel pumps, automated teller machines, or similar devices that are not of a size or design as to be visible from a street or by any person other than those using the machine or device;
- (3) Any sign that is located completely inside a building that is not visible from the exterior (See also the definition of “window sign”.);
- (4) Signs that are located within a stadium, open-air theater, park, arena or other outdoor use that are not visible from a public right-of-way or adjacent property, and can be viewed only by persons within such stadium, open-air theater, park, arena or other outdoor use;

- (5) Sign face changes where the sign structure is designed with interchangeable panels and one of the panels is replaced without changing the structure, including any changes to the total sign face area, height or alteration of the sign cabinet. Such permit exemption shall not apply to signs in the Architectural Sign Overlay District (See Section 1281.07.) where a certificate of appropriateness is required;
- (6) Certain temporary signs as established in Section 1281.10;
- (7) A single wall sign placed on the façade of an individual dwelling unit that is not illuminated and does not exceed four square feet in area.
- (8) Signs that are an integral part of the historic character of a structure that has been designated an official landmark or historic structure by any agency or body of the governments of the United States, State of Ohio, Warren or Montgomery Counties, or the City of Springboro;
- (9) Any signs located on umbrellas, seating or similar patio furniture provided they are located outside of the right-of-way and comply with any other applicable standards of this chapter;
- (10) Ground signs and markings located completely within the interior of a lot used for a cemetery where such signs are not designed to be visible from a public street;
- (11) Any sign on a truck, bus or other vehicle that is used in the normal course of a business (e.g., deliveries or fleet vehicles for contractors) for transportation (see also Section 1281.05(s)), or signage required by the State or Federal government;
- (12) Signs installed or required by a governmental agency including the City of Springboro, Warren or Montgomery Counties, the State of Ohio, and the United States, including local and regional transit agencies;
- (13) Any warning signs or traffic safety signs required by public utility providers;
- (14) Hand-held signs not set on or affixed to the ground;
- (15) No more than four ~~F~~ flags located on flagpoles or on wall-mounted posts provided that the following shall apply:
 - A. ~~Only one~~ The maximum height of flag poles shall not exceed the maximum building height for structures in the subject zoning district, is permitted on any lot, with a maximum height of 30 feet and a maximum sign area of area of 40 square feet for any individual flag attached to the pole.
 - B. ~~Only one~~ The maximum projection for wall-mounted flag post is permitted, per building, with a maximum projection of six feet and a maximum sign area of 15 square feet per flag.
 - C. ~~The flags shall not contain a commercial message or speech except that one flag on any lot in a commercial or industrial zoning district may contain a commercial message.~~
- (16) Any address numbers required by the City of Springboro, Clearcreek Fire District, or U.S. Post Office;
- (17) Changes of copy on signs with changeable copy;
- (18) Any signs, including illuminated signs, or related decorations erected in observance of religious, national or state holidays which are not intended to be permanent in nature and which contain no advertising material; and
- (19) General maintenance, painting, repainting, cleaning and other normal maintenance and repair of a sign or any sign structure unless a structural change is made.

1281.05 Prohibited Signs

The following types of signs are specifically prohibited within the City of Springboro:

- (a) Any sign that copies or imitates signs that are installed by the City or any other governmental agencies or falsely purports to have been authorized by the City or other governmental agency;

- (b) Signs that interfere with, obstruct the view of or be similar in appearance to any authorized traffic sign, signal or device because of its position, shape, use of words or color;
- (c) Signs that constitute a hazard to safety or health by reason of inadequate or inappropriate design, construction, repair or maintenance, as determined by the City Manager, or their designee;
- (d) Signs that obstruct or interfere with traffic or traffic visibility. See also Section 1262.08;
- (e) Windblown devices and signs that flutter with the exception of flags as allowed by the City of Springboro and this chapter;
- (f) Balloon signs and air-activated signs;
- (g) Three-dimensional signs and multi-faced signs unless two identically sized, flat sign faces are mounted back-to-back with no more than six inches in separation;
- (h) Signs utilizing dayglo colors.
- (i) Signs that employ any parts or elements which revolve, rotate, whirl, spin or otherwise make use of motion to attract attention. This shall not include changeable copy signs as allowed in this chapter;
- (j) Signs with moving or flashing lights except as noted in the changeable copy sign section;
- (k) Beacons and searchlights, except for emergency purposes;
- (l) Signs or other structures that advertise a business that has not been in business for six months or more, or advertises a product or service that has not been available on the property for the past six month, because such signs are misleading to the public, create undue visual clutter and pose a hazard to traffic control and safety;
- (m) Pennants and streamers;
- (n) Signs that are applied to trees, bus shelters, utility poles, benches, trash receptacles, newspaper vending machines or boxes, or any other unapproved supporting structure, or otherwise placed in the public right-of-way except as provided for in Section [1281.06\(e\)](#);
- (o) Signs that obstruct or substantially interfere with any window, door, fire escape, stairway, ladder or opening intended to provide light, air, ingress or egress to any building;
- (p) Signs which are not securely affixed to the ground or otherwise affixed in a permanent manner to an approved supporting structure unless specifically permitted as a temporary sign;
- (q) Roof signs or any signs mounted on or above the roofline of any building or structure except as permitted on canopy signs in Section [1281.09](#);
- (r) Portable signs with the exception of sidewalk signs permitted in Section 1281.11; and
- (s) Mobile signs:
 - (1) Mobile signs viewed from a public road with the primary purpose of advertising through signage not otherwise allowed by this chapter. A mobile sign shall be considered to be used for the primary purpose of advertising if:
 - A. The vehicle or trailer has signage attached to it and fails to display current license plates and registration; or
 - B. The vehicle or trailer has signage attached to it and is inoperable.
 - (2) Vehicles or trailers shall not be parked continuously in one location to be used primarily as additional signage. These regulations do not apply to:
 - A. A vehicle parked at a driver's residence that is the primary means of transportation to and from his or her place of employment;
 - B. Fleet and delivery vehicles that are actively used as part of a local business establishment; or
 - C. Any vehicle that is painted or otherwise covered with signage that is used by any person as a personal means of transportation or is actively used as part of a local business establishment.

- (t) Any sign not specifically allowed or addressed by this chapter shall be prohibited.

1281.06 General Regulations for All Signs

Unless otherwise specifically stated, the following regulations shall apply to all signs within the City:

- (a) Permanent signs are considered accessory uses and shall be accessory to a principal use provided for by the Springboro Zoning Code. Temporary signs may be permitted on all lots, regardless of the presence of a principal use, provided the temporary signs are in compliance with this chapter.
- (b) All signs shall be constructed in compliance with the applicable building and electrical codes as well as any other City regulations.
- (c) All signs shall be secured in such a manner as to prevent swinging or other significant noticeable movement, not including movement related to permitted electronic message signs.
- (d) Signs supported by or suspended from a building shall hang so as to maintain a minimum clear height of eight feet above a sidewalk or other pedestrian-only path and 14 feet above a vehicular path.

(e) **Signs in Rights-of-Way**

- (1) Signs shall be prohibited in the right-of-way with the exception of:
 - A. Signs installed by the City of Springboro, Warren or Montgomery Counties, the State of Ohio, and the United States, including local and regional transit agencies;
 - B. Any warning signs or traffic safety signs required by public utility providers; or
 - C. Where specific signs are authorized to be located in a right-of-way as stated in this chapter.
- (2) The City Manager, or their designee, may remove or cause to be removed any unlawful sign in the public right-of-way.

(f) **Removal of Unlawful Signs**

- (1) Any sign which violates the provisions of this chapter shall be declared a public and private nuisance, and the City shall give seven days' notice by personal service or by registered or certified mail, to the owner or lessee of the land on which such sign is located, to remove such sign. However, in the case of an unlawful sign which is not permanently attached to the ground or to a building or structure, the City need give only 24 hours' notice to remove the sign. The owner or lessee shall have the right of appeal to the Board of Zoning Appeals.
- (2) If any such sign has not been removed on or before the expiration of the applicable notice period prescribed in subsection (1) hereof, or within seven days after the adverse decision of the Board of Zoning Appeals, the City or any of its duly authorized agents may enter upon the premises and cover, remove, or otherwise abate the sign. The cost of such covering, removal, or abatement shall be paid out of any money in the City Treasury not otherwise appropriated. City Council shall make a written return to the County Auditor with a statement of the charges for services in covering, removing, or abating the sign, together with a legal description of the parcel. Such amounts shall be certified to the county auditor for entry upon the tax duplicate, shall constitute a lien upon such lands from the date of the entry and shall be collected as other taxes and returned to the City's General Fund.
- (3) Notice to the owner or lessee shall not be required prior to the removal of a hazardous sign which, in the joint opinion of the City Manager, or their designee, and City Engineer, creates an immediate danger to persons or property due to structural design deficiencies, inadequate maintenance or improper location. Notice to the owner or lessee shall not be required prior to the removal of any sign unlawfully placed on public property.

(g) **Sign Illumination**

All signs, unless otherwise stated in this chapter, may be illuminated by internal or external light sources, provided that such illumination complies with the following:

- (1) Lights shall not be of such brightness so as to cause glare that is hazardous to pedestrians or motorists, or cause reasonable objection from adjacent residential zoning districts.
- (2) Light sources to illuminate permanent signs located inside or outside of buildings shall not be of excessive brightness or cause glare hazardous to pedestrians or drivers of automobiles, or be objectionable to adjacent residential zoning districts.
- (3) No illumination of signs shall flash.

(h) **Maintenance**

- (1) Every sign shall be maintained in a safe, presentable and good structural condition at all times, including the replacement of a defective part, painting, cleaning and other acts required for the maintenance of the sign so as not to show evidence of deterioration, including peeling, rust, dirt, fading, damage, discoloration or holes.
- (2) Whenever a sign is to be removed pursuant to the requirements of this section, all parts of the sign and supporting structure (e.g., pole, foundation, cabinet structure, etc.), excluding buildings for wall, projecting or similar signage, shall be removed in its entirety. This section shall not require the removal of a raceway if mounted to such structure on a building.
- (3) The City Manager, or their designee, may order the removal or repair of any sign that, has become insecure, in danger of falling or otherwise unsafe, or presents a threat to the public safety.

1281.07 Sign Overlay Districts

- (a) There is hereby established an Architectural Sign Overlay District (See Figure 1281-7.) and a separate Interstate Sign Overlay District (See Figure 1281-8.) that establishes special sign requirements for all lots within the overlay district, regardless of what the established zoning district is for the lot.

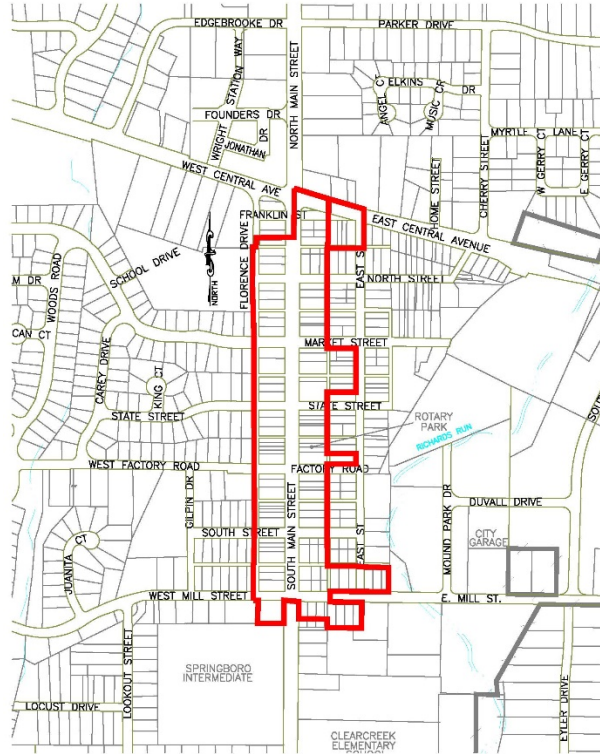


Figure 1281-7: Boundaries of the Architectural Sign Overlay District



Figure 1281-8: Boundaries of the Interstate Sign Overlay District

(b) Architectural Sign Overlay District

In addition to any specific standards stated in this chapter, all signs within the Architectural Sign Overlay District, shall be subject to architectural review in accordance with the following.

- (1) All permanent signs associated with a protected property in the Architectural Sign Overlay District shall not be permitted unless it has first been issued a Certificate of Appropriateness by the City Architectural Review Board (ARB), pursuant to Chapter 1230 of the Codified Ordinances, Section 1230.08. In determining whether to grant approval, the ARB shall consider the following:
 - A. Is the sign appropriate in scale to the building with which it is associated?
 - B. Is the sign appropriate in design to the architectural style or period of the building with which it is associated?
 - C. Are the colors selected for the sign compatible with the building with which it is associated?
 - D. Is the sign located so as to reasonably minimize adverse aesthetic effects on the architectural design of the building with which it is associated?
- (2) Application for a Certificate of Appropriateness is required with an application for the sign permit. Applications shall be on a form prescribed by the City, accompanied by a dimensioned scale drawing or dimensioned photograph of the sign indicating its typographic style, graphics, colors, supporting structure and other visual detail.

1281.08 Signs in the UVD, ADD-1, and PUD Districts

All development in a UVD, ADD-1, and PUD District shall be subject to the standards of this chapter, including standards for permanent and temporary signs, unless otherwise modified below or through the applicable review and approval process. In general:

(a) **Signs in the UVD District**

See Chapter 1267 for Urban Village District sign regulations.

(b) **Signs in the ADD-1 District**

See Chapter 1268 for Austin Development District sign regulations.

(c) **Signs in a PUD District**

Signs in a PUD District should generally follow the guidelines below. The City Planning Commission shall have authority to approve modifications from the provisions of this chapter as part of its comprehensive review and approval of a PUD, if a comprehensive signage plan is submitted by the developer prior to final approval of the planned unit development. In such cases, the Planning Commission shall endeavor to maintain consistency with this chapter to the maximum extent feasible.

- (1) Residential uses in a PUD should comply with the sign requirements applicable to residential zoning districts in this chapter.
- (2) Commercial, office, and public and institutional uses in a PUD should comply with the sign requirements applicable to commercial zoning districts in this chapter.
- (3) Industrial uses in a PUD should comply with the sign requirements applicable to industrial zoning districts in this chapter.

1281.09 Permanent Sign Allowances

The following are the types of permanent signs allowed in the City of Springboro, including any applicable regulations for each type of sign.

(a) **Building and Ground Signs**

(1) **Maximum Sign Area for All Building and Ground Signs**

- A. Table 1281-A establishes the total maximum sign area allowed for the aggregate sign area of all building and ground signs on a lot as established in this section.
- B. The maximum sign area in Table 1281-A does not include the sign areas of the following sign types that might also be located on the lot including:
 1. Temporary signs;
 2. Window signs;
 3. Drive-through facility signs;
 4. Driveway signs;
 5. Pole signs in the Interstate Sign Overlay District; and
 6. Permanent signs at entries.

TABLE 1281-A: MAXIMUM BUILDING AND GROUND SIGN AREA	
District	Maximum Sign Area Allowance
Residential Zoning Districts	<p>Ground and building signs are prohibited for residential uses in residential zoning district except for wall signs allowed in Section 1281.04(e).</p> <p>Ground signs and buildings signs are permitted for nonresidential uses that are permitted in residential zoning districts. Such uses shall be allowed the same amount of sign area as provided for nonresidential uses in commercial zoning districts below and within this subsection.</p>
Commercial Zoning Districts	<p>1.0 square foot of sign area per lineal foot of façade width of the building if the adjacent thoroughfare has a speed limit of less than 40 miles per hour or 1.5 square foot of sign area per lineal foot of façade width of the building if the adjacent thorough fare has a speed limit of 40 miles per hour or greater.</p> <p>Where a building has multiple street frontage (e.g., a corner lot), the maximum sign area shall be the sum of the maximum sign area allowed for each of the building facades facing a street, as calculated based on the ratio above.</p>
Industrial Zoning Districts	For lots where the principal building has a gross floor area of 10,000 square feet or less: 15 square feet of sign area shall be permitted for each 1,000 square feet of floor area, or fraction thereof.
	For lots where the principal building has a floor area of more than 10,000 square feet: 150 square feet of sign area for the first 10,000 square feet of floor area plus an additional five square feet for each additional 1,000 square feet of floor area, or fraction thereof, over that first 10,000 square feet.
Architectural Sign Overlay District	20 square feet of sign area per principal building.

(2) **Building Signs**

- A. There is no maximum number of permitted building signs.
- B. In commercial zoning district, there shall be a maximum sign area for any individual building sign as established in Table 1281-B.

TABLE 1281-B: MAXIMUM INDIVIDUAL BUILDING SIGN AREA IN COMMERCIAL ZONING DISTRICTS		
Sign Setback from the Curb of the Adjacent Street	Maximum Sign Area of any Individual Building Sign	
	If Street Frontage Has a Ground Sign	If Street Frontage Does Not Have a Ground Sign
0 to 100 Feet	35 Square Feet	65 Square Feet
101 to 250 Feet	50 Square Feet	80 Square Feet
251 to 350 Feet	75 Square Feet	105 Square Feet
351 Feet and Over	100 Square Feet	130 Square Feet

- C. No single building sign may exceed 500 square feet in sign area in any zoning district.
- D. Building signs shall include the total amount of all wall, awning, canopy, soffit, and projecting signs attached to the building. Standards for each individual building sign type are established in this section.
- E. Building signs shall not extend above or beyond the surface on which they are attached (e.g., extends beyond the sides of the façade wall or above the roofline);
- F. Building signs shall not extend above the top of the roofline of the building to which it is attached. For canopy signs, the signs may be attached above the canopy, which is attached permanently to the building, provided that the sign does not extend above the top of the roofline of the building.

- G. Building signs may not be attached to mechanical equipment, roof screening, or detached accessory structures.
- H. Building signs may be internally or externally illuminated with the exception of signs in the Architectural Sign Overlay District, in which case, internally illuminated signs are prohibited.
- I. Building signs shall not include electronic message signs.
- J. **Wall Sign Standards**
Any wall sign shall comply with the following standards:
 - 1. Wall signs shall be mounted on or flush with a wall and shall not project more than 18 inches from the wall or face of the building to which it is attached except in the Architectural Sign Overlay District where wall signs shall not project more than six inches from the wall or face of the building.
 - 2. A wall sign may be mounted on the façade wall or mounted on a raceway or wireway.
 - 3. No wall sign shall cover or obscure any wall opening.
 - 4. No wall sign shall be nearer than five feet to any other sign unless such space is calculated as part of the total sign area. See Section [1281.03](#).
 - 5. No wall sign shall extend above the parapet of the main building to which it is attached, nor beyond the vertical limits of such building.
 - 6. The wall sign allowance may be used for signs attached to roofed structures over fueling stations.
 - 7. Wall signs shall not be painted directly on a building or wall in the Architectural Overlay Zoning District.
 - 8. Wall signs shall not exceed one-half of the height of the surface to which they are attached, or eight feet, whichever is greater, in the Architectural Overlay Zoning District.
- K. **Awning or Canopy Sign Standards**
Any canopy sign shall comply with the following standards:
 - 1. Signage shall not cover more than 15 square feet of any individual awning or canopy.
 - 2. Signage may be mounted above any canopy that extends over a customer entrance provided that the maximum sign height over the canopy shall be 18 inches as measured from the top of the canopy to the top of the sign.
 - 3. Only the area of the sign may be illuminated internally on an awning or canopy. The remainder of any awning canopy shall not be illuminated or may be illuminated by an external source such as gooseneck lighting.
- L. **Projecting Sign Standards**
Any projecting sign shall comply with the following standards:
 - 1. Only one projecting sign shall be permitted for each tenant or building unit except in the Architectural Sign Overlay District when there shall be a maximum of one projecting sign per building.
 - 2. A projecting sign shall be perpendicular to the wall of the building to which it is attached and shall not extend more than four feet from the façade wall to which it is attached.
 - 3. Projecting signs shall maintain a minimum six-inch clearance from the façade of any building.

4. Decorative supporting structures for projecting signs are encouraged and shall not count toward the maximum square footage of sign area allowed, however, in no case shall the supporting structure exceed six square feet in area.
5. The maximum sign area for a projecting sign shall be nine square feet.
6. Projecting signs shall not be internally illuminated.
7. Projecting signs must be suspended from brackets approved by the City Manager, or designee, and contain no exposed guy wires or turnbuckles.
8. Projecting signs shall not encroach into any right-of-way except in the Architectural Sign Overlay District when such signs may project up to three feet in the right-of-way subject to the clearance requirements of Section 1281.06(d).

M. Soffit Signs

Soffit signs are permitted where they hang parallel to the building façade and do not extend beyond the fascia. See Figure 1281-9.



Figure 1281-9: Image that shows an example of a soffit sign hanging parallel with the street façade.

(3) Ground Signs

- A. Only one ground sign is permitted per street frontage. In the Architectural Sign Overlay District, there shall be a maximum of one ground sign per lot.
- B. Table 1281-C establishes the minimum setback and maximum height and sign area for ground signs in zoning districts.

TABLE 1281-C: GROUND SIGN STANDARDS			
District	Minimum Setback from Curb	Maximum Height	Maximum Sign Area
Commercial Zoning Districts	8 Feet	6 Feet	30 Square Feet
Industrial Zoning Districts	8 Feet (See Also Maximum Sign Area.)	20 Feet	100 Square Feet. The maximum sign area may exceed 100 square feet provided there is one additional foot in setback, beyond the 8-foot minimum, for each additional 8 square feet of sign area beyond the initial 100 square feet of sign area.
Architectural Sign Overlay District	4 Feet	6 Feet	20 Square Feet
Note: In no case shall any ground sign exceed 300 square feet in sign area, in any zoning district.			

C. Ground Sign Design Requirements

1. Permitted ground signs shall be located in a landscaped area equal to or larger than the total sign area of the applicable sign. Such landscaped area may be an area that fulfills any landscaping requirements of this code. The landscaped area shall include all points where sign structural supports attach to the ground.
2. Ground signs shall be monument signs such as no support structures are visible.
3. The sign base shall be constructed of the same materials as the building, and the sign style shall be consistent with the architecture of the building located on the same premises.
4. Exposed sign foundations shall be constructed with a finished material such as brick, stone, or wood.

D. All illumination of signs shall be subject to Section 1281.06 (g).

- E. Ground signs may contain changeable copy. A ground sign may contain up to 100 percent of manual changeable copy in sign area or up to 50 percent of an electronic message sign in sign area subject to the following:**
1. No additional changeable copy sign area shall be permitted on a ground sign if there is an electronic message sign.
 2. Electronic message signs shall be entirely enclosed in a frame that is flush with the ground or may be mounted on a foundation or pedestal as part of the overall ground sign. Permitted exterior cladding materials for the frames for such signs are stone or brick.
 3. Any electronic message sign shall remain static for a minimum of 8 seconds. The transition interval between messages shall be accomplished within 1 second or less and no animation is permitted during the transition except for a fade or dissolve pattern as defined by this chapter.
 4. The complete message must fit on one screen.
 5. Electronic message signs may be located in residential districts but shall comply with the following:
 - a. Only one electronic message sign is permitted on any lot.
 - b. The sign shall be set back a minimum of 200 feet from any building used as a residential dwelling; and

- c. The electronic message sign shall not be operable before civil dawn or after civil twilight but in no case more than 30 minutes before sunrise and no more than 30 minutes after sunset.
6. The electronic message sign shall come equipped with an automatic dimming photocell, which automatically adjusts the display's brightness based on ambient light conditions.
7. Illumination shall not exceed 0.3 footcandles over ambient lighting conditions when measured at 50 feet in any direction from an electronic message sign.
8. Audio emissions from electronic message signs shall be prohibited.

(b) Pole Signs in the Interstate Sign Overlay District

In addition to any ground signs permitted above, one additional pole sign may be permitted on any lot within the Interstate Sign Overlay District in accordance with this section. Such sign shall not be counted as part of the building and ground sign allowance in Section 1281.09(a), above.

- (1) Each pole sign shall be located and oriented so that its message area is clearly and continuously visible from at least one direction of travel on the interstate highway.
- (2) The pole sign shall not exceed 60 feet in height. A variance permitting a greater height may be granted by the Board of Zoning Appeals only if all the following conditions are present:
 - A. The 60-foot height limitation prevents compliance with subsection 1281.09(b)(1) hereof due to one or more visual obstructions. For the purpose of this subsection 1281.09(b)(2), other signs shall not be regarded as visual obstructions.
 - B. The effect of the obstructions cannot be feasibly avoided by locating the sign elsewhere on the same parcel for which the sign is proposed.
 - C. The height granted by the variance is no more than 10 feet greater than necessary to satisfy the visibility requirement of subsection 1281.09(b)(1) hereof.
 - D. The location of the sign will not interfere with the continuing compliance of a previously existing sign to the visibility requirement of subsection 1281.09(b)(1) hereof.
- (3) Any pole sign with an overall height greater than 25 feet shall be supported by a single pole or standard. All poles or standards used to support the sign shall be painted black or brown. Wood poles or standards shall not be permitted.
- (4) Each sign permit application for the pole sign shall be accompanied by the certification of a professional architect or engineer that the proposed sign meets all applicable structural safety standards.
- (5) The sign area of the pole sign shall not exceed 120 square feet.
- (6) Electronic message signs may be permitted on the pole sign provided:
 - A. The message area for an electronic message sign shall not exceed 20 percent of the allowable for the pole sign.
 - B. Light emitted from the electronic message sign shall be limited to a single illuminated color of sign message on a non-illuminated background color.
 - C. The electronic message sign meets all other standards as established in Section 1281.09(a)(3)E.
- (7) Such sign shall be set back a distance of at least 8 feet from all public rights-of-way, and shall not be permitted at any location where vehicular sight distances are adversely affected.

(c) Window Signs

- (1) Window signs shall not require a sign permit but must comply with the requirements of this section.

- (2) Window signs shall not occupy more than:
 - A. 50 percent of the window area in commercial and industrial zoning districts; or
 - B. 25 percent in any district subject to the Architectural Sign Overlay District.
- (3) The sign area is based on the total window area, regardless of the presence of an awning. Window areas separated by piers, architectural elements, or similar features that are not glass or window framing or support shall be considered separate and distinct window areas. See Figure 1281-10.



Figure 1281-10: The window area is illustrated within the dashed line area for the two storefronts in the above image. The dashed lines highlight two separate window areas due to the separation by an architectural feature not related to the windows.

- (4) Window signs may be temporarily or permanently attached to the window surface.
 - (5) The sign area of window signs shall not be counted as part of any other sign allowance in this chapter.
 - (6) Window signs are not permitted in any window of a space used for residential uses or purposes unless allowed as a temporary sign in accordance with Section 1281.10.
 - (7) Window signs shall not be illuminated except when illuminated by an external lighting source or up to one square foot of window signage may be internally illuminated provided there is no blinking, flashing, or other movement of the lighting source.
- (d) **Drive-Through Facility Signs**
- (1) Drive-through facility signs shall only be permitted in commercial and industrial zoning districts.
 - (2) One drive-through facility sign shall be allowed for each stacking lane in a drive-through facility provided the total aggregate sign area of all ground signs associated with each drive-through facility does not exceed 72 square feet. In no case shall a single drive-through facility sign exceed 36 square feet in sign area.
 - (3) Such signs shall be oriented so as to only be visible to occupants of vehicles in the stacking lanes of the drive-through facility.
 - (4) No drive-through facility sign under this section shall exceed six feet in height measured from the grade of the adjacent driving surface to the top of the sign.
 - (5) Drive-through facility signs may be internally or externally illuminated. Up to 100 percent of each sign may be an electronic message sign if they comply with the following standards:
 - A. Any message change shall be a static, instant message change.

- B. Only Light Emitting Diodes (LED) technology or similar quality signs shall be permitted for electronic message signs.
 - C. The electronic message sign shall come equipped with an automatic dimming photocell, which automatically adjusts the display's brightness based on ambient light conditions.
 - D. The electronic message sign shall be turned off during the hours when the related business is closed.
- (6) There shall be no maximum drive-through facility sign area in instances where the signs are fully screened from view of any public street or adjacent residential use.
 - (7) The sign area of drive-through facility signs shall not be counted as part of any other sign allowance in this chapter.
 - (8) Drive-through facility signs attached to a wall of building shall be calculated as part of the building signage allowance in Section [1281.09\(a\)\(2\)](#).

(e) Driveway Signs

- (1) Driveway signs are only permitted in commercial and industrial zoning districts. Driveway shall also be permitted in residential zoning districts only when permitted as part of a permitted nonresidential use.
- (2) A maximum of two signs shall be permitted for any one driveway.
- (3) Driveway signs shall be set back at least five feet from all lot lines but in no case shall the sign be set back more than 25 feet from the edge of the driveway where it intersects with the public street.
- (4) Each driveway sign shall not exceed four square feet in area and three feet in height.
- (5) Driveway signs may be internally or externally illuminated.
- (6) The sign area of driveway signs shall not be counted as part of any other sign allowance in this chapter.

(f) Permanent Signs at Entries

Permanent signs may be permitted within a residential subdivision with more than 25 lots, a multi-family development with over 25 units, a nonresidential subdivision with more than 10 acres, or for large, nonresidential multi-tenant buildings on a single lot with more than 10 acres in accordance with the provisions of this section.

- (1) The placement and allocation of the permanent sign shall be reviewed and decided upon during the subdivision platting process or as part of a site plan review, whichever is applicable and/or comes first where both are required. A sign permit shall be required for the installation and/or any changes to the signs in accordance with this chapter.
- (2) A satisfactory performance guarantee must be posted with the City, where required for subdivisions, assuring completion of the public improvements in the development.
- (3) One permanent ground sign shall be permitted for each subdivision or development where such signs are permitted. The Planning Commission may permit additional signs if the subdivision or development has separate access points off of a collector or arterial road.
- (4) The sign shall be located within 150 feet of an entrance point into the subdivision or development.
- (5) The sign may be located in the right-of-way upon written approval of the specific size, design and location by the City Engineer and if such location is significantly more beneficial to the public interest than any location on private property.

- (6) The maximum sign area shall be 40 square feet if the adjacent thoroughfare has a speed limit of less than 40 miles per hour or a maximum sign area of 60 square feet where the adjacent thoroughfare has a speed limit of 40 miles per hour or greater.
- (7) The maximum sign height shall be six feet in residential zoning districts and 10 feet in nonresidential zoning districts
- (8) The subdivision plat or site plan shall include the location of the sign and how the sign area shall be allocated to individual lots or tenants for nonresidential development.
- (9) Signs permitted under this section may be located on a lot with another freestanding sign as allowed in Section 1281.09(a) without reducing the amount of other signage allowed on the same lot in accordance with this chapter.
- (10) **Ground Sign Alternative**
 - A. Up to two wall signs may be permitted as an alternative to the permitted ground sign above.
 - B. The wall signs shall be mounted to a decorative wall or fence that generally runs parallel with the street and has a minimum length of 500 feet.
 - C. If an applicant proposes to use wall signs, no ground sign as allowed above, shall be permitted.

1281.10 Temporary Sign Allowances

The following are the types of temporary signs allowed in the City of Springboro, including any applicable regulations for each type of sign.

(a) Standards Applicable to All Temporary Signs

- (1) Temporary signs shall not be mounted, attached, affixed, installed or otherwise secured in a manner that will make the sign a permanent sign.
- (2) No temporary sign shall be mounted, attached, affixed, installed or otherwise secured so as to protrude above the roofline of a structure.
- (3) Temporary signs shall not be posted in any place or in any manner that is injurious to public property including, but not limited to, rights-of-way, utility poles and public trees.
- (4) All temporary signs shall be secured in such a manner as to prevent swinging or other significantly noticeable movement resulting from the wind that could pose a danger to people, vehicles or structures.
- (5) Temporary signs shall be required to comply with applicable clear vision area requirements of Section 1262.08.
- (6) Unless otherwise specifically stated, temporary signs shall not be illuminated.
- (7) Banner signs shall not be subject to the maximum height requirements of this section provided they are not attached above any roofline.
- (8) No temporary sign shall require a foundation, support, wiring, fittings or elements that would traditionally require a building permit or electrical permit.
- (9) Temporary signs shall not be affixed to any permanent sign or permanent structure except when a banner sign is permitted to cover a permanent sign in accordance with Section 1281.10(d)(3) or when such sign is attached to the principal building as permitted in this chapter.
- (10) No streamers, spinning, flashing, windblown devices or similarly moving devices shall be allowed as part of or attachments to temporary signs.

- (11) Where a temporary sign is designed to have two sign faces (sidewalk signs or temporary yard signs), such sign faces shall be of the same size and mounted back-to-back. In the cases of an A-frame sidewalk sign, the sign faces shall be mounted back-to-back but may have an angular separation between faces to form the A-frame shape.
- (12) Temporary signs shall be constructed of a material that is substantial enough to withstand typical winds and weather for the duration of the placement.
- (13) Because of the nature of materials typically used to construct temporary signs and to avoid the unsightliness of deteriorating signs and all safety concerns which accompany such a condition, temporary signs shall be removed or replaced when such sign is deteriorated.

(b) Temporary Signs without a Commercial Message

Temporary signs without a commercial message do not require a sign permit provided they comply with the following standards:

- (1) Such signs shall comply with the standards that apply to all temporary signs in Section [1281.10\(a\)](#) above.
- (2) Such signs shall be limited to temporary window signs (i.e., not permanently affixed to the window), banner signs, or temporary yard signs.
- (3) The maximum height of temporary signs without commercial message shall be six feet unless:
 - A. It is a banner sign mounted to a structure, in which case, the banner sign shall not be mounted above the roofline or the top of the structure; or
 - B. The applicable zoning district allows for taller permanent ground signs, in which case, the temporary signs shall not exceed the height of the maximum height allowed ground signs in the applicable zoning district.
- (4) Banner signs without a commercial message may be attached to a building, fence, or other similar permanent structure.
- (5) There shall be no limitation on the number or size of temporary signs without a commercial message.

(c) Additional Temporary Signs in Residential Zoning Districts

In addition to the temporary signs permitted in Section [1281.10\(b\)](#), temporary signs with a commercial message shall be permitted on any single lot in a residential zoning district in accordance with the following:

- (1) The signs are limited to temporary yard signs or signs posted in a window.
- (2) The maximum sign area for all temporary signs with a commercial message shall be 12 square feet with a maximum height of six feet. No single sign shall exceed six square feet in sign area.
- (3) There shall be no time limit established for these signs but such signs shall be removed if they are deteriorated.

(d) Additional Temporary Signs in Commercial and Industrial Zoning Districts and in the Architectural Sign Overlay District

In addition to the temporary signs permitted in Section [1281.10\(b\)](#), temporary sign with a commercial message shall be permitted on any single lot in a commercial or industrial zoning district, or in the Architectural Sign Overlay District, in accordance with this subsection.

(1) Sidewalk Signs

- A. Only one sidewalk sign is allowed for each business establishment and shall be located within five feet of the entrance of such business.

- B. The sidewalk sign shall be limited to an A-frame sidewalk sign or a T-frame sidewalk sign.
 - C. There shall be no time limitation for sidewalk signs with the exception that the sign shall only be placed outside during the hours of the establishment's operation.
 - D. Such signs shall not exceed 12 square feet in area with a maximum sign width of three feet and a maximum sign height of four feet.
 - E. The sign may be located on a public or private sidewalk or walkway provided it is placed on pavement and not in any landscaped areas. Additionally, such signs shall not be placed on pavement used for vehicles (e.g., driveways and parking lots).
 - F. The width and placement of the sign shall be such so that there shall be a minimum width of four feet of clear and passable sidewalk or walkway for pedestrians.
 - G. The sign must be freestanding and shall not be affixed, chained, anchored, or otherwise secured to the ground or to any pole, parking meter, tree, tree grate, fire hydrant, railing, or other structure.
 - H. The sign must not obstruct access to parking meters, bicycle racks and other features legally in the right-of-way.
 - I. The sign must not interfere with the opening of car doors in legal spaces, or with the operation of wheelchair lifts and ramps, cab stands, loading zones or bus stops.
 - J. The sign shall be internally weighted so that it is stable and windproof.
 - K. The City of Springboro shall be held harmless from any liability resulting from accident or injury caused by the placement and/or maintenance of such sign.
- (2) **Temporary Signs without Time Limits**
- The following temporary signs shall be permitted on any lot in a commercial or industrial zoning district, or on a lot in the Architectural Sign Overlay District:
- A. The maximum area of all temporary signs subject to this subsection shall be 32 square feet and no single sign shall exceed 16 square feet in sign area.
 - B. The maximum height shall be six feet.
 - C. The signs are limited to temporary yard signs, banner signs, or signs posted in a window.
 - D. There shall be no time limit established for these signs but such signs shall be removed if they are deteriorated.
- (3) **Temporary Signs Covering Permanent Signs**
- For zoning permit applications related to the establishment of a new use or change of use within an existing building, where there is existing permanent sign, a banner sign may be approved for up to 60 consecutive days to cover the existing permanent signs. Such banner sign shall not exceed the sign area of the permanent sign and shall require a sign permit.
- (4) **Other Temporary Sign Types Allowed with Time Limits**
- A. One additional temporary sign shall be permitted for each street frontage for a maximum of 30 days per each evenly timed quarter of the calendar year (January to March, April to June, July to September, and October to December).
 - B. The temporary sign shall require a sign permit.
 - C. The maximum sign area of any temporary sign shall be one-half of the permanent building sign area on the principal building or 36 square feet, whichever is less.
 - D. The sign may be a temporary yard sign or a banner sign.

1281.11 Nonconforming Signs

- (a) Any sign that was lawfully in existence at the time of the effective date of this ordinance, or amendment thereto, that does not conform to the provisions herein, shall be deemed lawfully nonconforming and may remain on a lot of record except as qualified below.
- (b) No lawful nonconforming sign shall be enlarged, extended, structurally altered, or reconstructed in any manner, except to bring it into full compliance with these regulations, except that these regulations shall not prohibit maintenance, minor repairs, or the replacement of the content of a sign provided there is no structural modification of its size, location or configuration.
- (c) A sign shall lose its lawful nonconforming status if any of the following occurs:
 - (1) If such sign is damaged to an amount exceeding 50 percent of the sign's replacement value, as determined by at least two sign companies requested to provide a quote by the City;
 - (2) The structure of the sign is altered in any form;
 - (3) The sign is relocated;
 - (4) The sign is nonconforming and the principal use of the property is voluntarily discontinued for a period of at least six months;
 - (5) The sign is defined as a temporary sign and has been in use for more than one year following the effective date of this amendment; or
 - (6) The nonconforming sign and its structure (including support and frame and panel) are determined by the City Manager, or their designee, to be unsafe or in violation of this code and are declared a nuisance.
- (d) Any sign that loses its legal nonconforming status must be brought into compliance with the provisions of this chapter and any other City laws and ordinances by an application for, and issuance of, a sign permit or by complete removal.
- (e) Failure to bring a sign into compliance after loss of a legal nonconformity status shall cause the sign to be considered an unlawful sign.

1281.12 Signs Associated with Nonconforming Land Uses

- (a) In the case of lawfully nonconforming land uses (such as a lawfully established business located in an area later zoned residential), the allowable sign area shall be that which would be in effect if the existing use were located in the most restrictive zoning district allowing such land use. Further, no new signs associated with nonconforming land uses shall be erected, except replacements which are the same or smaller in size than the sign being replaced.
- (b) In the event that a sign associated with a nonconforming land use is moved or replaced, its new location must conform to the setback requirements of the district in which it is located, as if it were a building.

1281.13 Administration and Enforcement Responsibility

- (a) The administration and initial enforcement of this chapter shall be the responsibility of the City Manager or any such municipal personnel as may be designated by the City Manager.
- (b) The City Prosecutor shall prosecute violators following the issuance of a citation.

1281.14 Sign Permit Application and Fees

- (a) No sign, except those listed in , shall be erected, installed or otherwise displayed in the City without a permit having been first obtained by application to the Building Inspection Division.
- (b) Permits shall not be required for normal maintenance or repair of an existing sign not involving structural design changes, or for message revisions which maintain conformity with this chapter. All sign permits are issued subject to the appeal provisions of Section [1281.15](#).

- (c) Permits shall bear a fee as set forth in Appendix A of Chapter 1464 of the Codified Ordinances. However, permits issued for signs already erected or displayed at the time of permit application shall bear twice the current fee. No fee shall be charged for signs that do not require a permit pursuant to this chapter.
- (d) Sign permits may also be subject to State of Ohio surcharges.
- (e) Sign permit applications may be made only by the owner or lessor for parcels occupied by more than one lessee, such as office buildings and shopping centers.
- (f) The City Manager, or their designee, may revoke a sign permit where there has been a violation of the provisions of this chapter or a misrepresentation of fact on the permit application. The City Manager, or their designee, shall issue a written statement with their decision, explaining the reasons for revocation.

1281.15 Appeals and Fees

- (a) Any written decision by the City Manager, or their designee under Section 1281.13 may be appealed to the Board of Zoning Appeals by any person directly and adversely affected, if such appeal is filed within 10 days after the date of the decision.
- (b) A properly filed application appealing the decision of the City Manager, or their designee, relative to the legality of a sign under this chapter shall stay all abatement action until a decision on that appeal is made by the Board of Zoning Appeals, except for removal of a hazardous sign under the provisions of Section 1281.06(f).
- (c) Applications for appeal shall bear the current fee set forth in Appendix A of Chapter 1464 of the Codified Ordinances, refundable if the appeal is granted in its entirety.

1281.16 Variances and Fees

- (a) A variance from any provision of this chapter, except sign area, may be granted by the Board of Zoning Appeals. A variance from any sign area provision may be granted by the Planning Commission. In either event, the variance shall only be granted where the strict interpretation of this chapter would create an unusual and unnecessary hardship on the property owner or occupant due to the unique location or physical characteristics of the property, if such variance would not adversely affect the public interest in any substantial manner, and if the relevant physical characteristics of the property were not caused by a current or previous owner or occupant. Intentional acts by an owner or occupant officially approved by the City of Springboro shall not act as a bar to the determination of a hardship.
- (b) In the event that a sign is established in violation of any provision of this chapter, no application for a variance allowing such sign shall be accepted, processed or reviewed by the Board of Zoning Appeals while the illegal sign remains in place.
- (c) Following disapproval by the Board of Zoning Appeals of an application or request for a variance, no subsequent application requesting the same variance shall be filed by any applicant, whether or not the same person, firm or corporation, until the expiration of 12 months after the disapproval.
- (d) Applications for variances shall bear the current nonrefundable fee set forth in Appendix A of Chapter 1464 of the Codified Ordinances.

1281.17 Administrative Interpretations and Applicant Appeals

- (a) The primary responsibility and authority for interpretation of this chapter rests with the City Manager, or their designee. When the City Manager, or their designee, finds that any section of this chapter is unclear, or when any applicant for a sign permit or person directly and adversely affected by the issuance of such permit files an appeal disputing the interpretation of the City Manager, or their designee, the Board of Zoning Appeals shall hear relevant arguments on the question, and shall render a decision. The following principles shall be applied when making interpretations:

- (1) This chapter is generally written in permissive language. Signs not specifically and expressly identified, defined and permitted by this chapter are prohibited.
 - (2) A sign will fall under at least one functional classification and at least one structural classification under the definitions of this chapter. Each sign must satisfy the regulations for all such classifications.
 - (3) Where two regulations are in conflict, the more specific shall prevail. Where neither regulation is more specific, the more restrictive shall prevail.
 - (4) Ambiguity should be resolved to maximize consistency among the provisions of the chapter, and effectuate their intent.
- (b) Requests by the City Manager, or their designee, to the Board of Zoning Appeals for interpretations, and appeals to the Board of Zoning Appeals of interpretations by the City Manager or designee from applicants or persons directly and adversely affected by the issuance of a permit, shall carry no fee.

1281.18 Substitution Clause

The commercial message sign area allowed for any sign permitted in this chapter may be substituted with a noncommercial message. A sign permit shall not be required for this substitution if there is no structural change to the sign.

1281.19 Reclassification of Signage

If the type of any sign that legally existed prior to the effective date of this amendment is reclassified by this amendment, such sign shall be classified as the sign type defined in Chapter 1290, and shall be subject to the applicable standards for such sign type from the effective date of this amendment. Such reclassification shall be regardless of any variances that were approved prior to the effective date of this amendment.

1281.20 Severability

Should any part of this chapter be found unenforceable by a court of competent jurisdiction, the remainder of this chapter shall remain in full force and effect to the extent not in conflict with the court's decision.

1281.21 Penalty

Whoever violates any provision of this chapter shall be guilty of a misdemeanor of the third degree. (Ord. O- 16-4. Passed 3-3-16.) A separate offense shall be deemed committed each day during or on which a violation or noncompliance occurs or continues. The owner or tenant of any building, structure, premises or part thereof, and any architect, builder, contractor, agent or other person who commits, participates in, assists in or maintains such violation, may each be found guilty of a separate offense and suffer the penalties provided in this section. Nothing contained in this section shall prevent the City from taking such other lawful action as is necessary to prevent or remedy any violation, including enforcement of the General Offenses Code (Part Six of the Code of Ordinances).

Definitions – To be Added to Chapter 1290

- (1) “Awning” means a shelter projecting from and supported by the exterior wall of a building constructed of non-rigid materials on a supporting framework.



Figure 1281-11: Examples of traditional awnings

- (2) “Building” means any improvement to real estate having a roof and requiring a foundation.
- (3) “Canopy” means a permanent structure made of cloth, metal or other material attached or unattached to a building for the purpose of providing shelter to patrons or automobiles, or as a decorative feature on a building wall. A canopy is not a completely enclosed structure but typically is supported by features other than the building façade (e.g., structural legs, building extensions, etc.).



Figure 1281-12: Example of a canopy and related sign

- (4) “Commercial Zoning Districts” means the O-R, O, LBD, HBD, CBD, UVD, ADD-1, and ED zoning districts.
- (5) “Commercial Message or Speech” means any sign, wording, logo or other representation that, directly or indirectly, names, advertises or calls attention to a business, product, service or other commercial activity.
- (6) “Dissolve” means a mode of changing a message on the display area of an electronic message sign where the first message gradually reduces intensity and the next message gradually increases intensity.
- (7) “Façade” means the exterior wall on the front, side, or rear elevation of the building regardless of whether the building side faces a street.
- (8) “Fade” means a mode of changing a message on the display area of an electronic message sign where the first message gradually appears to dissipate with the gradual appearance of the next message.

- (9) “Flag” means a sign composed of cloth, canvas, plastic, fabric or similar lightweight, non-rigid material that can be mounted to flagpole or a building-mounted post.
- (10) “Footcandle” means a unit of illumination produced on a surface, all points of which are one foot from a uniform point source of one candle.
- (11) “Hardship” means a situation in which the strict application of this chapter upon a specific property would result in a restriction on the use of such property which is inconsistent with the intent of this chapter, is likely to substantially and unjustifiably diminish the utility of the subject property, and was not caused or permitted by either the current property owner or the person currently in possession.
- (12) “Industrial Zoning Districts” means the M-1 and M-2 zoning districts.
- (13) “Parcel” means a single legal lot or multiple contiguous legal lots under the same legal ownership or possession, and under the same use.
- (14) “Residential Zoning Districts” means the R-1, R-2, and R-3 zoning districts.
- (15) “Sign” means any object, device, display or structure or part thereof situated outdoors or adjacent to the interior of a window or doorway that is used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location by any means including words, letters, pictures, logos, figures, designs, symbols, fixtures, colors, illumination or projected images.
- (16) “Sign, Air-Activated” means a sign, all or any part of, which is designed to be moved by action of forced air so as to make the sign appear to be animated or otherwise have motion.
- (17) “Sign Area” means the entire display area of a sign including any sign copy located on one or more sign faces and any framing, trim and molding, but not including the supporting structure as measured pursuant to Section [1281.03\(e\)](#).
- (18) “Sign Face” means any surface of a sign having a message in the form of words, numbers, graphics or symbols, whether or not divided into multiple sections identifying or advertising different tenants, vendors or products. The term “face” in this chapter shall also mean “sign face.”
- (19) “Sign, Animated” means any sign which by mechanical action or by flashing or alternating illumination or projection or by other means moves or appears to move. Unless otherwise provided for specifically in Section [1281.10](#), animated signs include, but are not limited to, balloons, pennants, flutter or teardrop flags, streamers and banners, with or without any sign copy. Animated signs do not include electronic message signs as allowed by this chapter.
- (20) “Sign, Awning” means any sign that is a part of or attached to an awning.
- (21) “Sign, Banner” means a temporary sign composed of cloth, canvas, plastic, fabric or similar lightweight, non-rigid material that can be mounted to a structure with cord, rope, cable, or a similar method. Banner signs attached to posts and mounted in a yard or landscaped area shall be considered a “temporary yard sign.”
- (22) “Sign, Balloon” means a sign that is an air inflated object, which may be of various shapes, made of flexible fabric, resting on the ground or a structure, and equipped with a portable blower motor that provides a constant flow of air into the device. Balloon signs are restrained, attached or held in place by a cord, rope, cable, or similar method. See also the definition for air-activated sign.
- (23) “Sign, Building” means any sign attached to a building including wall signs, awning signs, canopy signs, and projecting signs.
- (24) “Sign, Canopy” means any sign that is a part of or attached to a canopy.
- (25) “Sign, Double-Faced” means a sign with two faces mounted back-to-back.
- (26) “Sign, Drive-Through Facility” means any signage allocated along a drive-through lane that is oriented toward the customer or user in the drive-through lane.

- (27) “Sign, Driveway” means a small permanent sign located near driveway access points and/or at the intersection of internal access drives.
- (28) “Sign, Electronic Message” means a sign designed so that the characters, letter or illustrations can be changed or rearranged automatically on a lampbank or through mechanical means (e.g., electronic or digital signs) wherein the sequence of messages and the rate of change is electronically programmed and can be modified by electronic processes. See also “animated sign”.
- (29) “Sign, Freestanding” means any sign supported upon the ground by a monument, pedestal, pole, bracing, or other permanent measure and not attached to any building.
- (30) “Sign, Ground” means any sign attached to or resting upon the ground, typically on a monument or pedestal structure. Ground signs are a form of a “freestanding signs.”
- (31) “Sign, Hazardous” means any sign which by its location, design or construction creates or contributes to a health or safety hazard, even though such sign may be in conformance with this chapter in all other respects. Any sign not conforming to the requirements of the Ohio Building Code (OBC) and the National Electrical Code (NFPA-70) or any other applicable structural or safety regulations is per se hazardous. Failure of the applicant to provide a certification of compliance from an Ohio professional engineer or architect upon request will result in a determination that a sign is hazardous.
- (32) “Sign, Mobile” means a sign painted on or affixed to motor vehicles, or to open or enclosed trailers, designed and licensed for transportation of cargo on the public streets.
- (33) “Sign, Multi-Faced” means a sign with three or more faces.
- (34) “Sign, Nonconforming” means any sign that was erected legally prior to the adoption of this amendment, but which does not comply with subsequently enacted sign restrictions and regulations, or other applicable code requirements.
- (35) “Sign, Obsolete” means a sign that is in poor structural or aesthetic condition due to damage, deterioration or lack of proper maintenance.
- (36) “Sign, Permanent” means any sign designed to be permanently attached to a structure or to the ground, which is permitted to remain in place for an unlimited period of time.
- (37) “Sign, Pole” means any permanent freestanding sign supported by one or more uprights, poles or braces placed in or upon the ground surface and not attached to any building.
- (38) “Sign, Portable” means any sign that is designed to be or capable of being moved or transported, and not permanently affixed or attached to any building, structure, or grounds. A “portable sign” does not include “sidewalk signs.”
- (39) “Sign, Projecting” means a sign that is affixed perpendicular to a building or wall and extends more than six inches beyond the face of such building or wall and the lowest point of which sign is not less than eight feet above the sidewalk or ground level.
- (40) “Sign, Roof” means a sign erected or maintained in whole or in part upon, against, or directly above the roof or parapet line of a building.
- (41) “Sign, Soffit” means a sign suspended from the soffit of a roof or building overhang.
- (42) “Sign, Sidewalk” means a temporary sign that may be placed on the sidewalk, in the public right-of-way or on a private sidewalk/walkway, during business hours in accordance with this chapter and which may include an “A-frame sign” or a “T-frame sign” as defined below:
 - A. “Sign, A-Frame” means a freestanding temporary sign that is ordinarily in the shape of an “A” or some variation thereof, which is readily moveable, and is not permanently attached to the ground or any structure.
 - B. “Sign, T-Frame” means a freestanding temporary sign that is ordinarily in the shape of an upside down “T” or some variation thereof, which is readily moveable, and is not permanently attached to the ground or any structure.

- (43) “Sign, Temporary” means a sign that is neither permanently anchored to the ground, nor permanently affixed to a structure, nor mounted on a chassis, and intended for a limited period of display.
- (44) “Sign, Temporary Yard” means a temporary sign that is placed in a yard, grass, or other landscaped areas that requires two posts or supporting elements. Banner signs mounted on two posts and placed in a yard shall be defined as a temporary yard sign. Additional any temporary sign supported by a single post shall not be defined as a temporary yard sign.
- (45) “Sign, Wall” means a sign attached directly to an exterior wall of a building and which does not extend more than six inches from nor above the roof line or beyond the limits of the outside wall, with the exposed face of the sign in a plane parallel to the building wall.
- (46) “Sign, Window” means a sign attached to, in contact with, placed upon or painted on the window or door of a building which is intended for viewing from the outside of such building. This does not include merchandise located in a window.

Additional Changes Needed in Other Sections of the Zoning Code

Shown in redline format.

Section 1264.33: Home Occupations

(c) **Exterior.** There shall be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation other than the placement of one sign on the dwelling in accordance with Section 1281.04(e) ~~one sign, not exceeding 4 square feet in area, non-illuminated and mounted flat against the wall of the principal building.~~

Section 1264.35: Outdoor Dining

~~(f) **Signs.** Signs are not allowed in the outside table service area with the exception of a menu sign.~~

Section 1268.01 (f)(6) Signs (ADD-1 Austin Development District 1)

Consistent business signage is necessary for ease of way finding and visual continuity. Low profile ground signs, rather than pole or pylon signs, shall be used throughout Austin Center. Such signs should be integrated into the overall site design, consistent in architectural style with the building it advertises. Chapter 1281 of the Codified Ordinances shall control the specific sign requirements with following additional provisions:

~~A. **Prohibited Signs.** Roofs signs, pole signs, pylon signs, and billboards and highway signs are prohibited.~~

~~B.A.~~ **Ground Sign Requirements.** Ground signs shall be subject to the general ground sign design regulations of Section 1281.09(a)(3). Ground lighting should be flush with the grade or obscured by landscaping. Internally illuminated ground signs are discouraged.

~~C.B.~~ **Signature wall sign-I-75 Building Frontage Wall Sign:** In addition to the building signage allowances of Section 1281.09(a), one additional wall sign may be permitted. ~~One signature wall sign is permitted~~ at the top of the building wall that faces I-75, provided that such sign does not extend beyond the roof line or exceed ~~4~~ one square feet in sign area for ~~4~~ one lineal foot of building frontage, not to exceed 150 square feet in area.

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Email Address	larry@dillincorp.com	mpione@berror.com
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Telephone No. () _____

Proposed Use: Mixed Use Development per provided plans and supporting documents.

(Date) _____

Larry Dillin

Printed Name

January 29, 2021

City of Springboro
320 W Central Ave
Springboro, OH 45066

From: Hall, Rebecca
CC: Pozzuto, Chris;
Boron, Dan

To Whom It May Concern,

This letter is to confirm that Larry B. Dillin or his agent is duly authorized by Ted and Rebecca Hall Living Trust, an Owner of the referenced Property, to make application with the City of Springboro for rezoning approval and other regulatory approvals as necessary for the proposed development to be implemented on the Property as identified in exhibit A.

If you should have any questions regarding this matter, please do not hesitate to contact me at the number listed below.

Thank you for your efforts in this matter.

Very truly yours,

Rebecca A. Hall

Rebecca A. Hall
Trustee, Ted and Rebecca Hall Living Trust
Phone: 937.748.0698

State of Ohio
County of Warren

This record was signed and sworn before me on JANUARY 29, 2021 by
REBECCA A. HALL.

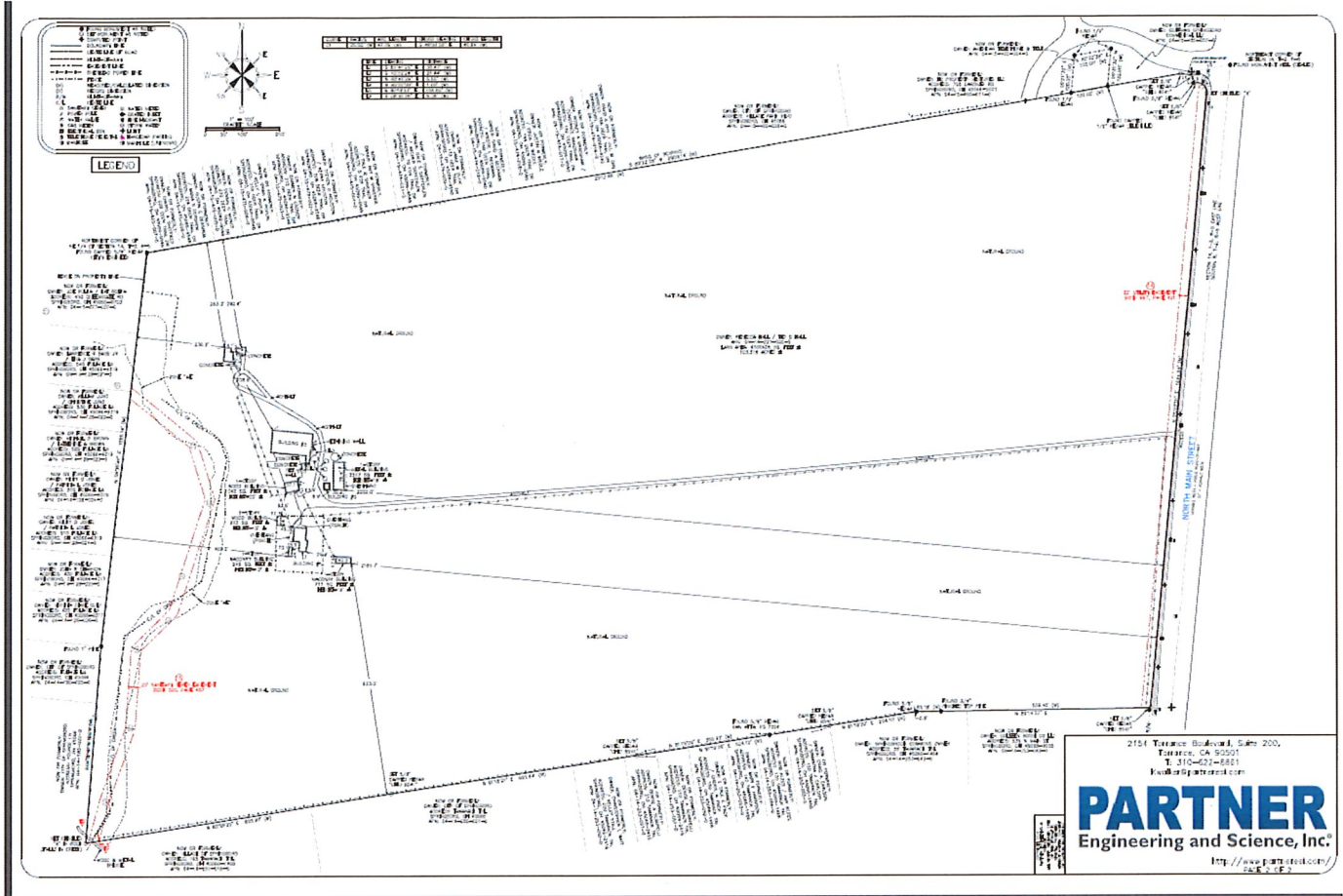


KAREN RILEY
NOTARY PUBLIC
STATE OF OHIO
Comm. Expires 08-04-2023
Recorded in
Montgomery County

Karen Riley

Notary Signature

Exhibit A



Easton Farm

General Statement

Easton Farm looks to develop a new in-town neighborhood on the historic 'Easton Farm' site in the City of Springboro Ohio, located on the west side of Main Street (State Route 741), between Anna Drive and Gardner Park to the north, and North Park and Tamarack Trail on the south.

The Easton Farm concept takes inspiration from the townscapes of small, historic Ohio villages, while incorporating updated ideas for streetscapes, parks, open spaces and connective pathways as a platform for a variety of market-rate residences and a mixed-use commercial district facing Main Street.

The residences within these new neighborhoods are scaled to the street, with most featuring garages placed along mid-block service ways that are landscaped, thereby eliminating multiple front driveways and allowing for a series of un-interrupted sidewalks, bike paths, greenways, interspersed with community amenities that encourage pedestrian interconnection and walkability both within The Easton Farm site, and through to the adjacent city parks and neighborhoods.

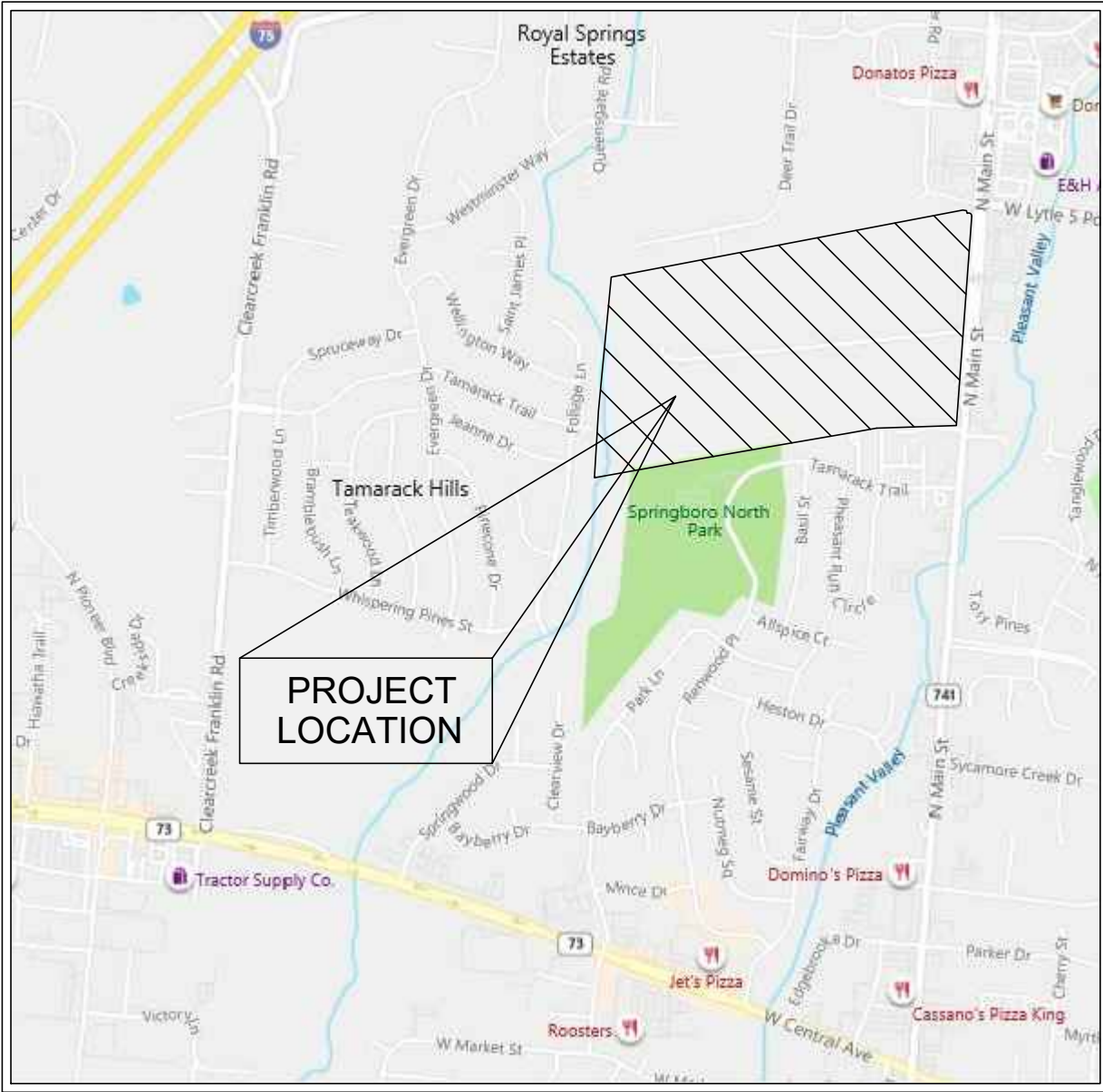
These interconnected green spaces and pathways are designed to connect to smaller internal neighborhood parks and open spaces that are judiciously placed throughout The Easton Farm, and will feature play areas, shade structures, seating areas, dog parks and significant passive, and well-landscaped green spaces. Tree-lined streets will connect these residential neighborhoods to the mixed-use district close to Main Street and to its retail, restaurant, office, central park, and service offerings.



EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

ADJACENT PROPERTY OWNERS

- (1) CITY OF SPRINGBORO
- (2) CVS 6139 OH LLC
- (3) KEYBANK NATIONAL ASSOCIATION
- (4) SETTLERS STATION INVESTMENTS LLC
- (5) PNC NATIONAL BANK LLC
- (6) MIAMI VALLEY HOSPITAL, REAL ESTATE SERVICE
- (7) 7FOR 1 LLC
- (8) STORES RESERVE INVESTMENT
- (9) EDDI & JUDITH LAWSON
- (10) SPRINGBORO OFFICE PARK LLC
- (11) RAJ KULKARNI
- (12) KEITH A HUELSMAN
- (13) SABR INVESTMENTS LTD
- (14) SPRINGBORO OFFICE PARK LLC
- (15) MENISKY INVESTMENTS LLC
- (16) GARY & JULIE BEALL
- (17) RAINBORO RASCAL S SPRINGBORO LLC
- (18) COLLEEN BOSSI CO LLC
- (19) SPRINGBROOK COMMONS
- (20) KATHRYN M TRICK
- (21) CARL D CHENOWETH
- (22) JUANITA COLLINS
- (23) ASHLEY RUTLEDGE
- (24) SPRINGBROOK COMMONS
- (25) JOHN F EMERSON
- (26) BILLIE A BIRCHFIELD
- (27) IONA C GILFILLEN TRUSTEE
- (28) CONNIE S LERAAS
- (29) SPRINGBROOK COMMONS
- (30) KATHY E JOHNSON
- (31) ARTHUR A GRIFFIN
- (32) JEFF & ALISON C JOHNSON
- (33) VARILLA BALDRIDGE
- (34) SPRINGBROOK COMMONS
- (35) GLENNA K & DAVID M BROWN
- (36) CHERI G & SALVATORE DALTON
- (37) ALFRED & MILDRED FIELDS
- (38) MICHAEL J WIMMER
- (39) SPRINGBORO COMMONS
- (40) RICHARD T & MARY L LAWTON
- (41) ANGELA D HICKS
- (42) STEPHEN J & MY-KHA D BALEK
- (43) CRAIG A & SAMANTHA J CARLSON
- (44) ROB & AMY KLEES
- (45) MARY E HARRISON
- (46) DALE E & CHERYL R PACK
- (47) DENISE A SCARPELLI
- (48) CHISTOPHER L WATT & KELLYE TALL
- (49) CITY OF SPRINGBORO
- (50) CITY OF SPRINGBORO
- (51) CITY OF SPRINGBORO
- (52) CITY OF SPRINGBORO
- (53) TAMMY P TEMPLE
- (54) JEFFERY D & ANGELA J NEWSON
- (55) MATTHEW T & DIECK CHELSEA BRANNAN
- (56) MARSHAL Q & MARIA C QUEBATAY
- (57) JEAN M DONAGHY
- (58) MARK D & SHEILA ELLIOTT
- (59) MICHAEL L & REBECCA WEBBER
- (60) CITY OF SPRINGBORO
- (61) CITY OF SPRINGBORO
- (62) LAURA D BANFORD
- (63) ROBERT J J & KRISTIN H MILLER
- (64) MICHAEL A GREINER
- (65) DANIEL J & DEBORAH A RICHARDSON
- (66) THOMAS M & LOIS BARATKO
- (67) SAI QIN & YANG WEN ZHU
- (68) ANDREW B & YANG JIA TERPSTA
- (69) GREGORY K & TAMMY J GUSTIN
- (70) BENJAMIN & BARBARA BELL
- (71) DEBORAH L HENSON
- (72) DOUGLAS J WIEDEMAN
- (73) GREGORY K & CHARLOTTE ALBERS
- (74) LEE ANN & ROBERT RUTLEDGE
- (75) LEE ANN & ROBERT RUTLEDGE
- (76) VIRGINIA D GRAY & DAVID CULP TRUSTEES
- (77) JOHN R SHANNON
- (78) RICKY D & PATRICIA L JONES
- (79) MICHAEL D & KATHERINE A BROWN
- (80) WILLIAM & CHRISTINE JUNG
- (81) LAWRENCE R JR & LISA J BABB
- (82) CRAIG & RENEE JOLLEY
- (83) JAMES G & LEANA STATION
- (84) KEVIN L & ROCHEL HOUSER
- (85) JOE & KATHY ROLKA TRUSTEES
- (86) JOE & KATHY ROLKA TRUSTEES
- (87) LYNN D JOHNSON
- (88) AARON & JENNIFER LAMBERT
- (89) JAMES L JR & STACEY R LANE
- (90) ADRIENNE L SLUGA & DONALD CUMMINGS
- (91) MICHAEL P & KRISTINE VANSOY
- (92) RODNEY E MARGARET A KNIGHT
- (93) CHADWICK A & LESLIE M SCHROCK
- (94) MICHAEL L TYRCHNIEWICZ
- (95) ROBERT J & MARIE VIGAR
- (96) MICHAEL & BARBARA
- (97) MARK & LINDA R NELSON
- (98) SAUNDRA L FLAYLER
- (99) NEAL E KENNEDY TRUSTEE
- (100) CHERYL A SHEFFIELD
- (101) DUSTIN G MARIA S DERSHEM
- (102) DENNIS C MUNDT
- (103) BRIAN K & KELLY L POPLIN
- (104) CARMEN N CASSIDY
- (105) STEVEN D & KERRY HOUSTON
- (106) AMY M & DALE R SHIVENER
- (107) DALE S & ARCHER SEIFFERLEN
- (108) JAMIE M DUCK
- (109) DAVID A & KRISTIE L BECKMAN
- (110) JUSTIN R & ERICA N WIEDLE
- (111) RODNEY A & CONSTANCE BRADSHAW
- (112) DAVID A & JILL M OHS
- (113) ERIN M & ERIC P WEIMER
- (114) CHRISTOPHER K SCHNEIDER
- (115) CITY OF SPRINGBORO
- (116) HP PROPERTY VENTURES LLC
- (117) VILLAGE PARK OFFICE COMMO
- (118) COFFMAN SPRINGBOR COMMERCIAL LLC
- (119) AT&T TAX DEPTMENT
- (120) NOVO SOH LLC
- (121) CARL D CHENOWETH
- (122) ERIC B & ALYSSA A GIBBONS
- (123) LORA & GOTTEE II JAMES
- (124) BADREDDINE IKHLEF
- (125) CITY OF SPRINGBORO



VICINITY MAP
NO SCALE



SITE SUMMARY

EXISTING ZONING:	R-1
PROPOSED ZONING:	PUD-MU
ACREAGE:	
RESIDENTIAL	74.44 AC
MULTI-FAMILY	10.12 AC
MIXED USE	18.75 AC
TOTAL	103.31 AC
RESIDENTIAL	
UNIT COUNT	98 LOTS
31' LOTS	122 LOTS
110' LOTS	13 LOTS
TOWNHOMES	18 UNITS
HOMESTEAD	2 HOUSES
TOTAL	253 UNITS
DENSITY	3.4 UNITS PER ACRE
COMMON SPACE	
PUBLIC	12.66 ACRES
PRIVATE (LOT 1)	14.73 ACRES
TOTAL	27.39 ACRES (36.8%)
MUTH-FAMILY LOT	
UNIT COUNT	324 UNITS
DENSITY	32.0 UNITS PER ACRE
RETAIL/RESTAURANT	9,500 SF
COMMON SPACE	3.00 ACRES (29.6%)
MIXED USE LOT	
USE	
INDEPENDENT LIVING	113 UNITS
COMMERCIAL BUILDING 1	15,400 SF
COMMERCIAL BUILDING 2	22,500 SF
FIRE STATION	8,000 SF
OUTLOTS	16,800 SF
ASSISTED LIVING & MEMORY CARE	84,400 SF

AREA MAP

OWNER

REBECCA & TED D HALL
605 N MAIN STREET
SPRINGBORO, OHIO 45066

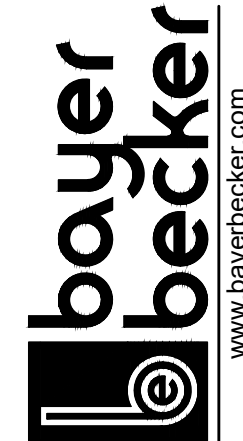
ENGINEER/SURVEYOR

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040
PH: (513)336-6600

DEVELOPER

EASTON FARM PARTNERS
985 NORTH MAIN STREET, SUITE 200
COLUMBUS, OHIO 43201
PH: (614)389-5916

EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



Drawing: 20-0225 LAYOUT PUD

Drawn by: GJK

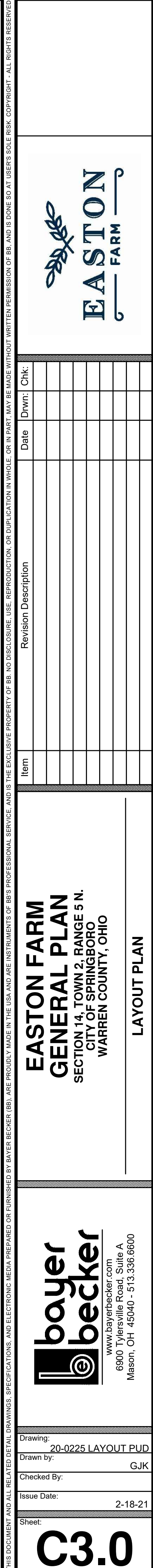
Checked by:

Issue Date: 2-18-21

Sheet:

C1.0

Common Space		
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E	35556	
F	5439	
I	1650	
H	1650	
J	1650	
K	1725	



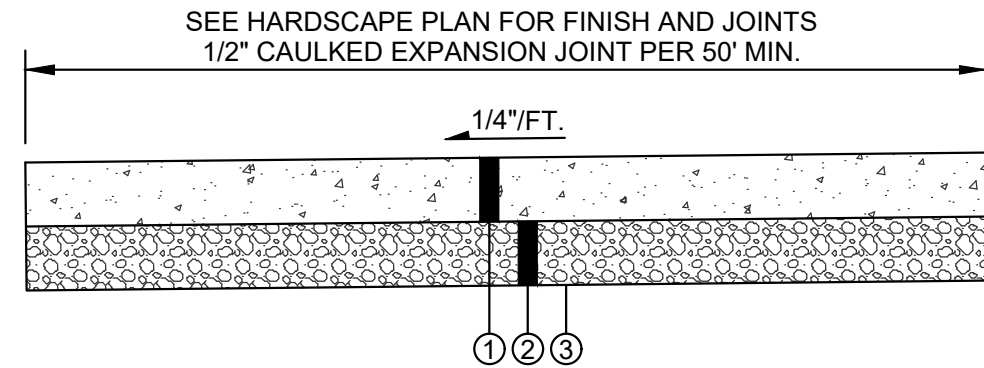
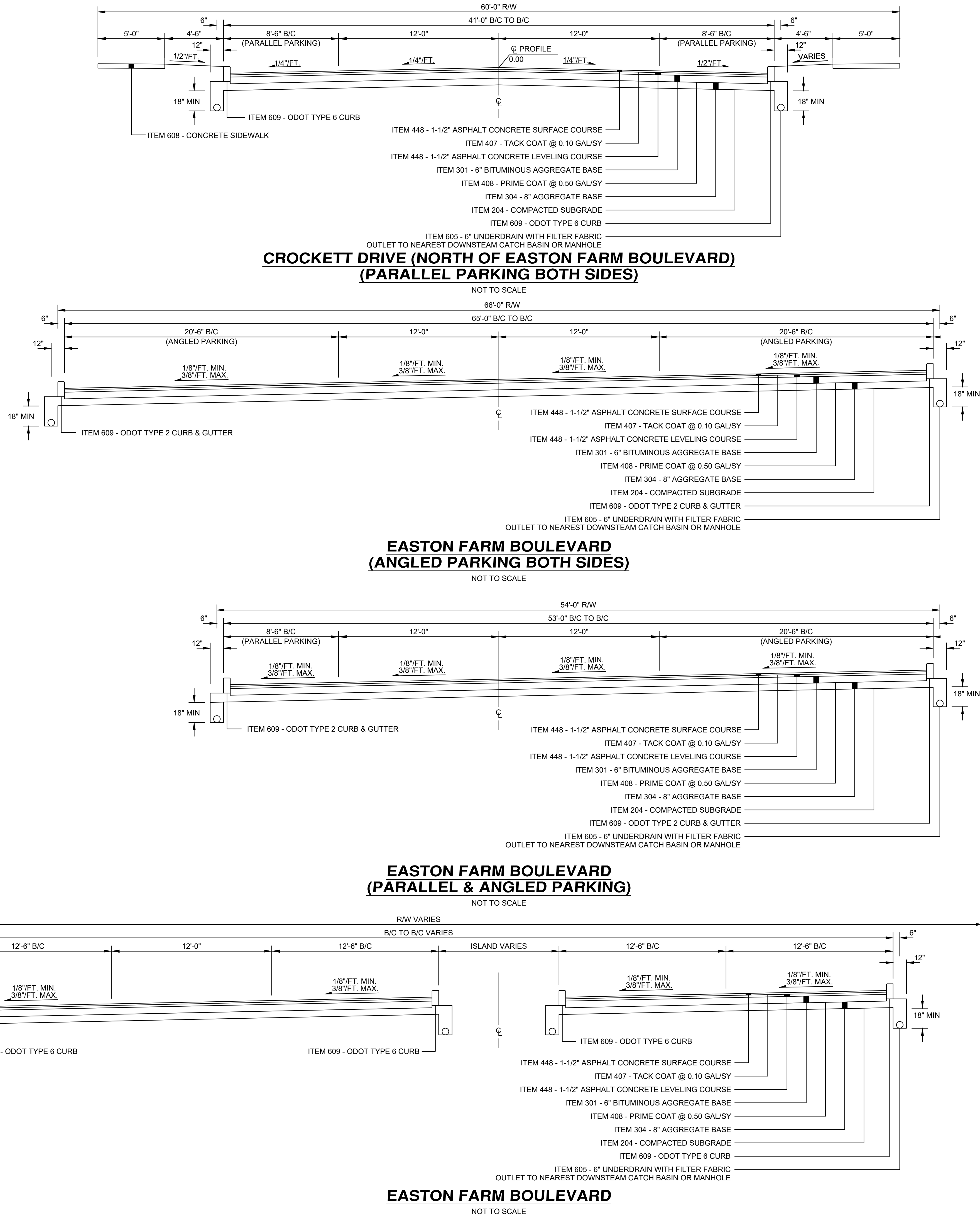
CROCKETT DRIVE
(PARALLEL PARKING BOTH SIDES)

CROCKETT DRIVE
(ON STREET PARKING ONE SIDE)

CROCKETT DRIVE
(PARALLEL PARKING BOTH SIDES)

CROCKETT DRIVE
(ON STREET PARKING ONE SIDE)

Plot time: Feb 17, 2021 - 3:55pm
Drawing name: J:\2020\20-0225\PLDWG\20-0225 Layout PUD.dwg - Layout Tab: C5.0 Typical Sections



COMMERCIAL SIDEWALK TYPICAL SECTION

NOT TO SCALE

NOTE: SIDEWALK JOISTS SHALL BE IN ACCORDANCE WITH ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE ARCHITECTURAL PLANS.

- ① ITEM 608 - 4" CLASS C
- ② ITEM 304 - 4" AGGREGATE BASE (CRUSHED AGGREGATE BASE COST TO BE INCLUDED IN THE PRICE FOR ITEM 608, SIDEWALK, SQ. FT.
- ③ ITEM 204 - SUBGRADE COMPACTION

EASTON FARM

EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

TYPICAL STREET SECTIONS

bayer becker
www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 20-0225 LAYOUT PUD
Drawn by: GJK
Checked by:
Issue Date: 2-18-21
Sheet:

C5.2



EASTON
FARM

February 2021

EASTON FARM
DESIGN GUIDELINES
SPRINGBORO, OHIO

Dillin



BORROR

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PROJECT INTRODUCTION

Easton Farm looks to develop a new in-town neighborhood on the historic 'Easton Farm' site in the City of Springboro Ohio, located on the west side of State Route 741, between Anna Drive and Gardner Park to the north, and North Park and Tamarack Trail on the south.

The Easton Farm concept takes inspiration from the townscapes of small, historic Ohio villages, while incorporating updated ideas for streetscapes, parks, open spaces and connective pathways as a platform for a variety of market-rate residences and a mixed-use commercial district facing Route 741.

The residences within these new neighborhoods are scaled to the street, with most featuring garages placed along mid-block service ways that are landscaped,

thereby eliminating multiple front driveways and allowing for a series of un-interrupted sidewalks, bike paths, greenways, interspersed with community amenities that encourage pedestrian interconnection and walkability both within The Easton Farm site, and through to the adjacent city parks and neighborhoods.

These interconnected green spaces and pathways are designed to connect to smaller internal neighborhood parks and open spaces that are judiciously placed throughout The Easton Farm, and will feature play areas, shade structures, seating areas, dog parks and significant passive, and well-landscaped green spaces. Tree-lined streets will connect these residential neighborhoods to the mixed-use district close to S. R. 741 and to its retail, restaurant, office, central park, and service offerings.



Easton Farm
Illustrative Master Plan

MIXED USE NEIGHBORHOOD CENTER

The purpose of this Article is to allow for flexibility that will allow for the overall Easton Farm development to become a walkable, integrated mixed-use, in-town neighborhood with the following emphases:

- Building design criteria that allows for unified and creative interpretations of traditional and potentially more contemporary design vernaculars, motifs and building materials, provided the final design creates a visually complementary, integrated urban village environment;
- Residential and mixed-use neighborhoods, activity areas, and open space(s) crafted around a well-defined transportation/circulation network where pedestrian activity is strongly emphasized and judiciously integrated with vehicular streetscapes, service and parking areas;
- Identifying and locating market-driven retail, café, restaurant, personal care and/or business service offerings where they can best generate high pedestrian activity, along ground floor locations, below potential office space, hospitality, or residential units on upper floors;
- A site plan that can defines and accommodate options where commercial/retail, office, institutional and public spaces can optimally

be incorporated into the overall neighborhood fabric.

- Residential areas that are either built above, adjacent or within close/walkable proximity of new commercial uses, places of work or dedicated public open spaces and/or amenities;
- An emphasis on developing neighborhoods where new and existing residents and visitors can live, work and play, and interconnected with a multiuse path and linear park.

1. Allowable Occupancies

The following uses are permitted within the mixed-use neighborhood adjacent to S.R. 741:

- (a) Specialty retail including apparel, fashion accessories, home goods, sporting goods, hobbies, gifts, specialty packaged/prepared foods, large(r) footprint retail/anchors (potentially up to 35k s.f., temporary or 'pop-up' retail/vendors, kiosk-based retail/ food vendors, service businesses, personal service businesses, financial services, grocery and or specialty foods market (not to exceed 15k s.f.) personal care services (salons and spas), professional retail services (for example, florists/

printing/copying, dry cleaner, shoe repair, real estate/escrow, or similar).

- (b) Restaurants, cafés, bistros, nightclubs and bars
- (c) Offices and professional services, medical, dental, pet care, financial/ investment service offices, real estate, escrow/ title, educational, training facilities, schools and specialized academic tutoring operations.
- (d) Multi-family, multi-level residential, with potential for portions of it to be above retail, office or other first floor uses.
- (e) Senior Lifestyle, multi-family, multi-level residential including; 55+ Active Adult, Independent and/or Assisted Living, and Memory Care Facilities. A portion of any such development(s) may be located over ground level commercial and/ or covered parking depending on the specific site condition and location.
- (f) Entertainment and recreational venues
- (g) Theater, cinemas or live performance venues
- (h) Hospitality/hotel
- (i) Conference and meeting facilities.
- (j) Parking, including street and surface lots/garages
- (k) Public and Institutional uses
- (l) Accessory structure uses
- (m) Open Spaces and Event spaces
- (n) Other, as approved by the Master Developer and the City consistent with goals set forth in this text.
- (o) Mixed Use - Ground Floor Uses: The ground floor of buildings in the mixed-use Retail/Commercial neighborhood shall be restricted to retail business, restaurants/bars, cafés, personal care services, professional services, and other uses that tend to encourage street level pedestrian-oriented activity. The

Master Developer and City will work to encourage storefront designs that create a vibrant, pedestrian oriented, neighborhood environment.

- (p) Mixed-Use - Upper Level Floor Uses: Offices, hospitality, medical, and/or residential uses in the Multiple Use Retail/ Commercial Area buildings should be encouraged on any or all upper floors of the building where feasible. There are no upper floor level use restrictions within the mixed-use areas, subject to Master Developer and City approval.
- (q) Public and Institutional Uses: The Property may include a mix of community and city buildings, meeting halls, libraries, post offices, schools, public recreational facilities, museums, performing arts centers or other uses permitted by the Master Developer and the City, and may be located within or adjacent to open spaces and parks

Where possible, civic uses should be sited and designed with key architectural features that help define its character, and/or to be at the end of street vista(s) or centered on an open space or plaza. Such uses may utilize shared parking, however any required off street parking shall be located in rear yards. Parking needs will be assessed by the Master Developer and City as part of any submission.

2. Lot Requirements

- (a) Lot requirements are defined in the following table based upon the usage classification indicated. The definitions for each classification appear below the table. If there is a question as to the appropriate usage classification for a user, the City will determine the most appropriate classification at its discretion.

USAGE							
	MINIMUM LOT WIDTH OR AREA	MINIMUM OPEN SPACE	FRONT YARD SETBACK	SUM OF SIDE YARD SETBACK ⁵	REAR YARD SETBACK	MAXIMUM OCCUPIED HEIGHT	MINIMUM OCCUPIED HEIGHT
Freestanding, Single Use Retail/Commercial Services ¹	50'	25% within the development	0'	0'	0'	2 stories	1 story
Multiple Use/Retail/Commercial Services ²	75'		0'	0'	0'	3 stories	1 story
Office ³	75'		0'	0'	0'	3 stories	1 story
Hospitality	75'		<10'	0'	Max 15'	4 stories	1 story
Multi Family Residential Areas ⁴	5,000 sf		<10'	0'	15'	4 stories	-
Single Family Attached	8-30 du/ac		<10'	0'	0'	4 stories (Roof deck only at level 4)	1 story
Multi-Family Attached	18-65 du/ac		<10'	0'	0'	4 stories	1 story
Accessory Structures	500 sf	-	-	-	-	2 stories	-

- Freestanding, Single Use Retail/Commercial Services (In 'pad' or 'lot' locations.)** These uses include: non-specialty retail, medium/large format 'anchors', commercial businesses, personal care services, pet care or veterinarian services, financial services, restaurants/ bars, cafés or specialty foods, educational services, automotive services, sales and/or repair, child daycare centers and other uses located on individual lots.
- Multiple Use Retail/Commercial Services.** Primary uses include specialty retail, apparel and/or accessories, home goods, gifts, medium or larger format general merchandise retailers including department stores, restaurants/bars, specialty foods, entertainment facilities, public services, retail service businesses, business and personal services, personal care services pet care or veterinarian services, small professional offices and/ or financial services, and educational services, to be built along a streetscape orientation that fosters a lively pedestrian atmosphere.
- Office.** Primary uses include professional offices and services, medical offices and/or laboratories, essential services including walk-in medical and/or pet care, and educational uses. Secondary uses may include live/work residential per the discretion of the City.
- Multi-Family Residential Area.** Area includes single-family attached dwellings, such as town houses or duplex units, multi-family attached dwellings, apartments and condominiums, assisted and/or independent living residences, senior housing, and live/work hybrid residential units. Lot widths, Maximum Occupied Height and Minimum Occupied Height are set forth separately for Single Family Attached and Multi-Family Attached units.
- Structure Setbacks.** To foster and create a series of traditionally inspired, urban-scaled, pedestrian oriented, walkable streetscape environments, within an integrated mixed-use, urban village district, no more than 50% of any Structure shall be set further back than the setback or build-to line location that fronts on a pedestrian walk area. Where setbacks do occur, they should be to create visual interest, break down scale and massing, and should not form a large break in the street wall effect, except to create a pocket for entries, arrivals, small public or semi-public gathering spaces, or to work around a service or operational requirement.

3. Site Development

In keeping with the design intent to create a series of integrated mixed-use neighborhoods, this section for public roads may vary from Springboro subdivision standards and shall be submitted for review and approval to the Master Developer and the City.

(a) **Street Design and Materials**

Beyond the likely predominant use of either conventional asphalt or concrete, The Easton Farm Architectural Guidelines strongly encourage incorporating differing specialty paving materials where appropriate and as accents in key locations. Such materials as brick, cobblestone, pavers, colored or infused concrete, stamped and colored asphalt pavement and/or other pavement products, to demarcate special pedestrian walk and/or activity zones, dual pedestrian/vehicular crossing areas, feature street surfaces, crosswalks, pathways, unique 'arrival' zones, plazas and entries. Where viable, such areas may be set to 'zero curb' elevations to facilitate ease of pedestrian use, and as a visual cue for traffic calming in these specific areas.

Such zones or feature streets may have vehicular and pedestrian areas segregated by use of either fixed or removable bollards that can be removed for programmed or promotional events. For specific site development areas within public roadways, pavement and substrate design must be based on calculations that anticipate future traffic conditions and must be submitted to and approved by the Master Developer and the City. Creation of roadways featuring landscaped islands, boulevards, arrival courts and roundabouts are also encouraged where feasible.



A pedestrian-friendly street using flush curbs, bollards, and richly textured materials to demarcate various spaces.



Street crossing emphasized with specialty paving and bollards.



A finely detailed arrival court serves as an interface between vehicular and pedestrian space.

(b) Street Right-of-Way (ROW)

The Easton Farm Conceptual Development Plan contains a series of right-of-way ("ROW") widths. All initial development will front on a first-phase series of streets that will become the primary access points into and through the development, from both S.R. 741 and Tamarack Trail. These roadways will vary in design depending on service level for that particular street or access way, service drive or entry.

There are five right-of-way widths, from a multi-lane, divided boulevard, to internal streets that accommodate a center turn lane, parallel parking on either side, to a one-way street, with both angle-in and parallel parking.

The key dimensions include travel lanes of twelve feet (12'), twenty-four foot (24') (face of curb to face of curb) two-lane roadways, and eighteen foot (18') one-way road lanes, parallel parking spaces at eight feet (8') wide (face of curb to edge of pavement), and a sidewalk/landscape area on each side of no less than twelve feet (12'), featuring a sidewalk of no less than six feet (6') on each side. The remaining areas on each side to be landscape buffer, up to either a building, setback line, landscape area, or adjacent building or property line.

Additional dimensional width is added for the following uses:

- For an additional parallel parking lane, add 8' feet width x 23' feet per space.
- For each additional travel lane and/or center turn lane, add twelve feet (12') for through lanes and ten feet (10') for turn lanes.
- To add angled-in parking on any one side, add an additional twenty feet (20') for angled parking and eighteen feet (18') for one-way drive aisles.

- The primary landscaped median areas in the center of two way boulevard entrances roadways shall be no less than ten feet (10') face of curb to face of curb. Current plan shows a portion of each entry median at Easton Way and S.R. 741 as concrete with a width that varies between three feet (3') and seven feet (7').

These dimensions ensure that streets developed within the mixed-use urban village are developed to help shorten/ make more secure pedestrian crossings and inhibit drivers from traveling at high speeds within and through the development/ neighborhoods.

For specific site development enhancements that do not fall within these basic ROW guidelines, such as roundabouts, arrival courts, and streetscape features (such as street furniture, water features, sculpture, accessory structure, hardscape/ landscape features) and/or in combination with on-street parking, deviation from these ROW requirements may be permitted, with the approval of the City. This will be assessed in context with a specific development's design intent, in context with any existing adjacent development, especially if any such deviation adds to the pedestrian experience of the Property.

(c) Utility Easements along Streets

All public street utility easements shall fit within planned street ROW's or in dedicated service lanes where possible, and are to be located under pavement, landscape and sidewalk areas as necessary. Deviation from this requirement will be considered by the Master Developer and City, and only for specific site conditions that prove a variation is necessary.

(d) **Street Radii Corner Radii & Clear Zones**

Corner curb radii shall be between eight feet (8') and twenty-five feet (25') as determined by the intended use (residential areas up to fifteen feet (15'), and mixed use areas up to twenty-five feet (25')). These tighter turning radii are intended to shorten pedestrian crossings and inhibit drivers from turning corners at high speeds. To allow emergency vehicles (e.g. fire ladder trucks) to turn corners, a twenty-five foot (25') radius Clear Zone may need to be established free of all vertical obstructions including but not limited to street lighting poles, decorative bollards, wayfinding signage, sign poles, fire hydrants, utility boxes, or dense vegetation landscaping or street trees. Curve and radius data and intersection details for public roads shall be submitted for review and approval to the Master Developer and the City. Where viable, the curve should also be used to create 'bump-out' landscape and pedestrian areas that cap rows of either parallel or angle-in parking spaces.

(e) **Utility and Equipment Locations**

All utility, telecommunication and landscape irrigation distribution lines shall be located underground preferably within street right-of-ways, with all visible, in-ground utility access boxes placed as to not interfere with building pads, sidewalks, pathways and other pedestrian zones, light poles, wayfinding, directional or other street signage, parking areas, landscaping other than trees. This would also include submitting integrated plan(s) prior to installation, from both the master developer and any other subsequent developer entity that needs to place such devices as to not be in conflict with any existing or prior proposed utility items.



Small corner curb radii reinforce pedestrian-friendly areas by shortening crossing distances and slowing cars.



Small turning radius reduces crosswalk distances, while larger turning radius is accommodated with bollards and a flush curb.



Utility cabinets should be placed discreetly (to the side or rear of building) and screened with plant materials.

This is to avoid redundant placement of light poles and fixtures or to avoid the potential to visually clutter or impede corners, sight lines, pedestrian ways or streetscapes. All utility providers and/or governmental agencies requiring similar placements for transformers, traffic control equipment, telecommunication pedestals, electrical cabinets, metering, exposed pipes and/or valves, and any other mechanical equipment or devices requiring above-ground placement in areas visible to the public and residents that are considered common areas, will also be required to submit and integrate with the master developer and any other adjacent private development entities. Any such fixtures and devices should be visually screened from and/or within public pedestrian and vehicular zones, preferably within landscape beds, landscaped parking 'islands' and/or landscape buffer areas.

- (f) **Utility and Equipment Screening**
All exposed structures requiring open-air locations, particularly rooftop mechanical/HVAC equipment, utility and/or other functional hardware, whether located atop, attached, or separated from the building it services, shall be adequately screened from public view. If atop a structure, these features shall be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than one hundred fifty feet (150'), or beyond any public facing elevation that can be viewed from any public view point, or from the highest public vista possible looking down onto such a roof structure. Screen devices shall be fabricated to match and/or enhance the overall architectural massing, with materials and colors harmonious with the overall building(s) or block where



Dumpster are completely screened on all sides. Wall and gate materials are consistent with the building architecture.



Screening of tenant equipment, such as trash receptacles, storage bins, and grease containers with an architectural fence.



Loading dock and compactor screened with a building wall and landscaping.

applicable.

All such devices are approved at the discretion of the Master Developer and the City. Where possible, such elements as generators, electrical and telecommunication cabinets should be set into lower grade areas, or within the building walls either open air or within a separated utility room or service area. Such features shall also be adequately screened by either screen walls or dense landscaping if they are in open area settings.

(g) **Service/Loading Area Screening**

All building and/or tenant back-of-house functions, such as trash containers, grease traps, recycling bins, compactors, or any other functional need, located outside of any interior lease area, shall be grouped in an approved common area/service zone(s), within individual blocks located within that specific development block and/or complex, and placed or screened as is practical from public view, preferably in rear, or side yard or interior service rooms.

Where exposed to public view, such service zones shall be adequately screened with architecturally complementary access doors and screen walls, and/or berms or dense landscaping.

Recessed and/or raised service docks that face any public streetscape or parking area, or visible at the rear of any building, shall be screened from any public right-of-way with screen walls and/or screen doors, of a height and scale that will adequately hide any service vehicles that may use such zones.

Screen wall, doors and/or roof enclosure

elements are to be constructed of materials, colors, trim and/ or patterns to mimic the primary architectural character of that particular building.

Exceptions are fully screened service zones, located between or surrounded by (or reasonably expected to be surrounded in the future by) other buildings and can provide service bay access that is not directly visible to public view. This would also include a roof or trellis element that screens the service bay from being seen from higher floors overlooking such zones.

Service entrances located at the rear of buildings shall be screened, unless such areas are comprised only of only service access doors. On street, curbside loading areas need not be screened from view, but should be made dual-purpose to encourage other uses after hours, with clear signage as to the hours such potential uses are allowed.

Hours of loading/servicing shall be coordinated with the Master Developer and/or any subsequent 'association' to limit service hours to non- operational, or lesser traffic impact times of the day.

(h) **Loading Space Requirements**

Within Easton Farm retail and commercial areas, loading may be accomplished at specific curbside locations for smaller, in-line retail and service tenants, as practical and necessary depending on distance from a screened delivery bay. Curbside loading spaces should be made dual-purpose where practical and functionally viable for daytime, public use.

- (i) **Loading in Required Yards**
Loading spaces in other than high density mixed use retail/commercial areas, shall not occupy any part of a required yard setback, except locations at rear yards, per the discretion of the City.
- (j) **Screen Wall Construction and Materials**
All service bay screen walls will mimic building design, materials, colors of walls and fences, if visible from any public right-of-way, and shall be uniform and compatible with the base-building architectural style, color and building materials of the principal building and its surroundings.
- (k) **Fencing.**
Any or all fencing is to be painted or powder-coated metal railing, set into ground or bolted/incorporated into a wall or between pier supports. Chain link fences are not permitted along any visible public right-of-way, and may be placed only in service areas screened from public view.
- (l) **Open Space Area Requirements**
Open space shall be provided at ratios of 15% in Residential areas and 5% in mixed-use areas as per the “Usage” Table in this chapter.

4. Building Design

- (a) **Architectural Character**
The following architectural design guidelines are meant to achieve the result of establishing consistent, high-quality design, materials and construction that works with the site and streetscape guidelines to establish and reinforce the mixed-use district ‘neighborhood’ design and planning goals.
- (b) **Orientation to Street**
Buildings shall be architecturally oriented to frame any immediately adjacent street(s) to create a ‘street wall’ effect, with the main/primary entrance(s) located, facing the street, public right-of-way or courtyard, and for larger-format users over seven thousand square feet (7,000 sf), facing a relevant-sized surface parking area, unless deviation is deemed appropriate, per the discretion of the City. In cases where there is an anti-access easement or access is not permitted from a particular road or public right-of-way, the building shall not be required to face the subject road or right-of-way. Buildings located on an intersection shall have the main entrance oriented toward the major street and any facade facing other streets shall



Buildings should be oriented with fronts, including storefronts and entrances, toward the street.



Windows should be expressed with a vertical orientation.

have facades that ‘turn the corner’ with similar/complementary design details, window openings and architectural character.

(c) **Orientation of Windows and Doors**

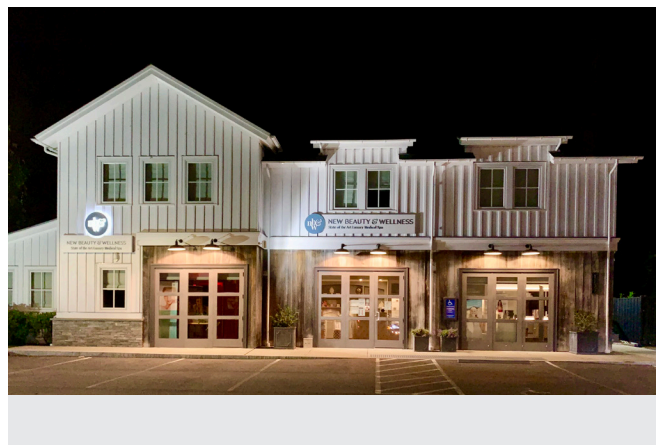
All windows and doors, openings or frame fenestrations located within an opening shall be ‘vertical’ in orientation, meaning a primary design character of most building openings reflects a more top to bottom aesthetic, mimicking traditional storefronts and window motifs. Traditional window features including transoms, divided lights, and sidelights are encouraged, along with storefronts, doors and framing components, which follow vertical enhancing design elements. Sliding commercial-grade glass doors, folding glass windows and butt-jointed glazing may also be allowed, but only if window and/or door orientations are also vertical in nature. Any sliding doors must pocket out of view, and all folding windows should not encroach into an exterior walk or public area beyond a tenant storefront closure line, unless that line is part of the tenant lease area, as in an exterior patio or display space. Uninterrupted linear ‘strip-style’ windows are not permitted, since they do not reinforce the traditional design vocabulary. The City may consider specific exceptions, primarily related to functional use, provided that the overall public facing building design is in keeping with the goals of the mixed-use district. In more modern or contemporary interpretation(s), design elements such as overall building massing, window orientation and rooflines should take inspiration from traditional motifs.



Glass should be translucent and provide visibility in and out.



Acceptable building materials include brick, stone, decorative block, precast masonry and EIFS.



Building materials should be applied in a variety of stylish and creative applications.

(d) **Glass Materials**

Clear or colored glass, translucent, sandblasted and/or decorative pattern glass that can emit light through is encouraged. Retail and/ or commercial storefronts should be predominantly clear glass at any street level opening. Where a clear window opening is desired, but for functional reasons is not viable, an internally backlit shallow display box-out is desired. Translucent, patterned or colored glass panel will be allowed in all other applications. Other options, including back painted, fritted, sandblasted, color or non-illuminated translucent glass may be acceptable where structural elements or back-of-house functions or unoccupied space would be visible behind. Black, opaque, spandrel and reflective glass materials are discouraged except in façade areas where its placement is a key part of a final design aesthetic.

(e) **Building Materials**

Building materials shall be commercial grade, and applied in variety of stylish, creative and clever applications across the expanse of all visible public-facing elevations. Acceptable materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), natural stone, cast or cultured stone, exposed metal structure and/or architectural details and/ or surfaces where viable, stucco, EIFS or materials of equal appearance consistent with the acceptable architectural character outlined in these Architectural Guidelines Plywood, unadorned corrugated siding, vinyl siding and plastic panels are prohibited from use in publicly visible locations.



Partial sloped roof on the left and a parapet on the right with cornice detailing.



This roofline does not effectively screen rooftop equipment. A parapet wall should be extended up to fully hide the equipment.



Varying roof materials with changes to building massing, including shingles of various colors, and standing seam metal.

(f) **Rooflines**

Flat roofs are permitted, however, parapets or the underside of roof eaves should showcase some form of cornice or similar design element, masonry and/or brick trim and/or patterning, decorative blocks/brackets, moldings or some form of architectural emphasis along the roofline to tie that element to the building massing below. Where an adjacent building's façade, which adjoins it, has a similar roofline height, a variation of the parapet or roofline is required

NOTE: All rooflines must be able to fully screen any and all HVAC/utility or functional apparatus from public view from a distance equivalent to the parallel height of that roofline as viewed downhill from any distance into the project. If that proves difficult, a subsequent parapet screen may be installed on roof to provide additional screening.

(g) **Visible Roofing Materials**

Slate style shingles, fiberglass shingles and either copper or painted/ powder coated standing seam metal are



Large format retail using massing elements and detail to visually reduce the scale of the front façade.



Building heights should vary in coordination with changes in building massing.



Architectural features such as towers may extend above the typical roofline.



Changes in building massing should include variations to rooflines, setbacks, materials, and include features such as "pop-outs".

permitted materials, for sloped roofs per the discretion of the City. Where possible, patterning of shingles colors for more vertical roof surfaces is highly encouraged.

- (h) **Building Heights**
Heights shall be consistent with those of other similar uses.
- (i) **Larger format retailers, entertainment venues or other commercial uses, where taller interior spaces is the normative**
Heights of the front facades should use massing elements and materials to blend in with any adjacent structure(s) as to not overwhelm the overall visual appearance.

Subject to the restrictions on Maximum Occupied Height and Minimum Occupied Height as set forth in this chapter, individual structures should feature a variety of heights, utilizing elements such as roofline variation, decorative towers or portal elements, steeples, pediments, clerestories, dormers or domes, consistent with the overall architectural character and these Architectural Guidelines. The height of enclosed unoccupied building elements may not exceed a maximum height up to sixty (60') from main street level grade.

Purely decorative unoccupied elements such as mansard and/or peaked roofs, towers, flagpoles, spires and steeples may be located on top of both occupied and unoccupied enclosed space, to a total building height of no more than eighty-five feet (85'), excluding decorative metal finials or spires.

- (j) **Building Massing**
Individual buildings and any attached structures should strive for complementary building massing, reminiscent of traditional townscape/



Building massing used to break up large monolithic appearance on a building elevation.



Changes in color coordinated with building massing, but not so dissimilar as to clash.

streetscape patterns. “Monoplanar” or monolithic appearance and surfaces, with little variation in setbacks, wall fenestration, or rooflines are not permitted.

Building massing should take into account adjacent buildings, property uses, sightlines, identity, and relationship to its site to accomplish building a contextual variety in its overall massing. As noted above, elements such as rooflines, setbacks, decorative architectural elements, visual openings and wall fenestration

elements such as 'pop-outs', window openings, trellises, pergolas, verandas, entrances, piers, pilasters, decorative panels, or grilles, and eaves or cornice lines are highly encouraged, and visual articulates a structure's overall massing and creates pedestrian scale to its overall context.

5. Colors

(a) Color Variation

The use of sharply contrasting colors on significant swaths of any building(s) facades is discouraged, but may be used for accenting or enhancing an architectural elements. If used either as an accent or as some form of tenant identity, they should be limited to specific architectural elements, details or specific and limited surface areas. Their use in tenant design areas however is encouraged, but subject to tenant design guidelines established by the City for their particular building or development.

Color schemes should be kept to no more than one or two field or trim colors on any given individual facade, unless deviation from this is deemed appropriate by the Master Developer and the City. All exterior colors and finished material surface colors are subject to City approval.

(b) Color Consistency

Color scheme(s) should help to visually tie all parts of building massing(s) together. Monolithic or singular color schemes and appearances are discouraged, but monochromatic color palettes featuring shade variations are acceptable. Typically, the color that is used in the storefront area may be repeated in the upper story windows or to accent a roofline element/cornice

area. Colors used at the front façade should be utilized on the sides and rear of buildings.

6. Landscaping-(Also covered in Landscape Section)**Plant Material Selection**

Plant materials shall be chosen which are indigenous, moderately fast growing and require low maintenance. All planted surfaces, whether in ground or in raised landscape beds shall be fully irrigated and maintained in good working order. The landscape design shall incorporate the total development site, be in context with adjacent users, and consist of a palette of plants with year round appeal which might include annuals, perennials, shrubs and trees.

(a) Surface Parking Area Screening

Parking areas and driveways shall be screened from adjacent public and private streets and open spaces to a height of 30 inches above the finished parking surface. Taller shrubs and low-profile ornamental trees are permitted in areas where screening of outboard utility or service areas is required.

(b) Surface Parking Area Landscape Area Requirements

A minimum of eight percent (8%) of any one total interior surface parking area shall be landscaped with planted islands or landscape island beds for every linear run of no more than 16 parking spaces. Exceptions to this rule are if the entire run is no more than 15 spaces, or if a landscaped cross-surface walk is aligned within or part of a larger landscape island or row, or if an irregularly shaped island creates a naturally larger landscape bed area where the edges may be more low plantings, and the interior may be more lawn in season. A minimum of two (2) trees, of no less than 2" caliper with lawn shall be planted on all interior islands within any row

of surface parking area. The use of all mulch islands shall be prohibited.

(c) **Exemptions**

Parking area landscape requirements shall be waived if the surface parking area is not, nor will ever conceivably be, visible from a public right-of-way, or is considered a temporary use as determined by the Master Developer.

(d) **Planting Island Requirements**

Planted islands shall be at least 9' in width (face-of-curb-to face-of-curb) and the length of the adjacent parking space with a pervious surface area adequate for proper root aeration and expansion. Creative alternatives are subject to review and approval of the Master Developer.

(e) **Screening Materials**

Where plants are used as screening it shall be opaque year round. Plants shall be of a height and density so as to provide the full desired effect within three (3) growing seasons.

(f) **Street Trees**

All streets shall be planted with regularly spaced shade trees, with a minimum 2" caliper. Trees shall be placed and selected in consultation with the Master Developer.

(g) **Street Furniture**

'Street furniture/furnishings' are key features of public spaces that can greatly facilitate in creating vibrantly-used pedestrian spaces along all streetscapes, open spaces and connecting outdoor areas. These features include such basic items as benches, trash receptacles, bollards, drinking fountains, wayfinding and street signs.

Other elements include game areas and surfaces, moveable tables, chairs, outdoor lounge seating groupings,



Parking screened with a continuous evergreen hedge.



Street trees in a tree lawn between the curb and sidewalk.



A variety of furnishings activate the street and provide necessary "creature comforts".

picnic benches and tables, market umbrellas, outdoor fireplaces, water features, children's play areas, sculpture and other durable, exterior public art.

Street furniture shall be chosen and placed in consultation with the Master Developer and the City, and shall be located within agreed zones to maintain a clear pedestrian path.

Street furniture shall be made of materials consistent with extended public use. These materials include painted or powder-coated metal with a matte finish; wood in either a stained, painted or treated finish; outdoor grade fabrics and canvas, and in certain instances, high-impact, composite or resin-based materials that mimic natural finishes that are weather and fade resistant.

All street furniture and public features shall always be maintained in good working order and appearance by their respective owner(s), and repaired or replaced as necessary.

Street furniture shall be consistent in material, color and style along both sides of any street street in public areas fronting onto other developments. Within any one development parcel, a developer may utilize differing selections, provided they are part of an overall design scheme, placed appropriately and upholds the pedestrian-friendly spirit of The Easton Farm. All street furniture elements, either new or replacement that vary in color, material, number, placement or size from prior approved plan(s) are subject to Master Developer and approval.



Games can be provided to activate the street, and should be coordinated with seating.



Pedestrian-scale lighting. Cut-off style fixtures reduce glare and light pollution.



Taller fixtures for use in vehicular applications, but still with pedestrian detailing consistent with the setting.

- (h) **Registered Professional Required**
Each applicant shall utilize a registered landscape architect who shall work with the Master Developer on all landscape design, landscape plans and/or alterations.
- (i) **Maintenance**
The Master Developer may supplement these Architectural Guidelines by adopting, through rules and regulations, more specific Landscaping Standards that will apply to this Property.

7. Outdoor Lighting

- (a) **Outdoor Lighting.**
All outdoor lighting of buildings, surface parking areas, service zones, or any non-illuminated, surface mounted project signage or tenant identity signage, shall be directed so as to prevent glare on adjacent properties and streets and to shield the lighting from residences, to the maximum extent feasible.

All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of the urban village theme.

Street Lighting.

Consistent and commercial grade fixtures for street and pedestrian lighting shall be provided on all streets, sidewalks and pedestrian pathways, including public gathering/event spaces, both public and private within the Property. Street and pedestrian poles shall be located at all intersections and along sidewalks at intervals consistent with the urban village design character.

Note: All lighting fixtures, light levels, placement and scale needs to be coordinated with any existing adjacent

or abutting streetscape, developed property, or proposed project to avoid redundant fixtures and 'over-lit' conditions along these interfaces.

Street lighting shall be scaled to the pedestrian, with pedestrian street support posts no less than 12' high to underside of actual fixture, which shall be the recommended minimum height, including 30" minimum bases and tapered support posts of no less than 6" diameter at the base.

Pedestrian light poles are to be featured within all community gathering space areas, and shall feature exterior outlets in the base for seasonal and functional needs. Street light fixtures shall be painted or powder coated metal, with a matte finish, consistent in color and style on both sides of any street and chosen in consultation with the Master Developer and the City. An alternative for public spaces, gathering areas, and pedestrian pathways are low-profile LED, internally lit bollards, placed at intervals to fully illuminate all pedestrian surfaces, or concealed, undermount lighting that surface illuminates or 'washes' pedestrian walk or gathering areas.

A street/pedestrian lighting plan, showcasing a fixture schedule, light levels, and placement within the Property, and showing any adjacent existing fixture(s) and placement, shall be submitted to the Master Developer and the City for approval.

(b) **Decorative Accent/Architectural Lighting**

All decorative accent/architectural lighting, meant to illuminate a building feature or surface(s), as well as any surface mounted, non-illuminated signage that is a permanent feature of the overall building or site design, shall also be submitted to the Master Developer and the City for review and approval.

8. Outdoor Storage

(a) **Screening.**

Outside storage of merchandise, raw material, finished products and/ or equipment must be visually screened from any publicly visible right-of-way. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal.

Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character. Exception: if the service bay is fully screened from any public view, then these requirements may be waived, but only upon review and approval of the Master Developer and the City.

Initial site planning should work to negate or minimize views from any public areas or such large bays wherever possible. Masonry, brick, stone, decorative block, composite materials, pressure treated wood and/or painted or powder-coated metal are all

acceptable materials to screen attached or free-standing service areas and bays.

Storage facilities shall feature walls that reflect the surrounding architectural character, tall-growth landscaping, and enclosure doors featuring decorative fencing and opaque metal screen backing.

For uses that require more than occasional access, and are outboard or freestanding from the main building area, three sides shall be screened, but screened areas must not be visible from the public right-of-way, and shall feature unlocked, decorative and opaque doors to one side for clear access. Chain-link fencing with inserted slats, or plastic-coated walls and/ or support wood posts, are not permitted in any publicly viewable area.

(b) **Storage/Screened Service Area Design.**

Any required outdoor storage building(s) or structures shall be constructed in the same style/materials and colors as their surrounding buildings or primary project character. The overall concept is that they should not look 'temporary'.

(c) **Visibility from Public Right-of-Way.**

Where possible, locate any outdoor storage structure away from the public right-of-way or view behind the main building(s).

(d) **Accessory Structures.**

Accessory Structures may contain auto and accessory vehicle parking, developer/landlord/tenant or resident storage, building or amenity functions/uses, general maintenance storage, or trash/recycling bin enclosures. Prefabricated shed structures are not permitted.

9. Vehicular and Pedestrian Circulation.

(a) **Safety.**

The safe and functional movement of both vehicles and pedestrians, on and off-site, shall be provided as the primary consideration in designing transportation networks within the Property, and all site plans shall be crafted to minimize such conflicts wherever possible.

(b) **Pedestrian Circulation.**

Pedestrian circulation is highly encouraged, and can be accomplished via sidewalks, crosswalks, cross-surface lot walkways, community gathering spaces, plazas, terraces, seating and amenity zones, hard-surface paths, bike paths, and permeable pathway surfaces. These varying pathways should be crafted to connect between all buildings, and within and outboard of specific development parcels. Early site planning should make this a core design consideration within and along the edges of the Property.

(c) **Sidewalks.**

Where appropriate, sidewalks shall be provided on each side of every public and or semi-private street or drive,



Provide sidewalks on both sides of each street and demarcate crosswalks. Use of curb-extensions shortens crossing distances.



Sidewalk on a low-volume residential frontage with street trees in a tree-lawn.



Sidewalks along a high volume street with parking spaces should allow for street trees and/or landscape beds at intervals for optimal pedestrian access.



Sidewalks in an urban setting. The minimum width should be Unrestricted with furnishings.

and shall be intentionally developed to interconnect different land use areas and open spaces. Sidewalks should be no less than 6' wide.

(d) **Sidewalks and Buildings.**

Pedestrian connections, including crosswalks, sidewalks and pathways shall be provided along any surrounding streets/driveways/drive isles, along the front, side or back of any building or group of structures, on all specified and dedicated streetscapes, both public and private.

(e) **Sidewalk Width.**

Sidewalks along the primary or front facades of buildings in the height density Multiple Use Retail/Commercial areas shall be an average of no less than twelve feet (12') back of curb to building face, incorporating a dedicated landscape/tree well area at the curb line of no less than six ft. x five ft. (6'x5'), and at intervals of every other parallel space (46' center to center) and approximately every fourth head-in space (42' center to center). Sidewalks at sides and rear of buildings may be of lesser width, but

in no case less than six feet (6') wide.

Sidewalk and pathway widths within other areas are to be determined by Master Developer prior to City review for each application as submitted, but in no case are to be less than five feet (5') wide.

(f) **Open Space/Gathering Spaces**

Usable and functional open spaces and programmable event spaces are required as part of the multiple use areas, and adjacent neighborhoods. This definition may also include/allow for landscaped traffic islands, pedestrian plazas, arrival courts, landscaped sidewalk/pathway areas, game areas, public amenity features such as water features, fireplaces and seating areas, general green space, playgrounds, tot lots, pocket parks and other recreational uses. Open spaces between buildings that create landscaped courtyards or walkways to connect rear parking areas, or to adjacent neighborhoods, or other nearby anchors are strongly encouraged, and should be 'programmed' to encourage pedestrian activity, seating areas and amenities.



Parking along surrounding arterial roadways shall require setbacks to allow for landscape buffers.



Buildings should be sited to allow for screening when parking is located to the side or rear of the structure where viable.

10. Off-Street Parking Requirements.

(a) **Size of parking spaces and aisles**

Parking spaces and drive aisles shall be sized in a manner consistent with the following chart, unless specifically allowed otherwise by the City.

PARKING DIMENSIONS					
ANGLE (DEGREES)	0	30	45	60	90
Stall Width	8'	9'	9'	9'	9'
Stall Length	22'	18'	18'	18'	18'
Stall Length Perpendicular to Aisle	8'	17'	19'	20'	18'
Aisle Width, One Way	12'	12'	12'	18'	24'
Aisle Width, Two Way	20'	20'	20'	22'	24'
Total Width, One Stall, One-Way Aisle	20'	29'	31'	38'	42'
Total Width, Two Stalls, One-Way Aisle	28'	46'	50'	58'	60'
Total Width, One Stall, Two-Way Aisle	28'	37'	39'	42'	42'
Total Width, Two Stalls, Two-Way Aisle	36'	54'	58'	62'	60'

(b) The number of parking spaces, which are required in each usage classification, are as follows:

- Easton Farm generally (Including all uses allowed except as set forth below) - one (1) for each 250 square feet of lease able floor space, except 1.25 spaces per dwelling unit (4/1,000).
- Freestanding Restaurants/Bars – Eight (8) spaces per each 1000 square feet of gross leasable floor area.
- Large Format Retail – A minimum of three (3) spaces for each 1000 square feet of gross leasable floor area (3/1,000) is permitted, up to a maximum of no more than four and a half (4.5) spaces per 1000 square feet of gross leasable floor area. The Master Developer and City will assist any development entity, and any/all end user retail tenant(s) to facilitate the potential for cross-parking usage with other complementary services/attractions for all large surface parking areas. This effort should be encouraged in early site planning phases.
- Office - a minimum of one (1) space for every 250 square feet of gross leasable floor space per BOMA standard lease calculations. However for medical office uses, the ratio of parking spaces shall be one (1) space for every 200 square feet of gross leasable floor area on single use lots.

- Multi-Family Residential - One and one-quarter (1.25) spaces per dwelling unit, except single family attached dwellings: Two (2) spaces per dwelling unit.
- Public and institutional - Shall not utilize shared parking, and all off- street parking shall be located in rear yard areas. The “Parking Area” for Institutional Uses shall be a minimum of one (1) space for every 250 square feet of internally occupied floor space. However, the ratio of parking spaces actually constructed can be reduced to three (3) spaces for every 1,000 square feet of occupied floor space, provided the balance of the “Parking Area” is set aside as green space or permeable pavers (lawn or landscaping) in designs approved by the City.

(c) **Shared Parking.**

Where permissible, shared-parking ratios may be allowed for certain developments/uses. Shared parking arrangements are meant to encourage a more “round the clock” and effective usage of any parking facility, therefore generating smaller overall surface parking area(s), while avoiding the creation of expansive, underutilized lots.

The City may consider the acceptance of a formula that can demonstrate certain combinations of mixed-uses and adjacent developments that will yield increased overall parking area utilization, especially throughout any given twenty-four hour period. Such formulas shall be consistent with the recommendations and current standards recognized by the *Urban Land Institute* and/or the guidelines from the *Congress for New Urbanism*.

(d) **Off-Street Surface Parking Lot Placement.**

Any off-street, surface parking areas within Easton Farm shall be set back a no less than fifteen feet (15') or no more

than seventy-five feet (75') from any existing, surrounding arterial, including along the property line adjacent to State Route 741 and along the length of Easton Way. The City shall have discretion to make this requirement applicable elsewhere on any subsequent prominent frontages, such as along key pedestrian connections, within significant vistas and within important public spaces. Surface parking lots may be built up to adjacent property lines on all other street frontages within the Property and as established in subsequent approved site plan areas that anticipate connecting adjacent development at a future date. Placement of surface parking areas should be related to both the building type served and the adjacent buildings, connecting streetscapes and uses, which may require the lot to be screened by building or landscaping from surrounding streets and/or pedestrian pathways.

(e) **Structured Parking Lot Placement.**

Any parking structure(s) shall be set back a minimum of 60 feet from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot frontage, unless the parking structure is sited within the multi-family residential area in the southeast corner of the site separate from the property line by two retention ponds including fountains/aerators of the parcels adjacent to the southern property line. The buildings surrounding the parking structure shall be no less than two stories in height.

Any parking structure(s) shall be set back a minimum of 60 feet from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot

frontage, unless the parking structure is sited within the multi-family residential area in the southeast corner of the site separate from the property line by two retention ponds including fountains/aerators of the parcels adjacent to the southern property line. The buildings surrounding the parking structure shall be no less than two stories in height.

11. Drainage and Water Detention

- (a) **Detention as an Amenity.**
Storm retention/detention ponds are proposed within the southeast and northwest corners of the site, between the proposed neighborhood and existing properties between and along the southern boundary and existing properties on that side and along State Route 741 and adjacent to the existing farmstead bordering a new internal neighborhood.
- (b) **Impact on Surrounding Properties**
The water features shall be secured from accidental access through the use of in by natural elements such as landscaping, rocks, boulders, and a low decorative rail or ornamental fence, or as otherwise approved by the Master Developer and the City.

12. Signage/Environmental Graphics/Tenant Signs.

- (a) **Project Signage/Brand.**
The Master Developer will prepare and submit to the City an overall project identity graphic/font/logo as part of an overall 'way finding' signage program. This will be physically used on entry walls, street signs, directories, and in subtle other applications where a logo or font script will help to establish an overall brand for the Easton Farm development.

This will establish the parameters for execution of all project signage, including size, application, color, use, materials and fabrication, along with potential uses and styling for all marketing and promotional potentials.

The project name will also be a 'tag line,' to be placed at the end of individual projects within the development to help both promote the Easton Farm and to establish a sense of place. For example, a multi family development hypothetically name 'The Lofts' will be promoted at "The Lofts at Easton Farm." This would apply to all larger scale developments that require their own address.

The Master Developer retains full control of the use and promotion of the overall Easton Farm project branding, logo, identity and any entity that uses such aspects in a co-branded promotion or application.

(b) **Individual Project and/or Tenant Sign Criteria.**

At present, the Master Developer believes that, given the fluid nature of the various components and end users, it would be difficult and limiting to the creative potential to establish exacting signage guidelines this early in the process.

Instead, as an individual development begins its design process, and the building uses/tenants are established, along with the resulting architectural character, massing and materials, the Master Developer will require and work with the developer(s) to craft their own site-specific signage criteria, and to assist potential tenants with tailoring creative, stylish and well-executed signage and graphics that add another dimension of quality to the overall development

This allows each individual project to establish their unique brand within the Easton Farm development, with the signage being a 'signature.'

The Master Developer will require all individual developments to submit a project/tenant signage criteria for review, comment and required adjustment within a timeline to be established early in the development process. These individual signage/tenant criteria(s) will cover all aspects including, but not limited to, the placement, scale, application, materials, colors, fabrication, and illumination of all project identity, tenant signage, branding and way finding elements. This process allows for the Development to accommodate ongoing shifts in style, application and fabrication technology.

In all instances, the Master Developer and City retain full approval rights for all signage and graphics, as well as any proposed alterations or adjustments to any individual project/tenant signage criteria or resulting signage.

- (c) **Comprehensive Sign Guidelines.** When the Development is at a point where end users have been identified and sufficient project development has occurred that Comprehensive Sign Guidelines may be promulgated, Master Developer shall prepare and submit to the City for its approval proposed Comprehensive sign Guidelines. The City shall consider such guidelines in the form of rules and regulations supplemental to this text.

03

RESIDENTIAL

The purpose of this Section is to allow for flexibility when the result will be residential development that is compatible with nearby walkable town/village center/urban village.

1. Allowable Occupancies.

- (a) single-family detached dwellings
- (b) single-family attached dwellings (town homes)
- (c) multi-family dwellings
- (d) apartments
- (e) condominiums
- (f) loft-style residential

- (g) assisted or independent living residences
- (h) senior housing
- (i) accessory structure uses

2. Orientation.

Residential area building entrances shall be oriented toward the street, primary right of way, open areas or courtyard unless deviation is appropriate, per the discretion of the Master Developer. Buildings located on an intersection shall have consistent architectural style and detailing on both street-fronting elevations.



Residential building entrances should be oriented toward the street, primary right-of-way...



...open areas or courtyard.

3. Signage

All residential project signage may be placed, either bracketing the entry into, or in the middle of the right of way, into any new entrance. It may also be placed on the structure, above or to the side of a dedicated entrance. No one development can have more than two such entrances. Signs/identity may also be placed in landscaped islands, on each side of an entry, along existing boulevards per the discretion of the Master Developer and the City.

SINGLE FAMILY LOTS								
	LOT WIDTH (MIN.)	LOT DEPTH (MIN.)	GARAGE LOADING	FRONT YARD SETBACK (MIN.)	SIDE YARD SETBACK (MIN. EA. SIDE)	REAR YARD SETBACK (MIN.)	MAXIMUM OCCUPIED HEIGHT	MINIMUM OCCUPIED HEIGHT
Village Center Lots	31'	110'	Service way	6'	3'	5' ²	4 stories	1 story
Neighborhood Lane Lots	50'	125'	Service way	15'	5'	5' ²	4 stories	1 story
Neighborhood Edge Lots	50'	125'	Front	25'	5'	20'	4 stories	1 story
Northern Transition Lots	110'	125'	Front	25'	5'	20'	4 stories	1 story

1. **Setback** to wall of the primary building massing; 5' max. encroachment by front porch permitted.
2. **Setback** from service way right-of-way or easement line to face of garage.

5. Site Development.

(a) Maximum Block Size.

The maximum length of any block shall not exceed 600 feet without an intersecting street, service drive, connecting pedestrian greenway or adjoining open space.

(b) Service ways.

Service ways shall be incorporated in the residential neighborhoods to provide access to parking and service areas behind rows of town house-style units. Service way locations and dimensions are not fixed but shall be designed to accommodate the service way's purpose, preferably no less than 20' from building edge to building edge across any one service way way to facilitate proper backing out of any one garage space.

Any required additional curb cuts shall be added only with the permission of the City. Service ways may also be incorporated into parking lots as drive aisles and fire lanes.

(c) Lot Coverage.

Multi-family dwellings may not cover more than eighty percent (80%) of an overall parcel area. This does not include any outboard freestanding garage parking or covered spaces/areas.

(d) Building Fronts and Backs.

The front or side of every building must face the street, right of way or courtyard. Rear facing buildings, overhead doors and service entries are prohibited on street façades.

- (e) Streets having single family homes with garage accessed off the frontage street shall be constructed with rolled curb and gutter.

6. Residential Building Materials.

The following materials shall be permitted materials for use in residential buildings:

- (a) Brick in standard sizes.
- (b) Stone: natural, cast or cultured
- (c) Siding shall be wood, simulated wood, or vinyl (minimum thickness - .046"), or fiber-cement siding.
- (d) Stucco, EIFS in standard finishes.
- (e) Columns, cornices, and similar elements should be natural or simulated natural materials such as wood, steel or stone.

7. Residential Roof Materials:

- (a) Natural or simulated slate or tile.
- (b) Wood shakes.
- (c) Dimensional shingles (30 year).
- (d) Standing seam panels (20 yr. Paint warranty, minimum).
- (e) Copper
- (f) Single-ply membrane roofs allowed when hidden from street level view.

8. Parking Requirements.

The intent of these parking ratios is to encourage a balance between developing a desirable, pedestrian oriented development and necessary car storage for both short and long-term use. The goal is to construct neither more nor less parking than is needed, and where viable, to overlap the timeline of the various uses to achieve a shared time frame aspect.

- (a) Minimum Residential Space Requirements.
The minimum parking spaces in residential areas are as follows: 1.25 space per dwelling unit at multi-family



Service ways shall be used to provide parking and service access to townhomes and smaller lots.

residential, and 2 spaces per dwelling for single-family dwellings.

- (b) On-Street & Structured Parking.
On-street and/or structured parking is permitted and encouraged for all site plans for any residential neighborhood within Easton Farm. Parking need not be contiguous with the building(s) or the use it serves.
- (c) Shared parking solutions.
Shared parking solutions are encouraged by the Master Developer and the City. Each development applicant shall provide a parking analysis justifying any proposed shared parking solution, per guidelines developed by the Urban Land Institute.

9. Access to Off-Street Parking.

- (a) Access from Service ways.
Service ways shall be the primary source of access to all off-street or individual unit garage parking. (Parking along service ways, if permissible per the individual development site plan, may be head-in, diagonal or parallel and may be made of a permeable block surface material.)
- (b) Connection of Service ways to Adjacent Properties.

Service ways may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the service way shall be maintained. Access along such service ways between differing ownership parcels or parking areas is also encouraged.

- (c) Corner lots.
Corner lots that have both rear and side access shall access parking through the rear.
- (d) Garage door(s).
Garage doors shall not exceed 16 feet in width.

10. Parking Lot Landscaping Requirements.

- (a) Landscape Island/Beds.
Parking lot landscape island/beds of at least eight feet (8') in width shall be provided between parking aisles of either head-in or diagonal parking. The objective is to create a continuous shade canopy. A diversity of tree species throughout Easton Farm is encouraged. To minimize water consumption, the use of low-water vegetative ground cover other than lawn is encouraged, unless the lawn is part of a public open space or a foreground landscape feature. Plant material and trees should be of native species that are climate and drought tolerant.

11. General Ancillary Restrictions.

- (a) The following utility and functional needs shall be properly screened and concealed from public view, from any direction, whether facing a public street, walkway, or side street, by either a planting screen, wall device or incorporated in the base building architecture:
 - Temporary window and/or Wall Air Conditioners/HVAC units, except that for model homes such units

- All Utility Metering devices
- Air Conditioning Compressors;
- Irrigation sheds
- Pool maintenance facilities and pumps.
 - (b) The following shall be located in private open spaces, courtyards or to the side or rear private outdoor space of any attached dwelling unit:
 - Permanent fixed barbecues
 - Antennas
 - To the maximum extent permitted by law, satellite dish antennas greater than 18" in diameter.

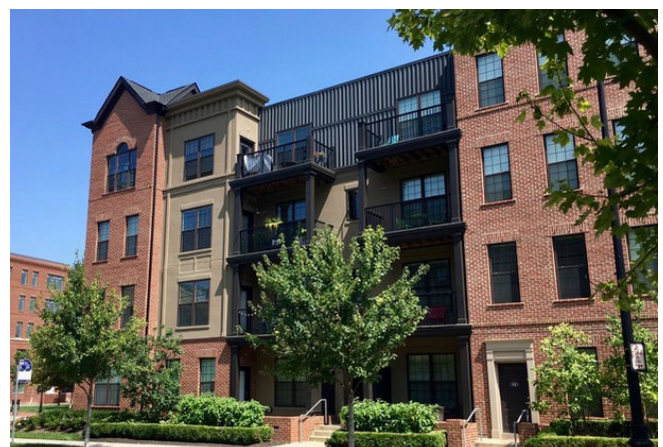
For any residential units over commercial space, to the maximum extent permitted by law, a satellite dish needs to be concealed either on roof surfaces or setbacks, well away from any public streetscape vistas, public parking areas and/or walkways.

- c) The following decorative and/or other elements are prohibited:

- Plastic shutters, bris soleil shutters
- Clotheslines
- Clothes Drying Yards
- Reflective and/or bronze-tint glass; Plastic or PVC roof files; Backlit awnings
- Awnings (awnings shall also be prohibited on any front and side elevation), except that for model homes, awnings shall be permitted until the home is sold for use as a dwelling.
- Fences made of chain link, barbed wire, or plain wire mesh, or rough- textured/timber or 'fortress style' wood fences.
- Unpainted and/or untreated wood fencing.

12. Residential Typologies

(a) Multifamily



(b) Townhomes



(c) Village Center Lots



(d) Neighborhood Lane Lots



(e) Neighborhood Edge Lots



(f) Northern Transition Lots



(g) Amenity Areas



Service way example



Service way example

OVERALL LANDSCAPE AND FEATURE PARK GUIDELINES

1.) Introduction

The Easton Farm's design character will be enhanced by a series of crafted landscaped parks and open spaces that link and define the various neighborhoods.

This component is a key signature of what will make this a landmark.

Note; In the spirit of making the development a one-of-a-kind community, if any development partner would prefer to creatively deviate from these guidelines, or add landscape or amenity features not covered in the following sections, the Master Developer reserves the right to review and allow for such changes and enhancements that exceed these requirements.

There are three key components to the landscape;

- A 'Central Green' that forms the 'front door' of The Easton Farm in the mixed-use commercial district.
- A 'Linear Park' that is the open-space 'spine' of the project that links both the various neighborhoods within The Easton Farm, and connects through the site to Springboro's existing North Park

on the south side of the site to Gardner Park on the north.

- A series of street trees, neighborhood parks, open spaces and pathways that interconnects the various neighborhoods, giving them a 'pedestrian-centric' feel.

2.) Central Green

The Central Green is the signature open space at the center The Easton Farm's commercial district.

It is at the confluence of the three main public streets in the development and is framed by the larger structures within the mixed-use neighborhood.

The Central Green is made up of two asymmetrical, angular park spaces that are bifurcated by Noel Drive in the center.

The larger of these two open spaces is at the corner of Easton Farm Boulevard and Anna Drive, and is framed by the larger structures within the community. It is made up of the following components. The second one to the northwest is more triangular and modest in scale and is perceived as more of

a passive space. It is expected that this park is fully irrigated and up to the sidewalks so that it can be easily maintained.

Features and Details

- A series of curving and linear concrete sidewalks, between 5' and 10' feet in width.
- Park entrances that utilize key amenity pieces, with a wider hardscape surface in a variety of potential materials such as colored and pattern-stamped concrete, pavers, pea gravel or composite deck where viable.
- Several hundred feet of low walls that function as potential landscape retaining with a partial 'seat wall' at key points facing onto the sidewalk side. Wall surfaces are to be stone veneer or patterned block with a precast cap on top of no less than 12" wide (with skateboard stops on certain sections).
- Clusters of flowering landscape beds, hedge rows at key intersections, primarily along the edge of the park and at the entries.
- Amenities such as freestanding, open-air pavilion(s), a signature fountain/water feature, a 'giant checkerboard' with moveable chess and checker pieces, fixed art and/ or sculpture, fixed and/ or moveable bollards at key entries and along the zero-curb of Noel Drive, benches, trash receptacles, bike racks and moveable tables and chairs along section of a low seat wall, and a series of flagpoles leading up to the point of the triangular side of the park.
- Subtle lighting that includes pedestrian light poles, illuminated bollards, and up-lighting in trees in landscape beds along the street edges and at key entries into the park and under-edge lighting along some of the linear walls where viable. Also, all landscape beds should contain outlets to allow for season lighting,

maintenance use and event functions.

The Central Green is bifurcated by Noel Drive, which will be a zero-curb surface area defined by pavers and/or colored and stamped concrete with a vehicular travel zone framed by removable bollards that can be removed and relocated to cap the ends of the street, and allow for seasonal events within a combined park scape.

Trees and landscape beds will be clustered to define entries into the park and set in rows to define the edges of the curving and linear walk zones. These are a mix of trees well-suited to the SW Ohio climate and are primarily 2" caliper, interspersed with larger 4" caliper at intersecting areas or to define a park entry, and to enhance the variety of the growth and character of the Central Green as time goes on.

Trees stands should be tightly spaced to give the park an enclosed feeling along the edges and entries.

Amenities such as the pavilions, fountain/water feature, benches and chairs, checkerboard, flagpoles, trash receptacles, bike racks and pedestrian light poles are to be placed to the edges of the park space, and the curved and linear walks and at the entries off the corners facing Easton Farm Boulevard and Anna Drive, with the center of the 'Green' defined more as a passive open lawn space that can contain a series of programmed community events as necessary.

3.) Linear Park

The Linear Park is the spine of The Easton Farm development.

It is a predominantly passive, open space feature, which is a minimum of thirty-five (35') wide depending on location, that connects and interconnects The Easton Farm

neighborhoods with Springboro's North Park and Gardner Park that brackets the development.

The Linear Park was designed to be an almost uninterrupted walking or biking experience, with minimal vehicular crossings and connects to other open spaces and parks within The Easton Farm community.

The park is bordered on one side by predominantly single family home sites whose front doors and/or porches are designed to face onto the park, and Crockett Crossing which will feature defined parallel parking spaces along the sidewalk edge that adds a sense of enclosure from the street traffic.

Features and Details

There is a primary main pedestrian and bike trail through the linear park, that winds and meanders essentially through the central portion of the green space, with its sweeping curves allowing for significant portions of lawn or landscaping to allow for play and gathering spaces. At key intersections, the trail will connect to corners or crossings and intersect with the sidewalk that runs along the edge of Crockett Crossing. The trail is designed to be eight feet (8') in width and can accommodate both pedestrian and bike traffic. It will be scored concrete within the residential community, including sections that cross from The Easton Farm community property and into North and Gardner Parks.

The sidewalk bordering and connecting front doors of the row of home sites along the inside section of the Linear Park will be connected to the main trail at key points and intersections where appropriate.

Trees placement is to be patterned to allow for growth clusters that will provide shade at main points along its run. The trees are mostly 2" caliper and interspersed with 4" caliper where appropriate to allow for a more casual park feel as time goes on.

Amenities are widely interspersed along the spine of the park and mostly feature benches at key intersections or crossings to provide rest areas. Also included are pedestrian scale wayfinding signage at key points, and bike racks spaced at every 1200' linear feet, and placed to provide their highest use and best use and an open-air bike repair stand, placed off the main trail closest to either Gardner or North Park.

At key corners or intersections, planter beds of hedges, low plantings and flower beds will frame these areas. These spaces will feature wider hardscape surfaces to allow for benches, lighting, wayfinding and other amenities as appropriate and these should be placed off to the side of the main path of travel along the trail to not impede pedestrian or bike travel, and the taller, non-seating features optimally placed within landscape beds to provide protection and avoid damage to the bases. These landscape beds areas are to be irrigated to maintain their growth and maintenance through the growing seasons.

Lighting is provided by a series of pedestrian light poles, spaced to provide illumination in more open areas along the park, and illuminated bollards where the trail and walks need illumination, but to avoid glare or over lighting in areas where street lighting is more a dominant feature. They should always be placed within landscape beds and/ or in lawn and green spaces but close enough to the edge of the

trail or path to provide proper illumination. All amenities should all be coordinated with tree and landscape placement to enhance all areas and avoid misplacement or impede sightlines. Low planting and landscape should also be coordinated and placed to provide enclosure and screening of utility and junction boxes as necessary whose placement may be necessary along some portions of the Linear Park route.

4.) Street Trees, Landscape and Hardscape Features.

Street trees within the development are a key feature of the character of the neighborhoods, and will over time create a canopy of shade along the sidewalks and fronting the structures and homes.

In the mixed-use neighborhood, and along the main pedestrian streetscapes along Easton Farm Boulevard, Anna Drive, Crockett Crossing and Noel Drive, street trees of 2" to 4" caliper should be placed no less than every 20'-30' or depending on where it best aligns with building pilasters and/or feature paving areas at key intersections or mid-block crossings. All trees should be in either irrigated planter beds of low landscaping of no less than 6'x6' or 6'x12' along Easton Farm Boulevard and Anna Drive, set within the opening of a 6'x6' metal, decorative tree grate at sidewalk level, or set within a grass landscape strip bordering streets or at bump-out intersections.

Along the primary streets in the commercial zones, planter beds will feature a 6" curb to avoid winter salt intrusion and erosion. All planter beds and street tree placement

should be coordinated to not conflict with pedestrian light poles or building entrances that face onto that walk.

Planter beds along the main commercial streets, passages and building entries where pedestrian activity is expected to be highest will include up-lighting for the trees and electrical outlets for season and maintenance use. They also should be wired to allow for low-profile speaker systems to be set within and screened by landscaping, but only within the commercial district itself.

Street corners where the curb lines are extended outward should include special paving zones of patterned, stamped and/or colored concrete, pavers or other hardscape surfaces for high pedestrian use. These areas will often be wider than the main walk and will feature such amenities as seating, benches, trash receptacles, landscape set in moveable pots and planters, wayfinding signage and potential space for outdoor dining tied to an adjacent food service tenant.

Landscape edges and beds will feature defined additional 2" (min) caliper trees, shrubs, hedge rows and flowering beds, and may contain pedestrian street light poles and/ or illuminated bollards.

All freestanding pedestrian light poles within the mixed-use district along the primary commercial streets shall include electrical outlets in the base.

All pedestrian street crossings within the mixed-use commercial district and at key corner and mid-block crossings connecting to the Linear Park and residential neighborhood parks will be made of stamped and colored asphalt

that compliments the sidewalk patterns and colors. The walk will vary in width depending on the location and expected use, but should be no less than 6' wide. A light color border strip of no less than one foot should be used to define the central pattern within each crossing.

Pedestrian sidewalks along the main commercial addresses along Easton Farm Boulevard, Anna Drive, Noel Drive and Crockett Crossing will be no less than 12' and optimally 15'. The first two feet closest to any building will require a colored and/or stamped concrete 'transfer' zone and should be aligned to cleanly accommodate building conditions, and set at elevation with the finished sidewalk. This is to allow for a visually clean, defined sidewalk path just beyond any potential building pilaster bump-outs and inset storefronts or windows, and to the landscape beds and curbs on the other side.

Landscaping in and within parking lots and will require two, 2" (min) caliper trees within each end cap island, and the spacing of one, 2" caliper tree every 25' along drives cross-site streets within these areas. All head-in or angle-in parking rows against a landscape edge or facing a linear building façade should contain a bump-out landscape bed every 16 spaces or less, and centered along that row if more than 16 spaces, but a number less than 32 spaces. All parallel spaces should have a landscape bump out every 6 spaces.

Street trees within residential neighborhoods are conditional to the home types. All street trees that front any residential lot with service way access and no front driveways should be placed at intervals of one at each individual lot line lot of 35' wide or less, and groups of 2, spaced at 20 feet apart, of any lot more than 45' wide, with the two

trees centered on the dividing lot line. If the lot is more 'pie-shaped' where the front is dimension is wider due to a convex curve, and additional tree will be required for any lot wider than sixty feet.

For lots with street-accessed driveways and 40' wide or smaller, two trees bracketing the drive way shall be placed no less than 10' away from the apron, unless the apron is set close to a neighboring one and less than 20' between each.

For lots with a street-accessed driveway and wider than 50' there should be 2 trees along the street edge, spaced no less than 25' apart, and no less than 10' from the apron of the driveway, and an additional street tree will be required for lots wider than 85'.

All street trees will need to be coordinated with lighting pole placement, and where in conflict, a street tree should be moved to no less than 15' away from such lighting, provided it's not in conflict with the spacing of other trees along that street edge, and smaller than the dimensions required for proper growth.

5.) Neighborhood Parks

There are two defined neighborhood parks within the single-family residential neighborhoods, and are expected to be a mix of passive and active play areas.

These should contain rows or clusters of trees, or set along the edge of walkways and/ or to frame along a fronting street, or set within irrigated planting beds, with trees provided at a ratio of one for every 1000' sq. ft. of open space within each park itself.

Each park will potentially feature one or more of the following amenities and should be placed for highest and best use and to not impede pedestrian flow.

- Children's play areas with fixed jungle gyms and other play devices, and set on soft impact play surfaces.
- Benches, and other fixed seating
- Game and/play courts.
- Passive green lawns and open spaces
- Pedestrian light poles and/or illuminated bollards
- Wayfinding signage
- Fixed pavilions, shelters, trellises and/or gazebos
- Community mail box pavilion(s)



(a) Landscape Amenities



(b) Streetscapes



DEFINITIONS

The following words when used in this Declaration or any supplement hereto (unless the context shall prohibit) shall have the following meaning:

1. "ACCESSORY STRUCTURE" A building, shed, covering, or vertical design element which is subordinate and/ or supportive to a main or primary building or series of buildings. Such structures are often freestanding but may be attached if the use requires, and are often purely functional and/ or decorative, and in architectural harmony with its primary building(s). Accessory structures are predominantly one story and may be habitable and/ or climate-controlled as use permits.
2. "ARCHITECTURAL GUIDELINES" shall mean the written architectural standards set forth in this Declaration for development of the Property, as the same shall be amended from time to time or supplemented by the issuance of rules and regulations by the ARC.
3. "ASSOCIATION" shall mean the owners association formed for the Property as provided in Article Six below.
4. "CITY" shall mean the City of Springboro, Ohio
5. "CONCEPTUAL DEVELOPMENT PLAN" shall mean the Conceptual Development Plan for the Property and the improvements to be constructed thereon.
6. "DECLARATION" shall mean this Declaration of Site Development and Design Standards and shall include without limitation all restrictions, covenants, conditions and agreements referred to herein.
7. "DEVELOPER" see Master Developer.
8. "DEVELOPMENT PLANS" shall mean the plans and specifications for the use of any Lot as set forth in this Declaration.
9. "FENESTRATION" shall mean openings in a building elevation, such as windows and doors.
10. "HOME OCCUPATION" shall mean a home-based business restricted to the owner or tenant of any residential dwelling unit and up to two employees, and shall not include noxious or disruptive functions, including the disruption of parking for neighboring residents. Home occupation uses are not limited to accessory structures.
11. "IMPERVIOUS SURFACE" shall mean any material that substantially reduces or

prevents the infiltration of storm water into previously undeveloped land. Impervious surfaces shall also mean any surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. Impervious surface shall include compacted sand, lime rock and clay as well as conventional surfaces such as gravel driveways, parking areas, surfaced streets, roofs, sidewalks, structures and other similar surfaces.

12. "LINER BUILDING" refers to a retail or business structure built to camouflage a more utilitarian façade/use such as a substation, or parking structure. Liner Buildings are generally narrow in depth and placed along the street and consistent with approved uses in Mixed-Use areas.
13. "LOT" shall mean and refer to any parcel or lots designated hereafter on a plat or replat, or subdivision thereof, recorded against the Property, or portion thereof, improved or unimproved, on which a structure may be located.
14. "MASTER DEVELOPER" shall mean Easton Farm Partners, LLC, an Ohio limited liability company, its successors and permitted assigns as provided herein.
15. "MAXIMUM OCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from median front exterior grade level to the specified height above the highest occupied floor.
16. "MAXIMUM UNOCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from front exterior grade level to the highest unoccupied level of an enclosed Structure.
17. "MINIMUM OCCUPIED HEIGHT" shall mean the minimum height of certain Structures, as set forth herein, based either upon a minimum number of occupied stories above grade level or a minimum height measured from the front exterior grade level.
18. "MIXED USE" shall mean an area or structure that contains a mixture of commercial, office and/or residential uses.
19. "MULTI-FAMILY DWELLING" shall mean a structure designed to contain more than two dwelling units in which the units can share primary exterior entrances, but where each dwelling unit has separate housekeeping and cooking facilities. Dwelling units within a multi-family dwelling may be attached through common walls or common floors.
20. "OPEN SPACE" shall mean any hardscaped, landscaped, grass or appropriate vegetation area but shall not include any interior landscaping or landscaped areas within parking areas.
21. "OWNER" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is a part of the Property, including the Developer or Master Developer, but shall not mean or refer to any mortgagee or subsequent holder of a mortgage, unless and until such mortgagee or holder has acquired title pursuant to foreclosure or any proceedings in lieu of foreclosure.
22. "PARKING STRUCTURE" A multi-level, ventilated or open-aired structure meant to park vehicles in a vertical manner to achieve a higher yield on such a land use. Such structures may be freestanding or integrated into another building, or at the base of a multi-use structure. Parking structures may have multiple entries/ exits and connected between levels by ramps, stairs and/or elevators.
23. "PUBLIC AND INSTITUTIONAL USES" shall mean buildings and uses such as libraries, schools, government buildings, churches or other uses approved by the City.

24. "SERVICE WAY" A separate drive either behind or to the side of a building or row of buildings that is subordinate in nature to the primary streets surrounding or connected to it. Its primary function is to allow for access to garages, driveways, and to allow for rear or side service access to a building(s), home or row of homes. They are often primarily vehicular in nature but can be made into a mini-street effect with setbacks and landscaping.
25. "SET BACKS" shall mean designated areas adjacent to lot lines on which the construction of buildings is not permitted, and shall also be defined as "build to lines."
26. "SINGLE-FAMILY, ATTACHED DWELLING" shall mean a structure containing more than one single-family dwelling unit in which the units are physically attached only by common walls. Each unit has its own housekeeping facilities, cooking facilities and separate exterior entrance way.
27. "STORMWATER MANAGEMENT" shall mean the impoundment of stormwater in ponds, swales, or other collection devices, and the holding of such for a period of time and release at the prescribed rate determined by the City.
28. "STRUCTURE" shall mean any improvement on the Property that is capable of occupancy or use including, but not limited to, any building, garage, fence, wall, sign or any other temporary or permanent improvement; and any excavation, fill, ditch, dam or other thing or device that changes the grade of any land by more than six inches or alters the natural flow of waters from, upon or across any part of the Property.



March 1, 2021

Dear Property Owner,

This notice is being sent as a courtesy to residents living adjacent to property that is proposed to be developed per a development application filed with the City. This property is located at 605 North Main Street and is commonly known in the community as the “Easton Farm.”

Due to the COVID-19 State of Emergency still in effect, the City of Springboro Planning Commission will hold a meeting on Wednesday, March 10th beginning at 6:00 p.m. on the Zoom website platform (details on how to watch the meeting is at the end of this notice). During the meeting the Planning Commission will review the preliminary plan for the re-zoning and development of a 103-acre mixed-use development, including a commercial area for offices, restaurants, general retail, independent living, apartments, townhomes and single-family residential neighborhood named “The Easton Farm Development.” The application for the proposed re-zoning and development was submitted by the Dillin Corporation of Springboro and the Borror Group of Columbus. An illustrative map showing the location and proposed layout of the proposed subdivision is included on the last page of this letter.

As proposed, 84.6-acres on the front side of the property (closest to North Main Street) is proposed to be developed as part of the Planned Unit Development – Mixed Use (PUD-MU), with the remaining 18.8 acres on the back side (west side) remaining a residential farmstead for the current owners to continue to occupy as their primary residence. Currently the Master Plan for the City identifies this property to be developed in a mixed-use manner for retail, residential, office, parks and public use.

Commercial Area:

The proposed commercial area on the northeastern portion of the property facing North Main Street is approximately 80,000sf in eleven (11) buildings for restaurants, general retail and offices. These buildings are proposed to be developed with buildings fronting North Main Street and a proposed access road on the west, with internal parking.

Apartments:

The proposed 4-story apartment complex is proposed to be located on the southeastern portion of the property fronting North Main Street. There are 324 studio, one-bedroom and two-bedroom units and an internal parking garage proposed. The targeted rents for these units are between \$1,200-\$2,000 per month and ARE NOT subsidized rental units. In addition, there are two restaurant sites proposed within the apartment building that will be open to the general public. Due to topography of the proposed location – this complex should not be easily visible from any existing residential areas to the north or west.

Independent Living:

The proposed 3-story independent living building will be located on the southeastern portion of the property fronting North Main Street and will contain 209 units. Due to topography of the proposed location – this building should not be easily visible from any existing residential areas to the north or west.

Single-Family Neighborhood:

There are 235 proposed single-family homes and 18 townhome units. The single-family lots will range from 30-feet wide on the eastern and southeastern portions of the property to 110-feet wide on the northern portion of the property abutting Deer Trail Drive. The proposed lots on the northern portion of the property will similar size as the existing properties on Deer Trail Drive. The density of the residential portion of the proposed development will be 4.36 dwelling units per acre, which is very similar to the current density permitted by zoning for the Hunter Springs subdivision on Deer Trail Drive to the north, the Springbrook or Spice Rack subdivision to the south, and the Royal Springs Estates and Royal Tamarack subdivisions to the west. Any elementary school aged-families that occupy these proposed homes would attend Dennis Elementary School.

Homes in the proposed subdivision would be required to meet or exceed the design standards of neighboring residential neighborhoods. Exterior building materials and placement of garages will also be reviewed in accordance with Planning and Zoning Code provisions. In regard to buffering from any existing homes adjacent to the proposed development, landscaping will also be required to buffer the new homes.

Open Space / Park Amenities:

The proposed development includes over 15.8-acres of open space in the form of park areas and a linear park including multi-use trails. The commercial area will include an open space for entertainment and/or leisure activities.

Following the preliminary review on March 10th, the applicant is expected to seek approval at the Planning Commission meeting on May 12th, if all Planning Commission requirements are met.

Planning Commission meetings are the forum where applications for approval are formally acted on by members of Planning Commission, following the consideration of City staff technical comments and comments offered by the public. However, due to the restrictions in place due to COVID-19, if you wish to address the Planning Commission regarding the proposed plan you may do so in writing prior to 4:30pm, March 9th by emailing Ann Burns, Planning Commission Secretary at ann.burns@cityofspringboro.com.

For a re-zoning and development of this type – the Planning Commission is only the first step in the process. If approved by the Planning Commission, this application must then be reviewed and approved by the City Council at subsequent meeting(s). At a minimum, the approval process will take 4-6 months. There are plenty of opportunities for public comments and questions, either during the Planning Commission meeting, City Council meeting, or by emailing the City at askus@cityofspringboro.com.

A copy of the application is available for review in the Building & Zoning Department at the Springboro City Building between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, legal holidays excluded. The plans may also be reviewed on the City website at <https://www.cityofspringboro.com/383/Planning-Commission-2021>. For more information on the submitted preliminary plan contact Dan Boron, Planner, at (937) 748-6183, or danb@cityofspringboro.com.

Sincerely,



Chris Pozzuto
City Manager

DETAILS FOR WATCHING THE PLANNING COMMISSION MEETING ON ZOOM:

The City of Springboro is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission Meeting

Time: Mar 10, 2021 05:45 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84278618836?pwd=T2NtSWdadVpmSlhFNmJ0akJIQnhNZz09>

Meeting ID: **842 7861 8836**

Passcode: **876635**

One tap mobile

+16465588656,,84278618836#,,,876635# US (New York)

+13017158592,,84278618836#,,,876635# US (Washington DC)

Dial by your location

+1 646 558 8656 US (New York)

Meeting ID: **842 7861 8836**

Passcode: **876635**

Find your local number: <https://us02web.zoom.us/j/84278618836>



REV. 3
JANUARY, 2021
MASTER PLAN

EASTON
FARM
SPRINGBORO, OH

Dillin
BORROR
DEVELOPMENT CONSULTANTS