

Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, January 11, 2017, 6:00 p.m.

III. Agenda Items

- A. Rezoning, Eastbrook Farms, Northeast Corner West Central Avenue and Clearcreek-Franklin Road, from O, Office District, and R-2, Low-Density Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**
- B. General Plan, Eastbrook Farms, Northeast Corner West Central Avenue and Clearcreek-Franklin Road, from O, Office District, and R-2, Low-Density Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**

Background Information

These agenda items are based on a request filed by Meijer Stores Limited Partnership, Grand Rapids, Michigan, seeking Rezoning and General Plan approval for the Eastbrook Farm, an 83.01-acre parcel located at the northeast corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from O, Office District, and R-2, Low-Density Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a 157,000 square foot Meijer store, a gasoline service station and convenience store and four retail out lots on the southern portion of the property. The northern portion of the property will be reserved for single-family residential development. Additional acreage on the east side of the property is proposed to remain green space.

The proposed Rezoning/General Plan appears as two separate items on the January 11 Planning Commission Work Session agenda and this Background and Comment document. This is because the first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislations considered by City Council.

The 83.01-acre subject property is located at the northeast corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road commonly known as the Eastbrook Farm. The subject property is presently unused. A remnant of Old SR 73 is visible on the southern portion of the property. As the site is undeveloped it has not been assigned a mailing address.

The subject property is presently zoned O, Office, and R-2, Low-Density Residential District. The O District portion occupies over 80 percent of the site and was rezoned to this zoning district in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned O-2, Office Park District, a zoning category that was eliminated as part of the 2015 Planning & Zoning Code implementation. The O District and the R-2 District were placed on the property in 2002 as part of an initiative to implement the City's 1998 Comprehensive Land Use Master Plan.

The O District allows medical and professional offices, technical schools, medical clinics, nursing homes, bank and financial institutions, among other uses. The R-2 District allows residential development at a density of 4 dwelling units per acre, schools, places of worship, among other issues.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with three components, commercial (Areas 3-4, 6-8), residential (Area 1) and open space (Areas 2, 5). The applicant has been advised by staff that the Planning Commission and City Council have in their powers the ability to strike-out uses permitted in conventional zoning districts, such as the O and R-2 Districts, that they might find undesirable for the subject property given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions. The applicant has yet to provide a list of permitted uses for the commercial component. The R-2 is the base zoning district used for Area 1 of the proposed plan.

Rezoning together with General Plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final Development Plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final Development Plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with Final Development Plans, Record Plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the north within the Tamarack Hills and Royal Tamarack subdivisions. To the east is single-family residential within the Springwood subdivision. To the south on the south side of West Central Avenue is undeveloped land within the Thomas Easton Estate property. To the west on the west side of Clearcreek-Franklin Road is multi-family residential within the Timber Creek and Meadow View Apartments as well as single family residential to the north. A small portion of the property to the northeast of the subject property is within Franklin Township.

Adjacent zoning includes to the R-2 District corresponding to the Tamarack Hills and Royal Tamarack subdivisions. PUD to the east corresponding to the Springwood subdivision, O District to the south corresponding to the Thomas Easton Estate property. To the west R-3, Medium-Density Residential District corresponding to the Timber Creek and Meadow View Apartments. R-2 District corresponds to the single-family lots to the northwest

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #7, City Services Center, includes the subject area and land fronting West Central Avenue between Park Lane and Clearcreek-Franklin Road. Preferred Land Uses identified in the plan include mixed use development incorporating non-residential uses, retail uses limited to a maximum of 75,000 square feet in floor area, restaurants with or without drive-through facilities, banks, office, public parks and open space, and public (schools, libraries and city or county facilities) and semi-public uses (churches).

The applicant's General Plan (see sheet C200) concept drawing indicates that a 157,000-square foot Meijer retail store is proposed for in Area 4 of the site with access provided by one new curb cut on West Central Avenue and two curb cuts provided on Clearcreek-Franklin Road. Area 4 also includes a gasoline service station and convenience store. No indication of signalized intersections is shown on the submitted information. No traffic impact study has been submitted to date in support of this proposal. Four outparcels, Areas 3 and 6-8, are also indicated for future development with commercial uses proposed.

Area 1 indicates a 27.3-acre residential component at the rate of 4 dwelling units per acre. This would allow up to 109 dwelling units. Access to the residential component would be provided by a curb cut on Clearcreek-Franklin Road on the proposed Street A and by an extension of Evergreen Drive to the Tamarack Hills/Royal Tamarack subdivisions.

Areas 2 and 5 are indicated as open space in the plan for the site, approximately 15.1 acres. Much of this area has been designated as a floodway or 100-year flood zone of Twin Creek and also includes steep terrain. A City of Springboro sanitary interceptor sewer parallels Twin Creek in this area.

Staff Comments:

1. Revise base mapping to indicate Springboro corporate boundary to the northwest of the subject property.
2. The Development Guidelines provided to City staff in draft form need to more clearly indicate proposed land uses and development characteristics within the various components. For the commercial component permitted land uses are needed. Also signage, parking, lighting, building heights, and building materials to be to City standard. No information is provided for residential and green space components. City staff reserved the opportunity to further comment on the draft Development Guidelines as revised.
3. Reclassify the commercial component as retail component and the green space component as the open space component.
4. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #7, City Services Center, preferred land uses and characteristics, specifically the 75,000 square feet maximum for retail uses.
5. Verify the size of the proposed Meijer store. The number 157,000 square feet is included in the application but a maximum size of 200,000 square feet is indicated in the design criteria.
6. Applicant advised to remove excessive detail on proposed Meijer store and gasoline service station. The General Plan is a concept and specific recommendations may necessitate Planning Commission or City Council action to make even minor modifications.
7. Access to Areas 3, 6-8 to be provided from the internal road system within the development.
8. Indicate the manner in which the proposed green space areas (Areas 2, 5) will be maintained and managed.
9. Provide a typical cross section of the proposed primary road network rights-of-way include sidewalks and tree lawns.
10. Revise plan to incorporate the recommendations of the 2013 Bicycle & Pedestrian Plan, specifically an off road trail connecting West Central Avenue to the Tamarack neighborhood and sidewalks along the West Central Avenue frontage.
11. Developer to establish associations to manage common areas within the commercial and residential areas of the proposed development. Areas to be managed privately shall provide for maintenance of common areas.
12. Developer to prepare a storm water management plan to support the proposed development.
13. Exterior lighting to comply with Chapter 1273 of Planning & Zoning Code. Developer to provide a lighting plan that provides an overall plan for lighting that is consistent throughout the development including architectural lighting, and lighting for parking, pedestrian circulations areas and more.
14. Within the residential component public streets to be afforded street lighting consistent with Engineering Department Standards & Specifications.
15. General Plan to include specific provisions for post lighting within the residential component.
16. Proposed development to comply with landscaping and screening standards within Chapter 1280 of Planning & Zoning Code. Provide a plan for landscaping that may be used by future tenants that is both compliant with Chapter 1280 and consistent throughout the development.

17. Indicate existing landscaping to be retained and removed on the site. Identify all tree greater than 4 inches DBH.
18. Developer to provide planned signage system consistent with Chapter 1281 of Planning & Zoning Code. The signage system shall provide an overall plan for the development, components and individual buildings and sites.
19. Applicant to commission a traffic study to indicate impact on road network. Coordinate with the City Engineering Department regarding study requirements.
20. Indicate justification for 350-foot centerline separation between proposed Street A and Whispering Pines on Clearcreek-Franklin Road.
21. Indicate where signalized intersections are proposed as part of this development proposal.
22. Dedicate right of way on West Central Avenue frontage.
23. Provide Floodway/Floodplain boundaries on General Plan sheet C200.
24. In the residential area, Move Street C to the east to meet the maximum block length requirement of 1,000 feet.
25. Provide improvements along West Central Avenue including items such as curb and gutter, storm sewer, and sidewalks. Also, any other items that may be required per the Traffic Impact Study.
26. Verify that the existing sanitary sewer can handle the additional flows from the increased density. Make sanitary main improvements accordingly.
27. Prepare a storm water and sedimentation control plan for the proposed development.
28. Revise typical residential street width to be 29 feet back to back of curb, with Springboro type curb and gutter and 5' wide sidewalks and 50 feet right-of-way.
29. Curb cuts may change based on staff review of traffic impact study.
30. At appropriate development stage, West Central Avenue right-of-way to be dedicated along with record plans throughout the development.
31. The centerline radius of 150 feet shall be met at the knuckle in the residential portion of the development.
32. City staff reserves the opportunity to further comment on planning and engineering details when additional information is provided.
33. The Clearcreek Fire District has no comments at this time.

C. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

D. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

Background Information

These agenda items are based on a request filed by HP Acquisitions, LLC, Blue Ash, Ohio, seeking Rezoning and General Plan approval for the Easton Farm, a 101-acre property located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. A 16.08-acre parcel of land on the west side of the property is not included in the application and is proposed to be retained by the existing property owners, the Ted & Becky Hall Living Trust.

The proposed Rezoning/General Plan appears as two separate items on the January 11 Planning Commission Work Session agenda and this Background and Comment document. This is because the

first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislations considered by City Council.

The 86.65-acre subject property is located southwest of the intersection of Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property.

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned (T)R-1, Clearcreek Township Rural Residence District, a zoning category dating to before the property's annexation. The (T)R-1 District allowed a similar residential development pattern to the R-1. It was replaced with the R-1 District on this site and others to provide the City of Springboro with consistent land use and development controls within the corporate boundaries.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with at least two components: commercial and residential. The applicant has been advised by staff that the Planning Commission and City Council have in their powers the ability to strike-out uses permitted in conventional zoning districts, such as the R-1 District, that they might find undesirable for the subject property given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions.

Rezoning together with General Plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final Development Plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final Development Plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with Final Development Plans, Record Plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the west residential development including condominiums within Springbrook Commons and to the west single-family residential development along Tamarack Trail. Further west is the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills/Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south and transitioning to PUD and R-3, Medium-Density Residential

District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The applicant's General Plan concept drawing proposes a 17.24-acre of commercial development component along the North Main Street frontage on the east side of the property. A 33.95-acre single-family residential component is proposed for the south central portion of the subject property at a proposed density of 2.92 dwelling units per acre. To the north, an 18.55-acre area of apartments and townhouses are proposed for the north central portion of the subject property at a density of 16.82 dwelling units per acre. A second, 8.16-acre townhomes/attached area is proposed to the west with a development density proposed at 6.37 dwelling units per acre.

The proposed General Plan indicates vehicular access will be provided at North Main Street as well as to connections to the existing road network at Anna Drive and Fox Trail Drive to the north. Two right-in/right-out connections are also shown on North Main Street. No indication is provided on the General Plan is the vehicular access is proposed to be signalized. A traffic impact study has been submitted to City staff and is currently under review.

Staff Comments:

1. The Development Guidelines provided to City staff in draft form need to more clearly indicate proposed land uses and development characteristics within the various components. For the commercial component permitted land uses are needed. Also signage, parking, lighting, building heights, and building materials to be to City standard. No information is provided for residential and green space components. City staff reserved the opportunity to further comment on the draft Development Guidelines as revised.
2. Reclassify the commercial component as retail.
3. Graphic representation of the proposed components is recommended to illustrate the character of the proposed development components.
4. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #3, North SR 741 Corridor, preferred land uses and characteristics, specifically the maximum preferred density of 6-8 dwelling units per acre.
5. The HBD, Highway Business District, is intended for use near the I-75 interchange of West Central Avenue. Please explain its use within this development proposal?
6. The General Plan does not provide an indication of the base conventional zoning districts for the single family, townhouse and apartment components.
7. Indicate what design standards are to be employed for the components of the proposed development in terms of building design and materials, landscaping, signage, lighting and other particulars.

8. What percentage of the proposed open space is afforded to the storm water management and otherwise required setbacks and buffers?
9. The 16.08 acres on the west edge of the property is landlocked under the proposed General Plan. Provide access and frontage in compliance with City Subdivision Regulations.
10. The proposed street layout appears to directly connect the Hunter Springs subdivision (Deer Trail Drive) to North Main Street by way of Fox Trail Drive. While a connection to Fox Trail Drive is supported an indirect route is requested.
11. Provide a direct connection to Tamarack Trail/Park Lane to the east of the entrance to North Park.
12. Provide a typical cross section of the proposed primary road network rights-of-way include sidewalks and tree lawns. Also provide a typical cross section of the proposed multiuse trail.
13. Provide an indication of the secondary road system within the components in the General Plan including a typical cross section showing proposed sidewalks, trails and tree lawns.
14. Developer to establish associations to manage common areas within the commercial and residential areas of the proposed development. Areas to be managed privately shall provide for maintenance of common areas.
15. Developer to prepare a storm water management plan to support the proposed development.
16. Exterior lighting to comply with Chapter 1273 of Planning & Zoning Code. Developer to provide a lighting plan that provides an overall plan for lighting that is consistent throughout the development including architectural lighting, and lighting for parking, pedestrian circulations areas and more.
17. Public streets to be afforded street lighting consistent with Engineering Department Standards & Specifications.
18. General Plan to include specific provisions for post lighting in single-family residential areas.
19. Proposed development to comply with landscaping and screening standards within Chapter 1280 of Planning & Zoning Code. Provide a plan for landscaping that may be used by future tenants that is both compliant with Chapter 1280 and consistent throughout the development.
20. Indicate existing landscaping to be retained and removed on the site.
21. Developer to provide planned signage system consistent with Chapter 1281 of Planning & Zoning Code. The signage system shall provide an overall plan for the development, components and individual buildings and sites.
22. Indicate where signalized intersections are proposed as part of this development proposal.
23. Curb cuts, access, traffic signal, and traffic impact study to be reviewed by staff to determine the actual locations of these items. Internal roadway as shown may need to be revised based upon the traffic signal impact, such as increasing the throat length at the intersection.
24. City staff reserves the opportunity to further comment on planning and engineering details when additional information is provided.
25. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Monday, January 6, 2017 at 5:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☒ Rezoning/General Plan ☐ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: Easton Farms

DEVELOPER'S NAME: HP Acquisitions LLC

Address: 4901 Hunt Road, Suite 300, Cincinnati, OH 45242

Telephone No.: (513) 984-0300 Fax No.: (513) 618-7680

Email: jimo@hillsinc.com

OWNER'S NAME: Ted & Rebecca Hall Living Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No.: (937)748-0698 Fax No.: (____) _____

Email: tbh605@sbcglobal.net

LOCATION DESCRIPTION:

Project Location: East side OF Main St. (SR 741) south of Anna Drive

Parcel #: 0414227005 (If necessary, attach a legal description.)

Existing Land Use: Agricultural with two (2) existing residences and miscellaneous agricultural structures

PUD FEATURES:

Total Area (acres): 86.65 Number of Lots: 121 - SF, 364 - Apartments / TH / Attached

Type of PUD: ☐ Residential ☐ Business ☐ Office ☐ Manufacturing ☒ Mixed

If Mixed, acreage in each area: 69.43 – Residential, 17.24 – Business, N/A Manufacturing
N/A Office


Proposed Density: 6.99 d.u. / acre Proposed Number of Units: 485

Type of Units:

Residential: Single family, 2 story townhomes and luxury apartments. Commercial: Senior living (Assisted Living & Memory Care), restaurants, convenience retail

ZONING:

Current Zoning: TR-1 Res. Proposed District (if appropriate): PUD - Mixed

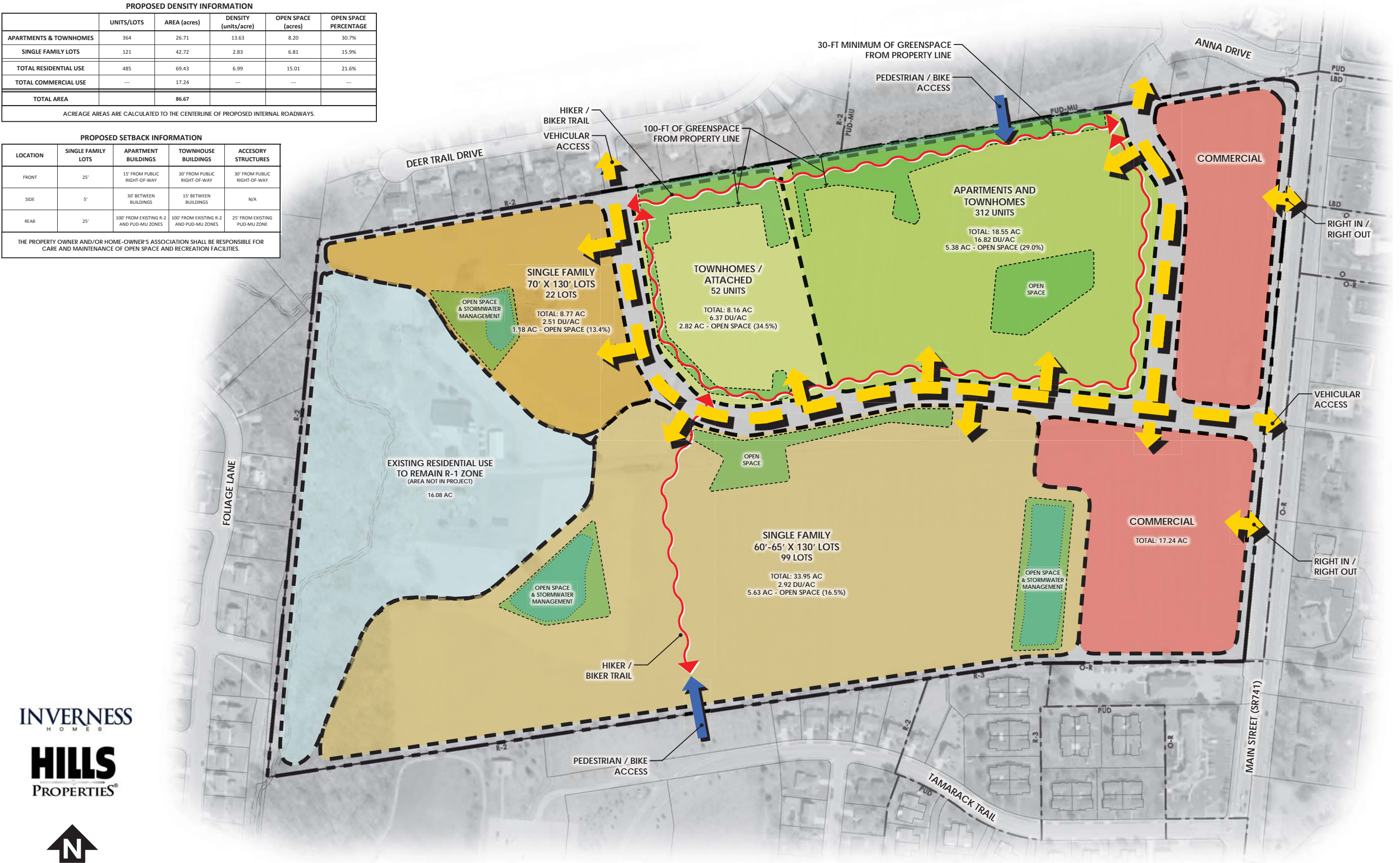


(Signature of Developer and/or Owner)

12-29-2016
(Date)

PROPOSED DENSITY INFORMATION					
	UNITS/LOTS	AREA (acres)	DENSITY (units/acre)	OPEN SPACE (acres)	OPEN SPACE PERCENTAGE
APARTMENTS & TOWNHOMES	364	26.71	13.63	8.20	30.7%
SINGLE FAMILY LOTS	121	42.72	2.83	6.81	15.9%
TOTAL RESIDENTIAL USE	485	69.43	6.99	15.01	21.6%
TOTAL COMMERCIAL USE	---	17.24	---	---	---
TOTAL AREA		86.67			
ACREAGE AREAS ARE CALCULATED TO THE CENTERLINE OF PROPOSED INTERNAL ROADWAYS.					

PROPOSED SETBACK INFORMATION				
LOCATION	SINGLE FAMILY LOTS	APARTMENT BUILDINGS	TOWNHOUSE BUILDINGS	ACCESSORY STRUCTURES
FRONT	25'	15' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY
SIDE	5'	30' BETWEEN BUILDINGS	15' BETWEEN BUILDINGS	N/A
REAR	25'	100' FROM EXISTING R-2 AND PUD-MU ZONES	100' FROM EXISTING R-2 AND PUD-MU ZONES	25' FROM EXISTING PUD-MU ZONE
THE PROPERTY OWNER AND/OR HOME-OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF OPEN SPACE AND RECREATION FACILITIES.				

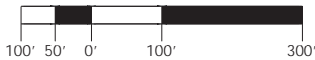


INVERNESS
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PROPERTIES®



SCALE IN FEET



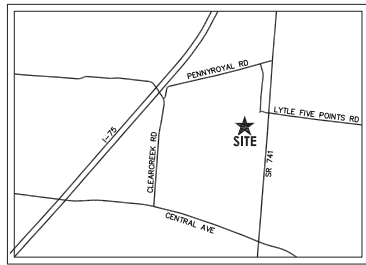
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PURPOSES ONLY
AND SUBJECT TO CHANGE.



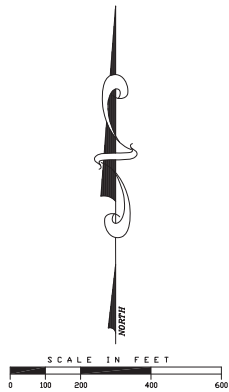
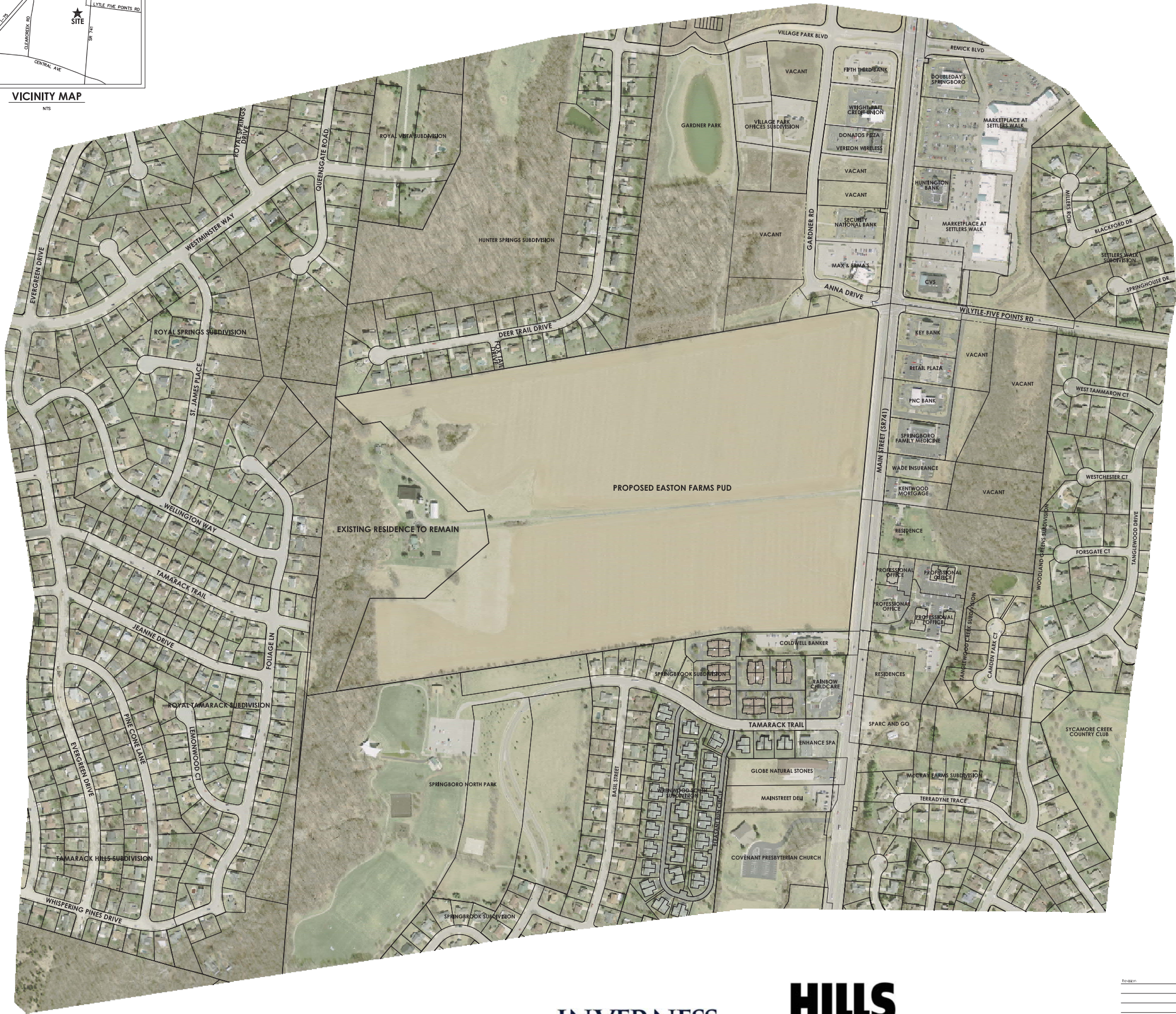
McGill Smith Punshon, Inc.

EASTON FARMS
GENERAL PLAN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

PROJECT NUMBER: 16470.00 | DATE: DECEMBER 28, 2016



VICINITY MAP
NTS



EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
LOCATION MAP



McGill Smith Punshon, Inc.
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www.mcgillsmithpunshon.com

Engineers • Architects • Surveyors • Landscape Architects • Planners

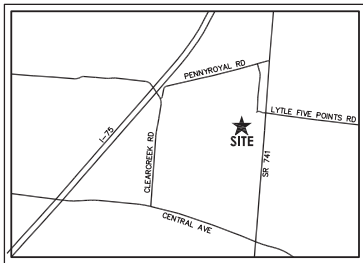
Drawn By	BC	Date	12/15/16	Project No.	16470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Points D.R.	16470.00	File No.	16-470
CAD	16470004-FR1-00	X-Ref.					

INVERNESS
HOMES

HILLS
PROPERTIES

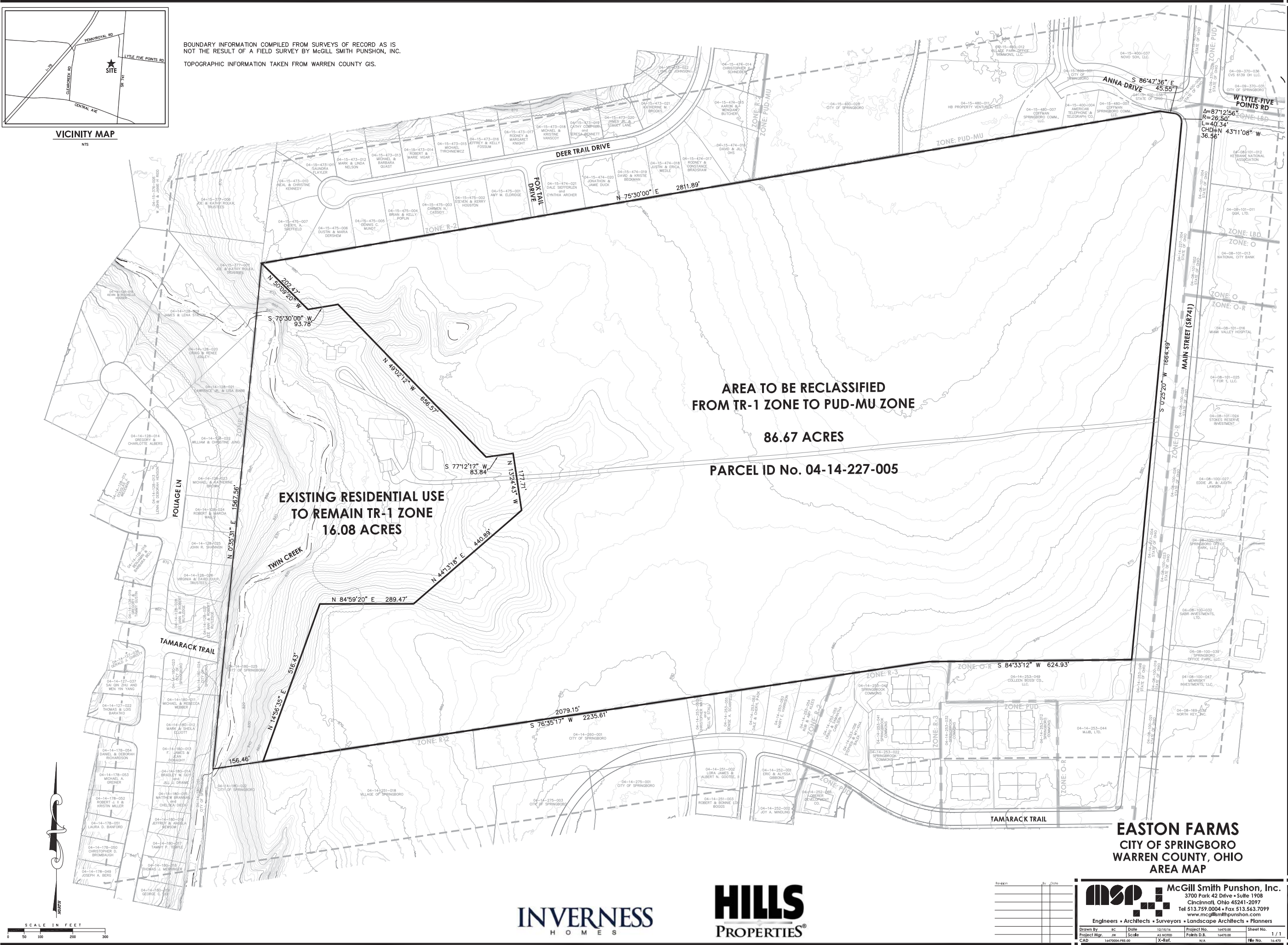
Revised	By	Date

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VICINITY MAP
NTS

BOUNDARY INFORMATION COMPILED FROM SURVEYS OF RECORD AS IS
NOT THE RESULT OF A FIELD SURVEY BY MCGILL SMITH PUNSHON, INC.
TOPOGRAPHIC INFORMATION TAKEN FROM WARREN COUNTY GIS.



AREA TO BE RECLASSIFIED
FROM TR-1 ZONE TO PUD-MU ZONE

86.67 ACRES

PARCEL ID No. 04-14-227-005

EXISTING RESIDENTIAL USE
TO REMAIN TR-1 ZONE
16.08 ACRES

EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
AREA MAP

INVERNESS
HOMES

HILLS
PROPERTIES

Revision	By	Date



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Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn By	BC	Date	12/15/16	Project No.	14470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Project D.R.	14470.00		
CAD	14470004-FR-00	X-Ref.					

DESCRIPTION FOR: Hills Properties

**LOCATION: State Route 741
86.67 Acres**

AREA TO BE RECLASSIFIED "PUD-MU"

Situate in Section 14, Town 2, Range 5, City of Springboro, Warren County, Ohio and being more particularly described as follows:

Beginning at a point in the north line of said Section 14, said point being South 75°30'00" West, 131.64 feet from the northeast corner of said Section 14 and lies in the south right-of-way line of Anna Drive;

Thence, with said south right-of-way line, South 86°47'36" East, 45.55 feet to a point;

Thence, along an arc deflecting to the right, having a radius of 26.50 feet, a central angle of 87°12'56", a length of 40.34 feet, the chord of said arc bears North 43°11'08" West, 36.56 feet to a point in the west right-of-way line of State Route 741, aka Springboro Pike;

Thence, with said west right-of-way line, South 00°25'20" West, 1664.49 feet to a point in the north line of the lands conveyed to the Colleen Bossi Co., LLC by deed recorded in O.R. 4197, Page 186, Warren County, Ohio Recorder's Office;

Thence, with said north line and the north line of Springbrook, Section 7, Phase 5 as recorded in P.B. 17, Page 17 and the north line of Springbrook Section 11, as recorded in P.B. 60, Page 19 and the lands conveyed to the Village of Springboro by deed recorded in O.R. 80, Page 271, Warren County, Ohio Recorder's Office, South 84°33'12" West, 624.93 feet to a point and South 76°35'17" West, 2079.15 feet to a point;

Thence, with new division lines the following eight (8) courses and distances;

1. North 14°56'35" East, 516.43 feet to a point;
2. North 84°59'20" East, 289.47 feet to a point;
3. North 44°13'18" East, 440.89 feet to a point;
4. North 13°24'43" West, 177.71 feet to a point;
5. South 77°12'17" West, 83.84 feet to a point;
6. North 49°02'12" West, 656.57 feet to a point;
7. South 75°30'00" West, 93.78 feet to a point;



8. North 50°09'20" West, 202.47 feet to a point in the west line of the lands conveyed to Joe & Kathy Rolka, Tr., by deed recorded in O.R. 4524, Page 252, Warren County, Ohio Recorder's Office, said point also being a southwest corner of Hunter Springs, Section Two as recorded in P.B. 21, Page 61, Warren County, Ohio Recorder's Office, said point also being in the north line of aforesaid Section 14;

Thence, with the south line of said Hunter Springs, Section Two, the north line of said Section 14, the south line of the lands conveyed to the City Of Springboro by deed recorded in O.R. 4084, Page 691, the south line of the lands conveyed to HB Property Ventures, LLC by deed recorded in Doc. No. 2016-021781, the south line of the lands conveyed to American Telephone & Telegraph Co., by deed recorded in O.R. 453, Page 866 and the south line of the lands conveyed to Coffman Springboro Commercial, LLC by deed recorded in O.R. 3294, Page 893, Warren County, Ohio Recorder's Office, North 75°30'00" East, 2811.89 feet to the Point of Beginning.

Containing 86.67 acres of land.

Subject to all legal highways, easements and restrictions of record.

Being part of the same premises conveyed to Ted D. Hall, Tr., and Rebecca Hall, Tr., by deed recorded in Official Record 4355, Page 598, Warren County, Ohio Recorder's Office.

The above description was prepared by McGill Smith Punshon, Inc. under the direction of Jerry L. Keller, P.S., Ohio Registration No. 7584. Bearings are based on Plat of Survey recorded in Volume 125, Page 66, Warren County Engineers Record of Land Surveys.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 12/15/2016
Jerry L. Keller P. S. #7584



Prepared by: McGill Smith Punshon, Inc.
Date: December 15, 2016
MSP No.: 16470.00

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PROPOSED

**Easton Farms
Springboro, OH**

Development Guidelines

**An 86.67 acre Planned Unit
Development**

Developer:

HP Acquisitions, LLC

DEVELOPER'S COORDINATING STAFF

HP Acquisitions, LLC

4901 Hunt Road, Suite 300 Cincinnati, OH 45242

President - Louis Guttman

Land Acquisitions Manager – Michael Copfer

VP of Planning & Zoning – Jim Obert

McGill Smith Punshon, Inc.

Civil Engineers, Surveyors and Landscape Architects

3700 Park 42 Drive, Suite 190B, Cincinnati, OH 45241

Sr. Engineer – James H. Watson, P.E.

Landscape Architect – Jose Castrejon, RLA

Alt & Witzig

Geotechnical Engineer

Alt & Witzig Engineering, Inc. 10178 International Blvd. Cincinnati, OH 45246

Jack Pflum

Traffic Engineer

7541 Hosbrook Road, Cincinnati, Ohio 45243

BACKGROUND

The Easton Farms property is located in Policy Area 3 - North S.R. 741 Corridor as identified in the *City of Springboro Land-Use Plan Update* dated 4-21-2009. The following discussion is from that document as it relates to this portion of the City.

Existing Character

Located between Tamarack Trail and Pennyroyal Road, the North S.R. 741 Corridor Policy Area lies at the northern gateway into the City of Springboro. This area contains some of the newest non-residential development in the City, including the Marketplace at Settlers Walk at the northeastern corner of the intersection of S.R. 741 and Lytle-Five Points Road. Mixed use developments are currently being constructed on the western side of S.R. 741 in this study area, north of Lytle-Five Points Road. This Policy area also includes the largest undeveloped parcel of land in the City, the Easton Farm, which is approximately 101 acres in size.

- *The Policy Area currently includes a large amount of developable land including the Easton Farm property, which is approximately 101 acres in size. This parcel is directly accessible from S.R. 741 and Anna Drive.*
- *The Policy Area can be best described as a mixed-use area including retail, office, City parks and the local YMCA. This development is primarily contained along S.R. 741 between Pennyroyal Road and the northern border of Policy Area 8.*
- *This area contains all necessary infrastructures for existing and future development needs.*
- *Newer existing developments have been well designed and are primarily conventional in nature with parking lots in the front of the building, at the street.*
- *The Policy Area is surrounded by residential subdivisions to the east (Settlers Walk) and to the southeast (Woodland Greens, McCray Farms).*
- *This Policy Area is bisected by S.R. 741 that affords easy access to all parcels. It is the primary north-south transportation corridor in the community.*

Preferred Future Characteristics, Actions and Needs

- *The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741. Residential uses can be permitted on S.R. 741 if located on the upper floors of a multi-story building. This can be accomplished through the rezoning of property as a traditional zoning district that permits multiple types of uses, through the application of a planned unit development district or through the creation of an overlay district.*
- *Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link uses that front along S.R. 741 to those parcels of land that do not front on S.R. 741.*
- *Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an*

overlay district or general design guidelines applicable to all retail areas of the City.

- An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.*
- Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in Policy Area 2 by a dedicated pedestrian / bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.*

Preferred Land Uses

The following land uses are identified for the North S.R. 74 1 Corridor Policy Area in order of preference. This list is applicable to ensure adequate property maintenance and the proper reuse or development of available land to ensure viability.

- Uses permitted in the Planned Mixed Use District(s) currently established for the Policy Area as outlined below.*
- Convenience Retail. Convenience retail means a small businesses, typically 5,000-10,000 square feet in floor area or less which provides convenience-type goods for the daily needs of the people within the surrounding residential areas.*
- Personal Service (e.g. barber shop, beauty shop, dry cleaner, health club/gym).*
- Retail; less than 75,000 square feet in gross floor area.*
- Restaurants, excluding drive through.*
- Office (Professional, Business, Medical, Dental).*
- Residential dwellings when not located on S.R. 741 or if it is located on the upper floors of a mixed use Building on S.R 741.*
- Public park and open space.*
- The Easton Farm property should be limited to one anchor type land use as a part of an overall integrated Planned Unit Development concept.*
- Facades visible from the public right-of-way on buildings over 50,000 square feet in size should be designed to break up the horizontal and vertical massing of the building so as to make the building appear as multiple buildings.*
- All uses and services shall be conducted in a completely enclosed building or structure.*
- All drive thru / drive-in facilities shall be in a location as approved by the Planning Commission.*
- Public and semi-public uses.*

Recommended Density and Open Space Requirement

- Non-residential uses should be located on lots with a maximum lot coverage of 75%. Lot coverage includes all impervious or hard covered surfaces including, but not limited to: building footprints, sidewalks, patios, driveways, loading and unloading areas, and parking lots. Graveled areas shall be considered as an impervious surface since the continued compaction eventually creates a concrete like surface which becomes impervious to storm water.*
- Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement*

of 25% for attached dwellings.

Implementation Recommendations

Development and redevelopment activities in this Policy Area should emphasize mixed uses. Regulatory documents (zoning code, urban design regulations, streetscape plans, etc.) should be proactively reviewed by the City, prior to development requests, to ensure the promotion of a mixed use environment, walkability and a visually pleasing atmosphere. This ensures that the proper guidelines and regulations are in place rather than reacting to a plan submitted to the City.

REMAINDER PROPERTY (NOT INCLUDED)

The Proposed Easton Farms development is approximately 86.67 acres and encompasses approximately 86% of the current property parcel, leaving approximately 16 acres that is NOT part of this rezoning and thus retains its existing zoning.

DEVELOPMENT OBJECTIVE

Our intent is that the development of Easton Farms will create a new destination landmark in the City of Springboro through sensitive site planning, building design, construction, landscaping, and amenities to meet market demand and the lifestyle needs and wants of the community. Creating a compatible and harmonious community between varying land uses are critical to the creation of a walkable and successful neighborhood. Using architecture as a design tool will allow the community to have individuality and identity between uses and owners, but compatibility in aesthetics. This will be achieved through conscientious planning by the owners/lessee, and control by the developer to adhere to the community standards.

The purpose of the Planned Unit Development District is expressed in the City of Springboro Ordinances Section 1266.01 INTENT AND OBJECTIVES is as follows:

(a) It is the intent of this chapter to accommodate creative and imaginative planned unit developments (hereinafter referred to as PUDs) and to permit those innovations in land development that are in the best interest of the City of Springboro, in situations where conventional zoning is inappropriate or unduly restrictive. In order to accomplish this intent, it is the purpose of a PUD District to permit, in a carefully-designed development, a variety of uses and/or dwelling types, and to permit the flexible spacing of lots and buildings, the conservation of natural features of the landscape, the provision of accessible and enjoyable open spaces, and the provision of a necessary complement of community and neighborhood facilities.

The General Plan for Easton Farms proposes to maximize opportunities for integration of this new development into the fabric of the community through careful

siting of uses, interconnections to existing infrastructure, and by creating a network of pedestrian and bicycle ways interconnecting existing neighborhoods and recreational facilities and parks. The creation of useable internal open spaces as places to gather, in addition to perimeter buffers against existing uses, will be instrumental in creating a first-class neighborhood.

Our proposed land use distribution is as follows:

• Commercial	17.24 Ac.
• Residential Luxury Apartment / Townhome / Attached	26.71 Ac.
• Residential Detached Single Family	42.72 Ac.
• Open Space ¹	15.01 Ac.

¹ The Open Space calculated above is located within the stated gross acreage of the residential areas.

ARCHITECTURE

Overview

Buildings within the Commercial and Multi-family areas identified above are to be designed and maintained with an overall design character consistent with a blend of Modern “Urban” and Traditional Neighborhood. This design character borrows materials, proportion, and detail types from the urban landscape as well as traditional neighborhoods. The following standards will be consistent for buildings within these two land uses:

General Design Guidelines

Color

Paint colors shall harmonize with the natural color of the building materials. When appropriate, concrete, brick, stone, split-faced rock, or clay tile may be painted. Paint colors must reflect the approved color scheme chosen by the Developer.

Grouping

All new construction shall respect the context of the community as to the linear nature of the streetscape, and the relationship of the buildings to the sidewalk. Articulation of the facade through the use of offsets, angles, building materials, parapets, color, and the placement of windows, doors, balconies, and other features will be used in addition to the placement of trees and landscaping to create the streetscape scene.

Roofs

Roofs must be contextually correct for the neighborhood form using flat roofs, pitched roofs or a combination thereof as approved by the Developer.

- Rooftop equipment may not, at any time, be visible at the first floor level from adjoining uses.

- Pitched roofs shall be clad in architectural asphalt shingle or standing-seam metal panels.
- Asphalt shingles shall harmonize with building material.
- Roof elements such as vents, flues, turbines, or other penetrations must be painted to match roof color.
- Gutters shall be in accordance with the structure's architectural style and visually integrated.

Awnings

- Fixed or retractable awnings are permitted if they complement the building's architectural style, material, color, and details.
- An awning may should respect architectural features (such as cornices, columns, pilasters, and decorative details).
- Metal and aluminum awnings are permitted.
- Awnings may be made of solution-dyed acrylic awning, marine fabric or other material approved by the Developer.
- Awning signage text may be screen-printed or sewn using same fabric type.
- Any signage text must comply with Springboro Zoning Ordinance Section 1281.10.
- Awning colors shall reflect the approved color scheme chosen by the Developer.
- Awnings over an entrance shall be have a minimum seven foot (7') clearance between bottom of skirt and the pavement.

Building Utilities and Equipment

- All utilities shall be located underground.
- Utility elements and ground equipment must be screened by landscaping, fencing, or wing walls of buildings within the restrictions of the utility provider.

Building Criteria

Variety in building setbacks can enhance the aesthetics within a development. Buildings, other structures, and parking lots must be built sensitively to enhance the aesthetics and streetscape along the sidewalk edge or road front. Refer to the landscape section for recommended guidelines.

Criteria (Commercial)

- A minimum square footage of 1,000 square feet.
- 1 acre minimum lot size
- Building minimum setback 25' from curb line of Main Street

Building Height

- The maximum height should be forty-nine (49) feet at the roofline or parapet wall for the Apartment portion of the community.
- The building height for the commercial portion of the community shall be forty-five (45) feet but the Developer may submit buildings of additional height exceeding this standard where the design of the architecture and building use merits additional height.
- The maximum height for any Townhome shall be thirty-five (35) feet from the highest ridgeline to the ground line at the front of the façade.

- The maximum height for any Single Family home shall be thirty-five (35) feet from the highest ridgeline to the ground line at the front of the façade.

Facade Cladding

- Traditionally, cladding materials are chosen for their appropriateness to the building type and architectural styles. Modern materials for all new construction may be used if they emulate the appearance and quality of traditional materials as approved by the Developer.
- An appearance of continuity in materials and design aesthetic will lend a cohesive character to the core of Easton Farms.
- Materials may change in the same plane provided they are separated by an architectural detail, such as trim, reveals, or material changes, and such changes must occur along a horizontal or vertical line.

Appropriate Cladding

The following architectural materials are appropriate when used sensitively with the architectural style of the building

- Brick in traditional and other neutral non-glazed colors
- Stone facing material
- Cementous materials such as James Hardie products or equal
- Horizontal wood siding
- Glass curtain wall
- Vertical siding
- Standard CMU
- Metal cladding/panels
- Vinyl siding when consisting of a minimum 0.040 mil minimum thickness and 40 year minimum manufacturer's warranty is permissible within the Residential areas.

Doors and Windows

Consistent detail elements and other design elements appropriate to the style of the building shall be used to articulate entrances to buildings. The window proportion and placement shall be compatible with the proportion of the building.

Doors

- Commercial style doors, with wide stiles and glazing are typical.
- Commercial primary entry doors shall be glazed for at least a third of the total area, and have either wood or metal frames for commercial uses.
- Solid doors are appropriate for residential architecture and non-primary entry commercial.

Windows

The following window types and massing may be appropriate based on the architectural style of the building

- Ribbon windows that span the facade.
- Spandrel panels
- Storefront glazing systems

- For the Residential areas, Community, Civic and Institutional Uses in the Commercial areas, standard residential type windows including single and double hung, sliding and casement windows are permissible. Developer may approve unique window solutions proposed by Commercial Uses on a case by case basis.

PARKING

Parking areas in Easton Farms area must be accessible to visitors. In the mixed-use context being created, on-street parking is encouraged. Parking areas should not interrupt the general character of the community.

- Parking is permitted around buildings, with access to the lot at a point consistent with the intent of the General Plan, and along the internal roadways in areas to be designed as parallel parking bays.
- Large areas of multi-row parking along the Main Street frontage are not permitted.
- There is no maximum area of parking concentration for commercial buildings but these areas must be configured with internal landscape areas to break the parking area massing.
- Refer to parking lot planting for landscape requirements.
- Allow shared parking between uses that have different peak load times.
- Integrate all areas of parking with circulation routes for.
- Parking lot screening must follow those recommendations in the landscape section of these guidelines.
- Bicycle parking is recommended in the commercial areas.
- Separate pedestrian routes through parking lots are recommended, this can be achieved by striping the pavement, a variation in pavement material, color or location.

PARCELS

Vacant/Empty Parcels

Vacant commercial parcels along Main Street that remain vacant for a period of two years following the conclusion of the initial development must be "rough graded" and seeded.

LANDSCAPE

Overview

To assure consistent landscaping approaches on any commercial property, each parcel shall submit a comprehensive landscape plan to the developer for review and approval before installation.

The successful use of plant materials to create a harmonious design depends on the understanding of several general principles. The location and land use of a particular site determines whether a formal or informal landscape design is appropriate. Areas where a formal design layout is appropriate can include gateways, administrative or maintenance areas, street intersections, and street corridors. Informal arrangements

typically favor open spaces, wooded edges, and residential areas.

Trees are an especially effective landscaping material because of their size, form and visual impact. It takes several shrubs to equal the impact of a single tree. Plant materials are especially effective in reducing the scale of buildings while at the same time creating outdoor spaces or "rooms". Plant materials offer the opportunity to introduce color, texture, and form to the environment. Shrubs should be massed and grouped to create pleasing forms. Individually spaced shrubs can be effective in creating "focals" or points of interest. Implemented successfully, a landscape plan can weave circulation, building and the larger site together to create a complete and enjoyable environment.

Landscape Plan Recommendations

A landscape plan is required for all commercial uses, re-developments, additions, or change in the site plan. The plan shall be designed and signed by a licensed landscape architect or qualified designer as determined by the Developer.

General Design Guidelines

An important issue to be considered when developing a landscape plan includes the projected mature size of plants and trees and selection for drought tolerance and low maintenance. Appropriately placed trees and shrubs will provide an aesthetically inviting appearance to the site, as well as an effective means for visually screening surface parking lots, trash dumpsters and loading dock areas. Thought should be given to developing a mix of evergreen and deciduous trees and shrubs in these situations. Additionally, seasonal color is very important in the overall design of the community.

Scale

- Plant materials of varying heights shall be used to provide interest and variety.
- Larger canopy trees shall be placed close to sidewalks to provide an inviting environment for all times of the year.
- Informal foundation plantings of shrubs and small trees of various sizes are encouraged.

Form

- Shade/canopy trees shall be placed between sidewalk and parking lots and to provide a consistent vertical element.
- The Developer recognizes the need for commercial users to be identifiable and encourages the designer to consider signage when designing the Landscape Plan so the landscaping and signage are an integrated system of identification.
- Shrubs shall be clustered to create a massing effect, shrubs placed individually are not recommended except when they are a part of a consistent identification or theming pattern.
- Orient plantings to reduce heat gain from hard surfaces.

Earth Mounds/Berming

- Berms and mounds can be used for screening or buffering between uses or

used to accentuate signage or monumentation. They must not obstruct views within the sight triangle of an intersection.

- Berms can be planted to gain a more accentuated sense of height.

Screening and Buffering

- Orient landscaping to screen surface parking lots, trash dumpsters, and loading dock/service areas.
- Service areas are to use landscape plantings, mounding, fencing or walls to minimize the impact of the service area without drawing attention that the service area is there.

Street Frontage

- All major roads or circulation routes may be planted with the same species and cultivar of street tree. However, some variety is encouraged to preclude the impact of a catastrophic loss of any particular tree variety.
- Street trees where planted shall be located at a consistent distance to each other and within a consistent distance from the curb edge.
- Grass or groundcover must be planted on all areas not covered by other plant material.
- All egress points shall maintain adequate sight lines and should be planted to cue entrances.
- Entrances/exits must not include plantings that obscure sight lines within three (3) and seven (7) Feet above the pavement.

Major Gateway

- Major gateway areas shall incorporate a mix of plantings from the acceptable plant list, including trees, shrubs, and groundcovers.
- Maintain adequate sight line at intersections and egress points when placing plant material (refer to zoning regulations).
- Sight triangle must be unobstructed by plantings or other elements between three (3) and seven (7) feet above the pavement.

Median

- Maintain a minimum ten foot (10') width for medians to accommodate tree plantings where used.
- At vehicular access cuts in the median, maintain low groundcover to allow for adequate sight distance.

Parking Lot Interior Island Landscaping

- In areas of parking of one-hundred fifty (150) spaces or more, a minimum of one (1) shade tree shall be planted for every ten (10) parking spaces.
- Groundcover or mulch should be planted on all areas not covered by other plant material.

Parking Lot Perimeter Planting

- Where parking areas are located at the build-to line with frontage on Main

Street, refer to section 'Street Frontage Planting'.

- Perimeter planting areas shall be provided along the front and sides unless shared parking or drive aisles are being used.
- Groundcover or mulch must be planted on all areas not covered by other plant material.

Bufferyard

A bufferyard or parcel perimeter planting shall be a minimum of five feet (5') wide area from property line or right-of-way except where shared parking or circulation is utilized between adjoining parcels.

Landscaping Standards

The interior dimensions and design of any planting area or planting median must be sufficient to protect and insure proper growth of the plant materials.

Interior widths of planting areas may not be less than:

- 9' width for canopy trees
- 7' width for ornamental trees
- 5' width for shrubs planting beds (without trees)

All plant materials must meet the following specifications:

Shade trees	Minimum trunk diameter 1.5" diameter at base of the crown of the tree above the ball.
Ornamental trees	Minimum trunk diameter 1.5" diameter at base of the crown of the tree above the ball.
Evergreen trees	Minimum height of 5'
Deciduous shrubs	Minimum height of 12" for deciduous shrubs or grasses
Evergreen shrubs	Minimum height of 12"

Care shall be taken in the placement of plant materials subject to a sensitivity to salt spray from winter de-icing applications.

Preservation Trees

A reasonable effort shall be made to preserve the existing trees on each building site while respecting the overall concept of the development and landscape scheme.

SIGNAGE

A comprehensive effort to standardize the signage will allow for improved wayfinding, continuity of appearance and identification. Generally, the size of signage is determined by the scale and use of the structure. A hierarchy of signage shall be established for area recognition, business identification, directional or

wayfinding and other related types of signs. Refer to Springboro Ordinance 96-38, Section 826 of Springboro Sign Code.

Location

Sign placement at intersections or any egress point must allow for safe sight distance.

Lighting

- To improve legibility, wash lighting is required with the directional light fixture being hidden from view.
- Signage will be lit from below, and use consistent type and style of light fixture.
- Internally illuminated signs are permitted.

Size

- The bottom of any projecting sign may not be less than 8' above grade.
- Monument signage must be affixed to a ground base and include landscaping.

Inappropriate Signage

- Flashing, audible signs
- Billboards and sign benches
- Signs on dormers or balconies
- Signs painted directly on a structure

LIGHTING

Lighting can serve a multitude of functions from providing a sense of safety to directing pedestrian and/or vehicular traffic. Lighting can focus attention and accentuate a sign, feature or building. Consistent lighting is an important factor in tying together disparate areas and a formal lighting district is recommended for Easton Farms.

Street Lighting

- Light fixtures must be consistent throughout Easton Farms.
- Light standards shall be spaced at regular intervals and offer continuous ground plane overlap.
- Light standards shall be located at least two feet (2') and preferably five feet (5') back from curb.
- Light standards shall be combined with signage standards and other elements where possible.
- Lighting shall be coordinated with street tree plantings for proper integration.

Parking Lot Lighting

- Parking lot lighting must provide for pedestrian and vehicular safety.
- LED fixtures are encouraged with "warm" lighting renditions.
- Pole height for parking areas must not exceed 20 feet in height.
- Over lighting must be avoided. Lighting shall not cause illumination beyond a

commercial lot line or right-of-way except as a part of the overall lighting plan. The use of house side shields in critical areas is encouraged.

Building Lighting

- Lighting used to accentuate architectural form shall be indirect and the source hidden from view.
- Security lighting must not overflow into another lot.

Pedestrian Lighting

- Use a light hierarchy to distinguish between illumination requirements.
- Street lighting may be placed to also offer illumination along any adjacent walkways.
- Walkway lighting may employ a combination of overhead and bollard fixtures.

Inappropriate Lighting

- Flashing/strobe-type.
- Colored shields or lighting sources.

Site Furnishings/Common Areas

Streetscape furniture should be considered in terms of compatibility with the architectural character of the area as well as consistency with other streetscape elements, such as landscaping and paving and can include items such as benches, bollards, banners, trash receptacles, planters, bicycle racks.

- Site furnishings shall be consistent in design.
- Site furnishings shall be constructed of similar material, preferably metal, stone or other natural materials that coordinate with the building facades.
- Site furnishings such as benches and trash receptacles shall be clustered together in areas of activity, and be located to allow easy access to entrances.

Pedestrian Access

Pedestrian walkways are an important feature in the community to communicate to visitors that pedestrians are welcome and encouraged to walk from residential areas and between businesses. Striping of pavement and pavement type is important, as it serves to differentiate between pedestrian and vehicular circulation, and cues the visitor to appropriate paths between destinations.

- Pedestrian walkways are required along both sides of any public roadway within Easton Farms.
- Walkways must be wide enough to accommodate comfortable passing, and must be a minimum of four feet (4') in width.
- Striping pavement or varying pavement materials or patterns to distinguish pedestrian circulation from vehicular traffic at intersections. Brick pavers or a combination of brick and concrete permitted in areas where pedestrians and vehicles share circulation.

- Brick pavers shall be within a color range to match other recommended brick materials, or architectural or site elements within Easton Farms.

Street Frontage

The streetscape frontage is the element that can most influence perception about the character of an area. By establishing guidelines that promote a unified design, the development is perceived as an economically progressive area. A formal treatment is suggested for the street tree planting and light standard location to lend consistency and uniformity to the public street routes through Easton Farms.

- Street trees where planted shall be spaced at equal intervals along street frontage to establish a consistent edge to the public street routes through Easton Farms.
- Street lighting shall occur at equally spaced intervals and be from the same family of fixtures and standards.
- Landscaping shall follow the landscape guidelines (refer to landscape section).

Gateways

Gateways can provide a point of recognition for this development. At appropriate locations, internal and external gateway elements can establish a design character, mark the edge of a boundary, and orient those not familiar with the community. Using walls, landscaping, signage and architectural tools provide an opportunity to provide a landmark "gateway" into Easton Farms. These gateways may occur at the entrance from Main Street, Anna Drive, Deer Trail and at the pedestrian / bikeway entrances into the community.

- Gateway areas may incorporate appropriate identification elements, such as signage, logo or other icon.
- Signage should be compatible to the architectural style, scale and details used throughout the community in addition to being able to provide readily identifiable orientation to the traveling public, especially along Main Street.
- Appropriate coordinated lighting shall be provided at gateway areas.
- Gateway areas may be punctuated with landscaping, signage, paving, and other significant structures such as walls or columns.
- Landscaping must follow the landscape guidelines (refer to landscape section).

Major Gateway

- The major gateway may incorporate a median that occurs at the intersection with Main Street
- In the gateway area, signage or logo identifying the development may be integrated with other landscape elements.
- Landscaping shall be concentrated at this point but still allow for adequate sight distance.
- Landscaping shall follow the landscape guidelines.

- Lighting integrated into the gateway area and shall follow the lighting guidelines.
- Low walls or other structural elements may be used to punctuate the gateway median and can be combined with signage.

Residential Area

The residential portion of Easton Farms is generally modeled after the R-3 zoning regulation with some modifications. Under this code it states that 6 units per acre is permitted. However, the City of Springboro Land-Use Plan Update recommends a residential density of 6-8 dwelling units per acre. This proposal is at a residential density of 6.99 dwelling units per acre. Developer will use this zoning with the following modifications when planning the design of the residential portion of Easton Farms.

For Single Family Uses

- Minimum lot width: 60' wide
- Minimum lot size: 7,800 square feet
- Minimum front building setback: 25'
- Minimum rear yard setback: 25'
- Minimum side yard setback: 5'

For Apartment, Townhome, and Other Attached Uses

- Minimum building setback from existing Single Family uses: 100'
- Minimum front yard (street) setback: 20'
- Minimum building setback from other perimeter uses: 35'
- Minimum separation between buildings: 15'
- Minimum rear yard setback: 30'

Commercial Area

Section 1261.08 (h) HBD Highway Business District

(h) HBD Highway Business District.

(1) Purpose. The purpose of the HBD Highway Business District is to accommodate business uses that by their nature are dependent on a high traffic, high visibility location and/or which generate substantial amounts of traffic either continuously or at peak periods.

(2) Intent. The intent of the HBD district to serve the needs of automobile highway traffic, and to provide for uses that draw from a regional market and whose customers or clients rely to a great extent upon the freeway system. The HBD Highway Business District is intended to be located at the interchange areas of feeder roads and freeway facilities. These uses are often large in scale, or occupy a portion of a multiple occupancy complex which includes large-scale "anchor" uses.

For Commercial Uses

- Minimum lot width: 65' wide
- Minimum front yard (street) setback: 35'
- Minimum side yard setback: 5'
- Minimum rear yard setback: 5'
- Maximum lot coverage: 85%
- Minimum separation between buildings: 15'

Permitted Uses

The permitted uses identified in Section 1263.04 Table 6 "Table of Permitted Uses" as modified below is applicable to all lots within the Commercial Area of Easton Farms.

Easton Farms Commercial	
Table 6. Permitted Uses by District modified - HBD Highway Business District	
Proposed Use	HBD -Highway Business District
Residential Uses	
Type-A Family Day Care Home	Permitted
Type-B Family Day Care Home	Permitted
Foster Home (ORC	Permitted
State Licensed Residential Facilities serving one to five unrelated persons(ORC 5119)	Permitted
State Licensed Residential Facilities serving six to 16 unrelated persons(ORC 5119)	Permitted
Community, Civic and Institutional Uses	
Technical School	Permitted
Institution for Higher Education	Permitted
Charitable or Philanthropic Use	Permitted
Private Club, Fraternal Organization, or Community Group	Permitted
Hospitals	Permitted
Medical Clinics	Permitted
Human Care Institution including Nursing, Convalescent, Assisted Living and Memory Care	Permitted
Place of Worship	Permitted
Public and Private Schools	Permitted
Day Care Center (including pre-school)	Permitted
Cultural, Municipal or Public Use	Permitted
Essential Services and Utilities	Permitted
Commercial, Office and Service Uses	
Retail Sales (Indoor)	
Veterinary Hospital, Clinic or Office	Permitted
Vehicle Fueling Station	Permitted
Vehicle Service and Repair, Minor	Permitted
Vehicle or Mechanical Equipment Sales or Rental	Permitted
Bank or Financial Institution w/drive through	Permitted
Bank or Financial Institution w/o drive through	Permitted
Bar or Tavern	Permitted

Office	Permitted
Recreation, Commercial Indoor	Permitted
Business Service Establishment	Permitted
Vehicle Wash Establishment	Permitted
Drive-In and/or Drive-Through Facilities	Permitted
Personal Service Establishment	Permitted
Garden Center	Permitted
Hotel, Motel or Inn	Permitted
Other similar uses as determined by the Zoning Inspector	Permitted
Funeral Home	Permitted
Pet Day Care Facility	Permitted
Retail Sales (Outdoor) (accessory to a permitted use)	Permitted
Restaurant w/o drive through	Permitted
Restaurant w/drive through	Permitted
Bakery or Confectionary	Permitted
Place of Assembly	Permitted
Theater	Permitted
Accessory, Temporary, and Other Uses	
Accessory Buildings, Structures, and Uses	Permitted
Farmer's Market	Permitted
Food Trucks	Permitted
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)	Permitted
Off-Street Public Parking Lot	Permitted
Off-Street Public Parking Garage	Permitted
Outdoor Dining (accessory to a permitted restaurant use)	Permitted
Seasonal Sales	Permitted
Temporary Uses	Permitted
Personal Wireless Service (PWS) Facilities	Permitted

Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, March 8, 2017, 6:00 p.m.

III. Agenda Items

- A. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development
- B. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

Background Information

These agenda items are based on a request filed by HP Acquisitions, LLC, Blue Ash, Ohio, seeking Rezoning and General Plan approval for the Easton Farm, a 101-acre property located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. A 16.08-acre parcel of land on the west side of the property is not included in the application and is proposed to be retained by the existing property owners, the Ted & Becky Hall Living Trust.

The proposed Rezoning/General Plan appears as two separate items on the March 8 Planning Commission Work Session agenda and this Background and Comment document. The first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislations considered by City Council.

The 86.65-acre subject property is located southwest of the intersection of Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property. Vehicular access is provided by a single driveway from North Main Street.

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned (T)R-1, Clearcreek Township Rural Residence District, a zoning category dating to the property's annexation. The (T)R-1 District allowed a similar residential development pattern to the R-1. It was replaced with the R-1 District on this site and others to provide the City of Springboro with consistent land use and development controls within the corporate boundaries.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with at least two components: commercial and residential. The applicant has been advised by staff that the Planning Commission and City Council have in their authority the ability to strike-out uses permitted in conventional zoning districts, such as the R-1 District, that they might find undesirable for the subject property given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions.

Rezoning together with General Plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final Development Plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final Development Plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with Final Development Plans, Record Plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the west residential development residential development including condominiums within Springbrook Commons and to the west single-family residential development along Tamarack Trail. Further west is the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills/Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south and transitioning to PUD and R-3, Medium-Density Residential District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The rezoning and general plan applications were reviewed at the January 11 Planning Commission Work Session. The following changes were made to the submitted information since that time:

- The general plan was revised accordingly:
 - The total number of proposed dwelling units was reduced from 485 to 467.
 - A 28.48-acre multi-family residential component was formed from a 8.16-acre townhomes/attached component and a 18.66-acre apartments/townhomes component. The total number of dwelling units in this component was reduced from 364 to 360 units.

- The single-family residential component on the northwest corner of the site was increased from 8.77 to 9.43 acres in area and reduced from 22 to 21 dwelling units.
- The single-family residential component on the south side of the site was reduced in area from 33.95 to 31.59 acres in area and reduced from 99 to 86 dwelling units.
- The size of commercial component was reduced from 17.24 to 17.17 acres in area.
- The road system was revised to provide a connection to North Park on the south side of the development.
- The list of proposed uses for the commercial component was revised and a comparison provided between proposed land uses, recommendations from the land use plan and zoning code.
- The development guidelines booklet was not provided at this time at the request of staff so as to allow an opportunity to focus on the general plan's land use pattern, proposed residential development densities and the site's proposed circulation pattern and connection to the City's existing street network.

The applicant's General Plan concept drawing proposes a 17.17-acre of commercial development component along the North Main Street frontage on the east side of the property. A 31.59-acre single-family residential component is proposed for the south central portion of the subject property at a proposed density of 2.72 dwelling units per acre. To the north, an 28.48-acre multi-family component of apartments and townhouses is proposed for the north central portion of the subject property at a density of 12.64 dwelling units per acre. A second single-family component is proposed for the northwest corner of the site at a proposed density of 2.23 dwelling units per acre.

The proposed General Plan indicates vehicular access will be provided at North Main Street as well as to connections to the existing road network at Anna Drive and Fox Trail Drive to the north. Two right-in/right-out connections are also shown on North Main Street. No indication is provided on the General Plan is the vehicular access is proposed to be signalized. A traffic impact study has been submitted to City staff and is currently under review.

Staff Comments:

City staff has the following comments on the application:

1. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #3, North SR 741 Corridor, as follows:
 - a. What in this application warrants the City to depart from the approved Land Use Plan to permit development densities in excess of 6-8 dwelling units?
 - b. Why are a number of uses proposed for the commercial component, specifically minor vehicle repair, vehicle/mechanical equipment sales/rental, vehicle wash, outdoor retail sales and restaurants with drive-throughs, that are inconsistent with plan recommendations?
2. Revise the submittal to address the following errors:
 - a. Change the commercial component to retail component throughout the submittal.
 - b. Revise sheets that state "TR-1" to read "R-1". Also revise PUD designations on plan to read "PUD-MU".
 - c. Revise bearing on chord of arc at the north east corner of property to read South & East.
 - d. Change 16.08 acre area to background color as this is not subject to the rezoning application.
 - e. Remove text "This drawing for illustration purposes only..."
 - f. Change Fox Tail Drive to Fox Trail Drive on the location and area maps.
 - g. Provide minimum lot sizes for the proposed single-family residential areas.

3. The applicant to prepare guidelines for the proposed development components following discussion of proposed densities and land uses addressing building design and materials, landscaping, signage, site (parking areas, walkways, building) lighting and other particulars.
4. Indicate what percentage of the proposed open space is afforded to the storm water management, setbacks, buffers and other project necessities and actual usable, programmable open space.
5. City staff reserves the opportunity to comment on this application regarding issues including but not limited to the following:
 - a. The necessity of a lot split and secondary access to the 16.08-acre tract to remain under R-1 zoning.
 - b. The establishment of associations to manage common areas within the commercial and residential areas of the proposed development.
 - c. The development's storm water management. Note also that storm water management for the commercial component to be provided underground.
 - d. Street lighting for public streets consistent with City standards and City provides for post lighting in single-family residential areas.
 - e. Roadway construction phasing to allow for the orderly expansion of the street network and to comply with subdivisions regulation requirements.
 - f. Construction traffic limitations to protect the existing street network particularly residential areas.
 - g. Sanitary sewer capacity.
 - h. Providing improvements along SR 741 such as drop turn lanes and utilities.
 - i. Typical sections for proposed roadways including the provision of sidewalks on both sides of public streets, curb cut locations and internal roadway networks including proposed round-a-bouts that may need to be revised based upon a traffic study.
 - j. Design specifics for the access point on Tamarack Trail.
6. Indicate where signalized intersections are proposed as part of this application.
7. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Wednesday, March 8, 2017 at 5:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☒ Rezoning/General Plan ☐ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: Easton Farms

DEVELOPER'S NAME: HP Acquisitions LLC

Address: 4901 Hunt Road, Suite 300, Cincinnati, OH 45242

Telephone No.: (513) 984-0300 Fax No.: (513) 618-7680

Email: jimo@hillsinc.com

OWNER'S NAME: Ted & Rebecca Hall Living Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No.: (937)748-0698 Fax No.: (____) _____

Email: tbh605@sbcglobal.net

LOCATION DESCRIPTION:

Project Location: East side OF Main St. (SR 741) south of Anna Drive

Parcel #: 0414227005 (If necessary, attach a legal description.)

Existing Land Use: Agricultural with two (2) existing residences and miscellaneous agricultural structures

PUD FEATURES:

Total Area (acres): 86.67 Number of Lots: 107 - SF, 364 - Apartments / TH / Attached

Type of PUD: ☐ Residential ☐ Business ☐ Office ☐ Manufacturing ☒ Mixed

If Mixed, acreage in each area: 69.5 - Residential, 17.17 - Business, N/A - Manufacturing
N/A - Office


Proposed Density: 6.72 d.u. / acre Proposed Number of Units: 467

Type of Units:

Residential: Single family, 2 story townhomes and luxury apartments. Commercial: Senior living (Assisted Living & Memory Care), restaurants, convenience retail

ZONING:

Current Zoning: TR-1 Res. Proposed District (if appropriate): PUD - Mixed



(Signature of Developer and/or Owner)

2-27-2017
(Date)



2.23.17

Mr. Dan Boron
Planning Consultant
City of Springboro
320 West Central Ave.
Springboro, OH 45066

Re: Easton Farms

Dear Dan,

With this letter we are re-submitting our plans for the development of the Easton Farm. We believe we have listened closely to the comments of both staff and the Planning Commission and this submission incorporates all of those comments that we can make and to keep the site viable in the market place, which we believe to be the vast majority of the concerns.

We are submitting:

- 6 full sized sets of plans including Location Map, Area Map, and Bubble Exhibit
- 6 copies of the revised legal description adjusted to accommodate the roundabout added.
- 1 copy of the proposed "Easton Commercial District Permitted Uses" 2-23-17
- 1 copy of the "Easton Commercial District & Land-Use comparative uses" 2-23-17

PDF files of all the above is being sent to you via a Sharefile link / email.

I will not be able to attend the meeting on March 6 as I will be out of the country beginning on March 4. Michael and Brandon will be there to review our proposal with the Planning Commission. Please feel free to contact either / both Michael or myself next week if you have any questions.

Once again, thank you for all your assistance.

Thank You and Sincerely,
Hills Developers

A handwritten signature in blue ink, appearing to read "James D. Obert".

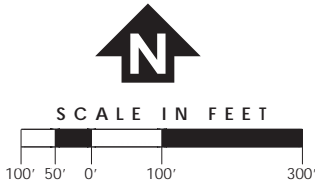
James D. Obert
VP of Planning, Zoning & Development

PROPOSED DENSITY INFORMATION					
	UNITS/LOTS	AREA (acres)	DENSITY (units/acre)	OPEN SPACE (acres)	OPEN SPACE PERCENTAGE
MULTI-FAMILY	360	28.48	12.64	9.65	33.9%
SINGLE FAMILY LOTS	107	41.02	2.61	8.70	21.2%
TOTAL RESIDENTIAL USE	467	69.5	6.72	18.35	26.4%
TOTAL COMMERCIAL USE	---	17.17	---	---	---
TOTAL AREA		86.67		18.35	
ACREAGE AREAS ARE CALCULATED TO THE CENTERLINE OF PROPOSED INTERNAL ROADWAYS.					

PROPOSED SETBACK INFORMATION				
LOCATION	SINGLE FAMILY LOTS	APARTMENT BUILDINGS	TOWNHOUSE BUILDINGS	ACCESSORY STRUCTURES
FRONT	25'	15' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY
SIDE	5'	30' BETWEEN BUILDINGS	15' BETWEEN BUILDINGS	N/A
REAR	25'	100' FROM EXISTING R-2 AND PUD-MU ZONES	100' FROM EXISTING R-2 AND PUD-MU ZONES	25' FROM EXISTING PUD-MU ZONE
THE PROPERTY OWNER AND/OR HOME-OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF OPEN SPACE AND RECREATION FACILITIES.				



INVERNESS
HILLS
PROPERTIES®



THIS DRAWING IS FOR ILLUSTRATION
PURPOSES ONLY
AND SUBJECT TO CHANGE.

mSP
McGill Smith Punshon, Inc.

EASTON FARMS
GENERAL PLAN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
PROJECT NUMBER: 16470.00 | DATE: FEBRUARY 22, 2017

Easton Farms Commercial - Proposed Uses

List of permitted uses for Easton Farms

Proposed Use	Easton Farms
--------------	--------------

Community, Civic and Institutional Uses	
Technical School	√
Institution for Higher Education	√
Charitable or Philanthropic Use	√
Private Club, Fraternal Organization, or Community Group	√
Medical Clinics	√
Human Care Institution, i.e. nursing, convalescent home, <i>assisted living & memory care</i>	√
Place of Worship	√
Public and Private Schools	√
Day Care Center (including pre-school)	√
Essential Services and Utilities	√
Retail Sales (Indoor) 75,000 maximum building footprint	√
Veterinary Hospital, Clinic or Office	√
Vehicle Fueling Station - Less than 2 acres in lot size	√
Vehicle Repair, Minor	√
Vehicle or Mechanical Equipment Sales or Rental	√
Bank or Financial Institution w/drive through	√
Bank or Financial Institution w/o drive through	√
Bar or Tavern	√
Office	√
Recreation, Commercial Indoor	√
Business Service Establishment	√
Vehicle Wash Establishment	√
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)	√
Personal Service Establishment	√
Garden Center	√
Other similar uses as determined by the Zoning Inspector	√
Funeral Home	√
Pet Day Care Facility	√

Easton Farms Commercial - Proposed Uses

List of permitted uses for Easton Farms

Proposed Use	Easton Farms
Retail Sales (Outdoor) (accessory to a permitted use)	√
Restaurant w/o drive through	√
Restaurant w/drive through	√
Bakery or Confectionary	√
Place of Assembly	√
Theater	√

Accessory, Temporary, and Other Uses	
Accessory Buildings, Structures, and Uses	√
Farmer's Market	√
Food Trucks	√
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)	√
Outdoor Storage (accessory to a principal use)	√
Outdoor Dining (accessory to a permitted restaurant use)	√
Seasonal Sales	√
Temporary Uses	√
Personal Wireless Service (PWS) Facilities	√

Easton Farms Commercial - Comparative List

Comparative list of uses based on Zoning Code Table 6 Permitted Uses by District - LBD Local Business District & HBD Highway Business District. With Easton - Land Use Plan Area 3 - List of Preferred Land Uses.

Proposed Use	Proposed Easton	Land Use Plan Area 3	LBD - Local Business District	HBD - Highway Business District
Community, Civic and Institutional Uses				
Technical School	√	Permitted		Permitted
Institution for Higher Education	√	Permitted		Permitted
Charitable or Philanthropic Use	√	Permitted		Permitted
Private Club, Fraternal Organization, or Community Group	√	Permitted		Permitted
Hospitals				Permitted
Medical Clinics	√	Permitted	Permitted	Permitted
Human Care Institution, i.e. nursing, convalescent home, <i>assisted living & memory care</i>	√	Permitted	Permitted	Permitted
Place of Worship	√	Permitted	Permitted	Permitted
Public and Private Schools	√	Permitted	Permitted	Permitted
Day Care Center (including pre-school)	√	Permitted	Permitted	Permitted
Recreation, Public (publicly owned)		Permitted	Permitted	Permitted
Cultural, Municipal or Public Use		Permitted	Permitted	Permitted
Essential Services and Utilities	√	Permitted	Permitted	Permitted
Retail Sales (Indoor)	√	Permitted	Permitted	Permitted
Veterinary Hospital, Clinic or Office	√	Permitted	Permitted	Permitted
Vehicle Fueling Station	√	Permitted		Permitted
Vehicle Repair, Minor	√	Permitted		Permitted
Vehicle or Mechanical Equipment Sales or Rental	√	Permitted		Permitted
Bank or Financial Institution w/drive through	√	Permitted	Permitted	Permitted
Bank or Financial Institution w/o drive through	√	Permitted	Permitted	Permitted
Bed-and-Breakfast		Permitted	Permitted	Permitted
Bar or Tavern	√	Permitted	Permitted	Permitted
Office	√	Permitted	Permitted	Permitted
Recreation, Commercial Indoor	√	Permitted		Permitted
Business Service Establishment	√	Permitted		Permitted
Vehicle Wash Establishment	√	Permitted		Permitted
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)	√	Permitted		Permitted
Personal Service Establishment	√	Permitted	Permitted	Permitted
Garden Center	√	Permitted	Permitted	Permitted
Hotel, Motel or Inn				Permitted
Other similar uses as determined by the Zoning Inspector	√	Permitted	Permitted	Permitted
Funeral Home	√	Permitted	Permitted	Permitted
Pet Day Care Facility	√	Permitted		Permitted
Retail Sales (Outdoor) (accessory to a permitted use)	√	Not stated	Permitted	
Restaurant w/o drive through	√	Permitted	Permitted	Permitted
Restaurant w/drive through	√	Not stated		Permitted
Bakery or Confectionary	√	Permitted	Permitted	Permitted

Easton Farms Commercial - Comparative List

Comparative list of uses based on Zoning Code Table 6 Permitted Uses by District - LBD Local Business District & HBD Highway Business District. With Easton - Land Use Plan Area 3 - List of Preferred Land Uses.

Proposed Use	Proposed Easton	Land Use Plan Area 3	LBD - Local Business District	HBD - Highway Business District
Place of Assembly	√	Permitted		Permitted
Theater	√	Permitted		Permitted

Accessory, Temporary, and Other Uses				
Accessory Buildings, Structures, and Uses	√	Not stated	Permitted	Permitted
Farmer’s Market	√	Not stated	Permitted	Permitted
Food Trucks	√	Not stated	Permitted	Permitted
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)	√	Not stated	Permitted	Permitted
Outdoor Storage (accessory to a principal use)	√	Not stated	Permitted	Permitted
Off-Street Public Parking Lot			Permitted	Permitted
Off-Street Public Parking Garage				
Outdoor Dining (accessory to a permitted restaurant use)	√	Not stated	Permitted	Permitted
Seasonal Sales	√	Not stated	Permitted	Permitted
Temporary Uses	√	Not stated	Permitted	Permitted
Personal Wireless Service (PWS) Facilities	√	Not stated	Permitted	Permitted

DESCRIPTION FOR: Hills Properties

LOCATION: State Route 741
86.67 Acres

AREA TO BE RECLASSIFIED "PUD-MU"

Situate in Section 14, Town 2, Range 5, City of Springboro, Warren County, Ohio and being more particularly described as follows:

Beginning at a point in the north line of said Section 14, said point being South 75°30'00" West, 131.64 feet from the northeast corner of said Section 14 and lies in the south right-of-way line of Anna Drive;

Thence, with said south right-of-way line, South 86°47'36" East, 45.55 feet to a point;

Thence, along an arc deflecting to the right, having a radius of 26.50 feet, a central angle of 87°12'56", a length of 40.34 feet, the chord of said arc bears North 43°11'08" West, 36.56 feet to a point in the west right-of-way line of State Route 741, aka Springboro Pike;

Thence, with said west right-of-way line, South 00°25'20" West, 1664.49 feet to a point in the north line of the lands conveyed to the Colleen Bossi Co., LLC by deed recorded in O.R. 4197, Page 186, Warren County, Ohio Recorder's Office;

Thence, with said north line and the north line of Springbrook, Section 7, Phase 5 as recorded in P.B. 17, Page 17 and the north line of Springbrook Section 11, as recorded in P.B. 60, Page 19 and the lands conveyed to the Village of Springboro by deed recorded in O.R. 80, Page 271, Warren County, Ohio Recorder's Office, South 84°33'12" West, 624.93 feet to a point and South 76°35'17" West, 2079.15 feet to a point;

Thence, with new division lines the following nine (9) courses and distances;

1. North 14°56'35" East, 516.43 feet to a point;
2. North 84°59'20" East, 289.47 feet to a point;
3. North 39°30'23" East, 466.79 feet to a point;
4. North 75°18'12" East, 110.08 feet to a point;
5. Along an arc deflecting to the right, having a radius of 75.00 feet, a central angle of 47°09'23", a length of 61.73 feet, the chord of said arc bears North 01°47'52" East, 60.00 feet to a point;
6. North 84°15'21" West, 221.91 feet to a point;

McGill Smith Punshon, Inc.

3700 Park 42 Drive ■ Suite 190B ■ Cincinnati, Ohio ■ 45241-2097
513.759.0004 ■ Fax 513.563.7099 ■ www.mcgillsmithpunshon.com



7. North 49°02'12" West, 656.57 feet to a point;
8. South 75°30'00" West, 93.78 feet to a point;
9. North 50°09'20" West, 202.47 feet to a point in the west line of the lands conveyed to Joe & Kathy Rolka, Tr., by deed recorded in O.R. 4524, Page 252, Warren County, Ohio Recorder's Office, said point also being a southwest corner of Hunter Springs, Section Two as recorded in P.B. 21, Page 61, Warren County, Ohio Recorder's Office, said point also being in the north line of aforesaid Section 14;

Thence, with the south line of said Hunter Springs, Section Two, the north line of said Section 14, the south line of the lands conveyed to the City Of Springboro by deed recorded in O.R. 4084, Page 691, the south line of the lands conveyed to HB Property Ventures, LLC by deed recorded in Doc. No. 2016-021781, the south line of the lands conveyed to American Telephone & Telegraph Co., by deed recorded in O.R. 453, Page 866 and the south line of the lands conveyed to Coffman Springboro Commercial, LLC by deed recorded in O.R. 3294, Page 893, Warren County, Ohio Recorder's Office, North 75°30'00" East, 2811.89 feet to the Point of Beginning.

Containing 86.67 acres of land.

Subject to all legal highways, easements and restrictions of record.

Being part of the same premises conveyed to Ted D. Hall, Tr., and Rebecca Hall, Tr., by deed recorded in Official Record 4355, Page 598, Warren County, Ohio Recorder's Office.

The above description was prepared by McGill Smith Punshon, Inc. under the direction of Jerry L. Keller, P.S., Ohio Registration No. 7584. Bearings are based on Plat of Survey recorded in Volume 125, Page 66, Warren County Engineers Record of Land Surveys.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 2/23/2017
Jerry L. Keller P. S. #7584

Prepared by: McGill Smith Punshon, Inc.
Date: February 23, 2017
MSP No.: 16470.00

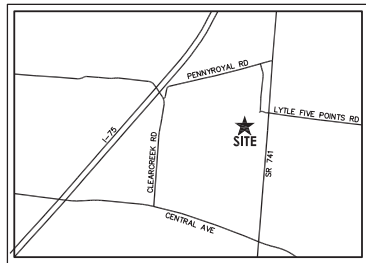
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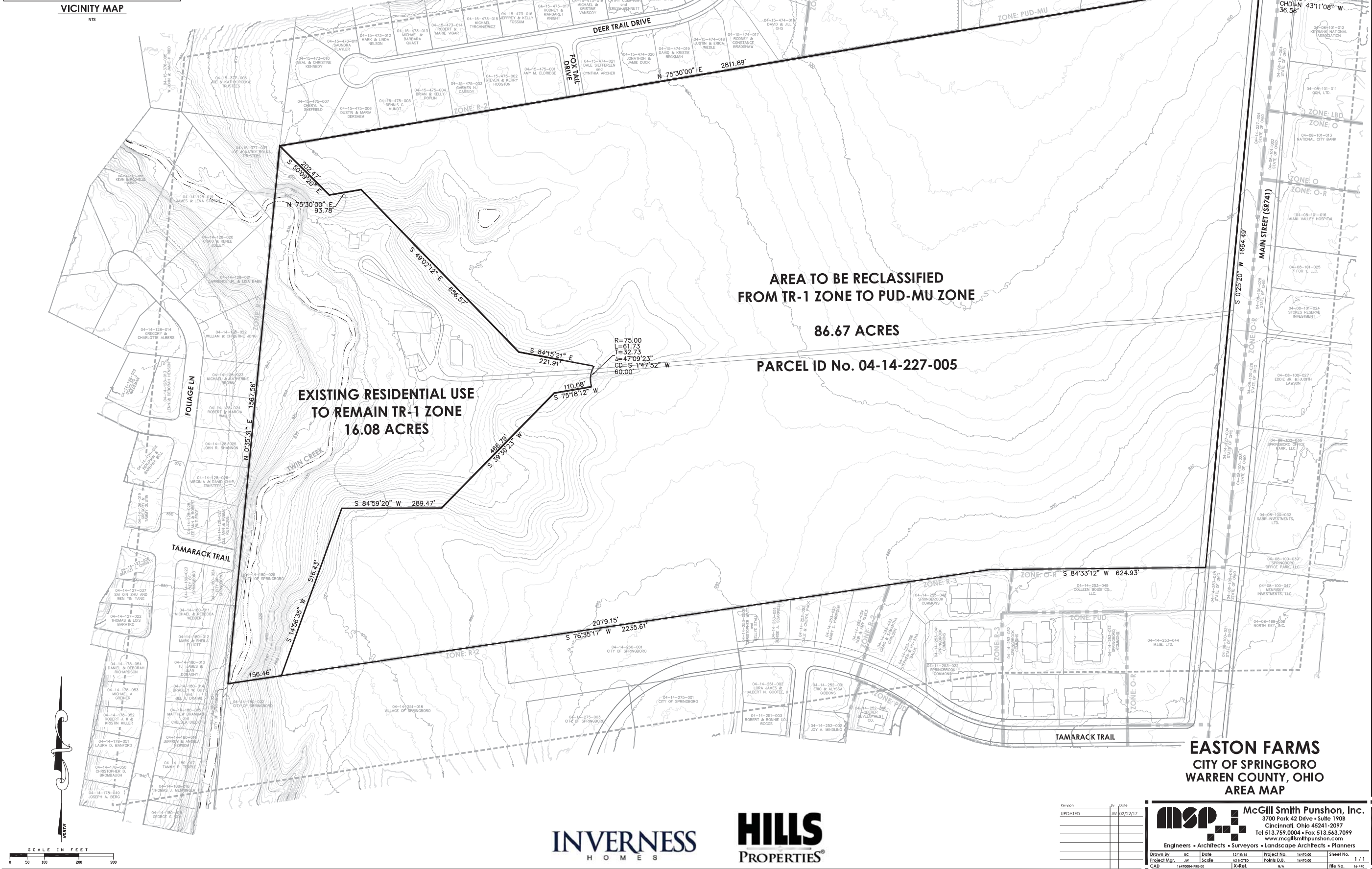
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513.759.0004 ■ Fax 513.563.7099 ■ www.mcgillsmithpunshon.com





VICINITY MAP
NTS

BOUNDARY INFORMATION COMPILED FROM SURVEYS OF RECORD AS IS
NOT THE RESULT OF A FIELD SURVEY BY MCGILL SMITH PUNSHON, INC.
TOPOGRAPHIC INFORMATION TAKEN FROM WARREN COUNTY GIS.



AREA TO BE RECLASSIFIED
FROM TR-1 ZONE TO PUD-MU ZONE

86.67 ACRES

PARCEL ID No. 04-14-227-005

EXISTING RESIDENTIAL USE
TO REMAIN TR-1 ZONE
16.08 ACRES

EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
AREA MAP

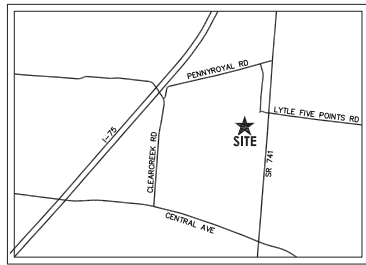
INVERNESS
HOMES

HILLS
PROPERTIES

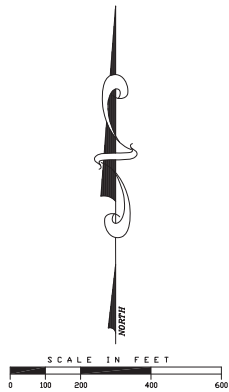
Revised	By	Date
UPDATED	JW	02/22/17

mSP McGill Smith Punshon, Inc.
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Cincinnati, Ohio 45241-2097
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Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn By	BC	Date	12/15/16	Project No.	14470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS SHOWN	Project D.R.	14470.00		
CAD	14470004-FR-00	X-Ref.					




VICINITY MAP
NTS



EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
LOCATION MAP

Revised	By	Date
UPDATED	JW	02/22/17



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Drawn By	BC	Date	12/15/16	Project No.	16470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Points D.R.	16470.00	File No.	16-470
CAD	16470004-FR-00	X-Ref.	N/A				



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Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, May 10, 2017, 6:00 p.m.

III. Agenda Items

- A. Extension of Approval of Final Development Plan, Twin Creek PUD-R, Planned Unit Development-Residential, 465 West Factory Road, conservation-type residential subdivision**

Background Information

This agenda item is a request for a six-month extension on Planning Commission's approval of the final development plan for the Twin Creek Planned Unit Development-Residential (PUD-R) located at 465 West Factory Road. The property, also known as the Swope property PUD-R, is a 28.77-acre property that was rezoned to PUD-R in 2003 along with a General Plan. The general plan was subsequently revised and approved by the Planning Commission at its April 26, 2006 meeting and the final development plan was approved at the July 26, 2006 Planning Commission meeting.

Similar extensions were approved by the Planning Commission at the June 29, 2011; January 25, 2012; October 31, 2012; May 29, 2013; November 13, 2013 and May 28, 2014 meetings. A revision to the Planning and Zoning Code that came into effect in March 2015 extended the approval to November 30, 2016. The current Planning & Zoning Code allows for two six-month extensions. This request would extend the approval through November 2017 and would be the final extension on the approval.

No City Council action is required following Planning Commission consideration. This item would require formal action by the Planning Commission at the May 31 Planning Commission Meeting.

- B. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**
- C. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development**

Background Information

These agenda items are based on a request filed by HP Acquisitions, LLC, Blue Ash, Ohio, seeking Rezoning and General Plan approval for the Easton Farm, a 101-acre property located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. A 16.08-acre parcel of land on the west side of the property is not included in the application and is proposed to be retained by the existing property owners, the Ted & Becky Hall Living Trust.

The proposed rezoning/general plan appears as two separate items on the March 8 Planning Commission Work Session agenda and this Background and Comment document. The first stage of the PUD process, rezoning and general plan review and approval, will involve two separate

recommendations to City Council, and later two separate pieces of legislation considered by City Council.

The 86.65-acre subject property is located southwest of the intersection of Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property. Vehicular access is provided by a single driveway from North Main Street.

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned (T)R-1, Clearcreek Township Rural Residence District, a zoning category dating to the property's annexation. The (T)R-1 District allowed a similar residential development pattern to the R-1. It was replaced with the R-1 District on this site and others to provide the City of Springboro with consistent land use and development controls within the corporate boundaries.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with at least two components: commercial and residential. The applicant has been advised by staff that the Planning Commission and City Council have in their authority the ability to strike-out uses permitted in conventional zoning districts that they might find undesirable for the subject property given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions.

Rezoning together with General Plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final Development Plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final Development Plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with Final Development Plans, Record Plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the west residential development including condominiums within Springbrook Commons and to the west single-family residential development along Tamarack Trail. Further west is the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills/Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south and transitioning to PUD and R-3, Medium-

Density Residential District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The rezoning and general plan applications were reviewed at the January 11 and March 8 Planning Commission Work Session. The following changes were made to the submitted information since the March 8 submission time:

- The general plan was revised accordingly:
 - Details were added to describe a number of the open space areas.
 - The commercial component was renamed retail component.
 - A traffic signal icon was added at the intersection of the main entrance to the Easton Farm and North Main Street.
- The list of proposed uses for the commercial component was revised.
- A 32-page design guidelines booklet was provided.
- A 5-page development narrative was included highlighting the developer's perspective on the proposed development compared to the City's 2009 Land Use Plan.

The applicant's General Plan concept drawing proposes a 17.17-acre of commercial development component along the North Main Street frontage on the east side of the property. A 31.59-acre single-family residential component is proposed for the south central portion of the subject property at a proposed density of 2.72 dwelling units per acre. To the north, an 28.48-acre multi-family component of apartments and townhouses is proposed for the north central portion of the subject property at a density of 12.64 dwelling units per acre. A 9.43-acre, single-family component is proposed for the northwest corner of the site at a proposed density of 2.23 dwelling units per acre. Overall residential density residential components is 6.7 dwelling units per acre (467 dwelling units on 69.5 acres).

The proposed General Plan indicates vehicular access will be provided at North Main Street as well as to connections to the existing road network at Anna Drive and Fox Trail Drive to the north and Tamarack Trail to the south. Two right-in/right-out connections are also shown on North Main Street. A traffic impact study has been submitted to City staff and is currently under review.

Staff Comments:

City staff has the following comments for this application:

1. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #3, North SR 741 Corridor, as follows:

- a. List amenities that warrant intensive development densities in the multi-family residential section of the proposed development.
 - b. Why are two non-preferred land uses, vehicle washes and restaurants with drive-throughs, included in the list of permitted uses for the retail component?
2. Move proposed Tamarack Trail access point to east to collocate with proposed pedestrian/bike access point.
3. Remove accessory structures from the setback table, as they are to be located in the rear yard only, per Springboro ordinances. Otherwise, clarify the accessory structure and where it applies.
4. Curb cuts, access, traffic signal, and traffic impact study to be reviewed by staff to determine the actual locations of these items, and to determine the need for a traffic signal. Internal roadway as shown may need to be revised based upon the traffic signal's impact (if allowed), such as increasing the throat length at the intersection.
5. Design guidelines require revision. The following general comments provide a framework for necessary revisions:
 - a. Include page numbers and date of draft and revise numbering format to improve comprehension.
 - b. Include graphics to reflect design objectives of the guidelines.
 - c. What are these design standards collectively attempting to achieve?
 - d. Guidelines should not specifically include Springboro Planning & Zoning Code content but add to it in order to provide for a high-quality development. For example, do not restate Springboro's Sign Code but add to it, such as identification of a signage hierarchy within the Easton Farm development, materials and lighting formats, location for signage on buildings and sites, development signage at project gateways and the branding of the Easton Farm development.
 - e. What is the purpose of the material beginning with Section 16, Development Plan Review Standards, on page 14 and continuing through to page 17? Is this to create a review process outside of the normal Planned Unit Development review process?
 - f. Material beginning on page 18 (signs) through page 25 (parking) is from the Planning & Zoning Code and in-part duplicates material earlier in the guidelines? Why is this material addressed twice in the standards?
6. Traffic warrant signal analysis shall be updated to reflect proposed/permitted land uses and additional access locations.
7. City staff reserves the opportunity to comment on this application regarding issues including but not limited to the following:
 - a. The necessity of a lot split and secondary access to the 16.08-acre tract to remain under R-1 zoning.
 - b. The establishment of associations to manage common areas within the commercial and residential areas of the proposed development.
 - c. The development's storm water management. Note also that storm water management for the commercial component to be provided underground.
 - d. Street lighting for public streets consistent with City standards and City provides for post lighting in single-family residential areas.
 - e. Roadway construction phasing to allow for the orderly expansion of the street network and to comply with subdivisions regulation requirements.
 - f. Construction traffic limitations to protect the existing street network particularly residential areas.
 - g. Sanitary sewer capacity.
 - h. Providing improvements along SR 741 such as drop turn lanes and utilities.

- i. Typical sections for proposed roadways including the provision of sidewalks on both sides of public streets, curb cut locations and internal roadway networks including proposed round-a-bouts that may need to be revised based upon a traffic study.
8. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Friday, May 5, 2017 at 5:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☒ Rezoning/General Plan ☐ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: Easton Farms

DEVELOPER'S NAME: HP Acquisitions LLC

Address: 4901 Hunt Road, Suite 300, Cincinnati, OH 45242

Telephone No.: (513) 984-0300 Fax No.: (513) 618-7680

Email: jimo@hillsinc.com

OWNER'S NAME: Ted & Rebecca Hall Living Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No.: (937)748-0698 Fax No.: (____) _____

Email: tbh605@sbcglobal.net

LOCATION DESCRIPTION:

Project Location: East side OF Main St. (SR 741) south of Anna Drive

Parcel #: 0414227005 (If necessary, attach a legal description.)

Existing Land Use: Agricultural with two (2) existing residences and miscellaneous agricultural structures to remain.

PUD FEATURES:

Total Area (acres): 86.67 Number of Lots: 107 - SF, 360 - Apartments / TH / Attached

Type of PUD: ☐ Residential ☐ Business ☐ Office ☐ Manufacturing ☒ Mixed

If Mixed, acreage in each area: 69.5 - Residential, 17.17 - Business, N/A - Manufacturing
N/A - Office


Proposed Density: 6.72 d.u. / acre Proposed Number of Units: 467

Type of Units:

Residential: Single family, 2 story townhomes and luxury apartments. Commercial: Senior living (Assisted Living & Memory Care), restaurants, convenience retail

ZONING:

Current Zoning: TR-1 Res. Proposed District (if appropriate): PUD - Mixed



(Signature of Developer and/or Owner)

4-27-2017
(Date)

PROPOSED DENSITY INFORMATION					
	UNITS/LOTS	AREA (acres)	DENSITY (units/acre)	OPEN SPACE (acres)	OPEN SPACE PERCENTAGE
MULTI-FAMILY	360	28.48	12.64	9.65	33.9%
SINGLE FAMILY LOTS	107	41.02	2.61	8.70	21.2%
TOTAL RESIDENTIAL USE	467	69.5	6.72	18.35	26.4%
TOTAL COMMERCIAL USE	---	17.17	---	---	---
TOTAL AREA		86.67		18.35	
ACREAGE AREAS ARE CALCULATED TO THE CENTERLINE OF PROPOSED INTERNAL ROADWAYS.					

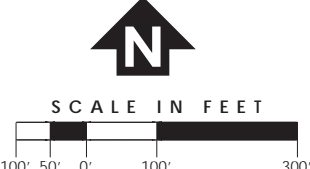
PROPOSED SETBACK INFORMATION				
LOCATION	SINGLE FAMILY LOTS	APARTMENT BUILDINGS	TOWNHOUSE BUILDINGS	ACCESSORY STRUCTURES
FRONT	25'	15' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY	30' FROM PUBLIC RIGHT-OF-WAY
SIDE	5'	30' BETWEEN BUILDINGS	15' BETWEEN BUILDINGS	N/A
REAR	25'	100' FROM EXISTING R-2 AND PUD-MU ZONES	100' FROM EXISTING R-2 AND PUD-MU ZONES	25' FROM EXISTING PUD-MU ZONE
THE PROPERTY OWNER AND/OR HOME-OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF OPEN SPACE AND RECREATION FACILITIES.				

PROPOSED OPEN SPACE INFORMATION		
	OPEN SPACE (acres)	PERCENTAGE OF OPEN SPACE
ACTIVE / AMENITY AREA	14.77	80.49%
RETENTION / AMENITY AREA	1.67	9.10%
DETENTION AREA	1.91	10.41%
TOTAL AREA	18.35	100%



INVERNESS
HOMES

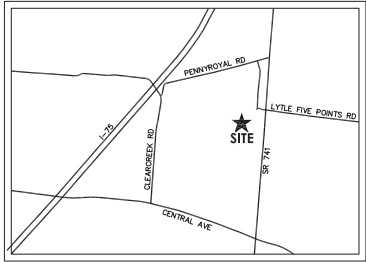
HILLS
PROPERTIES®



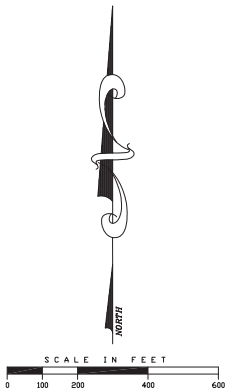
NOTE:
* AS MEASURED AT THE FRONT BUILDING SETBACK LINE



EASTON FARMS
GENERAL PLAN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
PROJECT NUMBER: 16470.00 | DATE: APRIL 25, 2017



VICINITY MAP
NTS



EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
LOCATION MAP

INVERNESS
HOMES

HILLS
PROPERTIES

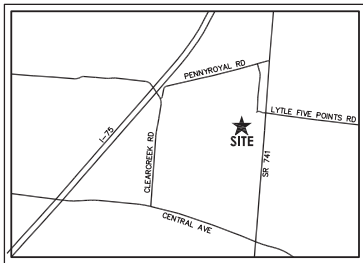
Revision	By	Date
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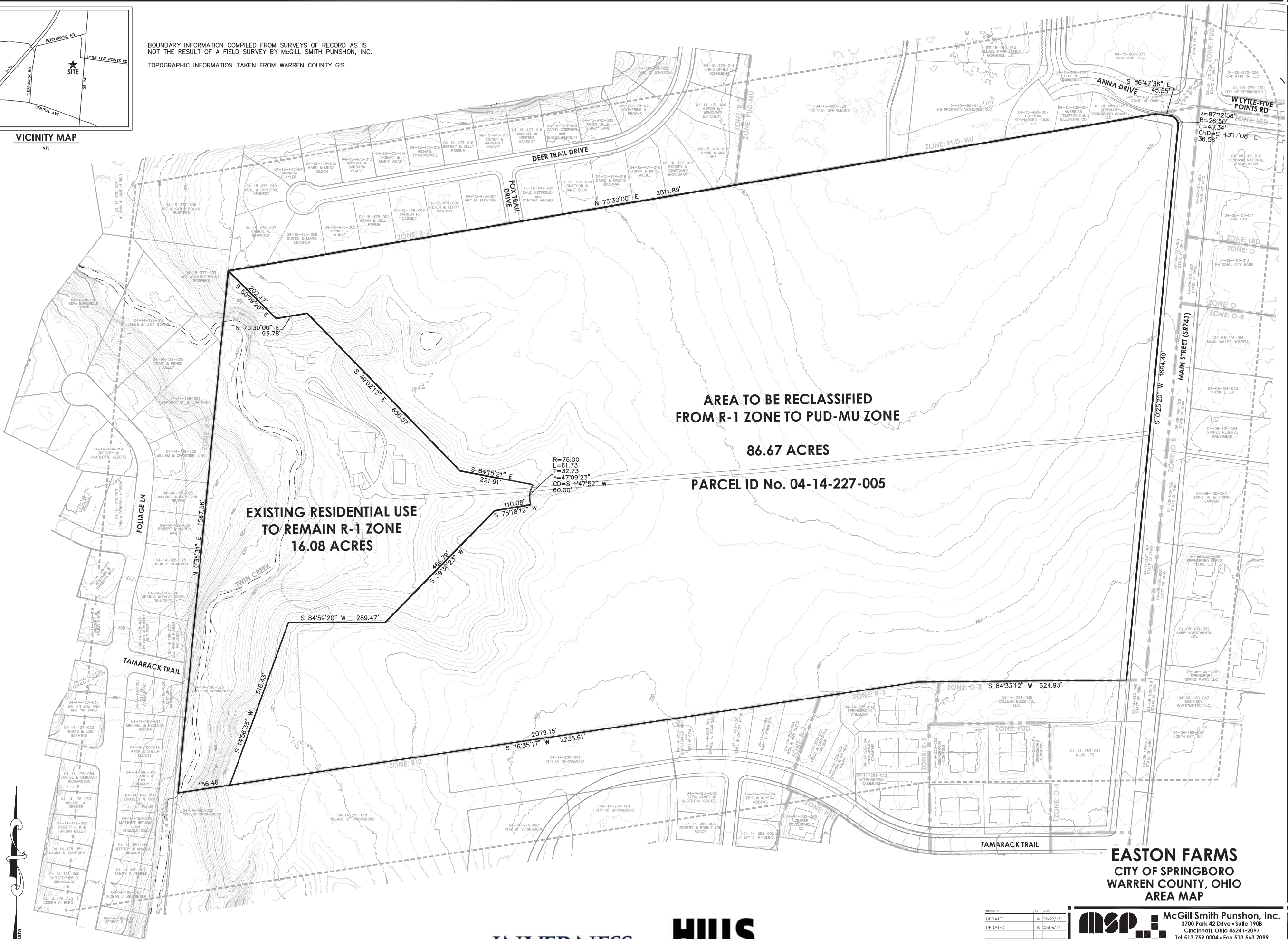
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Project Mgr.	JW	Scale	AS NOTED	Points D.R.	16470.00	File No.	16-470
CAD	16470004-FR-00	X-Ref.	N/A				



VICINITY MAP
NTS

BOUNDARY INFORMATION COMPILED FROM SURVEYS OF RECORD AS IS
NOT THE RESULT OF A FIELD SURVEY BY MCGILL SMITH PUNSHON, INC.
TOPOGRAPHIC INFORMATION TAKEN FROM WARREN COUNTY GIS.



AREA TO BE RECLASSIFIED
FROM R-1 ZONE TO PUD-MU ZONE

86.67 ACRES

PARCEL ID No. 04-14-227-005

EXISTING RESIDENTIAL USE
TO REMAIN R-1 ZONE
16.08 ACRES

EASTON FARMS
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Easton Farms Commercial - Proposed Uses

List of permitted uses for Easton Farms

Proposed Use	Easton Farms
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Community, Civic and Institutional Uses	
Technical School	√
Institution for Higher Education	√
Charitable or Philanthropic Use	√
Private Club, Fraternal Organization, or Community Group	√
Medical Clinics	√
Human Care Institution, i.e. nursing, convalescent home, assisted living & memory care	√
Place of Worship	√
Public and Private Schools	√
Day Care Center (including pre-school)	√
Essential Services and Utilities	√
Retail Sales (Indoor) 75,000 maximum building footprint	√
Veterinary Hospital, Clinic or Office	√
Vehicle Fueling Station - Less than 2 acres in lot size	√
Bank or Financial Institution w/drive through (drive through to be located in rear of building)	√
Bank or Financial Institution w/o drive through	√
Bar or Tavern	√
Office (Professional, Business, Medical, Dental)	√
Recreation, Commercial Indoor	√
Business Service Establishment	√
Vehicle Wash Establishment	√
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)	√
Personal Service Establishment	√
Garden Center	√
Funeral Home	√
Pet Day Care Facility	√
Retail Sales (Outdoor) (accessory to a permitted use)	√
Restaurant w/o drive through	√
Restaurant w/drive through (drive through to be located in rear of building)	√

PROPOSED

**Easton Farm
Springboro, OH**

Development Narrative

**An 86.67 acre Planned Unit
Development**

Developer:

HP Acquisitions, LLC

DEVELOPER'S COORDINATING STAFF

HP Acquisitions, LLC

4901 Hunt Road, Suite 300 Cincinnati, OH 45242

President - Louis Guttman

Land Acquisitions Manager – Michael Copfer

VP of Planning & Zoning – Jim Obert

BACKGROUND

The Easton Farm property is located in Policy Area 3 - North S.R. 741 Corridor as identified in the *City of Springboro Land-Use Plan Update* dated 4-21-2009. The following discussion is from that document as it relates to this portion of the City.

Existing Character

Located between Tamarack Trail and Pennyroyal Road, the North S.R. 741 Corridor Policy Area lies at the northern gateway into the City of Springboro. This area contains some of the newest non-residential development in the City, including the Marketplace at Settlers Walk at the northeastern corner of the intersection of S.R. 741 and Lytle-Five Points Road. Mixed use developments are currently being constructed on the western side of S.R. 741 in this study area, north of Lytle-Five Points Road. This Policy area also includes the largest undeveloped parcel of land in the City, the Easton Farm, which is approximately 101 acres in size.

- The Policy Area currently includes a large amount of developable land including the Easton Farm property, which is approximately 101 acres in size. This parcel is directly accessible from S.R. 741 and Anna Drive.*
- The Policy Area can be best described as a mixed-use area including retail, office, City parks and the local YMCA. This development is primarily contained along S.R. 741 between Pennyroyal Road and the northern border of Policy Area 8.*
- This area contains all necessary infrastructures for existing and future development needs.*
- Newer existing developments have been well designed and are primarily conventional in nature with parking lots in the front of the building, at the street.*
- The Policy Area is surrounded by residential subdivisions to the east (Settlers Walk) and to the southeast (Woodland Greens, McCray Farm).*
- This Policy Area is bisected by S.R. 741 that affords easy access to all parcels. It is the primary north-south transportation corridor in the community.*

Preferred Future Characteristics, Actions and Needs

- The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741. Residential uses can be permitted on S.R. 741 if located on the upper floors of a multi-story building. This can be accomplished through the rezoning of property as a traditional zoning district that permits multiple types of uses, through the application of a planned unit development district or through the creation of an overlay district.*
- Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link uses that front along S.R. 741 to those parcels of land that do not front on S.R. 741.*
- Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.*

- *An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.*
- *Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in Policy Area 2 by a dedicated pedestrian / bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.*

Preferred Land Uses

The following land uses are identified for the North S.R. 74 1 Corridor Policy Area in order of preference. This list is applicable to ensure adequate property maintenance and the proper reuse or development of available land to ensure viability.

- *Uses permitted in the Planned Mixed Use District(s) currently established for the Policy Area as outlined below.*
- *Convenience Retail. Convenience retail means a small businesses, typically 5,000-10,000 square feet in floor area or less which provides convenience-type goods for the daily needs of the people within the surrounding residential areas.*
- *Personal Service (e.g. barber shop, beauty shop, dry cleaner, health club/gym).*
- *Retail; less than 75,000 square feet in gross floor area.*
- *Restaurants, excluding drive through.*
- *Office (Professional, Business, Medical, Dental).*
- *Residential dwellings when not located on S.R. 741 or if it is located on the upper floors of a mixed use Building on S.R 741.*
- *Public park and open space.*
- *The Easton Farm property should be limited to one anchor type land use as a part of an overall integrated Planned Unit Development concept.*
- *Facades visible from the public right-of-way on buildings over 50,000 square feet in size should be designed to break up the horizontal and vertical massing of the building so as to make the building appear as multiple buildings.*
- *All uses and services shall be conducted in a completely enclosed building or structure.*
- *All drive thru / drive-in facilities shall be in a location as approved by the Planning Commission.*
- *Public and semi-public uses.*

Recommended Density and Open Space Requirement

- *Non-residential uses should be located on lots with a maximum lot coverage of 75%. Lot coverage includes all impervious or hard covered surfaces including, but not limited to: building footprints, sidewalks, patios, driveways, loading and unloading areas, and parking lots. Graveled areas shall be considered as an impervious surface since the continued compaction eventually creates a concrete like surface which becomes impervious to storm water.*
- *Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.*

Implementation Recommendations

Development and redevelopment activities in this Policy Area should emphasize mixed uses. Regulatory documents (zoning code, urban design regulations, streetscape plans, etc.) should be proactively reviewed by the City, prior to development requests, to ensure the promotion of a mixed use environment, walkability and a visually pleasing atmosphere. This ensures that the proper guidelines and regulations are in place rather than reacting to a plan submitted to the City.

REMAINDER PROPERTY (NOT INCLUDED)

The Proposed Easton Farm development is approximately 86.67 acres and encompasses approximately 86% of the current property parcel, leaving approximately 16 acres that is NOT part of this rezoning and thus retains its existing zoning.

DEVELOPMENT OBJECTIVE

Our intent is that the development of Easton Farm will create a new destination landmark in the City of Springboro through sensitive site planning, building design, construction, landscaping, and amenities to meet market demand and the lifestyle needs and wants of the community. Creating a compatible and harmonious community between varying land uses are critical to the creation of a walkable and successful neighborhood. Using architecture as a design tool will allow the community to have individuality and identity between uses and owners, but compatibility in aesthetics. This will be achieved through conscientious planning by the owners/lessee, and control by the developer to adhere to the community standards.

The purpose of the Planned Unit Development District is expressed in the City of Springboro Ordinances Section 1266.01 INTENT AND OBJECTIVES is as follows:

(a) It is the intent of this chapter to accommodate creative and imaginative planned unit developments (hereinafter referred to as PUDs) and to permit those innovations in land development that are in the best interest of the City of Springboro, in situations where conventional zoning is inappropriate or unduly restrictive. In order to accomplish this intent, it is the purpose of a PUD District to permit, in a carefully-designed development, a variety of uses and/or dwelling types, and to permit the flexible spacing of lots and buildings, the conservation of natural features of the landscape, the provision of accessible and enjoyable open spaces, and the provision of a necessary complement of community and neighborhood facilities.

The General Plan for Easton Farm proposes to maximize opportunities for integration of this new development into the fabric of the community through careful siting of uses, interconnections to existing infrastructure, and by creating a network of

pedestrian and bicycle ways interconnecting existing neighborhoods and recreational facilities and parks. The creation of useable internal open spaces as places to gather, in addition to perimeter buffers against existing uses, will be instrumental in creating a first-class neighborhood.

Our proposed land use distribution is as follows:

• Commercial	17.17 Ac.
• Residential Luxury Apartment / Townhome / Attached	28.48 Ac.
• Residential Detached Single Family	41.02 Ac.
• Open Space ¹	18.35 Ac.

¹ The Open Space calculated above is located within the stated gross acreage of the residential areas.

Permitted Uses

Uses to be allowed are included in the table of Permitted Uses as agreed to between the Developer and the City of Springboro. The intent of this table is to establish the range of compatible business types for this unique site, its proposed residential uses and the context of the property within Greater Springboro.

Easton Farms Commercial - Proposed Uses

List of permitted uses for Easton Farms

Proposed Use	Easton Farms
Bakery or Confectionary	√
Place of Assembly	√
Theater	√

Accessory, Temporary, and Other Uses	
Accessory Buildings, Structures, and Uses	√
Farmer's Market	√
Food Trucks	√
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)	√
Outdoor Dining (accessory to a permitted restaurant use)	√

DESIGN GUIDELINES

EASTON FARM PLANNED UNIT DEVELOPMENT

THE FOLLOWING GUIDELINES SHALL BE IMPLEMENTED FOR ALL SITE AND ARCHITECTURAL DESIGN WITHIN THE PROPOSED DEVELOPMENT OF THE EASTON FARM

1. PURPOSE AND INTENT

Easton Farm Planned Unit Development ("Easton Farm PUD") Design Guidelines apply to the development of certain land located in the City of Springboro east of Main Street and south of the westerly projection of Lytle – Five Points Road as depicted on the map on file with the City and are intended to encourage flexibility, innovation, and creativity in site and development design by allowing the mixing of permitted and complementary uses and/or modification or variation from otherwise applicable zone district and development standards. In the Easton Farm PUD the mixing of office, residential, commercial, and retail uses shall be permitted.

In return for maximum flexibility in site design and development, all development in the Easton Farm PUD is expected to deliver exceptional quality while preserving environmental resources, provide above average amenities, incorporate creative design in the layout of buildings, open space, and circulation, assure compatibility with surrounding land uses and upscale character, and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure. Because of the large scale and complex nature of a planned unit development, this set of Development Guidelines recognizes that development of such infrastructure and improvements may take several years and be conducted in parts or phases during which time initial approvals and rights shall remain in full force and effect subject to the restrictions provided in this document.

Because of the special characteristics of planned unit developments, unique provisions governing the development of land for this purpose are required. It is the intent of this document to conform to existing code wherever consistent and references to appropriate chapters and sections will be made. There will be instances, however, where this document will supersede and/or override other sections in the City's Codified Ordinances. Whenever there is a conflict or difference between the provisions of this document and those of the Chapters of the City's Codified Ordinances or other Ordinances of the City of Springboro, the provisions of this document shall prevail. Subjects not covered by this document shall be governed by the respective provisions found elsewhere in the City's Codified Ordinances.

The existing zoning set forth in the Codified Ordinances of the city of Springboro, Part Twelve – Planning and Zoning Code, continues to also be applicable and available to all parcels of property within the boundaries of the Easton Farm PUD until a Final Development Plan has been approved under these Development Guidelines for those parcels.

2. PERMITTED USES

The permitted uses in the Easton Farm PUD shall include office and other commercial, retail, residential including single-family, elderly care facilities, senior residence facilities, condominiums, apartments, townhomes and fee simple attached cluster homes and being permitted uses, or any combination of the foregoing, and uses accessory thereto or compatible therewith as such accessory or compatible uses may be determined by City Council, all subject to the express standards, restrictions and conditions of this document as listed in Table 1. "Elderly care facility" and "Senior Residence Facility" shall mean the buildings and uses permitted under Chapter 1263 of the code including independent living, assisted living, nursing care, and memory care facilities.

3. GENERAL

a. DESIGN STANDARDS

The following Design Standards are established in conjunction with these Guidelines to help guide and control the planning, development, and use of land in the Easton Farm PUD and for the following purposes:

- i. To promote design qualities that contribute to the overall character of the surrounding area and that create a signature streetscape and unified sense of place;
- ii. To improve the form, function and relationship between buildings, site design elements, open spaces, and rights-of-way with context-based design solutions;
- iii. To foster a complementary mix of land uses that support each other, promote multiple purpose trips, and encourage positive growth;
- iv. To allow and promote an appropriate concentration of uses to create economic viability while also being compatible to surrounding areas, especially adjacent residential neighborhoods;
- v. To conserve and integrate environmentally sensitive resources into the design of the development when appropriate; and,
- vi. To promote and enhance the public realm as the primary physical asset of the community by placing a priority on design standards for areas that impact public rights-of-way, public or common open spaces, bikeway and pedestrian connections within the Multi-Modal transportation system or any other physically prominent aspect of the community.

vii. Building Design Goals

1. Connect buildings and public spaces to the broader built environment, through consistent orientation and use of design elements applied across adjacent lots and throughout neighborhoods and districts;
2. Create consistent, well-designed building frontages along streets and other public or community spaces with pedestrian scale design;

3. Include uniform application of basic design qualities and materials on all sides of buildings and encourage architectural diversity appropriate to a site's immediate context; and,
4. Screen, minimize, or otherwise remove building elements dedicated to loading and mechanical equipment, vehicle access, or other intensive services from prominent positions on the streetscape or from adjacent property.

viii. Site Design Goals

1. Design development sites consistent to the overall plan for the city, surrounding development patterns, applicable zoning districts, adjacent streetscape design, and building types and adjacent uses;
2. Integrate safe, convenient, and comfortable internal and external circulation patterns for pedestrians, bicycles, and vehicles.
3. Encourage the development of pedestrian connections that foster formal and informal interaction and convenient access to businesses; and,
4. Design and orient parking lots so that undesirable features are located in the most discrete locations.

4. ARCHITECTURE

- a. Buildings within the Commercial and Multi-family areas identified above are to be designed and maintained with an overall design character consistent with a blend of Modern "Urban" and Traditional Neighborhood. This design character borrows materials, proportion, and detail types from the urban landscape as well as traditional neighborhoods. The following standards will be consistent for buildings within these two land uses:

i. General Design Guidelines

1. Color

- a. Paint colors shall harmonize with the natural color of the building materials. When appropriate, concrete, brick, stone, split-faced rock, or clay tile may be painted. Paint colors must reflect the approved color scheme chosen by the Developer.

2. Grouping

- a. All new construction shall respect the context of the community as to the linear nature of the streetscape, and the relationship of the buildings to the sidewalk. Articulation of the facade through the use of offsets, angles, building materials, parapets, color, and the placement of windows, doors,

balconies, and other features will be used in addition to the placement of trees and landscaping to create the streetscape scene.

3. Roofs

- a. Roofs must be contextually correct for the neighborhood form using flat roofs, pitched roofs or a combination thereof as approved by the Developer.
- b. Rooftop equipment may not, at any time, be visible at the first floor level from adjoining uses.
- c. Pitched roofs shall be clad in dimensional architectural asphalt shingles or standing-seam metal panels.
- d. Dimensional asphalt shingles shall harmonize with building material.
- e. Roof elements such as vents, flues, turbines, or other penetrations must be painted to match roof color on all non-residential buildings.
- f. Gutters shall be in accordance with the structure's architectural style and visually integrated.

4. Awnings

- a. Fixed or retractable awnings are permitted if they complement the building's architectural style, material, color, and details.
- b. An awning should respect architectural features (such as cornices, columns, pilasters, and decorative details).
- c. Metal and aluminum awnings are permitted.
- d. Awnings may be made of solution-dyed acrylic awning, marine fabric or other material approved by the Developer.
- e. Awning signage text may be screen-printed or sewn using same fabric type.
- f. Any signage text on awnings must comply with Springboro Zoning Ordinance Section 1281.10.
- g. Awning colors shall reflect the approved color scheme chosen by the Developer.
- h. Awnings over an entrance shall have a minimum eight foot (8') clearance between bottom of skirt and the pavement.

5. Building Utilities and Equipment

- a. All utilities shall be located underground.
- b. Utility elements and ground equipment must be screened by landscaping, fencing, or wing walls of buildings within the restrictions of the utility provider.

6. Building Criteria

- a. Variety in building setbacks can enhance the aesthetics within a development.
- b. Buildings, other structures, and parking lots must be built sensitively to enhance the aesthetics and streetscape along the sidewalk edge or road front. Refer to the landscape section for recommended guidelines.

7. Facade Cladding

- a. Traditionally, cladding materials are chosen for their appropriateness to the building type and architectural styles. Modern materials for all new construction may be used if they emulate the appearance and quality of traditional materials as approved by the Developer.
- b. An appearance of continuity in materials and design aesthetic will lend a cohesive character to the core of Easton Farm.
- c. Materials may change in the same plane provided they are separated by an architectural detail, such as trim, reveals, or material changes, and such changes must occur along a horizontal or vertical line.
- d. Appropriate Cladding
 - i. The following architectural materials are appropriate when used sensitively with the architectural style of the building
 - ii. Brick in traditional and other neutral non-glazed colors
 - iii. Stone (Natural or faux) facing material
 - iv. Cementous materials such as James Hardie products or equal
 - v. Horizontal wood siding
 - vi. Glass curtain wall
 - vii. Vertical siding
 - viii. Standard CMU
 - ix. Metal cladding/panels
 - x. Vinyl products exclusive of lap siding when used for architectural details, soffits or special effects is permissible within the Residential areas.

8. Doors and Windows

- a. Consistent detail elements and other design elements appropriate to the style of the building shall be used to articulate entrances to buildings.

The window proportion and placement shall be compatible with the proportion of the building.

b. Doors

- i. Commercial style doors, with wide stiles and glazing are typical within the commercial and institutional uses on the property.
- ii. Commercial primary entry doors shall be glazed for at least a third of the total area, and have either wood or metal frames for commercial uses.
- iii. Solid doors are appropriate for residential architecture and non-primary entry commercial doors.

c. Windows

- i. The following window types and massing may be appropriate based on the architectural style of the building
- ii. Ribbon windows that span the facade.
- iii. Spandrel panels
- iv. Storefront glazing systems
- v. For the Residential areas and Institutional Uses in the Commercial areas, standard residential type windows including single and double hung, sliding and casement windows are permissible. Developer may approve unique window solutions proposed by Commercial Uses on a case by case basis.

5. PARKING

- a. Parking areas in Easton Farm area must be accessible to visitors. In the mixed-use context being created, on-street parking is encouraged. Parking areas should not interrupt the general character of the community.
 - i. Parking is permitted around buildings, with access to the lot at a point consistent with the intent of the General Plan, and along the internal roadways in areas to be designed as parallel parking bays.
 - ii. Large areas of multi-row parking along the Main Street frontage are not permitted.
 - iii. There is no maximum area of parking concentration for commercial buildings but these areas must be configured with internal landscape areas to break the parking area massing.
 - iv. Refer to parking lot planting for landscape requirements.
 - v. Allow shared parking between uses that have different peak load times.
 - vi. Integrate all areas of parking with circulation routes for.

- vii. Parking lot screening must follow those recommendations in the landscape section of these guidelines.
- viii. Bicycle parking is recommended in the commercial areas.
- ix. Separate pedestrian routes through parking lots are recommended, this can be achieved by striping the pavement, a variation in pavement material, color or location.

6. PARCELS

- a. Vacant/Empty Parcels - Vacant commercial parcels along Main Street that remain vacant for a period of two years following the conclusion of the initial development must be "rough graded" and seeded.

7. LANDSCAPE

a. Overview

- i. To assure consistent landscaping approaches on any commercial property, each parcel shall submit a comprehensive landscape plan to the developer for review and approval before submittal as a part of a Final Development Plan to the City of Springboro.
- ii. The successful use of plant materials to create a harmonious design depends on the understanding of several general principles. The location and land use of a particular site determines whether a formal or informal landscape design is appropriate. Areas where a formal design layout is appropriate can include gateways, administrative or maintenance areas, street intersections, and street corridors. Informal arrangements typically favor open spaces, wooded edges, and residential areas.
- iii. Trees are an especially effective landscaping material because of their size, form and visual impact. It takes several shrubs to equal the impact of a single tree. Plant materials are especially effective in reducing the scale of buildings while at the same time creating outdoor spaces or "rooms". Plant materials offer the opportunity to introduce color, texture, and form to the environment. Shrubs should be massed and grouped to create pleasing forms. Individually spaced shrubs can be effective in creating "focals" or points of interest. Implemented successfully, a landscape plan can weave circulation, building and the larger site together to create a complete and enjoyable environment.
- iv. Landscape Plan Recommendations
 - 1. A landscape plan is required for all commercial uses, re-developments, additions, or change in the site plan. The plan shall be designed and signed by a licensed landscape architect or qualified designer as determined by the Developer.
 - 2. General Design Guidelines - An important issue to be considered when developing a landscape plan includes the

projected mature size of plants and trees and selection for drought tolerance and low maintenance. Appropriately placed trees and shrubs will provide an aesthetically inviting appearance to the site, as well as an effective means for visually screening surface parking lots, trash dumpsters and loading dock areas. Thought should be given to developing a mix of evergreen and deciduous trees and shrubs in these situations. Additionally, seasonal color is very important in the overall design of the community.

3. Scale - Plant materials of varying heights shall be used to provide interest and variety.
 4. Larger canopy trees shall be placed close to sidewalks to provide an inviting environment for all times of the year.
 5. Informal foundation plantings of shrubs and small trees of various sizes are encouraged.
 6. Form - Shade/canopy trees shall be placed between sidewalk and parking lots and to provide a consistent vertical element.
 7. The Developer recognizes the need for commercial users to be identifiable and encourages the designer to consider signage when designing the Landscape Plan so the landscaping and signage are an integrated system of identification.
 8. Shrubs shall be clustered to create a massing effect, shrubs placed individually are not recommended except when they are a part of a consistent identification or theming pattern.
 9. Orient plantings to reduce heat gain from hard surfaces.
 10. Earth Mounds/Berming - Berms and mounds can be used for screening or buffering between uses or used to accentuate signage or monumentation. They must not obstruct views within the sight triangle of an intersection.
 - a. Berms can be planted to gain a more accentuated sense of height.
 11. Screening and Buffering - Orient landscaping to screen surface parking lots, trash dumpsters, and loading dock/service areas.
 12. Service areas are to use landscape plantings, mounding, fencing or walls to minimize the impact of the service area without drawing attention that the service area is there.
- v. Street Frontage - All major roads or circulation routes may be planted with the same species and cultivar of street tree. However, some variety is encouraged to preclude the impact of a catastrophic loss of any particular tree variety.

1. Street trees, where planted, shall be located at a consistent distance to each other and within a consistent distance from the curb edge. However, to create views, vistas and framing, the clustering of street trees may be permitted in specific instances.
 2. Grass or groundcover must be planted on all areas not covered by other plant material.
 3. All egress points shall maintain adequate sight lines and should be planted to cue entrances.
 4. Entrances/exits must not include plantings that obscure sight lines within three (3) and seven (7) Feet above the pavement.
- vi. Major Gateway - Major gateway areas shall incorporate a mix of plantings from the acceptable plant list, including trees, shrubs, and groundcovers.
1. Maintain adequate sight line at roundabouts, intersections and egress points when placing plant material (refer to zoning regulations).
 2. Sight triangle must be unobstructed by plantings or other elements between three (3) and seven (7) feet above the pavement.
 3. Median - Maintain a minimum ten foot (10') width for medians to accommodate tree plantings where used.
 - a. At vehicular access cuts in the median, maintain low groundcover to allow for adequate sight distance.
 4. Parking Lot Interior Island Landscaping - In areas of parking of one-hundred fifty (150) spaces or more, a minimum of one (1) shade tree shall be planted for every ten (10) parking spaces.
 - a. Groundcover or mulch should be planted on all areas not covered by other plant material.
 - b. Plantings in the interior areas of parking lots may be either individual islands or clustered.
- vii. Parking Lot Perimeter Planting - Where parking areas are located at the build-to line with frontage on Main Street, refer to section 'Street Frontage Planting'.
1. Perimeter planting areas shall be provided along the front and sides unless shared parking or drive aisles are being used.
 2. Groundcover or mulch must be planted on all areas not covered by other plant material.
- viii. Bufferyard - A bufferyard or parcel perimeter planting shall be a minimum of five feet (5') wide area from property line or right-of-way except where shared parking or circulation is utilized between adjoining parcels.

- ix. Landscaping Standards - The interior dimensions and design of any planting area or planting median must be sufficient to protect and insure proper growth of the plant materials.
 - 1. Interior widths of planting areas may not be less than:
 - a. 9' width for canopy trees
 - b. 7' width for ornamental trees
 - c. 5' width for shrubs planting beds (without trees)
- x. All plant materials must meet the following specifications:
 - 1. Shade trees - Minimum trunk diameter 1.5" diameter at base of the crown of the tree above the ball.
 - 2. Ornamental trees - Minimum trunk diameter 1.5" diameter at base of the crown of the tree above the ball.
 - 3. Evergreen trees - Minimum height of 5'
 - 4. Deciduous shrubs - Minimum height of 12" for deciduous shrubs or grasses
 - 5. Evergreen shrubs - Minimum height of 12"
 - 6. Care shall be taken in the placement of plant materials subject to a sensitivity to salt spray from winter de-icing applications.
 - 7. Preservation Trees - A reasonable effort shall be made to preserve the existing trees on each building site while respecting the overall concept of the development and landscape scheme.

8. SIGNAGE

- a. A comprehensive effort to standardize the signage will allow for improved wayfinding, continuity of appearance and identification. Generally, the size of signage is determined by the scale and use of the structure. A hierarchy of signage shall be established for area recognition, business identification, directional or wayfinding and other related types of signs. Refer to Springboro Ordinance 96-38, Section 826 of Springboro Sign Code.
- b. Location - Sign placement at intersections or any egress point must allow for safe sight distance.
- c. Illumination of Signage
 - i. To improve legibility, wash lighting is permitted with the directional light fixture being hidden from view.
 - ii. Signage may be lit from below with the consistent type and style of light fixture used.
 - iii. Internally illuminated signs are permitted.
 - iv. Backlighting of signage is permitted.
- d. Size
 - i. The bottom of any projecting sign may not be less than 8' above grade.

- ii. Monument signage must be affixed to a ground base and include landscaping.
- e. Inappropriate Signage
 - i. Flashing, audible signs
 - ii. Billboards and sign benches
 - iii. Signs on dormers or balconies
 - iv. Signs painted directly on a structure

9. SITE LIGHTING

- a. Lighting can serve a multitude of functions from providing a sense of safety to directing pedestrian and/or vehicular traffic. Lighting can focus attention and accentuate a sign, feature or building. Consistent lighting is an important factor in tying together disparate areas and a formal lighting district is recommended for Easton Farm.
- b. Street Lighting
 - i. Lighting must be consistent throughout Easton Farm, however there are differing needs and standards between the various uses. Lighting styles may differ between said uses provided the lighting effects are similar.
 - ii. Light standards shall be spaced at regular intervals and offer continuous ground plane overlap.
 - iii. Light standards shall be located at least two feet (2') and preferably five feet (5') back from curb.
 - iv. Light standards shall be combined with signage standards and other elements where possible.
 - v. Lighting shall be coordinated with street tree plantings for proper integration.
- c. Parking Lot Lighting
 - i. Parking lot lighting must provide for pedestrian and vehicular safety.
 - ii. LED fixtures are encouraged with "warm" lighting renditions.
 - iii. Pole height for parking areas must not exceed 20 feet in height.
 - iv. Over lighting must be avoided. Lighting shall not cause illumination beyond a commercial lot line or right-of-way except as a part of the overall lighting plan. The use of house side shields in critical areas is encouraged.
- d. Building Lighting
 - i. Lighting used to accentuate architectural form shall be indirect and the source hidden from view.
 - ii. Security lighting must not overflow onto another lot.
- e. Pedestrian Lighting
 - i. Use a light hierarchy to distinguish between illumination requirements.
 - ii. Street lighting may be placed to also offer illumination along any adjacent walkways.

- iii. Walkway lighting may employ a combination of overhead and bollard fixtures.
- f. Inappropriate Lighting
 - i. Flashing/strobe-type.
 - ii. Colored shields or lighting sources.

10. SITE FURNISHINGS/COMMON AREAS

- a. Streetscape furniture should be considered in terms of compatibility with the architectural character of the area as well as consistency with other streetscape elements, such as landscaping and paving and can include items such as benches, bollards, banners, trash receptacles, planters, bicycle racks.
- b. Site furnishings shall be consistent in design.
- c. Site furnishings shall be constructed of similar material, preferably metal, stone or other natural materials that coordinate with the building facades.
- d. Site furnishings such as benches and trash receptacles shall be clustered together in areas of activity, and be located to allow easy access to entrances.

11. PEDESTRIAN ACCESS

- a. Pedestrian walkways are an important feature in the community to communicate to visitors that pedestrians are welcome and encouraged to walk from residential areas and between businesses. Striping of pavement and pavement type is important, as it serves to differentiate between pedestrian and vehicular circulation, and cues the visitor to appropriate paths between destinations.
- b. Pedestrian walkways are required along the side of any public roadway within Easton Farm.
- c. Walkways must be wide enough to accommodate comfortable passing, and must be a minimum of four feet (4') in width.
- d. Striping pavement or varying pavement materials or patterns to distinguish pedestrian circulation from vehicular traffic at intersections is required. Brick pavers, a combination of brick and concrete or other distinctive markings are permitted in areas where pedestrians and vehicles share circulation.
- e. Pavement markings shall be within a color range to match other brick materials, architectural features or site elements within Easton Farm.

12. STREET FRONTAGE

- a. The streetscape frontage is the element that can most influence perception about the character of an area. By establishing guidelines that promote a unified design, the development is perceived as an economically progressive area. A formal treatment is suggested for the

street tree planting and light standard location to lend consistency and uniformity to the public street routes through Easton Farm.

- b. Street trees, where planted, shall be spaced at equal intervals along street frontage to establish a consistent edge to the public street routes through Easton Farm.
- c. Street lighting shall occur at equally spaced intervals and be from the same family of fixtures and standards.
- d. Landscaping shall follow the landscape guidelines (refer to landscape section).

13. GATEWAYS

- a. Gateways can provide a point of recognition for this development. At appropriate locations, internal and external gateway elements can establish a design character, mark the edge of a boundary, and orient those not familiar with the community. Using roundabouts, walls, landscaping, signage and architectural tools provide an opportunity to provide a landmark "gateway" into Easton Farm. These gateways may occur at the entrance from Main Street, Anna Drive, Fox Trail and at the pedestrian / bikeway entrances into the community.
- b. Gateway areas may incorporate appropriate identification elements, such as signage, logo or other icon.
- c. Signage should be compatible to the architectural style, scale and details used throughout the community in addition to being able to provide readily identifiable orientation to the traveling public, especially along Main Street.
- d. Appropriate coordinated lighting shall be provided at gateway areas.
- e. Gateway areas may be punctuated with landscaping, signage, paving, and other significant structures such as walls or columns.
- f. Landscaping must follow the landscape guidelines (refer to landscape section).

14. MAJOR GATEWAY

- a. The major gateway may incorporate a median that occurs at the intersection with Main Street
- b. In the gateway area, signage or logo identifying the development may be integrated with other landscape elements.
- c. Landscaping shall be concentrated at this point but still allow for adequate sight distance.
- d. Landscaping shall follow the landscape guidelines.
- e. Lighting integrated into the gateway area and shall follow the lighting guidelines.
- f. Low walls or other structural elements may be used to punctuate the gateway median and can be combined with signage.

15. RESIDENTIAL BUFFER ZONE

Where the Easton Farm PUD contains commercial uses, a Residential Buffer Zone ("RBZ") shall be required separating such uses from residential uses existing as of January 1, 2017. The RBZ may only contain residential, elderly care, senior residential, townhome, cluster, condominium and/or governmental uses and accessory uses for any use permitted in the Easton Farm PUD District such as parking, streets, bike trails, sidewalks, parks, open space, storm water management, and other uses. In any location where other than single family residential uses are proposed adjacent to existing single family uses, There shall be an open space buffer within the RBZ consisting of one hundred (100) feet adjacent to any single family residential property line or use that existed as of January 1, 2017. Said open space may only contain mounding, landscaping and recreational uses limited to walkways and bikeways. Where proposed development other than single family is proposed adjacent to existing park land, the open space buffer shall be not less than fifty (50) feet for principal structures. Accessory structures of not more than one story in height shall be permitted within the open space adjacent to existing park land.

16. DEVELOPMENT PLAN REVIEW STANDARDS

An application for approval of a Final Development Plan within the Easton Farm PUD shall be reviewed for its compliance with the following standards:

- a. The proposed uses shall be consistent with the planning goals, policies, and objectives as provided in these Guidelines.
- b. A Final Development Plan shall contain uses that are permitted by these standards and such uses may be mixed within the Easton Farm PUD or within a single structure located in the Easton Farm PUD.
- c. Recognizing the physical characteristics of property in the Easton Farm PUD and the needs of a developer for flexibility, the project contemplated in a Final Development Plan may be developed in phases or parts in multiple development areas as further provided herein.
- d. Development within the Easton Farm PUD shall be governed by the following: (a) these Guidelines and the Design Standards set forth herein; and (b) an approved Final Development Plan(s) for each portion of the development.
- e. All approved Final Development Plans shall reflect all uses proposed within said plan, and in particular, the residential density and permitted uses within the applicable project in the Easton Farm PUD in conformance to the approved General Plan.
- f. All Final Development Plans shall be complementary to the General Plan meeting the requirements set forth in such document as approved by Springboro City Council.

17. MINIMUM DEVELOPMENT AREA

In order to provide flexibility to the development of the Easton Farm PUD, there shall be no minimum area requirement for the submission of a Final Development Plan. Any

Final Development Plan submitted for approval may include non-contiguous parcels and may be bisected by publicly dedicated rights-of-way, private streets, or green spaces as long as all parcels within the development area are controlled or owned by a person, an entity, or group of persons or entities acting individually or jointly, and is to be developed under a common plan in accordance with these Guidelines.

Any person or entity, or group of persons or entities acting individually or jointly, owning or controlling land in the Easton Farm PUD may submit a Final Development Plan for consideration by the City. However, so long as HPA Acquisitions, LLC or any affiliated company owns any property within the Easton Farm PUD, no submission shall be valid without the prior approval of HPA Acquisitions or said affiliated company.

18. FINAL DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

An application for approval of a Final Development Plan shall include the following information:

- a. Survey or engineering drawings of the Final Development Plan area.
- b. Narrative description of the proposal including how the development contemplated by such Final Development Plan is consistent with these Guidelines, and shall specifically set forth details of any plan for preceding with the development in phases, or developing the area covered by the Plan, in phases.
- c. Proposed parcels contained within the Preliminary Development Plan area including parcel lines, parcel numbers, and dimensions.
- d. The locations and height of proposed buildings and land uses within the Final Development Plan. The amount of land area dedicated for each type of land use shall be indicated. Calculations of density and open space area shall be indicated.
- e. Location of existing and proposed public and private streets, parking, pedestrian walkways, storm water management facilities and sanitary sewer, water and other utility lines and facilities where such lines and facilities first enter the Final Development Plan.
- f. Minimum peripheral setbacks and buffer zones around the perimeter of the Final Development Plan area and evidence necessary to show compliance with setback and buffer requirements in these Guidelines.
- g. Location of all existing structures located within 100 feet of the boundary of the proposed Final Development Plan area.
- h. Contact information and proof of ownership or if a contract, option or agreement showing control of the property.
- i. Location, type and size of any easements, covenants, deed restrictions and other restrictions proposed or recorded.
- j. A topographic survey of the area included in the Final Development Plan.

19. FINAL DEVELOPMENT PLAN APPROVAL PROCEDURE

Applications for approval of a FINAL Development Plan shall be subject to review and approval as set forth below:

- a. Pre-Application Meeting. Prior to submitting an application for a Final Development Plan pursuant to these Guidelines, an applicant shall contact the Planning Director to request a preliminary discussion related to such proposed Final Development Plan.
- b. Planning Commission Work Session. Upon the submittal of the Final Development Plan pursuant to the above, the Planning Director shall schedule a Work Session with the Springboro Planning Commission. Submittal dates and meeting dates shall be per the schedule of meetings published by the City. Developer may request a special meeting based on inadvertent conflicts and the City may reschedule based on Holidays and the availability of Commission members. No opinions, suggestions or recommendations discussed with or provided to the applicant at such Work Session shall be relied upon by the applicant as a guarantee or other indicator of subsequent specific action on an application. The Work Session is not a Public Hearing.
- c. Planning Commission Review. Following the Work Session, the Developer may make modifications to the plan and the Final Development Plan shall be resubmitted to the City for approval of the Final Development Plan in accordance with these Guidelines and where applicable other City Ordinances contained in PART TWELVE - PLANNING AND ZONING CODE. When an application for a Final Development Plan has been reviewed by the Planning Commission, it shall be approved, approved with conditions, or denied. If the Planning Commission either grants approval with conditions or disapproval, then the Planning Commission's shall provide the developer with the detailed reasons and rationale for their actions.

Once approved by Planning Commission, the Final Development plan shall:

- i. Be binding on the owner, successors, heirs and assigns, and
 - ii. May be revised and amended only if submitted pursuant to and approved consistent with these Guidelines and all applicable sections of Part Twelve – Planning and Zoning Code.
- d. The approval of a Final Development Plan shall not expire.

20. AMENDMENTS TO THIS CHAPTER

No subsequent change or amendment to these Guidelines or any other governing ordinance or plan shall be applied to affect adversely the right of the applicant to proceed with any aspect of a Final Development Plan which has been approved pursuant to these Guidelines.

21. VARIANCES

A request for approval of a variance or deviation from the requirements of these Guidelines (other than a request for a prohibited use hereunder) shall be submitted to the Planning Commission and reviewed consistent with PART TWELVE - PLANNING AND ZONING CODE of the City's Codified Ordinances. This shall include requests such as for deviations from setback, density, height, buffer, design standard and parking requirements under these Guidelines.

22. VARIANCES FROM DESIGN STANDARD REQUIREMENTS

- a. Applicability: This Section provides limited flexibility in the application and interpretation of the Design Standards. A variance from the design standard requirements is a means of alternative compliance that meets the intent of this Chapter and the goals for each design element in an equal or better manner. The proposed alternative compliance shall provide equal or better public benefits with acceptable impacts on the public or surrounding property as compared to the stated standard in the chapter, based on specific site conditions.
- b. Standards: Recommendation and approval of a variance from the design standard requirements authorized by this section shall follow the procedures set forth in Chapter 1285 of the City's Codified Ordinances and shall only occur when:
 - i. Each site design standard for which a variance is requested is specifically identified by the applicant and submitted as part of the initial application;
 - ii. The requested variance shall be based on specific site conditions, which make compliance with the design standard impractical, and shall not be due to the convenience or needs of a specific applicant, tenant, or other individual aspect of a development proposal;
 - iii. The requested variance may be based on specific site conditions, which make compliance with the design standard imprudent due to changing circumstances and where there is a finding that request is an improvement to the approved Easton Farm PUD;
 - iv. The requested variance shall be reasonable to overcome the site conditions or changing circumstances, which make compliance with the design standard impractical or imprudent;
 - v. The site plan shall propose alternative design techniques that equally or better meet the intent of these Guidelines and the specific design goals of the design element for which the modification is sought;
 - vi. The proposed alternative site design technique shall not compromise any of the design goals specified for any other design element, and shall not compromise any of the design goals and intent of the these Guidelines with respect to any adjacent site.

23. SIGNS

A sign package for the Easton Farm PUD shall be submitted for review and approval by the Planning Commission. The sign package shall be reviewed in conjunction with the Final Development Plan or following the approval of the Final Development Plan and shall include standards for monumental entrance signs, individual business signage, directional signs, and other applicable signs that may be requested by the owner or owner's representative. Notwithstanding, the following shall serve as guidance for the establishment of signage.

a. SIGNS NOT REQUIRING A PERMIT

- i. Directional / information signs. These signs may be ground signs only, shall be limited to 4 square feet in message area and 3 feet in height, and shall not be included in the calculation of message area.
- ii. Street numbers.
- iii. Nameplates.
- iv. Real estate signs.
- v. Real estate open house signs less than 4 square feet in message area displayed only during a 48 hour period during which an open house showing of real property for sale, lease or rent is actually being conducted, and ending 2 hours after the open house is concluded.
- vi. New business signs.
- vii. Window signs, where permitted.

b. SIGNS PERMITTED IN ALL SIGN DISTRICTS

- i. Construction and Builder signs, provided the following requirements are met:
 1. One construction sign up to 96 square feet in message area shall be permitted at the primary entrance to Easton Farm at Main Street for the overall development while the property is actively under development.
 2. One Construction and Builder sign up to 96 square feet in message area shall be permitted at each public access to a residential, office, or commercial use within the Easton Farm development which is actively under construction.
 3. Construction signs shall be permitted only during the period beginning with actual construction and ending with the completion of the building or development.
 4. Construction signs shall meet the setback requirements as indicated and approved as a part of any Final Development Plan.
 5. Construction and Builder signs may state the name and type of development, company contact and marketing information, names of architects and contractors and their

addresses, and drawings of the development under construction.

- ii. Identification signs for commercial or residential portions of Easton Farm which include one or more than one owners or tenants. Permit requests for identification signs shall be reviewed by the Planning Commission, and granted when the Commission determines that the following requirements are met:
 - 1. Identification signs shall be limited to major development entrances and minor entrances within developments. Each sign shall not exceed 40 square feet in message area on thoroughfares where the speed limit is less than 40 mph or 60 square feet on thoroughfares where the speed limit is 40 mph or greater.
 - 2. Identification signs shall not exceed 6 feet in height in residential sign districts, and ten (10) feet in height in commercial and industrial sign districts.
 - 3. Identification signs have no required setback and may be located within the right-of-way upon written approval of the specific size, design and location by the City Engineer and if such location is significantly more beneficial to the public interest than any location on private property.
 - 4. The proposed identification sign shall be designed for aesthetic compatibility with the surrounding neighborhood and in keeping with the overall signage scheme for Easton Farm.

c. SIGNS PERMITTED IN COMMERCIAL SIGN DISTRICTS.

- i. (b) Advertising Signs. Advertising signs in commercial districts shall meet the following requirements:
- ii. Allowable message area.
 - 1. Single frontage parcels. The allowable message area is 1 square foot for each linear foot of building frontal width, if the abutting street has a speed limit of less than 40 MPH. The allowable message area is 1.5 square feet for each linear foot of building frontal width, if the abutting street has a speed limit of 40 MPH or more.
 - 2. Multiple frontage parcels. The allowable message area for the parcel is the sum of the message areas calculated for each of the building frontages. 1 square foot of message area is allowed for each linear foot of building frontal width facing a street with a speed limit of less than 40 MPH. 1.5 square feet of message area is allowed for each linear foot of building frontal width facing a street with a speed limit of 40 MPH or more.
 - 3. Wall signs may project from the face of any multi-family residential, office or commercial use within Easton Farm. The projection shall be as approved by Planning

Commission based on the signage submitted with any Final Development Plan providing the proposed sign is within the architectural context of the building.

4. Wall signs may project over public rights-of-way provided they do not impede traffic visibility and are a minimum of eight (8) feet above any walkway.
5. Limitations on Wall Signs. 1 wall sign per occupant space shall be permitted, except that where the occupant space fronts on more than one street, 1 wall sign shall be permitted on each side of the occupant space having such frontage.
6. Individual signs shall not exceed the following message areas:

- a. If the frontage has a ground sign:

Setback from Curb	Maximum Message Area
0 to 100 feet	35 square feet
101 to 250 feet	50 square feet
251 to 350 feet	75 square feet
351 feet and over	100 square feet

- b. If the frontage has no ground sign:

Setback from Curb	Maximum Message Area
0 to 100 feet	65 square feet
101 to 250 feet	80 square feet
251 to 350 feet	105 square feet
351 feet and over	130 square feet

- c. Limitations on Ground Signs. Ground signs shall maintain a minimum setback of 8 feet. Only one ground sign is permitted on each side of the parcel with street frontage. No ground sign shall exceed 30 square feet in message area or 6 feet in height.
- d. Electronic Message Signs as defined in Section 1281.03(a)(27) of the City of Springboro Zoning Code, provided the following requirements and restrictions are met:
 - i. Only 1 electronic message sign is permitted on any lot except for corner or through lots.
 - ii. The message area for an electronic message sign shall not exceed 50 percent of the allowable message area for ground signs.
 - iii. The message area shall remain consistent for a minimum of 8 seconds. The interval between messages shall be accomplished within 1 second or less. No animation is permitted during the transition however

fading or dissolving (as defined in Section 1281.03 of the City of Springboro Zoning Code) of the message is permitted during the transition.

- iv. Entire message to be shown at one time without the effect of an animated sign, the illusion of animation or the message being continued on another panel.
 - v. Light emitted from the electronic message sign shall be limited to a single illuminated color and a single, non-illuminated background color.
 - vi. When illuminated the electronic message sign may yield a maximum intensity of 5,000 nits during between civil dawn and civil twilight but in no case more than 30 minutes before sunrise and no more than 30 minutes after sunset; otherwise the maximum intensity shall be 500 nits.
 - vii. Except for properties with legal frontage or legal access to S.R. 741, in cases where electronic signs are located on lots directly adjacent to a residentially-zoned or residentially-used property, the electronic sign shall not be operable before civil dawn or after civil twilight but in no case more than 30 minutes before sunrise and no more than 30 minutes after sunset.
 - viii. Electronic message signs shall be entirely enclosed in a frame that is flush with the ground. The sign is entirely enclosed within the frame. Permitted exterior cladding materials for the frames for such signs are stone or brick.
 - ix. Landscaping screening the base of such signs shall comply with the approved landscaping plan for the sign.
 - x. Electronic message signs to be equipped with intensity control technology or capability.
- e. Window Signs. Window signs shall not obscure more than 30 percent of the total window area facing a street frontage, of any building on the parcel and shall be affixed to the interior side of the window.

- f. Banner Signs. Banner Signs shall be permitted provided the following provisions are met:
1. The size of individual banner signs shall not exceed 1/2 of the allowable message area for wall signs as provided in Section 1281.10(c) of the City of Springboro Zoning Code, but in no case shall the banner sign exceed 36 square feet in message area. The message area shall not count against the allowable message area as provided in Section 1281.10(b) of the City of Springboro Zoning Code.
 2. Banner signs shall only be attached to the principal structure on the lot. The banner sign shall be securely fastened to the building. Banner signs shall be mounted flush with the portion of the building facade to which it is attached, included but not limited to the wall of a building, the fascia of a roof over a building or enclosed area, or the nontransparent window of a building. Banner signs shall be securely fastened to avoid movement or the appearance of movement caused by wind. Banner signs may project from the building facade.
 3. Banner signs may be installed for a maximum of 30 days in any 1 evenly divided 1/4 of a calendar year. Using this frequency and duration of installation, 1 banner sign shall be permitted per street frontage per parcel.
 4. Banner signs shall be constructed of materials that are substantial enough to resist wind damage and undue weathering during the period of display.
 5. Banner signs shall not be illuminated.

24. GENERAL USE DESIGN STANDARDS

- a. Applicability: The standards in this section apply to all uses; when in conflict with other use standards specified for a particular use, those other specified standards shall take precedence.
- b. Building and Site Design:
 - i. Buildings and sites shall be designed to emphasize pedestrian scale, human scale architecture, and landscaping while avoiding large expanses of paved areas. Quality architectural design in the development is to be the standard to create a unique mixed-use community. While franchise-style architecture is permissible, the level of detail shall be fitting to the overall architectural character of Easton Farm PUD.
 - ii. All sides of a building open to view by the public from a public right of way shall display a similar level of architectural quality, and shall be subdivided and proportioned using architectural features such as windows, entrances, arcades, awnings, or other such features.
 - iii. Whenever feasible, buildings shall be designed to provide massing configurations with a variety of different wall planes. Larger building structures shall use combinations of massing, building breaks, architectural detailing, color, and material changes in addition to fenestrations such as windows and doors to create visual interest and pedestrian scale.
 - iv. Each building façade shall incorporate design elements approximately every 40 horizontal feet, such as changes in color or texture; projections, recesses, and reveals; arcades or pergolas providing pedestrian interest; or equivalent elements that subdivide the wall into human scale proportions.
 - v. For non-residential uses, a minimum of 50% of the Main Street facing façade between 2 feet and 8 feet in height shall comprise clear windows that permit views into the interior of the building and/or product display areas.
 - vi. Building façades shall have highly visible customer entrances. Primary entrances should be easily identifiable from the street on which they are located and/or directly accessible and visible from the sidewalk.
 - vii. Buildings shall be designed and arranged to define the public areas with open views, surveillance for public areas and privacy for private areas.
 - viii. Loading docks, service entries, and back-of-house areas shall be located on building facades that do not face Main Street (SR 741). When this is not feasible, they shall be designed in a manner that lends in or complements the building materials and design and shall be screened from view with landscaping, fencing, and/or walls.

- ix. Dumpster enclosures shall be located away from public view, and shall be screened by a durable material that is consistent with the building material used on the principal structure. The screen walls shall be at least six feet in height or at least one foot above the dumpster, whichever is taller. The fourth side of the trash enclosure shall be screened with an opaque gate that is the same height as the screen walls. The dumpster shall be placed on a concrete pad and a concrete approach to the dumpster shall be provided in accordance with good engineering practice.
 - x. No building or addition constructed in the Easton Farm PUD shall be designed with or modeled after franchise or formula-based architecture, unless the Planning Commission determine that the franchise architecture is consistent with the intent of the District guidelines, does not create visual inconsistencies with surrounding areas or structures, and will enhance the character and business climate of the area.
 - xi. Rooftop mechanical housing and equipment may extend up to ten (10) feet above the maximum height limit and shall be designed as an integral part of the principal or concealed with similar architectural treatment and materials as the exterior of the building.
 - xii. Buildings shall have well defined rooflines with attention to architectural detail. Consideration should be given to the prevailing pattern of roofs in the area surrounding and within the district. Parapets shall enclose flat roofs, a minimum of 12 inches high, or as required to conceal mechanical equipment from view.
- c. Minimum Street and Parking Space Standards
- i. Two way streets within the Public Right of Way: 24'-0" wide with optional 8'-0" wide parallel parking spaces (measured to the face of curb) on either side. Parallel parking spaces are 22' long.
 - ii. One way streets within Public Right of Way: 16'-0" wide with optional 8'-0" wide parallel parking spaces (measured to the face of curb) on either side. Parallel parking spaces are 22' long.
 - iii. The minimum permitted turning radius at intersections within the Right of Way of the Easton Farm PUD shall be 30'-0".
 - iv. Parking spaces shall be a minimum of 9'-0" wide x 16'-0" long for reserved residential spaces and a minimum of 9'-0" wide by 18'-0" long for commercial transient parking spaces, except for parallel parking spaces. Drive aisles in parking garages and lots shall be a minimum of 22'-0" wide.
 - v. The minimum width of a public road Right of Way is fifty (50) feet.
- d. Setbacks: Except as otherwise provided in this document in Section 23, there are no standard setbacks within the Easton Farm PUD. Zero lot lines and grouping of buildings on a single parcel shall be considered acceptable. Appurtenances to structures including, but not limited to, awnings, canopies, and blade (hanging wall) signs can extend into the

right of way of public streets within the Easton Farm PUD District where elevated at least eight (8') feet above the walking surface.

25. LIGHTING

- a. Lighting levels for the project shall be in accordance with IES Standards. All Commercial outdoor general site lighting fixtures shall be fully shielded and/or cutoff and aimed downward. Fixtures shall not cause glare or light trespass onto adjoining properties or into roadways. Special consideration shall be given to commercial uses adjacent or in close proximity to residential uses.
- b. Residential lighting whether single family or multi-family shall allow fixtures of any type that is compatible to the character of the neighborhood. LED and cut-off fixtures are encouraged.

26. BUILDING MATERIALS – NON-RESIDENTIAL STRUCTURES

- a. Building materials on primary facades of non-residential structures shall be limited to brick, stone, cultured stone, cast stone, and architectural concrete masonry units (ACMU), stucco, exterior insulated and finish systems (EIFS), metal siding/panels, fiber cement siding/panels, or other similar architectural grade materials. Exterior-grade wood, including T-111 or unfinished pressure-treated wood which is not permitted
- b. Street facing walls shall be of same materials as the primary facade.
- c. Non-public street facing walls may include the use of exterior insulated and finish systems (EIFS), integrally colored concrete and/or architectural precast concrete. Exposed "pre-cast" concrete is not permitted, except for use in parking structures, loading docks, retaining walls or other similar elements. This material must be treated architecturally or through landscaping to mitigate the aesthetic impacts from adjoining property.

27. LANDSCAPE DESIGN

- a. All land areas which are not developed or otherwise improved shall be appropriately landscaped, left in their natural state, or a plan encouraging naturalization of the space implemented.
- b. Each Final Development Plan shall incorporate a detailed landscape plan for each use other than single-family. For single-family areas, a minimum standard of landscaping shall be established for the front elevation and side elevation facing a public street.
- c. Street trees shall be provided adjacent to all public and private streets. Trees shall be planted approximately every 50 lineal feet and may be clustered or strategically spaced to create view corridors and diversity within the landscape. For commercial areas this clustering is also permitted to provide building visibility as long as the number of trees is not reduced.

- d. Entryways shall be planted with ornamental plant materials such as ornamental trees flowering shrubs, perennials, and ground covers.
- e. When facing Main Street, off-street vehicular use areas with more than twelve (12) parking spaces shall provide vehicular use area perimeter screening that consists of a continuous 30 inch high screen consisting of an earth mound or plantings, hedge, decorative wall, or any combination thereof. If, due to sight lines from Main Street, the visibility is such that the area below the hood of a standard passenger car is not or only partially visible, the screening height may be reduced to screen only that visible area.
- f. Service structures shall be screened from view from all adjacent properties and public and private streets. For the purposes of this Section, service structures shall include, but are not limited to, dumpsters and transformers insofar as they may be screened due to utility regulations, but do not include water meter pits and fire hydrants.
- g. Screening of service structures shall be 50% opacity through the effective use of plantings, hedges, fences, walls, earth mounds or combinations of these tools in order to enclose the service structure and complementary to the materials and character of the building architecture in order to soften the appearance of the structure without drawing attention to it. The height of the screen shall be at least one foot above the height of the service structure, but shall not be required to exceed ten (10) feet in height.

28. MIXED-USE DESIGN STANDARDS

- a. Public Spaces. The design this mixed-use development encourages open space and other publicly accessible areas for public gathering, use and enjoyment of amenities and spaces available to the public within any Final Development Plan.
- b. Pedestrian and Bicycle Access and Circulation: All lots, blocks or development sites shall include pedestrian and bicycle connections and circulation routes.
- c. Generally, at a minimum, pedestrian access and circulation shall provide dedicated pedestrian facilities directly connecting each of the following:
 - i. All public entrances of all buildings;
 - ii. The public sidewalk on adjacent streets or internal access streets within a public right of way;
 - iii. On-site public parking areas;
- d. Bicycle accessibility is encouraged through all public open space and connecting existing city owned park facilities at Garner and North Parks. Additional connections between commercial and residential uses are to be utilized to encourage community interaction and connectivity: and
- e. All portions of the sidewalk within a public right of way, other than the crosswalk, shall be dedicated to pedestrians only unless it consists of a hiker – biker trail a minimum of ten (10) feet in width to accommodate

shared use.

29. RESIDENTIAL USE DESIGN STANDARDS

- a. Applicability: The Residential Uses Standards in this section shall apply as follows:

- i. All site design regulations shall apply to all sites with a residential use.

- ii. Single Family:

1. Building Materials

- a. Walls: veneer brick, cultured stone, cast stone, cement fiberboard siding or panels, stucco and EIFS. Exterior-grade wood, including wood panels such as T-111 is not permitted. Unfinished pressure-treated wood is only permitted on decks and garden structures.
- b. The use of vinyl and aluminum lap siding shall be prohibited. Vinyl and aluminum is acceptable for use in trim, soffits, fascia, gutter board, vents, shutters, windows, doors, shakes, scales and architectural accents such as cornice.
- c. Foundation walls: veneer brick, stone, cast stone, ACMU, or poured concrete.
- d. Attachments: Chimneys on street facing walls shall be brick, stone, cast stone, or cement fiberboard siding or panels
- e. Porch decking shall be exterior-grade wood, wood composite materials, cast in place concrete or ACMU or brick. Porches may project into a front yard up to ten (10) feet.
- f. Front stoops shall be exterior-grade wood, except for unfinished pressure-treated wood which is not permitted, brick, stone, stucco, or the foundation material.
- g. Decks, shall be exterior-grade wood or composite materials.
- h. Railings, shall be composite materials, cast metal or aluminum. Exterior-grade wood is not permitted except those located at the rear of the building which may be unfinished pressure-treated wood.
- i. Front walks shall be concrete or masonry pavers, and connect to sidewalk or driveway.

- iii. Multi-Family:

1. Building Materials

- a. Walls: veneer brick, cultured stone, cast stone, ACMU, exterior-grade wood, cement fiberboard

siding / panels, metal siding / panels, stucco and EIFS. Wood panels such as T-111 or unfinished pressure-treated wood is not permitted other than on decks.

- b. The use of vinyl and aluminum lap siding shall be prohibited. Vinyl and aluminum is acceptable for use in trim, soffits, fascia, gutter board, vents, shutters, windows, doors, shakes, scales and architectural accents such as cornice.
- c. Foundation walls: veneer brick, stone, cast stone, ACMU, or poured concrete.
- d. Attachments: Chimneys on street facing walls shall be brick, stone, cast stone, or cement fiberboard siding or panels.
- e. Porch decking shall be exterior-grade wood, wood composite materials, cast in place concrete or ACMU or brick. Porches may project into a front yard up to ten (10) feet.
- f. Front stoops shall be cast in place concrete, brick or stone.
- g. Decks shall be exterior-grade wood, composite materials, or concrete.
- h. Railings shall be composite materials, cast metal, or aluminum.

30. BUILDING HEIGHT

- a. Buildings in the Easton Farm PUD shall be measured by building height as measured from the average grade to the mid-point of the ridge of a gable, hip, mansard or gambrel roof or to the highest point of roof surface of a flat roof, as the case may be.
- b. Where the grade is recessed in restricted areas due to driveways or other lower level access to the building, the average grade shall be calculated ignoring said area provided it is not orientated to any Public right-of-way nor to any single-family use
- c. Buildings in the Easton Farm PUD that are adjacent existing single-family residential homes as of 1/1/2017 shall be limited to a height of 35' exclusive of chimneys.
- d. The height of any other building in the Easton Farm PUD District shall be limited to a height of 70'.
- e. Buildings in the Easton Farm PUD shall not exceed the following height limitations for each use and location, as shown by the following chart:

<u>Height Limitations By Use</u>	<u>Max. Bldg. Ht.</u>
Commercial & Office	45'
Senior Living (Elderly Care Facility, Senior Residence Facility) (Exclusive of towers & steeples)	45'
Multi-Family Residential	70'
Multi-Family Residential adjacent to existing single-family as of 1/1/2017	35'
Single-Family Residential	35'

31. PERIMETER SETBACK REQUIREMENTS AND OFF-STREET PARKING.

Buildings and off-street parking shall be designed, constructed and maintained, in whole or in part, with the following setbacks from adjacent property lines not in the Easton Farm PUD:

Condition*	Use	Min. Building Setback	Min. Parking Setback
Adjoining Existing Single Family	Single Family	25'	N/A
Adjoining Existing Single Family	Multi-Family Building 3-6 units	100'	100'
Adjoining Existing Park property	Single Family	25'	N/A
Adjoining Existing Park property	Multi-Family Building - all	50'	50'
Adjoining Existing Park property	Accessory Building	30'	50'
Fronting on Main Street	Any	10'	10'
Internal Roadways	Multi-Family Building - all	0'	0'
Internal Roadways	Commercial / Office	10'	10'

* Existing Single Family as of 1/1/2017

32. PARKING

Off-street parking shall be based upon the demand analysis provided by the developer. Such analysis may consider the maximum peak residential commercial, office and retail uses and may allow an overlap based on shared parking analysis principles. On-street parking is permitted and is included in the

parking ratio calculations based upon the site layout and as part of the Final Development Plan approval.

The total number of parking spaces shall be incorporated into the Final Development Plan. If the developer proposes parking less than the minimum standards set forth below, the Developer shall provide such data as may be necessary to warrant the reduction in parking requirements which are incorporated into the Final Development Plan.

Parking and drive aisles shall meet the following criteria:

[illegible]

Minimum Parking Requirements:

USE	MINIMUM REQUIRED OFF-STREET PARKING SPACES
RESIDENTIAL USES	
Default Parking Requirement*	2 spaces per dwelling unit
Multiple Family or Single Family Attached	2.0 spaces per unit
COMMUNITY, CIVIC AND INSTITUTION USES	
Default Parking Requirement*	1 space per 3 persons permitted at maximum occupancy
Human Care Institution Hospital or Medical Clinic	1 space per 0.5 residents or beds + 1 space per employee at maximum shift
COMMERCIAL, OFFICE AND SERVICE USES	
Default Parking Requirement*	1 space per 400 square feet of building floor area
Bar, Restaurant or Tavern	1 space per 2.25 persons permitted at maximum occupancy
Bed and Breakfast	1 space per guest room + 2 spaces for owner-operator
Child Day Care Center	0.25 spaces per resident or client at maximum occupancy
Office, professional	1 space per 300 square feet of floor area
Office, medical	1 space per 200 square feet of floor area
Places of Worship/Places of Assembly	1 space per 5 persons permitted at maximum occupancy
Recreation, Private Indoor	1 space per 3 persons permitted at maximum occupancy
Recreation, Private Outdoor	1 space per 3 persons permitted at maximum occupancy
Vehicle or Mechanical Equipment Service	1 space per employee present at maximum shift + 3 spaces for each enclosed
ACCESSORY AND TEMPORARY USES	
Default Parking Requirement*	No minimum parking requirement
Drive-in or drive-through facility stacking spaces	<ul style="list-style-type: none"> • 2 entry + 1 exit space per self-service car wash • 8 entry + 1 exit space per automatic car wash • 3 stacking spaces per general use service windows or station • 8 stacking spaces per restaurant service window
* The default parking standard applies to any use not specifically listed in the above table	

Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, October 11, 2017, 6:00 p.m.

III. Agenda Items

A. Site Plan Review

**Southeast of intersection of Lytle-Five Points Road and North Main Street, proposed
Beehive Homes assisted living facility**

Background Information

This agenda item is a request for site plan review approval, filed by Burkhardt Engineering Co., representing CS Five Point LLC, to construct a 15,685-square foot assisted living facility on property located 600 feet southeast of the corner of Lytle-Five Points Road and North Main Street. The property is 6.29 acres in area and is currently vacant. The building/site is proposed to be used as 24-unit assisted living facility operated by Beehive Homes.

The subject property is zoned O-R, Office Residential District, a zoning designation that permits the proposed use. A similar plan was submitted for site plan review at the September 13 Planning Commission work session but was withdrawn from the agenda by the applicant. That plan showed three 24-unit assisted living buildings on the site. The submittal for the October 11 work session includes only one building.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both corresponding to the Woodland Greens subdivision. To the southwest undeveloped land and to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road as well as a vacant parcel fronting Lytle-Five Points Road. To the north is common space associated with the Settlers Walk Marketplace and residential neighborhoods on the north side of Lytle-Five Points Road.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland Greens subdivision. To the south and southwest, O-R, Office-Residential District, LBD, Local Business District to the west, and PUD, Planned Unit Development to the north corresponding to the Settlers Walk Marketplace, residential subdivisions and common space.

Other modifications to the September 13 submittal include moving the private drive access to the west side of the building, relocating a dumpster to the south/rear side of the building, revising the site plan to correspond closer to the submitted architectural plans.

Staff Comments

City staff identified the following comments for this agenda item at this time:

1. Move proposed private drive to the west side of the property and widen the proposed buffer zone between the development and residential neighborhoods in Woodland Greens to the east.

2. Provide elevations for all sides of the building and label building elevations as north, south, east or west.
3. Proposed building elevation on sheet PD1 do not match building footprint shown on sheet C-2.
4. Indicate proposed exterior building materials on sheet PD1 and provide a graphic scale.
5. Provide exterior elevations for proposed enclosure.
6. Provide dimensions for proposed phase 1 building to existing and proposed property lines including the proposed phase 1/phase 2 property line.
7. Provide lot coverage calculation (permeable to impermeable area) for the phase 1 portion of the subject property.
8. Following completion of work session review provide exterior lighting details in compliance with Chapter 1273 of Planning & Zoning Code including photometric analysis, light fixture details, pole heights and compliance with color-temperature limitations.
9. Following completion of work session review provide landscaping plan indicating landscaping details in compliance with Chapter 1280 of Planning & Zoning Code to screen adjacent properties to the east and north, identify existing vegetation to remain, existing vegetation in excess of 4 inches dbh to be removed, and provide landscaping for parking lot and site requirements. Provide information on proposed tree species, size and number in tabular form and indicate number of existing vegetation to remain.
10. Sign package is not subject to Planning Commission review. Coordinate with City staff on this aspect of the development.
11. Public water main (8 inch) shall be installed in the private drive with 20-foot wide easement. Otherwise, the water main shall be private.
12. Provide a hydrologic and hydraulic engineering analysis that generates base flood elevations, as well as floodway limits.
13. Provide a record plan dedicating 40-foot right-of-way and appropriate easements.
14. When moving the proposed driveway consider placement to the west to avoid the existing catch basin in the road. Verify sight distance requirements are met.
15. City reserves the right to require a traffic study for future phases.
16. The Clearcreek Fire District has no comments at this time.
17. City staff reserves the opportunity to comment on plans submitted following the October 11 work session.

B. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

C. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

Background Information

These agenda items are based on a request filed by HP Acquisitions, LLC, Blue Ash, Ohio, seeking Rezoning and General Plan approval for the Easton Farm, a 101-acre property located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. A 16.08-acre parcel of land on the west side of the property is not included in the application and is proposed to be retained by the existing property owners, the Ted & Becky Hall Living Trust.

The proposed rezoning/general plan appears as two separate items on the Planning Commission work session agenda and this Background and Comment document. The first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislation considered by City Council.

The 86.65-acre subject property is located southwest of the intersection of Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property. Vehicular access is provided by a single driveway from North Main Street.

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned (T)R-1, Clearcreek Township Rural Residence District, a zoning category dating to the property's annexation. The (T)R-1 District allowed a similar residential development pattern to the R-1. It was replaced with the R-1 District on this site and others to provide the City of Springboro with consistent land use and development controls within the corporate boundaries.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with at least two components: commercial and residential. The applicant has been advised by staff that the Planning Commission and City Council have in their authority the ability to strike-out uses permitted in conventional zoning districts that they might find undesirable for the subject property given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions.

Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final development plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the south residential development including condominiums within Springbrook Commons and to the west single-family residential development along Tamarack Trail. Further west is the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills/Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south and transitioning to PUD and R-3, Medium-Density Residential District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The rezoning and general plan applications were reviewed at the January 11, March 8 and May 10 Planning Commission work sessions. The following changes were made to the submitted information since the May 10 application:

- The general plan was revised accordingly:
 - The number of residential housing units was reduced from 467 to 463. The number of multi-family residential units was reduced from 360 to 356.
 - Additional open spaces are identified in the plan.
- The list of proposed uses for the commercial component was revised by the addition of drug stores with drive-throughs and drug stores without drive-throughs and the deletion of vehicle wash establishments, garden centers and outdoor retail sales.
- A revised 16-page design guidelines booklet was provided.
- A 42-page pattern book was included, new to the general plan application.
- New to the general plan application, a 21-page PUD zoning justification was provided.
- New to the general plan application, a sheet with landscaping plans for elements of the plan was provide.

The applicant's General Plan concept drawing proposes a 17.17-acre of commercial development component along the North Main Street frontage on the east side of the property. A 31.59-acre single-family residential component is proposed for the south central portion of the subject property at a proposed density of 2.72 dwelling units per acre. To the north, an 28.48-acre multi-family component of apartments and townhouses is proposed for the north central portion of the subject property at a density of 12.04 dwelling units per acre. A 9.43-acre, single-family component is proposed for the northwest corner of the site at a proposed density of 2.23 dwelling units per acre. Overall residential density residential components is 6.7 dwelling units per acre (467 dwelling units on 69.5 acres).

The proposed General Plan indicates vehicular access will be provided at North Main Street as well as to connections to the existing road network at Anna Drive and Fox Trail Drive to the north

and Tamarack Trail to the south. Two right-in/right-out connections are also shown on North Main Street.

Staff Comments:

City staff has the following comments for this application:

1. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #3, North SR 741 Corridor, as follows:
 - a. List amenities that warrant intensive development densities in the multi-family residential section of the proposed development adjacent to an existing single-family Hunter Springs residential neighborhood to the north.
 - b. Why are restaurants with drive-throughs included in the list of permitted uses for the retail component?
 - c. Why are drug stores, with or without drive-throughs, called out as specific land uses in the general plan?
2. The following comments apply to the general plan concept:
 - a. Move proposed Tamarack Trail access point to the east to collocate with proposed pedestrian/bike access point. Alternatively, loop the pedestrian path to the west of the access road and link directly to North Park.
 - b. Remove accessory structures from the setback table as they are to be located in the rear yard only, per Springboro ordinances.
 - c. Provide a breakdown of the number of townhome and apartment units within the multi-family component. Also indicate the number of apartment buildings and the number of residential units within them and the number of apartment building located along the north side of the development.
 - d. Indicate the amount of on-street parking as well as surface parking and in-structure parking proposed to support the multi-family component of the development.
 - e. Single-family lots adjacent to Deer Trail Drive, west of Foxtrail Drive, to match lot sizes on Deer Trail Drive as developed. While the lots are within an R-2 District, they have been developed at a lower density.
 - f. The following comments apply to the open space as shown:
 - i. Indicate what is proposed for the open space provided within the multi-family component. Aren't some of these the landscaped areas between surface parking lots and buildings?
 - ii. Provide high quality open space that is focused on connecting Gardner Park to North Park, screens existing developments where densities are not compatible, and merge spaces into larger spaces that can be programmed for use by future residents and visitors.
3. The following comments apply to the submitted design guidelines:
 - a. Clarify what is meant by the height restriction line on page 4.
 - b. Explain how the booklet promotes high quality development through the following standards through the use of CMU and manufactured stone and parking on all sides of a building (page 4).
 - c. Staff recommends cross-referencing the City's landscaping provisions (Chapter 1280 of Planning & Zoning Code) and using design standards to provide plantings at a higher standard.
 - d. Staff recommends cross-referencing the City's sign code (Chapter 1281) and using the design standards to provide signs at a higher standard.

- e. Staff recommends cross-referencing the City's exterior lighting code (Chapter 1273) and using the design standards to provide lighting at a higher standard.
 - f. Include graphics to reflect design objectives of the guidelines.
 - g. What is the relationship between the design standards and the architectural pattern book?
 - h. Staff reserves the opportunity to further comment on the design standards at a later date.
4. Architectural Pattern Book. The following general comments apply:
- a. Pages 3-12, residential designs to comply with Planning and Zoning Code architectural standards for materials, front porch requirement, garage setback, etc.
 - b. Page 13-15, townhome concept setbacks require adjustment to maintain continuous sidewalk and/or pedestrian clearance. Also garage access is encouraged to the rear of units and no more than 60 percent of the frontage may be taken up by garages per City code.
 - c. Pages 16-18, indicate building height for proposed apartment buildings from typical ground level to typical midpoint between fascia and ridgeline.
 - d. Pages 19-22, how does the proposed building site relate to existing and future rights-of-way. Also fueling locations to comply with Planning & Zoning Code screening requirements?
 - e. Pages 23-29, how does the proposal to include a 99-foot front setback encourage high quality design?
 - f. Pages 31-37, some lighting proposed to not comply with anti-glare objectives of the exterior lighting provisions of the Planning & Zoning Code.
 - g. Pages 38-41, the stone, masonry, brick, shingle and standing seam roof patterns are so extensive (40 brick examples are provided for example), how do these design features tie the development together?
5. Submit a revised traffic study incorporating approved uses and revised access locations into/out of the property. The study should be coordinated with parameters set by the City Engineer and the City's traffic consultant.
6. Curb cuts, access, traffic signal and revised traffic study to be reviewed by staff to determine the actual locations of these items and to determine the need for a traffic signal. Internal roadway as shown may need to be revised based upon the traffic signal's impact (if allowed), such as increasing the throat length at the intersection. Curb cuts, traffic signal and internal roadway to be worked out at a future date and are not approved as shown.
7. City staff reserves the opportunity to comment on this application regarding issues including but not limited to the following:
- a. The necessity of a lot split and secondary access to the 16.08-acre tract to remain under R-1 zoning.
 - b. The establishment of associations to manage common areas within the commercial and residential areas of the proposed development.
 - c. The development's storm water management. Note also that storm water management for the commercial component to be provided underground.
 - d. Street lighting for public streets consistent with City standards and City provides for post lighting in single-family residential areas.
 - e. Roadway construction phasing to allow for the orderly expansion of the street network and to comply with subdivisions regulation requirements.
 - f. Construction traffic limitations to protect the existing street network particularly residential areas.
 - g. Sanitary sewer capacity.
 - h. Providing improvements along SR 741 such as drop turn lanes and utilities.

- i. Typical sections for proposed roadways including the provision of sidewalks on both sides of public streets, curb cut locations and internal roadway networks including proposed round-a-bouts that may need to be revised based upon a traffic study.
- 8. The Clearcreek Fire District has no comments at this time.

D. Rezoning

1360 South Main Street, R-1, Estate-Type Residential Zoning District, to PUD-R, Planned Unit Development-Residential

E. General Plan

1360 South Main Street, R-1, Estate-Type Residential Zoning District, to PUD-R, Planned Unit Development-Residential

Background Information

This agenda item is based on an application filed on behalf of the Daniels Family Trust, property owner, seeking rezoning and general plan approval for a 2.53-acre site located at 1360 South Main Street. The applicant is seeking both approvals to allow for the development of the property as an 8-lot, single-family residential subdivision. The property is currently zoned R-1, Estate-Type Residential Zoning District. Rezoning to PUD-R, Planned Unit Development-Residential, is requested using R-2, Low Density Residential Zoning District, as a basis.

The proposed rezoning/general plan appears as two separate items on the work session agenda due to the fact that the first stage of the PUD process, rezoning and general plan review and approval, will involve at the time a formal recommendation is made, two separate recommendations to City Council. The two agenda items will be discussed and reviewed together at the October 11 work session. This item was discussed at the September 13 Planning Commission work session.

The subject property is located on the east side of South Main Street between Heather Glen Court and Dunnington Court/Heatherwoode Boulevard. The property has direct frontage onto South Main Street and is currently occupied by one single-family residential dwelling unit. The submitted general plan proposes the development of 8 single-family residential ranging in size from 6,668 to 7,468 square feet. This represents a development density of 3.75 dwelling units per acre, similar to what is permitted in the R-2, Low-Density Residential Zoning District. The general plan states that 25 percent of the site will be set aside as green space.

Adjacent land uses include single-family residential to the west, north and south and to the east the Heatherwoode Golf Course (10th tee). The residential portions of Heatherwoode were developed at a density of 2 units per acre (215 lots on 104.4 acres) and 56 percent open space including the portion of Heatherwoode Golf Course east of SR 741. The volume of open space is higher considering the part of the golf course west of SR 741 and smaller open spaces within the residential part of the development. Adjacent zoning includes PUD to the north, east and west corresponding the Heatherwoode golf course and adjoining residential development and R-1, District to the west.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community that are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area

#16, Heatherwoode, includes the subject property and all lands within the corporate boundary south of Clear Creek. Preferred Land Uses identified in the plan include the golf course and clubhouse, public parks and open spaces and public uses (fire stations, schools) and semi-public uses (religious institutions) as well as detached residential dwellings. These dwellings may be developed, according to the plan recommendations, as follows:

- Up to a maximum of 2 dwelling units per acre within a conventional development pattern;
- Up to 4 dwelling units per acre when a minimum of 25 percent open space is provided; and
- Up to 6 dwelling units per acre when a conservation subdivision model, including a minimum of 40 percent open space, is provided.

Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's site plan review process, review and approval by Planning Commission is the second stage in the process. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Staff Comments

City staff identified the following comments for these agenda items at this time:

1. Remove 2 lots from the proposed general plan. Proposed lots are over 25 percent smaller than those permitted by R-2 District zoning, the basis for this zoning request, a development pattern that typically requires the provision of dedicated public streets, sidewalks and other improvements. Also the development density as proposed is inconsistent with the overall development density of the residential component of Heathwoode which is built at the density of 2.1 dwelling units per acre.
2. Residential housing units to comply with Planning and Zoning Code Section 1264.05, Development Standards for Specific Uses, Single-Family Dwelling, Attached and Two-Family Dwellings including exterior building materials, garage placement and more. Please revise the general plan accordingly as needed.
3. Provide a list of all property owners within 300 feet of the property for the purposes of notification of a public hearing on the proposed rezoning/general plan request.
4. Private drive to have public access/utility easement.
5. Utilities (storm, detention, sanitary, water main) to be worked out at future date, and not approved as shown.
6. Provide a setback that accommodates the parking of vehicles in front of the home without hindering vehicles, including emergency apparatus, on the private street.
7. Sanitary sewer from basements/walkouts are to be gravity drained. Grinder pumps are not allowed.
8. The Clearcreek Fire District has no comments at this time.
9. City staff reserves the opportunity to comment on plans submitted following the October 11 work session.

The information contained in this report is based on material provided to the City of Springboro as of Friday, May 5, 2017 at 5:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☒ Rezoning/General Plan ☐ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: Easton Farms

DEVELOPER'S NAME: HP Acquisitions LLC

Address: 4901 Hunt Road, Suite 300, Cincinnati, OH 45242

Telephone No.: (513) 984-0300 Fax No.: (513) 618-7680

Email: jimo@hillsinc.com

OWNER'S NAME: Ted & Rebecca Hall Living Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No.: (937)748-0698 Fax No.: (____) _____

Email: tbh605@sbcglobal.net

LOCATION DESCRIPTION:

Project Location: East side OF Main St. (SR 741) south of Anna Drive

Parcel #: 0414227005 (If necessary, attach a legal description.)

Existing Land Use: Agricultural with two (2) existing residences and miscellaneous agricultural structures

PUD FEATURES:

Total Area (acres): 86.65 Number of Lots: 121 - SF, 364 - Apartments / TH / Attached

Type of PUD: ☐ Residential ☐ Business ☐ Office ☐ Manufacturing ☒ Mixed

If Mixed, acreage in each area: 69.43 – Residential, 17.24 – Business, N/A Manufacturing
N/A Office


Proposed Density: 6.99 d.u. / acre Proposed Number of Units: 485

Type of Units:

Residential: Single family, 2 story townhomes and luxury apartments. Commercial: Senior living (Assisted Living & Memory Care), restaurants, convenience retail

ZONING:

Current Zoning: TR-1 Res. Proposed District (if appropriate): PUD - Mixed



(Signature of Developer and/or Owner)

12-29-2016
(Date)



September 29, 2017

Mr. Dan Boron
Planning Consultant
City of Springboro
320 West Central Ave.
Springboro, OH 45066

Re: Easton Farms

Dear Dan,

With this letter we are submitting supplemental information for the development of Easton Farm to be added to the information submitted on September 5. While the CD includes the previously submitted plans, we have refined the Design Guidelines and we've added the Easton Justification document to the earlier submission. We have made no alterations to the submitted plans.

We are submitting:

- 6 updated Design Guidelines
- 6 Zoning Justification

We hope to be able to vet any remaining issues with Staff and the Planning Commission at the October 11th work session so we may be able to make our formal presentation at the Regular Meeting on October 25th. In the interim, please let Michael or myself know of any other information you may need.

Once again, thank you for all your assistance.

Thank You and Sincerely,
Hills Developers

A handwritten signature in blue ink, appearing to read "James D. Obert".

James D. Obert
VP of Planning, Zoning & Development

DESCRIPTION FOR: Hills Properties

LOCATION: State Route 741
86.67 Acres

AREA TO BE RECLASSIFIED "PUD-MU"

Situate in Section 14, Town 2, Range 5, City of Springboro, Warren County, Ohio and being more particularly described as follows:

Beginning at a point in the north line of said Section 14, said point being South 75°30'00" West, 131.64 feet from the northeast corner of said Section 14 and lies in the south right-of-way line of Anna Drive;

Thence, with said south right-of-way line, South 86°47'36" East, 45.55 feet to a point;

Thence, along an arc deflecting to the right, having a radius of 26.50 feet, a central angle of 87°12'56", a length of 40.34 feet, the chord of said arc bears North 43°11'08" West, 36.56 feet to a point in the west right-of-way line of State Route 741, aka Springboro Pike;

Thence, with said west right-of-way line, South 00°25'20" West, 1664.49 feet to a point in the north line of the lands conveyed to the Colleen Bossi Co., LLC by deed recorded in O.R. 4197, Page 186, Warren County, Ohio Recorder's Office;

Thence, with said north line and the north line of Springbrook, Section 7, Phase 5 as recorded in P.B. 17, Page 17 and the north line of Springbrook Section 11, as recorded in P.B. 60, Page 19 and the lands conveyed to the Village of Springboro by deed recorded in O.R. 80, Page 271, Warren County, Ohio Recorder's Office, South 84°33'12" West, 624.93 feet to a point and South 76°35'17" West, 2079.15 feet to a point;

Thence, with new division lines the following nine (9) courses and distances;

1. North 14°56'35" East, 516.43 feet to a point;
2. North 84°59'20" East, 289.47 feet to a point;
3. North 39°30'23" East, 466.79 feet to a point;
4. North 75°18'12" East, 110.08 feet to a point;
5. Along an arc deflecting to the right, having a radius of 75.00 feet, a central angle of 47°09'23", a length of 61.73 feet, the chord of said arc bears North 01°47'52" East, 60.00 feet to a point;
6. North 84°15'21" West, 221.91 feet to a point;

McGill Smith Punshon, Inc.

3700 Park 42 Drive ■ Suite 190B ■ Cincinnati, Ohio ■ 45241-2097
513.759.0004 ■ Fax 513.563.7099 ■ www.mcgillsmithpunshon.com



7. North 49°02'12" West, 656.57 feet to a point;
8. South 75°30'00" West, 93.78 feet to a point;
9. North 50°09'20" West, 202.47 feet to a point in the west line of the lands conveyed to Joe & Kathy Rolka, Tr., by deed recorded in O.R. 4524, Page 252, Warren County, Ohio Recorder's Office, said point also being a southwest corner of Hunter Springs, Section Two as recorded in P.B. 21, Page 61, Warren County, Ohio Recorder's Office, said point also being in the north line of aforesaid Section 14;

Thence, with the south line of said Hunter Springs, Section Two, the north line of said Section 14, the south line of the lands conveyed to the City Of Springboro by deed recorded in O.R. 4084, Page 691, the south line of the lands conveyed to HB Property Ventures, LLC by deed recorded in Doc. No. 2016-021781, the south line of the lands conveyed to American Telephone & Telegraph Co., by deed recorded in O.R. 453, Page 866 and the south line of the lands conveyed to Coffman Springboro Commercial, LLC by deed recorded in O.R. 3294, Page 893, Warren County, Ohio Recorder's Office, North 75°30'00" East, 2811.89 feet to the Point of Beginning.

Containing 86.67 acres of land.

Subject to all legal highways, easements and restrictions of record.

Being part of the same premises conveyed to Ted D. Hall, Tr., and Rebecca Hall, Tr., by deed recorded in Official Record 4355, Page 598, Warren County, Ohio Recorder's Office.

The above description was prepared by McGill Smith Punshon, Inc. under the direction of Jerry L. Keller, P.S., Ohio Registration No. 7584. Bearings are based on Plat of Survey recorded in Volume 125, Page 66, Warren County Engineers Record of Land Surveys.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 2/23/2017
Jerry L. Keller P. S. #7584

Prepared by: McGill Smith Punshon, Inc.
Date: February 23, 2017
MSP No.: 16470.00

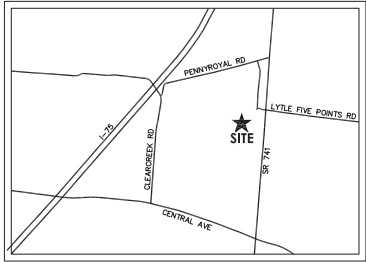
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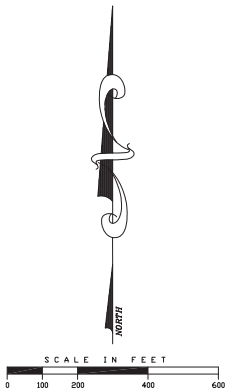
2 of 2

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VICINITY MAP
NTS



EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
LOCATION MAP

INVERNESS
HOMES

HILLS
PROPERTIES

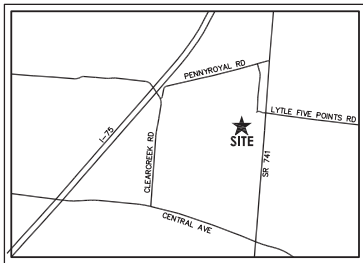
Revision	By	Date
UPDATED	JW	02/22/17
UPDATED	JW	03/06/17



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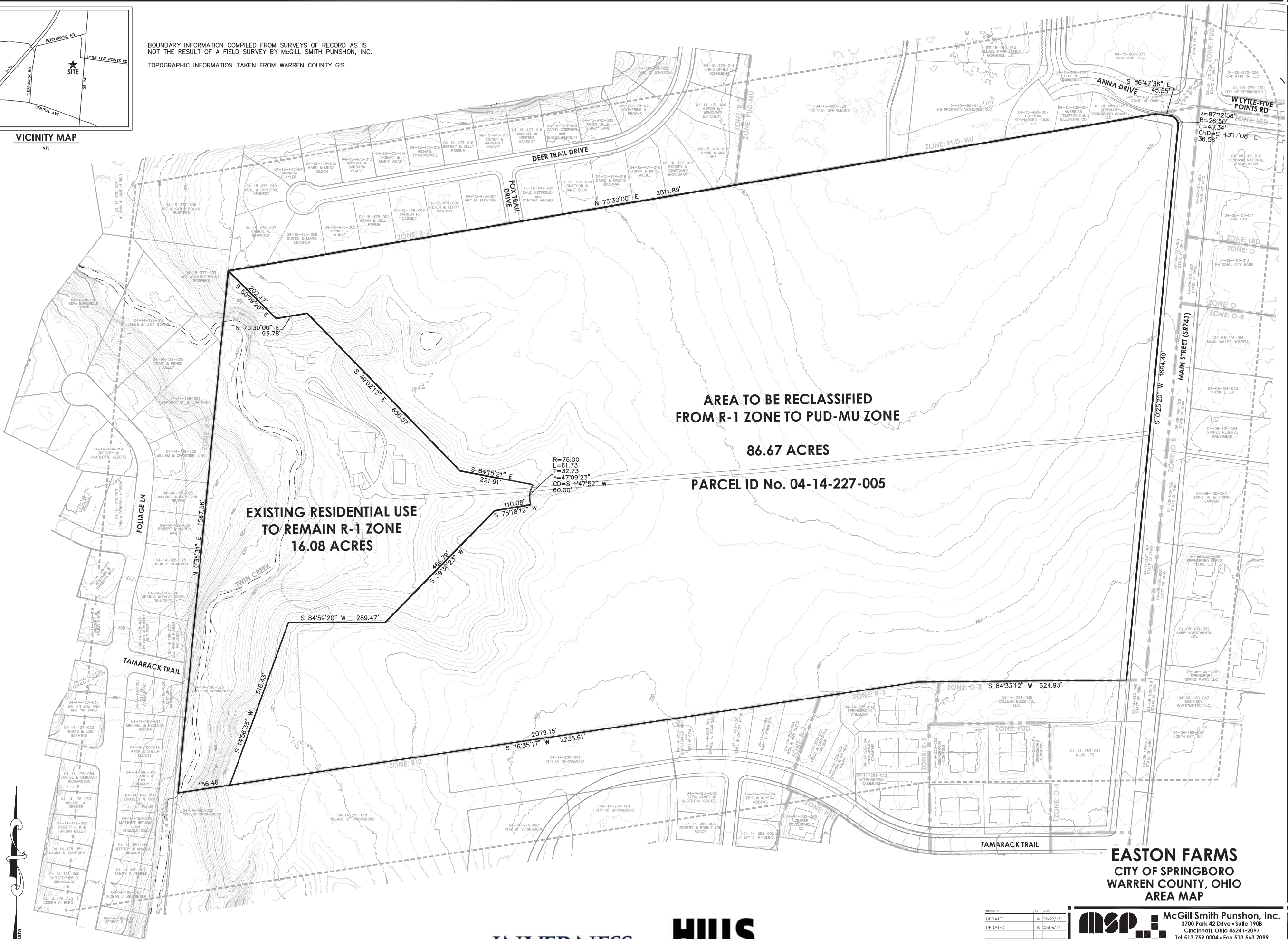
Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn By	BC	Date	12/15/16	Project No.	16470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Points D.R.	16470.00	File No.	16-470
CAD	16470004-FR-00	X-Ref.	N/A				



VICINITY MAP
NTS

BOUNDARY INFORMATION COMPILED FROM SURVEYS OF RECORD AS IS
NOT THE RESULT OF A FIELD SURVEY BY MCGILL SMITH PUNSHON, INC.
TOPOGRAPHIC INFORMATION TAKEN FROM WARREN COUNTY GIS.



AREA TO BE RECLASSIFIED
FROM R-1 ZONE TO PUD-MU ZONE

86.67 ACRES

PARCEL ID No. 04-14-227-005

EXISTING RESIDENTIAL USE
TO REMAIN R-1 ZONE
16.08 ACRES

EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
AREA MAP

INVERNESS
HOMES

HILLS
PROPERTIES

Revision	By	Date
UPDATED	JW	02/23/17
UPDATED	JW	03/06/17

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Drawn By	BC	Date	12/15/16	Project No.	14470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Project D.R.	14470.00		
CAD	14470004-FR-00	X-Ref.					

PROPOSED DENSITY INFORMATION					
	UNITS/LOTS	AREA (acres)	DENSITY (units/acre)	OPEN SPACE (acres)	OPEN SPACE PERCENTAGE
MULTI-FAMILY	356	28.48	12.50	12.04	42.28%
SINGLE FAMILY LOTS	107	41.02	2.61	8.72	21.26%
TOTAL RESIDENTIAL USE	463	69.5	6.66	20.76	29.87%
TOTAL RETAIL USE	---	17.17	---	---	---
TOTAL AREA		86.67		20.76	
ACREAGE AREAS ARE CALCULATED TO THE CENTERLINE OF PROPOSED INTERNAL ROADWAYS.					

PROPOSED SETBACK INFORMATION				
LOCATION	SINGLE FAMILY LOTS	APARTMENT BUILDINGS *	TOWNHOUSE BUILDINGS *	ACCESSORY STRUCTURES
FRONT	25'	*10'	*10'	*10'
SIDE	5'	*10'	*10'	*10'
REAR	25'	*10'	*10'	*10'
THE PROPERTY OWNER AND/OR HOME-OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF OPEN SPACE AND RECREATION FACILITIES.				
* MINIMUM SETBACK FOR FRONT, SIDE AND REAR YARDS PER 1264.04 OF THE SPRINGBORO ZONING ORDINANCE IS 10'.				

PROPOSED OPEN SPACE INFORMATION		
	OPEN SPACE (acres)	PERCENTAGE OF OPEN SPACE
ACTIVE / AMENITY AREA	17.18	82.76%
RETENTION / AMENITY AREA	1.67	8.04%
DETENTION AREA	1.91	9.20%
TOTAL AREA	20.76	100%



INVERNESS
HOMES

HILLS
PROPERTIES®



NOTE:
* AS MEASURED AT THE FRONT BUILDING SETBACK LINE

MSP
DESIGN
McGill Smith Punshon

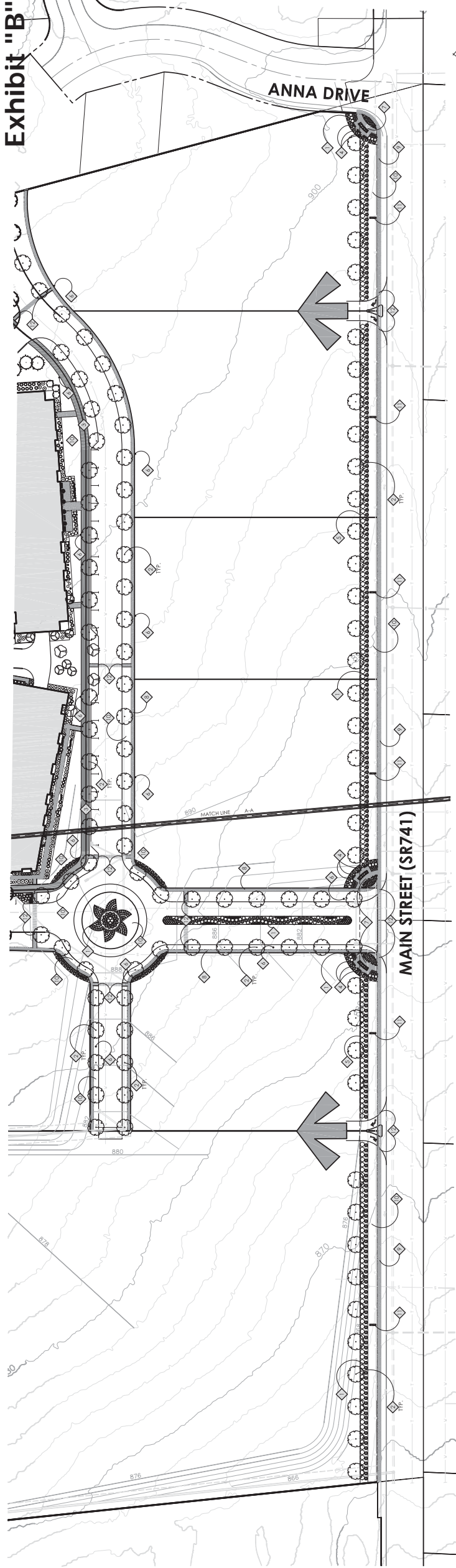
EASTON FARM
GENERAL PLAN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

PROJECT NUMBER: 16470.00 | DATE: APRIL 25, 2017

Easton Farm Commercial Uses

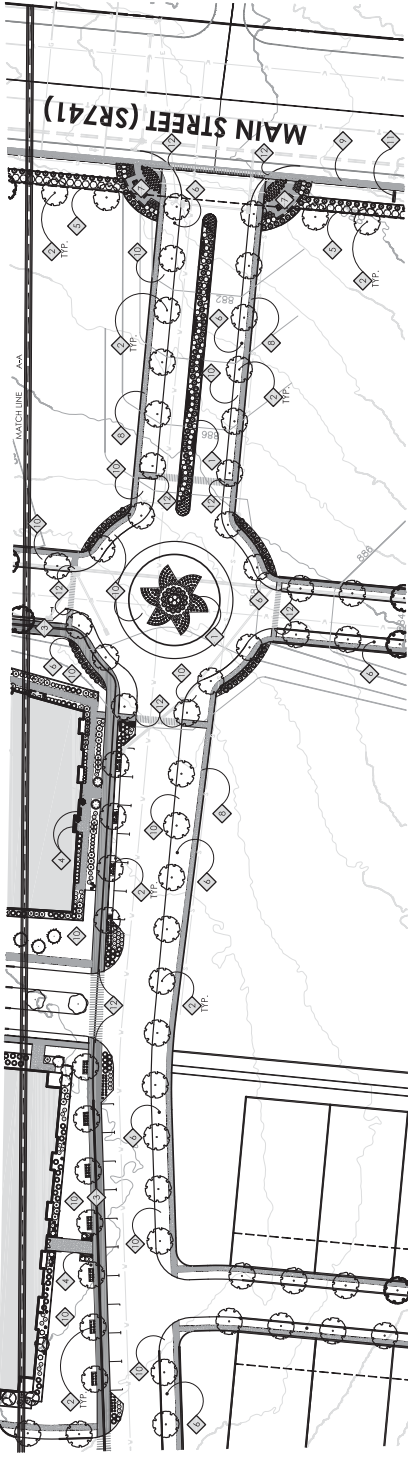
List of permitted uses for Easton Farm

Community, Civic and Institutional Uses
Technical School
Institution for Higher Education
Charitable or Philanthropic Use
Private Club, Fraternal Organization, or Community Group
Medical Clinics
Human Care Institution, i.e. nursing, convalescent home, assisted living & memory care
Place of Worship
Public and Private Schools
Day Care Center (including pre-school)
Essential Services and Utilities
Retail Sales (Indoor) 75,000 maximum building footprint
Drug Store w/drive through (drive through to be located in rear of building)
Drug Store w/o drive through
Veterinary Hospital, Clinic or Office
Vehicle Fueling Station
Bank or Financial Institution w/drive through (drive through to be located in rear of building)
Bank or Financial Institution w/o drive through
Bar or Tavern
Office (Professional, Business, Medical, Dental)
Recreation, Commercial Indoor
Business Service Establishment
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)
Personal Service Establishment
Funeral Home
Pet Day Care Facility
Restaurant w/o drive through
Restaurant w/drive through (only as approved by the Planning Commission on a case-by-case basis)
Bakery or Confectionary
Place of Assembly
Theater
Accessory, Temporary, and Other Uses
Accessory Buildings, Structures, and Uses
Farmer's Market
Food Trucks
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)
Outdoor Dining (accessory to a permitted restaurant use)



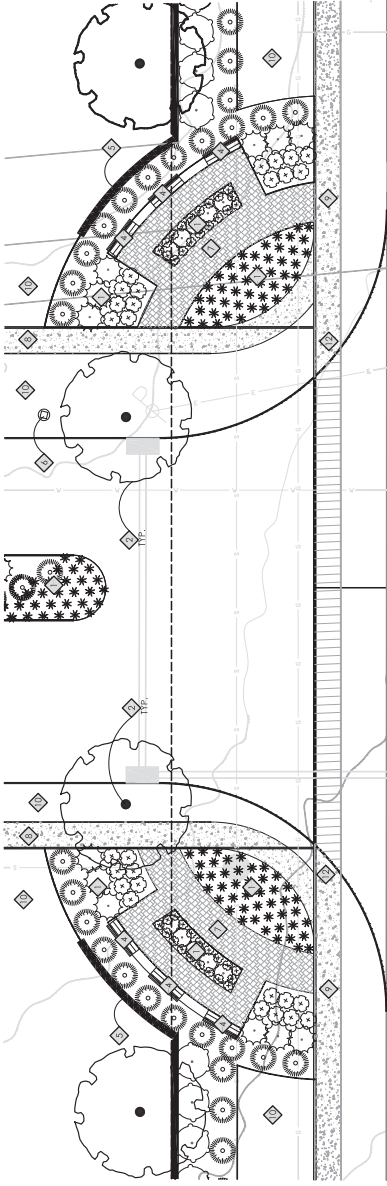
SR. 741 TYPICAL LANDSCAPE

SCALE: 1" = 50'



MAIN STREET TYPICAL LANDSCAPE

SCALE: 1" = 50'

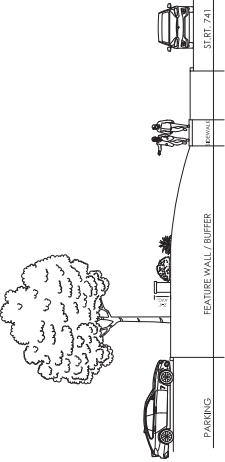


PEDESTRIAN PLAZA TYPICAL LANDSCAPE

SCALE: 1" = 10'

- DRAWING NOTES**
- LANDSCAPE BED
 - CANOPY / STREET TREES
 - 10' BIKE PATH
 - 6' BENCH
 - FEATURE WALL
 - STREET LIGHTING
 - PEDESTRIAN PLAZA
 - 5' SIDEWALK
 - EXISTING SIDEWALK
 - TURF / LAWN
 - BUSINESS SIGN - SEE NOTE 2 BELOW
 - CROSSWALK W/ CURB RAMP

- GENERAL NOTES**
- COMBINATION OF PEDESTRIAN CIRCULATION ROUTES TO AND THROUGH COMMERCIAL SITES TO BE INCORPORATED INTO THE DEVELOPMENT OF THOSE SITES. SEE NOTE 1 FOR ADDITIONAL DETAILS. ACCESS TO THOSE BUSINESSES AND BETWEEN ANNA DRIVE AND MAIN STREET.
 - SPECIFIC LOCATION TO BE DETERMINED W/ FINAL DEVELOPMENT PLAN.



FEATURE WALL DETAIL

SCALE: 1" = 10'

EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

HILLS
PROPERTIES

INVERNESS
HOMES

msp McGill Smith Punshon, Inc.
3700 Park 42 Drive • Suite 1108
Cincinnati, Ohio 45241-2097
Tel 513.759.0004 • Fax 513.563.7099
Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn By	Check By	Date	Scale	Project No.	Sheet No.
JM	AS	07/24/17	AS SHOWN	14475.00	1 / 1
WJD	WJD	10/03/2016	1" = 10'	14475.00	1 / 1

PROPOSED

Easton Farm

Springboro, OH

PUD ZONING JUSTIFICATION

An 86.67 acre Planned Unit Development

Developer:

Hills Developers, Inc.

DEVELOPERS' COORDINATING STAFF

Hills Developers, Inc.
CEO: Louis Guttman
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Land Acquisition: Michael Copfer
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Planning & Development: James Obert
4901 Hunt Road Suite 300
Cincinnati, OH 45242

McGill Smith Punshon, Inc.
Civil Engineer: James Watson
3700 Park 42 Drive Suite 190B
Cincinnati, OH 45241

McGill Smith Punshon, Inc.
Landscape Architect: Daniel Frank
3700 Park 42 Drive Suite 190B,
Cincinnati, OH 45241

Overview

The Easton Farm property is located within the Policy Area 3 – North S.R. 741 Corridor of the City of Springboro as defined in the 2009 Springboro Land Use Plan. The Easton Farm General Plan submitted along with this Justification warrants a PUD-Mixed Use zoning because it complies with and allows for the implementation of the recommendations for this property as suggested in the 2009 Springboro Land Use Plan for Policy Area 3. More specifically, the Easton Farm General Plan incorporates all five of the bullet points suggested under Preferred Future Characteristics, Actions and Needs on page 2-11 and also incorporates the Preferred Land Uses on page 2-12 and Appendix A-4 & A-5. Pages 2-10 to 2-13, A-4 and A-5 of the 2009 Springboro Land Use Plan are enclosed here in as Exhibit “A” to this Justification.

Mixed-Use

On page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs the first bullet point listed is *“The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741.”* The Easton Farm General Plan fulfills this in that it is mixed-use including several types of residential uses as well as commercial/retail uses. Also, as suggested the frontage along S.R. 741 will be commercial/retail uses with the residential uses located further to the west.

Walkability

The second bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs states, *“Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link the uses that front S.R. 741 to those of land that do not front on S.R. 741.”* The Easton Farm General Plan promotes walkability via both the pedestrian/bicycle trail, which is discussed below, and a sidewalk network. All of the public streets within Easton Farm will either have a sidewalk on both sides or a sidewalk on one side and the pedestrian/bicycle trail on the other. Thus, since the proposed street network connects the mixed uses from commercial/retail in the front (east) to residential in the back (west) the sidewalks or pedestrian/bicycle trail along these streets will provide a pedestrian connection. In addition, sidewalks will also connect through the property from north to south along the street network that connects to Deer Trail Drive (north) and Tamarack Trail (south).

Special attention has been given to the walkability of the extension of Anna Drive into Easton Farm from the north as this connects the commercial/retail uses to the residential uses. One side of the street will have either the pedestrian/bicycle trail or sidewalk and the other side will have a sidewalk. As illustrates in the Concept Plan attached as Exhibit “B” to the Design Guidelines, crosswalks with curb ramps have been included at strategic locations to allow for easy flow of pedestrian between the commercial/retail and residential uses. Further, the Parking Section of the Design Guidelines recommends separate pedestrian routes through the parking lots of the commercial uses to allow pedestrian movement from the sidewalk along Main Street (S.R. 741) to the sidewalk along the extension of Anna Drive within Easton Farm.

High Quality Design

The third bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs is *“Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.”* The Easton Farm General Plan achieves a high quality of design via both the Design Guidelines and the Architectural Pattern Book that have been included as part of the submittal for the Easton Farm General Plan. The Design Guidelines and Architectural Pattern Book don’t only hold the commercial/retail areas of Easton Farm to a high quality design standard but the residential areas as well.

High Quality Streetscapes and Greenspace

The fourth bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs suggests, *“An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.”* The Easton Farm General Plan has both high quality streetscapes and greenspaces. In addition, Easton Farm will have an owners association that will insure the continuity and maintenance of these areas.

The high quality streetscape will be evident from Main Street (S.R. 741) as a major element of Easton Farm will be the feature wall and associated landscaping that will run along the Main Street frontage of Easton Farm. Even though this is only the General Plan, we have included a more detailed Concept Plan of this area as Exhibit “B” in the Design Guidelines to illustrate the scope and quality of this feature. Also, renderings of this streetscape are included on pages 23-28 of the Architectural Pattern Book and page 29 gives an example of the material. The wall feature is accentuated at the gateways into Easton Farm from Main Street by the pedestrian plazas and associated landscaping. As developer, it is our plan to build the entire feature wall

along Main Street (S.R. 741) and the gateway pedestrian plaza areas as part of the initial phase of development of Easton Farm.

The Easton Farm General Plan also proposes two roundabouts at key street and pedestrian network connections where different uses within this mixed-use community come together. These roundabouts along with their associated landscaping and features seamlessly join the different uses into one identifiable community.

All of the public streets in both the commercial/retail areas and the residential areas will have the same high quality streetscape theme in that they will all have the same type of street lights, street signage and all will have a walk way on both sides of the street consisting of either sidewalk or a combination of sidewalk and the pedestrian/bicycle trail.

The Easton Farm General Plan contains over 20 acres of green (open) space. And this green space will be utilized in a variety ways. The enhanced visual impact due to the high quality of the landscaping along Main Street and the roundabouts mentioned above also continues and connects the different uses within Easton Farm via green space corridors along the principle right-of-ways.

It is important to note that all of the detention and retention areas within Easton Farm will be attractively developed. However, due to its location near the main vehicular and pedestrian access to the community, special attention has been given the retention area between the commercial/retail and single-family lots. This area will have a wet pond with a fountain. A mulch trail will allow access to the pond, which will be stocked for fishing.

The Easton Farm General Plan recognizes the City of Springboro's commitment to providing residents with a non-motorized transportation system highlighted by the theme "Biking In The Boro". As such, Easton Farm will add over a mile of ten foot wide asphalt paved pedestrian/bicycle trail to the existing system. Within Easton Farm, this trail will be predominately located within green space landscaped areas and used and enjoyed not only by the residents of Easton Farm, but anyone using the trail network. Further supporting the non-motorized transportation system, we have also offered to build a bike repair station within Easton Farm's green space area along the trail. It will include a structure to also provide a respite area from the sun or rain as the case may be. An example of the bike repair station is attached as Exhibit "B" to this Justification.

After visiting the existing multi-family communities within Springboro and the surrounding areas, we can say with confidence that not only will the interior finishes of the multi-family homes at Easton Farm be top in the market, but the open spaces with their amenities as well. The multi-family amenities include:

- Elevator in each multi-family building over 2-stories
- Fitness Center with 24-hour resident access

- Cardio exercise equipment
- Strength training equipment and weights
- Spinning/yoga studio
- Clubroom with full kitchen
- Resident café
- Conference Room
- Central park/lawn area
- Swimming pool with sun deck
- Outdoor lounge with fireplace
- Grilling area
- Bocce ball court
- Putting Green
- Dog Park

While some of our other multi-family communities have similar amenities, Easton Farm will be unique due to combining of these amenities with Easton Farm's architecture and the amount of green space including the central park area between the buildings and the pedestrian/bicycle trail around the perimeter of the buildings.

The extensive nature of the streetscapes, greenspaces and associated amenities in the Easton Farm General Plan is only possible if there is enough density to support not only the installation, but also the long-term maintenance. Therefore, the Easton Farm General Plan proposes a total of 463 residential units on 69.5 residential acres and thus the resulting overall density is 6.66 units per acre. The total open space within the residential areas is 20.76 acres resulting in 29.87% of the total residential areas being used for open space. When looking at the multi-family area only, its open space is 42.28% of the multi-family area. The Easton Farm General Plan therefore is supported by the second bullet point on page 2-12 of the 2009 Springboro Land Use Plan under Recommended Density and Open Space Requirement, which states, "*Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.*"

In the Easton Farm General Plan, the multi-family area by itself has density of 12.5 units per acre. There are already three multi-family communities within the City of Springboro that have similar density. They are: the Falls at Settlers Walk with 12.67 units per acre, Timbercreek with 12.18 units per acre and Springs Village with 20.68 units per acre. They are also summarized in Exhibit "C" of this Justification.

The Easton Farm General Plan has also taken into account surrounding properties outside of the plan area as to where the multi-family is located. Exhibit "A" of the Design Guidelines entitled "Building Height Exhibit" only allows for 4-story buildings within Easton Farm to be located next to surrounding properties that are either commercial/retail or park uses. All areas of Easton

Farm that are adjacent to surrounding single-family properties per the Building Height Exhibit are limited to 2-story buildings. Also, where the 2-story multi-family is next to surrounding properties that are single-family there is a minimum open space area of 100 feet between the single-family rear property line and the 2-story multi-family buildings.

Pedestrian/Bicycle Trail

The fifth bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs states, *“Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in the Policy Area 2 by a dedicated pedestrian/bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.* The Easton Farm General Plan does both of these. The pedestrian/bicycle trail on the General Plan that will be constructed by the developer is ten feet wide and over a mile long. Not only does it provide a pedestrian/bike trail connecting North Park and Gardner Park, but it also provides a pedestrian/bike trail connecting the residential uses within Easton Farm to the commercial/retail uses. Also, as suggested in the Land Use Plan, the Easton Farm General Plan has a vehicular connection to Anna Drive to the north and Tamarack Trail to the south.

Taking into account the properties along Deer Trail Drive that are adjacent to the pedestrian/bicycle trail, we have proposed building an earthen mound within the 100’ open space between the trail and their properties. A Concept Plan of this is included as Exhibit “D” to this Justification. The mound will be a minimum of fifty (50’) feet wide and a minimum of seven (7’) feet high. An interspersing of evergreen and deciduous trees will be planted along the mound.

Preferred Land Uses

The 2009 Springboro Land Use Plan lists Preferred Land Uses for Policy Area 3 – North S.R. 741 Corridor on page 2-12 and its Appendix pages A4 & A5. The commercial uses for the Easton Farm General Plan are included as Exhibit “E” to this Justification. Due to the high quality character of this mixed-use development, and based upon suggestions from City Staff and Members of the Planning Commission some of the uses in the 2009 Springboro Land Use Plan have not been included as uses permitted within the Easton Farm General Plan. Of note, the use restaurants with drive through is permitted only as approved by the Planning Commission on a case-by-case basis. This allows for flexibility as more restaurants desire to have a drive through without automatically allowing for all restaurants to have one. It is supported by the bullet point on page 2-12 of the 2009 Springboro Land Use Plan, which reads, *“All drive thru/drive in facilities shall be in a location as approved by the Planning Commission”.* And as discussed by

the Planning Commission at the May 8, 2017 Work Session and on page 11 of its Meeting Minutes which reads, “*There was a consensus based on approval from Planning Commission to leave the restaurants with drive-throughs depending on the design standards.*”

Exhibit “A”

2009 Springboro Land Use Plan

Policy Area 3 – North S.R. 741 Corridor

Springboro Land Use Plan



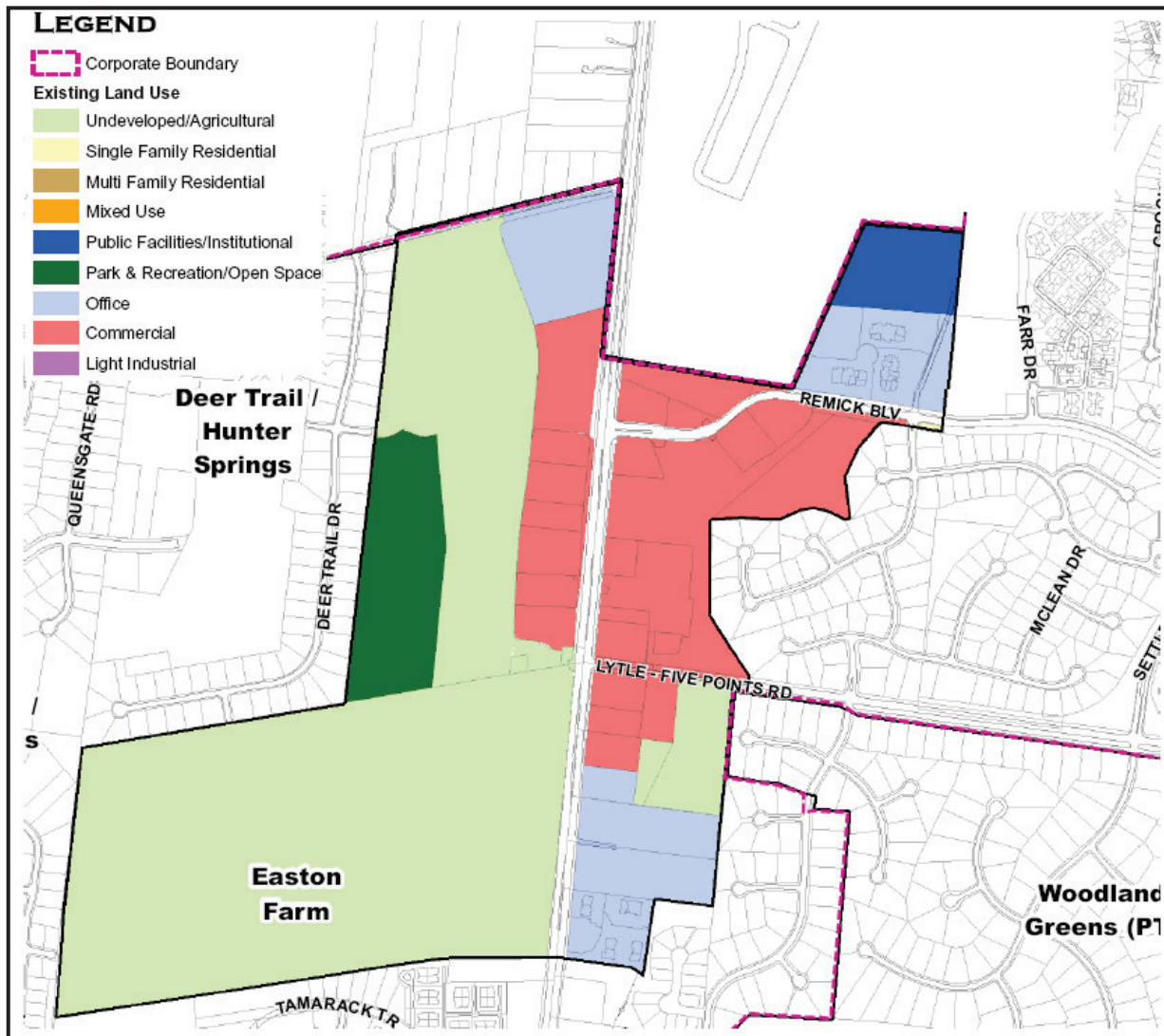
April 2009

Policy Area 3 – North S.R. 741 Corridor

Existing Character

Located between Tamarack Trail and Pennyroyal Road, the North S.R. 741 Corridor Policy Area lies at the northern gateway into the City of Springboro. This area contains some of the newest non-residential development in the City, including the Marketplace at Settlers Walk at the northeastern corner of the intersection of S.R. 741 and Lytle-Five Points Road. Mixed use developments are currently being constructed on the western side of S.R. 741 in this study area, north of Lytle-Five Points Road. This Policy Area also includes the largest undeveloped parcel of land in the City, the Easton Farm, which is approximately 101 acres in size.

Figure 2.4 – North S.R. 741 Corridor



A summary of the existing character and issues relating to the North S.R. 741 Corridor Policy Area is as follows:

- The Policy Area currently includes a large amount of developable land including the Easton Farm property, which is approximately 101 acres in size. This parcel is directly accessible from S.R. 741 and Anna Drive.
- The Policy Area can be best described as a mixed-use area including retail, office, City parks and the local YMCA. This development is primarily contained along S.R. 741 between Pennyroyal Road and the northern border of Policy Area 8.
- This area contains all necessary infrastructures for existing and future development needs.
- Newer existing developments have been well designed and are primarily conventional in nature with parking lots in the front of the building, at the street.
- The Policy Area is surrounded by residential subdivisions to the east (Settlers Walk) and to the southeast (Woodland Greens, McCray Farms).
- This Policy Area is bisected by S.R. 741 that affords easy access to all parcels. It is the primary north-south transportation corridor in the community.

Preferred Future Characteristics, Actions and Needs

- The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741. Residential uses can be permitted on S.R. 741 if located on the upper floors of a multi-story building. This can be accomplished through the rezoning of property as a traditional zoning district that permits multiple types of uses, through the application of a planned unit development district or through the creation of an overlay district.
- Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link uses that front along S.R. 741 to those parcels of land that do not front on S.R. 741.
- Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.
- An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.
- Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in Policy Area 2 by a dedicated pedestrian/bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.

Preferred Land Uses

The following land uses are identified for the North S.R. 741 Corridor Policy Area in order of preference. This list is applicable to ensure adequate property maintenance and the proper reuse or development of available land to ensure viability.

- Uses permitted in the Planned Mixed Use District(s) currently established for the Policy Area as outlined below.
 - Convenience Retail. Convenience retail means a small businesses, typically 5,000-10,000 square feet in floor area or less which provides convenience-type goods for the daily needs of the people within the surrounding residential areas.
 - Personal Service (e.g. barber shop, beauty shop, dry cleaner, health club/gym).
 - Retail; less than 75,000 square feet in gross floor area.
 - Restaurants, excluding drive through.
 - Office (Professional, Business, Medical, Dental).
 - Residential dwellings when not located on S.R. 741 or if it is located on the upper floors of a mixed use building on S.R. 741.
 - Public park and open space.
 - The Easton Farm property should be limited to one anchor type land use as a part of an overall integrated Planned Unit Development concept.
 - Facades visible from the public right-of-way on buildings over 50,000 square feet in size should be designed to break up the horizontal and vertical massing of the building so as to make the building appear as multiple buildings.
 - All uses and services shall be conducted in a completely enclosed building or structure.
 - All drive thru/drive in facilities shall be in a location as approved by the Planning Commission.
- Public and semi-public uses.

Recommended Density and Open Space Requirement

- Non-residential uses should be located on lots with a maximum lot coverage of 75%. Lot coverage includes all impervious or hard covered surfaces including, but not limited to: building footprints, sidewalks, patios, driveways, loading and unloading areas, and parking lots. Graveled areas shall be considered as an impervious surface since the continued compaction eventually creates a concrete like surface which becomes impervious to storm water.
- Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.

Implementation Recommendations

Development and redevelopment activities in this Policy Area should emphasize mixed uses. Regulatory documents (zoning code, urban design regulations, streetscape plans, etc.) should be proactively reviewed by the City, prior to development requests, to ensure the promotion of a mixed use environment, walkability and a visually pleasing atmosphere. This ensures that the proper guidelines and regulations are in place rather than reacting to a plan submitted to the City.

APPENDIX A - Permitted Land Uses by Policy Area and Zoning Code

Policy Area 3 – North S.R. 741 Corridor

The North S.R. 741 Corridor Policy Area permits the following uses in order of preference. Numbered items below identify the preferred uses specified in Policy Area 3 of this planning document. Lettered items under each of the numbered items are similar type land uses that are currently permitted in the zoning districts within Policy Area 3.

1. Convenience Retail – Limited to 10,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM CONVENIENCE RETAIL SIZE IN THIS POLICY AREA TO 10,000 SQUARE FEET. THIS IS APPLICABLE TO ALL USES LISTED IN THE ZONING CODE BELOW.
 - a. Automobile fueling station – Less than 2 acres in lot size
 - b. Beverage store
 - c. Car wash
 - d. Coffee shop
 - e. Drug store
 - f. Food store
 - g. Pet shops
 - h. Retail bakery
 - i. Roadside stand
 - j. Sporting goods store
 - k. Video store
2. Personal Service
 - a. Animal hospital or veterinarian clinic
 - b. Automobile rental agency
 - c. Bank and financial institution
 - d. Bed and breakfast
 - e. Civic club or non-profit organization
 - f. Day care center
 - g. Fitness, dance or martial arts facility
 - h. Laundry and dry cleaner
 - i. Medical and dental services
 - j. Medical care facility
 - k. Nursing home or convalescent care facility
 - l. Office supplies and services – Less than 3,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM OFFICE SUPPLIES AND SERVICES SIZE IN THIS POLICY AREA TO 10,000 SQUARE FEET.
 - m. Mortuaries and funeral home
 - n. Plumbing, electrical and HVAC contractors and wholesale/retail supplies
 - o. Professional services
 - p. Shoe and shoe repair shops
 - q. Vehicle repair and service

List continued next page

3. Retail Business – Limited to less than 75,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM RETAIL BUSINESS SIZE IN THIS
POLICY AREA TO 75,000 SQUARE FEET. THIS IS APPLICABLE TO ALL USES LISTED IN
THE ZONING CODE BELOW.
 - a. Antique and craft shop, art and photography studio and gallery
 - b. Department store
 - c. Drug store
 - d. Greenhouse, garden center, plant nursery and farm market
 - e. Farm equipment and agricultural supplies
 - f. Floor covering store
 - g. Florist
 - h. Food store
 - i. Gift shop
 - j. Hardware, home supply, electronic or appliance store
 - k. Pool, spa, outdoor furniture, play equipment or home improvement sales
 - l. Shopping center or mall
 - m. Theater – Not more than 2 screens or stages
4. Restaurants – Excluding drive through facilities
5. Office
 - a. Artist studio
 - b. Business office
 - c. Dental office
 - d. Home occupation
 - e. Medical office
 - f. Medical research laboratory
 - g. Professional office
6. Residential dwellings – Not directly located on S.R. 741 unless residential use is located on the
upper floors of a multi-story building
 - a. Attached or detached single family dwellings—11/10/08 RECOMMENDATION TO
RESTRICT RESIDENTIAL USES ON S.R. 741 UNLESS ON THE UPPER FLOORS OF A
MULTI-STORY BUILDING.
7. Public Park and Open Space
 - a. Agricultural and horticulture
 - b. Parks, playgrounds and community centers
 - c. Public and private forests
 - d. Recreation areas
8. Public and Semi Public Uses
 - a. Church or religious place of worship
 - b. Community fire house
 - c. Publicly owned and operated properties
 - d. Schools

Exhibit “B”

Example of a Bike Repair Station



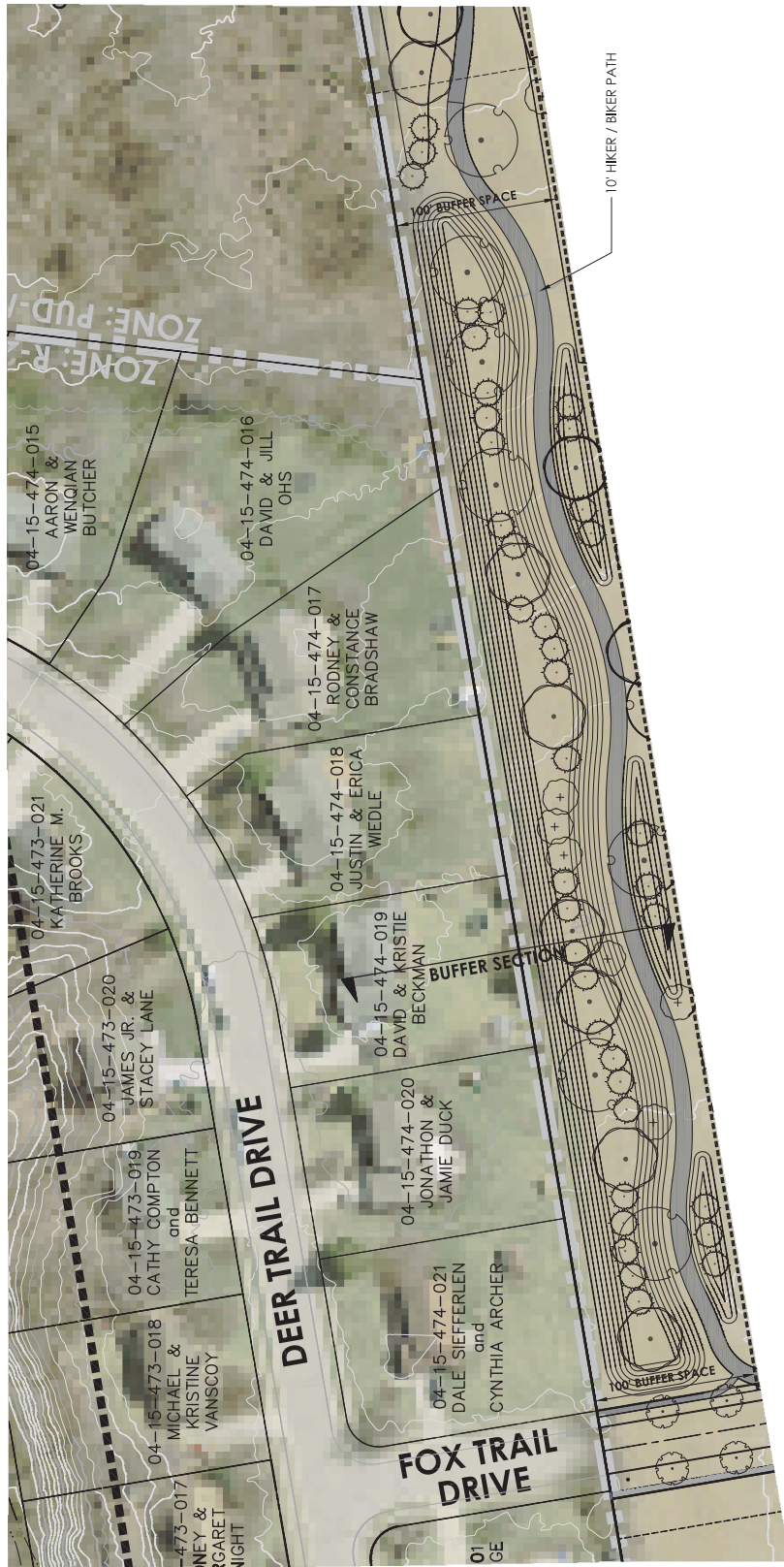
Exhibit “C”

Multi-family Communities in Springboro

Community	THE FALLS AT SETTLERS WALK	TIMBERCREEK APARTMENTS	SPRINGS VILLAGE APARTMENTS
Auditor Account #:	552559	702477	510483
Owner:	Falls Apartment Community	KBKF Capital LP	Spring Creek Group LLC
Address:	10 Falls Blvd	5 Clearcreek-Franklin Rd	475 Gilpin Rd
Acres:	10.809	4.927	3.192
# Multi-family Units:	137	60	66
Density (# units per acre):	12.67	12.18	20.68

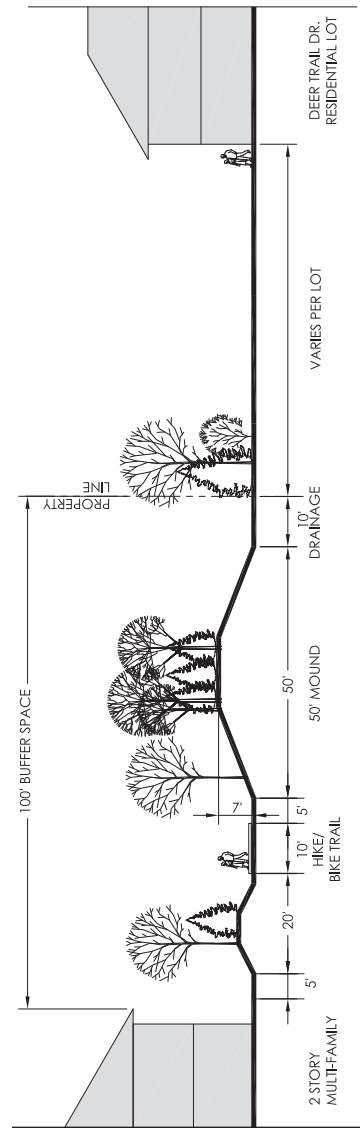
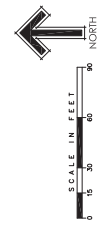
Exhibit “D”

Concept Plan – Buffer for Multi-family



BUFFER FOR MULTI FAMILY

SCALE: 1" = 30'



LANDSCAPE BUFFER SECTION

SCALE: 1" = 10'



EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

McGill Smith Punishon, Inc.
Architects • Engineers • Planners
Cincinnati, Ohio 45244-2597
Tel 513.759.9000 • Fax 513.653.7999

Project No.	15010000	Sheet No.	1 / 1
Client	City of Springboro	Scale	As Shown
Design	15010000-01	Date	10/20/2015
Drawn	15010000-01	By	15010000-01
Check	15010000-01	By	15010000-01
Approved	15010000-01	By	15010000-01

Exhibit “E”

Easton Farm Commercial Uses
List of permitted uses for Easton Farm
Community, Civic and Institutional Uses
Technical School
Institution for Higher Education
Charitable or Philanthropic Use
Private Club, Fraternal Organization, or Community Group
Medical Clinics
Human Care Institution, i.e. nursing, convalescent home, assisted living & memory care
Place of Worship
Public and Private Schools
Day Care Center (including pre-school)
Essential Services and Utilities
Retail Sales (Indoor) 75,000 maximum building footprint
Drug Store w/drive through (drive through to be located in rear of building)
Drug Store w/o drive through
Veterinary Hospital, Clinic or Office
Vehicle Fueling Station
Bank or Financial Institution w/drive through (drive through to be located in rear of building)
Bank or Financial Institution w/o drive through
Bar or Tavern
Office (Professional, Business, Medical, Dental)
Recreation, Commercial Indoor
Business Service Establishment
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)
Personal Service Establishment
Funeral Home
Pet Day Care Facility
Restaurant w/o drive through
Restaurant w/drive through (only as approved by the Planning Commission on a case-by-case basis)
Bakery or Confectionary
Place of Assembly
Theater
Accessory, Temporary, and Other Uses
Accessory Buildings, Structures, and Uses
Farmer’s Market
Food Trucks
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)
Outdoor Dining (accessory to a permitted restaurant use)

An architectural rendering of a row of modern, two-story houses. The houses feature a mix of brick, stone, and light-colored siding. Large windows with dark frames are prominent. In the foreground, a dark SUV is parked on the left, and a person is walking on the sidewalk. On the right, another person is standing near a white garage door. The scene is set under a clear sky with some trees visible in the background.

EASTON FARM

ARCHITECTURAL PATTERN BOOK
SEPTEMBER 1ST, 2017

HILLS
PROPERTIES®

CONTENTS

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WINDSOR II
LEGACY COLLECTION

4 Bedroom
2.5 Bath
Two-Story Home

INVERNESS
HOMES



Your new home ...

CAMBRIDGE

LEGACY COLLECTION

4 Bedroom
2.5 Bath

INVERNESS

H O M E S

CARLTON

LEGACY COLLECTION

5 Bedroom
2.5 Bath
Two-Story Home

INVERNESS

H O M E S



Your new home ...

Elevations based on elevation A. When options, specifications subject to change without notice. See Sales Counselor for details.

Your new home ...

Elevations based on elevation A. When options, specifications subject to change without notice. See Sales Counselor for details.

Elevation G



Elevation B



Your new home ...

Elevation C with Optional Stone



Elevation A



Elevation B with Optional Stone



Your new home ...

DARTMOUTH I

LEGACY COLLECTION

4 Bedroom
2.5 Bath
Two-Story Home

INVERNESS

HOMES

HAWTHORNE

LEGACY COLLECTION

3-4 Bedroom
2.5 Bath

INVERNESS

HOMES

Elevation C with Optional Stone



Your new home ...

Exterior views based on elevation A. All views, colors, materials and finishes are subject to change without notice. See Sales Representative for details.

Elevation B with Optional Stone



Your new home ...

Exterior views based on elevation A. All views, colors, materials and finishes are subject to change without notice. See Sales Representative for details.

Elevation D with Optional Stone



Elevation E



Elevation F

Your new home ...

Elevation C



Elevation B



Elevation A

Your new home ...

CORTLAND
LEGACY COLLECTION

3 Bedroom
2 Bath

INVERNESS
HOMES

DARBY II
LEGACY COLLECTION

3-4 Bedroom
2.5 Bath

INVERNESS
HOMES

Elevation C



Elevation B



Your new home ...

Elevation A



Elevation B



Your new home ...

KINGSTON I

LEGACY COLLECTION

2 Bedroom + Study
2 Bath

INVERNESS

HOMES

LANCASTER

LEGACY COLLECTION

4 Bedroom + Study
2.5-4 Bath

INVERNESS

HOMES



Elevation C



Elevation D



Elevation B

Your new home ...



Elevation C



Elevation A



Elevation B

Your new home ...



Your new home ...

Your new home ...

STRATTON I

LEGACY COLLECTION

2 Bedroom
2 Bath

INVERNESS

HOMES

WILSHIRE

LEGACY COLLECTION

3 Bedroom
2 Bath

INVERNESS

HOMES

Elevation C



Elevation B



Elevation A

Your new home ...

Elevation C



Elevation A

Your new home ...

HILLS PROPERTIES® **EASTON FARM**



Your new home ...

Your new home ...















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 Cincinnati, Ohio 45203
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THE LEGEND ASSISTED LIVING & MEMORY CARE FACILITY



FRONT (EAST) ELEVATION

LOOKING WEST FROM MAIN STREET





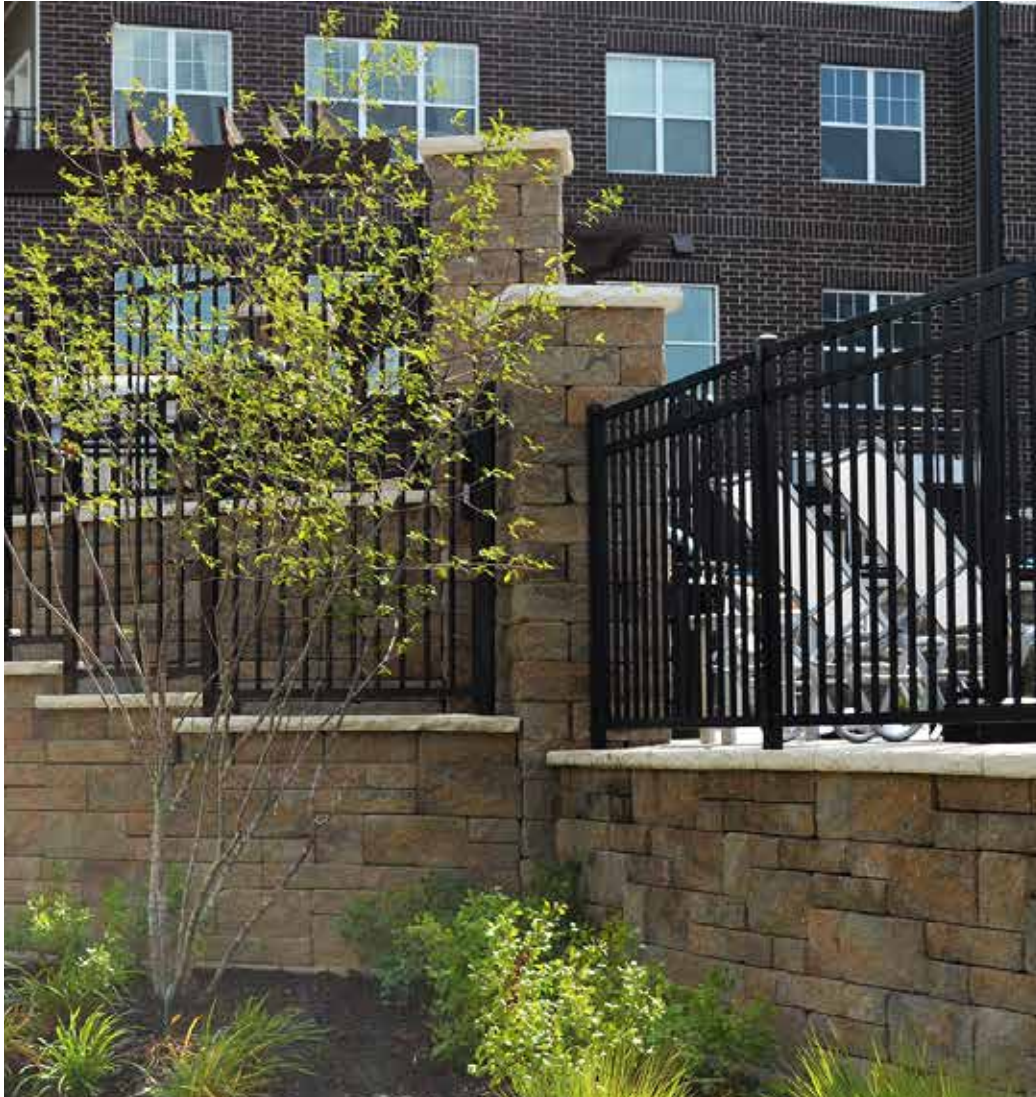








FEATURE WALLS



This stone is a graphic illustration of the approved color and texture permitted to be used at Easton Farm for the feature wall. Complimentary units not illustrated may be used for accents.

RETAINING WALLS



The stone wall units illustrated are a graphic representation of the approved colors and textures permitted to be used at Easton Farm. The feature wall stone is also permitted.
Complimentary units not illustrated may be used for accents.

STREET LIGHTING

PUBLIC ROADS



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting districts. A final selection of the street lighting along public roads shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

STREET LIGHTING

MULTI FAMILY



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting or similar districts. A final selection of the lighting to be included in the multi-family area of the community shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

COMMERCIAL PARKING LIGHTS

SIMILAR TO STREET LIGHTS
OR THE BELOW FIXTURES



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting districts. A final selection of the lights to be used on all non-residential portions of the community shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

Outdoor Lighting Acorn LED



The Acorn LED is an energy-efficient luminaire, designed with the look of a traditional favorite. This green solution will complement any neighborhood or park with its classic, elegant design.

LED (Light Emitting Diode)	50 watts
Mounting height	12'
Colors	Black Green
Poles	Style A, B, C, D, E, F
Applications	Neighborhoods Parks

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866,769,6417 .

Outdoor Lighting Acorn LED

Light source: LED (white)

Wattage: 50

Lumens: 4,500

Light pattern: IESNA Type V (circular)

IESNA cutoff classification: Cutoff

Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	12'	Black Green

Features

Limited upfront capital required

Design services by lighting professionals included

Maintenance included

Electricity included

Warranty included

One low monthly cost on your electric bill

Turnkey operation

Backed by over 122 years of experience

Benefits

Frees up capital for other projects

Meets industry standards and lighting ordinances

Eliminates high and unexpected repair bills

Less expensive than metered service

Worry-free

Convenience and savings for you

Provides hassle-free installation and service

A name you can trust today ... and tomorrow

Outdoor Lighting

Mini Bell LED



The Mini Bell LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

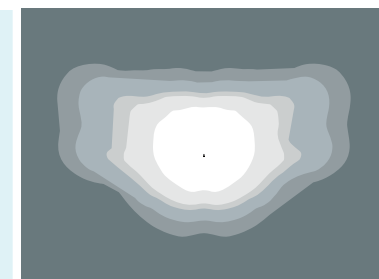
LED (Light Emitting Diode)	50 watts
Mounting height	12'
Colors	Black Green
Poles	Style A, B, C, D, E, F
Applications	Neighborhoods Parks

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

Outdoor Lighting

Mini Bell LED

Light source: LED (white)
 Wattage: 50
 Lumens: 4,500
 Light pattern: IESNA Type III(oval)
 IESNA cutoff classification: Cutoff
 Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	12'	Black Green

Features

Limited upfront capital required
 Design services by lighting professionals included
 Maintenance included
 Electricity included
 Warranty included
 One low monthly cost on your electric bill
 Turnkey operation
 Backed by over 122 years of experience

Benefits

Frees up capital for other projects
 Meets industry standards and lighting ordinances
 Eliminates high and unexpected repair bills
 Less expensive than metered service
 Worry-free
 Convenience and savings for you
 Provides hassle-free installation and service
 A name you can trust today ... and tomorrow

Outdoor Lighting Sanibel LED



The beauty of the stylish Sanibel LED is its remarkable versatility. Its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere – from more formal traditional neighborhoods to beachfront communities and other casual locales.

LED (Light Emitting Diode)	70 watts
Mounting heights	20', 25'
Colors	Black Green
Poles	Style A, C

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

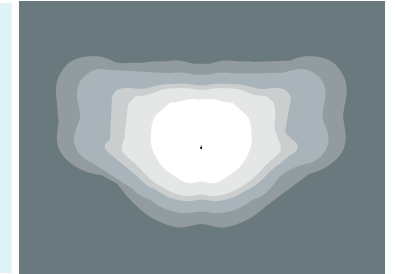
Outdoor Lighting Sanibel LED

Light source: LED (white)
Wattage: 70
Lumens: 6,500

Light pattern: IESNA Type III(oval)

IESNA cutoff classification: Full-cutoff

Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	20', 25'	Black Green

Features

Limited upfront capital required
Design services by lighting professionals included
Maintenance included
Electricity included
Warranty included
One low monthly cost on your electric bill
Turnkey operation
Backed by over 122 years of experience

Benefits

Frees up capital for other projects
Meets industry standards and lighting ordinances
Eliminates high and unexpected repair bills
Less expensive than metered service
Worry-free
Convenience and savings for you
Provides hassle-free installation and service
A name you can trust today ... and tomorrow

Outdoor Lighting

Shoebox LED



Subject to variance from manufacturer. Contact us for region-specific details.

The energy-efficient Shoebox LED is a great fit for commercial parking lots, malls, office buildings and streets, providing a white light source that will enhance the appearance of your site. The Shoebox LED delivers light where it is needed, while increasing visibility and reducing spill light to adjoining properties.

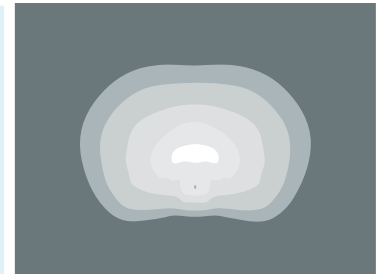
LED (Light Emitting Diode)	220 watts
Mounting heights	25', 30', 35'
Colors	Black Bronze
Pole	Style A
Applications	Parking lots

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

Outdoor Lighting

Shoebox LED

Light source: LED (white)
 Wattage: 220
 Lumens: 18,500
 Light pattern: IESNA Type IV(forward throw)
 IESNA cutoff classification: Cutoff
 Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	25', 30', 35'	Black Bronze

Features

Limited upfront capital required
 Design services by lighting professionals included
 Maintenance included
 Electricity included
 Warranty included
 One low monthly cost on your electric bill
 Turnkey operation
 Backed by over 40 years of experience

Benefits

Frees up capital for other projects
 Meets industry standards and lighting ordinances
 Eliminates high and unexpected repair bills
 Less expensive than metered service
 Worry-free
 Convenience and savings for you
 Provides hassle-free installation and service
 A name you can trust today ... and tomorrow

STONE



The stones illustrated are graphic representations of the approved stone patterns and colors permitted to be used at Easton Farm for major stone fields. Complimentary stones not illustrated may be used for accent including sills, lintels, soldier courses, watercourses, etc.

MASONRY UNITS

Smooth Face



Rock Face



Chisel Face



Texture Face



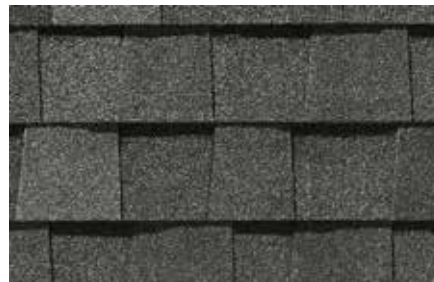
The Masonry Units illustrated are graphic representations of the approved colors and textures permitted to be used at Easton Farm for major masonry fields. Complimentary units not illustrated may be used for accents including sills, lintels, soldier courses, watercourses, etc.

BRICK



The bricks illustrated are graphic representations of the approved brick colors permitted to be used at Easton Farm for major brick fields. Complimentary bricks not illustrated may be used for accents including sills, lintels, soldier courses, watercourses, etc.

COMPOSITION SHINGLES



The colors illustrated are graphic representations of the approved colors for composition roofing permitted to be used at Easton Farm. All composition roofing shall be dimensional.

STANDING SEAM ROOF COLORS



The colors illustrated are graphic representations of the approved colors for standing seam roofing permitted to be used at Easton Farm.

PROPOSED

Easton Farm
Springboro, OH

DESIGN GUIDELINES

An 86.67 acre Planned Unit Development

Developer:
Hills Developers, Inc.

DEVELOPERS' COORDINATING STAFF

Hills Developers, Inc.
CEO: Louis Guttman
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Land Acquisition: Michael Copfer
4901 Hunt Road Suite 300
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Hills Developers, Inc.
Vice President of Planning & Development: James Obert
4901 Hunt Road Suite 300
Cincinnati, OH 45242

McGill Smith Punshon, Inc.
Civil Engineer: James Watson
3700 Park 42 Drive Suite 190B
Cincinnati, OH 45241

McGill Smith Punshon, Inc.
Landscape Architect: Daniel Frank
3700 Park 42 Drive Suite 190B,
Cincinnati, OH 45241

Alt & Witzig Engineering, Inc.
Geotechnical Consultant: Patrick Knoll
10178 International Boulevard
Cincinnati, OH 45246

OBJECTIVE

It is the intent of Hills Developers that the commercial, single family, and multifamily components of Easton Farm meet the highest standards for site planning, building design, construction, landscaping, and all other criteria to meet and exceed the level of quality in Springboro, Ohio. Furthermore, it is our intent that the buildings and landscaping be compatible and harmonious, while allowing each owner/lessee to maintain a degree of individuality and identity. This will be achieved through conscientious planning by the owners/lessees and developer, to adhere to our standards and Springboro regulations.

Hills Developers is aware that the purpose of the PUD, Planned Unit Development District is to "conserve land through more efficient allocation of private lots, common grounds and non-residential uses, promoting greater efficiency in providing public and utility services and securing the benefits of new techniques of community development and renewal". We are also aware that the PUD zoning gives conscientious developers the flexibility to bring a potential proprietor to the site for approval, and gives Springboro the flexibility to regulate those uses. Our proposed land use distribution is as follows:

Commercial:	17.17 acres
Single Family:	41.02 acres
Multifamily:	28.48 acres
Total:	86.67 acres

ARCHITECTURE

Overview

Buildings should be designed and maintained with an overall design character consistent with Traditional architectural styles blended with styles reminiscent of The American Craftsman style, also known as The American Arts and Crafts movement. This design character borrows material, proportion and detail types from traditional architectural styles, but with the tasteful flair of the Craftsman Movement. The standards detailed in this document shall hold consistent for the commercial and multifamily parcels.

General Design Guidelines

Color

Paint colors shall harmonize with color of the building material. When traditionally appropriate, concrete, brick, stone, split-faced rock, cementous fiber siding such as James Hardie Products, or clay tile may be painted. Paint colors must reflect the approved color scheme chosen by the Developer.

Elevations

Articulation, achieved through roof features, roof overhangs, columns, material patterns, and the placement of windows and doors, can reduce the perceived size of the structure. All new construction shall use best efforts to incorporate such elements into their design to achieve such an appearance.

Roofs

Single Family and Multifamily roofs must be pitched with a minimum slope of 4:12, unless the roof is over a porch area or building entry that is attached to an exterior wall, in which case there is no minimum pitch. Commercial roofs may be flat, pitched, or a combination thereof with no minimum pitch for sloped roofs.

- Rooftop equipment may not be visible to adjoining properties outside of Easton Farm from grade level.
- Pitched roofs shall be clad in slate, architectural asphalt shingle, or standing-seam metal.

- Asphalt shingles shall be colored to harmonize with building material.
- Roof elements such as vents, flues, turbines, or other penetrations must be painted to harmonize with building materials.
- Gutters shall be in accordance with the structure's architectural style and visually integrated.

Awnings

- Fixed or retractable awnings are permitted if they complement the building's architectural style, material, color, and details.
- Awnings over an entrance or sidewalk area shall have a minimum clearance of seven feet (7') between bottom of skirt and the pavement.

Columns

- A special element of Easton Farm's commercial and multifamily architecture is that when columns are used it is preferred that they are consistent with the American Craftsman style as depicted in Exhibit E as attached hereto.
- Metal and aluminum columns are not permitted.
- Column colors shall complement its building's material, color, and details.

Building Utilities and Equipment

- An element of Easton Farm is that all utilities within Easton Farm shall be located underground.
- Ground equipment must be screened by landscaping, mounding, fencing, or wing walls of buildings.
- Roof equipment must be screened from front and side view.

Building Criteria

Single Family Criteria

- Minimum lot size is 7,800.
- Minimum lot width at building setback is 60'
- Building front yard setback minimum is 25'.
- Building side yard setback minimum is 5'.
- Building rear yard setback minimum is 25'.

Multifamily Criteria

- Building front yard setback minimum is 10'.
- Building side yard setback minimum is 10'.
- Building rear yard setback minimum is 10'.

Commercial Criteria

- Minimum lot size is 1 acre.
- Minimum lot width is 100'.
- Maximum lot coverage is 85%.
- Maximum building coverage is 45%.
- Building front yard setback minimum is 35'.
- Building side yard setback minimum is 10'.
- Building rear yard setback minimum is 10'.

Building Height

- For areas Right/East of Height Restriction Line found in Exhibit A attached hereto:
 - No building shall exceed 4 stories in height as measured from first floor entirely above grade.
 - No building shall exceed 55' in height as measured from first floor entirely above grade as measured on the illustration in Exhibit A attached hereto.
- For areas Left/West of Height Restriction Line found in Exhibit A attached hereto:
 - No building shall exceed 2 stories in height as measured from first floor entirely above grade.
 - No building shall exceed 35' in height as measured from first floor entirely above grade as measured on the illustration in Exhibit A attached hereto.

Facade Cladding

Cladding materials will be chosen for their appropriateness to building type. Materials for new construction should emulate the appearance and quality of traditional materials. Materials may not be changed in the same plane, unless separated by a detail, such as a reveal or batten, and change must occur along a horizontal or vertical line. An appearance of continuity in materials and design aesthetic will lend a cohesive character to the core of Easton Farm.

Appropriate Cladding

- Brick
- Natural or Manufactured Stone
- Cementous Fiber such as James Hardie Products
- Wood Siding
- Decorative or Painted CMU's

Inappropriate Cladding

- Glass curtain wall
- Standard CMU
- Metal cladding
- Vinyl lap siding is explicitly prohibited

Doors and Windows

Consistent detail elements and other design elements appropriate to the style of the building shall be used to articulate entrances to buildings. The window proportion and placement shall be compatible with the proportion of the building.

Doors

- Storefront glass and storefront doors and permitted and encouraged.
- Entry doors shall be appropriately glazed and have either wood or metal frames.
- Businesses that occupy multiple bays on one facade shall have one active entrance.

Windows

- Windows must not exceed seventy-five percent (75%) of the total ground level facade area.

Inappropriate Windows

- Ribbon windows that span the facade.

PARCELS

Vacant/Empty Parcels

As part of the initial development of the community the frontage of all commercial parcels along Main Street (SR 741), vacant or otherwise, shall be improved with the Feature Wall and complimentary landscaping as illustrated in Exhibit B attached hereto.

All vacant parcels that are not in active construction shall be rough-graded, seeded, and shall remain free of construction debris.

PARKING

Parking areas in Easton Farm must be accessible to visitors but must also be screened from circulation routes. In select areas on-street parallel parking will be utilized for both convenience and to reinforce the community aesthetics.

- Parking is allowed on all sides of buildings with the following clarifications:
 - Parking between commercial buildings and Main Street (SR 741) is only permitted in conjunction with the Feature Wall and complimentary landscaping as illustrated in Exhibit B attached hereto.
 - The maximum allowable number of parking rows between commercial buildings and Main Street (SR 741) is two when separated by a drive aisle as illustrated in Exhibit C and Exhibit D attached hereto.
- No more than 10 parking spaces shall be allowable in a contiguous row before a landscape element is required.
- Bicycle parking is recommended in the commercial areas.
- Bicycle parking shall be provided in a dedicated secure area within the garages of the apartment homes.
- Separate pedestrian routes through parking lots are recommended, this can be achieved by a variation in pavement material, paint color, or location.
- Parking along perimeter of commercial lots shall follow planting recommendations in Landscape Section.

LANDSCAPE

Overview

A unique aspect of Easton Farm is the attention paid to pedestrian circulation through the establishment of hardscape features. From the standout feature wall along Main Street, to the multiple roundabouts with interior hardscape patterns, to the bicycle station, to mini courtyards about community gateways, Easton Farm will have hardscaping unparalleled in the region.

The aesthetics of Easton Farm is critical. A harmonious landscape architectural design depends on the understanding of several general principles. Location and land use of a particular site determines whether a formal or informal landscape design is appropriate. Easton Farm will feature flowers, mounds, trees, and formal landscaping features.

The selection, placement, and sizing of trees in a strategic manner positively impacts the scale of buildings. Plant materials offer the opportunity to introduce color, texture, and form to the environment. Implemented

appropriately, a landscape planting can weave circulation, building and the site at-large together to create a holistic environment enjoyable at a pedestrian scale.

Landscape Plan Recommendations

A landscape plan is required for all commercial and multifamily parcels or change in uses. The plan shall be designed and sealed by a registered Landscape Architect.

General Landscape Design Guidelines

Some issues to be considered when designing a landscape plan include the projected mature size of plants and trees and selection for drought tolerance and low maintenance. Appropriately placed trees and shrubs can provide an aesthetically inviting appearance to a site, as well as an effective means for visually screening surface parking lots, trash dumpsters and loading dock areas. Thought should be given to developing a mix of evergreen and deciduous trees and shrubs in these situations.

Scale

- Plant materials of varying heights shall be used to provide interest and variety.
- Larger canopy trees shall be placed close to sidewalks.
- Informal foundation plantings of shrubs of various sizes are encouraged.

Form

- Canopy trees shall be placed to provide a consistent element.
- Shrubs shall be clustered to create a massing effect.
- Orient plantings to reduce heat gain from hard surfaces.

Earth Mounds

- Berms can be used for screening or buffering between uses, for screening parking, and for shielding older developments from the views of the newer Easton Farms.
- Mounds, along with feature walls, will accentuate signage or monuments.
- Berms must not obstruct views within the sight triangle of an intersection.

Screening and Buffering

- Orient landscaping to screen surface parking lots, trash dumpsters, and loading dock/service areas.
- Service areas are to use landscape plantings or a combination of opaque fencing, or walls for screening purposes.

Street Frontage

- All major roads or circulation routes shall be planted with street trees.
- Street trees shall be planted a minimum of every 50 feet and located within a consistent distance from the curb edge.
- All egress points shall maintain adequate sight lines and should be planted to cue entrances.
- Gateways must not include plantings that obscure sight lines within 2.5 feet above the pavement.

Major Gateway

- Major Gateways shall feature both vertical and horizontal hardscape elements.
- Major Gateways shall feature seating.
- Major Gateways shall feature a roundabout.
- Major Gateway areas shall incorporate a mix of plantings.
- Maintain adequate sight line at intersections and egress points when placing plant material.
- Sight triangle must be unobstructed by plantings or other elements greater than 2.5 feet above the pavement.

Parking Lot Interior Island Landscaping

- In parking areas a minimum of one tree shall be planted for every 10 parking spaces.

Parking Lot Perimeter Planting

- Perimeter planting areas shall be provided along all sides.

Bufferyard

- A bufferyard or parcel perimeter planting shall be a minimum of 5 feet wide area from property line or right-of-way.

Landscaping Standards

The interior dimensions and design of any planting area or planting median must be sufficient to protect and insure proper growth of the landscaping materials.

Interior widths of planting areas may not be less than:

- 9 feet width for canopy trees
- 9 feet width for ornamental trees
- 5 feet width for shrubs

All plant materials must meet the following specifications:

Shade trees:

- Minimum trunk diameter of 2 inches at the root collar as published by American Standard for Nursery Stock ANSI Z60.1-2014
- Minimum height of 4 feet

Ornamental trees:

- Minimum trunk diameter of 2 inches at the root collar as published by American Standard for Nursery Stock ANSI Z60.1-2014
- Minimum height of four feet

Evergreen trees:

- Minimum height of five feet

Deciduous shrubs:

- Minimum height of eighteen inches

Evergreen shrubs:

- Minimum height of eighteen inches

SIGNAGE

A comprehensive effort to standardize the signage will allow for improved wayfinding, continuity of appearance and identification. Generally, the size of signage is determined by the scale of the structure. All signs shall be of consistent type, material and color. A hierarchy of signage shall be established for area recognition, business identification, directional or wayfinding and other related types of signs.

Type

- All signage shall be of the same material, texture, color, and shape.
- All signage shall be designed with a consistent theme, regardless of size or location.
- Monument signage is required within Easton Farm, where streetscape area allows.

- Signage for building identification must use either a monument sign and/or a wall mounted sign for each parcel.
- Where pole-mounted signage is located within the street frontage, the same standard (pole) will be used as is used for street lighting.
- Signage poles and supports shall be painted to provide a unifying element throughout Easton Farm.
- Consolidation of similar sign types is required to eliminate visual clutter.
- Signage for a multi-tenant facility shall have a coordinated character and combine information.

Location

- Sign placement at intersections or any egress point must allow for safe sight distance.

Signage Lighting

- Signage may be lit from below.
- Integrated illuminated signs are permitted only when individual letters are illuminated.

Size

- The bottom of any projecting sign may not be less than 8 feet above grade, and not more than 16 feet above pedestrian ways.
- Monument signage must be affixed to a ground base and include landscaping.

Inappropriate Signage

- Flashing, audible signs
- Billboards and sign benches
- Signs on roofs, dormers or balconies
- Signs painted directly on a structure
- Signage (other than magnetic) attached to vehicles and parked adjacent to building

LIGHTING

Lighting can serve a multitude of functions from providing a sense of safety to directing pedestrian and/or vehicular traffic. Lighting can focus attention and accentuate a sign, feature or building. Consistent material color, texture and design shall be maintained.

Street Lighting

- Street Light fixtures on all public streets shall be consistent throughout Easton Farm.
- Light standards shall be spaced at regular intervals and offer continuous ground plane overlap.
- Light standards shall be located at least two feet from back from curb.
- Light standards shall be combined with signage standards and other elements where possible.
- Lighting shall be coordinated with street tree plantings for proper integration.
- ANSI recommendations of 0.30 average illuminance for roadways shall be followed.

Commercial Parking Lot Lighting

- Parking lot lighting must provide for pedestrian and vehicular safety.
- Pole height for parking areas shall not exceed 25 feet in height.
- Overlighting must be avoided.
- ANSI recommendations for parking areas must be followed.

Building Lighting

- Lighting used to accentuate architectural form shall be indirect and the source hidden from view.
- Security lighting must not overflow into another lot.
- Tactful illuminated building signage is encouraged in multifamily parcels.

Pedestrian Lighting

- Use a light hierarchy to distinguish between illumination requirements.
- Street lighting shall be placed to also offer illumination along any adjacent walkways.
- Walkway lighting shall employ low voltage lighting.

Inappropriate Lighting

- Wall-pack lighting other than at garage entrances
- Flashing/strobe-type or any neon-type lighting
- Colored shields or lighting sources

Site Furnishings/Common Areas

Streetscape furniture should be considered in terms of compatibility with the architectural character of the area as well as consistency with other streetscape elements, such as landscaping, paving, decorative concrete, and masonry pavers, and can include items such as benches, signage, banners, trash receptacles, and planters.

- Site furnishings shall be consistent in design.
- Site furnishings shall be constructed of similar material, preferably metal, stone or other natural materials that coordinate with the building facades.
- Site furnishings such as benches, and trash receptacles shall be clustered together in areas of activity, and be located to allow easy access to entrances.

Bicycle Path

A bicycle path and pedestrian trail is an important feature at Easton Farm. With the diverse set of uses, this meandering path will communicate to visitors that cyclists and pedestrians are welcome and encouraged to walk or cycle from business to business and throughout the community.

- The bicycle path shall be wide enough to accommodate comfortable passing, and must be a minimum of ten feet in width.
- The bicycle path shall be constructed of asphalt.

Bicycle Station

A unique feature to the Easton Farm community will be her Bicycle Station. The Bicycle Station will be a building that serves the basic needs of the community's cyclists with work stand and rain protection. The Bicycle Station will be architecturally consistent with Easton Farm's overall design.

Park Connectivity

While Easton Farm has a large amount of green space, it is also benefitted by being adjacent to Springboro's North Park, which is a serene passive park, and South Park, which is an active park containing ballfields, a playground, and a community amphitheater that features free live concerts in the summer. To accentuate this benefit, the developer will connect those two parks with its bicycle path, thus creating an amenity for both Easton Farm residents and businesses, as well as for the community at large.

Fishing Lake with Mulch Trail

The retention pond located in the southeast portion on Easton Farm will also serve as a fishing lake for the community and be accessed via a mulch trail.

Feature Wall

One of the signature elements defining the Easton Farm community will be the Feature Wall. A wall will be constructed along the Main Street frontage in a fashion similar to that found at the famous Cincinnati Zoo and the prestigious Vintage Club located in Montgomery, Ohio.

- The Feature Wall will be of an average height of 2.5 feet, exclusive of any columns.
- Signage for the community Gateway and for the commercial parcels will be tastefully incorporated into the design of the feature wall.
- The Feature Wall shall allow for pedestrian connectivity to Main Street.
- Gateway features such as seating areas and decorative paving will be incorporated into the Feature Wall.

Roundabouts

Roundabouts have become an important element to modern traffic planning. Easton Farm will employ two roundabouts to serve its residents and the community. Not only will these roundabouts provide peaceful and efficient vehicular connectivity, but they will also feature pavement details, landscaping/signage giving them aesthetic appeal thus making them a community-wide amenity.

Community Landmark Feature

The developer will construct a landmark feature in proximity to the Western roundabout to create an orienting element that visually connects the community.

Pedestrian Access

Pedestrian walkways are important features in a commercial area to communicate that Easton Farm residents and visitors alike are welcomed and encouraged to walk from home to business, business to business, and vice versa. Pavement type is particularly important, as it serves to differentiate between pedestrian and vehicular circulation, and cues the visitor to appropriate paths between destinations.

- Walkways must be wide enough to accommodate comfortable passing, and must be a minimum of 5 feet in width.
- Vary pavement materials and/or colors to distinguish pedestrian circulation from vehicular traffic at intersections.
- All pavement materials shall be within a color range to match other materials, architectural elements, and site elements within Easton Farm.

Street Frontage

Streetscape frontage is the element that can most influence perception about the character of an area. By establishing guidelines that promote a unified design, Easton Farm will be perceived as an economically successful area. A formal treatment is suggested for the street tree planting and light standard location to lend consistency and uniformity to the circulation routes throughout Easton Farm.

- Street trees shall be spaced at equal intervals along street frontage to establish a consistent edge to the circulation route through Easton Farm.

- Lighting shall occur at equally spaced intervals and be from the same family of fixtures and standards.

Residential

The residential portions of Easton Farm will be treated per the PUD approved by Springboro.

Gateways

The Gateways at Easton Farm both accentuate the entry into the community with its pedestrian plazas, and connect mixed uses within the community with its roundabouts. These Gateways provide distinct recognition for Easton Farm. They indicate a destination. At appropriate locations, gateway elements establish the design character and encourage pedestrian interaction.

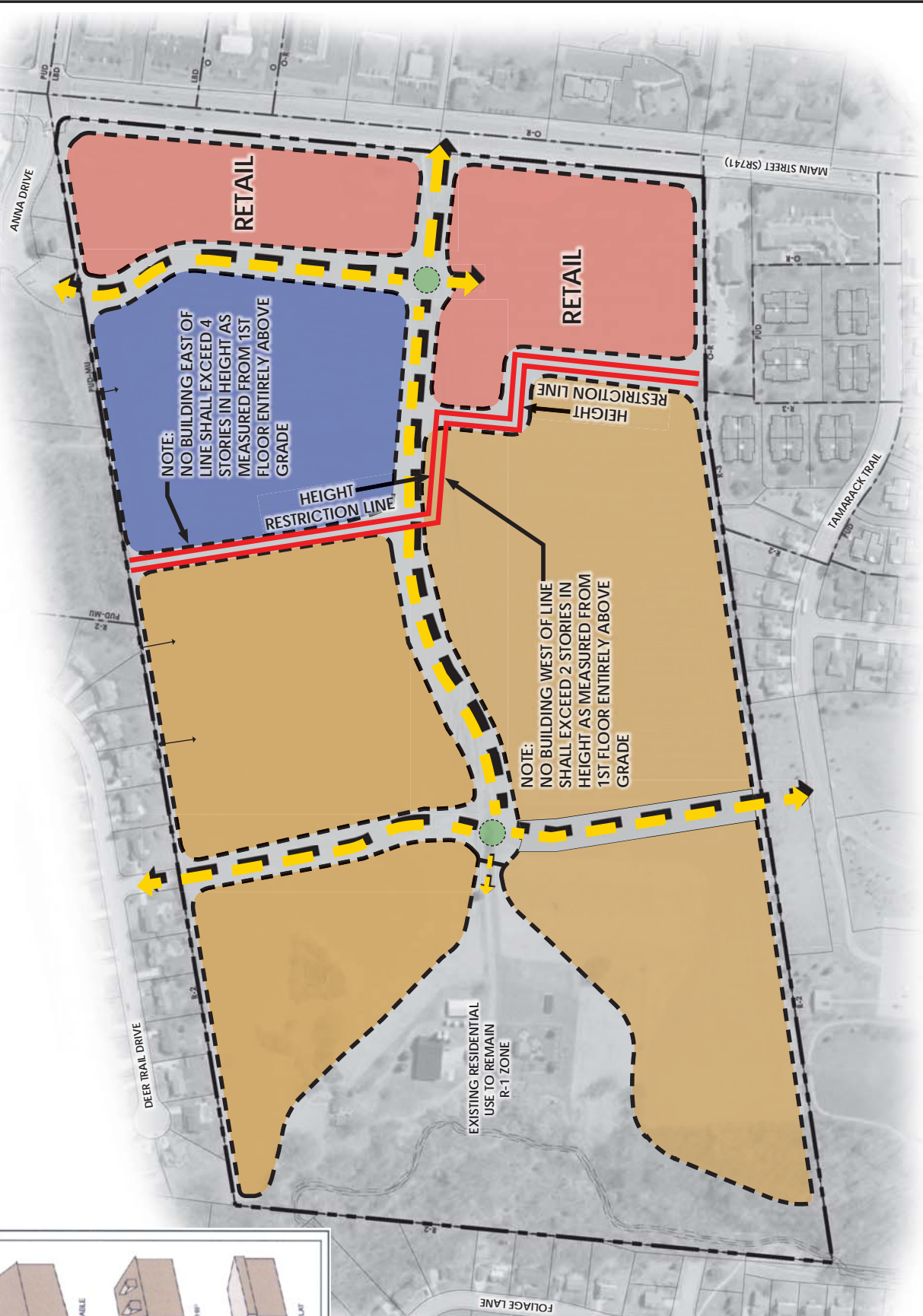
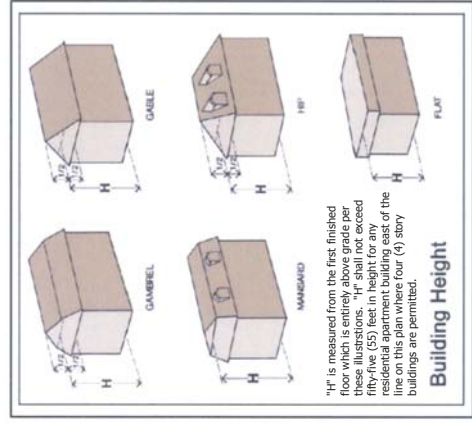
- Gateway Areas shall incorporate appropriate identification elements such as signage, logos, and visual representations that personify the word “community”.
- Appropriate coordinated lighting shall be provided at Gateway Areas.
- Gateway Areas shall be punctuated with landscaping, signage, paving, and other significant structures such as walls or columns.

Major Gateway

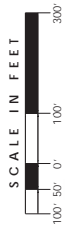
- The major gateway at Main Street (SR 747) is highlighted by landscaped and hardscaped pedestrian plazas.
- The major gateway at Main Street (SR 747) shall incorporate a well-appointed roundabout.
- Landscaping shall be concentrated at this point but still allow for adequate sight distance.
- Lighting must be integrated into the gateway area and shall follow lighting guidelines.
- Low walls or other structural elements shall be used to punctuate the gateway

This concludes the Design Guidelines. Please also refer to the Architectural Pattern Book and the PUD Zoning Justification.

Exhibit "A"



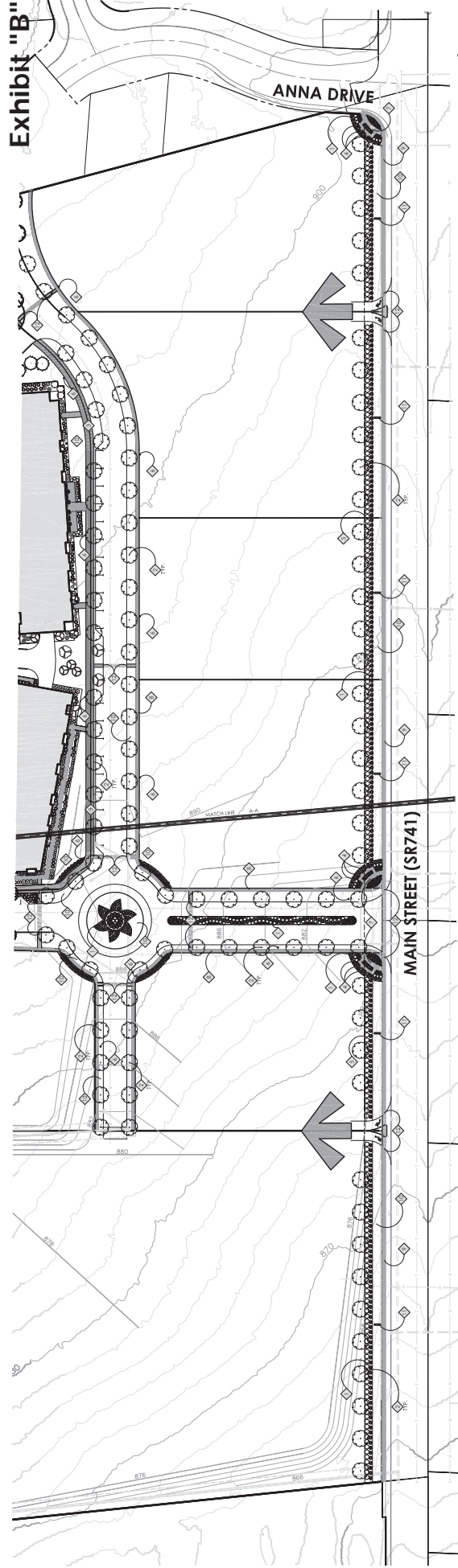
INVERNESS
HILLS
PROPERTIES



MSP
DESIGN
McGill Smith Punshon

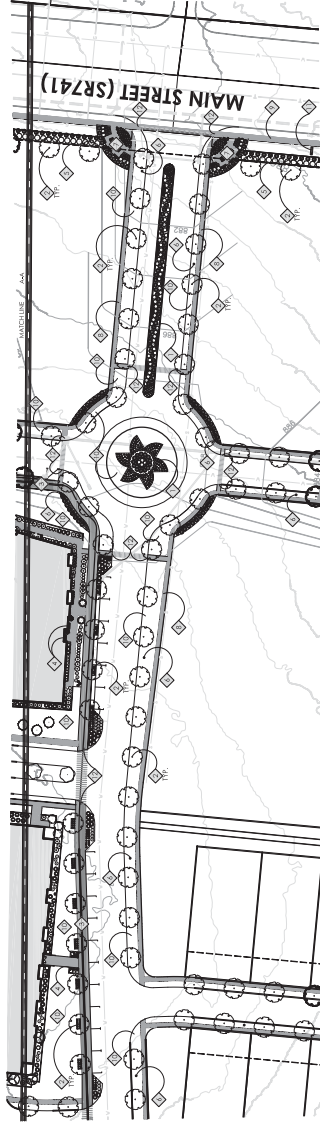
EASTON FARM
BUILDING HEIGHT EXHIBIT
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
PROJECT NUMBER: 16470.00 | DATE: APRIL 25, 2017

Exhibit "B"



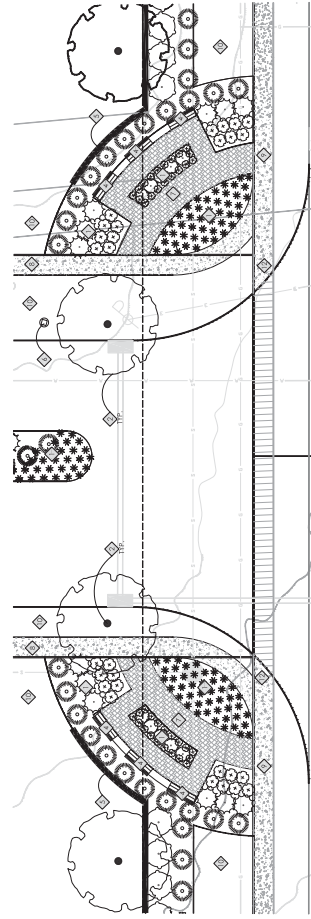
SR. 741 TYPICAL LANDSCAPE

SCALE: 1" = 50'



MAIN STREET TYPICAL LANDSCAPE

SCALE: 1" = 50'



PEDESTRIAN PLAZA TYPICAL LANDSCAPE

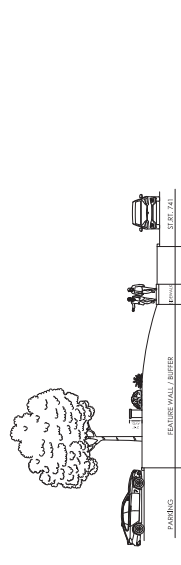
SCALE: 1" = 10'

DRAWING NOTES

- 1. LANDSCAPE BED
- 2. CANOPY / STREET TREES
- 3. 10' BRT PAV
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- 100. 10' BRT PAV

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SPRINGBORO AND THE OHIO DEPARTMENT OF TRANSPORTATION.
2. SPECIFIC LOCATIONS TO BE DETERMINED BY FINAL DEVELOPMENT PLAN.



FEATURE WALL DETAIL

SCALE: 1" = 10'

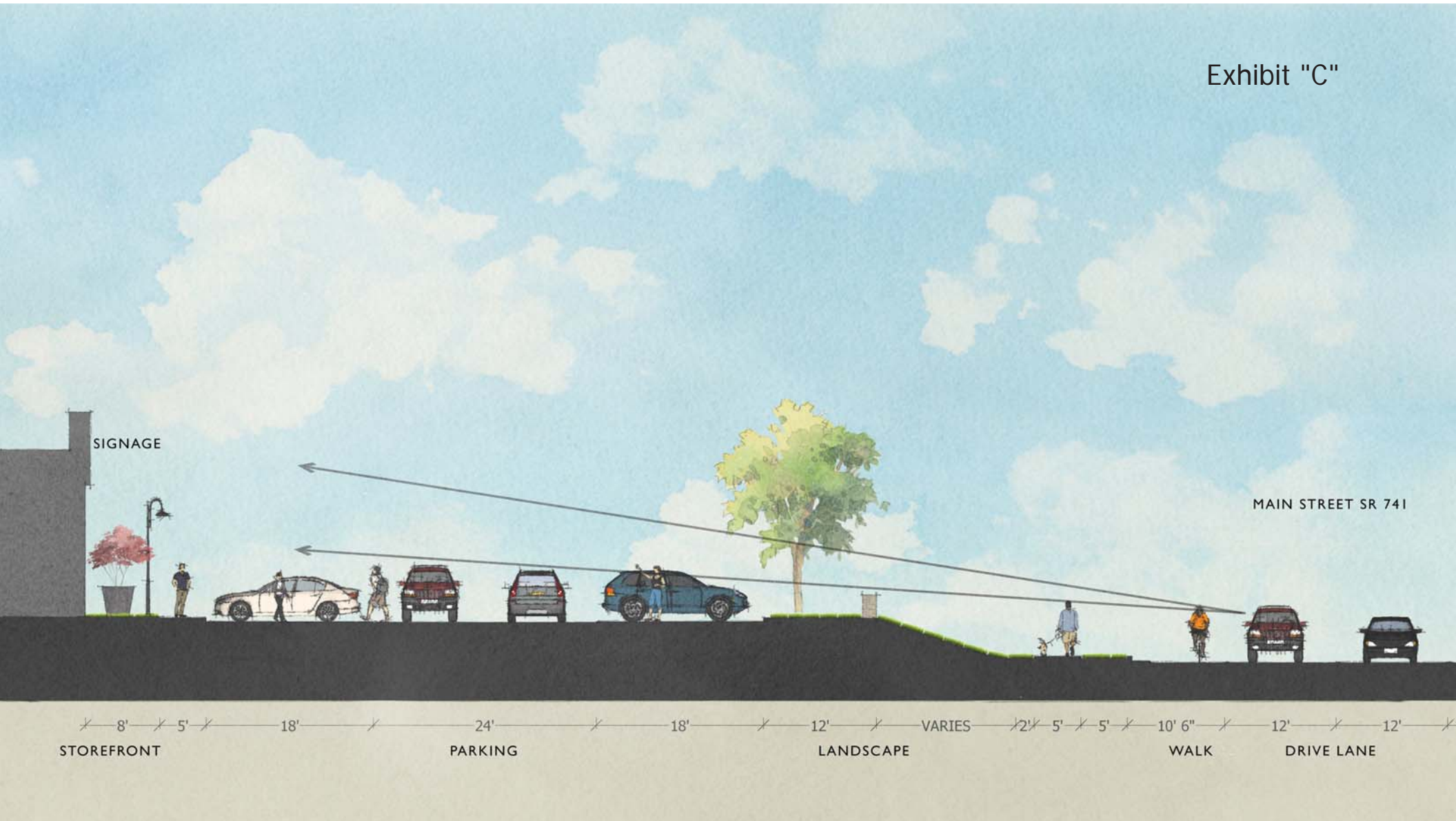
EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

HILLS
PROPERTIES

INVERNESS
HOMES

McGill Smith Punshon, Inc.
10000 McGuffey Ave.
Cincinnati, Ohio 45244-2077
Tel: 513.959.9000 • Fax: 513.633.7099
Engineers • Architects • Surveyors • Landscape Architects • Planners
Professional Seal: [Blank] State No. [Blank] Expiration Date: [Blank]
Drawing No. 1/1
Scale: 1" = 50'

Exhibit "C"



DRAWING NOTES

- 1 LANDSCAPE BED
- 2 LAWN
- 3 5' SIDEWALK
- 4 FEATURE WALL
- 5 SITE SIGN
- 6 DIRECTIONAL SIGN
- 7 DUMPSTER ENCLOSURE

GENERAL NOTES

- 1. MAXIMUM OF 10 PARKING SPACES WITHOUT LANDSCAPE ISLAND.

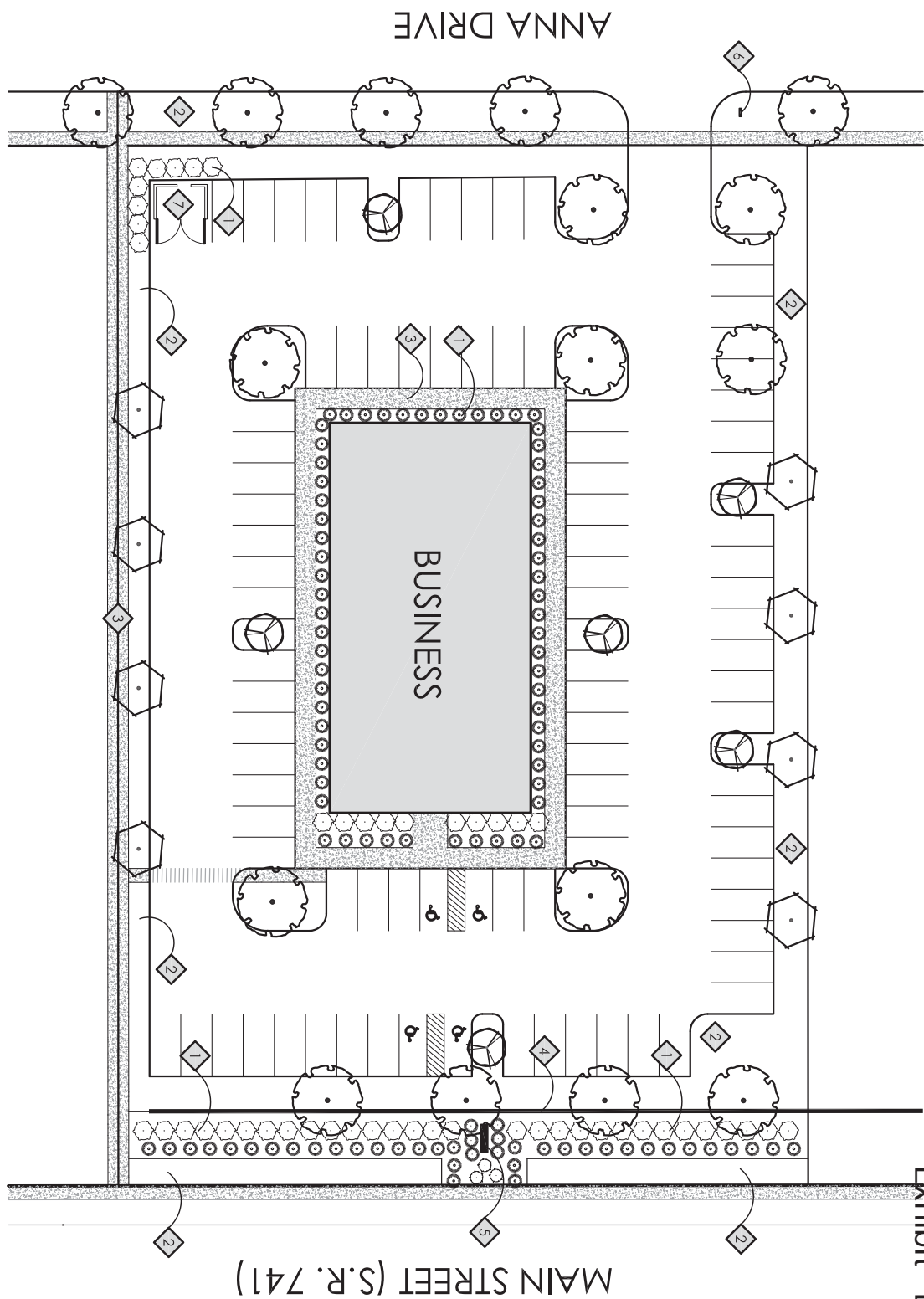


Exhibit "D"

TYPICAL COMMERCIAL SITE PLAN

SCALE: 1" = 30'

Examples of Craftsman Architectural Style Columns



Fluted
Non-Tapered
Square



Plain
Non-Tapered
Square



Paneled
Non-Tapered
Square



Paneled
Tapered
Square



Plain
Tapered
Square

Background Information & Staff Comments
City of Springboro Planning Commission Meeting
Wednesday, October 25, 2017, 6:00 p.m.

III. Agenda Items

- A. Rezoning, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development
- B. General Plan, Easton Farm, 605 North Main Street, from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use, retail and residential development

Background Information

These agenda items are based on a request filed by HP Acquisitions, LLC, Blue Ash, Ohio, seeking rezoning and general plan approval for a 86.67-acre portion of the Easton Farm, a 101-acre property located at 605 North Main Street. The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The applicant proposes to develop a mix of commercial, single-family and multi-family residential development. A 16.08-acre parcel of land on the west side of the property is not included in the application and is proposed to be retained by the existing property owners, the Ted & Becky Hall Living Trust, for residential use.

The proposed rezoning/general plan appears as two separate items on the Planning Commission work session agenda. The first stage of the PUD process, rezoning and general plan review and approval, will involve two separate recommendations to City Council, and later two separate pieces of legislation considered by City Council.

The 86.67-acre subject property is located southwest of the intersection of Lytle-Five Points Road and North Main Street. The subject property is presently farmed and includes two single-family residential units on the west side of the property. Vehicular access is provided by a single driveway from North Main Street. Both single-family residence are outside the 86.67 areas referenced in the rezoning application

The subject property is presently zoned R-1, Estate-Type Residential District. The R-1 District allows residential development at a density of 2 dwelling units per acre on 20,000 square foot lots. The R-1 District was applied to this property in 2015 as part of the implementation of the current Planning & Zoning Code. Prior to 2015 this portion of the property was zoned (T)R-1, Clearcreek Township Rural Residence District, a zoning category dating to the property's annexation. The (T)R-1 District allowed a similar residential development pattern to the R-1. It was replaced with the R-1 District on this site and others to provide the City of Springboro with consistent land use and development controls within the corporate boundaries.

The applicant has requested rezoning to PUD-MU, Planned Unit Development-Mixed Use, with at least two components: commercial and residential. The applicant has been advised by staff that the Planning Commission and City Council have in their authority the ability to strike-out uses permitted in conventional zoning districts that they might find undesirable for the subject property

given its location, existing land use pattern, City land use policy and the Planning & Zoning Code provisions.

Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's Site Plan Review process, review and approval by Planning Commission is the second stage in the process. Final development plan may be submitted in a number of sections in conjunction with a site's incremental development. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include single-family residential development to the northwest within the Hunter Springs subdivision that includes Deer Trail Drive. Open space in the form of the City of Springboro's Gardner Park, office and retail development to the north within the Village Park PUD-MU, Planned Unit Development-Mixed Use, retail development to the northeast within the Marketplace of Settlers Walk shopping center, a part of the Settlers Walk PUD, northeast of the intersection of Lytle-Five Points Road and North Main Street; retail and office development to the east on the east side of North Main Street; and retail and office development to the south including a day care facility and real estate office. To the south residential development including condominiums within Springbrook Commons and to the west single-family residential development along Tamarack Trail. Further west is the City of Springboro's North Park. To the west is single-family residential within the Tamarack Hills/Royal Tamarack subdivisions.

Adjacent zoning includes to the north R-2, Low-Density Residential District corresponding to the Hunter Springs subdivision, and PUD-MU corresponding to the Village Park development. PUD to the northwest associated with the Settlers Walk PUD. LBD, Local Business District, O, Office District, and O-R, Office-Residential District, to the east associated with the existing pattern of retail and office development. O-R District to the south and transitioning to PUD and R-3, Medium-Density Residential District, associated to the condominium development to the south, and then transitioning to R-2 District corresponding to the single-family area along Tamarack Trail and into North Park. This pattern continues to the west and the Tamarack Hills/Royal Tamarack subdivisions.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre.

The rezoning and general plan applications were reviewed at the January 11, March 8, May 10 and October 11 Planning Commission work sessions. The following change was made to the submitted information since the October 11 application:

- The general plan was revised in a letter dated October 16, 2016 from Michael Copfer, Hills Properties, so that single-family lots located on the northwest corner of the subject property

would match the development standards for the adjacent single-family lots located on Deer Trail Drive in the Hunter Springs subdivision. While zoned R-2 District (4 dwelling units per acre on 9,000 square foot lots), Hunter Springs was developed at a density similar to R-1 District or 2 dwelling units per acre on 20,000 square foot lots.

The applicant's General Plan concept drawing proposes the following:

- A 17.17-acre of commercial development component along the North Main Street frontage on the east side of the property.
- A 31.59-acre single-family residential component is proposed for the south central portion of the subject property at a proposed density of 2.72 dwelling units per acre.
- To the north, an 28.48-acre multi-family component of apartments and townhouses is proposed for the north central portion of the subject property at a density of 12.50 dwelling units per acre.
- A 9.43-acre, single-family component is proposed for the northwest corner of the site at a proposed density of 2.23 dwelling units per acre.
- Overall residential density residential components is 6.66 dwelling units per acre (463 dwelling units on 69.5 acres).

The proposed General Plan indicates vehicular access will be provided at North Main Street as well as to connections to the existing road network at Anna Drive and Fox Trail Drive to the north and Tamarack Trail to the south. Two right-in/right-out connections are also shown on North Main Street.

Staff Recommendation—Rezoning

City staff recommends not approving the rezoning of 86.67 acres located at 605 North Main Street from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The recommendation is based on the following:

1. Proposed residential development densities exceed those identified in the 2009 Land Use Plan for the City of Springboro.
2. The proposed development is not consistent with development patterns of this portion of the community, specifically the relationship of proposed higher density multi-family residential to existing lower density residential neighborhoods.

City staff has the following comments regarding the proposed rezoning application:

1. Indicate how the proposed plan complies with the 2009 City of Springboro Land Use Plan, Policy Area #3, North SR 741 Corridor, as follows:
 - a. List amenities that warrant intensive development densities in the multi-family residential section of the proposed development adjacent to an existing single-family Hunter Springs residential neighborhood to the north.
 - b. Why are restaurants with drive-throughs included in the list of permitted uses for the retail component?
2. Submit a revised traffic study incorporating approved uses and revised access locations into/out of the property. The study should be coordinated with parameters set by the City Engineer and the City's traffic consultant. Study to be completed before Public Hearing of City Council pending approval by Planning Commission.

3. Applicant to complete a lot split for the proposed 86.67-acre subject property.
4. Applicant to coordinate with City staff and develop exhibit identifying permitted land uses for the components (retail, multi-family, single-family) of the subject property.

Staff Recommendations—General Plan

City staff recommends not approving the general plan for the proposed Easton Farm PUD-MU, Planned Unit Development-Mixed Use, located at 605 North Main Street. The recommendation is based on the following:

1. While PUD zoning allows for a departure from conventional zoning development standards, the general plan is deficient in that it introduces many design goals that are at or below those contained in conventional zoning standards including but not limited to design and development standards in the retail component and densities in both the single- and multi-family residential components.
2. The four-story building heights of the proposed multi-family residential units are incompatible with surrounding development patterns.
3. The quality of open space proposed in the general plan is low quality including open areas within parking lots, detention and retention ponds, interior areas of roundabouts and possibly also required side, front and side yards.

City staff has the following comments regarding the proposed general plan application:

1. The following comments apply to the general plan concept map:
 - a. Move proposed Tamarack Trail access point to the east to collocate with proposed pedestrian/bike access point. Alternatively, loop the pedestrian path to the west of the access road and link directly to North Park.
 - b. Label the map with development densities for the two single-family residential components.
 - a. Remove accessory structures from the setback table as they are to be located in the rear yard only, per Springboro ordinances.
 - b. Provide a breakdown of the number of townhome and apartment units within the multi-family component. Also indicate the number of apartment buildings and the number of residential units within them and the number of apartment building located along the north side of the development.
 - c. Indicate the density of apartment portion of multi-family residential component.
 - d. Indicate the amount of on-street parking as well as surface parking and in-structure parking proposed to support the multi-family component of the development.
 - e. As discussed at the October 10 work session, revise general plan map to indicate larger lots on the northwest corner of the subject property to match the R-1 District-type lots on Deer Trail Drive in the Hunter Springs subdivision.
 - f. The following comments apply to the open space as shown:
 - i. Indicate what is proposed for the open space provided within the multi-family component. Aren't some of these the landscaped areas between surface parking lots and buildings?
 - ii. Provide high quality open space that is focused on connecting Gardner Park to North Park, screens existing developments where densities are not compatible, and merge spaces into larger spaces that can be programmed for use by future residents and visitors.

5. The following comments apply to the submitted design guidelines:
 - a. How the booklet promotes high quality development through the following standards through the use of CMU and manufactured stone and parking on all sides of a building (page 4).
 - b. Staff recommends cross-referencing the City's landscaping provisions (Chapter 1280 of Planning & Zoning Code) and using design standards to provide plantings at a higher standard, not lower as indicated.
 - c. Staff recommends cross-referencing the City's sign code (Chapter 1281) and using the design standards to provide signs at a higher standard.
 - d. Staff recommends cross-referencing the City's exterior lighting code (Chapter 1273) and using the design standards to provide lighting at a higher standard.
 - e. Include graphics to reflect design objectives of the guidelines.
 - f. Delete references to best efforts as shown on page 2.
 - g. Revise rooftop mechanical screening provisions on page 2 to match City standards.
 - h. Awning provisions on page 3 to match or exceed City standards.
 - i. Indicate minimum dwelling unit size on page 3.
 - j. Page 4, exterior materials does not comply with City standards for material selection, number of materials per elevation and tripartite design.
 - k. Page 8, pole signs not permitted.
 - l. Page 9, bike path to be developed to AASHTO and other City standards for design and construction.
 - m. Page 9, revise park designation on Park Connectivity standard (North is Gardner Park, South is North Park).
 - n. Page 11, change 747 to 741.
6. Architectural Pattern Book. The following general comments apply:
 - a. Pages 3-12, residential designs to comply with Planning and Zoning Code architectural standards (Section 1264.05) for materials, front porch requirement, garage setback, etc.
 - b. Page 13-15, townhome concept setbacks require adjustment to maintain continuous sidewalk and/or pedestrian clearance. Also garage access is encouraged to the rear of units and no more than 60 percent of the frontage may be taken up by garages per City code (Section 1264.04 of Planning and Zoning Code).
 - c. Pages 16-18, indicate building height for proposed apartment buildings from typical ground level to typical midpoint between fascia and ridge line.
 - d. Pages 19-22, how does the proposed building site relate to existing and future rights-of-way. Also fueling locations to comply with Planning & Zoning Code screening requirements?
 - e. Pages 23-29, how does the proposal to include a 99-foot front setback encourage high quality design?
 - f. Pages 31-37, some lighting proposed to not comply with anti-glare objectives of the exterior lighting provisions of the Planning & Zoning Code.
 - g. Pages 38-41, the stone, masonry, brick, shingle and standing seam roof patterns are so extensive (40 brick examples are provided for example), how do these design features tie the development together?
7. Curb cuts, access, traffic signal and revised traffic study to be reviewed by staff to determine the actual locations of these items and to determine the need for a traffic signal. Internal roadway as shown may need to be revised based upon the traffic signal's impact (if allowed), such as increasing the throat length at the intersection. Curb cuts, traffic signal and internal roadway to be worked out at a future date and are not approved as shown.

8. City staff reserves the opportunity to comment on this application regarding issues including but not limited to the following:
 - a. The necessity of a lot split and secondary access to the 16.08-acre tract to remain under R-1 zoning.
 - b. The establishment of associations to manage common areas within the commercial and residential areas of the proposed development.
 - c. The development's storm water management. Note also that storm water management for the commercial component to be provided underground.
 - d. Street lighting for public streets consistent with City standards and City provides for post lighting in single-family residential areas.
 - e. Roadway construction phasing to allow for the orderly expansion of the street network and to comply with subdivisions regulation requirements.
 - f. Construction traffic limitations to protect the existing street network particularly residential areas.
 - g. Sanitary sewer capacity.
 - h. Providing improvements along SR 741 such as drop turn lanes and utilities.
 - i. Typical sections for proposed roadways including the provision of sidewalks on both sides of public streets, curb cut locations and internal roadway networks including proposed round-a-bouts that may need to be revised based upon a traffic study.
9. The Clearcreek Fire District has no comments at this time.

C. Rezoning

1360 South Main Street, R-1, Estate-Type Residential Zoning District, to PUD-R, Planned Unit Development-Residential

D. General Plan

1360 South Main Street, R-1, Estate-Type Residential Zoning District, to PUD-R, Planned Unit Development-Residential

Background Information

This agenda item is based on an application filed on behalf of the Daniels Family Trust, property owner, seeking rezoning and general plan approval for a 2.53-acre site located at 1360 South Main Street. The applicant is seeking both approvals to allow for the development of the property as an 8-lot, single-family residential subdivision. The property is currently zoned R-1, Estate-Type Residential Zoning District. Rezoning to PUD-R, Planned Unit Development-Residential, is requested using R-2, Low Density Residential Zoning District, as a basis.

The proposed rezoning/general plan appears as two separate items on the work session agenda due to the fact that the first stage of the PUD process, rezoning and general plan review and approval, will involve at the time a formal recommendation is made, two separate recommendations to City Council. The two agenda items will be discussed and reviewed together at the October 11 work session. This item was discussed at the September 13 and October 11 Planning Commission work sessions. The general plan has been revised based on the October 11 work session discussion

The subject property is located on the east side of South Main Street between Heather Glen Court and Dunnington Court/Heatherwoode Boulevard. The property has direct frontage onto South Main Street and is currently occupied by one single-family residential dwelling unit. The revised general plan proposes the development of 7 single-family residential ranging in size from 7,003 to 8,252

square feet. This represents a development density of 3.28 dwelling units per acre, similar to what is permitted in the R-2, Low-Density Residential Zoning District. The general plan states that 25 percent of the site will be set aside as green space.

Adjacent land uses include single-family residential to the west, north and south and to the east the Heatherwoode Golf Course (10th tee). The residential portions of Heatherwoode were developed at a density of 2 units per acre (215 lots on 104.4 acres) and 56 percent open space including the portion of Heatherwoode Golf Course east of SR 741. The volume of open space is higher considering the part of the golf course west of SR 741 and smaller open spaces within the residential part of the development. Adjacent zoning includes PUD to the north, east and west corresponding the Heatherwoode golf course and adjoining residential development and R-1, District to the west.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community that are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area #16, Heatherwoode, includes the subject property and all lands within the corporate boundary south of Clear Creek. Preferred Land Uses identified in the plan include the golf course and clubhouse, public parks and open spaces and public uses (fire stations, schools) and semi-public uses (religious institutions) as well as detached residential dwellings. These dwellings may be developed, according to the plan recommendations, as follows:

- Up to a maximum of 2 dwelling units per acre within a conventional development pattern;
- Up to 4 dwelling units per acre when a minimum of 25 percent open space is provided; and
- Up to 6 dwelling units per acre when a conservation subdivision model, including a minimum of 40 percent open space, is provided.

Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's site plan review process, review and approval by Planning Commission is the second stage in the process. Record Plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Staff Recommendations--Rezoning

City staff recommends approval of the general plan for the proposed Streamside at Heatherwoode PUD-R, Planned Unit Development-Residential, located at 1360 South Main Street. This recommendation is based on the following

1. The proposed residential land use is consistent with the 2009 Land Use Plan for the City of Springboro.
2. The proposed residential development density is consistent with those identified in 2009 Land Use Plan for the City of Springboro.
3. The proposed development is consistent with development patterns of this portion of the community.

City staff identified the following comments for these agenda items at this time:

1. Provide a list of all property owners within 300 feet of the property for the purposes of notification of a Public Hearing of City Council on the proposed rezoning/general plan request.
2. Clearcreek Fire District has no comments at this time.

Staff Recommendation—General Plan

City staff recommends approval of the general plan for the proposed Streamside at Heatherwoode PUD-R, Planned Unit Development-Residential, located at 1360 South Main Street.

City staff has the following comments on the general plan:

1. Residential housing units to comply with Planning and Zoning Code Section 1264.05, Development Standards for Specific Uses, Single-Family Dwelling, Attached and Two-Family Dwellings including exterior building materials, garage placement and more. Please revise the general plan accordingly as needed.
2. Private drive to have public access/utility easement.
3. Utilities (storm, detention, sanitary, water main) to be worked out at future date, and not approved as shown.
4. Provide a setback that accommodates the parking of vehicles in front of the home without hindering vehicles, including emergency apparatus, on the private street.
5. Sanitary sewer from basements/walkouts are to be gravity drained. Grinder pumps are not allowed.
6. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Wednesday, October 20, 2017 at 8:00 p.m.

CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☒ Rezoning/General Plan ☐ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: Easton Farms

DEVELOPER'S NAME: HP Acquisitions LLC

Address: 4901 Hunt Road, Suite 300, Cincinnati, OH 45242

Telephone No.: (513) 984-0300 Fax No.: (513) 618-7680

Email: jimo@hillsinc.com

OWNER'S NAME: Ted & Rebecca Hall Living Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No.: (937)748-0698 Fax No.: (____) _____

Email: tbh605@sbcglobal.net

LOCATION DESCRIPTION:

Project Location: East side OF Main St. (SR 741) south of Anna Drive

Parcel #: 0414227005 (If necessary, attach a legal description.)

Existing Land Use: Agricultural with two (2) existing residences and miscellaneous agricultural structures to remain.

PUD FEATURES:

Total Area (acres): 86.67 Number of Lots: 107 - SF, 356 - Apartments / TH / Attached

Type of PUD: ☐ Residential ☐ Business ☐ Office ☐ Manufacturing ☒ Mixed

If Mixed, acreage in each area: 69.5 - Residential, 17.17 - Business, N/A - Manufacturing
N/A - Office

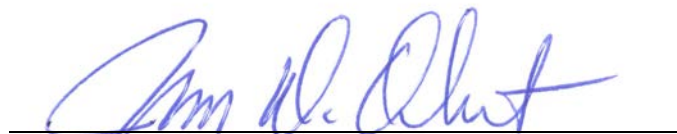
Proposed Density: 6.66 d.u. / acre Proposed Number of Units: 463

Type of Units:

Residential: Single family, 2 story townhomes and luxury apartments. Commercial: Senior living (Assisted Living & Memory Care), restaurants, convenience retail

ZONING:

Current Zoning: TR-1 Res. Proposed District (if appropriate): PUD - Mixed



(Signature of Developer and/or Owner)

9-01-2017

(Date)



September 29, 2017

Mr. Dan Boron
Planning Consultant
City of Springboro
320 West Central Ave.
Springboro, OH 45066

Re: Easton Farms

Dear Dan,

With this letter we are submitting supplemental information for the development of Easton Farm to be added to the information submitted on September 5. While the CD includes the previously submitted plans, we have refined the Design Guidelines and we've added the Easton Justification document to the earlier submission. We have made no alterations to the submitted plans.

We are submitting:

- 6 updated Design Guidelines
- 6 Zoning Justification

We hope to be able to vet any remaining issues with Staff and the Planning Commission at the October 11th work session so we may be able to make our formal presentation at the Regular Meeting on October 25th. In the interim, please let Michael or myself know of any other information you may need.

Once again, thank you for all your assistance.

Thank You and Sincerely,
Hills Developers

A handwritten signature in blue ink, appearing to read "James D. Obert".

James D. Obert
VP of Planning, Zoning & Development

PROPOSED DENSITY INFORMATION					
	UNITS/LOTS	AREA (acres)	DENSITY (units/acre)	OPEN SPACE (acres)	OPEN SPACE PERCENTAGE
MULTI-FAMILY	356	28.48	12.50	12.04	42.28%
SINGLE FAMILY LOTS	107	41.02	2.61	8.72	21.26%
TOTAL RESIDENTIAL USE	463	69.5	6.66	20.76	29.87%
TOTAL RETAIL USE	---	17.17	---	---	---
TOTAL AREA		86.67		20.76	
ACREAGE AREAS ARE CALCULATED TO THE CENTERLINE OF PROPOSED INTERNAL ROADWAYS.					

PROPOSED SETBACK INFORMATION				
LOCATION	SINGLE FAMILY LOTS	APARTMENT BUILDINGS *	TOWNHOUSE BUILDINGS *	ACCESSORY STRUCTURES
FRONT	25'	*10'	*10'	*10'
SIDE	5'	*10'	*10'	*10'
REAR	25'	*10'	*10'	*10'
THE PROPERTY OWNER AND/OR HOME-OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF OPEN SPACE AND RECREATION FACILITIES.				
* MINIMUM SETBACK FOR FRONT, SIDE AND REAR YARDS PER 1264.04 OF THE SPRINGBORO ZONING ORDINANCE IS 10'.				

PROPOSED OPEN SPACE INFORMATION		
	OPEN SPACE (acres)	PERCENTAGE OF OPEN SPACE
ACTIVE / AMENITY AREA	17.18	82.76%
RETENTION / AMENITY AREA	1.67	8.04%
DETENTION AREA	1.91	9.20%
TOTAL AREA	20.76	100%



INVERNESS
HOMES

HILLS
PROPERTIES®

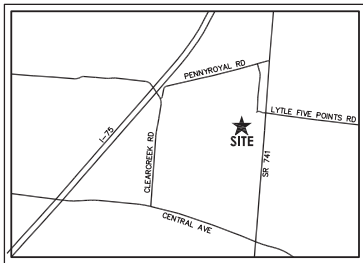


NOTE:
* AS MEASURED AT THE FRONT BUILDING SETBACK LINE

MSP
DESIGN
McGill Smith Punshon

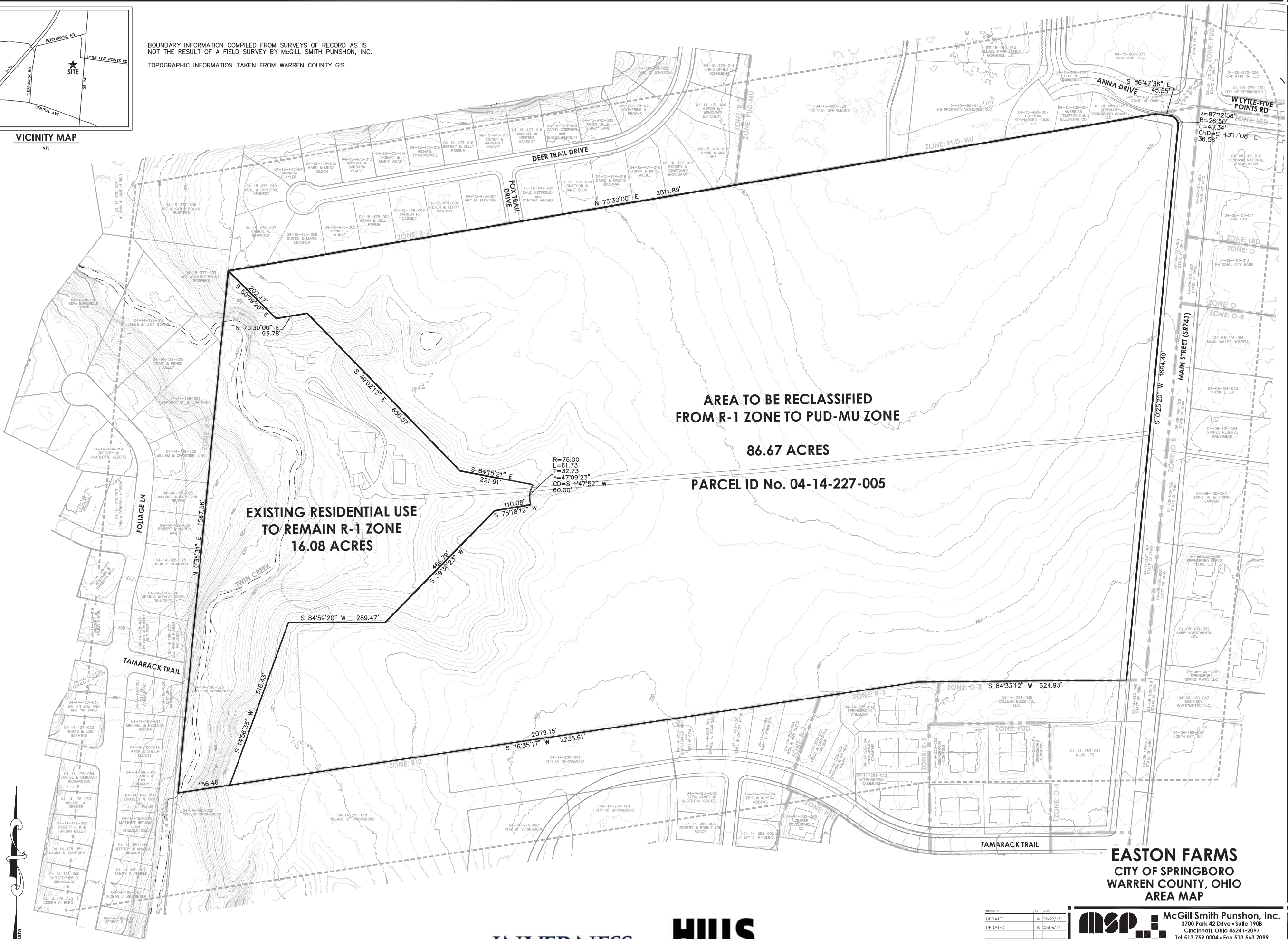
EASTON FARM
GENERAL PLAN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

PROJECT NUMBER: 16470.00 | DATE: APRIL 25, 2017



VICINITY MAP
NTS

BOUNDARY INFORMATION COMPILED FROM SURVEYS OF RECORD AS IS
NOT THE RESULT OF A FIELD SURVEY BY MCGILL SMITH PUNSHON, INC.
TOPOGRAPHIC INFORMATION TAKEN FROM WARREN COUNTY GIS.



AREA TO BE RECLASSIFIED
FROM R-1 ZONE TO PUD-MU ZONE

86.67 ACRES

PARCEL ID No. 04-14-227-005

EXISTING RESIDENTIAL USE
TO REMAIN R-1 ZONE
16.08 ACRES

EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
AREA MAP

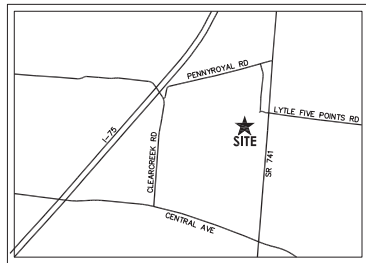
INVERNESS
HOMES

HILLS
PROPERTIES

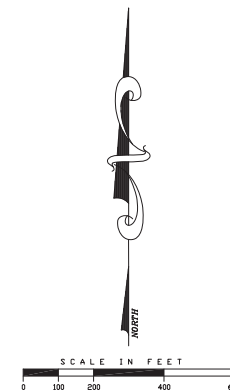
Revision	By	Date
UPDATED	JW	02/23/17
UPDATED	JW	03/06/17

mSP McGill Smith Punshon, Inc.
3700 Park 42 Drive • Suite 1908
Cincinnati, Ohio 45241-2097
Tel 513.759.0004 • Fax 513.563.7099
www.mcgillsmithpunshon.com
Engineers • Architects • Surveyors • Landscape Architects • Planners


Drawn By	BC	Date	12/15/16	Project No.	14470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Project D.R.	14470.00		
CAD	14470004-FR-00	X-Ref.					



VICINITY MAP
NTS



EASTON FARMS
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
LOCATION MAP



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Drawn By	BC	Date	12/15/16	Project No.	16470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS NOTED	Points D.R.	16470.00	File No.	16-470
CAD	16470004-FR-00	X-Ref.					



PROPOSED

Easton Farm

Springboro, OH

PUD ZONING JUSTIFICATION

An 86.67 acre Planned Unit Development

Developer:

Hills Developers, Inc.

DEVELOPERS' COORDINATING STAFF

Hills Developers, Inc.
CEO: Louis Guttman
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Land Acquisition: Michael Copfer
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Planning & Development: James Obert
4901 Hunt Road Suite 300
Cincinnati, OH 45242

McGill Smith Punshon, Inc.
Civil Engineer: James Watson
3700 Park 42 Drive Suite 190B
Cincinnati, OH 45241

McGill Smith Punshon, Inc.
Landscape Architect: Daniel Frank
3700 Park 42 Drive Suite 190B,
Cincinnati, OH 45241

Overview

The Easton Farm property is located within the Policy Area 3 – North S.R. 741 Corridor of the City of Springboro as defined in the 2009 Springboro Land Use Plan. The Easton Farm General Plan submitted along with this Justification warrants a PUD-Mixed Use zoning because it complies with and allows for the implementation of the recommendations for this property as suggested in the 2009 Springboro Land Use Plan for Policy Area 3. More specifically, the Easton Farm General Plan incorporates all five of the bullet points suggested under Preferred Future Characteristics, Actions and Needs on page 2-11 and also incorporates the Preferred Land Uses on page 2-12 and Appendix A-4 & A-5. Pages 2-10 to 2-13, A-4 and A-5 of the 2009 Springboro Land Use Plan are enclosed here in as Exhibit “A” to this Justification.

Mixed-Use

On page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs the first bullet point listed is *“The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741.”* The Easton Farm General Plan fulfills this in that it is mixed-use including several types of residential uses as well as commercial/retail uses. Also, as suggested the frontage along S.R. 741 will be commercial/retail uses with the residential uses located further to the west.

Walkability

The second bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs states, *“Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link the uses that front S.R. 741 to those of land that do not front on S.R. 741.”* The Easton Farm General Plan promotes walkability via both the pedestrian/bicycle trail, which is discussed below, and a sidewalk network. All of the public streets within Easton Farm will either have a sidewalk on both sides or a sidewalk on one side and the pedestrian/bicycle trail on the other. Thus, since the proposed street network connects the mixed uses from commercial/retail in the front (east) to residential in the back (west) the sidewalks or pedestrian/bicycle trail along these streets will provide a pedestrian connection. In addition, sidewalks will also connect through the property from north to south along the street network that connects to Deer Trail Drive (north) and Tamarack Trail (south).

Special attention has been given to the walkability of the extension of Anna Drive into Easton Farm from the north as this connects the commercial/retail uses to the residential uses. One side of the street will have either the pedestrian/bicycle trail or sidewalk and the other side will have a sidewalk. As illustrates in the Concept Plan attached as Exhibit “B” to the Design Guidelines, crosswalks with curb ramps have been included at strategic locations to allow for easy flow of pedestrian between the commercial/retail and residential uses. Further, the Parking Section of the Design Guidelines recommends separate pedestrian routes through the parking lots of the commercial uses to allow pedestrian movement from the sidewalk along Main Street (S.R. 741) to the sidewalk along the extension of Anna Drive within Easton Farm.

High Quality Design

The third bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs is *“Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.”* The Easton Farm General Plan achieves a high quality of design via both the Design Guidelines and the Architectural Pattern Book that have been included as part of the submittal for the Easton Farm General Plan. The Design Guidelines and Architectural Pattern Book don’t only hold the commercial/retail areas of Easton Farm to a high quality design standard but the residential areas as well.

High Quality Streetscapes and Greenspace

The fourth bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs suggests, *“An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.”* The Easton Farm General Plan has both high quality streetscapes and greenspaces. In addition, Easton Farm will have an owners association that will insure the continuity and maintenance of these areas.

The high quality streetscape will be evident from Main Street (S.R. 741) as a major element of Easton Farm will be the feature wall and associated landscaping that will run along the Main Street frontage of Easton Farm. Even though this is only the General Plan, we have included a more detailed Concept Plan of this area as Exhibit “B” in the Design Guidelines to illustrate the scope and quality of this feature. Also, renderings of this streetscape are included on pages 23-28 of the Architectural Pattern Book and page 29 gives an example of the material. The wall feature is accentuated at the gateways into Easton Farm from Main Street by the pedestrian plazas and associated landscaping. As developer, it is our plan to build the entire feature wall

along Main Street (S.R. 741) and the gateway pedestrian plaza areas as part of the initial phase of development of Easton Farm.

The Easton Farm General Plan also proposes two roundabouts at key street and pedestrian network connections where different uses within this mixed-use community come together. These roundabouts along with their associated landscaping and features seamlessly join the different uses into one identifiable community.

All of the public streets in both the commercial/retail areas and the residential areas will have the same high quality streetscape theme in that they will all have the same type of street lights, street signage and all will have a walk way on both sides of the street consisting of either sidewalk or a combination of sidewalk and the pedestrian/bicycle trail.

The Easton Farm General Plan contains over 20 acres of green (open) space. And this green space will be utilized in a variety ways. The enhanced visual impact due to the high quality of the landscaping along Main Street and the roundabouts mentioned above also continues and connects the different uses within Easton Farm via green space corridors along the principle right-of-ways.

It is important to note that all of the detention and retention areas within Easton Farm will be attractively developed. However, due to its location near the main vehicular and pedestrian access to the community, special attention has been given the retention area between the commercial/retail and single-family lots. This area will have a wet pond with a fountain. A mulch trail will allow access to the pond, which will be stocked for fishing.

The Easton Farm General Plan recognizes the City of Springboro's commitment to providing residents with a non-motorized transportation system highlighted by the theme "Biking In The Boro". As such, Easton Farm will add over a mile of ten foot wide asphalt paved pedestrian/bicycle trail to the existing system. Within Easton Farm, this trail will be predominately located within green space landscaped areas and used and enjoyed not only by the residents of Easton Farm, but anyone using the trail network. Further supporting the non-motorized transportation system, we have also offered to build a bike repair station within Easton Farm's green space area along the trail. It will include a structure to also provide a respite area from the sun or rain as the case may be. An example of the bike repair station is attached as Exhibit "B" to this Justification.

After visiting the existing multi-family communities within Springboro and the surrounding areas, we can say with confidence that not only will the interior finishes of the multi-family homes at Easton Farm be top in the market, but the open spaces with their amenities as well. The multi-family amenities include:

- Elevator in each multi-family building over 2-stories
- Fitness Center with 24-hour resident access

- Cardio exercise equipment
 - Strength training equipment and weights
 - Spinning/yoga studio
- Clubroom with full kitchen
- Resident café
- Conference Room
- Central park/lawn area
- Swimming pool with sun deck
- Outdoor lounge with fireplace
- Grilling area
- Bocce ball court
- Putting Green
- Dog Park

While some of our other multi-family communities have similar amenities, Easton Farm will be unique due to combining of these amenities with Easton Farm's architecture and the amount of green space including the central park area between the buildings and the pedestrian/bicycle trail around the perimeter of the buildings.

The extensive nature of the streetscapes, greenspaces and associated amenities in the Easton Farm General Plan is only possible if there is enough density to support not only the installation, but also the long-term maintenance. Therefore, the Easton Farm General Plan proposes a total of 463 residential units on 69.5 residential acres and thus the resulting overall density is 6.66 units per acre. The total open space within the residential areas is 20.76 acres resulting in 29.87% of the total residential areas being used for open space. When looking at the multi-family area only, its open space is 42.28% of the multi-family area. The Easton Farm General Plan therefore is supported by the second bullet point on page 2-12 of the 2009 Springboro Land Use Plan under Recommended Density and Open Space Requirement, which states, "*Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.*"

In the Easton Farm General Plan, the multi-family area by itself has density of 12.5 units per acre. There are already three multi-family communities within the City of Springboro that have similar density. They are: the Falls at Settlers Walk with 12.67 units per acre, Timbercreek with 12.18 units per acre and Springs Village with 20.68 units per acre. They are also summarized in Exhibit "C" of this Justification.

The Easton Farm General Plan has also taken into account surrounding properties outside of the plan area as to where the multi-family is located. Exhibit "A" of the Design Guidelines entitled "Building Height Exhibit" only allows for 4-story buildings within Easton Farm to be located next to surrounding properties that are either commercial/retail or park uses. All areas of Easton

Farm that are adjacent to surrounding single-family properties per the Building Height Exhibit are limited to 2-story buildings. Also, where the 2-story multi-family is next to surrounding properties that are single-family there is a minimum open space area of 100 feet between the single-family rear property line and the 2-story multi-family buildings.

Pedestrian/Bicycle Trail

The fifth bullet point listed on page 2-11 of the 2009 Springboro Land Use Plan under Preferred Future Characteristics, Actions and Needs states, *“Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in the Policy Area 2 by a dedicated pedestrian/bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.* The Easton Farm General Plan does both of these. The pedestrian/bicycle trail on the General Plan that will be constructed by the developer is ten feet wide and over a mile long. Not only does it provide a pedestrian/bike trail connecting North Park and Gardner Park, but it also provides a pedestrian/bike trail connecting the residential uses within Easton Farm to the commercial/retail uses. Also, as suggested in the Land Use Plan, the Easton Farm General Plan has a vehicular connection to Anna Drive to the north and Tamarack Trail to the south.

Taking into account the properties along Deer Trail Drive that are adjacent to the pedestrian/bicycle trail, we have proposed building an earthen mound within the 100’ open space between the trail and their properties. A Concept Plan of this is included as Exhibit “D” to this Justification. The mound will be a minimum of fifty (50’) feet wide and a minimum of seven (7’) feet high. An interspersing of evergreen and deciduous trees will be planted along the mound.

Preferred Land Uses

The 2009 Springboro Land Use Plan lists Preferred Land Uses for Policy Area 3 – North S.R. 741 Corridor on page 2-12 and its Appendix pages A4 & A5. The commercial uses for the Easton Farm General Plan are included as Exhibit “E” to this Justification. Due to the high quality character of this mixed-use development, and based upon suggestions from City Staff and Members of the Planning Commission some of the uses in the 2009 Springboro Land Use Plan have not been included as uses permitted within the Easton Farm General Plan. Of note, the use restaurants with drive through is permitted only as approved by the Planning Commission on a case-by-case basis. This allows for flexibility as more restaurants desire to have a drive through without automatically allowing for all restaurants to have one. It is supported by the bullet point on page 2-12 of the 2009 Springboro Land Use Plan, which reads, *“All drive thru/drive in facilities shall be in a location as approved by the Planning Commission”.* And as discussed by

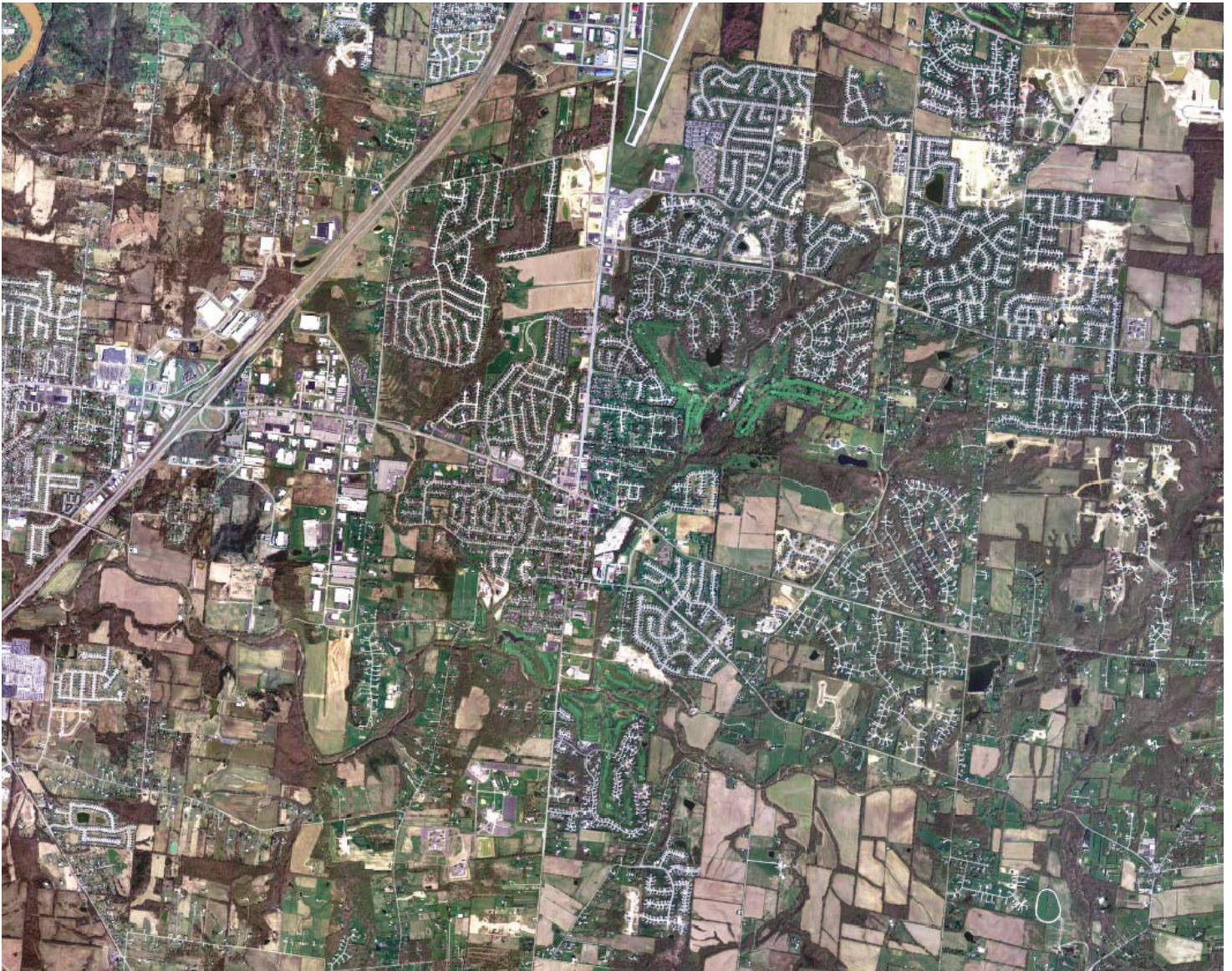
the Planning Commission at the May 8, 2017 Work Session and on page 11 of its Meeting Minutes which reads, “*There was a consensus based on approval from Planning Commission to leave the restaurants with drive-throughs depending on the design standards.*”

Exhibit “A”

2009 Springboro Land Use Plan

Policy Area 3 – North S.R. 741 Corridor

Springboro Land Use Plan



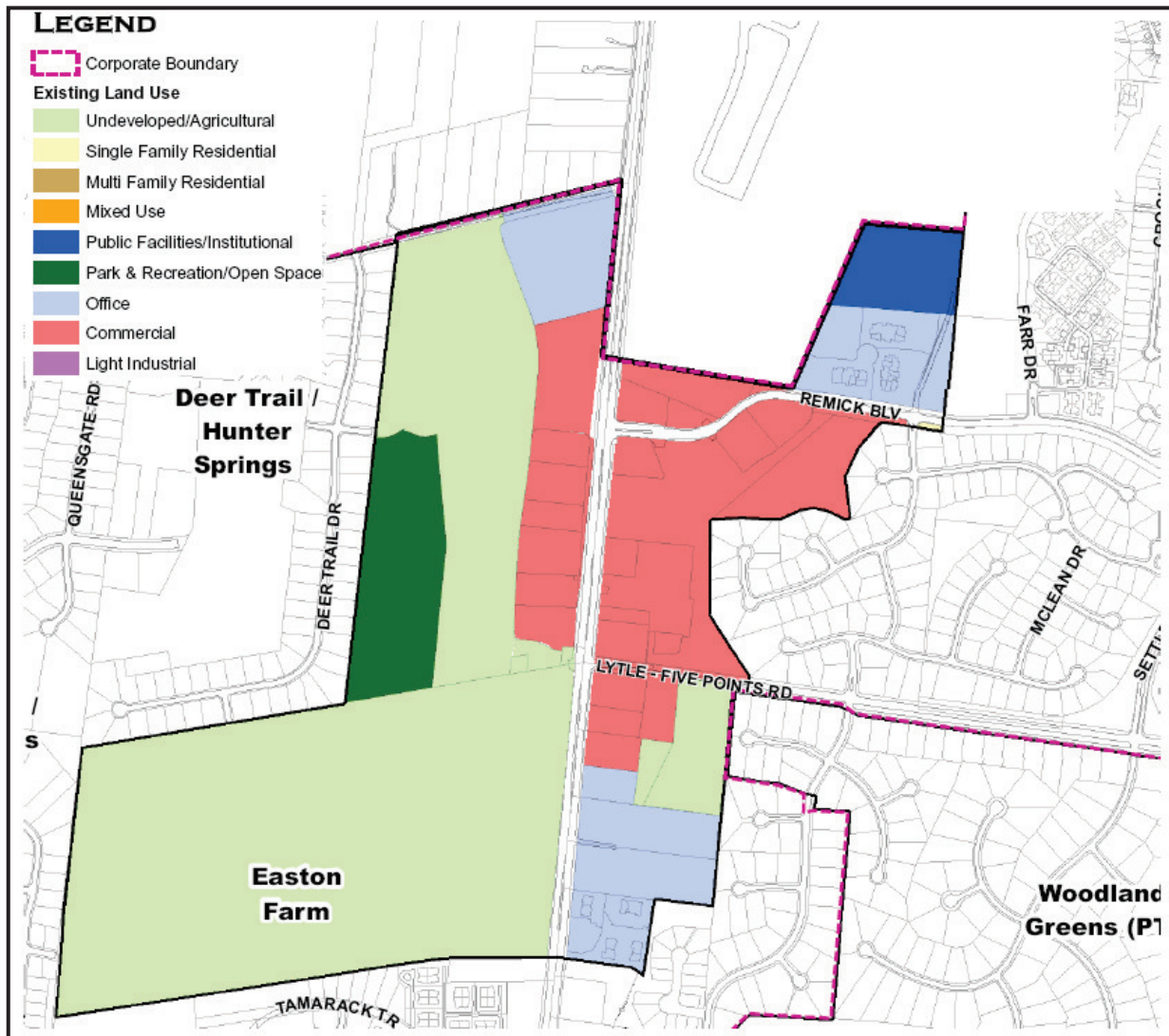
April 2009

Policy Area 3 – North S.R. 741 Corridor

Existing Character

Located between Tamarack Trail and Pennyroyal Road, the North S.R. 741 Corridor Policy Area lies at the northern gateway into the City of Springboro. This area contains some of the newest non-residential development in the City, including the Marketplace at Settlers Walk at the northeastern corner of the intersection of S.R. 741 and Lytle-Five Points Road. Mixed use developments are currently being constructed on the western side of S.R. 741 in this study area, north of Lytle-Five Points Road. This Policy Area also includes the largest undeveloped parcel of land in the City, the Easton Farm, which is approximately 101 acres in size.

Figure 2.4 – North S.R. 741 Corridor



A summary of the existing character and issues relating to the North S.R. 741 Corridor Policy Area is as follows:

- The Policy Area currently includes a large amount of developable land including the Easton Farm property, which is approximately 101 acres in size. This parcel is directly accessible from S.R. 741 and Anna Drive.
- The Policy Area can be best described as a mixed-use area including retail, office, City parks and the local YMCA. This development is primarily contained along S.R. 741 between Pennyroyal Road and the northern border of Policy Area 8.
- This area contains all necessary infrastructures for existing and future development needs.
- Newer existing developments have been well designed and are primarily conventional in nature with parking lots in the front of the building, at the street.
- The Policy Area is surrounded by residential subdivisions to the east (Settlers Walk) and to the southeast (Woodland Greens, McCray Farms).
- This Policy Area is bisected by S.R. 741 that affords easy access to all parcels. It is the primary north-south transportation corridor in the community.

Preferred Future Characteristics, Actions and Needs

- The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741. Residential uses can be permitted on S.R. 741 if located on the upper floors of a multi-story building. This can be accomplished through the rezoning of property as a traditional zoning district that permits multiple types of uses, through the application of a planned unit development district or through the creation of an overlay district.
- Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link uses that front along S.R. 741 to those parcels of land that do not front on S.R. 741.
- Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.
- An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.
- Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in Policy Area 2 by a dedicated pedestrian/bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.

Preferred Land Uses

The following land uses are identified for the North S.R. 741 Corridor Policy Area in order of preference. This list is applicable to ensure adequate property maintenance and the proper reuse or development of available land to ensure viability.

- Uses permitted in the Planned Mixed Use District(s) currently established for the Policy Area as outlined below.
 - Convenience Retail. Convenience retail means a small businesses, typically 5,000-10,000 square feet in floor area or less which provides convenience-type goods for the daily needs of the people within the surrounding residential areas.
 - Personal Service (e.g. barber shop, beauty shop, dry cleaner, health club/gym).
 - Retail; less than 75,000 square feet in gross floor area.
 - Restaurants, excluding drive through.
 - Office (Professional, Business, Medical, Dental).
 - Residential dwellings when not located on S.R. 741 or if it is located on the upper floors of a mixed use building on S.R. 741.
 - Public park and open space.
 - The Easton Farm property should be limited to one anchor type land use as a part of an overall integrated Planned Unit Development concept.
 - Facades visible from the public right-of-way on buildings over 50,000 square feet in size should be designed to break up the horizontal and vertical massing of the building so as to make the building appear as multiple buildings.
 - All uses and services shall be conducted in a completely enclosed building or structure.
 - All drive thru/drive in facilities shall be in a location as approved by the Planning Commission.
- Public and semi-public uses.

Recommended Density and Open Space Requirement

- Non-residential uses should be located on lots with a maximum lot coverage of 75%. Lot coverage includes all impervious or hard covered surfaces including, but not limited to: building footprints, sidewalks, patios, driveways, loading and unloading areas, and parking lots. Graveled areas shall be considered as an impervious surface since the continued compaction eventually creates a concrete like surface which becomes impervious to storm water.
- Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.

Implementation Recommendations

Development and redevelopment activities in this Policy Area should emphasize mixed uses. Regulatory documents (zoning code, urban design regulations, streetscape plans, etc.) should be proactively reviewed by the City, prior to development requests, to ensure the promotion of a mixed use environment, walkability and a visually pleasing atmosphere. This ensures that the proper guidelines and regulations are in place rather than reacting to a plan submitted to the City.

APPENDIX A - Permitted Land Uses by Policy Area and Zoning Code

Policy Area 3 – North S.R. 741 Corridor

The North S.R. 741 Corridor Policy Area permits the following uses in order of preference. Numbered items below identify the preferred uses specified in Policy Area 3 of this planning document. Lettered items under each of the numbered items are similar type land uses that are currently permitted in the zoning districts within Policy Area 3.

1. Convenience Retail – Limited to 10,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM CONVENIENCE RETAIL SIZE IN THIS POLICY AREA TO 10,000 SQUARE FEET. THIS IS APPLICABLE TO ALL USES LISTED IN THE ZONING CODE BELOW.
 - a. Automobile fueling station – Less than 2 acres in lot size
 - b. Beverage store
 - c. Car wash
 - d. Coffee shop
 - e. Drug store
 - f. Food store
 - g. Pet shops
 - h. Retail bakery
 - i. Roadside stand
 - j. Sporting goods store
 - k. Video store
2. Personal Service
 - a. Animal hospital or veterinarian clinic
 - b. Automobile rental agency
 - c. Bank and financial institution
 - d. Bed and breakfast
 - e. Civic club or non-profit organization
 - f. Day care center
 - g. Fitness, dance or martial arts facility
 - h. Laundry and dry cleaner
 - i. Medical and dental services
 - j. Medical care facility
 - k. Nursing home or convalescent care facility
 - l. Office supplies and services – Less than 3,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM OFFICE SUPPLIES AND SERVICES SIZE IN THIS POLICY AREA TO 10,000 SQUARE FEET.
 - m. Mortuaries and funeral home
 - n. Plumbing, electrical and HVAC contractors and wholesale/retail supplies
 - o. Professional services
 - p. Shoe and shoe repair shops
 - q. Vehicle repair and service

List continued next page

3. Retail Business – Limited to less than 75,000 square feet of gross floor area—11/10/08
RECOMMENDATION TO INCREASE THE MAXIMUM RETAIL BUSINESS SIZE IN THIS
POLICY AREA TO 75,000 SQUARE FEET. THIS IS APPLICABLE TO ALL USES LISTED IN
THE ZONING CODE BELOW.
 - a. Antique and craft shop, art and photography studio and gallery
 - b. Department store
 - c. Drug store
 - d. Greenhouse, garden center, plant nursery and farm market
 - e. Farm equipment and agricultural supplies
 - f. Floor covering store
 - g. Florist
 - h. Food store
 - i. Gift shop
 - j. Hardware, home supply, electronic or appliance store
 - k. Pool, spa, outdoor furniture, play equipment or home improvement sales
 - l. Shopping center or mall
 - m. Theater – Not more than 2 screens or stages
4. Restaurants – Excluding drive through facilities
5. Office
 - a. Artist studio
 - b. Business office
 - c. Dental office
 - d. Home occupation
 - e. Medical office
 - f. Medical research laboratory
 - g. Professional office
6. Residential dwellings – Not directly located on S.R. 741 unless residential use is located on the
upper floors of a multi-story building
 - a. Attached or detached single family dwellings—11/10/08 RECOMMENDATION TO
RESTRICT RESIDENTIAL USES ON S.R. 741 UNLESS ON THE UPPER FLOORS OF A
MULTI-STORY BUILDING.
7. Public Park and Open Space
 - a. Agricultural and horticulture
 - b. Parks, playgrounds and community centers
 - c. Public and private forests
 - d. Recreation areas
8. Public and Semi Public Uses
 - a. Church or religious place of worship
 - b. Community fire house
 - c. Publicly owned and operated properties
 - d. Schools

Exhibit “B”

Example of a Bike Repair Station



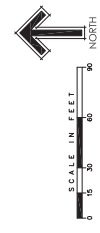
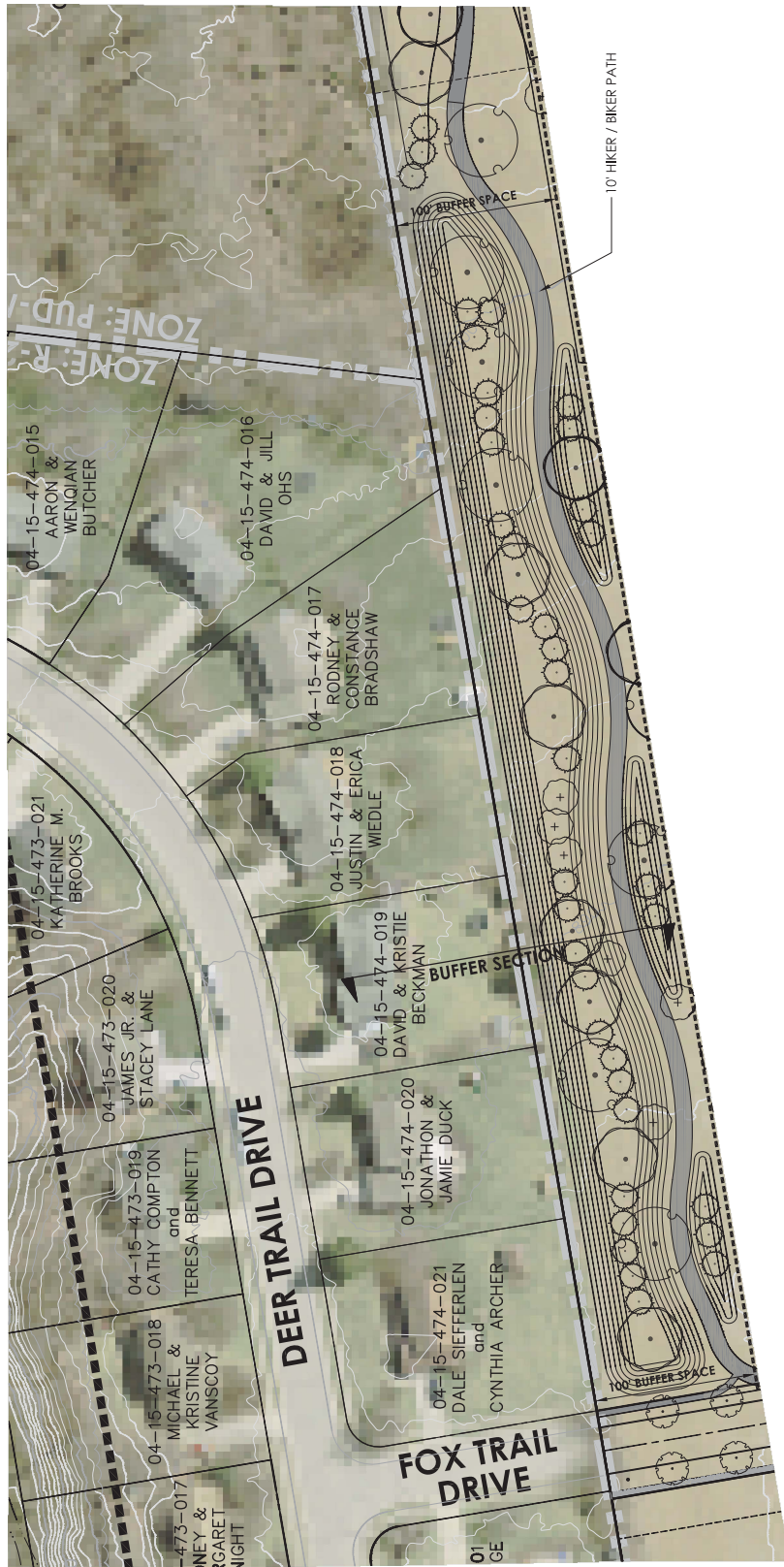
Exhibit “C”

Multi-family Communities in Springboro

Community	THE FALLS AT SETTLERS WALK	TIMBERCREEK APARTMENTS	SPRINGS VILLAGE APARTMENTS
Auditor Account #:	552559	702477	510483
Owner:	Falls Apartment Community	KBKF Capital LP	Spring Creek Group LLC
Address:	10 Falls Blvd	5 Clearcreek-Franklin Rd	475 Gilpin Rd
Acres:	10.809	4.927	3.192
# Multi-family Units:	137	60	66
Density (# units per acre):	12.67	12.18	20.68

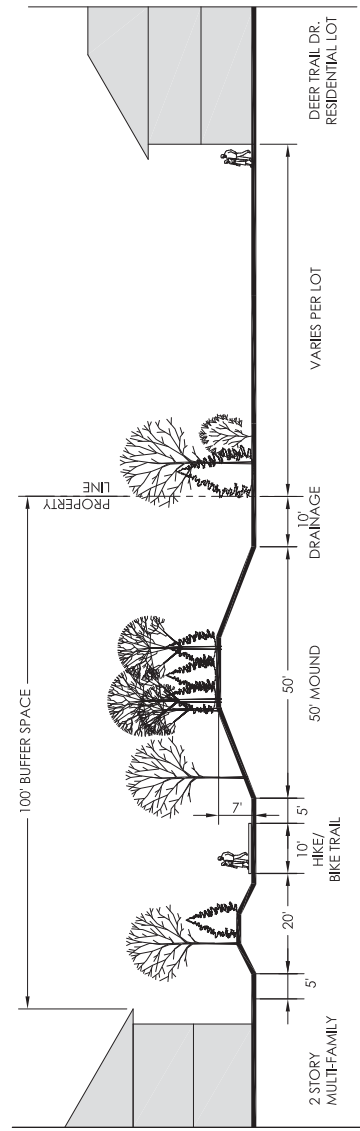
Exhibit “D”

Concept Plan – Buffer for Multi-family



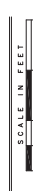
BUFFER FOR MULTI FAMILY

SCALE: 1" = 30'



LANDSCAPE BUFFER SECTION

SCALE: 1" = 10'



EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

McGill Smith Punishon, Inc.
10000 McGuffey Ave.
Cincinnati, Ohio 45244-2597
Tel 513.959.9000 • Fax 513.653.7999

Engineers • Architects • Surveyors • Landscape Architects • Planners

Project Name	Project No.	Project Date	Project Status	Project Location
Easton Farm	04-15-473-021	04/15/2019	Concept Plan	Warren County, Ohio

1 / 1

Exhibit “E”

Easton Farm Commercial Uses
List of permitted uses for Easton Farm
Community, Civic and Institutional Uses
Technical School
Institution for Higher Education
Charitable or Philanthropic Use
Private Club, Fraternal Organization, or Community Group
Medical Clinics
Human Care Institution, i.e. nursing, convalescent home, assisted living & memory care
Place of Worship
Public and Private Schools
Day Care Center (including pre-school)
Essential Services and Utilities
Retail Sales (Indoor) 75,000 maximum building footprint
Drug Store w/drive through (drive through to be located in rear of building)
Drug Store w/o drive through
Veterinary Hospital, Clinic or Office
Vehicle Fueling Station
Bank or Financial Institution w/drive through (drive through to be located in rear of building)
Bank or Financial Institution w/o drive through
Bar or Tavern
Office (Professional, Business, Medical, Dental)
Recreation, Commercial Indoor
Business Service Establishment
Drive-In and/or Drive-Through Facilities (except for restaurants and financial institutions)
Personal Service Establishment
Funeral Home
Pet Day Care Facility
Restaurant w/o drive through
Restaurant w/drive through (only as approved by the Planning Commission on a case-by-case basis)
Bakery or Confectionary
Place of Assembly
Theater
Accessory, Temporary, and Other Uses
Accessory Buildings, Structures, and Uses
Farmer’s Market
Food Trucks
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)
Outdoor Dining (accessory to a permitted restaurant use)

PROPOSED

Easton Farm
Springboro, OH

DESIGN GUIDELINES

An 86.67 acre Planned Unit Development

Developer:
Hills Developers, Inc.

DEVELOPERS' COORDINATING STAFF

Hills Developers, Inc.
CEO: Louis Guttman
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Land Acquisition: Michael Copfer
4901 Hunt Road Suite 300
Cincinnati, OH 45242

Hills Developers, Inc.
Vice President of Planning & Development: James Obert
4901 Hunt Road Suite 300
Cincinnati, OH 45242

McGill Smith Punshon, Inc.
Civil Engineer: James Watson
3700 Park 42 Drive Suite 190B
Cincinnati, OH 45241

McGill Smith Punshon, Inc.
Landscape Architect: Daniel Frank
3700 Park 42 Drive Suite 190B,
Cincinnati, OH 45241

Alt & Witzig Engineering, Inc.
Geotechnical Consultant: Patrick Knoll
10178 International Boulevard
Cincinnati, OH 45246

OBJECTIVE

It is the intent of Hills Developers that the commercial, single family, and multifamily components of Easton Farm meet the highest standards for site planning, building design, construction, landscaping, and all other criteria to meet and exceed the level of quality in Springboro, Ohio. Furthermore, it is our intent that the buildings and landscaping be compatible and harmonious, while allowing each owner/lessee to maintain a degree of individuality and identity. This will be achieved through conscientious planning by the owners/lessees and developer, to adhere to our standards and Springboro regulations.

Hills Developers is aware that the purpose of the PUD, Planned Unit Development District is to "conserve land through more efficient allocation of private lots, common grounds and non-residential uses, promoting greater efficiency in providing public and utility services and securing the benefits of new techniques of community development and renewal". We are also aware that the PUD zoning gives conscientious developers the flexibility to bring a potential proprietor to the site for approval, and gives Springboro the flexibility to regulate those uses. Our proposed land use distribution is as follows:

Commercial:	17.17 acres
Single Family:	41.02 acres
Multifamily:	28.48 acres
Total:	86.67 acres

ARCHITECTURE

Overview

Buildings should be designed and maintained with an overall design character consistent with Traditional architectural styles blended with styles reminiscent of The American Craftsman style, also known as The American Arts and Crafts movement. This design character borrows material, proportion and detail types from traditional architectural styles, but with the tasteful flair of the Craftsman Movement. The standards detailed in this document shall hold consistent for the commercial and multifamily parcels.

General Design Guidelines

Color

Paint colors shall harmonize with color of the building material. When traditionally appropriate, concrete, brick, stone, split-faced rock, cementous fiber siding such as James Hardie Products, or clay tile may be painted. Paint colors must reflect the approved color scheme chosen by the Developer.

Elevations

Articulation, achieved through roof features, roof overhangs, columns, material patterns, and the placement of windows and doors, can reduce the perceived size of the structure. All new construction shall use best efforts to incorporate such elements into their design to achieve such an appearance.

Roofs

Single Family and Multifamily roofs must be pitched with a minimum slope of 4:12, unless the roof is over a porch area or building entry that is attached to an exterior wall, in which case there is no minimum pitch. Commercial roofs may be flat, pitched, or a combination thereof with no minimum pitch for sloped roofs.

- Rooftop equipment may not be visible to adjoining properties outside of Easton Farm from grade level.
- Pitched roofs shall be clad in slate, architectural asphalt shingle, or standing-seam metal.

- Asphalt shingles shall be colored to harmonize with building material.
- Roof elements such as vents, flues, turbines, or other penetrations must be painted to harmonize with building materials.
- Gutters shall be in accordance with the structure's architectural style and visually integrated.

Awnings

- Fixed or retractable awnings are permitted if they complement the building's architectural style, material, color, and details.
- Awnings over an entrance or sidewalk area shall have a minimum clearance of seven feet (7') between bottom of skirt and the pavement.

Columns

- A special element of Easton Farm's commercial and multifamily architecture is that when columns are used it is preferred that they are consistent with the American Craftsman style as depicted in Exhibit E as attached hereto.
- Metal and aluminum columns are not permitted.
- Column colors shall complement its building's material, color, and details.

Building Utilities and Equipment

- An element of Easton Farm is that all utilities within Easton Farm shall be located underground.
- Ground equipment must be screened by landscaping, mounding, fencing, or wing walls of buildings.
- Roof equipment must be screened from front and side view.

Building Criteria

Single Family Criteria

- Minimum lot size is 7,800.
- Minimum lot width at building setback is 60'
- Building front yard setback minimum is 25'.
- Building side yard setback minimum is 5'.
- Building rear yard setback minimum is 25'.

Multifamily Criteria

- Building front yard setback minimum is 10'.
- Building side yard setback minimum is 10'.
- Building rear yard setback minimum is 10'.

Commercial Criteria

- Minimum lot size is 1 acre.
- Minimum lot width is 100'.
- Maximum lot coverage is 85%.
- Maximum building coverage is 45%.
- Building front yard setback minimum is 35'.
- Building side yard setback minimum is 10'.
- Building rear yard setback minimum is 10'.

Building Height

- For areas Right/East of Height Restriction Line found in Exhibit A attached hereto:
 - No building shall exceed 4 stories in height as measured from first floor entirely above grade.
 - No building shall exceed 55' in height as measured from first floor entirely above grade as measured on the illustration in Exhibit A attached hereto.
- For areas Left/West of Height Restriction Line found in Exhibit A attached hereto:
 - No building shall exceed 2 stories in height as measured from first floor entirely above grade.
 - No building shall exceed 35' in height as measured from first floor entirely above grade as measured on the illustration in Exhibit A attached hereto.

Facade Cladding

Cladding materials will be chosen for their appropriateness to building type. Materials for new construction should emulate the appearance and quality of traditional materials. Materials may not be changed in the same plane, unless separated by a detail, such as a reveal or batten, and change must occur along a horizontal or vertical line. An appearance of continuity in materials and design aesthetic will lend a cohesive character to the core of Easton Farm.

Appropriate Cladding

- Brick
- Natural or Manufactured Stone
- Cementous Fiber such as James Hardie Products
- Wood Siding
- Decorative or Painted CMU's

Inappropriate Cladding

- Glass curtain wall
- Standard CMU
- Metal cladding
- Vinyl lap siding is explicitly prohibited

Doors and Windows

Consistent detail elements and other design elements appropriate to the style of the building shall be used to articulate entrances to buildings. The window proportion and placement shall be compatible with the proportion of the building.

Doors

- Storefront glass and storefront doors and permitted and encouraged.
- Entry doors shall be appropriately glazed and have either wood or metal frames.
- Businesses that occupy multiple bays on one facade shall have one active entrance.

Windows

- Windows must not exceed seventy-five percent (75%) of the total ground level facade area.

Inappropriate Windows

- Ribbon windows that span the facade.

PARCELS

Vacant/Empty Parcels

As part of the initial development of the community the frontage of all commercial parcels along Main Street (SR 741), vacant or otherwise, shall be improved with the Feature Wall and complimentary landscaping as illustrated in Exhibit B attached hereto.

All vacant parcels that are not in active construction shall be rough-graded, seeded, and shall remain free of construction debris.

PARKING

Parking areas in Easton Farm must be accessible to visitors but must also be screened from circulation routes. In select areas on-street parallel parking will be utilized for both convenience and to reinforce the community aesthetics.

- Parking is allowed on all sides of buildings with the following clarifications:
 - Parking between commercial buildings and Main Street (SR 741) is only permitted in conjunction with the Feature Wall and complimentary landscaping as illustrated in Exhibit B attached hereto.
 - The maximum allowable number of parking rows between commercial buildings and Main Street (SR 741) is two when separated by a drive aisle as illustrated in Exhibit C and Exhibit D attached hereto.
- No more than 10 parking spaces shall be allowable in a contiguous row before a landscape element is required.
- Bicycle parking is recommended in the commercial areas.
- Bicycle parking shall be provided in a dedicated secure area within the garages of the apartment homes.
- Separate pedestrian routes through parking lots are recommended, this can be achieved by a variation in pavement material, paint color, or location.
- Parking along perimeter of commercial lots shall follow planting recommendations in Landscape Section.

LANDSCAPE

Overview

A unique aspect of Easton Farm is the attention paid to pedestrian circulation through the establishment of hardscape features. From the standout feature wall along Main Street, to the multiple roundabouts with interior hardscape patterns, to the bicycle station, to mini courtyards about community gateways, Easton Farm will have hardscaping unparalleled in the region.

The aesthetics of Easton Farm is critical. A harmonious landscape architectural design depends on the understanding of several general principles. Location and land use of a particular site determines whether a formal or informal landscape design is appropriate. Easton Farm will feature flowers, mounds, trees, and formal landscaping features.

The selection, placement, and sizing of trees in a strategic manner positively impacts the scale of buildings. Plant materials offer the opportunity to introduce color, texture, and form to the environment. Implemented

appropriately, a landscape planting can weave circulation, building and the site at-large together to create a holistic environment enjoyable at a pedestrian scale.

Landscape Plan Recommendations

A landscape plan is required for all commercial and multifamily parcels or change in uses. The plan shall be designed and sealed by a registered Landscape Architect.

General Landscape Design Guidelines

Some issues to be considered when designing a landscape plan include the projected mature size of plants and trees and selection for drought tolerance and low maintenance. Appropriately placed trees and shrubs can provide an aesthetically inviting appearance to a site, as well as an effective means for visually screening surface parking lots, trash dumpsters and loading dock areas. Thought should be given to developing a mix of evergreen and deciduous trees and shrubs in these situations.

Scale

- Plant materials of varying heights shall be used to provide interest and variety.
- Larger canopy trees shall be placed close to sidewalks.
- Informal foundation plantings of shrubs of various sizes are encouraged.

Form

- Canopy trees shall be placed to provide a consistent element.
- Shrubs shall be clustered to create a massing effect.
- Orient plantings to reduce heat gain from hard surfaces.

Earth Mounds

- Berms can be used for screening or buffering between uses, for screening parking, and for shielding older developments from the views of the newer Easton Farms.
- Mounds, along with feature walls, will accentuate signage or monuments.
- Berms must not obstruct views within the sight triangle of an intersection.

Screening and Buffering

- Orient landscaping to screen surface parking lots, trash dumpsters, and loading dock/service areas.
- Service areas are to use landscape plantings or a combination of opaque fencing, or walls for screening purposes.

Street Frontage

- All major roads or circulation routes shall be planted with street trees.
- Street trees shall be planted a minimum of every 50 feet and located within a consistent distance from the curb edge.
- All egress points shall maintain adequate sight lines and should be planted to cue entrances.
- Gateways must not include plantings that obscure sight lines within 2.5 feet above the pavement.

Major Gateway

- Major Gateways shall feature both vertical and horizontal hardscape elements.
- Major Gateways shall feature seating.
- Major Gateways shall feature a roundabout.
- Major Gateway areas shall incorporate a mix of plantings.
- Maintain adequate sight line at intersections and egress points when placing plant material.
- Sight triangle must be unobstructed by plantings or other elements greater than 2.5 feet above the pavement.

Parking Lot Interior Island Landscaping

- In parking areas a minimum of one tree shall be planted for every 10 parking spaces.

Parking Lot Perimeter Planting

- Perimeter planting areas shall be provided along all sides.

Bufferyard

- A bufferyard or parcel perimeter planting shall be a minimum of 5 feet wide area from property line or right-of-way.

Landscaping Standards

The interior dimensions and design of any planting area or planting median must be sufficient to protect and insure proper growth of the landscaping materials.

Interior widths of planting areas may not be less than:

- 9 feet width for canopy trees
- 9 feet width for ornamental trees
- 5 feet width for shrubs

All plant materials must meet the following specifications:

Shade trees:

- Minimum trunk diameter of 2 inches at the root collar as published by American Standard for Nursery Stock ANSI Z60.1-2014
- Minimum height of 4 feet

Ornamental trees:

- Minimum trunk diameter of 2 inches at the root collar as published by American Standard for Nursery Stock ANSI Z60.1-2014
- Minimum height of four feet

Evergreen trees:

- Minimum height of five feet

Deciduous shrubs:

- Minimum height of eighteen inches

Evergreen shrubs:

- Minimum height of eighteen inches

SIGNAGE

A comprehensive effort to standardize the signage will allow for improved wayfinding, continuity of appearance and identification. Generally, the size of signage is determined by the scale of the structure. All signs shall be of consistent type, material and color. A hierarchy of signage shall be established for area recognition, business identification, directional or wayfinding and other related types of signs.

Type

- All signage shall be of the same material, texture, color, and shape.
- All signage shall be designed with a consistent theme, regardless of size or location.
- Monument signage is required within Easton Farm, where streetscape area allows.

- Signage for building identification must use either a monument sign and/or a wall mounted sign for each parcel.
- Where pole-mounted signage is located within the street frontage, the same standard (pole) will be used as is used for street lighting.
- Signage poles and supports shall be painted to provide a unifying element throughout Easton Farm.
- Consolidation of similar sign types is required to eliminate visual clutter.
- Signage for a multi-tenant facility shall have a coordinated character and combine information.

Location

- Sign placement at intersections or any egress point must allow for safe sight distance.

Signage Lighting

- Signage may be lit from below.
- Integrated illuminated signs are permitted only when individual letters are illuminated.

Size

- The bottom of any projecting sign may not be less than 8 feet above grade, and not more than 16 feet above pedestrian ways.
- Monument signage must be affixed to a ground base and include landscaping.

Inappropriate Signage

- Flashing, audible signs
- Billboards and sign benches
- Signs on roofs, dormers or balconies
- Signs painted directly on a structure
- Signage (other than magnetic) attached to vehicles and parked adjacent to building

LIGHTING

Lighting can serve a multitude of functions from providing a sense of safety to directing pedestrian and/or vehicular traffic. Lighting can focus attention and accentuate a sign, feature or building. Consistent material color, texture and design shall be maintained.

Street Lighting

- Street Light fixtures on all public streets shall be consistent throughout Easton Farm.
- Light standards shall be spaced at regular intervals and offer continuous ground plane overlap.
- Light standards shall be located at least two feet from back from curb.
- Light standards shall be combined with signage standards and other elements where possible.
- Lighting shall be coordinated with street tree plantings for proper integration.
- ANSI recommendations of 0.30 average illuminance for roadways shall be followed.

Commercial Parking Lot Lighting

- Parking lot lighting must provide for pedestrian and vehicular safety.
- Pole height for parking areas shall not exceed 25 feet in height.
- Overlighting must be avoided.
- ANSI recommendations for parking areas must be followed.

Building Lighting

- Lighting used to accentuate architectural form shall be indirect and the source hidden from view.
- Security lighting must not overflow into another lot.
- Tactful illuminated building signage is encouraged in multifamily parcels.

Pedestrian Lighting

- Use a light hierarchy to distinguish between illumination requirements.
- Street lighting shall be placed to also offer illumination along any adjacent walkways.
- Walkway lighting shall employ low voltage lighting.

Inappropriate Lighting

- Wall-pack lighting other than at garage entrances
- Flashing/strobe-type or any neon-type lighting
- Colored shields or lighting sources

Site Furnishings/Common Areas

Streetscape furniture should be considered in terms of compatibility with the architectural character of the area as well as consistency with other streetscape elements, such as landscaping, paving, decorative concrete, and masonry pavers, and can include items such as benches, signage, banners, trash receptacles, and planters.

- Site furnishings shall be consistent in design.
- Site furnishings shall be constructed of similar material, preferably metal, stone or other natural materials that coordinate with the building facades.
- Site furnishings such as benches, and trash receptacles shall be clustered together in areas of activity, and be located to allow easy access to entrances.

Bicycle Path

A bicycle path and pedestrian trail is an important feature at Easton Farm. With the diverse set of uses, this meandering path will communicate to visitors that cyclists and pedestrians are welcome and encouraged to walk or cycle from business to business and throughout the community.

- The bicycle path shall be wide enough to accommodate comfortable passing, and must be a minimum of ten feet in width.
- The bicycle path shall be constructed of asphalt.

Bicycle Station

A unique feature to the Easton Farm community will be her Bicycle Station. The Bicycle Station will be a building that serves the basic needs of the community's cyclists with work stand and rain protection. The Bicycle Station will be architecturally consistent with Easton Farm's overall design.

Park Connectivity

While Easton Farm has a large amount of green space, it is also benefitted by being adjacent to Springboro's North Park, which is a serene passive park, and South Park, which is an active park containing ballfields, a playground, and a community amphitheater that features free live concerts in the summer. To accentuate this benefit, the developer will connect those two parks with its bicycle path, thus creating an amenity for both Easton Farm residents and businesses, as well as for the community at large.

Fishing Lake with Mulch Trail

The retention pond located in the southeast portion on Easton Farm will also serve as a fishing lake for the community and be accessed via a mulch trail.

Feature Wall

One of the signature elements defining the Easton Farm community will be the Feature Wall. A wall will be constructed along the Main Street frontage in a fashion similar to that found at the famous Cincinnati Zoo and the prestigious Vintage Club located in Montgomery, Ohio.

- The Feature Wall will be of an average height of 2.5 feet, exclusive of any columns.
- Signage for the community Gateway and for the commercial parcels will be tastefully incorporated into the design of the feature wall.
- The Feature Wall shall allow for pedestrian connectivity to Main Street.
- Gateway features such as seating areas and decorative paving will be incorporated into the Feature Wall.

Roundabouts

Roundabouts have become an important element to modern traffic planning. Easton Farm will employ two roundabouts to serve its residents and the community. Not only will these roundabouts provide peaceful and efficient vehicular connectivity, but they will also feature pavement details, landscaping/signage giving them aesthetic appeal thus making them a community-wide amenity.

Community Landmark Feature

The developer will construct a landmark feature in proximity to the Western roundabout to create an orienting element that visually connects the community.

Pedestrian Access

Pedestrian walkways are important features in a commercial area to communicate that Easton Farm residents and visitors alike are welcomed and encouraged to walk from home to business, business to business, and vice versa. Pavement type is particularly important, as it serves to differentiate between pedestrian and vehicular circulation, and cues the visitor to appropriate paths between destinations.

- Walkways must be wide enough to accommodate comfortable passing, and must be a minimum of 5 feet in width.
- Vary pavement materials and/or colors to distinguish pedestrian circulation from vehicular traffic at intersections.
- All pavement materials shall be within a color range to match other materials, architectural elements, and site elements within Easton Farm.

Street Frontage

Streetscape frontage is the element that can most influence perception about the character of an area. By establishing guidelines that promote a unified design, Easton Farm will be perceived as an economically successful area. A formal treatment is suggested for the street tree planting and light standard location to lend consistency and uniformity to the circulation routes throughout Easton Farm.

- Street trees shall be spaced at equal intervals along street frontage to establish a consistent edge to the circulation route through Easton Farm.

- Lighting shall occur at equally spaced intervals and be from the same family of fixtures and standards.

Residential

The residential portions of Easton Farm will be treated per the PUD approved by Springboro.

Gateways

The Gateways at Easton Farm both accentuate the entry into the community with its pedestrian plazas, and connect mixed uses within the community with its roundabouts. These Gateways provide distinct recognition for Easton Farm. They indicate a destination. At appropriate locations, gateway elements establish the design character and encourage pedestrian interaction.

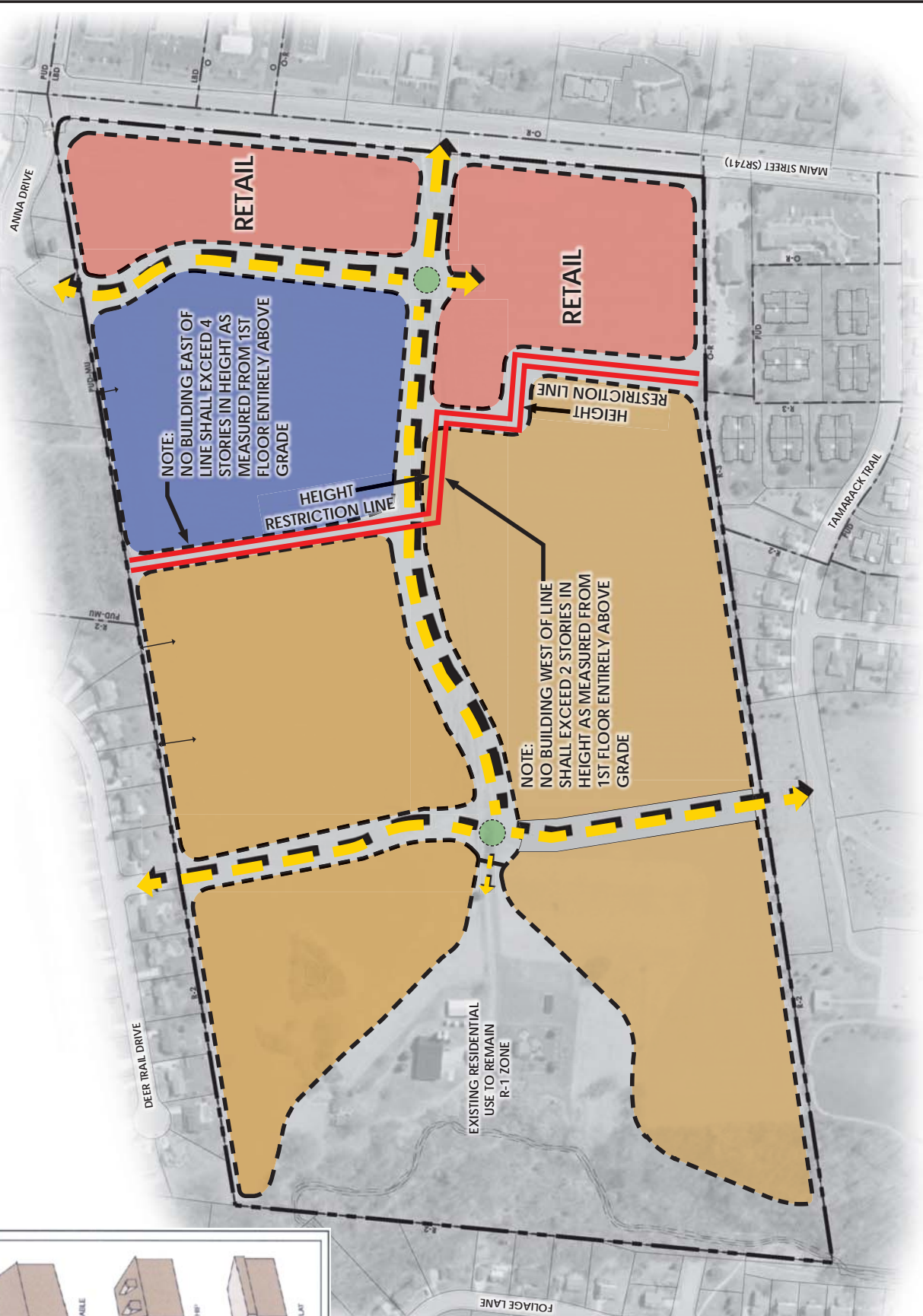
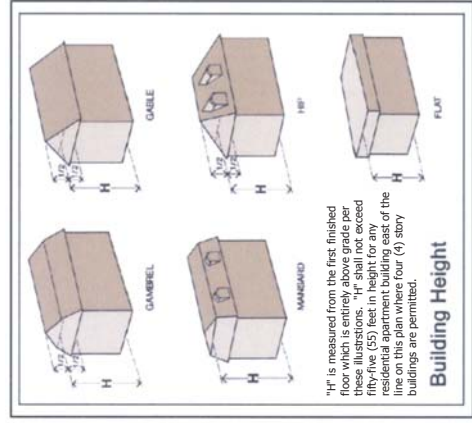
- Gateway Areas shall incorporate appropriate identification elements such as signage, logos, and visual representations that personify the word “community”.
- Appropriate coordinated lighting shall be provided at Gateway Areas.
- Gateway Areas shall be punctuated with landscaping, signage, paving, and other significant structures such as walls or columns.

Major Gateway

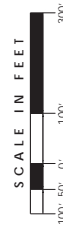
- The major gateway at Main Street (SR 747) is highlighted by landscaped and hardscaped pedestrian plazas.
- The major gateway at Main Street (SR 747) shall incorporate a well-appointed roundabout.
- Landscaping shall be concentrated at this point but still allow for adequate sight distance.
- Lighting must be integrated into the gateway area and shall follow lighting guidelines.
- Low walls or other structural elements shall be used to punctuate the gateway

This concludes the Design Guidelines. Please also refer to the Architectural Pattern Book and the PUD Zoning Justification.

Exhibit "A"



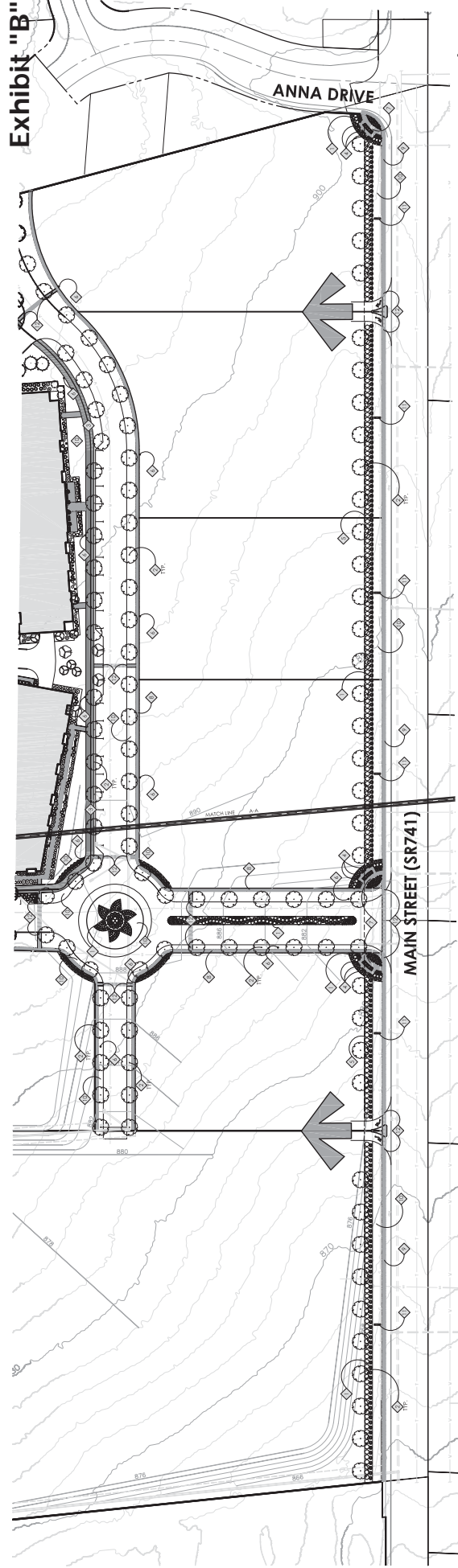
INVERNESS
HILLS
PROPERTIES



MSP
DESIGN
McGill Smith Punshon

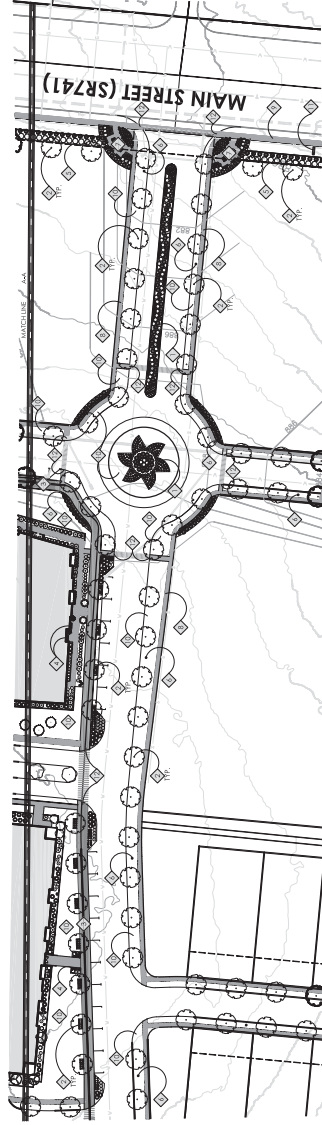
EASTON FARM
BUILDING HEIGHT EXHIBIT
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
PROJECT NUMBER: 16470.00 | DATE: APRIL 25, 2017

Exhibit "B"



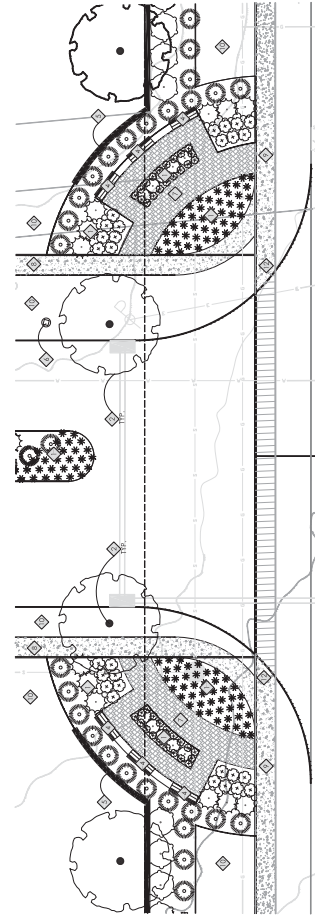
SR. 741 TYPICAL LANDSCAPE

SCALE: 1" = 50'



MAIN STREET TYPICAL LANDSCAPE

SCALE: 1" = 50'



PEDESTRIAN PLAZA TYPICAL LANDSCAPE

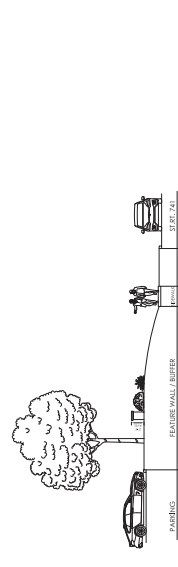
SCALE: 1" = 10'

DRAWING NOTES

- 1. LANDSCAPE BED
- 2. CANOPY / STREET TREES
- 3. 10' BIC PAVI
- 4. 10' BIC PAVI
- 5. 10' BIC PAVI
- 6. 10' BIC PAVI
- 7. 10' BIC PAVI
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- 98. 10' BIC PAVI
- 99. 10' BIC PAVI
- 100. 10' BIC PAVI

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SPRINGBORO AND THE OHIO DEPARTMENT OF TRANSPORTATION.
2. SPECIFIC LOCATIONS TO BE DETERMINED BY FINAL DEVELOPMENT PLAN.



FEATURE WALL DETAIL

SCALE: 1" = 10'

EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

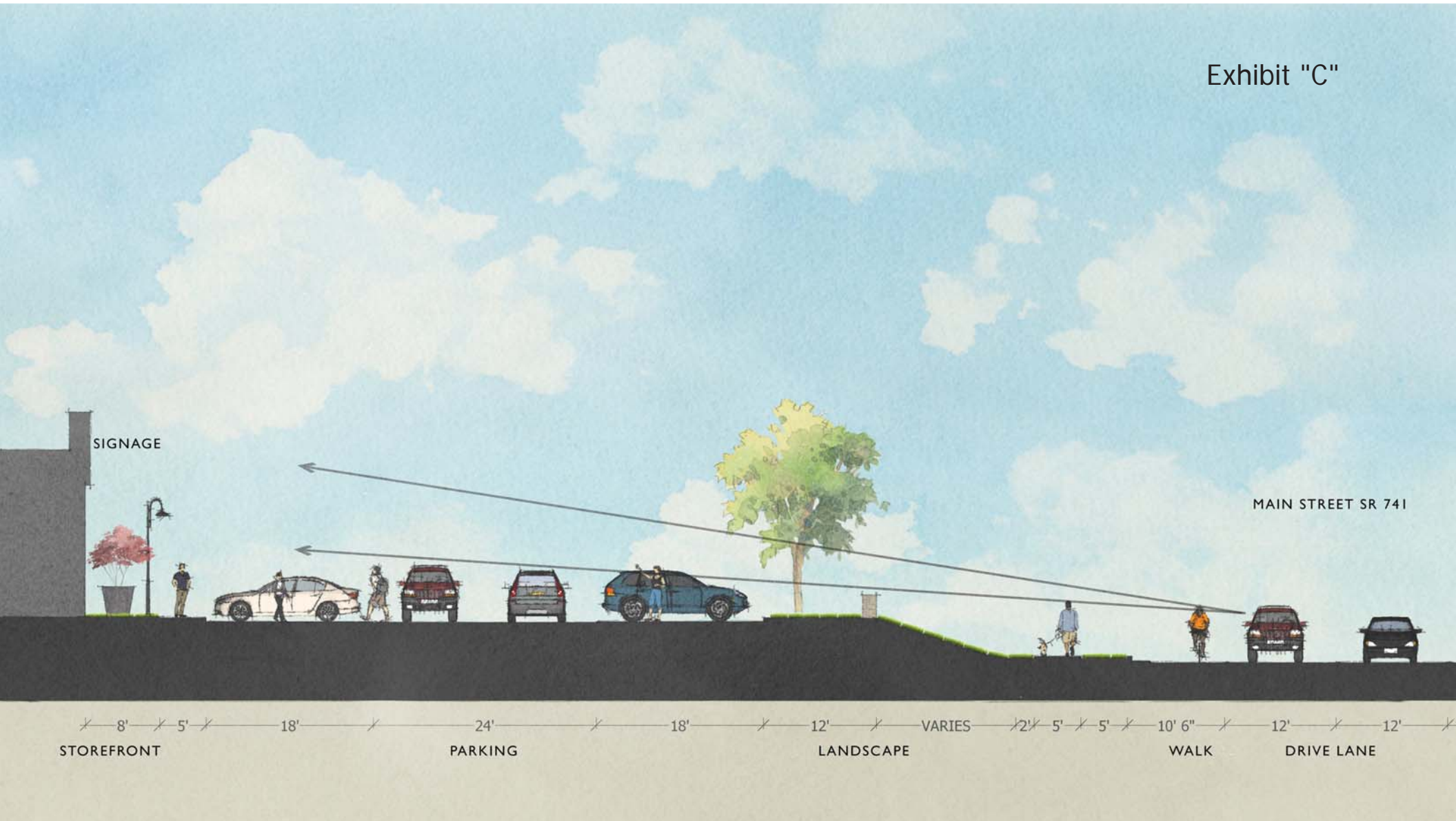
HILLS
PROPERTIES

INVERNESS
HOMES

McGill Smith Punshon, Inc.
Engineers • Architects • Surveyors • Landscape Architects • Planners
14300 E. 14th Ave., Suite 100
Denver, CO 80231
Tel: 303.755.9000 • Fax: 303.755.9099
www.msp-inc.com

Project No. 14300-0001
Sheet No. 1/1
Date: 10/1/2010
14300-0001-01

Exhibit "C"

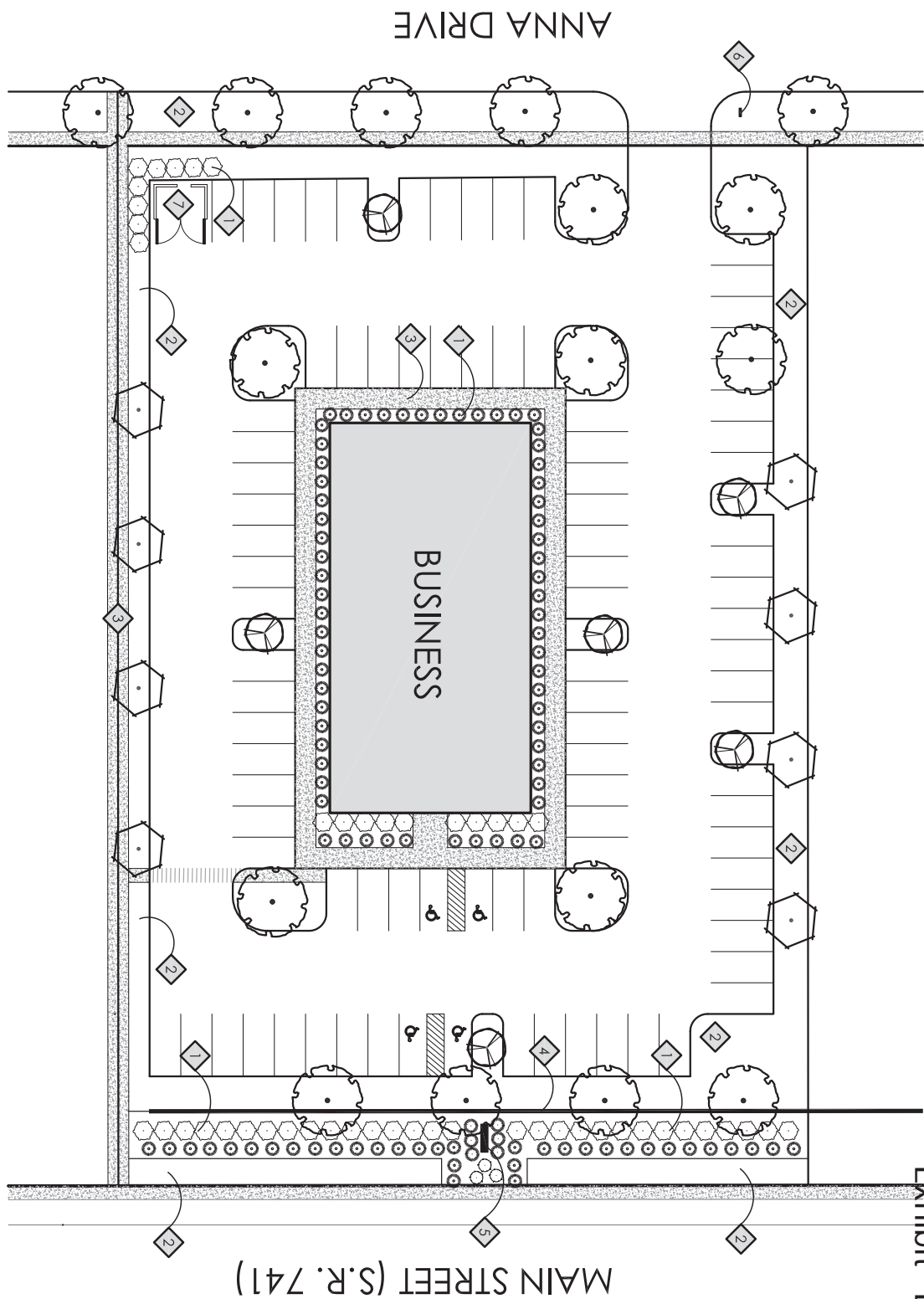


DRAWING NOTES

- 1 LANDSCAPE BED
- 2 LAWN
- 3 5' SIDEWALK
- 4 FEATURE WALL
- 5 SITE SIGN
- 6 DIRECTIONAL SIGN
- 7 DUMPSTER ENCLOSURE

GENERAL NOTES

- 1. MAXIMUM OF 10 PARKING SPACES WITHOUT LANDSCAPE ISLAND.



TYPICAL COMMERCIAL SITE PLAN

SCALE: 1" = 30'

Examples of Craftsman Architectural Style Columns



Fluted
Non-Tapered
Square



Plain
Non-Tapered
Square



Paneled
Non-Tapered
Square



Paneled
Tapered
Square



Plain
Tapered
Square

An architectural rendering of a row of modern, two-story houses. The houses feature a mix of brick, stone, and light-colored siding. Large windows with dark frames are prominent. In the foreground, a dark SUV is parked on the left, and a person is walking on the sidewalk. On the right, another person is standing near a white garage door. The scene is set under a clear sky with some trees visible in the background.

EASTON FARM

ARCHITECTURAL PATTERN BOOK
SEPTEMBER 1ST, 2017

HILLS
PROPERTIES®

CONTENTS

3	Single family homes
13	Townhomes
16	Apartment homes
19	United Dairy Farmers
22	Legend Senior Living
23	Main Street - feature wall, streetscape & signage
26	Main Street - commercial section
29	Building materials
29	Feature wall
30	Retaining & freestanding walls
31	Roadway lighting - public streets
32	Townhome & apartment lighting
33	Commercial lighting
34	Lighting details
38	Building stone
39	Building masonry units
40	Building brick
41	Shingles
42	Building standing seam roof

WINDSOR II
LEGACY COLLECTION

4 Bedroom
2.5 Bath
Two-Story Home

INVERNESS
HOMES



Your new home ...

CAMBRIDGE

LEGACY COLLECTION

4 Bedroom
2.5 Bath

INVERNESS

H O M E S

CARLTON

LEGACY COLLECTION

5 Bedroom
2.5 Bath
Two-Story Home

INVERNESS

H O M E S



Your new home ...

Elevations based on elevation A. When options, specifications subject to change without notice. See Sales Counselor for details.

Your new home ...

Elevations based on elevation A. When options, specifications subject to change without notice. See Sales Counselor for details.

Elevation G



Elevation B



Your new home ...

Elevation C with Optional Stone



Elevation A



Elevation B with Optional Stone



Your new home ...

DARTMOUTH I

LEGACY COLLECTION

4 Bedroom
2.5 Bath
Two-Story Home

INVERNESS

HOMES

HAWTHORNE

LEGACY COLLECTION

3-4 Bedroom
2.5 Bath

INVERNESS

HOMES

Elevation C with Optional Stone



Your new home ...

Exterior views based on elevation A. All views, colors, materials and finishes are subject to change without notice. See Sales Representative for details.

Elevation B with Optional Stone



Your new home ...

Exterior views based on elevation A. All views, colors, materials and finishes are subject to change without notice. See Sales Representative for details.

Elevation D with Optional Stone



Elevation E



Elevation F

Your new home ...

Elevation C



Elevation B



Elevation A

Your new home ...

CORTLAND
LEGACY COLLECTION

3 Bedroom
2 Bath

INVERNESS
HOMES

DARBY II
LEGACY COLLECTION

3-4 Bedroom
2.5 Bath

INVERNESS
HOMES

Elevation C



Elevation B



Your new home ...

Elevation A



Elevation B



Your new home ...

KINGSTON I

LEGACY COLLECTION

2 Bedroom + Study
2 Bath

INVERNESS

HOMES

LANCASTER

LEGACY COLLECTION

4 Bedroom + Study
2.5-4 Bath

INVERNESS

HOMES



Elevation C



Elevation D



Elevation B

Your new home ...



Elevation C



Elevation A



Elevation B

Your new home ...



Your new home ...

Your new home ...

STRATTON I

LEGACY COLLECTION

2 Bedroom
2 Bath

INVERNESS

HOMES

WILSHIRE

LEGACY COLLECTION

3 Bedroom
2 Bath

INVERNESS

HOMES



Elevation C



Elevation B



Elevation A

Your new home ...



Elevation C



Elevation A

Your new home ...

HILLS PROPERTIES® **EASTON FARM**



Your new home ...

Your new home ...















K4 ARCHITECTURE, LLC
 555 Gest Street
 Cincinnati, Ohio 45203
 Tel: (513) 455-5005
 Fax: (513) 455-5008







THE LEGEND ASSISTED LIVING & MEMORY CARE FACILITY



FRONT (EAST) ELEVATION

LOOKING WEST FROM MAIN STREET





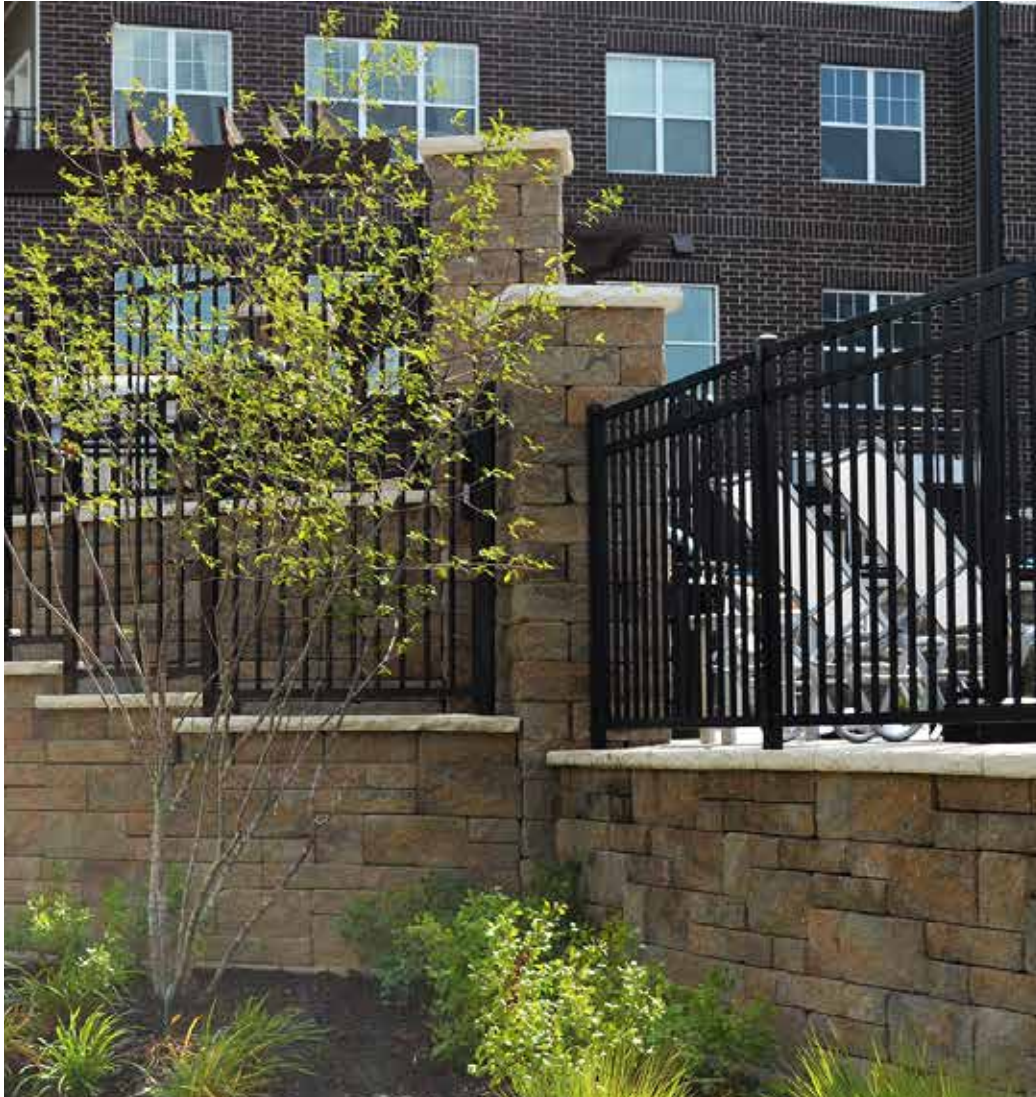








FEATURE WALLS



This stone is a graphic illustration of the approved color and texture permitted to be used at Easton Farm for the feature wall. Complimentary units not illustrated may be used for accents.

RETAINING WALLS



The stone wall units illustrated are a graphic representation of the approved colors and textures permitted to be used at Easton Farm. The feature wall stone is also permitted.
Complimentary units not illustrated may be used for accents.

STREET LIGHTING

PUBLIC ROADS



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting districts. A final selection of the street lighting along public roads shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

STREET LIGHTING

MULTI FAMILY



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting or similar districts. A final selection of the lighting to be included in the multi-family area of the community shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

COMMERCIAL PARKING LIGHTS

SIMILAR TO STREET LIGHTS
OR THE BELOW FIXTURES



The light fixtures illustrated are graphic representations of the stock fixtures available from Duke Energy for use in street lighting districts. A final selection of the lights to be used on all non-residential portions of the community shall be made with the final development plan. Fixtures not within the lighting district for any area of Easton Farm shall be compatible in style and appearance excepting post lights installed on Single Family Lots if/when used.

Outdoor Lighting Acorn LED



The Acorn LED is an energy-efficient luminaire, designed with the look of a traditional favorite. This green solution will complement any neighborhood or park with its classic, elegant design.

LED (Light Emitting Diode)	50 watts
Mounting height	12'
Colors	Black Green
Poles	Style A, B, C, D, E, F
Applications	Neighborhoods Parks

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866,769,6417 .

Outdoor Lighting Acorn LED

Light source: LED (white)

Wattage: 50

Lumens: 4,500

Light pattern: IESNA Type V (circular)

IESNA cutoff classification: Cutoff

Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	12'	Black Green

Features

Limited upfront capital required

Design services by lighting professionals included

Maintenance included

Electricity included

Warranty included

One low monthly cost on your electric bill

Turnkey operation

Backed by over 122 years of experience

Benefits

Frees up capital for other projects

Meets industry standards and lighting ordinances

Eliminates high and unexpected repair bills

Less expensive than metered service

Worry-free

Convenience and savings for you

Provides hassle-free installation and service

A name you can trust today ... and tomorrow

Outdoor Lighting

Mini Bell LED



The Mini Bell LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

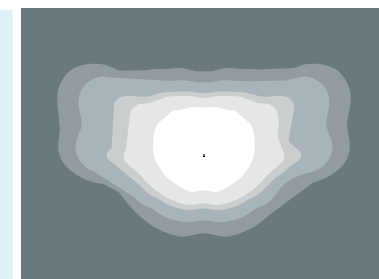
LED (Light Emitting Diode)	50 watts
Mounting height	12'
Colors	Black Green
Poles	Style A, B, C, D, E, F
Applications	Neighborhoods Parks

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

Outdoor Lighting

Mini Bell LED

Light source: LED (white)
 Wattage: 50
 Lumens: 4,500
 Light pattern: IESNA Type III(oval)
 IESNA cutoff classification: Cutoff
 Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	12'	Black Green

Features

Limited upfront capital required
 Design services by lighting professionals included
 Maintenance included
 Electricity included
 Warranty included
 One low monthly cost on your electric bill
 Turnkey operation
 Backed by over 122 years of experience

Benefits

Frees up capital for other projects
 Meets industry standards and lighting ordinances
 Eliminates high and unexpected repair bills
 Less expensive than metered service
 Worry-free
 Convenience and savings for you
 Provides hassle-free installation and service
 A name you can trust today ... and tomorrow

Outdoor Lighting Sanibel LED



The beauty of the stylish Sanibel LED is its remarkable versatility. Its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere – from more formal traditional neighborhoods to beachfront communities and other casual locales.

LED (Light Emitting Diode)	70 watts
Mounting heights	20', 25'
Colors	Black Green
Poles	Style A, C

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

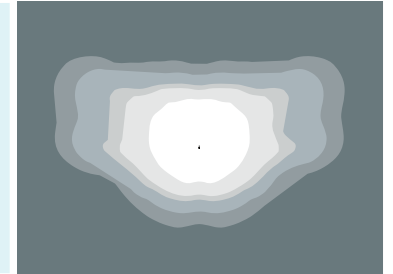
Outdoor Lighting Sanibel LED

Light source: LED (white)
Wattage: 70
Lumens: 6,500

Light pattern: IESNA Type III(oval)

IESNA cutoff classification: Full-cutoff

Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	20', 25'	Black Green

Features

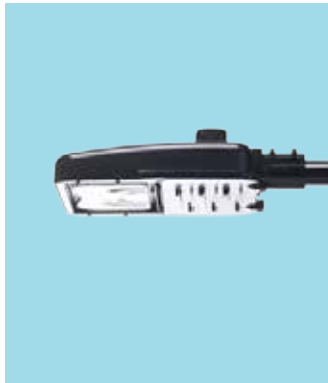
Limited upfront capital required
Design services by lighting professionals included
Maintenance included
Electricity included
Warranty included
One low monthly cost on your electric bill
Turnkey operation
Backed by over 122 years of experience

Benefits

Frees up capital for other projects
Meets industry standards and lighting ordinances
Eliminates high and unexpected repair bills
Less expensive than metered service
Worry-free
Convenience and savings for you
Provides hassle-free installation and service
A name you can trust today ... and tomorrow

Outdoor Lighting

Shoebox LED



Subject to variance from manufacturer. Contact us for region-specific details.

The energy-efficient Shoebox LED is a great fit for commercial parking lots, malls, office buildings and streets, providing a white light source that will enhance the appearance of your site. The Shoebox LED delivers light where it is needed, while increasing visibility and reducing spill light to adjoining properties.

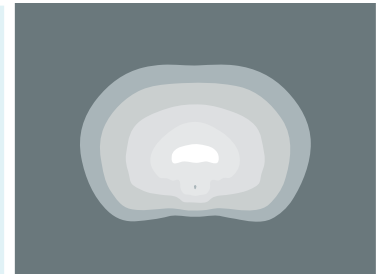
LED (Light Emitting Diode)	220 watts
Mounting heights	25', 30', 35'
Colors	Black Bronze
Pole	Style A
Applications	Parking lots

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417 .

Outdoor Lighting

Shoebox LED

Light source: LED (white)
 Wattage: 220
 Lumens: 18,500
 Light pattern: IESNA Type IV(forward throw)
 IESNA cutoff classification: Cutoff
 Color temperature: 4,000K



light distribution pattern

Pole available:

Name	Mounting height	Color
Aluminum	25', 30', 35'	Black Bronze

Features

Limited upfront capital required
 Design services by lighting professionals included
 Maintenance included
 Electricity included
 Warranty included
 One low monthly cost on your electric bill
 Turnkey operation
 Backed by over 40 years of experience

Benefits

Frees up capital for other projects
 Meets industry standards and lighting ordinances
 Eliminates high and unexpected repair bills
 Less expensive than metered service
 Worry-free
 Convenience and savings for you
 Provides hassle-free installation and service
 A name you can trust today ... and tomorrow

STONE



The stones illustrated are graphic representations of the approved stone patterns and colors permitted to be used at Easton Farm for major stone fields. Complimentary stones not illustrated may be used for accent including sills, lintels, soldier courses, watercourses, etc.

MASONRY UNITS

Smooth Face



Rock Face



Chisel Face



Texture Face



The Masonry Units illustrated are graphic representations of the approved colors and textures permitted to be used at Easton Farm for major masonry fields. Complimentary units not illustrated may be used for accents including sills, lintels, soldier courses, watercourses, etc.

BRICK



The bricks illustrated are graphic representations of the approved brick colors permitted to be used at Easton Farm for major brick fields. Complimentary bricks not illustrated may be used for accents including sills, lintels, soldier courses, watercourses, etc.

COMPOSITION SHINGLES

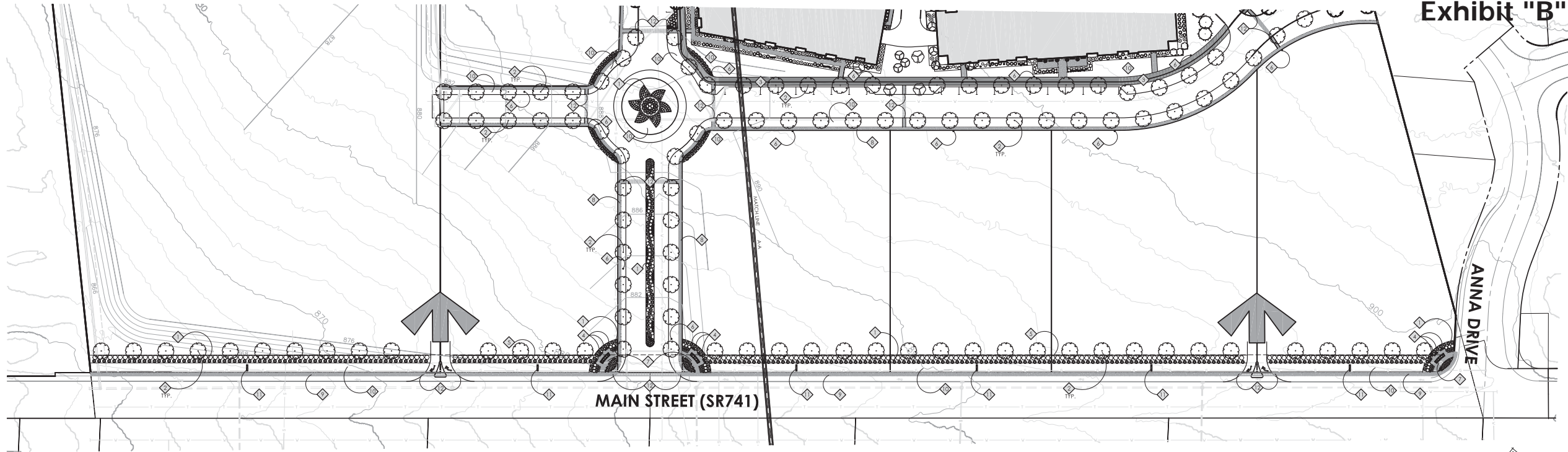


The colors illustrated are graphic representations of the approved colors for composition roofing permitted to be used at Easton Farm. All composition roofing shall be dimensional.

STANDING SEAM ROOF COLORS

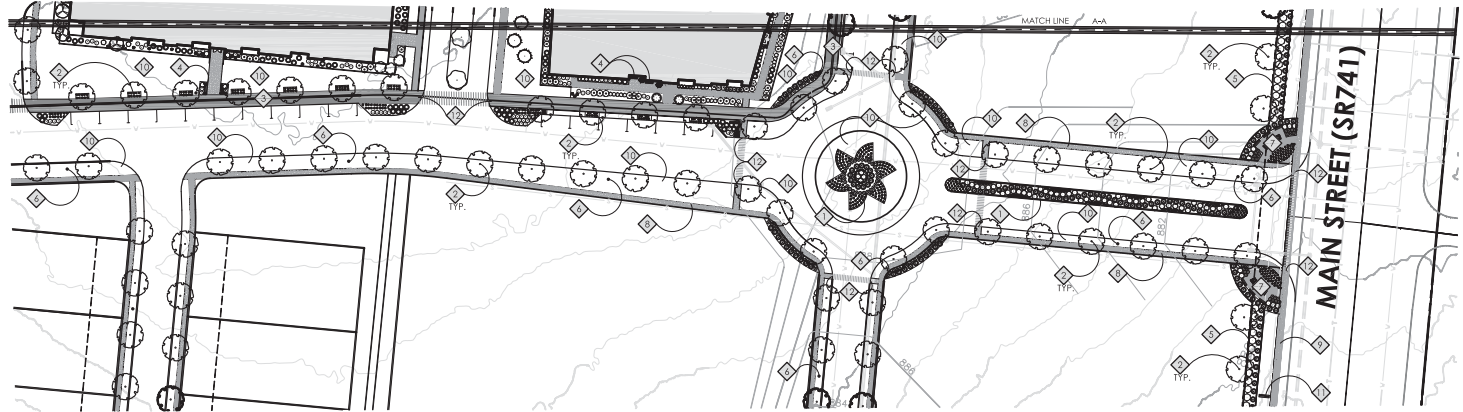


The colors illustrated are graphic representations of the approved colors for standing seam roofing permitted to be used at Easton Farm.



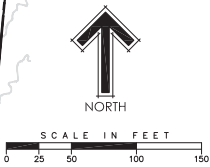
SR. 741 TYPICAL LANDSCAPE

SCALE: 1" = 50'



MAIN STREET TYPICAL LANDSCAPE

SCALE: 1" = 50'

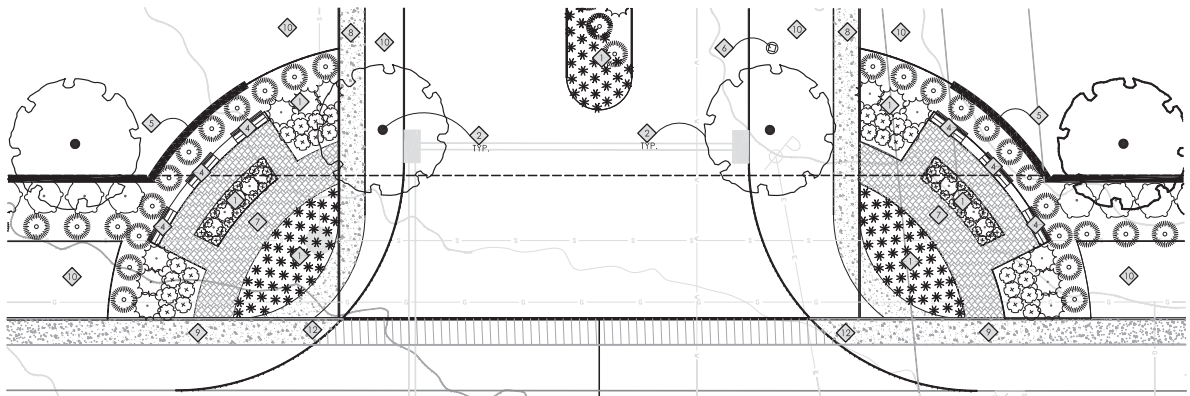


DRAWING NOTES

- LANDSCAPE BED
- CANOPY / STREET TREES
- 10' BIKE PATH
- 6' BENCH
- FEATURE WALL
- STREET LIGHTING
- PEDESTRIAN PLAZA
- 5' SIDEWALK
- EXISTING SIDEWALK
- TURF / LAWN
- BUSINESS SIGN - SEE NOTE 2 BELOW
- CROSSWALK W/ CURB RAMP

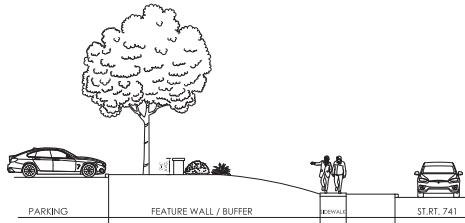
GENERAL NOTES

- CONTINUATION OF PEDESTRIAN CIRCULATION ROUTES TO AND THROUGH COMMERCIAL SITES TO BE INCORPORATED INTO THE DEVELOPMENT OF THOSE PARCELS TO PROVIDE ADDITIONAL ACCESS TO THOSE BUSINESSES AND BETWEEN ANNA DRIVE AND MAIN STREET.
- SPECIFIC LOCATION TO BE DETERMINED W/ FINAL DEVELOPMENT PLAN.

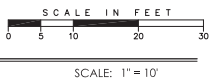


PEDESTRIAN PLAZA TYPICAL LANDSCAPE

SCALE: 1" = 10'



FEATURE WALL DETAIL



EASTON FARM
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
CONCEPT PLAN

INVERNESS
HOMES

HILLS
PROPERTIES

Revisions	By	Date

mcp McGill Smith Punshon, Inc.
3700 Park 42 Drive • Suite 1908
Cincinnati, Ohio 45241-2097
Tel 513.759.0004 • Fax 513.563.7099
www.mcgillsmithpunshon.com

Engineers • Architects • Surveyors • Landscape Architects • Planners

Drawn by	BMG	Date	07/24/17	Project No.	15470.00	Sheet No.	1 / 1
Project Mgr.	JW	Scale	AS SHOWN	Prints D.B.	15470.00		
CAD	15470004-PLA	X-Ref.		15470004-PE-00			



October 16, 2017

Mr. Dan Boron
Planning Consultant
City of Springboro
320 West Central Ave.
Springboro, OH 45066

DELIVERED VIA EMAIL

RE: Easton Farm – October 25, 2017 Planning Commission Meeting

Dear Dan:

This letter is a follow-up to our conversation after the Planning Commission Work Session on October 11, 2017 that we respectfully request the approval of the rezoning and general plan for Easton Farm at the October 25, 2017 Planning Commission Meeting. This request is based on the material that was submitted for the October 11, 2017 Work Session including our response to the staff comments that was emailed on October 9, 2017. With the exception that based on the discussion at the October 11, 2017 Work Session, we would like to amend our response to staff comment 2.e. in that the single-family lots adjacent to Deer Trail Drive, west of Fox Trail Drive, will match the lot widths of the lots on Deer Trail Drive as developed.

Respectfully Submitted,
HP Acquisitions LLC

A handwritten signature in black ink, appearing to read "Michael H. Copfer", with a long, sweeping horizontal line extending to the right.

Michael H. Copfer
Land Acquisition & Development Manager

DESCRIPTION FOR: **Hills Properties**

LOCATION: **State Route 741**
 86.67 Acres

AREA TO BE RECLASSIFIED "PUD-MU"

Situate in Section 14, Town 2, Range 5, City of Springboro, Warren County, Ohio and being more particularly described as follows:

Beginning at a point in the north line of said Section 14, said point being South 75°30'00" West, 131.64 feet from the northeast corner of said Section 14 and lies in the south right-of-way line of Anna Drive;

Thence, with said south right-of-way line, South 86°47'36" East, 45.55 feet to a point;

Thence, along an arc deflecting to the right, having a radius of 26.50 feet, a central angle of 87°12'56", a length of 40.34 feet, the chord of said arc bears North 43°11'08" West, 36.56 feet to a point in the west right-of-way line of State Route 741, aka Springboro Pike;

Thence, with said west right-of-way line, South 00°25'20" West, 1664.49 feet to a point in the north line of the lands conveyed to the Colleen Bossi Co., LLC by deed recorded in O.R. 4197, Page 186, Warren County, Ohio Recorder's Office;

Thence, with said north line and the north line of Springbrook, Section 7, Phase 5 as recorded in P.B. 17, Page 17 and the north line of Springbrook Section 11, as recorded in P.B. 60, Page 19 and the lands conveyed to the Village of Springboro by deed recorded in O.R. 80, Page 271, Warren County, Ohio Recorder's Office, South 84°33'12" West, 624.93 feet to a point and South 76°35'17" West, 2079.15 feet to a point;

Thence, with new division lines the following nine (9) courses and distances;

1. North 14°56'35" East, 516.43 feet to a point;
2. North 84°59'20" East, 289.47 feet to a point;
3. North 39°30'23" East, 466.79 feet to a point;
4. North 75°18'12" East, 110.08 feet to a point;
5. Along an arc deflecting to the right, having a radius of 75.00 feet, a central angle of 47°09'23", a length of 61.73 feet, the chord of said arc bears North 01°47'52" East, 60.00 feet to a point;
6. North 84°15'21" West, 221.91 feet to a point;

McGill Smith Punshon, Inc.

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7. North 49°02'12" West, 656.57 feet to a point;
8. South 75°30'00" West, 93.78 feet to a point;
9. North 50°09'20" West, 202.47 feet to a point in the west line of the lands conveyed to Joe & Kathy Rolka, Tr., by deed recorded in O.R. 4524, Page 252, Warren County, Ohio Recorder's Office, said point also being a southwest corner of Hunter Springs, Section Two as recorded in P.B. 21, Page 61, Warren County, Ohio Recorder's Office, said point also being in the north line of aforesaid Section 14;

Thence, with the south line of said Hunter Springs, Section Two, the north line of said Section 14, the south line of the lands conveyed to the City Of Springboro by deed recorded in O.R. 4084, Page 691, the south line of the lands conveyed to HB Property Ventures, LLC by deed recorded in Doc. No. 2016-021781, the south line of the lands conveyed to American Telephone & Telegraph Co., by deed recorded in O.R. 453, Page 866 and the south line of the lands conveyed to Coffman Springboro Commercial, LLC by deed recorded in O.R. 3294, Page 893, Warren County, Ohio Recorder's Office, North 75°30'00" East, 2811.89 feet to the Point of Beginning.

Containing 86.67 acres of land.

Subject to all legal highways, easements and restrictions of record.

Being part of the same premises conveyed to Ted D. Hall, Tr., and Rebecca Hall, Tr., by deed recorded in Official Record 4355, Page 598, Warren County, Ohio Recorder's Office.

The above description was prepared by McGill Smith Punshon, Inc. under the direction of Jerry L. Keller, P.S., Ohio Registration No. 7584. Bearings are based on Plat of Survey recorded in Volume 125, Page 66, Warren County Engineers Record of Land Surveys.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 2/23/2017
Jerry L. Keller P. S. #7584

Prepared by: McGill Smith Punshon, Inc.
Date: February 23, 2017
MSP No.: 16470.00

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