

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Larry B. Dillin

Printed Name

Easton Farm – Submission Summary

Planning Commission / PUD Application

4/23/2021

Documents / Details:

1. New Application form
2. General Plan
 - a. Will provide 17 printed sets
 - b. Updated to address Staff Comments
 - c. Other revisions including traffic circle, and some re-aligned intersections
 - d. Eliminated 90 units of Assisted Living / Memory Care
3. Design Guidelines
 - a. Will provide 17 printed sets
 - b. Updated to address Staff Comments
 - c. Other revisions reflecting plan updates
4. Traffic Study
 - a. Can provide printed sets if needed
 - b. Still awaiting feedback from Warren County Engineer
5. Illustrative renderings: updated to match the engineered site plan

(Response to 4/9/21 Staff Comments to be submitted separately)

Metrics Summary:

1. Multifamily
 - a. Open Space calculated as 28%
 - b. Now 3 stories, not 4.
 - c. Now 270 dwelling units
2. Single Family
 - a. Open Space calculated as 27%
 - b. Now 272 dwellings
 - i. 94 – 31ft Village Center Lots
 - ii. 86 – 50 ft Neighborhood Lane Lots
 - iii. 44 – 60-110ft Neighborhood Edge Lots
 - iv. 48 - Townhomes
 - c. Increased green space
 - d. Extended open space allocated at SW of site, per agreement
 - e. Removed Flag lots

EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

ADJACENT PROPERTY OWNERS

- (1)

CITY OF SPRINGBORO
- (2)

CVS 6139 OH LLC
- (3)

KEYBANK NATIONAL ASSOCIATION
- (4)

SETTLERS STATION INVESTMENTS LLC
- (5)

PNC NATIONAL BANK LLC
- (6)

MIAMI VALLEY HOSPITAL, REAL ESTATE SERVICE
- (7)

7FOR 1 LLC
- (8)

STORES RESERVE INVESTMENT
- (9)

EDDI & JUDITH LAWSON
- (10)

SPRINGBORO OFFICE PARK LLC
- (11)

RAJ KULKARNI
- (12)

KEITH A HUELSMAN
- (13)

SABR INVESTMENTS LTD
- (14)

SPRINGBORO OFFICE PARK LLC
- (15)

MENRISKY INVESTMENTS LLC
- (16)

GARY & JULIE BEALL
- (17)

RAINBORO RASCAL S SPRINGBORO LLC
- (18)

COLLEEN BOSSI CO LLC
- (19)

SPRINGBROOK COMMONS
- (20)

KATHRYN M TRICK
- (21)

CARL D CHENOWETH
- (22)

JUANITA COLLINS
- (23)

ASHLEY RUTLEDGE
- (24)

SPRINGBROOK COMMONS
- (25)

JOHN F EMERSON
- (26)

BILLIE A BIRCHFIELD
- (27)

IONA C GILFILLEN TRUSTEE
- (28)

CONNIE S LERAAS
- (29)

SPRINGBROOK COMMONS
- (30)

KATHY E JOHNSON
- (31)

ARTHUR A GRIFFIN
- (32)

JEFF & ALISON C JOHNSON
- (33)

VARILLA BALDRIDGE
- (34)

SPRINGBROOK COMMONS
- (35)

GLENNA K & DAVID M BROWN
- (36)

CHERI G & SALVATORE DALTON
- (37)

ALFRED & MILDRED FIELDS
- (38)

MICHAEL J WIMMER
- (39)

SPRINGBORO COMMONS
- (40)

RICHARD T & MARY L LAWTON
- (41)

ANGELA D HICKS
- (42)

STEPHEN J & MY-KHA D BALEK
- (43)

CRAIG A & SAMANTHA J CARLSON
- (44)

ROB & AMY KLEES
- (45)

MARY E HARRISON
- (46)

DALE E & CHERYL R PACK
- (47)

DENISE A SCARPELLI
- (48)

CHRISTOPHER L WATT & KELLYE STALL
- (49)

CITY OF SPRINGBORO
- (50)

CITY OF SPRINGBORO
- (51)

CITY OF SPRINGBORO
- (52)

CITY OF SPRINGBORO
- (53)

TAMMY P TEMPLE
- (54)

JEFFERY D & ANGELA J NEWSON
- (55)

MATTHEW T & DIECK CHELSEA BRANNAN
- (56)

MARSHAL Q & MARIA C QUEBATAY
- (57)

JEAN M DONAGHY
- (58)

MARK D & SHEILA ELLIOTT
- (59)

MICHAEL L & REBECCA WEBBER
- (60)

CITY OF SPRINGBORO
- (61)

CITY OF SPRINGBORO
- (62)

LAURA D BANFORD
- (63)

ROBERT J & KRISTIN H MILLER
- (64)

MICHAEL A GREINER
- (65)

DANIEL J & DEBORAH A RICHARDSON
- (66)

THOMAS M & LOIS BARATKO
- (67)

SAI QIN & YANG WEN ZHU
- (68)

ANDREW B & YANG JIA TERPSTA
- (69)

GREGORY K & TAMMY J GUSTIN
- (70)

BENJAMIN & BARBARA BELL
- (71)

DEBORAH L HENSON
- (72)

DOUGLAS J WIEDEMANN
- (73)

GREGORY K & CHARLOTTE ALBERS
- (74)

LEE ANN & ROBERT RUTLEDGE
- (75)

LEE ANN & ROBERT RUTLEDGE
- (76)

VIRGINIA D GRAY & DAVID CULP TRUSTEES
- (77)

JOHN R SHANNON
- (78)

RICKY D & PATRICIA L JONES
- (79)

MICHAEL D & KATHERINE A BROWN
- (80)

WILLIAM & CHRISTINE JUNG
- (81)

LAWRENCE R JR & LISA J BABB
- (82)

CRAIG & RENEE JOLLEY
- (83)

JAMES C & LEANA STATION
- (84)

KEVIN L & ROCHEL HOUSER
- (85)

JOE & KATHY ROLKA TRUSTEES
- (86)

JOE & KATHY ROLKA TRUSTEES
- (87)

LYNN D JOHNSON
- (88)

AARON & JENNIFER LAMBERT
- (89)

JAMES L JR & STACEY R LANE
- (90)

ADRIENNE L SLUGA & DONALD CUMMINGS
- (91)

MICHAEL P & KRISTINE VANSKOY
- (92)

RODNEY E MARGARET A KNIGHT
- (93)

CHADWICK A & LESLIE M SCHROCK
- (94)

MICHAEL L TYRCHNIEWICZ
- (95)

ROBERT J & MARIE VIGAR
- (96)

MICHAEL & BARBARA
- (97)

MARK & LINDA R NELSON
- (98)

SAUNDRA L FLAYLER
- (99)

NEAL E KENNEDY TRUSTEE
- (100)

CHERYL A SHEFFIELD
- (101)

DUSTIN G MARIA S DERSHEM
- (102)

DENNIS C MUNDT
- (103)

BRIAN K & KELLY L POPLIN
- (104)

CARMEN N CASSIDY
- (105)

STEVEN D & KERRY HOUSTON
- (106)

AMY M & DALE R SHIVENER
- (107)

DALE S & ARCHER SEIFFERLEN
- (108)

JAMIE M DUCK
- (109)

DAVID A & KRISTIE L BECKMAN
- (110)

JUSTIN R & ERICA N WIEDLE
- (111)

RODNEY A & CONSTANCE BRADSHAW
- (112)

DAVID A & JILL M OHS
- (113)

ERIN M & ERIC P WEIMER
- (114)

CHRISTOPHER K SCHNEIDER
- (115)

CITY OF SPRINGBORO
- (116)

HP PROPERTY VENTURES LLC
- (117)

VILLAGE PARK OFFICE COMMO
- (118)

COFFMAN SPRINGBOR COMMERCIAL LLC
- (119)

AT&T TAX DEPTMENT
- (120)

NOVO SOH LLC
- (121)

CARL D CHENOWETH
- (122)

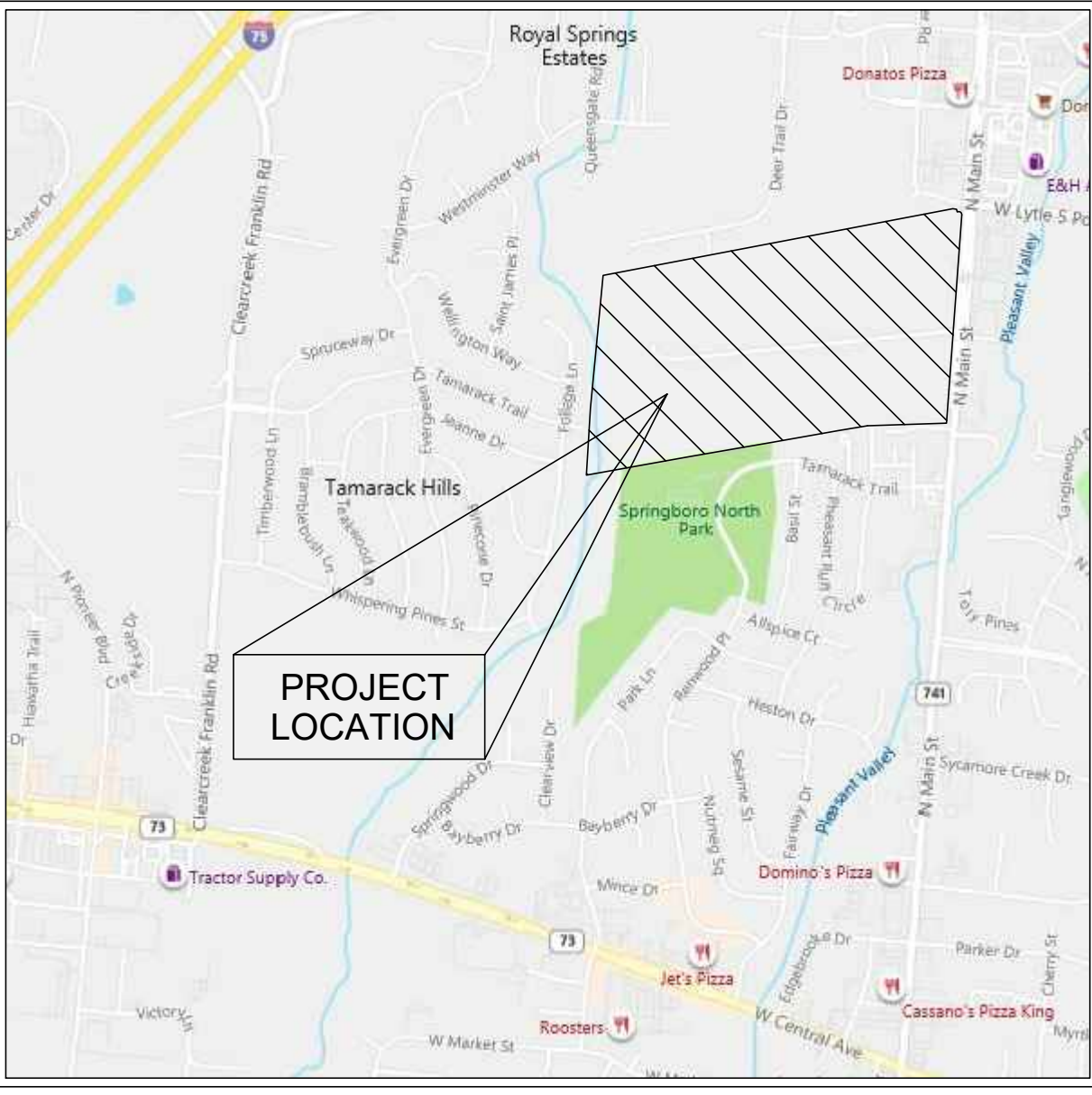
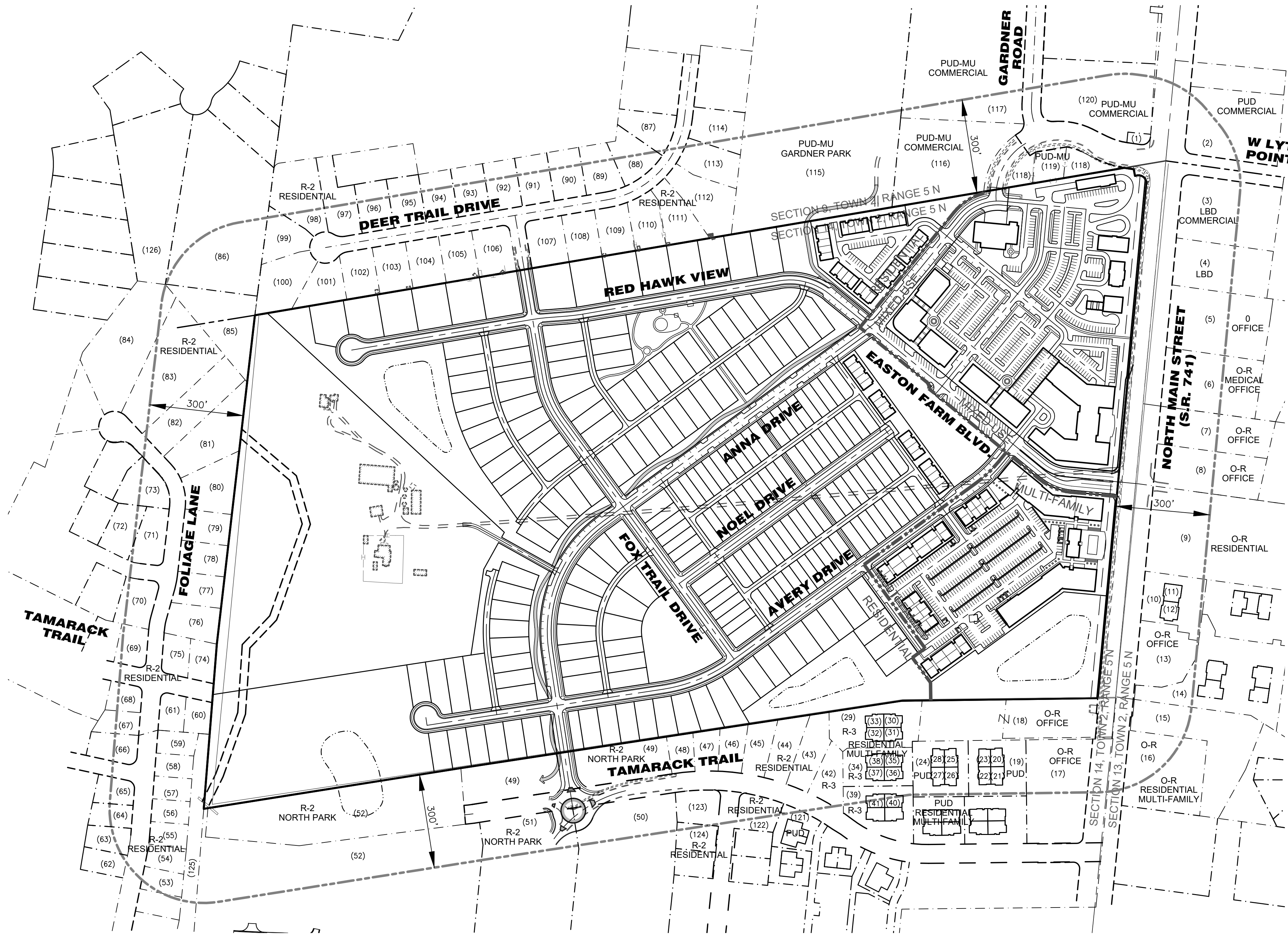
ERIC B & ALYSSA A GIBBONS
- (123)

LORA & GOTTEE II JAMES
- (124)

BADREDDINE IKHLEF
- (125)

CITY OF SPRINGBORO
- (126)

JOHN W AND JANIE H RIDD



SITE SUMMARY

EXISTING ZONING:	
PROPOSED ZONING:	R-1 PUD-MU
ACREAGE:	
PRIVATE AREA	16.01 AC
RESIDENTIAL	63.31 AC
MULTI-FAMILY	9.99 AC
MIXED USE	14.01 AC
TOTAL	103.32 AC
RESIDENTIAL	
UNIT COUNT	
31' VILLAGE CENTER LOTS	94 LOTS
50' NEIGHBORHOOD LANE LOTS	86 LOTS
60'-110' NEIGHBORHOOD EDGE LOTS	44 LOTS
TOWNHOMES	48 UNITS
TOTAL	272 UNITS
DENSITY	4.3 UNITS PER ACRE
COMMON SPACE	17.24 ACRES
COMMON SPACE PERCENTAGE	27.3%
MULTI-FAMILY LOT	
UNIT COUNT	270 UNITS
DENSITY	27.0 UNITS PER ACRE
RETAIL/RESTAURANT	9,500 SF
COMMON SPACE	2.82 ACRES
COMMON SPACE PERCENTAGE	28.3%
MIXED USE LOT	
INDEPENDENT LIVING	113 UNITS
COMMERCIAL BUILDING 1	15,400 SF
COMMERCIAL BUILDING 2	22,500 SF
FIRE STATION	8,000 SF
OUTLOTS	16,800 SF

AREA MAP

OWNER

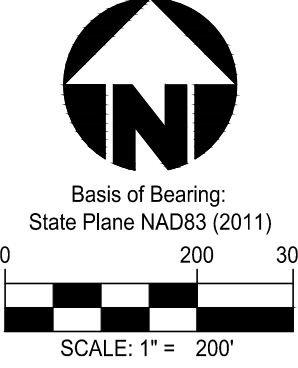
REBECCA & TED D HALL
605 N MAIN STREET
SPRINGBORO, OHIO 45066

ENGINEER/SURVEYOR

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040
PH: (513)336-6600

DEVELOPER

EASTON FARM PARTNERS
985 NORTH MAIN STREET, SUITE 200
COLUMBUS, OHIO 43201
PH: (614)389-5916



EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



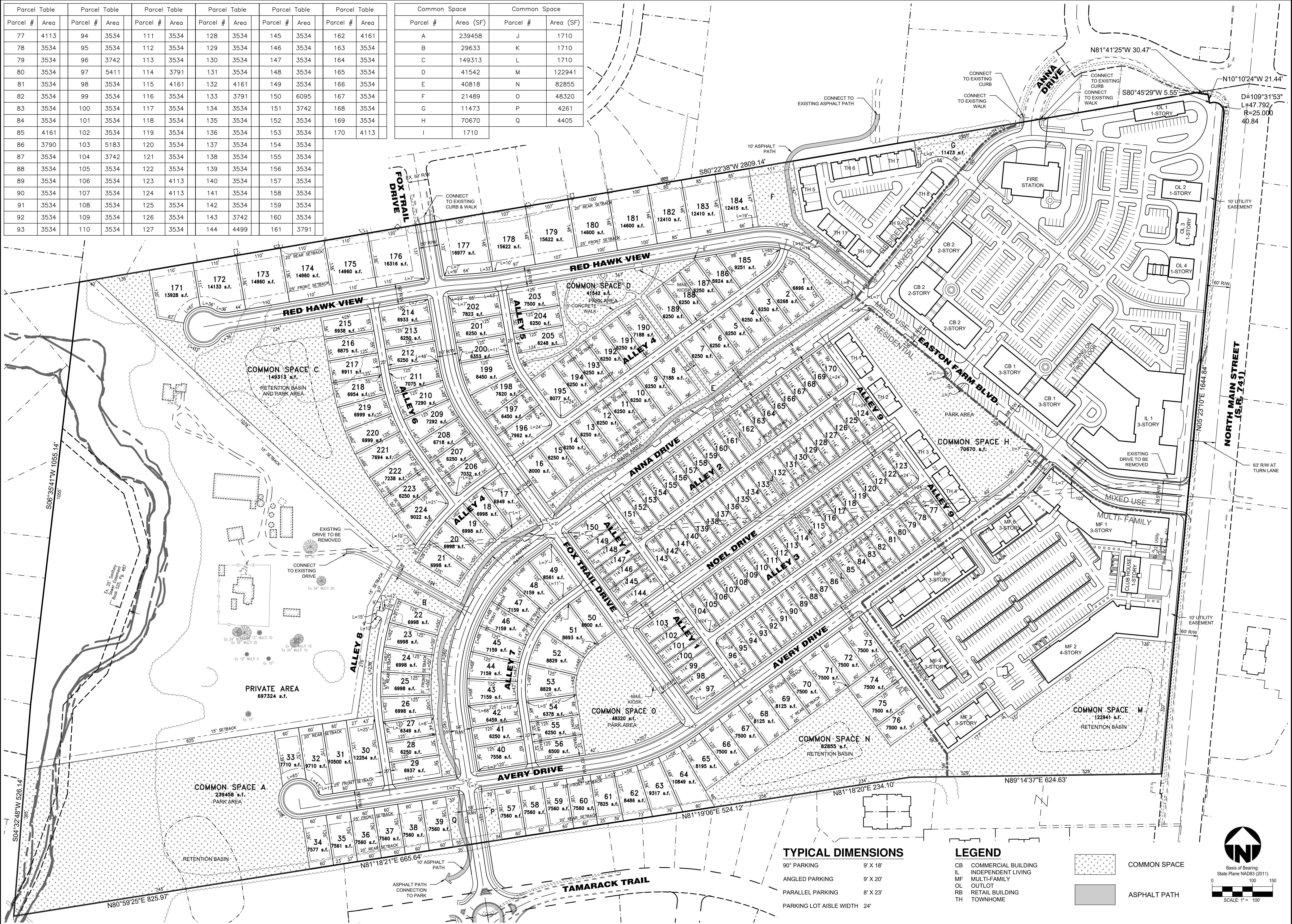
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Issue Date: 2-18-21
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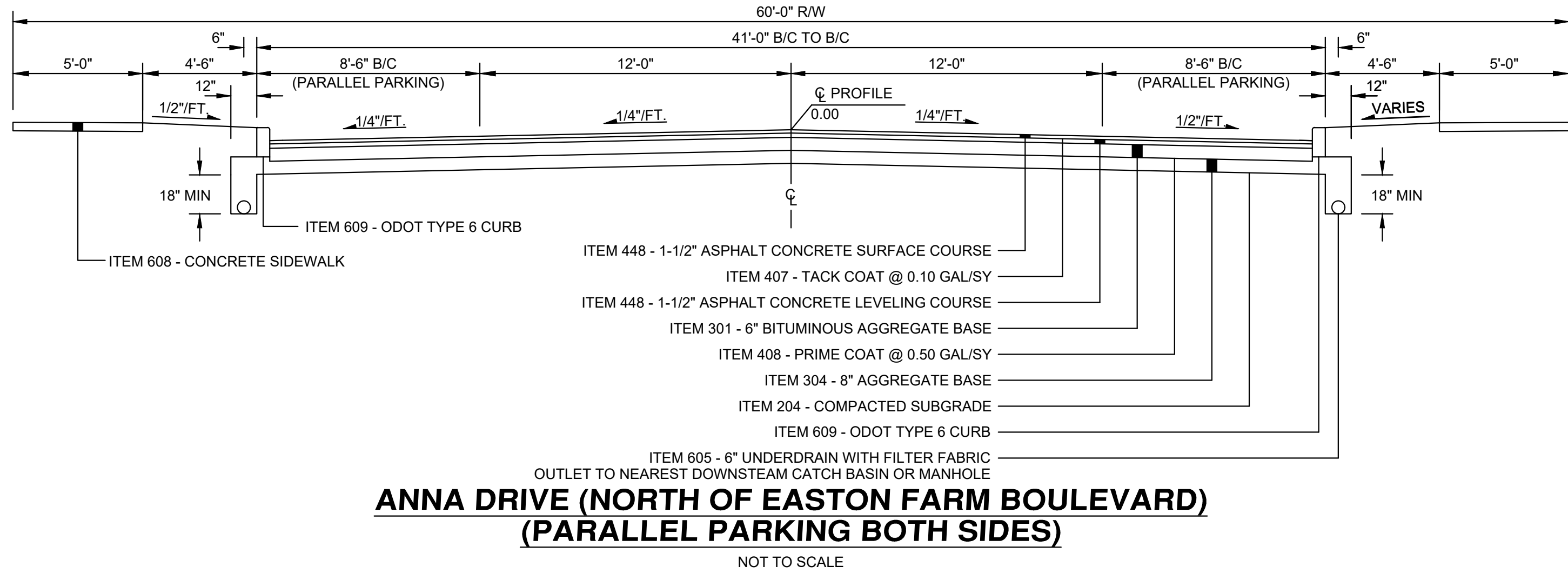
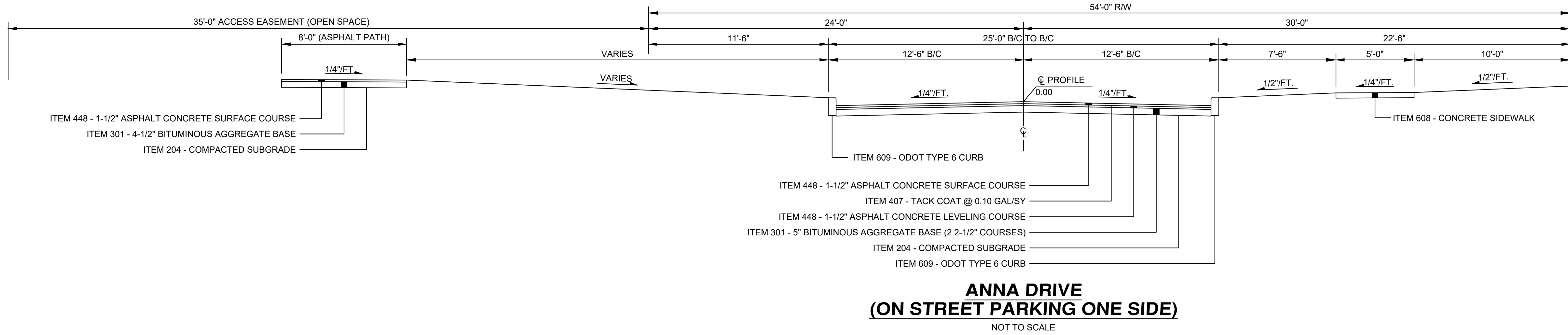
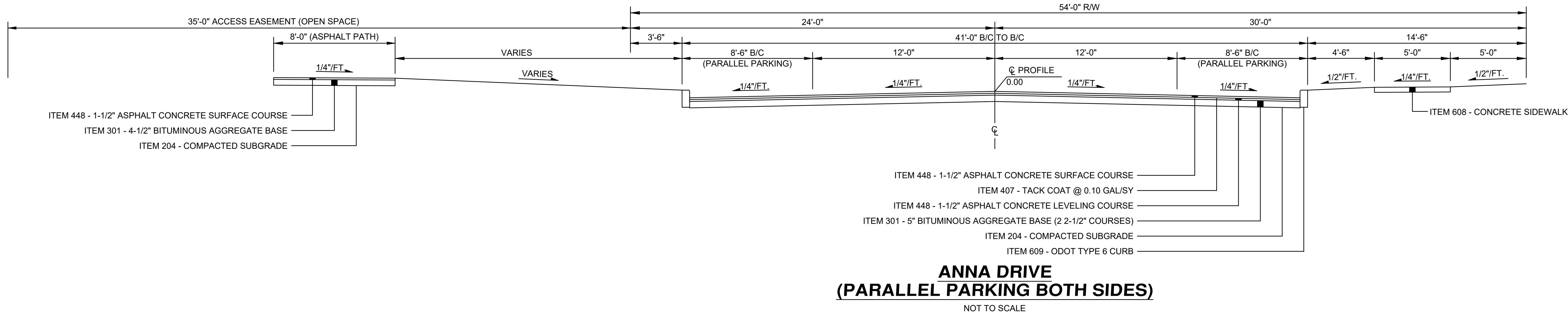
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78	3534	95	3534	112	3534	129	3534	146	3534	163	3534
79	3534	96	3742	113	3534	130	3534	147	3534	164	3534
80	3534	97	5411	114	3791	131	3534	148	3534	165	3534
81	3534	98	3534	115	4161	132	4161	149	3534	166	3534
82	3534	99	3534	116	3534	133	3791	150	6095	167	3534
83	3534	100	3534	117	3534	134	3534	151	3742	168	3534
84	3534	101	3534	118	3534	135	3534	152	3534	169	3534
85	4161	102	3534	119	3534	136	3534	153	3534	170	4113
86	3790	103	5183	120	3534	137	3534	154	3534		
87	3534	104	3742	121	3534	138	3534	155	3534		
88	3534	105	3534	122	3534	139	3534	156	3534		
89	3534	106	3534	123	4113	140	3534	157	3534		
90	3534	107	3534	124	4113	141	3534	158	3534		
91	3534	108	3534	125	3534	142	3534	159	3534		
92	3534	109	3534	126	3534	143	3742	160	3534		
93	3534	110	3534	127	3534	144	4499	161	3791		

Common Space		Common Space	
Parcel #	Area (SF)	Parcel #	Area (SF)
A	239458	J	1710
B	29633	K	1710
C	149313	L	1710
D	41542	M	122941
E	40818	N	82855
F	21489	O	48320
G	11473	P	4261
H	70670	Q	4405
I	1710		



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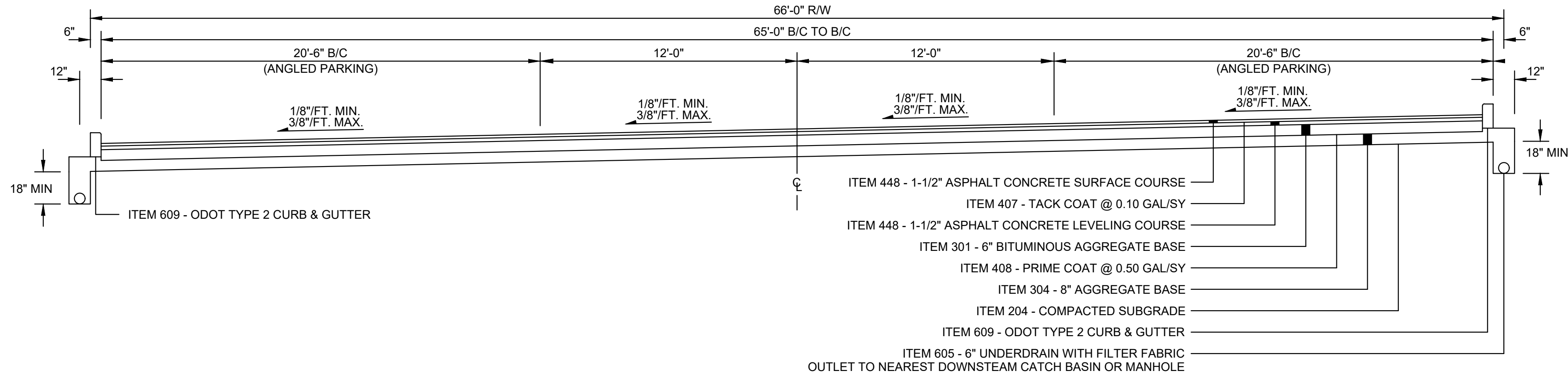
EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



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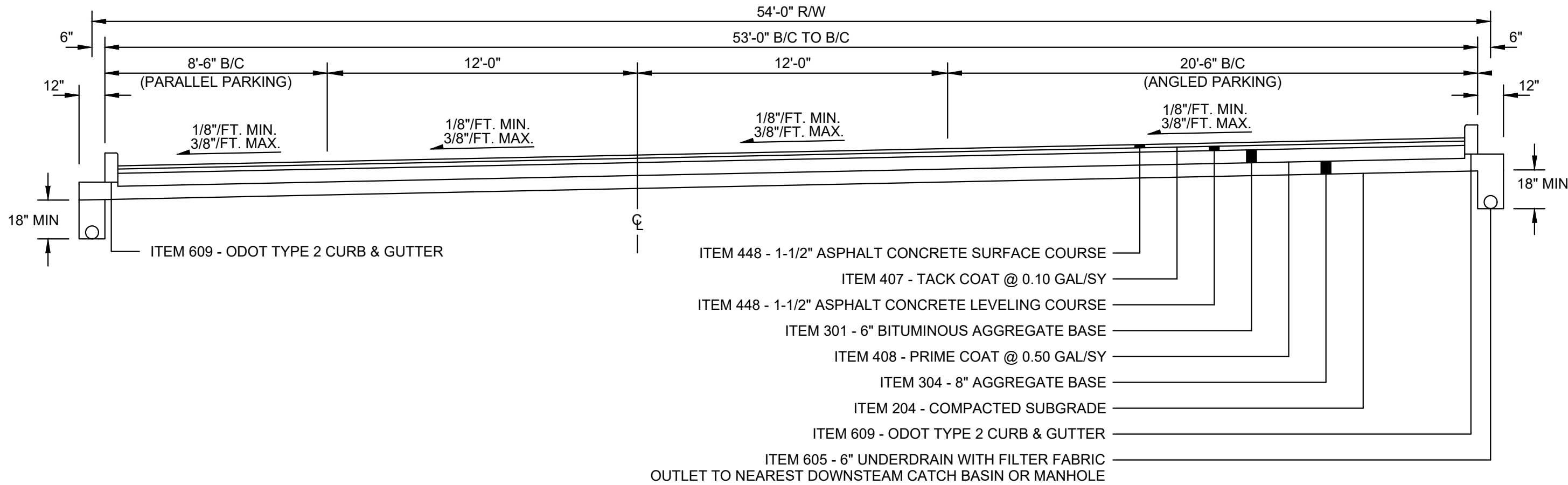
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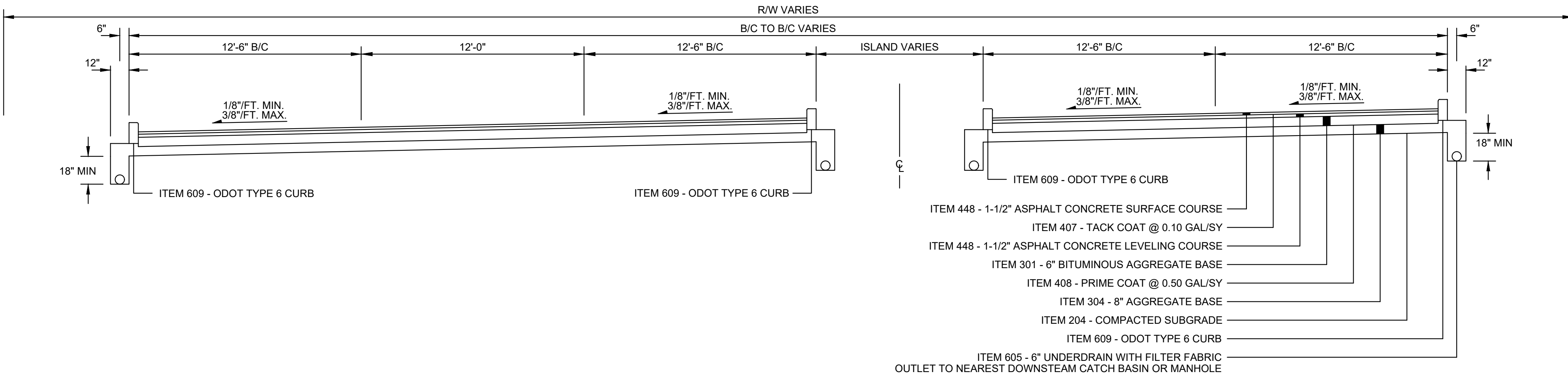
**EASTON FARM BOULEVARD
(ANGLED PARKING BOTH SIDES)**

NOT TO SCALE



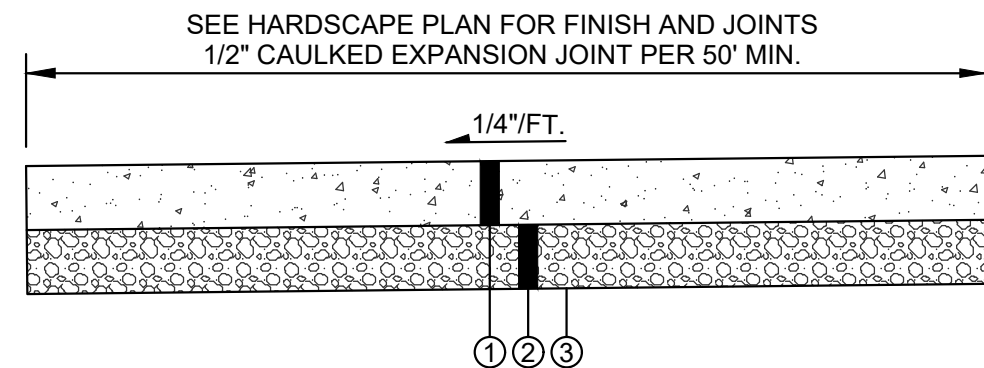
**EASTON FARM BOULEVARD
(PARALLEL & ANGLED PARKING)**

NOT TO SCALE



EASTON FARM BOULEVARD

NOT TO SCALE



COMMERCIAL SIDEWALK TYPICAL SECTION

NOT TO SCALE

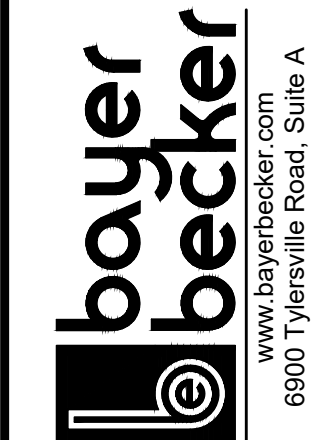
NOTE: SIDEWALK JOISTS SHALL BE IN ACCORDANCE WITH ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE ARCHITECTURAL PLANS.

- ① ITEM 608 - 4" CLASS C
- ② ITEM 304 - 4" AGGREGATE BASE (CRUSHED AGGREGATE BASE COST TO BE INCLUDED IN THE PRICE FOR ITEM 608, SIDEWALK, SQ. FT.
- ③ ITEM 204 - SUBGRADE COMPACTION



**EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO**

TYPICAL STREET SECTIONS



Drawing: 20-0225 LAYOUT PUD
Drawn by: GJK
Checked By:
Issue Date: 2-18-21
Sheet:

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February 2021

EASTON FARM DESIGN GUIDELINES

SPRINGBORO, OHIO

Dillin



BORROR

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PROJECT INTRODUCTION

Easton Farm looks to develop a new in-town neighborhood on the historic 'Easton Farm' site in the City of Springboro Ohio, located on the west side of State Route 741, between Anna Drive and Gardner Park to the north, and North Park and Tamarack Trail on the south.

The Easton Farm concept takes inspiration from the townscapes of small, historic Ohio villages, while incorporating updated ideas for streetscapes, parks, open spaces and connective pathways as a platform for a variety of market-rate residences and a mixed-use commercial district facing Route 741.

The residences within these new neighborhoods are scaled to the street, with most featuring garages placed along mid-block service ways that are landscaped,

thereby eliminating multiple front driveways and allowing for a series of un-interrupted sidewalks, bike paths, greenways, interspersed with community amenities that encourage pedestrian interconnection and walkability both within The Easton Farm site, and through to the adjacent city parks and neighborhoods.

These interconnected green spaces and pathways are designed to connect to smaller internal neighborhood parks and open spaces that are judiciously placed throughout The Easton Farm, and will feature play areas, shade structures, seating areas, dog parks and significant passive, and well-landscaped green spaces. Tree-lined streets will connect these residential neighborhoods to the mixed-use district close to S. R. 741 and to its retail, restaurant, office, central park, and service offerings.



Easton Farm
Illustrative Master Plan

MIXED USE NEIGHBORHOOD CENTER

The purpose of this Article is to allow for flexibility that will allow for the overall Easton Farm development to become a walkable, integrated mixed-use, in-town neighborhood with the following emphases:

- Building design criteria that allows for unified and creative interpretations of traditional and potentially more contemporary design vernaculars, motifs and building materials, provided the final design creates a visually complementary, integrated urban village environment;
 - Residential and mixed-use neighborhoods, activity areas, and open space(s) crafted around a well-defined transportation/circulation network where pedestrian activity is strongly emphasized and judiciously integrated with vehicular streetscapes, service and parking areas;
 - Identifying and locating market-driven retail, café, restaurant, personal care and/or business service offerings where they can best generate high pedestrian activity, along ground floor locations, below potential office space, hospitality, or residential units on upper floors;
 - A site plan that can defines and accommodate options where commercial/retail, office, institutional and public spaces can optimally be incorporated into the overall neighborhood fabric.
- Residential areas that are either built above, adjacent or within close/walkable proximity of new commercial uses, places of work or dedicated public open spaces and/or amenities;
 - An emphasis on developing neighborhoods where new and existing residents and visitors can live, work and play, and interconnected with a multiuse path and linear park.

1. Permitted Uses

The The following uses are permitted within the mixed-use neighborhood adjacent to S.R. 741:

- (a) Specialty retail including apparel, fashion accessories, home goods, sporting goods, hobbies, gifts, specialty packaged/prepared foods, large(r) footprint retail/anchors (potentially) up to 35k s.f., temporary or 'pop-up' retail/vendors, kiosk-based retail/ food vendors, service businesses, personal service businesses, financial services, grocery and or specialty foods market (not to exceed 15k s.f.) personal care services (salons and spas), professional retail services (for example, florists/

printing/copying, dry cleaner, shoe repair, real estate/escrow, or similar).

- (b) Restaurants, cafés, bistros, nightclubs and bars
- (c) Offices and professional services, medical, dental, pet care, financial/ investment service offices, real estate, escrow/ title, educational, training facilities, schools and specialized academic tutoring operations.
- (d) Multi-family, multi-level residential, with potential for portions of it to be above retail, office or other first floor uses.
- (e) Senior Lifestyle, multi-family, multi-level residential including; 55+ Active Adult, Independent and/or Assisted Living, and Memory Care Facilities. A portion of any such development(s) may be located over ground level commercial and/ or covered parking depending on the specific site condition and location.
- (f) Entertainment and recreational venues
- (g) Theater, cinemas or live performance venues
- (h) Conference and meeting facilities.
- (i) Parking, including street and surface lots/garages
- (j) Public and Institutional uses
- (k) Accessory structure uses
- (l) Open Spaces and Event spaces
- (m) Other, as approved by the Master Developer and the City consistent with goals set forth in this text.
- (n) Mixed Use - Ground Floor Uses: The ground floor of buildings in the mixed-use Retail/ Commercial neighborhood shall be restricted to retail business, restaurants/bars, cafés, professional services, and other uses that tend to encourage street level pedestrian-oriented activity. The Master Developer and City will work to encourage storefront designs that create a vibrant,

pedestrian oriented, neighborhood environment.

- (o) Mixed-Use - Upper Level Floor Uses: Offices, medical, and/or residential uses in the Multiple Use Retail/ Commercial Area buildings should be encouraged on any or all upper floors of the building where feasible.
- (p) Public and Institutional Uses: The Property may include a mix of community and city buildings, meeting halls, libraries, post offices, schools, public recreational facilities, museums, performing arts centers or other uses permitted by the Master Developer and the City, and may be located within or adjacent to open spaces and parks.

Where possible, civic uses should be sited and designed with key architectural features that help define its character, and/or to be at the end of street vista(s) or centered on an open space or plaza. Such uses may utilize shared parking, however any required off street parking shall be located in rear yards. Parking needs will be assessed by the Master Developer and City as part of any submission.

2. Lot Requirements

- (a) Lot requirements are defined in the following table based upon the usage classification indicated. The definitions for each classification appear below the table. If there is a question as to the appropriate usage classification for a user, the City will determine the most appropriate classification at its discretion.

USAGE							
	MINIMUM LOT WIDTH OR AREA	MINIMUM OPEN SPACE	FRONT YARD SETBACK	SUM OF SIDE YARD SETBACK ⁵	REAR YARD SETBACK	MAXIMUM OCCUPIED HEIGHT	MINIMUM OCCUPIED HEIGHT
Freestanding, Single Use Retail/Commercial Services ¹	50'	-	0'	0'	0'	2 stories	1 story
Multiple Use/Retail/Commercial Services ²	75'	-	0'	0'	0'	3 stories	1 story
Office ³	75'	-	0'	0'	0'	3 stories	1 story
Multi Family Residential Areas ⁴	5,000 sf	25%	<10'	0'	15'	4 stories	-
Single Family Attached	8-30 du/ac	25%	<10'	0'	0'	*2 stories	1 story
Multi-Family Attached	18-65 du/ac	25%	<10'	0'	0'	4 stories	1 story
Accessory Structures	500 sf	-	-	-	-	2 stories	-

* except where roof deck occupancy is permitted

- Freestanding, Single Use Retail/Commercial Services (In 'pad' or 'lot' locations.)** These uses include: non-specialty retail, medium/large format 'anchors', commercial businesses, personal care services, pet care or veterinarian services, financial services, restaurants/ bars, cafés or specialty foods, educational services, automotive services, sales and/or repair, child daycare centers and other uses located on individual lots.
- Multiple Use Retail/Commercial Services.** Primary uses include specialty retail, apparel and/or accessories, home goods, gifts, medium or larger format general merchandise retailers including department stores, restaurants/bars, specialty foods, entertainment facilities, public services, retail service businesses, business and personal services, personal care services pet care or veterinarian services, small professional offices and/ or financial services, and educational services, to be built along a streetscape orientation that fosters a lively pedestrian atmosphere.
- Office.** Primary uses include professional offices and services, medical offices and/or laboratories, essential services including walk-in medical and/or pet care, and educational uses. Secondary uses may include live/work residential per the discretion of the City.
- Multi-Family Residential Area.** Area includes single-family attached dwellings, such as town houses or duplex units, multi-family attached dwellings, apartments and condominiums, assisted and/or independent living residences, senior housing, and live/work hybrid residential units. Lot widths, Maximum Occupied Height and Minimum Occupied Height are set forth separately for Single Family Attached and Multi-Family Attached units.
- Structure Setbacks.** To foster and create a series of traditionally inspired, urban-scaled, pedestrian oriented, walkable streetscape environments, within an integrated mixed-use, urban village district, no more than 50% of any Structure shall be set further back than the setback or build-to line location that fronts on a pedestrian walk area. Where setbacks do occur, they should be to create visual interest, break down scale and massing, and should not form a large break in the street wall effect, except to create a pocket for entries, arrivals, small public or semi-public gathering spaces, or to work around a service or operational requirement.

3. Site Development

In keeping with the design intent to create a series of integrated mixed-use neighborhoods, this section for public roads may vary from Springboro subdivision standards and shall be submitted for review and approval to the Master Developer and the City.

(a) **Street Design and Materials**

Beyond the likely predominant use of either conventional asphalt or concrete use of differing specialty paving materials is strongly encouraged. Such materials as brick, cobblestone, pavers, colored or infused concrete, stamped and colored asphalt pavement and/or other pavement products, to demarcate special pedestrian walk and/or activity zones, dual pedestrian/vehicular crossing areas, feature street surfaces, crosswalks, pathways, unique 'arrival' zones, plazas and entries. Where viable, such areas may be set to 'zero curb' elevations to facilitate ease of pedestrian use, and as a visual cue for traffic calming in these specific areas.

Such zones or feature streets may have vehicular and pedestrian areas segregated by use of either fixed or removable bollards that can be removed for programmed or promotional events. For specific site development areas within public roadways, pavement and substrate design must be based on calculations that anticipate future traffic conditions and must be submitted to and approved by the Master Developer and the City. Creation of roadways featuring landscaped islands, boulevards, arrival courts and roundabouts are also encouraged where feasible.



A pedestrian-friendly street using flush curbs, bollards, and richly textured materials to demarcate various spaces.



Street crossing emphasized with specialty paving and bollards.



A finely detailed arrival court serves as an interface between vehicular and pedestrian space.

(b) Street Right-of-Way (ROW)

The Easton Farm Conceptual Development Plan contains a series of right-of-way ("ROW") widths. All initial development will front on a first-phase series of streets that will become the primary access points into and through the development, from both S.R. 741 and Tamarack Trail. These roadways will vary in design depending on service level for that particular street or access way, service drive or entry.

There are five right-of-way widths, from a multi-lane, divided boulevard, to internal streets that accommodate a center turn lane, parallel parking on either side, to a one-way street, with both angle-in and parallel parking.

The key dimensions include travel lanes of twelve feet (12'), twenty-four foot (24') (face of curb to face of curb) two-lane roadways, and eighteen foot (18') one-way road lanes, parallel parking spaces at eight feet (8') wide (face of curb to edge of pavement), and a sidewalk/landscape area on each side of no less than twelve feet (12'), featuring a sidewalk of no less than six feet (6') on each side. The remaining areas on each side to be landscape buffer, up to either a building, setback line, landscape area, or adjacent building or property line.

Additional dimensional width is added for the following uses:

- For an additional parallel parking lane, add 8' feet width x 23' feet per space.
- For each additional travel lane and/or center turn lane, add twelve feet (12') for through lanes and ten feet (10') for turn lanes.
- To add angled-in parking on any one side, add an additional twenty feet (20') for angled parking and eighteen feet (18') for one-way drive aisles.

- The primary landscaped median areas in the center of two way boulevard entrances roadways shall be no less than ten feet (10') face of curb to face of curb. Current plan shows a portion of each entry median at Easton Way and S.R. 741 as concrete with a width that varies between three feet (3') and seven feet (7').

These dimensions ensure that streets developed within the mixed-use urban village are developed to help shorten/ make more secure pedestrian crossings and inhibit drivers from traveling at high speeds within and through the development/ neighborhoods.

For specific site development enhancements that do not fall within these basic ROW guidelines, such as roundabouts, arrival courts, and streetscape features (such as street furniture, water features, sculpture, accessory structure, hardscape/ landscape features) and/or in combination with on-street parking, deviation from these ROW requirements may be permitted, with the approval of the City. This will be assessed in context with a specific development's design intent, in context with any existing adjacent development, especially if any such deviation adds to the pedestrian experience of the Property.

(c) Utility Easements along Streets

All public street utility easements shall fit within planned street ROW's or in dedicated service lanes where possible, and are to be located under pavement, landscape and sidewalk areas as necessary. Deviation from this requirement will be considered by the Master Developer and City, and only for specific site conditions that prove a variation is necessary. Private utilities to be in established easements.

(d) **Street Radii Corner Radii & Clear Zones**

Corner curb radii shall be between eight feet (8') and twenty-five feet (25') as determined by the intended use (residential areas up to fifteen feet (15'), and mixed use areas up to twenty-five feet (25')). These tighter turning radii are intended to shorten pedestrian crossings and inhibit drivers from turning corners at high speeds. To allow emergency vehicles (e.g. fire ladder trucks) to turn corners, a twenty-five foot (25') radius Clear Zone may need to be established free of all vertical obstructions including but not limited to street lighting poles, decorative bollards, wayfinding signage, sign poles, fire hydrants, utility boxes, or dense vegetation landscaping or street trees. Curve and radius data and intersection details for public roads shall be submitted for review and approval to the Master Developer and the City. Where viable, the curve should also be used to create 'bump-out' landscape and pedestrian areas that cap rows of either parallel or angle-in parking spaces.

(e) **Utility and Equipment Locations**

All utility, telecommunication and landscape irrigation distribution lines shall be located underground established easements, with all visible, in-ground utility access boxes placed as to not interfere with building pads, sidewalks, pathways and other pedestrian zones, light poles, wayfinding, directional or other street signage, parking areas, landscaping other than trees. This would also include submitting integrated plan(s) prior to installation, from both the master developer and any other subsequent developer entity that needs to place such devices as to not be in conflict with any existing or prior proposed utility items.



Small corner curb radii reinforce pedestrian-friendly areas by shortening crossing distances and slowing cars.



Small turning radius reduces crosswalk distances, while larger turning radius is accommodated with bollards and a flush curb.



Utility cabinets should be placed discretely (to the side or rear of building) and screened with plant materials.

This is to avoid redundant placement of light poles and fixtures or to avoid the potential to visually clutter or impede corners, sight lines, pedestrian ways or streetscapes. All utility providers and/or governmental agencies requiring similar placements for transformers, traffic control equipment, telecommunication pedestals, electrical cabinets, metering, exposed pipes and/or valves, and any other mechanical equipment or devices requiring above-ground placement in areas visible to the public and residents that are considered common areas, will also be required to submit and integrate with the master developer and any other adjacent private development entities. Any such fixtures and devices should be visually screened from and/or within public pedestrian and vehicular zones, preferably within landscape beds, landscaped parking 'islands' and/or landscape buffer areas.

- (f) **Utility and Equipment Screening**
All exposed structures requiring open-air locations, particularly rooftop mechanical/HVAC equipment, utility and/or other functional hardware, whether located atop, attached, or separated from the building it services, shall be adequately screened from public view. If atop a structure, these features shall be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than one hundred fifty feet (150'), or beyond any public facing elevation that can be viewed from any public view point, or from the highest public vista possible looking down onto such a roof structure. Screen devices shall be fabricated to match and/or enhance the overall architectural massing, with materials and colors harmonious with the overall building(s) or block where



Dumpster are completely screened on all sides. Wall and gate materials are consistent with the building architecture.



Screening of tenant equipment, such as trash receptacles, storage bins, and grease containers with an architectural fence.



Loading dock and compactor screened with a building wall and landscaping.

applicable.

All such devices are approved at the discretion of the Master Developer and the City. Where possible, such elements as generators, electrical and telecommunication cabinets should be set into lower grade areas, or within the building walls either open air or within a separated utility room or service area. Such features shall also be adequately screened by either screen walls or dense landscaping if they are in open area settings.

(g) **Service/Loading Area Screening**

All building and/or tenant back-of-house functions, such as trash containers, grease traps, recycling bins, compactors, or any other functional need, located outside of any interior lease area, shall be grouped in an approved common area/service zone(s), within individual blocks located within that specific development block and/or complex, and placed or screened as is practical from public view, preferably in rear, or side yard or interior service rooms.

Where exposed to public view, such service zones shall be adequately screened with architecturally complementary access doors and screen walls, and/or berms or dense landscaping.

Recessed and/or raised service docks that face any public streetscape or parking area, or visible at the rear of any building, shall be screened from any public right-of-way with screen walls and/or screen doors, of a height and scale that will adequately hide any service vehicles that may use such zones.

Screen wall, doors and/or roof enclosure elements are to be constructed of materials, colors, trim and/or patterns to mimic the primary architectural character

of that particular building.

Exceptions are fully screened service zones, located between or surrounded by (or reasonably expected to be surrounded in the future by) other buildings and can provide service bay access that is not directly visible to public view. This would also include a roof or trellis element that screens the service bay from being seen from higher floors overlooking such zones.

Service entrances located at the rear of buildings shall be screened, unless such areas are comprised only of only service access doors. On street, curbside loading areas need not be screened from view, but should be made dual-purpose to encourage other uses after hours, with clear signage as to the hours such potential uses are allowed.

Hours of loading/servicing shall be coordinated with the Master Developer and/or any subsequent 'association' to limit service hours to non-operational, or lesser traffic impact times of the day. Hours of operation for non-residential to be cross-referenced with City Code Section 660.19.

(h) **Loading Space Requirements**

Within Easton Farm retail and commercial areas, loading may be accomplished at specific curbside locations for smaller, in-line retail and service tenants, as practical and necessary depending on distance from a screened delivery bay. Curbside loading spaces should be made dual-purpose where practical and functionally viable for daytime, public use.

- (i) **Loading in Required Yards**
Loading spaces in other than high density mixed use retail/commercial areas, shall not occupy any part of a required yard setback, except locations at rear yards, per the discretion of the City.
- (j) **Screen Wall Construction and Materials**
All service bay screen walls will mimic building design, materials, colors of walls and fences, if visible from any public right-of-way, and shall be uniform and compatible with the base-building architectural style, color and building materials of the principal building and its surroundings.
- (k) **Fencing.**
Any or all fencing is to be painted or powder-coated metal railing, set into ground or bolted/incorporated into a wall or between pier supports. Chain link fences are not permitted along any visible public right-of-way, and may be placed only in service areas screened from public view.
- (l) **Open Space Area Requirements**
Open space shall be provided at ratios of 25% in Residential areas as per the "Usage" Table in this chapter.

4. Building Design

- (a) **Architectural Character**
The following architectural design guidelines are meant to achieve the result of establishing consistent, high-quality design, materials and construction that works with the site and streetscape guidelines to establish and reinforce the mixed-use district 'neighborhood' design and planning goals.
- (b) **Orientation to Street**
Buildings shall be architecturally oriented to frame any immediately adjacent street(s) to create a 'street wall' effect, with the main/primary entrance(s) located, facing the street, public right-of-way or courtyard, and for larger-format users over seven thousand square feet (7,000 sf), facing a relevant-sized surface parking area, unless deviation is deemed appropriate, per the discretion of the City. In cases where there is an anti-access easement or access is not permitted from a particular road or public right-of-way, the building shall not be required to face the subject road or right-of-way. Buildings located on an intersection shall have the main entrance oriented toward the major street and any facade facing other streets shall



Buildings should be oriented with fronts, including storefronts and entrances, toward the street.



Windows should be expressed with a vertical orientation.

have facades that ‘turn the corner’ with similar/complementary design details, window openings and architectural character.

(c) **Orientation of Windows and Doors**

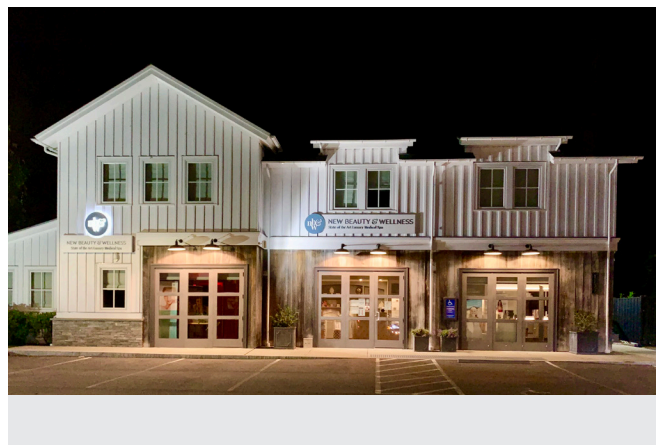
All windows and doors, openings or frame fenestrations located within an opening shall be ‘vertical’ in orientation, meaning a primary design character of most building openings reflects a more top to bottom aesthetic, mimicking traditional storefronts and window motifs. window features including transoms, divided lights, and sidelights are encouraged, along with storefronts, doors and framing components, which follow vertical enhancing design elements. Sliding commercial-grade glass doors, folding glass windows and butt-jointed glazing may also be allowed, but only if window and/or door orientations are also vertical in nature. Any sliding doors must pocket out of view, and all folding windows should not encroach into an exterior walk or public area beyond a tenant storefront closure line, unless that line is part of the tenant lease area, as in an exterior patio or display space. Uninterrupted linear ‘strip-style’ windows are not permitted, since they do not reinforce the design vocabulary. The City may consider specific exceptions, primarily related to functional use, provided that the overall public facing building design is in keeping with the goals of the mixed-use district. In more modern or contemporary interpretation(s), design elements such as overall building massing, window orientation and rooflines should take inspiration from motifs.



Glass should be translucent and provide visibility in and out.



Acceptable building materials include brick, stone, decorative block, precast masonry and EIFS.



Building materials should be applied in a variety of stylish and creative applications.

(d) **Glass Materials**

Clear or colored glass, translucent, sandblasted and/or decorative pattern glass that can emit light through is encouraged. Retail and/ or commercial storefronts should be predominantly clear glass at any street level opening. Where a clear window opening is desired, but for functional reasons is not viable, an internally backlit shallow display box-out is desired. Translucent, patterned or colored glass panel will be allowed in all other applications. Other options, including back painted, fritted, sandblasted, color or non-illuminated translucent glass may be acceptable where structural elements or back-of-house functions or unoccupied space would be visible behind. Black, opaque, spandrel and reflective glass materials are discouraged except in façade areas where its placement is a key part of a final design aesthetic.

(e) **Building Materials**

Building materials shall be commercial grade, and applied in variety of stylish, creative and clever applications across the expanse of all visible public-facing elevations. Acceptable materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), natural stone, cast or cultured stone, exposed metal structure and/or architectural details and/ or surfaces where viable, stucco, EIFS or materials of equal appearance consistent with the acceptable architectural character outlined in these Architectural Guidelines

(f) **Rooflines**

Flat roofs are permitted, however, parapets or the underside of roof eaves



Partial sloped roof on the left and a parapet on the right with cornice detailing.



This roofline does not effectively screen rooftop equipment. A parapet wall should be extended up to fully hide the equipment.



Varying roof materials with changes to building massing, including shingles of various colors, and standing seam metal.

should showcase some form of cornice or similar design element, masonry and/or brick trim and/or patterning, decorative blocks/brackets, moldings or some form of architectural emphasis along the roofline to tie that element to the building massing below. Where an adjacent building's façade, which adjoins it, has a similar roofline height, a variation of the parapet or roofline is required

NOTE: All rooflines must be able to fully screen any and all HVAC/utility or functional apparatus from public

view from a distance equivalent to the parallel height of that roofline as viewed downhill from any distance into the project. If that proves difficult, a subsequent parapet screen may be installed on roof to provide additional screening.

(g) **Visible Roofing Materials**

Slate style shingles, fiberglass shingles and either copper or painted/ powder coated standing seam metal are permitted materials, for sloped roofs per the discretion of the City. Where possible, patterning of shingles colors



Large format retail using massing elements and detail to visually reduce the scale of the front façade.



Building heights should vary in coordination with changes in building massing.



Architectural features such as towers may extend above the typical roofline.



Changes in building massing should include variations to rooflines, setbacks, materials, and include features such as "pop-outs".

for more vertical roof surfaces is highly encouraged.

- (h) **Building Heights**
Heights shall be consistent with those of other similar uses.
- (i) **Larger format retailers, entertainment venues or other commercial uses, where taller interior spaces is the normative**
Heights of the front facades should use massing elements and materials to blend in with any adjacent structure(s) as to not overwhelm the overall visual appearance.

Subject to the restrictions on Maximum Occupied Height and Minimum Occupied Height as set forth in this chapter, individual structures should feature a variety of heights, utilizing elements such as roofline variation, decorative towers or portal elements, steeples, pediments, clerestories, dormers or domes, consistent with the overall architectural character and these Architectural Guidelines. The height of enclosed unoccupied building elements may not exceed a maximum height up to sixty (60') from main street level grade.

Purely decorative unoccupied elements such as mansard and/or peaked roofs, towers, flagpoles, spires and steeples may be located on top of enclosed space, to a total building height of no more than eighty-five feet (85'), excluding decorative metal finials or spires.

- (j) **Building Massing**
Individual buildings and any attached structures should strive for complementary building massing, reminiscent of traditional townscape/streetscape patterns. "Monoplanar" or monolithic appearance and surfaces, with little variation in setbacks, wall fenestration, or rooflines are not permitted.



Building massing used to break up large monolithic appearance on a building elevation.



Changes in color coordinated with building massing, but not so dissimilar as to clash.

Building massing should take into account adjacent buildings, property uses, sightlines, identity, and relationship to its site to accomplish building a contextual variety in its overall massing. As noted above, elements such as rooflines, setbacks, decorative architectural elements, visual openings and wall fenestration elements such as 'pop-outs', window openings, trellises, pergolas, verandas, entrances, piers, pilasters, decorative panels, or grilles, and eaves or cornice lines are highly encouraged, and visual

articulates a structure's overall massing and creates pedestrian scale to its overall context.

5. Colors

(a) Color Variation

The use of sharply contrasting colors on significant swaths of any building(s) facades is discouraged, but may be used for accenting or enhancing an architectural elements. If used either as an accent or as some form of tenant identity, they should be limited to specific architectural elements, details or specific and limited surface areas. Their use in tenant design areas however is encouraged, but subject to tenant design guidelines established by the City for their particular building or development.

Color schemes should be kept to no more than one or two field or trim colors on any given individual facade, unless deviation from this is deemed appropriate by the Master Developer and the City. All exterior colors and finished material surface colors are subject to City approval.

(b) Color Consistency

Color scheme(s) should help to visually tie all parts of building massing(s) together. Monolithic or singular color schemes and appearances are discouraged, but monochromatic color palettes featuring shade variations are acceptable. Typically, the color that is used in the storefront area may be repeated in the upper story windows or to accent a roofline element/cornice area. Colors used at the front façade should be utilized on the sides and rear of buildings.

6. Landscaping-(Also covered in Landscape Section) **Plant Material Selection**

Plant materials shall be chosen which are indigenous, moderately fast growing and require low maintenance. All planted surfaces, whether in ground or in raised landscape beds shall be fully irrigated and maintained in good working order. The landscape design shall incorporate the total development site, be in context with adjacent users, and consist of a palette of plants with year round appeal which might include annuals, perennials, shrubs and trees. Landscaping provisions to be cross referenced with City requirements in Chapter 1280, Landscaping.

(a) Surface Parking Area Screening

Parking areas and driveways shall be screened from adjacent public and private streets and open spaces to a height of 30 inches above the finished parking surface. Taller shrubs and low-profile ornamental trees are permitted in areas where screening of outboard utility or service areas is required.

(b) Surface Parking Area Landscape Area Requirements

A minimum of eight percent (8%) of any one total interior surface parking area shall be landscaped with planted islands or landscape island beds for every linear run of no more than 16 parking spaces. Exceptions to this rule are if the entire run is no more than 15 spaces, or if a landscaped cross-surface walk is aligned within or part of a larger landscape island or row, or if an irregularly shaped island creates a naturally larger landscape bed area where the edges may be more low plantings, and the interior may be more lawn in season. A minimum of two (2) trees, of no less than 2" caliper with lawn shall be planted on all interior islands within any row of surface parking area. The use of all mulch islands shall be prohibited.

(c) Exemptions

Parking area landscape requirements shall be waived if the surface parking area is not, nor will ever conceivably be, visible from a public right-of-way, or is considered a temporary use as determined by the Master Developer.

(d) **Planting Island Requirements**

Planted islands shall be at least 9' in width (face-of-curb-to face-of-curb) and the length of the adjacent parking space with a pervious surface area adequate for proper root aeration and expansion. Creative alternatives are subject to review and approval of the Master Developer.

(e) **Screening Materials**

Where plants are used as screening it shall be opaque year round. Plants shall be of a height and density so as to provide the full desired effect within three (3) growing seasons.

(f) **Street Trees**

All streets shall be planted with regularly spaced shade trees, with a minimum 2" caliper. Trees shall be placed and selected in consultation with the Master Developer.

(g) **Street Furniture**

'Street furniture/furnishings' are key features of public spaces that can greatly facilitate in creating vibrantly-used pedestrian spaces along all streetscapes, open spaces and connecting outdoor areas. These features include such basic items as benches, trash receptacles, bollards, drinking fountains, wayfinding and street signs.

Other elements include game areas and surfaces, moveable tables, chairs, outdoor lounge seating groupings, picnic benches and tables, market umbrellas, outdoor fireplaces, water features, children's play areas, sculpture



Parking screened with a continuous evergreen hedge.



Street trees in a tree lawn between the curb and sidewalk.



A variety of furnishings activate the street and provide necessary "creature comforts".

and other durable, exterior public art.

Street furniture shall be chosen and placed in consultation with the Master Developer and the City, and shall be located within agreed zones to maintain a clear pedestrian path.

Street furniture shall be made of materials consistent with extended public use. These materials include painted or powder-coated metal with a matte finish; wood in either a stained, painted or treated finish; outdoor grade fabrics and canvas, and in certain instances, high-impact, composite or resin-based materials that mimic natural finishes that are weather and fade resistant.

All street furniture and public features shall always be maintained in good working order and appearance by their respective owner(s), and repaired or replaced as necessary.

Street furniture shall be consistent in material, color and style along both sides of any street street in public areas fronting onto other developments. Within any one development parcel, a developer may utilize differing selections, provided they are part of an overall design scheme, placed appropriately and upholds the pedestrian-friendly spirit of The Easton Farm. All street furniture elements, either new or replacement that vary in color, material, number, placement or size from prior approved plan(s) are subject to Master Developer and approval.

- (h) **Registered Professional Required**
Each applicant shall utilize a registered landscape architect who shall work with



Games can be provided to activate the street, and should be coordinated with seating.



Pedestrian-scale lighting. Cut-off style fixtures reduce glare and light pollution.



Taller fixtures for use in vehicular applications, but still with pedestrian detailing consistent with the setting.

the Master Developer on all landscape design, landscape plans and/or alterations.

(i) **Maintenance**

The Master Developer may supplement these Architectural Guidelines by adopting, through rules and regulations, more specific Landscaping Standards that will apply to this Property.

7. Outdoor Lighting

Outdoor Lighting.

All outdoor lighting of buildings, surface parking areas, service zones, or any non-illuminated, surface mounted project signage or tenant identity signage, shall be directed so as to prevent glare on adjacent properties and streets and to shield the lighting from residences, to the maximum extent feasible.

All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of the urban village theme. Exterior lighting to be cross referenced with City requirements in Chapter 1273, Exterior Lighting.

Street Lighting.

Consistent and commercial grade fixtures for street and pedestrian lighting shall be provided on all streets, sidewalks and pedestrian pathways, including public gathering/event spaces, both public and private within the Property. Street and pedestrian poles shall be located at all intersections and along sidewalks at intervals consistent with the urban village design character.

Note: All lighting fixtures, light levels, placement and scale needs to be coordinated with any existing adjacent or abutting streetscape, developed

property, or proposed project to avoid redundant fixtures and 'over-lit' conditions along these interfaces.

Street lighting shall be scaled to the pedestrian, with pedestrian street support posts no less than 12' high to underside of actual fixture, which shall be the recommended minimum height, including 30" minimum bases and tapered support posts of no less than 6" diameter at the base.

Pedestrian light poles are to be featured within all community gathering space areas, and shall feature exterior outlets in the base for seasonal and functional needs. Street light fixtures shall be painted or powder coated metal, with a matte finish, consistent in color and style on both sides of any street and chosen in consultation with the Master Developer and the City. An alternative for public spaces, gathering areas, and pedestrian pathways are low-profile LED, internally lit bollards, placed at intervals to fully illuminate all pedestrian surfaces, or concealed, undermount lighting that surface illuminates or 'washes' pedestrian walk or gathering areas.

A street/pedestrian lighting plan, showcasing a fixture schedule, light levels, and placement within the Property, and showing any adjacent existing fixture(s) and placement, shall be submitted to the Master Developer and the City for approval.

(a) **Decorative Accent/Architectural Lighting**

All decorative accent/architectural lighting, meant to illuminate a building feature or surface(s), as well as any surface mounted, non-illuminated signage that is a permanent feature of the overall building or site design, shall also be submitted to the Master Developer and the City for review and approval.

8. Outdoor Storage

(a) **Screening.**

Outside storage of merchandise, raw material, finished products and/ or equipment must be visually screened from any publicly visible right-of-way. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal.

Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character. Exception: if the service bay is fully screened from any public view, then these requirements may be waived, but only upon review and approval of the Master Developer and the City.

Initial site planning should work to negate or minimize views from any public areas or such large bays wherever possible. Masonry, brick, stone, decorative block, composite materials, pressure treated wood and/or painted or powder-coated metal are all

acceptable materials to screen attached or free-standing service areas and bays.

Storage facilities shall feature walls that reflect the surrounding architectural character, tall-growth landscaping, and enclosure doors featuring decorative fencing and opaque metal screen backing.

For uses that require more than occasional access, and are outboard or freestanding from the main building area, three sides shall be screened, but screened areas must not be visible from the public right-of-way, and shall feature unlocked, decorative and opaque doors to one side for clear access. Chain-link fencing with inserted slats, or plastic-coated walls and/ or support wood posts, are not permitted.

(b) **Storage/Screened Service Area Design.**

Any required outdoor storage building(s) or structures shall be constructed in the same style/materials and colors as their surrounding buildings or primary project character. The overall concept is that they should not look 'temporary'.

(c) **Visibility from Public Right-of-Way.**

Where possible, locate any outdoor storage structure away from the public right-of-way or view behind the main building(s).

(d) **Accessory Structures.**

Accessory Structures may contain auto and accessory vehicle parking, developer/landlord/tenant or resident storage, building or amenity functions/uses, general maintenance storage, or trash/recycling bin enclosures. Prefabricated shed structures are not permitted.

9. Vehicular and Pedestrian Circulation.

(a) **Safety.**

The safe and functional movement of both vehicles and pedestrians, on and off-site, shall be provided as the primary consideration in designing transportation networks within the Property, and all site plans shall be crafted to minimize such conflicts wherever possible.

(b) **Pedestrian Circulation.**

Pedestrian circulation is highly encouraged, and can be accomplished via sidewalks, crosswalks, cross-surface lot walkways, community gathering spaces, plazas, terraces, seating and amenity zones, hard-surface paths, bike paths, and permeable pathway surfaces. These varying pathways should be crafted to connect between all buildings, and within and outboard of specific development parcels. Early site planning should make this a core design consideration within and along the edges of the Property.

(c) **Sidewalks.**

Where appropriate, sidewalks shall be provided on each side of every public and or semi-private street or drive, and shall be intentionally developed to



Provide sidewalks on both sides of each street and demarcate crosswalks. Use of curb-extensions shortens crossing distances.



Sidewalk on a low-volume residential frontage with street trees in a tree-lawn.



Sidewalks along a high volume street with parking spaces should allow for street trees and/or landscape beds at intervals for optimal pedestrian access.



Sidewalks in an urban setting. The minimum width should be Unrestricted with furnishings.

interconnect different land use areas and open spaces. Sidewalks should be no less than 6' wide.

(d) **Sidewalks and Buildings.**

Pedestrian connections, including crosswalks, sidewalks and pathways shall be provided along any surrounding streets/driveways/drive isles, along the front, side or back of any building or group of structures, on all specified and dedicated streetscapes, both public and private.

(e) **Sidewalk Width.**

Sidewalks along the primary or front facades of buildings in the height density Multiple Use Retail/Commercial areas shall be an average of no less than twelve feet (12') back of curb to building face, incorporating a dedicated landscape/tree well area at the curb line of no less than six ft. x five ft. (6'x5'), and at intervals of every other parallel space (46' center to center) and approximately every fourth head-in space (42' center to center). Sidewalks at sides and rear of buildings may be of lesser width, but in no case less than six feet (6') wide.

Sidewalk and pathway widths within other areas are to be determined by Master Developer prior to City review for each application as submitted, but in no case are to be less than five feet (5') wide.

(f) **Open Space/Gathering Spaces**

Usable and functional open spaces and programmable event spaces are required as part of the multiple use areas, and adjacent neighborhoods. This definition may also include/allow for landscaped traffic islands, pedestrian plazas, arrival courts, landscaped sidewalk/pathway areas, game areas, public amenity features such as water features, fireplaces and seating areas, general green space, playgrounds, tot lots, pocket parks and other recreational uses. Open spaces between buildings that create landscaped courtyards or walkways to connect rear parking areas, or to adjacent neighborhoods, or other nearby anchors are strongly encouraged, and should be 'programmed' to encourage pedestrian activity, seating areas and amenities.



Parking along surrounding arterial roadways shall require setbacks to allow for landscape buffers.



Buildings should be sited to allow for screening when parking is located to the side or rear of the structure where viable.

10. Off-Street Parking Requirements.

(a) **Size of parking spaces and aisles**

Parking spaces and drive aisles shall be sized in a manner consistent with the following chart, unless specifically allowed otherwise by the City.

PARKING DIMENSIONS					
ANGLE (DEGREES)	0	30	45	60	90
Stall Width	8'	9'	9'	9'	9'
Stall Length	23'	18'	18'	18'	18'
Stall Length Perpendicular to Aisle	8'	17'	19'	20'	18'
Aisle Width, One Way	12'	12'	12'	18'	24'
Aisle Width, Two Way	20'	20'	20'	22'	24'
Total Width, One Stall, One-Way Aisle	20'	29'	31'	38'	42'
Total Width, Two Stalls, One-Way Aisle	28'	46'	50'	58'	60'
Total Width, One Stall, Two-Way Aisle	28'	37'	39'	42'	42'
Total Width, Two Stalls, Two-Way Aisle	36'	54'	58'	62'	60'

(b) The number of parking spaces, which are required in each usage classification, are as follows:

- Easton Farm generally (Including all uses allowed except as set forth below) - one (1) for each 250 square feet of lease able floor space, except 1.25 spaces per dwelling unit (4/1,000).
- Freestanding Restaurants/Bars – Eight (8) spaces per each 1000 square feet of gross leasable floor area.
- Large Format Retail – A minimum of three (3) spaces for each 1000 square feet of gross leasable floor area (3/1,000) is permitted, up to a maximum of no more than four and a half (4.5) spaces per 1000 square feet of gross leasable floor area. The Master Developer and City will assist any development entity, and any/all end user retail tenant(s) to facilitate the potential for cross-parking usage with other complementary services/attractions for all large surface parking areas. This effort should be encouraged in early site planning phases.
- Office - a minimum of one (1) space for every 250 square feet of gross leasable floor space per BOMA standard lease calculations. However for medical office uses, the ratio of parking spaces shall be one (1) space for every 200 square feet of gross leasable floor area on single use lots.

- Multi-Family Residential - One and one-quarter (1.25) spaces per dwelling unit, except single family attached dwellings: Two (2) spaces per dwelling unit.
- Public and institutional - Shall not utilize shared parking, and all off- street parking shall be located in rear yard areas. The “Parking Area” for Institutional Uses shall be a minimum of one (1) space for every 250 square feet of internally occupied floor space. However, the ratio of parking spaces actually constructed can be reduced to three (3) spaces for every 1,000 square feet of occupied floor space, provided the balance of the “Parking Area” is set aside as green space or permeable pavers (lawn or landscaping) in designs approved by the City.

(c) **Shared Parking.**

Where permissible, shared-parking ratios may be allowed for certain developments/uses. Shared parking arrangements are meant to encourage a more “round the clock” and effective usage of any parking facility, therefore generating smaller overall surface parking area(s), while avoiding the creation of expansive, underutilized lots.

The City may consider the acceptance of a formula that can demonstrate certain combinations of mixed-uses and adjacent developments that will yield increased overall parking area utilization, especially throughout any given twenty-four hour period. Such formulas shall be consistent with the recommendations and current standards recognized by the *Urban Land Institute* and/or the guidelines from the *Congress for New Urbanism*.

(d) **Off-Street Surface Parking Lot Placement.**

Any off-street, surface parking areas within Easton Farm shall be set back a no less than fifteen feet (15') or no more

than seventy-five feet (75') from any existing, surrounding arterial, including along the property line adjacent to State Route 741 and along the length of Easton Way. The City shall have discretion to make this requirement applicable elsewhere on any subsequent prominent frontages, such as along key pedestrian connections, within significant vistas and within important public spaces. Surface parking lots may be built up to adjacent property lines on all other street frontages within the Property and as established in subsequent approved site plan areas that anticipate connecting adjacent development at a future date. Placement of surface parking areas should be related to both the building type served and the adjacent buildings, connecting streetscapes and uses, which may require the lot to be screened by building or landscaping from surrounding streets and/or pedestrian pathways.

(e) **Structured Parking Lot Placement.**

Any parking structure(s) shall be set back a minimum of 60 feet from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot frontage, unless the parking structure is sited within the multi-family residential area in the southeast corner of the site separate from the property line by two retention ponds including fountains/aerators of the parcels adjacent to the southern property line. The buildings surrounding the parking structure shall be no less than two stories in height.

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frontage, unless the parking structure is sited within the multi-family residential area in the southeast corner of the site separate from the property line by two retention ponds including fountains/aerators of the parcels adjacent to the southern property line. The buildings surrounding the parking structure shall be no less than two stories in height.

11. Drainage and Water Detention

- (a) **Detention as an Amenity.**
Storm retention/detention ponds are proposed within the southeast and northwest corners of the site, between the proposed neighborhood and existing properties between and along the southern boundary and existing properties on that side and along State Route 741 and adjacent to the existing farmstead bordering a new internal neighborhood.
- (b) **Impact on Surrounding Properties**
The water features shall be secured from accidental access through the use of in by natural elements such as landscaping, rocks, boulders, and a low decorative rail or ornamental fence, or as otherwise approved by the Master Developer and the City.

12. Signage/Environmental Graphics/Tenant Signs.

- (a) **Project Signage/Brand.**
The Master Developer will prepare and submit to the City an overall project identity graphic/font/logo as part of an overall 'way finding' signage program. This will be physically used on entry walls, street signs, directories, and in subtle other applications where a logo or font script will help to establish an overall brand for the Easton Farm development.

This will establish the parameters for execution of all project signage, including size, application, color, use, materials and fabrication, along with potential uses and styling for all marketing and promotional potentials.

The project name will also be a 'tag line,' to be placed at the end of individual projects within the development to help both promote the Easton Farm and to establish a sense of place. For example, a multi family development hypothetically name 'The Lofts' will be promoted at "The Lofts at Easton Farm." This would apply to all larger scale developments that require their own address.

The Master Developer retains full control of the use and promotion of the overall Easton Farm project branding, logo, identity and any entity that uses such aspects in a co-branded promotion or application.

- (b) **Individual Project and/or Tenant Sign Criteria.**

At present, the Master Developer believes that, given the fluid nature of the various components and end users, it would be difficult and limiting to the creative potential to establish exacting signage guidelines this early in the process.

Instead, as an individual development begins its design process, and the building uses/tenants are established, along with the resulting architectural character, massing and materials, the Master Developer will require and work with the developer(s) to craft their own site-specific signage criteria, and to assist potential tenants with tailoring creative, stylish and well-executed signage and graphics that add another dimension of quality to the overall development

This allows each individual project to establish their unique brand within the Easton Farm development, with the signage being a 'signature.'

The Master Developer will require all individual developments to submit a project/tenant signage criteria for review, comment and required adjustment within a timeline to be established early in the development process. These individual signage/tenant criteria(s) will cover all aspects including, but not limited to, the placement, scale, application, materials, colors, fabrication, and illumination of all project identity, tenant signage, branding and way finding elements. This process allows for the Development to accommodate ongoing shifts in style, application and fabrication technology.

In all instances, the Master Developer and City retain full approval rights for all signage and graphics, as well as any proposed alterations or adjustments to any individual project/tenant signage criteria or resulting signage.

- (c) **Comprehensive Sign Guidelines.** When the Development is at a point where end users have been identified and sufficient project development has occurred that Comprehensive Sign Guidelines may be promulgated, Master Developer shall prepare and submit to the City for its approval proposed Comprehensive sign Guidelines. The City shall consider such guidelines in the form of rules and regulations supplemental to this text.

03

RESIDENTIAL

The purpose of this Section is to allow for flexibility when the result will be residential development that is compatible with nearby walkable town/village center/urban village.

1. Permitted Uses

- (a) single-family detached dwellings
- (b) single-family attached dwellings (town homes)
- (c) multi-family dwellings
- (d) apartments
- (e) condominiums
- (f) loft-style residential

- (g) assisted or independent living residences
- (h) senior housing
- (i) accessory structure

2. Orientation.

Residential area building entrances shall be oriented toward the street, primary right of way, open areas or courtyard unless deviation is appropriate, per the discretion of the Master Developer. Buildings located on an intersection shall have consistent architectural style and detailing on both street-fronting elevations.



Residential building entrances should be oriented toward the street, primary right-of-way...



...open areas or courtyard.

3. Signage

All residential project signage may be placed, either bracketing the entry into, or in the middle of the right of way, into any new entrance. It may also be placed on the structure, above or to the side of a dedicated entrance. No one development can have more than two such entrances. Signs/identity may also be placed in landscaped islands, on each side of an entry, along existing boulevards per the discretion of the Master Developer and the City.

SINGLE FAMILY LOTS									
	LOT WIDTH (MIN.)	LOT DEPTH (MIN.)	GARAGE LOADING	FRONT YARD SETBACK (MIN.)	SIDE YARD SETBACK (MIN. EA. SIDE)	REAR YARD SETBACK (MIN.)	MAXIMUM OCCUPIED HEIGHT	MINIMUM OCCUPIED HEIGHT	MINIMUM DWELLING SIZE (MIN.)
Village Center Lots	31'	114'	Service way	5'	3'	5' ²	2 stories	1 story	1800 SF
Neighborhood Lane Lots	50'	125'	Service way	5'	5'	5' ²	2 stories	1 story	2400 SF
Neighborhood Edge Lots	60'- 110'	125'	Front	25'	5'	20'	2 stories	1 story	3000 SF

1. **Setback** to wall of the primary building massing; no allowable encroachment.
2. **Setback** from service way right-of-way or easement line to face of garage.

4. Site Development.

(a) Maximum Block Size.

The maximum length of any block shall not exceed 600 feet without an intersecting street, service drive, connecting pedestrian greenway or adjoining open space.

(b) Service ways.

Service ways shall be incorporated in the residential neighborhoods to provide access to parking and service areas behind rows of town house-style units. Service way locations and dimensions are not fixed but shall be designed to accommodate the service way's purpose, preferably no less than 20' from building edge to building edge across any one service way way to facilitate proper

backing out of any one garage space.

Any required additional curb cuts shall be added only with the permission of the City. Service ways may also be incorporated into parking lots as drive aisles and fire lanes.

(c) Lot Coverage.

Multi-family dwellings may not cover more than eighty percent (80%) of an overall parcel area. This does not include any outboard freestanding garage parking or covered spaces/areas.

(d) Building Fronts and Backs.

The front or side of every building must face the street, right of way or courtyard. Rear facing buildings, overhead doors and service entries are prohibited on street façades.

- (e) Streets having single family homes with garage accessed off the frontage street shall be constructed with rolled curb and gutter.

5. **Residential Building Materials.**

The following materials shall be permitted materials for use in residential buildings:

- (a) Brick in standard sizes.
- (b) Stone: natural, cast or cultured
- (c) Siding shall be wood, simulated wood, or vinyl (minimum thickness - .046"), or fiber-cement siding.
- (d) Stucco, EIFS in standard finishes.
- (e) Columns, cornices, and similar elements should be natural or simulated natural materials such as wood, steel or stone.

6. **Residential Roof Materials:**

- (a) Natural or simulated slate or tile.
- (b) Wood shakes.
- (c) Dimensional shingles (30 year).
- (d) Standing seam panels (20 yr. Paint warranty, minimum).
- (e) Copper
- (f) Single-ply membrane roofs allowed when hidden from street level view.

7. **Parking Requirements.**

The intent of these parking ratios is to encourage a balance between developing a desirable, pedestrian oriented development and necessary car storage for both short and long-term use. The goal is to construct neither more nor less parking than is needed, and where viable, to overlap the timeline of the various uses to achieve a shared time frame aspect.

- (a) **Minimum Residential Space Requirements.**
The minimum parking spaces in



Service ways shall be used to provide parking and service access to townhomes and smaller lots.

residential areas are as follows: 1.25 space per dwelling unit at multi-family residential, and 2 spaces per dwelling for single-family dwellings.

- (b) **On-Street & Structured Parking.**
On-street and/or structured parking is permitted and encouraged for all site plans for any residential neighborhood within Easton Farm. Parking need not be contiguous with the building(s) or the use it serves.
- (c) **Shared parking solutions.**
Shared parking solutions are encouraged by the Master Developer and the City. Each development applicant shall provide a parking analysis justifying any proposed shared parking solution, per guidelines developed by the Urban Land Institute.

8. **Access to Off-Street Parking.**

- (a) **Access from Service ways. No Parking Permitted.**
Service ways shall be the primary source of access to all off-street or individual unit garage parking. (Parking along service ways, if permissible per the individual development site plan, may be head-in, diagonal or parallel and may be made of a permeable block surface

material.)

- (b) Connection of Service ways to Adjacent Properties.

Service ways may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the service way shall be maintained. Access along such service ways between differing ownership parcels or parking areas is also encouraged.

- (c) Corner lots.

Corner lots that have both rear and side access shall access parking through the rear.

- (d) Garage door(s).

Garage doors shall not exceed 16 feet in width.

9. Parking Lot Landscaping Requirements.

- (a) Landscape Island/Beds.

Parking lot landscape island/beds of at least eight feet (8') in width shall be provided between parking aisles of either head-in or diagonal parking. The objective is to create a continuous shade canopy. A diversity of tree species throughout Easton Farm is encouraged. To minimize water consumption, the use of low-water vegetative ground cover other than lawn is encouraged, unless the lawn is part of a public open space or a foreground landscape feature. Plant material and trees should be of native species that are climate and drought tolerant.

10. General Ancillary Restrictions.

- (a) Per section 8(a), screening methods prohibited include the following materials: chain link, barbed wire, or plain wire mesh, or "fortress style" wood fencing. The following utility and functional needs shall be properly screened and concealed from public view, from any direction, whether facing

a public street, walkway, or side street, by either a planting screen, wall device or incorporated in the base building architecture:

- Temporary window and/or Wall Air Conditioners/HVAC units, except that for model homes such units
- All Utility Metering devices
- Air Conditioning Compressors;
- Irrigation sheds
- Pool maintenance facilities and pumps.

- (b) The following shall be located in private open spaces, courtyards or to the side or rear private outdoor space of any attached dwelling unit:

- Permanent fixed barbecues
- Antennas if concealed
- To the maximum extent permitted by law, satellite dish antennas greater than 18" in diameter.

For any residential units over commercial space, to the maximum extent permitted by law, a satellite dish needs to be concealed either on roof surfaces or setbacks, well away from any public streetscape vistas, public parking areas and/or walkways.

- c) The following decorative and/or other elements are prohibited:

- Plastic shutters, bris soleil shutters
- Clotheslines
- Clothes Drying Yards
- Reflective and/or bronze-tint glass; Plastic or PVC roof files; Backlit awnings
- Awnings (awnings shall also be prohibited on any front and side elevation), except that for model homes, awnings shall be permitted until the home is sold for use as a dwelling.
- Fences made of chain link, barbed wire, or plain wire mesh, or rough- textured/timber or

(a) Multifamily



(b) Townhomes



(c) Village Center Lots



(d) Neighborhood Lane Lots



(e) Neighborhood Edge Lots



(f) Northern Transition Lots



(g) Amenity Areas



Service way example



Service way example

LANDSCAPE AND FEATURE PARK GUIDELINES

1.) Introduction

The Easton Farm's design character will be enhanced by a series of crafted landscaped parks and open spaces that link and define the various neighborhoods.

This component is a key signature of what will make this a landmark.

Note; In the spirit of making the development a one-of-a-kind community, if any development partner would prefer to creatively deviate from these guidelines, or add landscape or amenity features not covered in the following sections, the Master Developer reserves the right to review and allow for such changes and enhancements that exceed these requirements.

There are three key components to the landscape;

- A 'Central Green' that forms the 'front door' of The Easton Farm in the mixed-use commercial district.
- A 'Linear Park' that is the open-space 'spine' of the project that links both the various neighborhoods within The Easton Farm, and connects through the site to Springboro's existing North Park

on the south side of the site to Gardner Park on the north.

- A series of street trees, neighborhood parks, open spaces and pathways that interconnects the various neighborhoods, giving them a 'pedestrian-centric' feel.

2.) Central Green

The Central Green is the signature open space at the center The Easton Farm's commercial district.

It is at the confluence of the three main public streets in the development and is framed by the larger structures within the mixed-use neighborhood.

The Central Green is made up of two asymmetrical, angular park spaces that are bifurcated by Noel Drive in the center.

The larger of these two open spaces at is at the corner of Easton Farm Boulevard and Anna Drive, and is framed by the larger structures within the community. It is made up of the following components. The second one to the northwest is more triangular and modest in scale and is perceived as more of

a passive space. It is expected that this park is fully irrigated and up to the sidewalks so that it can be easily maintained.

Features and Details

- A series of curving and linear concrete sidewalks, between 5' and 10' feet in width.
- Park entrances that utilize key amenity pieces, with a wider hardscape surface in a variety of potential materials such as colored and pattern-stamped concrete, pavers, pea gravel or composite deck where viable.
- Several hundred feet of low walls that function as potential landscape retaining with a partial 'seat wall' at key points facing onto the sidewalk side. Wall surfaces are to be stone veneer or patterned block with a precast cap on top of no less than 12" wide (with skateboard stops on certain sections).
- Clusters of flowering landscape beds, hedge rows at key intersections, primarily along the edge of the park and at the entries.
- Amenities such as freestanding, open-air pavilion(s), a signature fountain/water feature, a 'giant checkerboard' with moveable chess and checker pieces, fixed art and/ or sculpture, fixed and/ or moveable bollards at key entries and along the zero-curb of Noel Drive, benches, trash receptacles, bike racks and moveable tables and chairs along section of a low seat wall, and a series of flagpoles leading up to the point of the triangular side of the park.
- Subtle lighting that includes pedestrian light poles, illuminated bollards, and up-lighting in trees in landscape beds along the street edges and at key entries into the park and under-edge lighting along some of the linear walls where viable. Also, all landscape beds should contain outlets to allow for season lighting,

maintenance use and event functions.

The Central Green is bifurcated by Noel Drive, which will be a zero-curb surface area defined by pavers and/or colored and stamped concrete with a vehicular travel zone framed by removable bollards that can be removed and relocated to cap the ends of the street, and allow for seasonal events within a combined park scape.

Trees and landscape beds will be clustered to define entries into the park and set in rows to define the edges of the curving and linear walk zones. These are a mix of trees well-suited to the SW Ohio climate and are primarily 2" caliper, interspersed with larger 4" caliper at intersecting areas or to define a park entry, and to enhance the variety of the growth and character of the Central Green as time goes on.

Trees stands should be tightly spaced to give the park an enclosed feeling along the edges and entries.

Amenities such as the pavilions, fountain/water feature, benches and chairs, checkerboard, flagpoles, trash receptacles, bike racks and pedestrian light poles are to be placed to the edges of the park space, and the curved and linear walks and at the entries off the corners facing Easton Farm Boulevard and Anna Drive, with the center of the 'Green' defined more as a passive open lawn space that can contain a series of programmed community events as necessary.

3.) Linear Park

The Linear Park is the spine of The Easton Farm development.

It is a predominantly passive, open space feature, which is a minimum of thirty-five (35') wide depending on location, that connects and interconnects The Easton Farm

neighborhoods with Springboro's North Park and Gardner Park that brackets the development.

The Linear Park was designed to be an almost uninterrupted walking or biking experience, with minimal vehicular crossings and connects to other open spaces and parks within The Easton Farm community.

The park is bordered on one side by predominantly single family home sites whose front doors and/or porches are designed to face onto the park, and Crockett Crossing which will feature defined parallel parking spaces along the sidewalk edge that adds a sense of enclosure from the street traffic.

Features and Details

There is a primary main pedestrian and bike trail through the linear park, that winds and meanders essentially through the central portion of the green space, with its sweeping curves allowing for significant portions of lawn or landscaping to allow for play and gathering spaces. At key intersections, the trail will connect to corners or crossings and intersect with the sidewalk that runs along the edge of Crockett Crossing. The trail is designed to be eight feet (8') in width and can accommodate both pedestrian and bike traffic. It will be scored concrete within the residential community, including sections that cross from The Easton Farm community property and into North and Gardner Parks.

The sidewalk bordering and connecting front doors of the row of home sites along the inside section of the Linear Park will be connected to the main trail at key points and intersections where appropriate.

Trees placement is to be patterned to allow for growth clusters that will provide shade at main points along its run. The trees are mostly 2" caliper and interspersed with 4" caliper where appropriate to allow for a more casual park feel as time goes on.

Amenities are widely interspersed along the spine of the park and mostly feature benches at key intersections or crossings to provide rest areas. Also included are pedestrian scale wayfinding signage at key points, and bike racks spaced at every 1200' linear feet, and placed to provide their highest use and best use and an open-air bike repair stand, placed off the main trail closest to either Gardner or North Park.

At key corners or intersections, planter beds of hedges, low plantings and flower beds will frame these areas. These spaces will feature wider hardscape surfaces to allow for benches, lighting, wayfinding and other amenities as appropriate and these should be placed off to the side of the main path of travel along the trail to not impede pedestrian or bike travel, and the taller, non-seating features optimally placed within landscape beds to provide protection and avoid damage to the bases. These landscape beds areas are to be irrigated to maintain their growth and maintenance through the growing seasons.

Lighting is provided by a series of pedestrian light poles, spaced to provide illumination in more open areas along the park, and illuminated bollards where the trail and walks need illumination, but to avoid glare or over lighting in areas where street lighting is more a dominant feature. They should always be placed within landscape beds and/ or in lawn and green spaces but close enough to the edge of the

trail or path to provide proper illumination. All amenities should all be coordinated with tree and landscape placement to enhance all areas and avoid misplacement or impede sightlines. Low planting and landscape should also be coordinated and placed to provide enclosure and screening of utility and junction boxes as necessary whose placement may be necessary along some portions of the Linear Park route.

4.) Street Trees, Landscape and Hardscape Features.

Street trees within the development are a key feature of the character of the neighborhoods, and will over time create a canopy of shade along the sidewalks and fronting the structures and homes.

In the mixed-use neighborhood, and along the main pedestrian streetscapes along Easton Farm Boulevard, Anna Drive, Crockett Crossing and Noel Drive, street trees of 2" to 4" caliper should be placed no less than every 20'-30' or depending on where it best aligns with building pilasters and/or feature paving areas at key intersections or mid-block crossings. All trees should be in either irrigated planter beds of low landscaping of no less than 6'x6' or 6'x12' along Easton Farm Boulevard and Anna Drive, set within the opening of a 6'x6' metal, decorative tree grate at sidewalk level, or set within a grass landscape strip bordering streets or at bump-out intersections.

Along the primary streets in the commercial zones, planter beds will feature a 6" curb to avoid winter salt intrusion and erosion. All planter beds and street tree placement

should be coordinated to not conflict with pedestrian light poles or building entrances that face onto that walk.

Planter beds along the main commercial streets, passages and building entries where pedestrian activity is expected to be highest will include up-lighting for the trees and electrical outlets for season and maintenance use. They also should be wired to allow for low-profile speaker systems to be set within and screened by landscaping, but only within the commercial district itself.

Street corners where the curb lines are extended outward should include special paving zones of patterned, stamped and/or colored concrete, pavers or other hardscape surfaces for high pedestrian use. These areas will often be wider than the main walk and will feature such amenities as seating, benches, trash receptacles, landscape set in moveable pots and planters, wayfinding signage and potential space for outdoor dining tied to an adjacent food service tenant.

Landscape edges and beds will feature defined additional 2" (min) caliper trees, shrubs, hedge rows and flowering beds, and may contain pedestrian street light poles and/ or illuminated bollards.

All freestanding pedestrian light poles within the mixed-use district along the primary commercial streets shall include electrical outlets in the base.

All pedestrian street crossings within the mixed-use commercial district and at key corner and mid-block crossings connecting to the Linear Park and residential neighborhood parks will be made of stamped and colored asphalt

that compliments the sidewalk patterns and colors. The walk will vary in width depending on the location and expected use, but should be no less than 6' wide. A light color border strip of no less than one foot should be used to define the central pattern within each crossing.

Pedestrian sidewalks along the main commercial addresses along Easton Farm Boulevard, Anna Drive, Noel Drive and Crockett Crossing will be no less than 12' and optimally 15'. The first two feet closest to any building will require a colored and/or stamped concrete 'transfer' zone and should be aligned to cleanly accommodate building conditions, and set at elevation with the finished sidewalk. This is to allow for a visually clean, defined sidewalk path just beyond any potential building pilaster bump-outs and inset storefronts or windows, and to the landscape beds and curbs on the other side.

Landscaping in and within parking lots and will require two, 2" (min) caliper trees within each end cap island, and the spacing of one, 2" caliper tree every 25' along drives cross-site streets within these areas. All head-in or angle-in parking rows against a landscape edge or facing a linear building façade should contain a bump-out landscape bed every 16 spaces or less, and centered along that row if more than 16 spaces, but a number less than 32 spaces. All parallel spaces should have a landscape bump out every 6 spaces.

Street trees within residential neighborhoods are conditional to the home types. All street trees that front any residential lot with service way access and no front driveways should be placed at intervals of one at each individual lot line lot of 35' wide or less, and groups of 2, spaced at 20 feet apart, of any lot more than 45' wide, with the two

trees centered on the dividing lot line. If the lot is more 'pie-shaped' where the front is dimension is wider due to a convex curve, and additional tree will be required for any lot wider than sixty feet.

For lots with street-accessed driveways and 40' wide or smaller, two trees bracketing the drive way shall be placed no less than 10' away from the apron, unless the apron is set close to a neighboring one and less than 20' between each.

For lots with a street-accessed driveway and wider than 50' there should be 2 trees along the street edge, spaced no less than 25' apart, and no less than 10' from the apron of the driveway, and an additional street tree will be required for lots wider than 85'.

All street trees will need to be coordinated with lighting pole placement, and where in conflict, a street tree should be moved to no less than 15' away from such lighting, provided it's not in conflict with the spacing of other trees along that street edge, and smaller than the dimensions required for proper growth.

5.) Neighborhood Parks

There are two defined neighborhood parks within the single-family residential neighborhoods, and are expected to be a mix of passive and active play areas.

These should contain rows or clusters of trees, or set along the edge of walkways and/ or to frame along a fronting street, or set within irrigated planting beds, with trees provided at a ratio of one for every 1000' sq. ft. of open space within each park itself.

Each park will potentially feature one or more of the following amenities and should be placed for highest and best use and to not impede pedestrian flow.

- Children's play areas with fixed jungle gyms and other play devices, and set on soft impact play surfaces.
- Benches, and other fixed seating
- Game and/play courts.
- Passive green lawns and open spaces
- Pedestrian light poles and/or illuminated bollards
- Wayfinding signage
- Fixed pavilions, shelters, trellises and/or gazebos
- Community mail box pavilion(s)



(a) Landscape Amenities



(b) Streetscapes



DEFINITIONS

The following words when used in this Declaration or any supplement hereto (unless the context shall prohibit) shall have the following meaning:

1. "ACCESSORY STRUCTURE" A building, shed, covering, or vertical design element which is subordinate and/ or supportive to a main or primary building or series of buildings. Such structures are often freestanding but may be attached if the use requires, and are often purely functional and/ or decorative, and in architectural harmony with its primary building(s). Accessory structures are predominantly one story and may be habitable and/ or climate-controlled as use permits.
2. "ARCHITECTURAL GUIDELINES" shall mean the written architectural standards set forth in this Declaration for development of the Property.
3. "ASSOCIATION" shall mean the owners association formed for the Property as provided in Article Six below.
4. "CITY" shall mean the City of Springboro, Ohio
5. "CONCEPTUAL DEVELOPMENT PLAN" shall mean the Conceptual Development Plan for the Property and the improvements to be constructed thereon.
6. "DECLARATION" shall mean this Declaration of Site Development and Design Standards and shall include without limitation all restrictions, covenants, conditions and agreements referred to herein.
7. "DEVELOPER" see Master Developer.
8. "DEVELOPMENT PLANS" shall mean the plans and specifications for the use of any Lot as set forth in this Declaration.
9. "FENESTRATION" shall mean openings in a building elevation, such as windows and doors.
10. "HOME OCCUPATION" shall mean a home-based business restricted to the owner or tenant of any residential dwelling unit and up to two employees, and shall not include noxious or disruptive functions, including the disruption of parking for neighboring residents. Home occupation uses are not limited to accessory structures.
11. "IMPERVIOUS SURFACE" shall mean any material that substantially reduces or prevents the infiltration of storm water into previously undeveloped land. Impervious

surfaces shall also mean any surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. Impervious surface shall include compacted sand, lime rock and clay as well as conventional surfaces such as gravel driveways, parking areas, surfaced streets, roofs, sidewalks, structures and other similar surfaces.

12. "LINER BUILDING" refers to a retail or business structure built to camouflage a more utilitarian façade/use such as a substation, or parking structure. Liner Buildings are generally narrow in depth and placed along the street and consistent with approved uses in Mixed-Use areas.
13. "LOT" shall mean and refer to any parcel or lots designated hereafter on a plat or replat, or subdivision thereof, recorded against the Property, or portion thereof, improved or unimproved, on which a structure may be located.
14. "MASTER DEVELOPER" shall mean Easton Farm Partners, LLC, an Ohio limited liability company, its successors and permitted assigns as provided herein.
15. "MAXIMUM OCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from median front exterior grade level to the specified height above the highest occupied floor.
16. "MAXIMUM UNOCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from front exterior grade level to the highest unoccupied level of an enclosed Structure.
17. "MINIMUM OCCUPIED HEIGHT" shall mean the minimum height of certain Structures, as set forth herein, based either upon a minimum number of occupied stories above grade level or a minimum height measured from the front exterior grade level.
18. "MIXED USE" shall mean an area or structure that contains a mixture of commercial, office and/or residential uses.
19. "MULTI-FAMILY DWELLING" shall mean a structure designed to contain more than two dwelling units in which the units can share primary exterior entrances, but where each dwelling unit has separate housekeeping and cooking facilities. Dwelling units within a multi-family dwelling may be attached through common walls or common floors.
20. "OPEN SPACE" shall mean any hardscaped, landscaped, grass or appropriate vegetation area but shall not include any interior landscaping or landscaped areas within parking areas.
21. "OWNER" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is a part of the Property, including the Developer or Master Developer, but shall not mean or refer to any mortgagee or subsequent holder of a mortgage, unless and until such mortgagee or holder has acquired title pursuant to foreclosure or any proceedings in lieu of foreclosure.
22. "PARKING STRUCTURE" A multi-level, ventilated or open-aired structure meant to park vehicles in a vertical manner to achieve a higher yield on such a land use. Such structures may be freestanding or integrated into another building, or at the base of a multi-use structure. Parking structures may have multiple entries/ exits and connected between levels by ramps, stairs and/or elevators.
23. "PERSONAL CARE SERVICES" means an establishment or place of business primarily engaged in the provision of services of a personal nature related to the care, hygiene, or appearance of the human body or the maintenance of items worn or carried by persons. Such services are usually but not always recurrent in nature. Examples

of personal service uses include, but are not limited to, beauty and barber shops, shoe repair shops, health spas, therapeutic massage, tailor shops, and the like.

24. "PUBLIC AND INSTITUTIONAL USES" shall mean buildings and uses such as libraries, schools, government buildings, churches or other uses approved by the City.

25. "SERVICE WAY" A separate drive either behind or to the side of a building or row of buildings that is subordinate in nature to the primary streets surrounding or connected to it. Its primary function is to allow for access to garages, driveways, and to allow for rear or side service access to a building(s), home or row of homes. They are often primarily vehicular in nature but can be made into a mini-street effect with setbacks and landscaping.

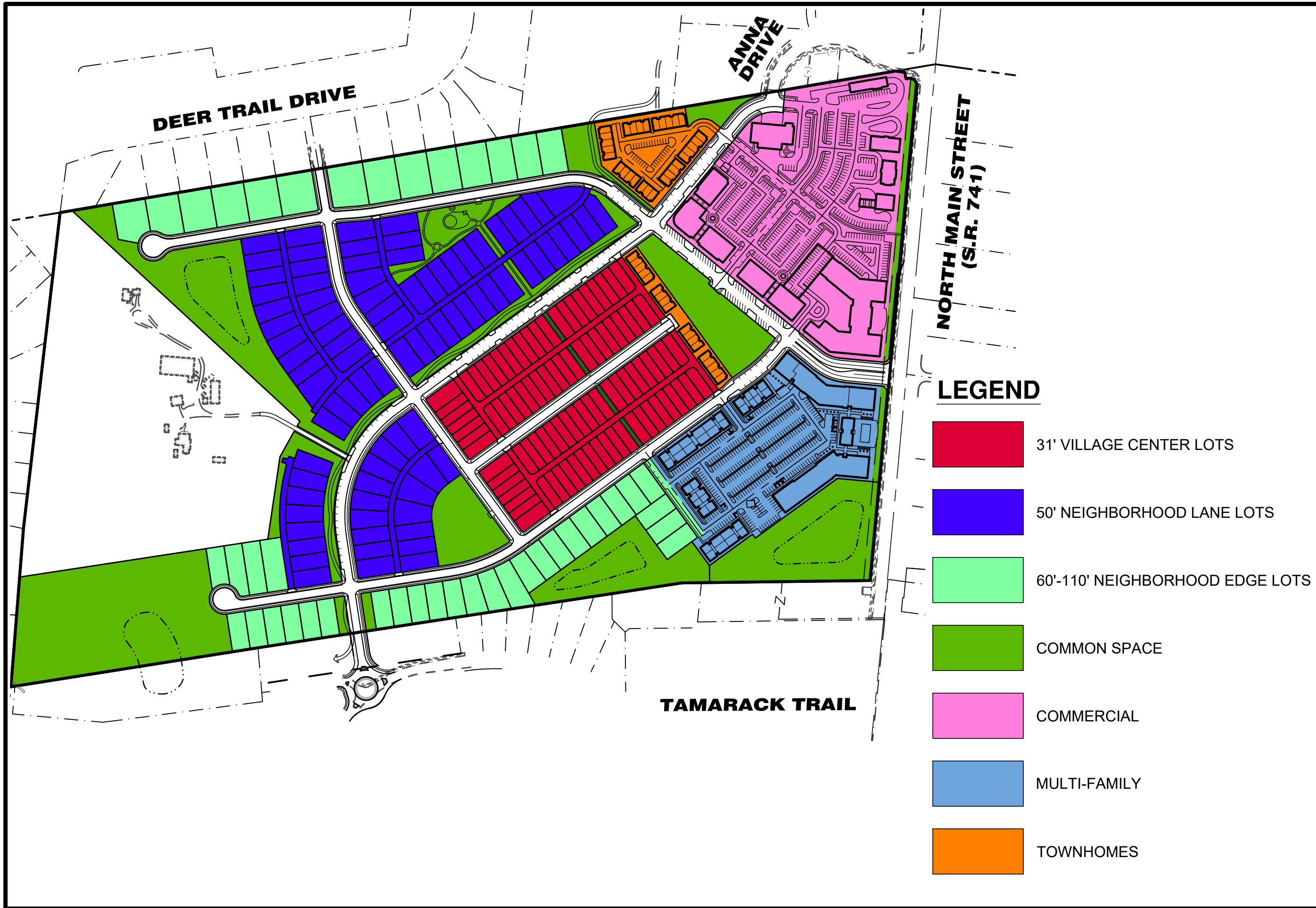
26. "SET BACKS" shall mean designated areas adjacent to lot lines on which the construction of buildings is not permitted, and shall also be defined as "build to lines."

27. "SINGLE-FAMILY, ATTACHED DWELLING" shall mean a structure containing more than one single-family dwelling unit in which the units are physically attached only by common walls. Each unit has its own housekeeping facilities, cooking facilities and separate exterior entrance way.








28. "STORMWATER MANAGEMENT" shall mean the impoundment of stormwater in ponds, swales, or other collection devices, and the holding of such for a period of time and release at the prescribed rate determined by the City.

29. "STRUCTURE" shall mean any improvement on the Property that is capable of occupancy or use including, but not limited to, any building, garage, fence, wall, sign or any

other temporary or permanent improvement; and any excavation, fill, ditch, dam or other thing or device that changes the grade of any land by more than six inches or alters the natural flow of waters from, upon or across any part of the Property.



LEGEND

-  31' VILLAGE CENTER LOTS
-  50' NEIGHBORHOOD LANE LOTS
-  60'-110' NEIGHBORHOOD EDGE LOTS
-  COMMON SPACE
-  COMMERCIAL
-  MULTI-FAMILY
-  TOWNHOMES



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EASTON FARM
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

USE EXHIBIT

Drawing:	20-0225 EXHIBIT
Scale:	1"=300'
Drawn by:	GJK
Checked By:	
Issue Date:	4-22-21

Dillin / Borrer Response to 4/9/21 Springboro Staff Comments, Easton Farm

City staff has the following comments regarding the proposed rezoning/**general plan** application reviewed at the April 14th Planning Commission meeting (with Mike Pione comments in red):

1. Rename the mixed-use component of the PUD to commercial or other to avoid confusion with the overall rezoning request, and provide a component to address historic farmstead design/development standards and proposed permitted uses. **See revised plans. No need for unique farmstead usage, same as residential, despite some prior discussion of varied usage.**
2. Revise full-color illustrative plan to match b/w plan proposal. **See revised plans.**
3. Revise the submittal for the next review to include the following for each component area: design and development standards including but not limited to setbacks, building heights, dwelling unit sizes, lot coverage, and a list of land uses proposed for each component area. As a companion to this information, provide a color-coded version of the general plan. **See revised general plan. Some is on plans already and in Design Guidelines in table on page 9.**
4. Easton farmstead is listed as open space. Unless the farm is available for use as common space it should not be included in the calculation. **See revised general plan (farmstead is no longer included in open space).**
5. An additional 5.47 acres of open space is needed to satisfy the 25% minimum open space requirement for residential PUDs. **See revised general plan.**
6. Indicate who will manage open spaces proposed in the development. **Developer controlled Master HOA, with sub-associations by area.**
7. For trails proposed on common areas, if any, include no restrictions for their use by any person with the exception of areas specifically set aside for the members of an association such as pool areas. **TBD**
8. The trail along Anna Drive to be designed to meet minimum standards for width, turning radius, and to avoid obstructions. **See revised general plan with consideration of AASHTO guidelines. Need to understand what criteria relate to funding, can make path 10ft wide if required.**
9. City to review Anna Drive extension to intersection with Tamarack Trail and North Park entrance. **See revised plans.**
10. Indicate proposed phasing including road connections and other improvements with surrounding developments. **Anticipated sequence plan previously provided.**
11. Provide typical plans for buildings indicating materials, and other details for each component in order to determine concurrence between general plan's concept and specific building plans when final development plans are prepared for review and approval by the Planning Commission. **This is detailed in the design guidelines.**
12. Sidewalks (or trail) to be located on all streets, both sides. This should be verified. The general plan is difficult to tell and a statement would address it. **See revised general plan. Streets that are not service ways/ alleys have walks or trails on each side.**
13. Central mailbox units need to be located on general plan (and approved by the post office). Include this information in the design guidelines. **See revised plans.**
14. Flag lots not permitted (lots off of cul-de-sac on Red Hawk View). Remove flag lots or extend roadway. **See revised plans.**
15. Road name proposals to be reviewed by City Engineer in consultation with the police and fire departments. **Please advise.**
16. Anna Drive to extend off of existing Anna Drive, and not relocated as shown. **See revised plans.**
17. Provide Noel Drive typical section. **See revised plans.**
18. Add a possible roundabout at the Tamarack Trail connection. **See revised plans.**
19. Traffic Study to be submitted for review and approved prior to final approval of General Plan/Rezone by planning commission. **Will submit on 4/23, but need feedback from Warren County.**
20. Right-of-way along North Main Street to be dedicated per city specifications. **Ok.**

21. No construction access permitted from Tamarack Trail or Fox Trail Drive. **Ok.**
22. Engineering design details to be reviewed at the Final Development Plans stage, including but not limited to utility design, storm water management plan including detention/retention design, and roadway design. **Ok.**
23. Road intersections to be at 90 degree angles. **Ok.**
24. HOA documents need to be created for review. **Ok.**
25. The Clearcreek Fire District has no comments at this time. **Ok.**

City staff has the following comments regarding the proposed **design guidelines** booklet, as revised for the April 14th Planning Commission meeting, included in the rezoning/general plan submission (with Mike Pione comments in red):

1. City staff recommends a review with applicants on the intent of the design guidelines. Are they covenants or are these intended to be incorporated into the general plan approval? **Covenants.**
2. Page 8, in the table, the minimum open space is 25% for the residential portion only. **See updated plan satisfying this.**
3. Page 10-11, utility easements are to be located outside of the right-of-way in a 10-foot utility easement, and not within the proposed right-of-way. (page 10, (c); page 11 (e)). **See updated content satisfying this. Discussions with Utilities are ongoing.**
4. Page 13, for loading/unloading provisions, cross-reference City Code Section 660.19 for hours of operation for non-residential areas. Design standards may be more restrictive, if desired. **Ok, see updated Design Guidelines.**
5. Page 14, explain proposed open space area requirements. Are these setbacks? **See updated Design Guidelines.**
6. Page 16, (e) Building Materials – Prohibit the use of plywood, unadorned corrugated siding, vinyl siding and plastic panels all together. **See updated Design Guidelines.**
7. Page 18, (i) - Clarify Enclosed unoccupied building elements vs purely decorative unoccupied elements. **See updated Design Guidelines.**
8. For landscaping provisions on page 19, provide cross reference to City requirements in Chapter 1280, Landscaping. **See updated Design Guidelines.**
9. Page 22, for exterior lighting, provide cross reference to City requirements in Chapter 1273, Exterior Lighting. **See updated Design Guidelines.**
10. Page 23, 8. (a) – Prohibit the use of chain-link fencing with inserted slats, or plastic coated walls and/or support wood posts all together. **See updated Design Guidelines.**
11. Page 26, Are the proposed parking standards intended to supersede those of the City? **Yes in some cases as details.**
12. Page 27 (d) – Increase the minimum setback for off street parking along SR 741 **See updated Design Guidelines.**
13. Provide Public Access Easements over service ways. **Ok.**
14. For the table on page 31, define in a map where Village Center, Neighborhood Lane, etc., are in this proposal. **Will provide exhibit.**
15. For the same table, for residential areas, provide a table showing minimum setbacks, minimum lot size (SF), minimum lot width, and minimum dwelling size for each type. **See updated Design Guidelines.**
16. For the same table, Footnote 1 states front porch encroachment up to 5 feet maximum is permitted. This should be removed and the table should reflect actual need/want. For which residential area does footnote 1 relate? **See updated Design Guidelines.**
17. Page 33, 11. (a) – Prohibit the use of chain link, barbed wire, or plain wire mesh, or rough-textured/timber or “fortress style” wood fences. **See updated Design Guidelines.**
18. Beginning on page 34, explain Residential Typologies beginning on this page. Are these going to be supported by other design metrics? **See Design Guidelines, Chapter 03.**

19. Page 42 – Increase trail width from 8 feet to 10 feet. Let's discuss, will comply with source funding as required.

This is the second item on the agenda; the meeting begins at 6:00 p.m. and will take place remotely using Zoom. Instructions on how to join the remote meeting are attached.