

Background and Rezoning Process Summary
Proposed Easton Farm Development
605 North Main Street (SR 741)
Rezoning from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use

On Thursday, August 19, 2021 Springboro City Council will conduct a Public Hearing regarding an application to rezone approximately 103.32 acres of land located at 605 North Main Street (SR 741) from R-1, Estate-Type Residential District, to PUD-MU, Planned Unit Development-Mixed Use. The subject property bears Warren County Parcel (Sidwell) Number 04142270050 and is commonly known as the Easton Farm. The rezoning is being requested to allow the development of a mixed-use development consisting of commercial, multi-family residential, and single-family residential components. The subject property is located on the west side of North Main Street southwest of the intersection of North Main Street and Anna Drive.

The Public Hearing will take place at 7:00 p.m. EST in Council Chambers in the Springboro City Building located at 320 West Central Avenue (SR 73), Springboro.

This summary document describes the nature of the rezoning request, the status of the PUD approval process and contact information for questions you may have regarding the Public Hearing.

Background

The subject property is located at 605 North Main Street (SR 741) and is approximately 103.32 acres in area and is located on the southwest corner of the intersection of North Main Street and Anna Drive (see Figure 1). Primary access to the property is from North Main Street. Anna Drive, constructed as part of the Village Park PUD-MU, Planned Unit Development-Mixed Use, which stubs into the subject property from the north. The subject property is currently occupied by two single-family residences on the west side of the property including a historic home built circa 1840. The area adjacent to the residences includes a number of farm buildings. The remainder of the property is an active farm that has been in the Easton family since 1857.

Adjacent land uses include mixed-use to the northeast corresponding to the Village Park development including El Toro restaurant, the Goddard School daycare facility, and the City of Springboro's Gardner Park. Further east The Marketplace at Settlers Walk shopping center that includes CVS, Moe's hardware store, Dorothy Lane Market, as well as a large number of other restaurants and service establishments. To the east, on the east side of North Main Street, commercial uses include the Settlers Station shopping center, KeyBank, PNC Bank, a number of office uses. To the south, a Coldwell Banker real estate office and a daycare facility, continuing west, the Springboro Commons condominium development, the northernmost portion of the Springbrook (Spice Rack) subdivision, and then the City of Springboro's North Park. To the west are Royal Tamarack and Royal Springs subdivisions. To the northwest is the Hunter Springs subdivision with homes fronting on Deer Trail Drive.

Adjacent zoning includes PUD-MU to the north corresponding to the Village Park development, PUD to the northeast corresponding to the Marketplace at Settlers Walk shopping center and adjoining residential subdivision. To the east, LBD, Local Business District, corresponding to the location of the KeyBank branch and Settlers Station shopping center, O, Office District, corresponding to the PNC Bank branch, and O-R, Office-Residential District, corresponding to the offices extending southward toward Tamarack Trail. The O-R District continue to the west to include the Coldwell Banker real estate office and daycare center immediately to the south of the subject property, and moving westward, R-3, Medium Density Residential District corresponding to the Springboro Commons condominium development.

The remainder of existing zoning in the vicinity of the subject property is R-2, Low-Density Residential District. This zoning corresponding to the Springbrook (Spice Rack) subdivision immediately south of the subject property and continuing west to include North Park, and the Royal Tamarack, and Royal Springs, and Hunter Springs subdivisions. R-2 District permits up to 4 dwelling units per acre.

The *Springboro Land Use Plan*, adopted by City Council in April 2009, includes recommendations for the long-range development of the community. The plan was developed using a public input process that included a steering committee that met on a regular basis to guide the plan's development, stakeholder meetings, and two rounds of open houses held at the Heatherwoode Golf Course clubhouse. The plan recommendations are divided into 16 policy areas that make specific recommendations for smaller portions of the community that are grouped together because of proximity, land use patterns, date of development and other general characteristics.

Policy Area #3, North SR 741 Corridor, includes the subject area and land including Hunter Springs, Village Park, the non-residential portions of Settlers Walk and retail/office areas on east side of North Main Street. Preferred Land Uses identified in the plan include convenience retail, personal service, retail uses limited to a maximum of 75,000 square feet in floor area, among other uses. Residential development is preferred at an overall density of 6-8 dwelling units per acre when a minimum of 25% open space is dedicated within a residential subdivision.

The plan specifically recommends limiting the Easton Farm's future development to include no more than one retail anchor tenant, with that tenant no more than 75,000 gross square feet in area, as part of an overall planned unit development. The plan encourages mixed-use development and redevelopment, walkability, and a visually pleasing atmosphere within the development.

The subject property is presently zoned R-1, Estate-Type Residential District (see Figure 2). The subject property was rezoned to R-1 District from (T)R-1, Clearcreek Township Residence District in 2015 (Ordinance No. 15-4, adopted February 19, 2015) to accommodate implementation of the City's newly adopted Planning & Zoning Code. Until then zoning for the property was administered under Clearcreek Township's Zoning Resolution, a designation that dated back to the property's annexation in 1980. Extensive areas in this portion of the community were also zoned (T)R-1 District and subsequently rezoned to R-1 District in 2015, allowing the City to manage its growth and development under its own regulatory framework that supports its long-range development plans. An excerpt of the 2009 plan can be found at the end of this document.

The City of Springboro received an application to rezone the property from the current R-1 District to PUD-MU, Planned Unit Development-Mixed Use, from Easton Farm Partners, LLC, of Springboro, Larry Dillin agent, acting under the authority of the existing property owners, the Ted and Becky Hall Living Trust, and the Cook Realty Trust. The applicant proposed to develop the entire property into three component areas—a commercial component located on the northeast corner of the property, a multi-family residential component on the southeast corner, and a residential component for the remainder of the site. The following summarizes the proposed development:

- A 14.32-acre mixed use commercial component on the northeast corner of the property fronting North Main Street. This component includes the following:
 - A 113-unit independent living facility.
 - Outparcels for restaurants, other retail and office buildings
 - The size of all uses in this component is 94,500 gross square feet.
 - Note: this component was previously referred to as mixed-use component.
- A 9.99-acre multi-family residential component on the southeast corner of the property fronting North Main Street that includes multiple buildings including 252 apartments, a 9,500-square foot restaurant, and 2.82 acres of open space comprised of a storm water detention ponds.
- A 79.01-acre residential component covering the remainder of the property including the following:

- Retaining the farmstead including 2 homes and the preserving of farm buildings.
- 47 townhomes.
- 218 single-family lots most served by garages accessed by private drives. The site of lots proposed for this large area ranges from large lots adjacent to the Hunter Springs neighborhood on the north end of the component to smaller lots to the south.
- 20.07 acres of open space including two small parks, storm water detention ponds, a linear park linking North Park to Gardner Park, a 5.5-acre expansion of North Park, and a town green-type open space abutting the mixed use and multi-family residential component.

For proposed residential development areas, a gross density of 5.83 dwelling units per acre (519 dwelling units on 89.00 developed acres) is proposed. This calculation does not include units in the independent living facility. Those units are not typically included in residential development calculations. The City Law Director had pointed out that the City legally considers independent living and assisted living facilities as separate and distinct uses within the zoning code, including in section 1267.05, Urban Village District Uses - Non-Village Center, where the use is permitted in retail/commercial areas and is listed separately from apartments and condos. He has further pointed out that this is not unusual as several other communities in the area do the same thing finding that "retirement community areas" generally allow greater density and include multiunit dwellings to encourage not only affordability and mobility issues but encourage socialization. Traditional density measures, are often not applicable with assisted living and independent living given their difference in impact from other multi-family projects.

The table below provides a summary of the Easton Farm development's since it was initially submitted to the City of Springboro for review in March.

Comparison of March 10th, May 12th, and June 9th Proposals for Easton Farm

	Meeting Date		
	March 10th	May 12th	June 9th
Component & Overall Acreage			
Commercial Component	18.75 acres	14.01 acres	14.32 acres
Multi-Family Component	10.12 acres	9.99 acres	9.99 acres
Residential Component	74.40 acres	79.32 acres	79.01 acres
Overall Site	103.27 acres	103.32 acres	103.32 acres
Dedicated Open Space	15.82 acres	20.06 acres	22.89 acres
Dwelling Units			
Single-Family Residential	233 units	224 units	220 units
Townhomes	18 units	48 units	47 units
Apartments	324 units	270 units	252 units
Total Dwelling Units	577 units	540 units	519 units
Residential Development Density by Area			
Single-Family+Townhouse	4.36 dwelling units/acre	4.26 dwelling units/acre	4.04 dwelling units/acre
Multi-Family	32.02 dwelling units/acre	27.03 dwelling units/acre	25.23 dwelling units/acre
Overall Density	6.83 dwelling units/acre	6.05 dwelling units/acre	5.83 dwelling units/acre
Maximum Building Height	4 stories	3 stories	3 stories
Parking Spaces in Structure?	Yes	No	No
Source: Easton Farm Partners			

The following summarizes changes to the proposed plan since the Planning Commission's initial review on March 10th:

- Overall Residential Units. The number of units proposed in the June 9th submittal is a 10.1% decrease from the March 10th proposal, and a 3.9% decrease from the May 12th submittal.
 - Single-family Residential Units. The number of single-family residential units proposed in the June 9th proposal has been decreased 5.6% since the March 10th submittal, and decreased 1.8 percent since the May 12th submittal.
 - Townhomes. The number of townhomes proposed in the June 9th submittal represents a 156.6% increase in the number of units compared to the proposal reviewed at the March 10th meeting, and a 4.2% decrease since the May 12th review.
 - Apartments. The number of apartment units proposed in the June 9th submittal represents a 22.2% decrease in the number of units compared to the March 10th proposal, and a 6.7% decrease since the May 12th proposal.
- Development Density. The proposed development density proposed in the June 9th submittal is a 14.6% decrease in density from the March 10th proposal, and a 3.6% decrease from the May 12th submittal.
- Open Space. The amount of dedicated open space proposed has increased 46.2% from the March 10th submittal. The amount of open space has increased 14.1% since the May 12th submittal.

PUDs are provided for in the Planning and Zoning Code to allow City Council and property owners the flexibility not normally afforded through conventional zoning districts with respect to permitted land uses, development and design standards--development densities, building setbacks, building heights and building materials. In this case by using the PUD-MU category, the applicant proposes to use permitted uses defined in three zoning districts.

The application submitted by Easton Farm Partners LLC and reviews at the June 9th Planning Commission meeting may be found at the end of this document.

Why PUD-MU, Planned Unit Development-Mixed Use Zoning?

Under the provisions of the Springboro Planning and Zoning Code, the subject property could be developed for single-family residential development at a maximum development density of 2 dwelling units per acre or as many as 206 lots with no open space requirement. The Planning and Zoning Code allows property owners and developers the option of developing properties, subject to approval by the Planning Commission and City Council, through the PUD process where the strict application of conventional zoning district provisions may be modified due to physical limitations to the land, to restrict land uses beyond controls available through conventional zoning, or to accommodate alternative design and development standards that would result in a better development. In this case, PUD zoning also supports the goals of the 2009 Land Use Plan, as described above, that recommends a mixed-use development pattern.

Where Things Are Presently

In response to the application submitted on behalf of the applicant, the Planning Commission reviewed the application for rezoning and general plan approval at its March 10th, April 14th, May 12th, and June 9th meetings. At the June 9th Planning Commission meeting the Planning Commission made recommendations to Springboro City Council to approve the rezoning and general plan. The Planning Commission also attached conditions on the approval including addressing staff comments, prohibiting the connection of Fox Trail Drive into the Easton Farm development, and striking out a number of permitted uses in the commercial component.

The Planning Commission's recommendation is only that: *a recommendation*. Only the Springboro City Council can formally legislate by Ordinance a change in zoning such as the one requested. As part of that process, and to solicit input from the public, City Council has set a Public Hearing for Thursday, August 19, 2021 to hear comments from all

parties interested in the rezoning. All property owners within 300 feet of the property line for the subject property were notified by mail of the rezoning request and Public Hearing as has the property owner of the subject property.

Following the Public Hearing, and as is typical for proposed City rezoning Ordinances, the rezoning Ordinance will be read at three City Council meetings prior to adoption. Following adoption, Ordinances become effective thirty (30) days following the final reading by City Council. At that point the City Clerk will direct the City Engineering Department to revise the Official Zoning Map based on City Council's action.

Rezoning is only one part of the approval process for PUDs such as the one being proposed here. Concurrent to City Council's review of the rezoning application, the applicant also must submit a general plan that among other requirements identifies the relative location of land uses proposed for the site on a map, proposed private and public streets, connections to existing infrastructure such as roads, utilities and other public improvements. As stated above, a recommendation to approve the general plan was approved by the Planning Commission at its June 9th meeting.

Following general plan and rezoning review and approval, the applicant will be required to submit a final development plan for the project. At this point in the PUD review process, more detailed information on the proposed development will need to be submitted to the City for review by the Planning Commission. For example, detailed building design including exterior building materials, vehicular and pedestrian transportation plans, utility infrastructure information and other project details will be presented by the applicant.

The last step in the PUD approval process is record plan review. Record plans identify the manner in which individual property is subdivided, the dedication of public rights-of-way (streets) and other information so that the property may be recorded. Sometimes this step takes place after construction has been completed.

If You Cannot Attend the Public Hearing

If you cannot attend the Public Hearing on August 19th, you may still forward your comments in writing to City Council so that it may be read into the record. The letter must be signed and include your name and address. Letters may be sent to the attention of Ms. Lori Martin, Clerk of Council, City of Springboro, 320 West Central Avenue, Springboro, Ohio 45066. Letters may be faxed to the attention of the Clerk of Council at (937) 748-0815 or by e-mail at lori@cityofspringboro.com and they need to include your name and address.

All information regarding this rezoning request application and other information is available for public inspection at the Planning Department in the Springboro City Building, 320 West Central Avenue (SR 73), during normal business hours, 8:00 a.m. to 4:30 p.m., Monday through Friday, legal holidays excluded. Please call (937) 748-4343 for more information.



Figure 1. The aerial photograph above shows the location of the proposed rezoning subject property in light blue. Image courtesy of the Warren County GIS Department and Springboro Planning Department. North is at the top of the image. The image is not to scale.

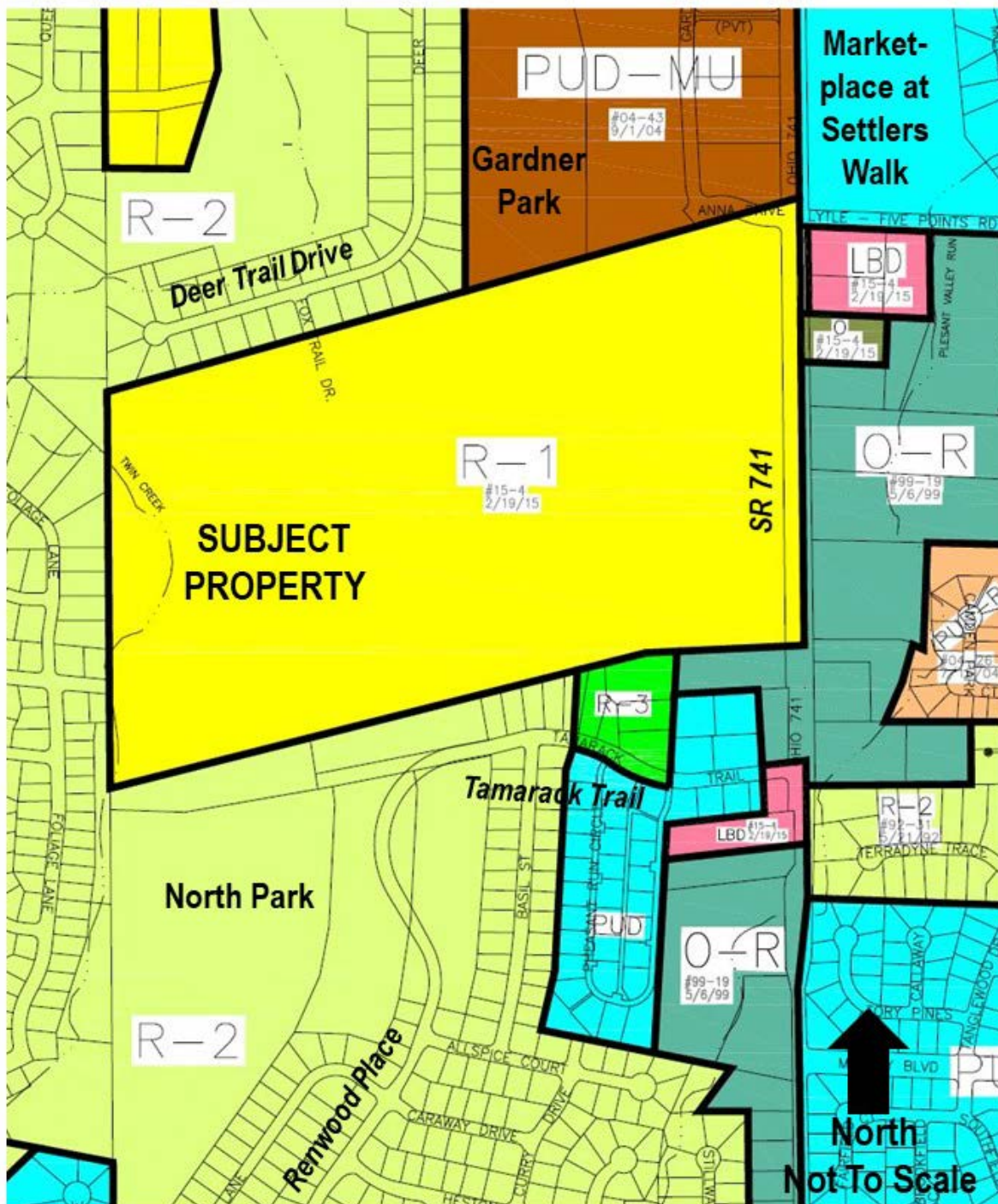


Figure 2. Existing zoning of site and vicinity. Lands adjacent to the subject property are zoned as follows starting from the north: Village Park zoned PUD-MU (brown); Marketplace at Settlers Walk is zoned PUD (aqua); Settlers Station and adjoining retail is zoned LBD, Local Business (pink); the PNC Bank branch is zoned O, Office District; The office buildings and adjacent lands on the east side of SR 741 and south of subject property are zoned O-R, Office-Residential (green); Springboro Commons condos are zoned R-3, Medium Density Residential (chartreuse); Spice Rack, North Park, Royal Springs, Royal Tamarack, and Hunter Springs subdivisions are zoned R-2 District (light green). Image courtesy of the City of Springboro Engineering Department. North is at the top of the image. Image not to scale.

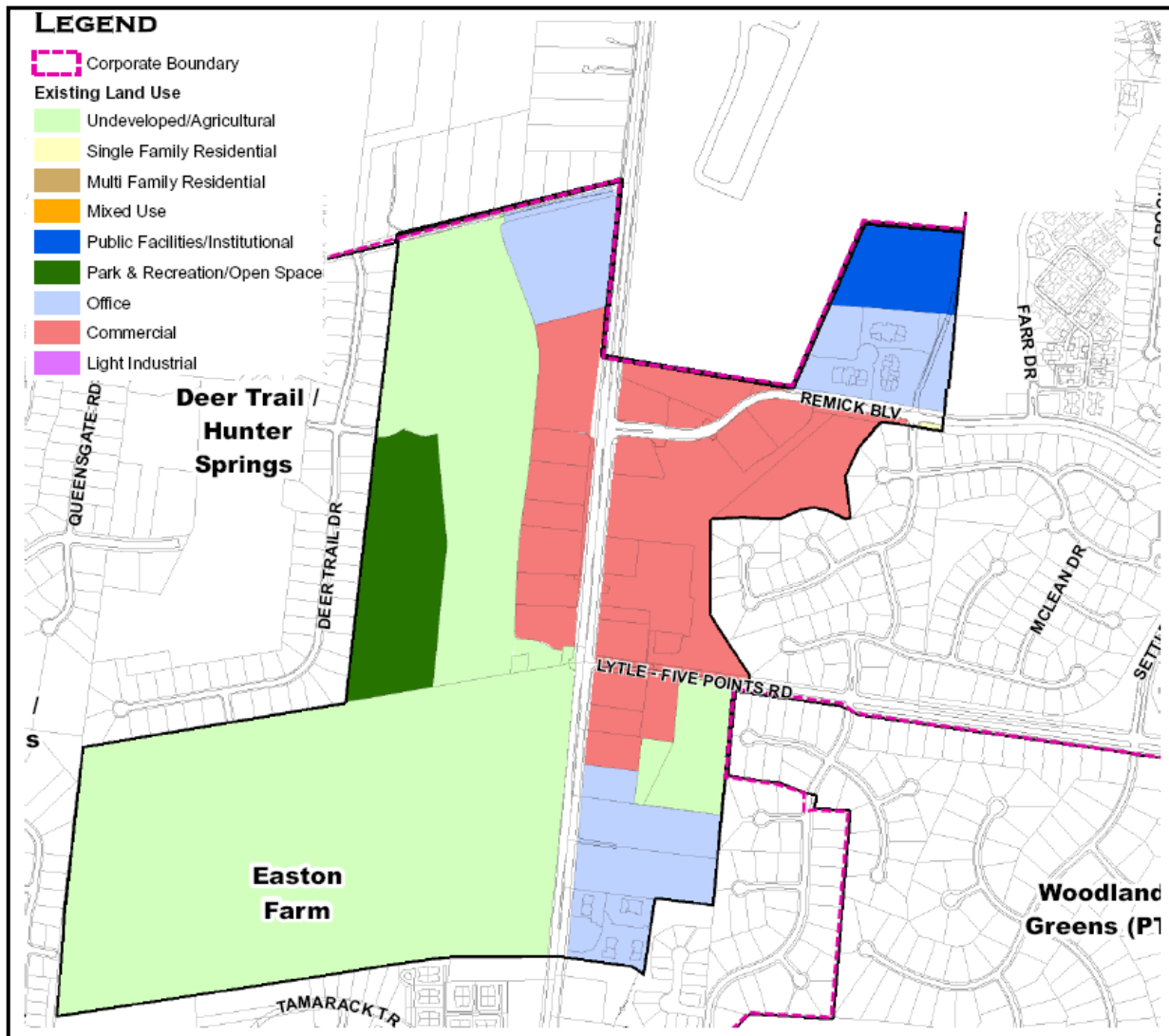
**Excerpt from 2009 Land Use
Plan Addressing
Recommendations for Area
including Easton Farm**

Policy Area 3 – North S.R. 741 Corridor

Existing Character

Located between Tamarack Trail and Pennyroyal Road, the North S.R. 741 Corridor Policy Area lies at the northern gateway into the City of Springboro. This area contains some of the newest non-residential development in the City, including the Marketplace at Settlers Walk at the northeastern corner of the intersection of S.R. 741 and Lytle-Five Points Road. Mixed use developments are currently being constructed on the western side of S.R. 741 in this study area, north of Lytle-Five Points Road. This Policy Area also includes the largest undeveloped parcel of land in the City, the Easton Farm, which is approximately 101 acres in size.

Figure 2.4 – North S.R. 741 Corridor



A summary of the existing character and issues relating to the North S.R. 741 Corridor Policy Area is as follows:

- The Policy Area currently includes a large amount of developable land including the Easton Farm property, which is approximately 101 acres in size. This parcel is directly accessible from S.R. 741 and Anna Drive.
- The Policy Area can be best described as a mixed-use area including retail, office, City parks and the local YMCA. This development is primarily contained along S.R. 741 between Pennyroyal Road and the northern border of Policy Area 8.
- This area contains all necessary infrastructures for existing and future development needs.
- Newer existing developments have been well designed and are primarily conventional in nature with parking lots in the front of the building, at the street.
- The Policy Area is surrounded by residential subdivisions to the east (Settlers Walk) and to the southeast (Woodland Greens, McCray Farms).
- This Policy Area is bisected by S.R. 741 that affords easy access to all parcels. It is the primary north-south transportation corridor in the community.

Preferred Future Characteristics, Actions and Needs

- The City prefers the continuation of the mixed-use development pattern as new development and redevelopment occurs, with non-residential uses fronting on S.R. 741. Residential uses can be permitted on S.R. 741 if located on the upper floors of a multi-story building. This can be accomplished through the rezoning of property as a traditional zoning district that permits multiple types of uses, through the application of a planned unit development district or through the creation of an overlay district.
- Promote the walkability in the Policy Area through the continued implementation and use of paths and sidewalks to link uses that front along S.R. 741 to those parcels of land that do not front on S.R. 741.
- Continue emphasis on high quality design features both on and off site. This can be accomplished through the application and enforcement of design guidelines in an overlay district or general design guidelines applicable to all retail areas of the City.
- An emphasis on high quality streetscapes and greenspace that are well maintained is preferred.
- Provide a physical connection between the Village Park Planned Unit Development in this Policy Area and North Park in Policy Area 2 by a dedicated pedestrian/bicycle trail and roadway connections in the vicinity of Anna Drive and Tamarack Trail.

Preferred Land Uses

The following land uses are identified for the North S.R. 741 Corridor Policy Area in order of preference. This list is applicable to ensure adequate property maintenance and the proper reuse or development of available land to ensure viability.

- Uses permitted in the Planned Mixed Use District(s) currently established for the Policy Area as outlined below.
 - Convenience Retail. Convenience retail means a small businesses, typically 5,000-10,000 square feet in floor area or less which provides convenience-type goods for the daily needs of the people within the surrounding residential areas.
 - Personal Service (e.g. barber shop, beauty shop, dry cleaner, health club/gym).
 - Retail; less than 75,000 square feet in gross floor area.
 - Restaurants, excluding drive through.
 - Office (Professional, Business, Medical, Dental).
 - Residential dwellings when not located on S.R. 741 or if it is located on the upper floors of a mixed use building on S.R. 741.
 - Public park and open space.
 - The Easton Farm property should be limited to one anchor type land use as a part of an overall integrated Planned Unit Development concept.
 - Facades visible from the public right-of-way on buildings over 50,000 square feet in size should be designed to break up the horizontal and vertical massing of the building so as to make the building appear as multiple buildings.
 - All uses and services shall be conducted in a completely enclosed building or structure.
 - All drive thru/drive in facilities shall be in a location as approved by the Planning Commission.
- Public and semi-public uses.

Recommended Density and Open Space Requirement

- Non-residential uses should be located on lots with a maximum lot coverage of 75%. Lot coverage includes all impervious or hard covered surfaces including, but not limited to: building footprints, sidewalks, patios, driveways, loading and unloading areas, and parking lots. Graveled areas shall be considered as an impervious surface since the continued compaction eventually creates a concrete like surface which becomes impervious to storm water.
- Detached and attached residential dwellings are preferred at a moderate overall density of 6-8 dwelling units per acre with a minimum open space requirement of 25% for attached dwellings.

Implementation Recommendations

Development and redevelopment activities in this Policy Area should emphasize mixed uses. Regulatory documents (zoning code, urban design regulations, streetscape plans, etc.) should be proactively reviewed by the City, prior to development requests, to ensure the promotion of a mixed use environment, walkability and a visually pleasing atmosphere. This ensures that the proper guidelines and regulations are in place rather than reacting to a plan submitted to the City.

**Submittal by Easton Farm
Partners LLC for June 9, 2021
Planning Commission Meeting**

APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☐ Agent
☐ Lessee
☒ Signed Purchase Contract

APPLICANT NAME: Easton Farm Partners

Address: 155 West Central Avenue Springboro OH 45066

Telephone No. (937) 560-2535

Fax No. ()

Email Address larry@dillincorp.com mpione@borror.com

PROPERTY OWNER NAME (IF OTHER): Ted and Rebecca Hall Living Trust and Cook Realty Trust

Address: 605 North Main Street Springboro OH 45066

Telephone No. ()

Property Address or General Location: 605 North Main Street Springboro OH 45066

Parcel Number(s): 0414227055 Existing Zoning District: R-1

Proposed Zoning District: PUD-MU

Proposed Use: Mixed Use Development per provided plans and supporting documents.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



(Signature of Applicant and/or Agent)

4/23/2021

(Date)

Larry B. Dillin

Printed Name

January 29, 2021

City of Springboro
320 W Central Ave
Springboro, OH 45066

From: Hall, Rebecca
CC: Pozzuto, Chris;
Boron, Dan

To Whom It May Concern,

This letter is to confirm that Larry B. Dillin or his agent is duly authorized by Ted and Rebecca Hall Living Trust, an Owner of the referenced Property, to make application with the City of Springboro for rezoning approval and other regulatory approvals as necessary for the proposed development to be implemented on the Property as identified in exhibit A.

If you should have any questions regarding this matter, please do not hesitate to contact me at the number listed below.

Thank you for your efforts in this matter.

Very truly yours,

Rebecca A. Hall

Rebecca A. Hall
Trustee, Ted and Rebecca Hall Living Trust
[REDACTED]

State of Ohio
County of Warren

This record was signed and sworn before me on JANUARY 29, 2021 by
REBECCA A. HALL.



KAREN RILEY
NOTARY PUBLIC
STATE OF OHIO
Comm. Expires 08-04-2023
Recorded in
Montgomery County

[Handwritten Signature]

Notary Signature



REV. 5
May, 2021

MASTER PLAN



EASTON

FARM

SPRINGBORO, OH

Dillin

BORROR
DEVELOPMENT | CONSTRUCTION | MANAGEMENT

EASTON FARM

GENERAL PLAN

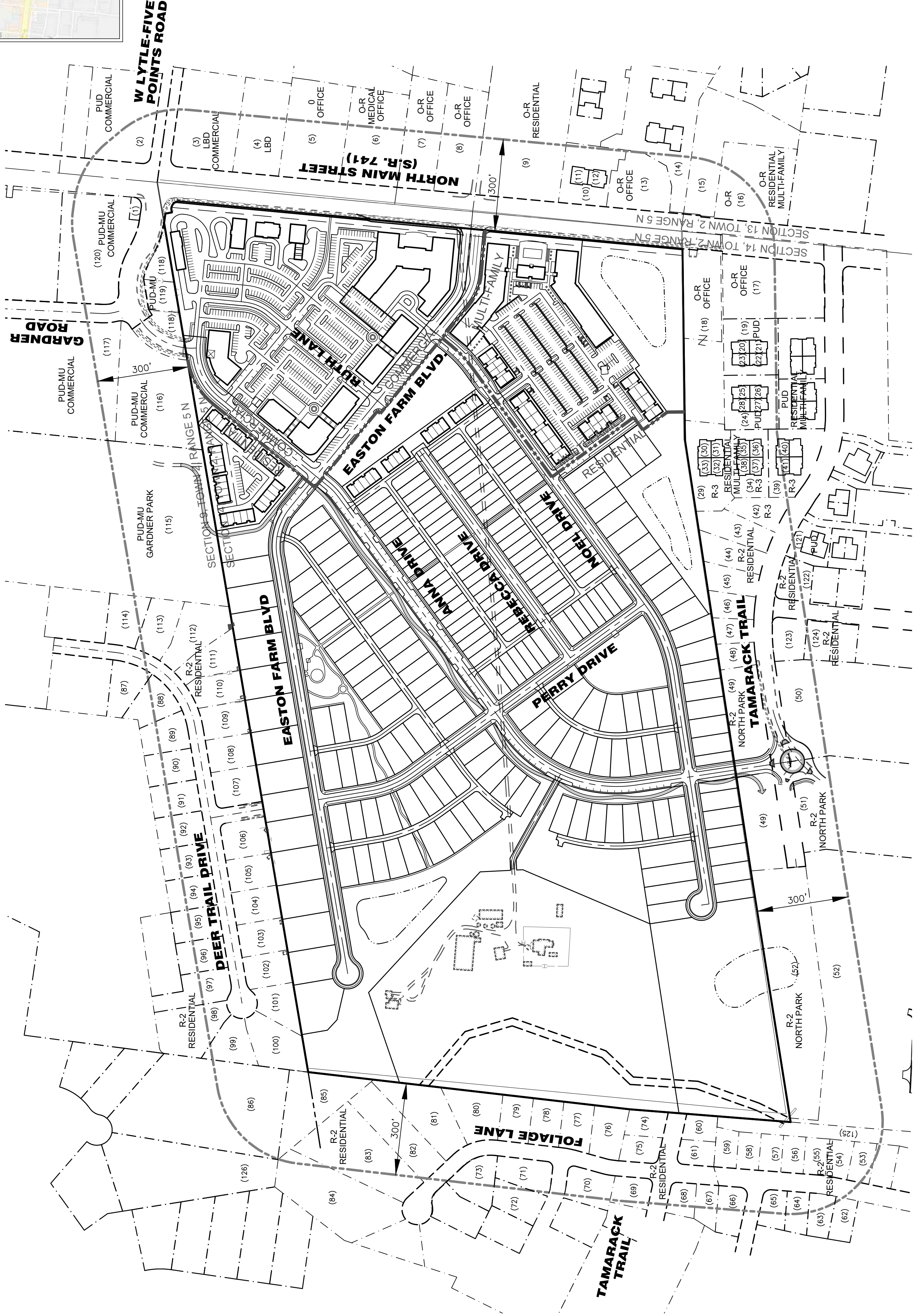
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CITY OF SPRINGBORO

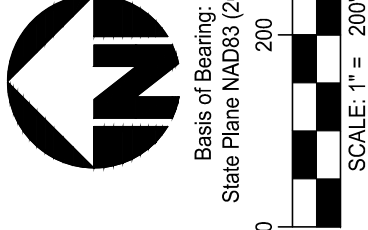
WARREN COUNTY, OHIO

ADJACENT PROPERTY OWNERS

- (1) CITY OF SPRINGBORO
- (2) CVS 6139 OH LLC
- (3) KEYBANK NATIONAL ASSOCIATION
- (4) SETTLERS STATION INVESTMENTS LLC
- (5) MARIANNE C. HARRIS
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- (112) MARIANNE C. HARRIS
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- (124) MARIANNE C. HARRIS
- (125) MARIANNE C. HARRIS
- (126) MARIANNE C. HARRIS



AREA MAP



ENGINEER/SURVEYOR

REBECCA & TED D. HALL
605 N MAIN STREET
SPRINGBORO, OHIO 45066

OWNER OR AGENT DATE

DEVELOPER

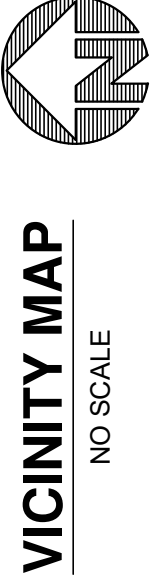
EASTON FARM PARTNERS
5650 EASTON STREET, SUITE 200
COLUMBUS, OHIO 43201
PH: (614) 389-5916

INDEX OF SHEETS

- C1.0 TITLE SHEET
- C1.0 GENERAL NOTES
- C2.0 EXISTING CONDITIONS
- C3.0 LAYOUT PLAN
- C4.0 PRELIMINARY GRADING PLAN
- C5.0 TYPICAL STREET SECTIONS & TYPICAL SINGLE FAMILY LOTS
- C5.1 TYPICAL STREET SECTIONS
- C5.2 TYPICAL STREET SECTIONS

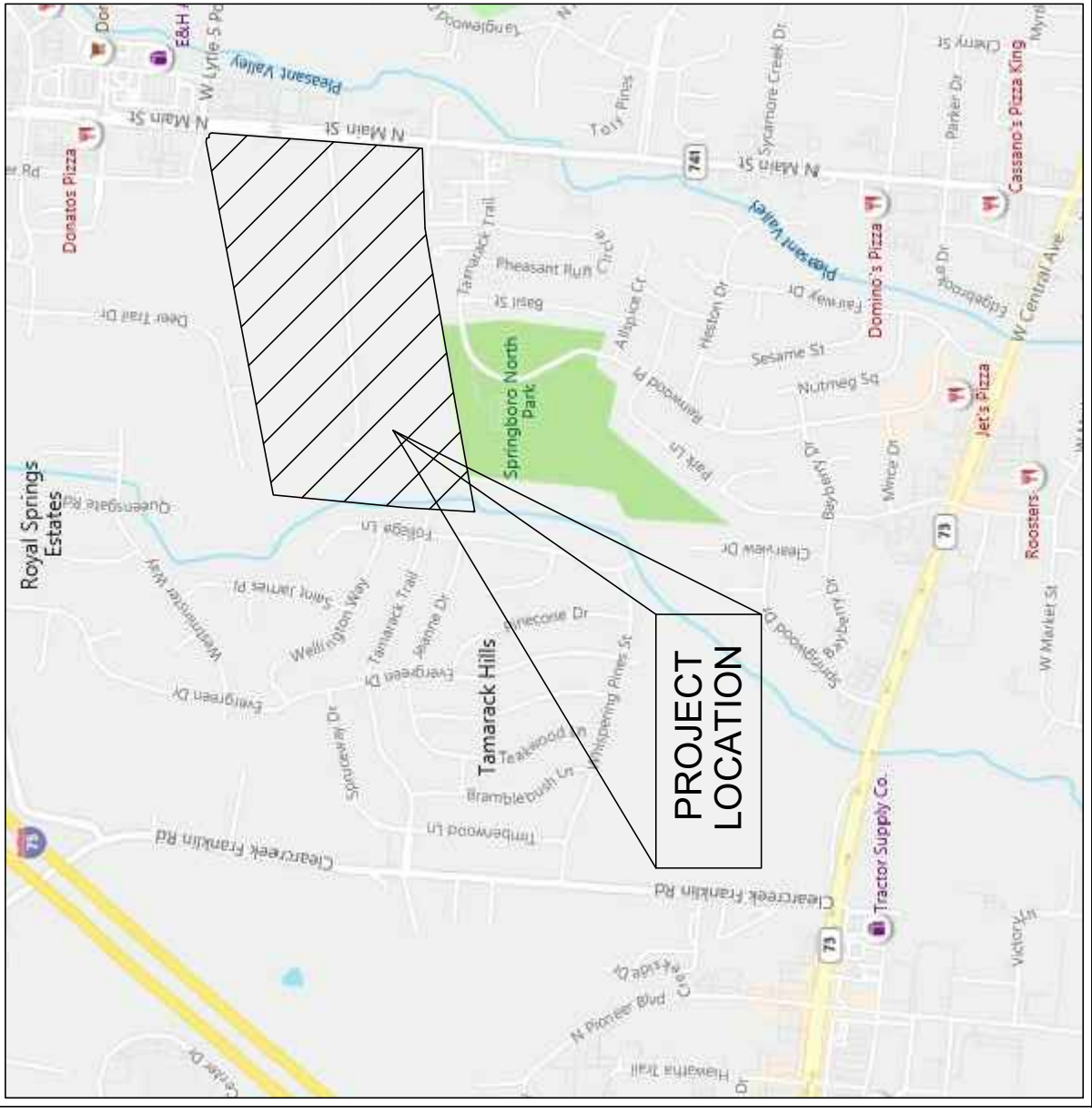
SITE SUMMARY

EXISTING ZONING:	R-1
PROPOSED ZONING:	PUD-MU
ACREAGE:	13.46 AC
EXISTING FARMSTEAD	65.55 AC
RESIDENTIAL	9.89 AC
MULTI-FAMILY	14.32 AC
COMMERCIAL	103.32 AC
TOTAL	
RESIDENTIAL	
UNIT COUNT	92 LOTS
50' NEIGHBORHOOD LANE LOTS	84 LOTS
60'-110' NEIGHBORHOOD EDGE LOTS	45 LOTS
TOWNHOMES	47 UNITS
EXISTING FARMSTEAD	2 UNITS
TOTAL	267 UNITS
DENSITY	3.5 UNITS PER ACRE
MULTI-FAMILY LOT	
UNIT COUNT	252 UNITS
RETAIL/RESTAURANT	25.7% PER ACRE
RETAIL/RESTAURANT	9,560 SF
RESIDENTIAL OPEN SPACE	
TOTAL AREA	89.00 AC
(PRIVATE AREA + RESIDENTIAL + MULTI-FAMILY)	22.89 AC
COMMON SPACE PERCENTAGE	25.7%
COMMERCIAL LOT	
INDEPENDENT LIVING	113 UNITS
COMMERCIAL BUILDING 1 (1ST FLOOR)	15,400 SF
COMMERCIAL BUILDING 2 (2-STORY)	50,400 SF
COMMERCIAL BUILDING 3 (1-STORY)	11,900 SF
OUTLOTS	16,800 SF



VICINITY MAP

NO SCALE

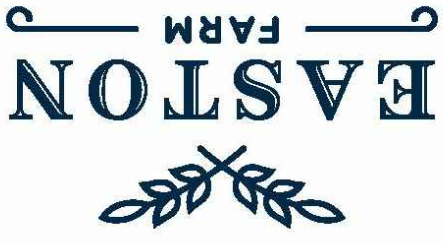


www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 • 513.336.6600

C1.0
Drawing: 20-0225 LAYOUT PUD
Drawn by: GJK
Checked by: GJK
Issue Date: 5-21-21
Sheet:

EASTON FARM
GENERAL PLAN
SECTION 14, TOWN 2, RANGE 5 N.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

TITLE SHEET



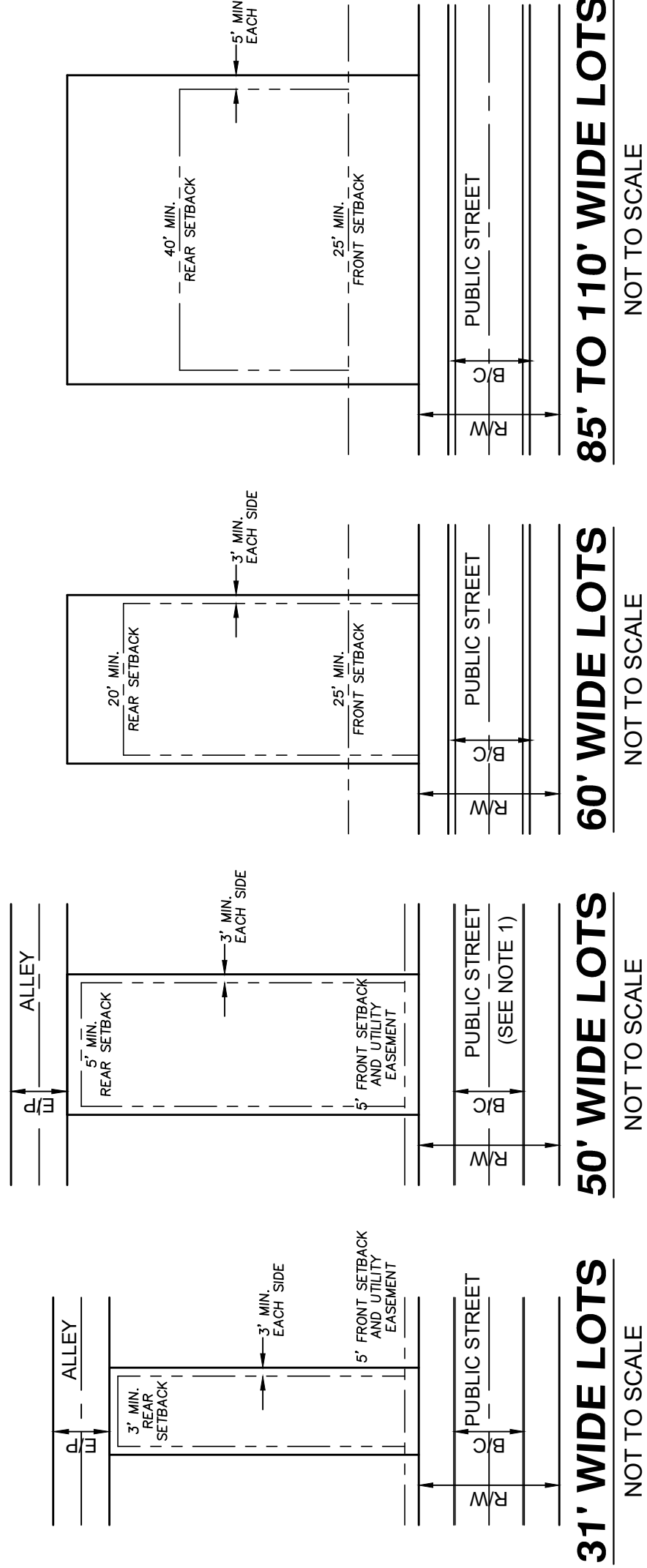
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GENERAL NOTES

- DEVELOPER CONTROLLED MASTER HOA, WITH SUB-ASSOCIATIONS BY AREA WILL MANAGE OPEN SPACES AND PRIVATE ROADS PROPOSED IN THE DEVELOPMENT GENERAL PLAN. CITY WILL MAINTAIN ALL ROADWAYS, WALKS, AND PATHS WHICH ARE NOT ALLEYS.
- ALL SIDEWALKS, TRAILS, AND PATHS IN PUBLIC SPACE TO BE AVAILABLE FOR ALL PUBLIC USE.
- THE TRAIL ALONG ANNA DRIVE TO BE DESIGNED TO MEET AASHTO MINIMUM STANDARDS FOR PAVEMENT WIDTHS, SIDE CLEARANCE, MINIMUM TURNING RADI, AND STREET CROSSING STANDARDS. DESIGN TO BE COORDINATED.
- CITY TO REVIEW, DESIGN, AND IMPLEMENT THE OFFSITE TRAFFIC CIRCLE AT THE TAMARACK INTERSECTION.
- SIDEWALKS (OR TRAIL) TO BE LOCATED ALONG ALL PUBLIC STREETS, BOTH SIDES.
- FINAL LOCATIONS OF CENTRAL MAILBOX KIOSKS WILL BE REVIEWED BY THE CITY AND POST OFFICE AND PLACED ACCORDINGLY.
- ROAD NAME PROPOSALS TO BE REVIEWED BY CITY ENGINEER IN CONSULTATION WITH THE POLICE AND FIRE DEPARTMENTS.
- AT CROCKETT PARK, AREA H, PATH EXTENDING REBECCA DR IS CLOSED TO VEHICLE TRAFFIC THROUGH PARK, BUT FOR SPECIAL EVENTS.
- TRAFFIC STUDY CURRENTLY UNDER REVIEW. SPRINGBORO TO ADVISE, THEN WILL BE INCORPORATED TO GENERAL PLAN.
- NO CONSTRUCTION ACCESS PERMITTED FROM TAMARACK TRAIL OR FOX TRAIL DRIVE.
- RIGHT-OF-WAY ALONG NORTH MAIN STREET TO BE DEDICATED PER CITY SPECIFICATIONS.
- ALL CIVIL DESIGN INCLUDING STORM WATER, ROADWAYS, UTILITY AND EASEMENT DETAILS WILL BE FINALIZED AS DESIGN PROCESS ADVANCES.
- PROPOSED PHASING INCLUDING ROAD CONNECTIONS AND OTHER IMPROVEMENTS WITH SURROUNDING DEVELOPMENTS INDICATED ON THIS SHEET (SEE DETAIL SEE RIGHT).
- HOA DOCUMENTS NEED TO BE CREATED FOR REVIEW IN FUTURE.
- THE CLEARCREEK FIRE DISTRICT HAS SUBMITTED THE FOLLOWING COMMENT: PURSUANT TO SECTION 105.4.3 AND 105.4.4 OF THE 2017 OHIO FIRE CODE, IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE CONSTRUCTION DOCUMENTS INCLUDE ALL OF THE FIRE PROTECTION REQUIREMENTS AND THE SHOP DRAWINGS ARE COMPLETE AND IN COMPLIANCE WITH THE APPLICABLE CODES AND ORDINANCES. THE APPLICANT SHALL SUBMIT THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH PARAGRAPH (D)(2)(A)(U4.2.1) OF THIS RULE OR CONSTRUCTION DOCUMENTS APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
- THE INTENT OF THE DESIGN GUIDELINES IS AS COVENANT.
- MINIMUM SETBACK FOR OFF STREET PARKING ALONG SR 741 IS 30 FEET.
- PUBLIC ACCESS EASEMENTS AND UTILITY EASEMENTS OVER ALLEYS TO BE COORDINATED AND ESTABLISHED. DETAILS TO BE WORKED OUT AT A LATER DATE.

Element Metrics for Component Areas:			
Number of lots/Dwellings	N/A	Commercial	MultiFamily Residential
Setbacks / Build-to lines	See Plan	See Plan	See Plan
Maximum building height	50ft	50ft	58ft
Minimum Dwelling Unit Size	N/A	N/A	400 S.F.
Max Lot Coverage	85%	75%	75%
List of Land uses		See Table	See Table

ELEMENT METRICS FOR COMPONENT AREAS

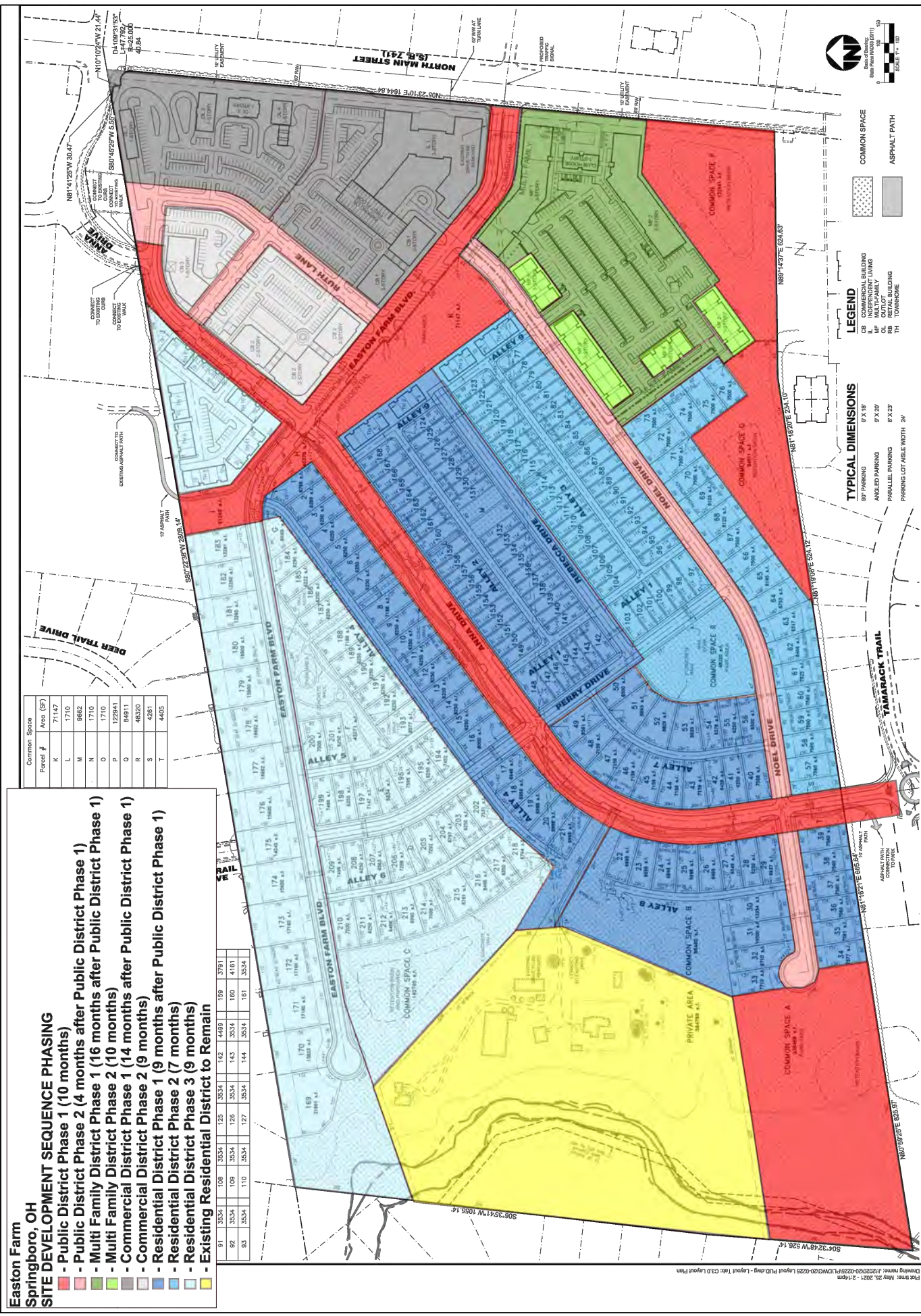


SINGLE FAMILY LOT DETAILS

- NOTE
- NOT ALL 50' LOTS WITH REAR ALLEY ACCESS FRONT ON A PUBLIC STREET. SOME LOTS FRONT ON OPEN SPACE LOTS.

LIST OF APPROVED LAND USES

Community, Civic, and Institutional Uses	Commercial / MultiFamily Residential	Single Family Residential
Technical School	✓	
Institution for Higher Education	✓	
Charitable or Philanthropic Use	✓	
Private Club, Fraternal Organization, or Community Group	✓	
Medical Clinics	✓	
Public and Private schools	✓	
Day Care Center	✓	
Essential Services and Utilities	✓	
Retail Sales	✓	
Veterinary Hospital, Clinic or Office	✓	
Vehicle Fueling Station	✓	
Bank or Financial Institution w/ drive through	✓	
Bank or Financial Institution w/o drive through	✓	
Bar or Tavern	✓	
Office	✓	
Recreations, Commercial Indoor Business Service Establishment	✓	
Vehicle Wash Establishment	✓	
Drive In and/or Drive Through Facilities (except for restaurants and financial institutions)	✓	
Personal Service Establishment	✓	
Retail Sales (Outdoor) (accessory to a permitted use)	✓	
Restaurant w/o drive through	✓	
Restaurant w/ drive through	✓	
Bakery or Confectionary	✓	
Theatre	✓	
Other similar uses as determined by the Zoning Inspector	✓	
Residential Uses		✓
Single Family detached Dwellings		✓
Single Family attached Dwellings		✓
Multi Family Dwellings		✓
Apartments		✓
Condominiums Loft style Residential		✓
Assisted or Independent Living Residences		✓
Accessory, Temporary, and Other Uses		✓
Farmer's Market		✓
Food Trucks		✓
Outdoor Entertainment (accessory to a permitted restaurant, bar or tavern use)		✓
Seasonal Sales		✓
Temporary Uses		✓
Personal Wireless Service (PWS) Facilities		✓
Additional Land Uses		✓
Bed and breakfast Inn		✓
Retail/shopping center		✓
Carwash-full service or auto		✓
Condominium office building		✓
Convenient food stores		✓
Drive thru carry out		✓
Fast food/drive-in restaurant		✓
Franchised drug store		✓
Full service banks		✓
Gas station/carwash		✓
Gas station/convenience food store		✓
Green space		✓
Health spas		✓
Hotel		✓
Medical clinics and offices		✓
Medical condo		✓
Neighborhood shopping center		✓
Office bldg 1 & 2 stories		✓
Other commercial housing		✓
Other retail structure		✓
Retail condominium		✓
Retail/Apartments over-walkup		✓
Retail/office over-walkup		✓
Savings & loans, Credit Union		✓
Small retail struct<10000 sf		✓
Supper club/night club		✓
Surgical center		✓

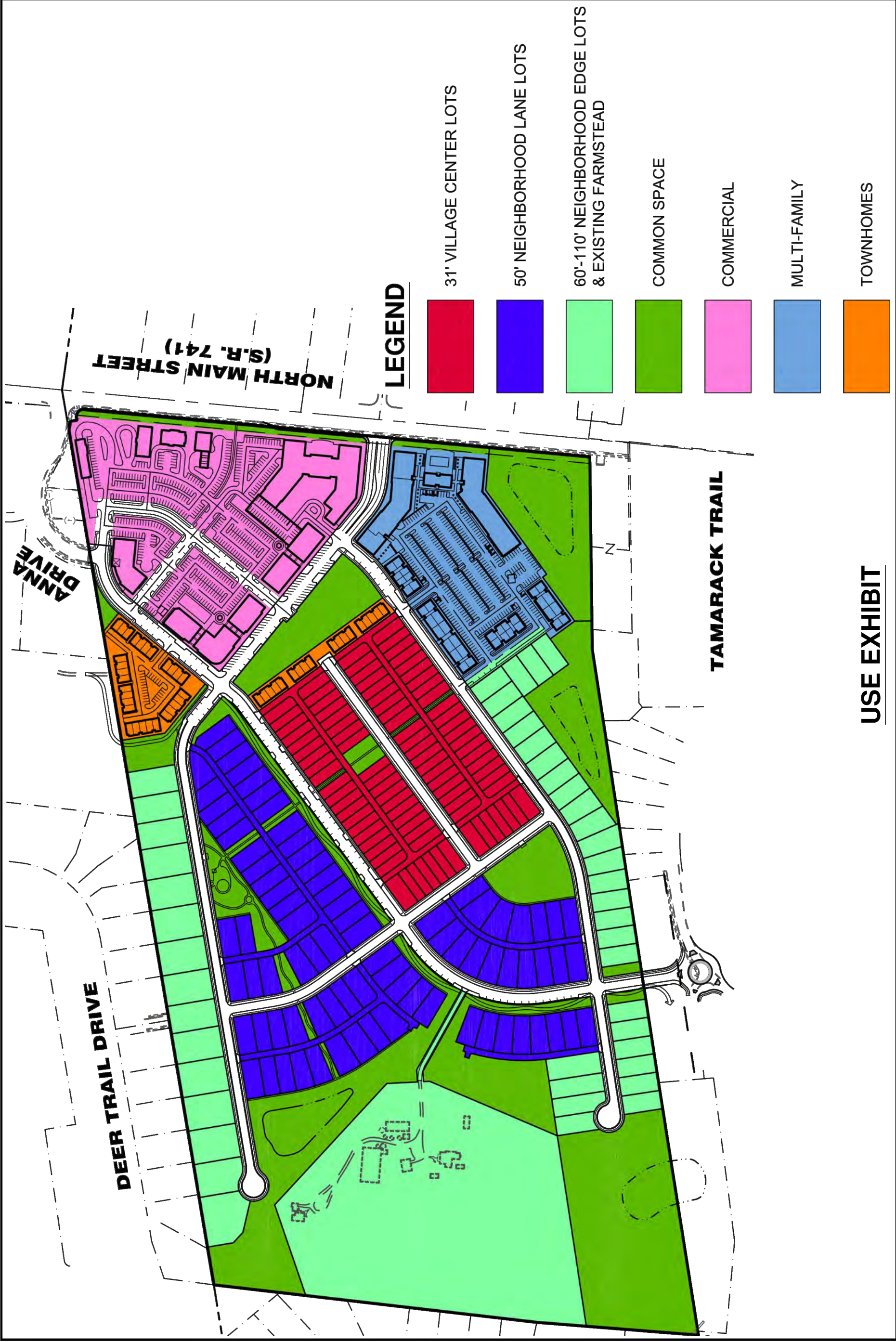


PROJECT PHASING PLAN

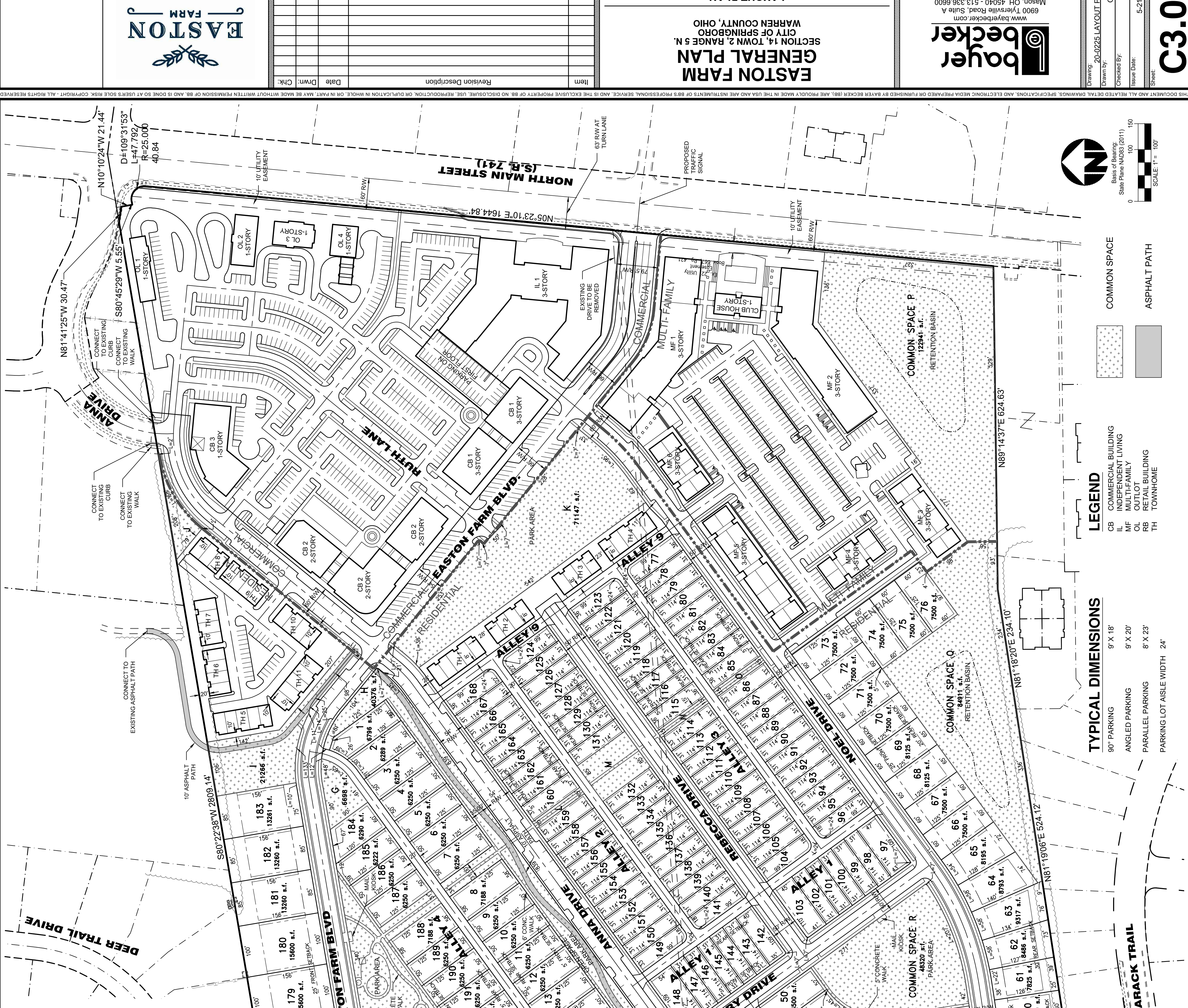
SINGLE FAMILY LOT STANDARDS											
	LOT WIDTH	LOT DEPTH	Garage Loading	FRONT YARD SETBACK	SIDE YARD SETBACK (MIN. EA. SIDE)	REAR YARD SETBACK	MAXIMUM OCCUPIED HEIGHT	MINIMUM DWELLING SIZE	MINIMUM DWELLING LOT COVERAGE		
	(Min.)	(Min.)						(Min.)			
VILLAGE CENTER LOTS	31'	114'	Service Way	5' to 8'	3'	3'	2 stories	1 story	1,800 sf	75%	
NEIGHBORHOOD LANE LOTS	50'	125'	Service Way	5' to 8'	3'	5'	2 stories	1 story	2,400 sf	75%	
NEIGHBORHOOD EDGE LOTS & EXISTING FARMSTEAD	60'	125'	Front	25'	3'	20'	2 stories	1 story	3,000 sf	75%	
	≥ 85'	156'	Front	25'	5'	40'	2 stories	2 story	3,000 sf	75%	
TOWNHOMES	N/A	N/A	Service Way	10'	10'	10'	3 stories	1 story	925 sf	75%	

RESIDENTIAL DEVELOPMENT STANDARDS

- NOTE:
- PER CITY CODE CHAPTER 1272, THE OUTER PERIMETER OF A DECK (ATTACHED OR DETACHED) MAY EXTEND INTO THE REAR SETBACK AREA, BUT IN NO CASE SHALL BE LOCATED CLOSER THAN 5 FEET TO A REAR PROPERTY LINE. DECK SHAW NOT EXTEND LATERALLY INTO THE SIDE YARD SETBACK OR NOT WIDER THAN THE PRIMARY STRUCTURE, AND FURTHER REGARDING SWIMMING POOLS, A POOL MAY NOT BE LOCATED WITHIN THE REAR SETBACK AREA. ANY DECK OR SWIMMING POOL SHALL BE LOCATED CLOSER THAN 10 FEET TO ANY PROPERTY LINE OF THE PROPERTY ON WHICH IT IS LOCATED.



Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area
77	4113	94	3534	111	3534	128	3534	145	3534	162	3534	179	15600	196	15600
78	3534	95	3534	112	3534	129	3534	146	3534	163	3534	180	15600	197	15600
79	3534	96	3742	113	3534	130	3534	147	3534	164	3534	181	13260	198	6250
80	3534	97	5411	114	3791	131	3534	148	6095	165	3534	182	12861	199	7468
81	3534	98	3534	115	4161	132	3534	149	3742	166	3534	183	21566	200	6250
82	3534	99	3534	116	3534	133	3534	150	3534	167	3534	184	6250	201	6250
83	3534	100	3534	117	3534	134	3534	151	3534	168	4113	185	6250	202	6250
84	3534	101	3534	118	3534	135	3534	152	3534			186	6250	203	6250
85	4161	102	3534	119	3534	136	3534	153	3534			187	6250	204	6250
86	3790	103	5183	120	3534	137	3534	154	3534			188	6250	205	6250
87	3534	104	3742	121	3534	138	3534	155	3534			189	6250	206	6250
88	3534	105	3534	122	3534	139	3534	156	3534			190	6250	207	6250
89	3534	106	3534	123	4113	140	3534	157	3534			191	6250	208	6250
90	3534	107	3534	124	4113	141	3742	158	3534			192	6250	209	6250
91	3534	108	3534	125	3534	142	4499	159	3791			193	6250	210	6250
92	3534	109	3534	126	3534	143	3534	160	4161			194	6250	211	6250
93	3534	110	3534	127	3534	144	3534	161	3534			195	6250	212	6250



Site plan showing property boundaries, buildings, and easements. Key features include Anna Drive, Deer Trail Drive, and various utility easements. Dimensions and bearings are provided for the boundaries.

Boundaries and Dimensions:

- N81°41'25"W 30.47'
- N10°10'24"W 21.44'
- D=109°31'53"
- L=47.792'
- R=25.000'
- 40.84'
- S80°45'29"W 5.55'
- S80°22'38"W 2809.14'
- N10°10'24"W 21.44'

Buildings and Structures:

- OL 1 1-STORY
- OL 2 1-STORY
- OL 3 1-STORY
- CB 3 1-STORY
- TH 10
- TH 7
- TH 6
- TH 5
- TH 4
- TH 3
- TH 2
- TH 1

Easements and Paths:

- 10' UTILITY EASEMENT
- 10' ASPHALT PATH
- CONNECT TO EXISTING CURB
- CONNECT TO EXISTING WALK
- CONNECT TO EXISTING ASPHALT PATH

Other Labels:

- ANNA DRIVE
- DEER TRAIL DRIVE
- 10' ASPHALT PATH
- 10' UTILITY EASEMENT
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The diagram consists of three main technical drawings:

- EASTON FARM BOULEVARD (ANGLED PARKING BOTH SIDES)**: A cross-sectional view of a road with angled parking on both sides. The total right-of-way (RW) is 66'-0". It shows two 20'-6" B/C (Bicycle Lane) sections, each 12'-0" wide, separated by a 12'-0" gap. The parking areas are 18'-0" wide. The drawing includes callouts for various construction items: ITEM 448 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, ITEM 407 - TACK COAT @ 0.10 GAL/SY, ITEM 448 - 1-1/2" ASPHALT CONCRETE LEVELING COURSE, ITEM 301 - 6" BITUMINOUS AGGREGATE BASE, ITEM 408 - PRIME COAT @ 0.50 GAL/SY, ITEM 304 - 8" AGGREGATE BASE, ITEM 204 - COMPACTED SUBGRADE, ITEM 609 - ODOT TYPE 2 CURB & GUTTER, and ITEM 605 - 6" UNDERDRAIN WITH FILTER FABRIC. An outlet to the nearest downstream catch basin or manhole is indicated.
- EASTON FARM BOULEVARD (PARALLEL & ANGLED PARKING)**: A cross-sectional view of a road with parallel and angled parking. The total RW is 54'-0". It features an 8'-6" B/C section, a 12'-0" gap, and a 12'-6" B/C section. The drawing includes callouts for various construction items: ITEM 448 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, ITEM 407 - TACK COAT @ 0.10 GAL/SY, ITEM 448 - 1-1/2" ASPHALT CONCRETE LEVELING COURSE, ITEM 301 - 6" BITUMINOUS AGGREGATE BASE, ITEM 408 - PRIME COAT @ 0.50 GAL/SY, ITEM 304 - 8" AGGREGATE BASE, ITEM 204 - COMPACTED SUBGRADE, ITEM 609 - ODOT TYPE 2 CURB & GUTTER, and ITEM 605 - 6" UNDERDRAIN WITH FILTER FABRIC. An outlet to the nearest downstream catch basin or manhole is indicated.
- COMMERCIAL SIDEWALK TYPICAL SECTION**: A cross-sectional view of a commercial sidewalk. The total width is 11'-0". It includes a 6"-12" caulked expansion joint per 50' min. The drawing includes callouts for various construction items: ITEM 608 - 4" CLASS C, ITEM 304 - 4" AGGREGATE BASE (CRUSHED), ITEM 608 - SIDEWALK, SQ. FT., and ITEM 204 - SUBGRADE COMPACTION.

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May 2021

EASTON FARM
DESIGN GUIDELINES
SPRINGBORO, OHIO

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 BORROR

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PROJECT INTRODUCTION

Easton Farm looks to develop a new in-town neighborhood on the historic 'Easton Farm' site in the City of Springboro Ohio, located on the west side of State Route 741, between Anna Drive and Gardner Park to the north, and North Park and Tamarack Trail on the south.

The purpose of this Design Guideline document is to function as covenant for associated criteria. The Easton Farm concept takes inspiration from the townscapes of small, historic Ohio villages, while incorporating updated ideas for streetscapes, parks, open spaces and connective pathways as a platform for a variety of market-rate residences and a mixed-use commercial district facing Route 741.

The residences within these new neighborhoods are scaled to the street, with most featuring garages placed along mid-block service ways that are landscaped, thereby eliminating multiple front driveways and allowing for a series of un-interrupted sidewalks, bike paths, greenways, interspersed with community amenities that encourage pedestrian interconnection and walkability both within The Easton Farm site, and through to the adjacent city parks and neighborhoods.

These interconnected green spaces and pathways are designed to connect to smaller internal neighborhood parks and open spaces that are judiciously placed throughout The Easton Farm, and will feature play areas, shade structures, seating areas, dog parks and significant passive, and well-landscaped green spaces. Tree-lined streets will connect these residential neighborhoods to the mixed-use district close to S. R. 741 and to its retail, restaurant, office, central park, and service offerings.



COMMERCIAL AND MULTIFAMILY

The purpose of this Article is to allow for flexibility that will allow for the overall Easton Farm development to become a walkable, integrated mixed-use, in-town neighborhood with the following emphases:

- Building design criteria that allows for unified and creative interpretations of traditional and potentially more contemporary design vernaculars, motifs and building materials, provided the final design creates a visually complementary, integrated urban village environment;
- Residential and mixed-use neighborhoods, activity areas, and open space(s) crafted around a well-defined transportation/circulation network where pedestrian activity is strongly emphasized and judiciously integrated with vehicular streetscapes, service and parking areas;
- Identifying and locating market-driven retail, café, restaurant, personal care and/or business service offerings where they can best generate high pedestrian activity, along ground floor locations, below potential office space, hospitality, or residential units on upper floors;
- A site plan that can defines and accommodate options where commercial/retail, office, institutional and public spaces can optimally

be incorporated into the overall neighborhood fabric.

- Residential areas that are either built above, adjacent or within close/walkable proximity of new commercial uses, places of work or dedicated public open spaces and/or amenities;
- An emphasis on developing neighborhoods where new and existing residents and visitors can live, work and play, and interconnected with a multiuse path and linear park.

1. Permitted Uses

The The following uses are permitted within the mixed-use neighborhood adjacent to S.R. 741:

- (a) Specialty retail including apparel, fashion accessories, home goods, sporting goods, hobbies, gifts, specialty packaged/prepared foods, large(r) footprint retail/anchors (potentially) up to 35k s.f., temporary or 'pop-up' retail/vendors, kiosk-based retail/ food vendors, service businesses, personal service businesses, financial services, grocery and or specialty foods market (not to exceed 15k s.f.) personal care services (salons and spas), professional retail services (for example, florists/

- printing/copying, dry cleaner, shoe repair, real estate/escrow, or similar).
- (b) Restaurants, cafés, bistros, nightclubs and bars
 - (c) Offices and professional services, medical, dental, pet care, financial/ investment service offices, real estate, escrow/ title, educational, training facilities, schools and specialized academic tutoring operations.
 - (d) Multi-family, multi-level residential, with potential for portions of it to be above retail, office or other first floor uses.
 - (e) Senior Lifestyle, multi-family, multi-level residential including; 55+ Active Adult, Independent and/or Assisted Living, and Memory Care Facilities. A portion of any such development(s) may be located over ground level commercial and/ or covered parking depending on the specific site condition and location.
 - (f) Entertainment and recreational venues
 - (g) Theater, cinemas or live performance venues
 - (h) Conference and meeting facilities.
 - (i) Parking, including street and surface lots/garages
 - (j) Public and Institutional uses
 - (k) Accessory structure uses
 - (l) Open Spaces and Event spaces
 - (m) Other, as approved by the Master Developer consistent with goals set forth in this text.
 - (n) Mixed Use - Ground Floor Uses: The ground floor of buildings in the mixed-use Retail/ Commercial neighborhood shall be restricted to retail business, restaurants/bars, cafés, professional services, and other uses that tend to encourage street level pedestrian-oriented activity. The Master Developer will work to encourage storefront designs that create a vibrant, pedestrian

oriented, neighborhood environment.

- (o) Mixed-Use - Upper Level Floor Uses: Offices, medical, and/or residential uses in the Multiple Use Retail/ Commercial Area buildings should be encouraged on any or all upper floors of the building where feasible.
- (p) Public and Institutional Uses: The Property may include a mix of community and city buildings, meeting halls, libraries, post offices, schools, public recreational facilities, museums, performing arts centers or other uses permitted by the Master Developer, and may be located within or adjacent to open spaces and parks.

Where possible, civic uses should be sited and designed with key architectural features that help define its character, and/or to be at the end of street vista(s) or centered on an open space or plaza. Such uses may utilize shared parking, however any required off street parking shall be located in rear yards. Parking needs will be assessed by the Master Developer as part of any submission.

2. Lot Requirements

- (a) Lot requirements are defined in the following table based upon the usage classification indicated. The definitions for each classification appear below the table. If there is a question as to the appropriate usage classification for a user, the Master Developer will determine the most appropriate classification at its discretion.

USAGE							
	MINIMUM LOT WIDTH OR AREA	MINIMUM OPEN SPACE	FRONT YARD SETBACK	SUM OF SIDE YARD SETBACK ⁵	REAR YARD SETBACK	MAXIMUM OCCUPIED HEIGHT	MINIMUM OCCUPIED HEIGHT
Freestanding, Single Use Retail/Commercial Services ¹	50'	-	0'	0'	0'	2 stories	1 story
Multiple Use/Retail/Commercial Services ²	75'	-	0'	0'	0'	3 stories	1 story
Office ³	75'	-	0'	0'	0'	3 stories	1 story
Multi Family Residential Areas ⁴	5,000 sf	25%	<10'	0'	15'	3 stories	-
Single Family Attached	8-30 du/ac	25%	<10'	0'	0'	*2 stories	1 story
Multi-Family Attached	18-65 du/ac	25%	<10'	0'	0'	3 stories	1 story
Accessory Structures	500 sf	-	-	-	-	2 stories	-

* except where roof deck occupancy is permitted

- Freestanding, Single Use Retail/Commercial Services (In 'pad' or 'lot' locations.)** These uses include: non-specialty retail, medium/large format 'anchors', commercial businesses, personal care services, pet care or veterinarian services, financial services, restaurants/ bars, cafés or specialty foods, educational services, automotive services, sales and/or repair, child daycare centers and other uses located on individual lots.
- Multiple Use Retail/Commercial Services.** Primary uses include specialty retail, apparel and/or accessories, home goods, gifts, medium or larger format general merchandise retailers including department stores, restaurants/bars, specialty foods, entertainment facilities, public services, retail service businesses, business and personal services, personal care services pet care or veterinarian services, small professional offices and/ or financial services, and educational services, to be built along a streetscape orientation that fosters a lively pedestrian atmosphere.
- Office.** Primary uses include professional offices and services, medical offices and/or laboratories, essential services including walk-in medical and/or pet care, and educational uses. Secondary uses may include live/work residential.
- Multi-Family Residential Area.** Area includes single-family attached dwellings, such as town houses or duplex units, multi-family attached dwellings, apartments and condominiums, assisted and/or independent living residences, senior housing, and live/work hybrid residential units. Lot widths, Maximum Occupied Height and Minimum Occupied Height are set forth separately for Single Family Attached and Multi-Family Attached units.
- Structure Setbacks.** To foster and create a series of traditionally inspired, urban-scaled, pedestrian oriented, walkable streetscape environments, within an integrated mixed-use, urban village district, no more than 50% of any Structure shall be set further back than the setback or build-to line location that fronts on a pedestrian walk area. Where setbacks do occur, they should be to create visual interest, break down scale and massing, and should not form a large break in the street wall effect, except to create a pocket for entries, arrivals, small public or semi-public gathering spaces, or to work around a service or operational requirement.

3. Site Development

In keeping with the design intent to create a series of integrated mixed-use neighborhoods, this section for public roads may vary from Springboro subdivision standards and shall be submitted for review and approval to the Master Developer.

(a) **Street Design and Materials**

Beyond the likely predominant use of either conventional asphalt or concrete use of differing specialty paving materials is strongly encouraged. Such materials as brick, cobblestone, pavers, colored or infused concrete, stamped and colored asphalt pavement and/or other pavement products, to demarcate special pedestrian walk and/or activity zones, dual pedestrian/vehicular crossing areas, feature street surfaces, crosswalks, pathways, unique 'arrival' zones, plazas and entries. Where viable, such areas may be set to 'zero curb' elevations to facilitate ease of pedestrian use, and as a visual cue for traffic calming in these specific areas.

Such zones or feature streets may have vehicular and pedestrian areas segregated by use of either fixed or removable bollards that can be removed for programmed or promotional events. For specific site development areas within public roadways, pavement and substrate design must be based on calculations that anticipate future traffic conditions and must be submitted to and approved by the Master Developer. Creation of roadways featuring landscaped islands, boulevards, arrival courts and roundabouts are also encouraged where feasible.



A pedestrian-friendly street using flush curbs, bollards, and richly textured materials to demarcate various spaces.



Street crossing emphasized with specialty paving and bollards.



A finely detailed arrival court serves as an interface between vehicular and pedestrian space.

(b) Street Right-of-Way (ROW)

The Easton Farm Development Plan contains a series of right-of-way ("ROW") widths. All initial development will front on a first-phase series of streets that will become the primary access points into and through the development, from both S.R. 741 and Tamarack Trail. These roadways will vary in design depending on service level for that particular street or access way, service drive or entry.

There are five right-of-way widths, from a multi-lane, divided boulevard, to internal streets that accommodate a center turn lane, parallel parking on either side, to a one-way street, with both angle-in and parallel parking.

The key dimensions include travel lanes of twelve feet (12'), twenty-four foot (24') (face of curb to face of curb) two-lane roadways, and eighteen foot (18') one-way road lanes, parallel parking spaces at eight feet (8') wide (face of curb to edge of pavement), and a sidewalk/landscape area on each side of no less than twelve feet (12'), featuring a sidewalk of no less than six feet (6') on each side. The remaining areas on each side to be landscape buffer, up to either a building, setback line, landscape area, or adjacent building or property line.

Additional dimensional width is added for the following uses:

- For an additional parallel parking lane, add 8' feet width x 23' feet per space.
- For each additional travel lane and/or center turn lane, add twelve feet (12') for through lanes and ten feet (10') for turn lanes.
- To add angled-in parking on any one side, add an additional twenty feet (20') for angled parking and eighteen feet (18') for one-way drive aisles.

- The primary landscaped median areas in the center of two way boulevard entrances roadways shall be no less than ten feet (10') face of curb to face of curb. Current plan shows a portion of each entry median at Easton Farm Blvd. and S.R. 741 as concrete with a width that varies between three feet (3') and seven feet (7').

These dimensions ensure that streets developed within the mixed-use urban village are developed to help shorten/ make more secure pedestrian crossings and inhibit drivers from traveling at high speeds within and through the development/ neighborhoods.

For specific site development enhancements that do not fall within these basic ROW guidelines, such as roundabouts, arrival courts, and streetscape features (such as street furniture, water features, sculpture, accessory structure, hardscape/ landscape features) and/or in combination with on-street parking, deviation from these ROW requirements may be permitted, with the approval of the City. This will be assessed in context with a specific development's design intent, in context with any existing adjacent development, especially if any such deviation adds to the pedestrian experience of the Property.

(c) Utility Easements along Streets

All public street utility easements shall fit within planned street ROW's or in dedicated service lanes where possible, and are to be located under pavement, landscape and sidewalk areas as necessary. Deviation from this requirement will be considered by the Master Developer and City, and only for specific site conditions that prove a variation is necessary. Private utilities to be in established easements.

- (d) **Street Radii Corner Radii & Clear Zones**
Corner curb radii shall be between eight feet (8') and twenty-five feet (25') as determined by the intended use (residential areas up to fifteen feet (15'), and mixed use areas up to twenty-five feet (25')). These tighter turning radii are intended to shorten pedestrian crossings and inhibit drivers from turning corners at high speeds. To allow emergency vehicles (e.g. fire ladder trucks) to turn corners, a twenty-five foot (25') radius Clear Zone may need to be established free of all vertical obstructions including but not limited to street lighting poles, decorative bollards, wayfinding signage, sign poles, fire hydrants, utility boxes, or dense vegetation landscaping or street trees. Where viable, the curve should also be used to create 'bump-out' landscape and pedestrian areas that cap rows of either parallel or angle-in parking spaces.

- (e) **Utility and Equipment Locations**
All utility, telecommunication and landscape irrigation distribution lines shall be located underground established easements, with all visible, in-ground utility access boxes placed as to not interfere with building pads, sidewalks, pathways and other pedestrian zones, light poles, wayfinding, directional or other street signage, parking areas, landscaping other than trees. This would also include submitting integrated plan(s) prior to installation, from both the master developer and any other subsequent developer entity that needs to place such devices as to not be in conflict with any existing or prior proposed utility items. This is to avoid redundant placement of light poles and fixtures or to avoid the potential to visually clutter or impede corners, sight lines, pedestrian ways or



Small corner curb radii reinforce pedestrian-friendly areas by shortening crossing distances and slowing cars.



Small turning radius reduces crosswalk distances, while larger turning radius is accommodated with bollards and a flush curb.



Utility cabinets should be placed discreetly (to the side or rear of building) and screened with plant materials.

streetscapes. All utility providers and/or governmental agencies requiring similar placements for transformers, traffic control equipment, telecommunication pedestals, electrical cabinets, metering, exposed pipes and/or valves, and any other mechanical equipment or devices requiring above-ground placement in areas visible to the public and residents that are considered common areas, will also be required to submit and integrate with the master developer and any other adjacent private development entities. Any such fixtures and devices should be visually screened from and/or within public pedestrian and vehicular zones, preferably within landscape beds, landscaped parking 'islands' and/or landscape buffer areas.

- (f) **Utility and Equipment Screening**
All exposed structures requiring open-air locations, particularly rooftop mechanical/HVAC equipment, utility and/or other functional hardware, whether located atop, attached, or separated from the building it services, shall be adequately screened from public view. If atop a structure, these features shall be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than one hundred fifty feet (150'), or beyond any public facing elevation that can be viewed from any public view point, or from the highest public vista possible looking down onto such a roof structure. Screen devices shall be fabricated to match and/or enhance the overall architectural massing, with materials and colors harmonious with the overall building(s) or block where applicable. All such devices are approved at the discretion of the Master Developer. Where possible, such



Dumpster are completely screened on all sides. Wall and gate materials are consistent with the building architecture.



Screening of tenant equipment, such as trash receptacles, storage bins, and grease containers with an architectural fence.



Loading dock and compactor screened with a building wall and landscaping.

elements as generators, electrical and telecommunication cabinets should be set into lower grade areas, or within the building walls either open air or within a separated utility room or service area. Such features shall also be adequately screened by either screen walls or dense landscaping if they are in open area settings.

(g) **Service/Loading Area Screening**

All building and/or tenant back-of-house functions, such as trash containers, grease traps, recycling bins, compactors, or any other functional need, located outside of any interior lease area, shall be grouped in an approved common area/service zone(s), within individual blocks located within that specific development block and/or complex, and placed or screened as is practical from public view, preferably in rear, or side yard or interior service rooms.

Where exposed to public view, such service zones shall be adequately screened with architecturally complementary access doors and screen walls, and/or berms or dense landscaping.

Recessed and/or raised service docks that face any public streetscape or parking area, or visible at the rear of any building, shall be screened from any public right-of-way with screen walls and/or screen doors, of a height and scale that will adequately hide any service vehicles that may use such zones.

Screen wall, doors and/or roof enclosure elements are to be constructed of materials, colors, trim and/or patterns to mimic the primary architectural character of that particular building.

Exceptions are fully screened service zones, located between or surrounded by

(or reasonably expected to be surrounded in the future by) other buildings and can provide service bay access that is not directly visible to public view. This would also include a roof or trellis element that screens the service bay from being seen from higher floors overlooking such zones.

Service entrances located at the rear of buildings shall be screened, unless such areas are comprised only of only service access doors. On street, curbside loading areas need not be screened from view, but should be made dual-purpose to encourage other uses after hours, with clear signage as to the hours such potential uses are allowed.

Hours of loading/servicing shall be coordinated with the Master Developer and/or any subsequent 'association' to limit service hours to non- operational, or lesser traffic impact times of the day. Hours of operation for non-residential to be comply with with City Code Section 660.19.

(h) **Loading Space Requirements**

Within Easton Farm retail and commercial areas, loading may be accomplished at specific curbside locations for smaller, in-line retail and service tenants, as practical and necessary depending on distance from a screened delivery bay. Curbside loading spaces should be made dual-purpose where practical and functionally viable for daytime, public use.

- (i) **Loading in Required Yards**
Loading spaces in other than high density mixed use retail/commercial areas, shall not occupy any part of a required yard setback, except locations at rear yards.
- (j) All service bay screen walls will mimic building design, materials, colors of walls and fences, if visible from any public right-of-way, and shall be uniform and compatible with the base-building architectural style, color and building materials of the principal building and its surroundings.
- (k) **Fencing.**
Any or all fencing is to be painted or powder-coated metal railing, set into ground or bolted/incorporated into a wall or between pier supports. Chain link fences are not permitted along any visible public right-of-way, and may be placed only in service areas screened from public view.
- (l) **Open Space Area Requirements**
Open space shall be provided at ratios of 25% in Residential areas as per the "Usage" Table in this chapter.

4. Building Design

- (a) **Architectural Character**
The following architectural design guidelines are meant to achieve the result of establishing consistent, high-quality design, materials and construction that works with the site and streetscape guidelines to establish and reinforce the mixed-use district 'neighborhood' design and planning goals.
- (b) **Orientation to Street**
Buildings shall be architecturally oriented to frame any immediately adjacent street(s) to create a 'street wall' effect, with the main/primary entrance(s) located, facing the street, public right-of-way or courtyard, and for larger-format users over seven thousand square feet (7,000 sf), facing a relevant-sized surface parking area, unless deviation is deemed appropriate. In cases where there is an anti-access easement or access is not permitted from a particular road or public right-of-way, the building shall not be required to face the subject road or right-of-way. Buildings located on an intersection shall have the main entrance oriented toward the major street and any facade facing other streets shall have facades that 'turn the corner' with similar/complementary design details,



Buildings should be oriented with fronts, including storefronts and entrances, toward the street.



Windows should be expressed with a vertical orientation.

window openings and architectural character.

(c) **Orientation of Windows and Doors**

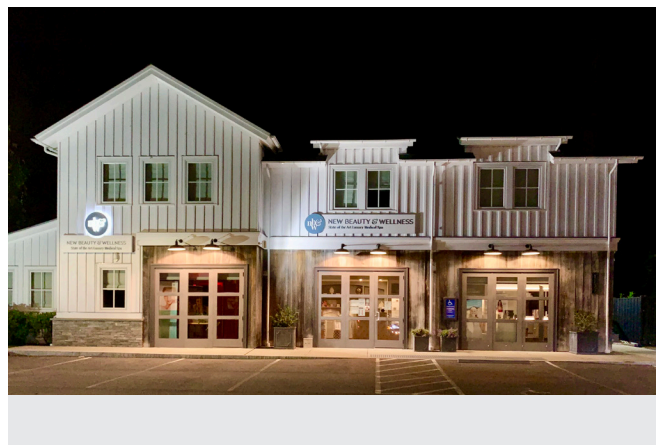
All windows and doors, openings or frame fenestrations located within an opening shall be 'vertical' in orientation, meaning a primary design character of most building openings reflects a more top to bottom aesthetic, mimicking traditional storefronts and window motifs. window features including transoms, divided lights, and sidelights are encouraged, along with storefronts, doors and framing components, which follow vertical enhancing design elements. Sliding commercial-grade glass doors, folding glass windows and butt-jointed glazing may also be allowed, but only if window and/or door orientations are also vertical in nature. Any sliding doors must pocket out of view, and all folding windows should not encroach into an exterior walk or public area beyond a tenant storefront closure line, unless that line is part of the tenant lease area, as in an exterior patio or display space. Uninterrupted linear 'strip-style' windows are not permitted, since they do not reinforce the design vocabulary. The Master Developer may consider specific exceptions, primarily related to functional use, provided that the overall public facing building design is in keeping with the goals of the mixed-use district. In more modern or contemporary interpretation(s), design elements such as overall building massing, window orientation and rooflines should take inspiration from motifs.



Glass should be translucent and provide visibility in and out.



Acceptable building materials include brick, stone, decorative block, precast masonry and EIFS.



Building materials should be applied in a variety of stylish and creative applications.

(d) Glass Materials

Clear or colored glass, translucent, sandblasted and/or decorative pattern glass that can emit light through is encouraged. Retail and/or commercial storefronts should be predominantly clear glass at any street level opening. Where a clear window opening is desired, but for functional reasons is not viable, an internally backlit shallow display box-out is desired. Translucent, patterned or colored glass panel will be allowed in all other applications. Other options, including back painted, fritted, sandblasted, color or non-illuminated translucent glass may be acceptable where structural elements or back-of-house functions or unoccupied space would be visible behind. Black, opaque, spandrel and reflective glass materials are discouraged except in façade areas where its placement is a key part of a final design aesthetic.

(e) Building Materials

Building materials shall be commercial grade, and applied in variety of stylish, creative and clever applications across the expanse of all visible public-facing elevations. Acceptable materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), natural stone, cast or cultured stone, exposed metal structure and/or architectural details and/or surfaces where viable, stucco, EIFS or materials of equal appearance consistent with the acceptable architectural character outlined in these Architectural Guidelines

(f) Rooflines

Flat roofs are permitted, however, parapets or the underside of roof eaves



Partial sloped roof on the left and a parapet on the right with cornice detailing.



This roofline does not effectively screen rooftop equipment. A parapet wall should be extended up to fully hide the equipment.



Varying roof materials with changes to building massing, including shingles of various colors, and standing seam metal.

should showcase some form of cornice or similar design element, masonry and/or brick trim and/or patterning, decorative blocks/brackets, moldings or some form of architectural emphasis along the roofline to tie that element to the building massing below. Where an adjacent building's façade, which adjoins it, has a similar roofline height, a variation of the parapet or roofline is required

NOTE: All rooflines must be able to fully screen any and all HVAC/utility or functional apparatus from public

view from a distance equivalent to the parallel height of that roofline as viewed downhill from any distance into the project. If that proves difficult, a subsequent parapet screen may be installed on roof to provide additional screening.

(g) **Visible Roofing Materials**

Slate style shingles, fiberglass shingles and either copper or painted/ powder coated standing seam metal are permitted materials, for sloped roofs per the discretion of the Master Developer. Where possible, patterning of shingles



Large format retail using massing elements and detail to visually reduce the scale of the front façade.



Building heights should vary in coordination with changes in building massing.



Architectural features such as towers may extend above the typical roofline.



Changes in building massing should include variations to rooflines, setbacks, materials, and include features such as "pop-outs".

colors for more vertical roof surfaces is highly encouraged.

(h) **Building Heights**

Heights shall be consistent with those of other similar uses.

Larger format retailers, entertainment venues or other commercial uses, where taller interior spaces is the normative
Heights of the front facades should use massing elements and materials to blend in with any adjacent structure(s) as to not overwhelm the overall visual appearance.

Subject to the restrictions on Maximum Occupied Height and Minimum Occupied Height as set forth in this chapter, individual structures should feature a variety of heights, utilizing elements such as roofline variation, decorative towers or portal elements, steeples, pediments, clerestories, dormers or domes, consistent with the overall architectural character and these Architectural Guidelines. The height of enclosed unoccupied building elements may not exceed a maximum height up to fifty-eight (58') from main street level grade.

Purely decorative unoccupied elements such as mansard and/or peaked roofs, towers, flagpoles, spires and steeples may be located on top of enclosed space, to a total building height of no more than fifty-eight (58'), excluding decorative metal finials or spires.

(i) **Building Massing**

Individual buildings and any attached structures should strive for complementary building massing, reminiscent of traditional townscape/streetscape patterns. "Monoplanar" or monolithic appearance and surfaces, with little variation in setbacks, wall fenestration, or rooflines are not



Building massing used to break up large monolithic appearance on a building elevation.



Changes in color coordinated with building massing, but not so dissimilar as to clash.

permitted.

Building massing should take into account adjacent buildings, property uses, sightlines, identity, and relationship to its site to accomplish building a contextual variety in its overall massing. As noted above, elements such as rooflines, setbacks, decorative architectural elements, visual openings and wall fenestration elements such as 'pop-outs', window openings, trellises, pergolas, verandas, entrances, piers, pilasters, decorative panels, or grilles, and eaves or cornice

lines are highly encouraged, and visual articulates a structure's overall massing and creates pedestrian scale to its overall context.

5. Colors

(a) Color Variation

The use of sharply contrasting colors on significant swaths of any building(s) facades is discouraged, but may be used for accenting or enhancing an architectural elements. If used either as an accent or as some form of tenant identity, they should be limited to specific architectural elements, details or specific and limited surface areas. Their use in tenant design areas however is encouraged, but subject to tenant design guidelines established by the City for their particular building or development.

Color schemes should be kept to no more than one or two field or trim colors on any given individual facade.

(b) Color Consistency

Color scheme(s) should help to visually tie all parts of building massing(s) together. Monolithic or singular color schemes and appearances are discouraged, but monochromatic color palettes featuring shade variations are acceptable. Typically, the color that is used in the storefront area may be repeated in the upper story windows or to accent a roofline element/cornice area. Colors used at the front façade should be utilized on the sides and rear of buildings.

6. Landscaping-(Also covered in Landscape Section)**Plant Material Selection**

Plant materials shall be chosen which are indigenous, moderately fast growing and require low maintenance. All planted surfaces, whether in ground or in raised

landscape beds shall be fully irrigated and maintained in good working order. The landscape design shall incorporate the total development site, be in context with adjacent users, and consist of a palette of plants with year round appeal which might include annuals, perennials, shrubs and trees. Landscaping provisions to comply with City requirements in Chapter 1280, Landscaping.

(a) Surface Parking Area Screening

Parking areas and driveways shall be screened from adjacent public and private streets and open spaces to a height of 42 inches above the finished parking surface. Taller shrubs and low-profile ornamental trees are permitted in areas where screening of outboard utility or service areas is required.

(b) Exemptions

Parking area landscape requirements shall be waived if the surface parking area is not, nor will ever conceivably be, visible from a public right-of-way, or is considered a temporary use as determined by the Master Developer.

(c) Planting Island Requirements

Planted islands shall be at least 9' in width (face-of-curb-to face-of-curb) and the length of the adjacent parking space with a pervious surface area adequate for proper root aeration and expansion.

(d) Screening Materials

Where plants are used as screening it shall be opaque year round. Plants shall be of a height and density so as to provide the full desired effect within three (3) growing seasons.

(e) Street Trees

All streets shall be planted with regularly spaced shade trees, with a minimum 2" caliper. Trees shall be placed and selected in consultation with the Master Developer.

(f) Street Furniture

‘Street furniture/furnishings’ are key features of public spaces that can greatly facilitate in creating vibrantly-used pedestrian spaces along all streetscapes, open spaces and connecting outdoor areas. These features include such basic items as benches, trash receptacles, bollards, drinking fountains, wayfinding and street signs.

Other elements include game areas and surfaces, moveable tables, chairs, outdoor lounge seating groupings, picnic benches and tables, market umbrellas, outdoor fireplaces, water features, children’s play areas, sculpture and other durable, exterior public art.

Street furniture shall be chosen and placed in consultation with the Master Developer, and shall be located within agreed zones to maintain a clear pedestrian path.

Street furniture shall be made of materials consistent with extended public use. These materials include painted or powder-coated metal with a matte finish; wood in either a stained, painted or treated finish; outdoor grade fabrics and canvas, and in certain instances, high-impact, composite or resin-based materials that mimic natural finishes that are weather and fade resistant.

All street furniture and public features shall always be maintained in good working order and appearance by their respective owner(s), and repaired or replaced as necessary.

Street furniture shall be consistent in material, color and style along both sides of any street street in public areas fronting onto other developments.



Parking screened with a continuous evergreen hedge.



Street trees in a tree lawn between the curb and sidewalk.



A variety of furnishings activate the street and provide necessary “creature comforts”.

Within any one development parcel, a developer may utilize differing selections, provided they are part of an overall design scheme, placed appropriately and upholds the pedestrian-friendly spirit of The Easton Farm. All street furniture elements, either new or replacement that vary in color, material, number, placement or size from prior approved plan(s) are subject to Master Developer.

- (g) **Registered Professional Required**
Each applicant shall utilize a registered landscape architect who shall work with the Master Developer on all landscape design, landscape plans and/or alterations.
- (h) **Maintenance**
The Master Developer may supplement these Architectural Guidelines by adopting, through rules and regulations, more specific Landscaping Standards that will apply to this Property.

7. Outdoor Lighting

Outdoor Lighting.

All outdoor lighting of buildings, surface parking areas, service zones, or any non-illuminated, surface mounted project signage or tenant identity signage, shall be directed so as to prevent glare on adjacent properties and streets and to shield the lighting from residences, to the maximum extent feasible.

All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of the urban village theme. Exterior lighting to comply with City requirements in Chapter 1273, Exterior Lighting.

Street Lighting.



Games can be provided to activate the street, and should be coordinated with seating.



Pedestrian-scale lighting. Cut-off style fixtures reduce glare and light pollution.



Taller fixtures for use in vehicular applications, but still with pedestrian detailing consistent with the setting.

Consistent and commercial grade fixtures for street and pedestrian lighting shall be provided on all streets, sidewalks and pedestrian pathways, including public gathering/event spaces, both public and private within the Property. Street and pedestrian poles shall be located at all intersections and along sidewalks at intervals consistent with the urban village design character.

Note: All lighting fixtures, light levels, placement and scale needs to be coordinated with any existing adjacent or abutting streetscape, developed property, or proposed project to avoid redundant fixtures and 'over-lit' conditions along these interfaces.

Street lighting shall be scaled to the pedestrian, with pedestrian street support posts no less than 12' high to underside of actual fixture, which shall be the recommended minimum height, including 30" minimum bases and tapered support posts of no less than 6" diameter at the base.

Pedestrian light poles are to be featured within all community gathering space areas, and shall feature exterior outlets in the base for seasonal and functional needs. Street light fixtures shall be painted or powder coated metal, with a matte finish, consistent in color and style on both sides of any street and chosen in consultation with the Master Developer. An alternative for public spaces, gathering areas, and pedestrian pathways are low-profile LED, internally lit bollards, placed at intervals to fully illuminate all pedestrian surfaces, or concealed, undermount lighting that surface illuminates or 'washes' pedestrian walk or gathering areas.

A street/pedestrian lighting plan,

showcasing a fixture schedule, light levels, and placement within the Property, and showing any adjacent existing fixture(s) and placement, shall be submitted to the Master Developer for approval.

(a) **Decorative Accent/Architectural Lighting**

All decorative accent/architectural lighting, meant to illuminate a building feature or surface(s), as well as any surface mounted, non-illuminated signage that is a permanent feature of the overall building or site design, shall also be submitted to the Master Developer for review and approval.

8. Outdoor Storage

(a) **Screening.**

Outside storage of merchandise, raw material, finished products and/ or equipment must be visually screened from any publicly visible right-of-way. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal.

Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character. Exception: if the service bay is fully screened from any public view, then these requirements may be waived, but only upon review and approval of the Master Developer.

Initial site planning should work to negate or minimize views from any public areas or such large bays wherever possible. Masonry, brick, stone, decorative block, composite materials, pressure treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached

or free-standing service areas and bays.

Storage facilities shall feature walls that reflect the surrounding architectural character, tall-growth landscaping, and enclosure doors featuring decorative fencing and opaque metal screen backing.

For uses that require more than occasional access, and are outboard or freestanding from the main building area, three sides shall be screened, but screened areas must not be visible from the public right-of-way, and shall feature unlocked, decorative and opaque doors to one side for clear access. Chain-link fencing with inserted slats, or plastic-coated walls and/ or support wood posts, are not permitted.

(b) **Storage/Screened Service Area Design.**

Any required outdoor storage building(s) or structures shall be constructed in the same style/materials and colors as their surrounding buildings or primary project character. The overall concept is that they should not look 'temporary'.

(c) **Visibility from Public Right-of-Way.**

Where possible, locate any outdoor storage structure away from the public right-of-way or view behind the main building(s).

(d) **Accessory Structures.**

Accessory Structures may contain auto and accessory vehicle parking, developer/landlord/tenant or resident storage, building or amenity functions/uses, general maintenance storage, or trash/recycling bin enclosures. Prefabricated shed structures are not permitted.

9. Vehicular and Pedestrian Circulation.

(a) **Safety.**

The safe and functional movement of both vehicles and pedestrians, on and off-site, shall be provided as the primary consideration in designing transportation networks within the Property, and all site plans shall be crafted to minimize such conflicts wherever possible.

(b) **Pedestrian Circulation.**

Pedestrian circulation is highly encouraged, and can be accomplished via sidewalks, crosswalks, cross-surface lot walkways, community gathering spaces, plazas, terraces, seating and amenity zones, hard-surface paths, bike paths, and permeable pathway surfaces. These varying pathways should be crafted to connect between all buildings, and within and outboard of specific development parcels. Early site planning should make this a core design consideration within and along the edges of the Property.

(c) **Sidewalks.**

Where appropriate, sidewalks shall be provided on each side of every public and or semi-private street or drive, and shall be intentionally developed to interconnect different land use areas and



Provide sidewalks on both sides of each street and demarcate crosswalks. Use of curb-extensions shortens crossing distances.



Sidewalk on a low-volume residential frontage with street trees in a tree-lawn.



Sidewalks along a high volume street with parking spaces should allow for street trees and/or landscape beds at intervals for optimal pedestrian access.



Sidewalks in an urban setting. The minimum width should be Unrestricted with furnishings.

open spaces. Sidewalks should be no less than 6' wide.

(d) **Sidewalks and Buildings.**

Pedestrian connections, including crosswalks, sidewalks and pathways shall be provided along any surrounding streets/driveways/drive isles, along the front, side or back of any building or group of structures, on all specified and dedicated streetscapes, both public and private.

(e) **Sidewalk Width.**

Sidewalks along the primary or front facades of buildings in the height density Multiple Use Retail/Commercial areas shall be an average of no less than twelve feet (12') back of curb to building face, incorporating a dedicated landscape/tree well area at the curb line of no less than six ft. x five ft. (6'x5'), and at intervals of every other parallel space (46' center to center) and approximately every fourth head-in space (42' center to center). Sidewalks at sides and rear of buildings may be of lesser width, but in no case less than six feet (6') wide. Sidewalk and pathway widths within

other areas are to be determined by Master Developer, but in no case are to be less than five feet (5') wide.

(f) **Open Space/Gathering Spaces**

Usable and functional open spaces and programmable event spaces are required as part of the multiple use areas, and adjacent neighborhoods. This definition may also include/allow for landscaped traffic islands, pedestrian plazas, arrival courts, landscaped sidewalk/pathway areas, game areas, public amenity features such as water features, fireplaces and seating areas, general green space, playgrounds, tot lots, pocket parks and other recreational uses. Open spaces between buildings that create landscaped courtyards or walkways to connect rear parking areas, or to adjacent neighborhoods, or other nearby anchors are strongly encouraged, and should be 'programmed' to encourage pedestrian activity, seating areas and amenities.



Parking along surrounding arterial roadways shall require setbacks to allow for landscape buffers.



Buildings should be sited to allow for screening when parking is located to the side or rear of the structure where viable.

10. Off-Street Parking Requirements.

(a) **Size of parking spaces and aisles**

Parking spaces and drive aisles shall be sized in a manner consistent with the following chart, unless specifically allowed otherwise by the City.

PARKING DIMENSIONS					
ANGLE (DEGREES)	0	30	45	60	90
Stall Width	8'	9'	9'	9'	9'
Stall Length	23'	18'	18'	18'	18'
Stall Length Perpendicular to Aisle	8'	17'	19'	20'	18'
Aisle Width, One Way	12'	12'	12'	18'	24'
Aisle Width, Two Way	20'	20'	20'	22'	24'
Total Width, One Stall, One-Way Aisle	20'	29'	31'	38'	42'
Total Width, Two Stalls, One-Way Aisle	28'	46'	50'	58'	60'
Total Width, One Stall, Two-Way Aisle	28'	37'	39'	42'	42'
Total Width, Two Stalls, Two-Way Aisle	36'	54'	58'	62'	60'

(b) The number of parking spaces, which are required in each usage classification, are as follows:

- Easton Farm generally (Including all uses allowed except as set forth below) - one (1) for each 250 square feet of lease able floor space.
- Freestanding Restaurants/Bars – Eight (8) spaces per each 1000 square feet of gross leasable floor area.
- Large Format Retail – A minimum of three (3) spaces for each 1000 square feet of gross leasable floor area (3/1,000) is permitted, up to a maximum of no more than four and a half (4.5) spaces per 1000 square feet of gross leasable floor area. The Master Developer and City will assist any development entity, and any/all end user retail tenant(s) to facilitate the potential for cross-parking usage with other complementary services/attractions for all large surface parking areas. This effort should be encouraged in early site planning phases.
- Office - a minimum of one (1) space for every 250 square feet of gross leasable floor space per BOMA standard lease calculations. However for medical office uses, the ratio of parking spaces shall be one (1) space for every 200 square feet of gross leasable floor area on single use lots.

- Multi-Family Residential - One and one-half (1.5) spaces per dwelling unit, except single family attached dwellings: Two (2) spaces per dwelling unit.

- Public and institutional - Shall not utilize shared parking, and all off- street parking shall be located in rear yard areas. The “Parking Area” for Institutional Uses shall be a minimum of one (1) space for every 250 square feet of internally occupied floor space. However, the ratio of parking spaces actually constructed can be reduced to three (3) spaces for every 1,000 square feet of occupied floor space, provided the balance of the “Parking Area” is set aside as green space or permeable pavers (lawn or landscaping) in designs.

(c) Shared Parking.

Where permissible, shared-parking ratios may be allowed for certain developments/uses. Shared parking arrangements are meant to encourage a more “round the clock” and effective usage of any parking facility, therefore generating smaller overall surface parking area(s), while avoiding the creation of expansive, underutilized lots.

(d) Off-Street Surface Parking Lot Placement.

Any off-street, surface parking areas within Easton Farm shall be set back a no less than thirty feet (30’) or no more than seventy-five feet (75’) from any existing, surrounding arterial, including along the property line adjacent to State Route 741 and along the length of Easton Farm Blvd. Surface parking lots may be built up to adjacent property lines on all other street frontages within the Property and as established in subsequent approved site plan areas that anticipate connecting adjacent development at a future date. Placement of surface parking areas should be related to both the building type served and the adjacent buildings, connecting

streetscapes and uses, which may require the lot to be screened by building or landscaping from surrounding streets and/or pedestrian pathways. Any parking visible along SR 741 will be screened with building or landscaping.

(e) Structured Parking Lot Placement.

Any parking structure(s) shall be set back a minimum of 60 feet from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot frontage, unless the parking structure is sited within the multi-family residential area in the southeast corner of the site separate from the property line by two retention ponds including fountains/ aerators of the parcels adjacent to the southern property line. The buildings surrounding the parking structure shall be no less than two stories in height.

Drainage and Water Detention

(f) Detention as an Amenity.

Storm retention/ detention ponds are proposed within the southeast and northwest corners of the site, between the proposed neighborhood and existing properties between and along the southern boundary and existing properties on that side and along State Route 741 and adjacent to the existing farmstead bordering a new internal neighborhood.

(g) Impact on Surrounding Properties

The water features shall be secured from accidental access through the use of in by natural elements such as landscaping, rocks, boulders, and a low decorative rail or ornamental fence, or as otherwise approved by the Master Developer.

11. Signage/Environmental Graphics/Tenant Signs.

(a) Project Signage/Brand.

The Master Developer will prepare and submit to the City in accordance with city code chapter 1281 an overall project identity graphic/font/logo as part of an overall 'way finding' signage program. This will be physically used on entry walls, street signs, directories, and in subtle other applications where a logo or font script will help to establish an overall brand for the Easton Farm development.

This will establish the parameters for execution of all project signage, including size, application, color, use, materials and fabrication, along with potential uses and styling for all marketing and promotional potentials.

The project name will also be a 'tag line,' to be placed at the end of individual projects within the development to help both promote the Easton Farm and to establish a sense of place. For example, a multi family development hypothetically name 'The Lofts' will be promoted at "The Lofts at Easton Farm." This would apply to all larger scale developments that require their own address.

The Master Developer retains full control of the use and promotion of the overall Easton Farm project branding, logo, identity and any entity that uses such aspects in a co-branded promotion or application.

(b) Individual Project and/or Tenant Sign Criteria.

At present, the Master Developer believes that, given the fluid nature of the various components and end users, it would be difficult and limiting to the creative potential to establish exacting signage guidelines this early in the process.

Instead, as an individual development begins its design process, and the building uses/tenants are established, along with the resulting architectural character, massing and materials, the Master Developer will require and work with the developer(s) to craft their own site-specific signage criteria, and to assist potential tenants with tailoring creative, stylish and well-executed signage and graphics that add another dimension of quality to the overall development. This allows each individual project to establish their unique brand within the Easton Farm development, with the signage being a 'signature.'

The Master Developer will require all individual developments to submit a project/tenant signage criteria for review, comment and required adjustment within a timeline to be established early in the development process. These individual signage/tenant criteria(s) will cover all aspects including, but not limited to, the placement, scale, application, materials, colors, fabrication, and illumination of all project identity, tenant signage, branding and way finding elements. This process allows for the Development to accommodate ongoing shifts in style, application and fabrication technology.

In all instances, the Master Developer and City retain full approval rights for all signage and graphics, as well as any proposed alterations or adjustments to any individual project/tenant signage criteria or resulting signage.

(c) Comprehensive Sign Guidelines.

When the Development is at a point where end users have been identified and sufficient project development has occurred that Comprehensive Sign Guidelines may be promulgated, Master

Developer shall prepare and submit to the City for its approval proposed Comprehensive sign Guidelines. The City shall consider such guidelines in the form of rules and regulations supplemental to this text.

03

RESIDENTIAL

The purpose of this Section is to allow for flexibility when the result will be residential development that is compatible with nearby walkable town/village center/urban village.

1. Permitted Uses

- (a) single-family detached dwellings
- (b) single-family attached dwellings (town homes)
- (c) condominiums
- (d) loft-style residential
- (e) senior housing
- (f) accessory structure



Residential building entrances should be oriented toward the street, primary right-of-way...

2. Orientation.

Residential area building entrances shall be oriented toward the street, primary right of way, open areas or courtyard unless deviation is appropriate, per the discretion of the Master Developer. Buildings located on an intersection shall have consistent architectural style and detailing on both street-fronting elevations.

3. Signage

All residential project signage may be placed, either bracketing the entry into, or in the middle of the right of way, into any new entrance. It may also be placed on the



...open areas or courtyard.

structure, above or to the side of a dedicated entrance. No one development can have more than two such entrances. Signs/identity may also be placed in landscaped islands, on each side of an entry, along existing boulevards per the discretion of the Master Developer and the City.

4. Site Development

- (a) **Maximum Block Size.**
The maximum length of any block shall not exceed 600 feet without an intersecting street, service drive, connecting pedestrian greenway or adjoining open space.
- (b) **Service ways.**
Service ways shall be incorporated in the residential neighborhoods to provide access to parking and service areas behind rows of town house-style units. Service way locations and dimensions are not fixed but shall be designed to accommodate the service way's purpose, preferably no less than 20' from building edge to building edge across any one service way way to facilitate proper backing out of any one garage space. Any required additional curb cuts shall be added only with the permission of the City. Service ways may also be incorporated into parking lots as drive aisles and fire lanes.
- (c) **Lot Coverage.**
Multi-family dwellings may not cover more than eighty percent (80%) of an overall parcel area. This does not include any outboard freestanding garage parking or covered spaces/areas.
- (d) **Building Fronts and Backs.**
The front or side of every building must face the street, right of way or courtyard. Rear facing buildings, overhead doors and service entries are prohibited on street façades.
- (e) **Streets having single family homes with**

garage accessed off the frontage street shall be constructed with rolled curb and gutter.

5. Residential Building Materials.

The following materials shall be permitted materials for use in residential buildings:

- (a) Brick in standard sizes.
- (b) Stone: natural, cast or cultured
- (c) Siding shall be wood, simulated wood, or fiber-cement siding.
- (d) Stucco, EIFS in standard finishes.
- (e) Columns, cornices, and similar elements should be natural or simulated natural materials such as fypon, wood, steel or stone. See Trailing images for inspirational purposes (p34-p48).

6. Residential Roof Materials:

- (a) Natural or simulated slate or tile.
- (b) Wood shakes.
- (c) Dimensional shingles (30 year).
- (d) Standing seam panels (20 yr. Paint warranty, minimum).
- (e) Copper
- (f) Single-ply membrane roofs allowed when hidden from street level view.

7. Parking Requirements.

The intent of these parking ratios is to encourage a balance between developing a desirable, pedestrian oriented development and necessary car storage for both short and long-term use. The goal is to construct neither more nor less parking than is needed, and where viable, to overlap the timeline of the various uses to achieve a shared time frame aspect.

- (a) **Minimum Residential Space Requirements.**
The minimum parking spaces in residential areas are as follows: 2 spaces per dwelling for single-family dwellings.
- (b) **On-Street Parking.**
On-street parking is permitted and

encouraged for all site plans for any residential neighborhood within Easton Farm. Parking need not be contiguous with the building(s) or the use it serves. On Street Parking is available in addition to (not including counts established for) the two spaces provided with each single family dwelling.

- (c) Shared parking solutions. Shared parking solutions are encouraged by the Master Developer. Each development applicant shall provide a parking analysis justifying any proposed shared parking solution, per guidelines developed by the Urban Land Institute.

8. Access to Off-Street Parking.

- (a) Access from Service ways. No Parking Permitted.
Service ways shall be the primary source of access to all off-street or individual unit garage parking. (Parking along service ways, if permissible per the individual development site plan, may be head-in, diagonal or parallel and may be made of a permeable block surface material.)
- (b) Connection of Service ways to Adjacent Properties.
Service ways may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the service way shall be maintained. Access along such service ways between differing ownership parcels or parking areas is also encouraged.
- (c) Corner lots.
Corner lots that have both rear and side access shall access parking through the rear.
- (d) Garage door(s).
Garage doors shall not exceed 16 feet in width.

9. Parking Lot Landscaping Requirements.



Service ways shall be used to provide parking and service access to townhomes and smaller lots.

- (a) Landscape Island/Beds.
Parking lot landscape island/beds of at least eight feet (8') in width shall be provided between parking aisles of either head-in or diagonal parking. The objective is to create a continuous shade canopy. A diversity of tree species throughout Easton Farm is encouraged. To minimize water consumption, the use of low-water vegetative ground cover other than lawn is encouraged, unless the lawn is part of a public open space or a foreground landscape feature. Plant material and trees should be of native species that are climate and drought tolerant.

10. General Ancillary Restrictions.

- (a) Per section 8(a), screening methods prohibited include the following materials: chain link, barbed wire, or plain wire mesh, or "fortress style" wood fencing. The following utility and functional needs shall be properly screened and concealed from public view, from any direction, whether facing a public street, walkway, or side street, by either a planting screen, wall device or incorporated in the base building architecture:

- Temporary window and/or wall air conditioners/HVAC units, exception for model homes.
 - All Utility Metering devices
 - Air Conditioning Compressors;
 - Irrigation sheds
 - Pool maintenance facilities and pumps.
- (b) The following shall be located in private open spaces, courtyards or to the side or rear private outdoor space of any attached dwelling unit:
- Permanent fixed barbecues
 - Antennas if concealed
 - To the maximum extent permitted by law, satellite dish antennas greater than 18" in diameter.
 - For any residential units over commercial space, to the maximum extent permitted by law, a satellite dish needs to be concealed either on roof surfaces or setbacks, well away from any public streetscape vistas, public parking areas and/or walkways.
- (c) The following decorative and/or other elements are prohibited:
- Bris soleil shutters
 - Clotheslines
 - Clothes Drying Yards
 - Reflective and/or bronze-tint glass;
 - Plastic or PVC roof files; Backlit awnings
 - Awnings (shall also be prohibited on any front and side elevation) except for model homes, awnings shall be permitted until the home is sold for use as a dwelling.
 - Fences made of chain link, barbed wire, or plain wire mesh, or rough-textured/timber or 'fortress style' wood fences.- Unpainted and/or untreated wood fencing.

11. Residential Typologies

(a) Townhomes



(b) Village Center Lots



(c) Neighborhood Lane Lots



(d) Neighborhood Edge Lots



(e) Amenity Areas



Service way example



Service way example

LANDSCAPE AND FEATURE PARK GUIDELINES

1.) Introduction

The Easton Farm's design character will be enhanced by a series of crafted landscaped parks and open spaces that link and define the various neighborhoods.

This component is a key signature of what will make this a landmark.

Note; In the spirit of making the development a one-of-a-kind community, if any development partner would prefer to creatively deviate from these guidelines, or add landscape or amenity features not covered in the following sections, the Master Developer reserves the right to review and allow for such changes and enhancements that exceed these requirements.

There are three key components to the landscape;

- A 'Crockett Park' that forms the 'front door' of The Easton Farm in the mixed-use commercial district.
- A 'Linear Park' that is the open-space 'spine' of the project that links both the various neighborhoods within The Easton Farm, and connects through the site to Springboro's existing North Park

on the south side of the site to Gardner Park on the north.

- A series of street trees, neighborhood parks, open spaces and pathways that interconnects the various neighborhoods, giving them a 'pedestrian-centric' feel.

2.) Crockett Park

The Crockett Park is the signature open space at the center The Easton Farm's commercial district.

It is at the confluence of the three main public streets in the development and is framed by the larger structures within the mixed-use neighborhood.

The Crockett Park is made up of two asymmetrical, angular park spaces that are bifurcated by a drivable event pad in the center.

The larger of these two open space is located near the intersection of Easton Farm Boulevard and Anna Drive. It is made up of the following components. The second one to the northwest is more triangular and modest in scale and is perceived as more of

a passive space. It is expected that this park is fully irrigated and up to the sidewalks so that it can be easily maintained.

Features and Details

- A series of curving and linear concrete sidewalks, between 5' and 10' feet in width.
- Park entrances that utilize key amenity pieces, with a wider hardscape surface in a variety of potential materials such as colored and pattern-stamped concrete, pavers, pea gravel or composite deck where viable.
- Several hundred feet of low walls that function as potential landscape retaining with a partial 'seat wall' at key points facing onto the sidewalk side. Wall surfaces are to be stone veneer or patterned block with a precast cap on top of no less than 12" wide (with skateboard stops on certain sections).
- Clusters of flowering landscape beds, hedge rows at key intersections, primarily along the edge of the park and at the entries.
- Amenities such as freestanding, open-air pavilion(s), a signature fountain/water feature, a 'giant checkerboard' with moveable chess and checker pieces, fixed art and/ or sculpture, fixed and/ or moveable bollards at key entries and along the zero-curb of Noel Drive, benches, trash receptacles, bike racks and moveable tables and chairs along section of a low seat wall, and a series of flagpoles leading up to the point of the triangular side of the park.
- Subtle lighting that includes pedestrian light poles, illuminated bollards, and up-lighting in trees in landscape beds along the street edges and at key entries into the park and under-edge lighting along some of the linear walls where viable. Also, all landscape beds should contain outlets to allow for season lighting,

maintenance use and event functions.

The Crockett Park is bifurcated by a zero-curb surface area defined by pavers and/ or colored and stamped concrete with a vehicular travel zone framed by removable bollards that can be removed and relocated to cap the ends of the street, and allow for seasonal events within a combined park scape.

Trees and landscape beds will be clustered to define entries into the park and set in rows to define the edges of the curving and linear walk zones. These are a mix of trees well-suited to the SW Ohio climate and are primarily 2" caliper, interspersed with larger 4" caliper at intersecting areas or to define a park entry, and to enhance the variety of the growth and character of the Crockett Park as time goes on.

Trees stands should be tightly spaced to give the park an enclosed feeling along the edges and entries.

Amenities such as the pavilions, fountain/ water feature, benches and chairs, checkerboard, flagpoles, trash receptacles, bike racks and pedestrian light poles are to be placed to the edges of the park space, and the curved and linear walks and at the entries off the corners facing Easton Farm Boulevard and Anna Drive, with the center of the 'Green' defined more as a passive open lawn space that can contain a series of programmed community events as necessary.

3.) Linear Park

The Linear Park is the spine of The Easton Farm development.

It is a predominantly passive, open space feature, which is a minimum of thirty-five (35') wide depending on location, that connects and interconnects The Easton Farm

neighborhoods with Springboro's North Park and Gardner Park that brackets the development.

The Linear Park was designed to be an almost uninterrupted walking or biking experience, with minimal vehicular crossings and connects to other open spaces and parks within The Easton Farm community.

The park is bordered on one side by predominantly single family home sites whose front doors and/or porches are designed to face onto the park, and Anna Drive (road names are pending, subject to City review) which will feature defined parallel 1 parking spaces along the sidewalk edge that adds a sense of enclosure from the street traffic.

Features and Details

There is a primary main pedestrian and bike trail through the linear park, that winds and meanders essentially through the central portion of the green space, with its sweeping curves allowing for significant portions of lawn or landscaping to allow for play and gathering spaces. At key intersections, the trail will connect to corners or crossings and intersect with the sidewalk that runs along the edge of Anna Drive (road names are pending, subject to City review). The trail is designed to be ten feet (10') in width and can accommodate both pedestrian and bike traffic. It will be scored concrete within the residential community, including sections that cross from The Easton Farm community property and into North and Gardner Parks.

The sidewalk bordering and connecting front doors of the row of home sites along the inside section of the Linear Park will be

connected to the main trail at key points and intersections where appropriate.

Trees placement is to be patterned to allow for growth clusters that will provide shade at main points along it's run. The trees are mostly 2" caliper and interspersed with 4" caliper where appropriate to allow for a more casual park feel as time goes on.

Amenities are widely interspersed along the spine of the park and mostly feature benches at key intersections or crossings to provide rest areas. Also included are pedestrian scale wayfinding signage at key points, and bike racks spaced at every 1200' linear feet, and placed to be provide their highest use and best use and an open-air bike repair stand, placed off the main trail closest to either Gardner or North Park.

At key corners or intersections, planter beds of hedges, low plantings and flower beds will frame these areas. These spaces will feature wider hardscape surfaces to allow for benches, lighting, wayfinding and other amenities as appropriate and these should be placed off to the side of the main path of travel along the trail to not impede pedestrian or bike travel, and the taller, non-seating features optimally placed within landscape beds to provide protection and avoid damage to the bases. These landscape beds areas are to be irrigated to maintain their growth and maintenance through the growing seasons.

Lighting is provided by a series of pedestrian light poles, spaced to provide illumination in more open areas along the park, and illuminated bollards where the trail and walks need illumination, but to avoid glare or over lighting in areas where street lighting is more a dominant feature. They should always be placed within

landscape beds and/ or in lawn and green spaces but close enough to the edge of the trail or path to provide proper illumination. All amenities should all be coordinated with tree and landscape placement to enhance all areas and avoid misplacement or impede sightlines. Low planting and landscape should also be coordinated and placed to provide enclosure and screening of utility and junction boxes as necessary whose placement may be necessary along some portions of the Linear Park route.

4.) Street Trees, Landscape and Hardscape Features.

Street trees within the development are a key feature of the character of the neighborhoods, and will over time create a canopy of shade along the sidewalks and fronting the structures and homes.

In the mixed-use neighborhood, and along the main pedestrian streetscapes along Easton Farm Boulevard, Anna Drive, Noel Drive and Rebecca Drive (road names are pending, subject to City review), street trees of 2" to 4" caliper should be placed no less than every 20'-30' or depending on where it best aligns with building pilasters and/ or feature paving areas at key intersections or mid-block crossings. All trees should be in either irrigated planter beds of low landscaping of no less than 6'x6' or 6'x12' along Easton Farm Boulevard and Anna Drive, set within the opening of a 6'x6' metal, decorative tree grate at sidewalk level, or set within a grass landscape strip bordering streets or at bump-out intersections.

Along the primary streets in the commercial zones, planter beds will feature a 6" curb

to avoid winter salt intrusion and erosion. All planter beds and street tree placement should be coordinated to not conflict with pedestrian light poles or building entrances that face onto that walk.

Planter beds along the main commercial streets, passages and building entries where pedestrian activity is expected to be highest will include up-lighting for the trees and electrical outlets for season and maintenance use. They also should be wired to allow for low-profile speaker systems to be set within and screened by landscaping, but only within the commercial district itself.

Street corners where the curb lines are extended outward should include special paving zones of patterned, stamped and/ or colored concrete, pavers or other hardscape surfaces for high pedestrian use. These areas will often be wider than the main walk and will feature such amenities as seating, benches, trash receptacles, landscape set in moveable pots and planters, wayfinding signage and potential space for outdoor dining tied to an adjacent food service tenant.

Landscape edges and beds will feature defined additional 2" (min) caliper trees, shrubs, hedge rows and flowering beds, and may contain pedestrian street light poles and/ or illuminated bollards.

All freestanding pedestrian light poles within the mixed-use district along the primary commercial streets shall include electrical outlets in the base.

All pedestrian street crossings within the mixed-use commercial district and at key corner and mid-block crossings connecting to the Linear Park and

residential neighborhood parks will be made of stamped and colored asphalt that compliments the sidewalk patterns and colors. The walk will vary in width depending on the location and expected use, but should be no less than 6' wide. A light color border strip of no less than one foot should be used to define the central pattern within each crossing.

Pedestrian sidewalks along the main commercial addresses along Easton Farm Boulevard, Anna Drive, Ruth Drive and Noel Drive (road names are pending, subject to City review) will be no less than 12' and optimally 15'. The first two feet closest to any building will require a colored and/or stamped concrete 'transfer' zone and should be aligned to cleanly accommodate building conditions, and set at elevation with the finished sidewalk. This is to allow for a visually clean, defined sidewalk path just beyond any potential building pilaster bump-outs and inset storefronts or windows, and to the landscape beds and curbs on the other side.

Landscaping in and within parking lots and will require two, 2" (min) caliper trees within each end cap island, and the spacing of one, 2" caliper tree every 25' along drives cross-site streets within these areas. All head-in or angle-in parking rows against a landscape edge or facing a linear building façade should contain a bump-out landscape bed every 16 spaces or less, and centered along that row if more than 16 spaces, but a number less than 32 spaces. All parallel spaces should have a landscape bump out every 6 spaces.

Street trees within residential neighborhoods are conditional to the home types. All street trees that front any residential lot with service way access and no front driveways should be placed at intervals of one at each

individual lot line lot of 35' wide or less, and groups of 2, spaced at 20 feet apart, of any lot more than 45' wide, with the two trees centered on the dividing lot line. If the lot is more 'pie-shaped' where the front is dimension is wider due to a convex curve, and additional tree will be required for any lot wider than sixty feet.

For lots with street-accessed driveways and 40' wide or smaller, two trees bracketing the drive way shall be placed no less than 10' away from the apron, unless the apron is set close to a neighboring one and less than 20' between each.

For lots with a street-accessed driveway and wider than 50' there should be 2 trees along the street edge, spaced no less than 25' apart, and no less than 10' from the apron of the driveway, and an additional street tree will be required for lots wider than 85'.

All street trees will need to be coordinated with lighting pole placement, and where in conflict, a street tree should be moved to no less than 15' away from such lighting, provided it's not in conflict with the spacing of other trees along that street edge, and smaller than the dimensions required for proper growth.

5.) Neighborhood Parks

There are two defined neighborhood parks within the single-family residential neighborhoods, and are expected to be a mix of passive and active play areas.

These should contain rows or clusters of trees, or set along the edge of walkways and/ or to frame along a fronting street, or

set within irrigated planting beds, with trees provided at a ratio of one for every 1000' sq. ft. of open space within each park itself.

Each park will potentially feature one or more of the following amenities and should be placed for highest and best use and to not impede pedestrian flow.

- Children's play areas with fixed jungle gyms and other play devices, and set on soft impact play surfaces.
- Benches, and other fixed seating
- Game and/play courts.
- Passive green lawns and open spaces
- Pedestrian light poles and/or illuminated bollards
- Wayfinding signage
- Fixed pavilions, shelters, trellises and/or gazebos
- Community mail box pavilion(s)

See attached references as design inspiration for Landscape and Feature Park Typologies.



(a) Landscape Amenities



(b) Streetscapes



DEFINITIONS

The following words when used in this Declaration or any supplement hereto (unless the context shall prohibit) shall have the following meaning:

1. "ACCESSORY STRUCTURE" A building, shed, covering, or vertical design element which is subordinate and/ or supportive to a main or primary building or series of buildings. Such structures are often freestanding but may be attached if the use requires, and are often purely functional and/ or decorative, and in architectural harmony with its primary building(s). Accessory structures are predominantly one story and may be habitable and/ or climate-controlled as use permits.
2. "ARCHITECTURAL GUIDELINES" shall mean the written architectural standards set forth in this Declaration for development of the Property.
3. "ASSOCIATION" shall mean the owners association formed for the Property as provided in Article Six below.
4. "CITY" shall mean the City of Springboro, Ohio
5. "CONCEPTUAL DEVELOPMENT PLAN" shall mean the Conceptual Development Plan for the Property and the improvements to be constructed thereon.
6. "DECLARATION" shall mean this Declaration of Site Development and Design Standards and shall include without limitation all restrictions, covenants, conditions and agreements referred to herein.
7. "DEVELOPER" see Master Developer.
8. "DEVELOPMENT PLANS" shall mean the plans and specifications for the use of any Lot as set forth in this Declaration.
9. "FENESTRATION" shall mean openings in a building elevation, such as windows and doors.
10. "HOME OCCUPATION" shall mean a home-based business restricted to the owner or tenant of any residential dwelling unit and up to two employees, and shall not include noxious or disruptive functions, including the disruption of parking for neighboring residents. Home occupation uses are not limited to accessory structures.
11. "IMPERVIOUS SURFACE" shall mean any material that substantially reduces or prevents the infiltration of storm water into previously undeveloped land. Impervious

surfaces shall also mean any surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. Impervious surface shall include compacted sand, lime rock and clay as well as conventional surfaces such as gravel driveways, parking areas, surfaced streets, roofs, sidewalks, structures and other similar surfaces.

12. "LINER BUILDING" refers to a retail or business structure built to camouflage a more utilitarian façade/use such as a substation, or parking structure. Liner Buildings are generally narrow in depth and placed along the street and consistent with approved uses in Mixed-Use areas.
13. "LOT" shall mean and refer to any parcel or lots designated hereafter on a plat or replat, or subdivision thereof, recorded against the Property, or portion thereof, improved or unimproved, on which a structure may be located.
14. "MASTER DEVELOPER" shall mean Easton Farm Partners, LLC, an Ohio limited liability company, its successors and permitted assigns as provided herein.
15. "MAXIMUM OCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from median front exterior grade level to the specified height above the highest occupied floor.
16. "MAXIMUM UNOCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from front exterior grade level to the highest unoccupied level of an enclosed Structure.
17. "MINIMUM OCCUPIED HEIGHT" shall mean the minimum height of certain Structures, as set forth herein, based either upon a minimum number of occupied stories above grade level or a minimum height measured from the front exterior grade level.
18. "MIXED USE" shall mean an area or structure that contains a mixture of commercial, office and/or residential uses.
19. "MULTI-FAMILY DWELLING" shall mean a structure designed to contain more than two dwelling units in which the units can share primary exterior entrances, but where each dwelling unit has separate housekeeping and cooking facilities. Dwelling units within a multi-family dwelling may be attached through common walls or common floors.
20. "OPEN SPACE" shall mean any hardscaped, landscaped, grass or appropriate vegetation area but shall not include any interior landscaping or landscaped areas within parking areas.
21. "OWNER" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is a part of the Property, including the Developer or Master Developer, but shall not mean or refer to any mortgagee or subsequent holder of a mortgage, unless and until such mortgagee or holder has acquired title pursuant to foreclosure or any proceedings in lieu of foreclosure.
22. "PARKING STRUCTURE" A multi-level, ventilated or open-aired structure meant to park vehicles in a vertical manner to achieve a higher yield on such a land use. Such structures may be freestanding or integrated into another building, or at the base of a multi-use structure. Parking structures may have multiple entries/ exits and connected between levels by ramps, stairs and/or elevators.
23. "PERSONAL CARE SERVICES" means an establishment or place of business primarily engaged in the provision of services of a personal nature related to the care, hygiene, or appearance of the human body or the maintenance of items worn or carried by persons. Such services are usually but not always recurrent in nature. Examples

of personal service uses include, but are not limited to, beauty and barber shops, shoe repair shops, health spas, therapeutic massage, tailor shops, and the like.

24. “PUBLIC AND INSTITUTIONAL USES” shall mean buildings and uses such as libraries, schools, government buildings, churches or other uses approved by the City.

25. “SERVICE WAY” A separate drive either behind or to the side of a building or row of buildings that is subordinate in nature to the primary streets surrounding or connected to it. Its primary function is to allow for access to garages, driveways, and to allow for rear or side service access to a building(s), home or row of homes. They are often primarily vehicular in nature but can be made into a mini-street effect with setbacks and landscaping.

26. “SET BACKS” shall mean designated areas adjacent to lot lines on which the construction of buildings is not permitted, and shall also be defined as “build to lines.”

27. “SINGLE-FAMILY, ATTACHED DWELLING” shall mean a structure containing more than one single-family dwelling unit in which the units are physically attached only by common walls. Each unit has its own housekeeping facilities, cooking facilities and separate exterior entrance way.

28. “STORMWATER MANAGEMENT” shall mean the impoundment of stormwater in ponds, swales, or other collection devices, and the holding of such for a period of time and release at the prescribed rate determined by the City.

29. “STRUCTURE” shall mean any improvement on the Property that is capable of occupancy or use including, but not limited to, any building, garage, fence, wall, sign or any

other temporary or permanent improvement; and any excavation, fill, ditch, dam or other thing or device that changes the grade of any land by more than six inches or alters the natural flow of waters from, upon or across any part of the Property.