

**Agenda**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, August 18, 2021, 6:00 p.m.**  
**Council Chambers, Springboro City Building, 320 West Central Avenue**

- I. Call to Order
- II. Approval of Minutes
  - A. July 14, 2021 Planning Commission Meeting
- III. Agenda Items
  - A. Formal Approval, Site Plan Review, 465 Victory Drive, new commercial building for B&E Plumbing
  - B. Preliminary Review, Site Plan Review, 95 West Central Avenue (SR 73), proposed vehicle service facility for Foreign Exchange
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

**City of Springboro**  
320 West Central Avenue, Springboro, Ohio 45066  
Planning Commission Meeting  
Wednesday, July 14, 2021

**I. Call to Order**

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice-Chair, Mark Davis, Robert Dimmitt, Steve Harding, Mike Thompson, and John Sillies.

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary.

**II. Approval of Minutes**

**A. June 9, 2021 Planning Commission Minutes**

Ms. Iverson asked for corrections or additions to the minutes.

Mr. Pearson note that the phrase "stand along" should read "stand alone" in multiple places in the minutes.

*Mr. Harding motioned to approve the June 9, 2021 Planning Commission minutes, as corrected. Mr. Davis seconded the motion.*

**Vote: Harding, yes; Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (7-0)**

**III. Agenda Items**

**A. Final Approval, Variance Request, 32 English Oak Lane, North Hills of Stoneridge PUD, Planned Unit Development, variance from minimum rear yard requirements.**

**Background Information**

This agenda item is an application, filed by Roger Gunlock, property owner, requesting a variance from the minimum rear setback requirements to allow the construction of a deck at 32 English Oak Lane, in the North Hills of Stone Ridge PUD, Planned Unit Development. The variance request, if approved, would allow the construction of a deck to within 22 feet of the rear property line. The rear yard setback for the property is 30 feet.

The Planning and Zoning Code provides relief from the strict interpretation of the code in Planned Unit Development such as North Hills from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zone properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

The subject property is located in Section Four of the North Hills of Stone Ridge PUD. The property abuts a narrow common area within the subdivision. Beyond the common area is the Red Lion-Five Points Road right-of-way that also corresponds to the City of Springboro/Clearcreek Township boundary.

The City is in receipt of documentation from the homeowners association indicating approval of the proposed construction as well as neighbors owning properties on abutting property.

### Staff Recommendation

City staff recommends APPROVAL of the variance as requested for 32 English Oak Lane as submitted.

### Discussion

Roger Gunlock, applicant, was in attendance to answer questions about his case.

Mr. Boron explained that this application is requesting a variance from the minimum rear setbacks to allow the construction of a deck to within 22 feet of the rear property line. The rear setback for the property is 30 feet. He reviewed additional background information noting that the homeowners association as well as neighboring property owners indicated approved of the proposed construction. Staff also recommends approval of the variance.

Mr. Gunlock explained that he is covering an existing concrete pad with a deck and there are no objection from any of his neighbors or the HOA.

Mr. Pearson asked if there were any objections from anyone else on this deck. Mr. Boron confirmed there were not.

Ms. Iverson asked for a motion to approve the variance request at 32 English Oak Lane.

*Mr. Harding motioned to approve. Mr. Pearson Seconded the motion.*

**Vote: Davis, yes; Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes; Harding, yes; (7-0)**

Ms. Iverson called for any public comments before the members moved down to the table for the 2 work session items.

Ms. Jane Van Maldeghem of 1816 West Tamarron Court, expressed her concerns about the additional Beehive facility. She is concerned about the construction as well as the traffic and noise that is generated by the employees, especially during late hours by the horns and alarms of cars. She also feels this building is too large.

Mr. Chris Plechaty of 8611 Glen Eagle Court also expressed opposition to this additional facility on behalf of the Woodland Greens Homeowners Association. They do not approve of the proposed building and feel it is too big for the area.

**B. Preliminary Review, Site Plan Review, 1325 Lytle-Five Points Road, assisted living facility, phase 2, for Beehive Assisted Living**

**Background Information**

This agenda item is a request for site plan review approval, filed by James Alt, representing Seva Group LLC, property owner, seeking approval to construct a 31,616-square foot, 48-bed assisted living facility on property located at 1325 Lytle-Five Points Road. The proposed assisted living facility (hereafter referred to as phase 2) is proposed immediately to the south of the existing BeeHive Homes facility. That facility was reviewed and approved by the Planning Commission in 2017 with construction completed in 2018. The subject property is zoned O-R, Office Residential District, a zoning designation that permits assisted living facilities. The phase 2 assisted living facility will use the same access drive to Lytle-Five Points Road as the existing one to the north. That drive terminates with a turnaround on the phase 2 property.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both located within the Woodland Greens subdivision. To the south is undeveloped land, to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road (Keybank, Settlers Station shopping center) as well as a vacant parcel fronting Lytle-Five Points Road. To the north is the existing BeeHive facility.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland Greens subdivision. To the south is O-R District, and to the west, is O-R District and LBD, Local Business District corresponding to the Settlers Station shopping center and adjacent development.

**Staff Comments**

City staff has the following comments regarding this agenda item:

1. Minimum rear setback (south property line) is 40 feet for the O-R-Residential District.
2. Provide verification that site plan does not exceed 75% lot coverage maximum for O-R District.
3. Provide a color rendition of building exterior.
4. Indicate plans for screening of dumpster facilities.
5. Parking provided exceeds requirements. Minimum requirement is 22 spaces (48 rooms @ 1 space for 0.25 room plus 1 space per employee maximum shift). Maximum allowance 33 spaces.
6. Landscaping plan to be provided for site plan consistent with Chapter 1280 of Planning and Zoning Code following preliminary plan review. Plan to include proposed location of new landscaping, existing landscaping to be retained, and a schedule of landscaping materials including number, size and species. Existing landscaping 4 inches DBH or greater may count as credit against landscaping requirements for parking areas, site, and buffer yards.
7. Lighting plan to be provided for site plan consistent with Chapter 1273 of Planning and Zoning Code following preliminary plan review. Plan to include photometric analysis, specs for proposed lighting fixtures for site and building, color-temperature of lighting not to exceed 3500° Kelvin.
8. Verify detention requirements are met with existing storm management facility.
9. Sanitary and water service laterals to meet city specifications.

10. The Clearcreek Fire District utilizes the provisions from the Ohio Fire Code and the Building Code. All Plans, alterations to plans are required to meet the Ohio Fire Code. Omission by the author and/or the Fire Official of any detail does not eliminate the requirement for compliance with the Ohio Fire and Building Code.
11. All test and inspections will be scheduled through the Building Department

## Discussion

Jim Alt, Alt Architecture, applicant, and Angie Sharp, operator of Beehive, were in attendance to answer questions of Planning Commission.

Mr. Boron reviewed the background for this site plan review noting that the property is zoned O-R, Office Residential, which does permit assisted living facilities. He explained that this is the second phase of this property, the first of which was reviewed and approved by the Planning Commission in 2017 with construction completed in 2018. All the ramifications of development were reviewed as if it were build out, which included traffic, storm water and driveway. He also reviewed the adjacent zoning as well as the staff comments, which are fairly straightforward.

Mr. Alt shared photos of the existing facility, noting that the colors and architecture will match the proposed new building. He also stated that there are no concerns with complying with all the staff comments that were listed, with questions/considerations on one of the comments. He explained the need for a few additional parking spaces due to transports and visitors. Mr. Alt also noted that the concerns from neighbors regarding late night horns/alarms will be addressed.

Mr. Boron explained that the minimum parking is calculated with one spot for every 4 units, and the maximum is 150%, which regulates the maximum of 33 spaces. He stated that staff can work with the applicant on this issue to work out an additional 6-7 parking spaces, if the Commission is Ok with that.

Mr. Dimmitt asked how many spaces were at the old building.

Mr. Alt stated that that is has been operating nicely, with an occasional parking shortage during peak times.

There was additional discussion on the parking options. Mr. Boron felt this was a legitimate request that can be resolved before the vote in August.

Ms. Iverson stated that the Commission will receive additional plans when submitted for the August meeting.

- C. Preliminary Review, Site Plan Review, Northeast Corner Victory Drive and South Pioneer Drive, new commercial building for B&E Plumbing.

## Background Information

This agenda item is a request for site plan review, filed by Burkhardt Engineering Co., representing B&E Plumbing, property owner, approval for the construction of a 3,605-square foot commercial building at 465 Victory Drive, southeast of the intersection of Victory Drive and South Pioneer Drive. The property is 3.29 acres in area and is currently vacant. The property/business owner has initiated clearing of the site, which is permitted prior to Planning Commission review and approval, to accommodate this development subject to staff review.

The building/site is proposed to be used for a plumbing business to be constructed on the west end of the property. The subject property is zoned ED, Employment Center District, a zoning designation that does allow the proposed use. This item was reviewed on a preliminary basis at the July 14, 2021 Planning Commission meeting at which time this agenda item was authorized for formal approval.

Adjacent land uses include Victory Wholesale to the east, to the south a large commercial building fronting South Pioneer Drive and occupied by Paper Systems and Trebnick Systems, to the west Total Cable Solutions, Inc., and to the north on the north side of Victory Drive, Hausfeld Classics and a commercial building owned and occupied by Sunstar along with an access drive to their campus to the north. Adjacent zoning is ED District for all adjacent properties.

### Staff Comments

City staff has the following comments regarding this agenda item.

1. Setbacks are established for sites located in ED, Employment Center District, during site plan review process. Applicant to label site plan accordingly following preliminary review.
2. Label proposed elevations north, south, east, west.
3. Indicate proposed exterior building materials proposed for building.
4. Provide a color rendition of proposed building.
5. Dumpster to be screened. Provide exterior plans for screening treatment.
6. Landscaping plan to be provided for site plan consistent with Chapter 1280 of Planning and Zoning Code following preliminary plan review. Plan to include proposed location of new landscaping, existing landscaping to be retained, and a schedule of landscaping materials including number, size and species. Existing landscaping 4 inches DBH or greater may count as credit against landscaping requirements for parking areas, site, and buffer yards.
7. Lighting plan to be provided for site plan consistent with Chapter 1273 of Planning and Zoning Code following preliminary plan review. Plan to include photometric analysis, specs for proposed lighting fixtures for site and building, color-temperature of lighting not to exceed 3500° Kelvin.
8. The Clearcreek Fire District has no comments at this time.

### Discussion

Kurt Ziessler, Burkhardt Engineering, applicant, and Ben Hood, B&E Plumbing, property owner, were in attendance to answer questions of Planning Commission.

Mr. Boron referred to the background information for this building located on Victory Drive, noting that a plumbing business is a permitted use under the ED, Employment Center District Zoning. He also noted that the cleaning and grading of the property is permitted prior to Planning Commission agenda when consistent with local regulations.

Mr. Ziessler stated he has no issues with the staff comments and plans to resolve any issue with the setback requirements.

Mr. Boron explained that this review is the time that the setbacks are discussed and any changes that are requested.

Mr. Hood noted that the original setback was 35 feet, but it was moved to provide additional greenspace. Mr. Pearson had a question on an exterior door that appeared to be to a bathroom.

Mr. Hood provided color copies of the plans and reviewed the layout as well as the façade, 25 ft. of office space and the storage in the remaining of the building.

Mr. Boron also requested that material samples be provided when available.

Ms. Iverson stated this will be reviewed for approval at the August meeting.

#### **IV. Guest Comments**

Mr. George Coppock of 1800 Westchester Court expressed opposition since this property is right at their backyard. He is concerned about losing some of his yard, traffic, and the effect on the wildlife.

Ms. Elizabeth Coppock of 1800 Westchester Court also expressed concern about this plan, noting that they were just made aware of it yesterday. She asked if trees will be removed, if the building is the same height, and was concerned about how it could obstruct the views.

Mrs. Iverson explained that in the first phase, all the trees were maintained as well as additional landscaping to further buffer the property. They do not plan on removing any trees for this phase of the proposal, and they anticipate the landscaping will be satisfactory.

Mr. Boron noted there are requirements for minimum trees and widths, and staff will make sure these requirements are met.

Ms. Coppock asked if the original plan for 3 phases has changed and this is the last phase, and also asked where the parking area would be

Mr. Boron confirmed this is the final phase, and explained that the parking will be on the west side of the building near Keybank.

Ms. Van Maldeghem commented again that the original plan provided for additional landscaping and trees to be added, which she feels did not happen. There were approximately only 6 trees added.

Mr. Boron explained that they met the code requirements.

Ms. Iverson thanked them for their comments.

#### **V. Planning Commission and Staff Comments**

Mr. Boron stated that next meeting is scheduled for August 11, but requested that it be moved to the following week on August 18th due to staff schedules. The Commission agreed to this change.

Mr. Boron also noted the public Hearing for the Easton Farm Development is scheduled for Thursday, August 19th.

## Adjournment

*Mr. Pearson motioned to adjourn the July 14, 2021 Planning Commission Regular Meeting at 7:05 p.m. Mr. Harding seconded the motion.*

**Vote:** Sillies, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Thompson, yes; Davis, yes. (7-0)

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Becky Iverson, Planning Commission Chairperson

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Dan Boron, Planning Consultant

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Ann Burns, Planning Commission Secretary

DRAFT

**Background Information & Staff Comments**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, August 18, 2021, 6:00 p.m.**

**III. Agenda Items**

**A. Final Review**

**Site Plan Review, 465 Victory Drive, new commercial building for B&E Plumbing**

**Background Information**

This agenda item is a request for site plan review, filed by Burkhardt Engineering Co., representing B&E Plumbing, property owner, approval for the construction of a 3,605-square foot commercial building at 465 Victory Drive, southeast of the intersection of Victory Drive and South Pioneer Drive. The property is 3.29 acres in area and is currently vacant. The property/business owner has initiated clearing of the site, which is permitted prior to Planning Commission review and approval, to accommodate this development subject to staff review. The building/site is proposed to be used for a plumbing business to be constructed on the west end of the property. The subject property is zoned ED, Employment Center District, a zoning designation that allows the proposed use. This item was reviewed on a preliminary basis at the July 14, 2021 Planning Commission meeting at which time this agenda item was authorized for formal approval.

Adjacent land uses include Victory Wholesale to the east, to the south a large commercial building fronting South Pioneer Drive and occupied by Paper Systems and Trebnick Systems, to the west Total Cable Solutions, Inc., and to the north on the north side of Victory Drive, Hausfeld Classics and a commercial building owned and occupied by Sunstar along with an access drive to their campus to the north. Adjacent zoning is ED District for all adjacent properties.

**Staff Comments**

City staff recommends APPROVAL of the site plan for 465 Victory Drive contingent on complying with the following comments following action by the Planning Commission:

1. Provide materials board or samples prior to or at August 18th Planning Commission meeting.
2. For proposed dumpster screening and gate, provide exterior materials sample or board including color. Also, verify the dumpster pad size as it does not correspond with the dumpster enclosure detail.
3. For the landscaping plan the following comments apply:
  - a. Provide a schedule of proposed landscaping including number of trees proposed, scientific and common names, and size (measured as DBH), 2.5 inches minimum for shade trees, 2 inches for ornamental trees, 6 feet in height for evergreen trees.
  - b. Applicant to indicate existing trees 4 inches DBH and larger for credit against landscaping requirements for this proposal. This would apply to site landscaping requirement. Please coordinate with City staff on both the credit and site landscaping requirement prior to August 18th meeting.
  - c. Provide 1 additional shade tree on Victory Drive frontage (4 required, 3 provided), 3 additional trees on south property line buffer (5 required, 2 provided), Less credit indicated in b. above, provide 6

- d. Landscaping plan to be provided for site plan consistent with Chapter 1280 of Planning and Zoning Code following preliminary plan review. Plan to include proposed location of new landscaping, existing landscaping to be retained, and a schedule of landscaping materials including number, size and species. Existing landscaping 4 inches DBH or greater may count as credit against landscaping requirements for parking areas, site, and buffer yards.
4. Lighting plan to be provided for site plan consistent with Chapter 1273 of Planning and Zoning Code to staff prior to August 18th meeting. Plan to include photometric analysis, specs for proposed lighting fixtures for site and building, and indication of compliance with color-temperature of lighting (not to exceed 3500° Kelvin) among other design requirements.
5. Final revised and approved site plan shall be submitted to include all comments by staff and planning commission and to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
6. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
7. The Clearcreek Fire District has no comments at this time.

**B. Preliminary Review**

**Site Plan Review, 95 West Central Avenue (SR 73), proposed vehicle service facility for Foreign Exchange**

**Background Information**

This agenda item is an application for site plan review filed by Dryden Builders, Inc., on behalf of Foreign Exchange, to permit the construction of a vehicle repair facility at 95 West Central Avenue (SR 73). The subject property is located southeast of the intersection of West Central Avenue and South Main Street. Foreign Exchange proposes to relocate their operation located in Clearcreek Township to the subject property. In addition to the Clearcreek Township location, the company operates other locations in West Chester, Centerville, and Moraine.

The subject property is located in the UVD, Urban Village District. While the applicant has been advised that the proposed use is permitted, the redevelopment of the site and any other in the UVD will need to comply with the high design and development standards of the UVD and the standard site plan review requirements.

Existing land uses include to the east the soon to open Latin Arepas restaurant at 85 West Central Avenue, to the south the former site of Jonathan Wright Elementary School, to the west a single-family residence at 105 West Central Avenue, and to the north on the north side of West Central Avenue, Kleather's pumpkin patch and single-family residence, the small commercial building that houses Scotty's barber shop, and the developing Wright Station development on the former IGA shopping center site.

Existing zoning in the vicinity of the subject property is UVD to the west, north on the north side of West Central Avenue, and east. To the south existing zoning is R-2, Low-Density Residential District, on the former site of Jonathan Wright Elementary School.

The City is in receipt of a letter from the existing property owner indicating authorization to proceed through the development review process prior to sale.

## Staff Comments

City staff has the following comments regarding this agenda item:

1. The proposed use to comply with Section 1264.26, Development Standards for Specific Uses, Major and Minor Vehicle Repair.
2. Car washes are not a permitted use in the UVD.
3. Provide justification for volume of parking area proposed for the use. Also the paved area in rear of building is storage and needs to be screened per UVD design and development standards.
4. Build-to lines in the UVD are zero. Provide justification for the build-to lines shown on sheet CP-2.0.
5. What is the timetable for the proposed future building area and its use? What is the timetable for the future potential development area proposed for the southeast corner of the site?
6. Per UVD Section 1267.08(a)(1), Four-Sided Consistency, the west and south elevations do not comply with this requirement. Elevations need to relate to the style of the front elevations. Complexity and level of ornamentation may be reduced on the sides/rear elevations, but no ornamentation or interest is provided.
7. Proposed mural to be reviewed by Zoning Inspector for compliance with sign code and UVD standards.
8. Per UVD Section 1267.08(a)(2), Orientation to Street, the front/north elevation needs to be architecturally enhanced to address this requirement with respect to building entrance(s).
9. Per UVD Section 1267.08(a)(4), Glass Materials, verify that glass proposed is translucent.
10. Per UVD Section 1267.08(a)(6), Rooflines, indicate how proposed building complies with this section's requirements.
11. Per UVD Section 1267.08(a)(9), Building Massing, indicate how proposed building complies with this section's requirements.
12. Per UVD Section 1267.08(a)(10), Opacity, indicate how proposed building complies with this section's requirements.
13. City staff reserves the opportunity to review the proposed landscaping plan in light of UVD requirements, see Section 1267.09, and those of Chapter 1280.
14. Provide an engineered surveyed site plan to include, but not limited to, boundary dimensions and bearings, existing curbing, utilities, natural features, etc.
15. Provide existing and proposed grades and drainage systems and structures with one-foot contours. Elevations and contours shall be based upon USGS datum and identify the benchmark utilized.
16. Provide a record plan dedicating 60 feet of right-of-way across frontage of SR 73 as well as a 10-foot utility easement.
17. Provide a storm water management plan with erosion and sediment control measures including operation and maintenance procedures.
18. Provide storm water detention design/water quality for review.
19. Provide site design details including, but not limited to the following: water and sanitary sewer service, storm sewers, proposed streets, driveways, parking spaces, loading spaces and sidewalks, section and geometric, parking lot pavement typical, and spot elevations throughout parking lot. Provide parking stall dimensions not less than 9 feet wide by 18 feet deep.
20. Provide dumpster enclosure details.
21. Existing curb and gutter along SR 73 to be removed and replaced with ODOT type 2 depressed curb and gutter. Provide concrete apron and sidewalk details.
22. What is the purpose of the 72 foot-wide drive aisle? Vehicle storage?

23. Is the purpose of the showroom to have vehicle sales?
24. Provide location, intensity and orientation and catalog cuttings of all exterior lighting. All exterior lighting shall have a maximum 3500° Kelvin color-temperature. Provide in foot-candles the luminance level produced by the proposed lighting, and also lighting specifications.
25. Final revised and approved site plan shall be submitted to include all comments by staff and Planning Commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
26. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
27. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, August 5, 2021 at 8:00 a.m.

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

## CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** Burkhardt Engineering, Kurt Ziessler  
 Agent  
 Lessee **Address:** 28 N. Cherry Street  
 Signed Purchase Contract **City:** Germantown, OH 45327  
**Telephone No.:** ( 937 ) 388-0060  
**Fax No.:** (    )     
**Email Address:** kziessler@burkhardtinc.com

**PROPERTY OWNER NAME (IF OTHER):** B&E Plumbing, Ben Hood

**Address:** P.O. Box 550  
Springboro, OH

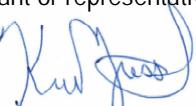
**Telephone No.:** ( 937 ) 608-3374

**Property Address or General Location:** Victory Drive, east of intersection with S. Pioneer Blvd.

**Parcel Number(s):** 0420486003 **Zoning District:** ED - Employment Center District

**Proposed Use:** new office building for B&E Plumbing

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
(Signature of Applicant and/or Agent)

6/23/2021

(Date)

Kurt Ziessler

Printed Name

# B&E PLUMBING

465 VICTORY DR.  
SPRINGBORO, OH

## OWNER

BEN HOOD  
55 COMMERCIAL WAY  
SPRINGBORO, OH 45066

PH: (937) 608-3374

PLEASE NOTE: DAE DESIGNS REQUIRE THAT ALL REQUESTED MODIFICATIONS TO PLANS BE SUBMITTED IN WRITING. THIS INCLUDES, BUT IS NOT LIMITED TO: PLAN REVIEW, COMMENTS FROM FIELD INSPECTION, CLIENT CHANGES.

## SHEET INDEX

C-1 INDEX/VICINITY MAP

S-1 FOUNDATION PLAN & DETAILS  
DUMPSTER ENCLOSURE

A-1 DIMENSIONED FLOOR PLAN  
REFLECTED CEILING PLAN  
ROOM FINISH SCHEDULE  
& WALL SECTION

P-1 PLUMBING WASTE PLAN  
PLUMBING SUPPLY PLAN  
WASTE ISOMETRIC

H-1 HVAC PLAN

E-1 ELECTRIC POWER PLAN  
LIGHTING PLAN  
ELECTRICAL PANEL SCHEDULE

STRUCTURAL AND EXTERIOR  
DRAWINGS SUBMITTED BY OTHERS  
UNDER SEPARATE COVER

## GENERAL NOTES

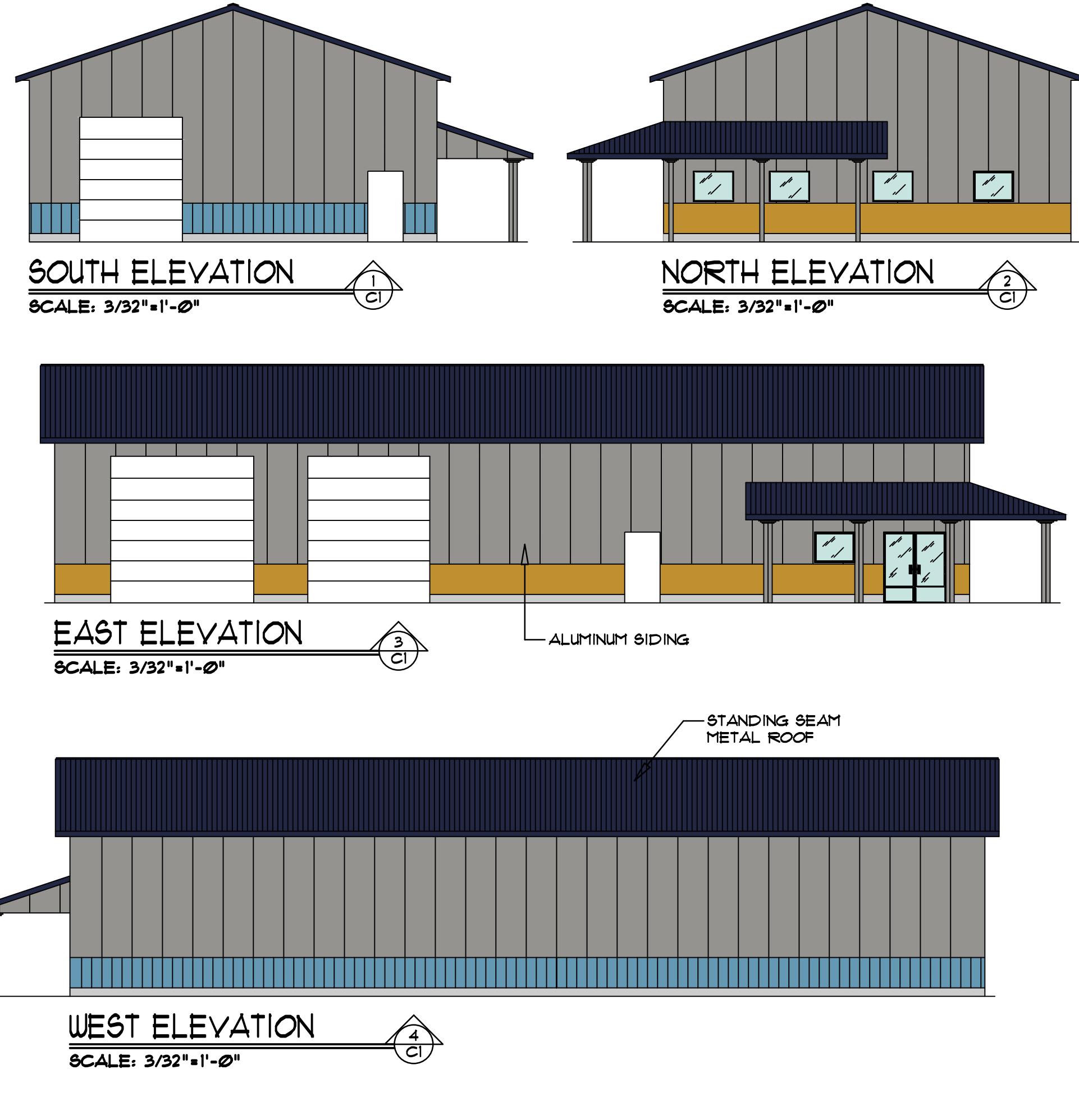
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, AND REGULATIONS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. IF A STRUCTURAL CONDITION IS HIDDEN OR CONCEALED BY EXISTING FINISHES, OR IS NOT CAPABLE OF INVESTIGATION BY REASONABLE VISUAL OBSERVATION, OR IF DAE DESIGNS HAS REASON TO BELIEVE THAT SUCH A CONDITION MAY EXIST, THE CLIENT SHALL AUTHORIZE AND PAY FOR ALL COSTS ASSOCIATED WITH THE INVESTIGATION OF SUCH A CONDITION. IF THE CLIENT FAILS TO AUTHORIZE SUCH INVESTIGATION OR CORRECTION AFTER DUE NOTIFICATION, THEN THE CLIENT IS RESPONSIBLE FOR ALL RISKS ASSOCIATED WITH THIS CONDITION, AND DAE DESIGNS SHALL NOT BE RESPONSIBLE FOR THE EXISTING CONDITION NOR ANY RESULTING DAMAGES TO PERSONS OR PROPERTY. THE G.C. IS TO NOTIFY DAE DESIGNS IMMEDIATELY UPON DISCOVERY OF ANY RELEVANT HIDDEN CONDITIONS.
4. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. ELECTRIC, SEWER, AND WATER SERVICE FOR THE BUILDING TO BE DETERMINED AND LOCATED ON THE SITE BY THE INDIVIDUAL MECHANICAL CONTRACTORS.

## ABBREVIATIONS

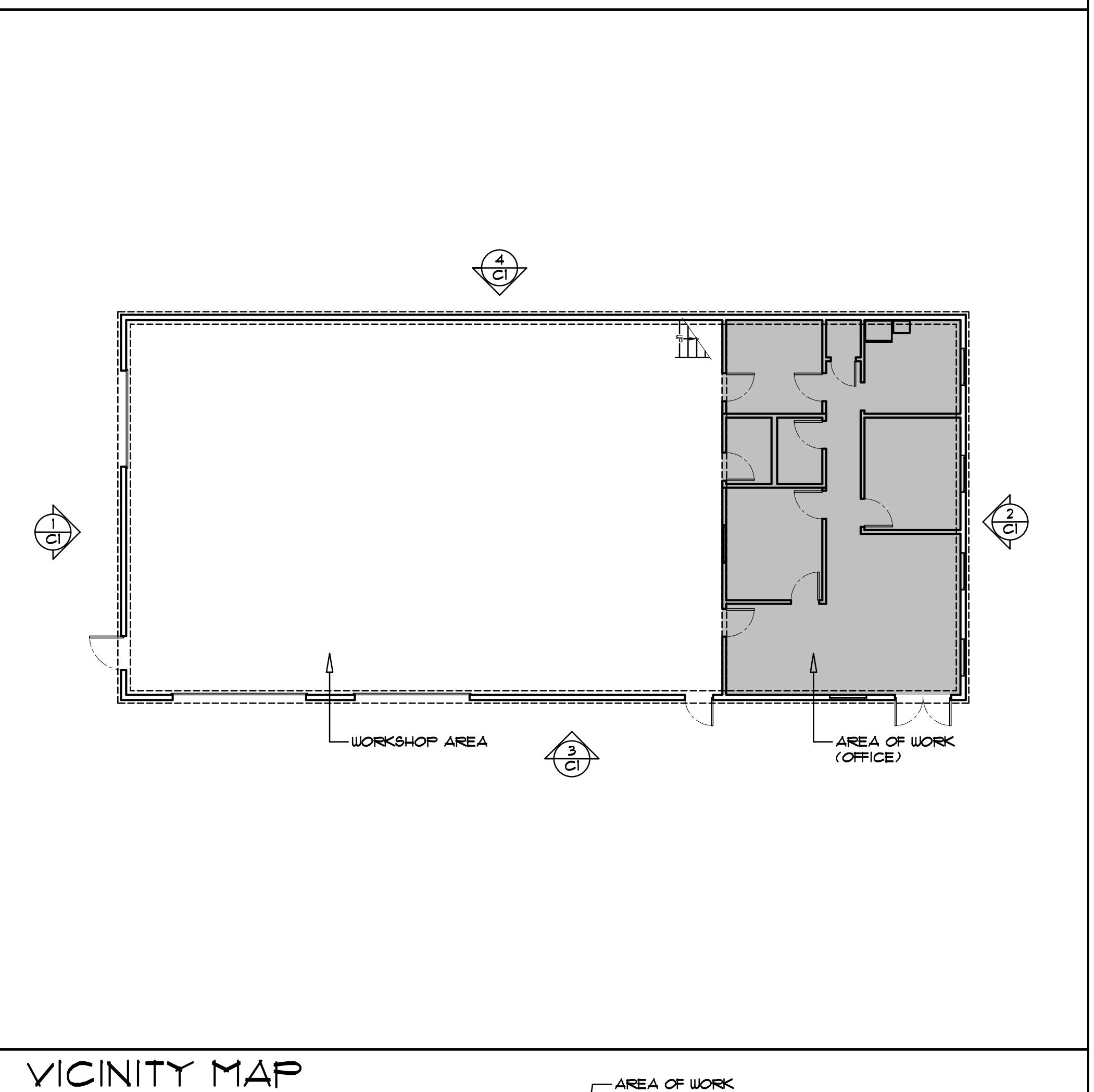
ACT.	ACOUSTICAL CEILING TILE	FIN.	FINISH (ED)	O.C.	ON CENTER	PLANS BASED ON:	2011 OHIO BUILDING CODE
ADJ.	ADJUSTABLE	FLR.	FLOOR	PLYWD.	PLYWOOD		2011 OHIO MECHANICAL CODE
AFF.	ABOVE FINISHED FLOOR	F.O.C.	FACE OF CONCRETE	PT.(D)	PAINTED)		2011 OHIO PLUMBING CODE
ALUM.	ALUMINUM	F.O.M.	FACE OF MASONRY	REF.	REFER, REFERENCE		2011 NEC
ALT.	ALTERNATE	GA.	GAUGE, OR GAGE	REINF.	REINFORCING		ICC ANSI A111-2009
BD.	BOARD	GUB.	GYPUM WALLBOARD	RM.	ROOM		2011 INTERNATIONAL FUEL GAS CODE
BLDG.	BUILDING	GL.	GLASS	S.C.	SOLID CORE		
BEAM.	BEAM	GYP. BD.	GYPSUM BOARD	SCHED.	SCHEDULED)		
BOT.	BOTTOM	H.C.	HOLLOW CORE	SHT.	SHEET		
COT.	CENTER LINE	HOUR.	HARDWARE	SIM.	SIMILAR		
CLG.	CEILING	HT.	HEIGHT	SPEC.	SPECIFICATION(S)		
CLE.	CLEAR	HYAC.	HEATING/VENTILATING/	STD.	STANDARD		
CMU.	CONCRETE MASONRY UNIT		AIR CONDITIONING	STL.	STEEL		
COL.	COLUMN	INSUL.		TBD	TO BE DETERMINED		
CONC.	CONCRETE	LAV.	LAVATORY	TEMP.	TEMPERED		
CONT.	CONTINUOUS)	LT.G.	LIGHTING)	THK.	THICK		
DBL.	DOUBLE	MAS.	MASONRY	TYP.	TYPICAL		
DET.	DETAIL	MAX.		UN.O.	UNLESS NOTED OTHERWISE		
DUG.	DRAWING	MECH.	MECHANICAL	V.N.T.	VINYL COMPOSITION TILE		
ELEV.	ELEVATION	MIN.	MINIMUM	W.C.	WATER CLOSET		
ELEC.	ELECTRICAL	MISC.	MISCELLANEOUS	WOOD	WOOD		
EQ.	EQUAL	M.O.	MASONRY OPENING	WATER HEATER	WATER HEATER		
EXT.	EXTERIOR	MTD.	MOUNTED	WITH	WITH		
FF.	FINISH FLOOR	MTL.	METAL				

## O.B.C. NOTES

PLANS BASED ON:	2011 OHIO BUILDING CODE
	2011 OHIO MECHANICAL CODE
	2011 OHIO PLUMBING CODE
PROJECT DESCRIPTION:	2011 NEC
	ICC ANSI A111-2009
DAE SCOPE OF WORK:	2011 INTERNATIONAL FUEL GAS CODE
USE GROUP:	CONSTRUCT NEW POLE BARN BUILDING BASED ON PEMB ATTACHED DRAWINGS
CONSTRUCTION TYPE:	"B" BUSINESS (OFFICE)
SQUARE FOOTAGE OF STRUCTURE:	"U" UTILITY (WORKSHOP)
SQUARE FOOTAGE OF WORK:	VB UN-SPRINKLERED
OCCUPANCY:	3,605 SF.
TOTAL OCCUPANT LOAD:	1,000 SF.
FIRE EXTINGUISHERS:	1000 SF / 100 = 10
	2,600 SF / 300 = 8
	18 PEOPLE
	PROVIDE WALL MOUNTED EXTINGUISHERS PER LOCAL FIRE MARSHALL AND SECTION 90.6. FIRE EXTINGUISHERS SHALL BEAR THE LABEL OF AN APPROVED AGENCY, BE OF AN APPROVED AND AVAILABLE TO THE OCCUPANTS.



## KEY PLAN (SCALE: 3/32"=1'-0")



D.A.E.  
Designs

DATE: 04-09-21  
SCALE: 1:200  
DRAWN BY: ZAM  
CHECKED BY: DAE

B&E PLUMBING  
INDEX/VICINITY MAP

REVISIONS:

DAE DESIGNS  
INDEX/VICINITY MAP  
12-31-2021  
EXPIRE DATE: 12-31-2024

## VICINITY MAP



D.A.E. Designs

120 W. SECOND STREET, SUITE #401  
LIBERTY TOWER  
DAYTON, OH 45402  
PHONE (937) 299-3213

C = 1

## GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL FOOTINGS TO BE BELOW FROST LINE AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING LOAD.
- THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
- ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY, AND MEET ALL NATIONAL, STATE AND LOCAL CODES WHERE APPLICABLE.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- ELECTRIC, PLUMBING, AND WATER SERVICE FOR THE BUILDING TO BE DETERMINED AND LOCATED ON THE SITE BY THE INDIVIDUAL MECHANICAL CONTRACTORS.

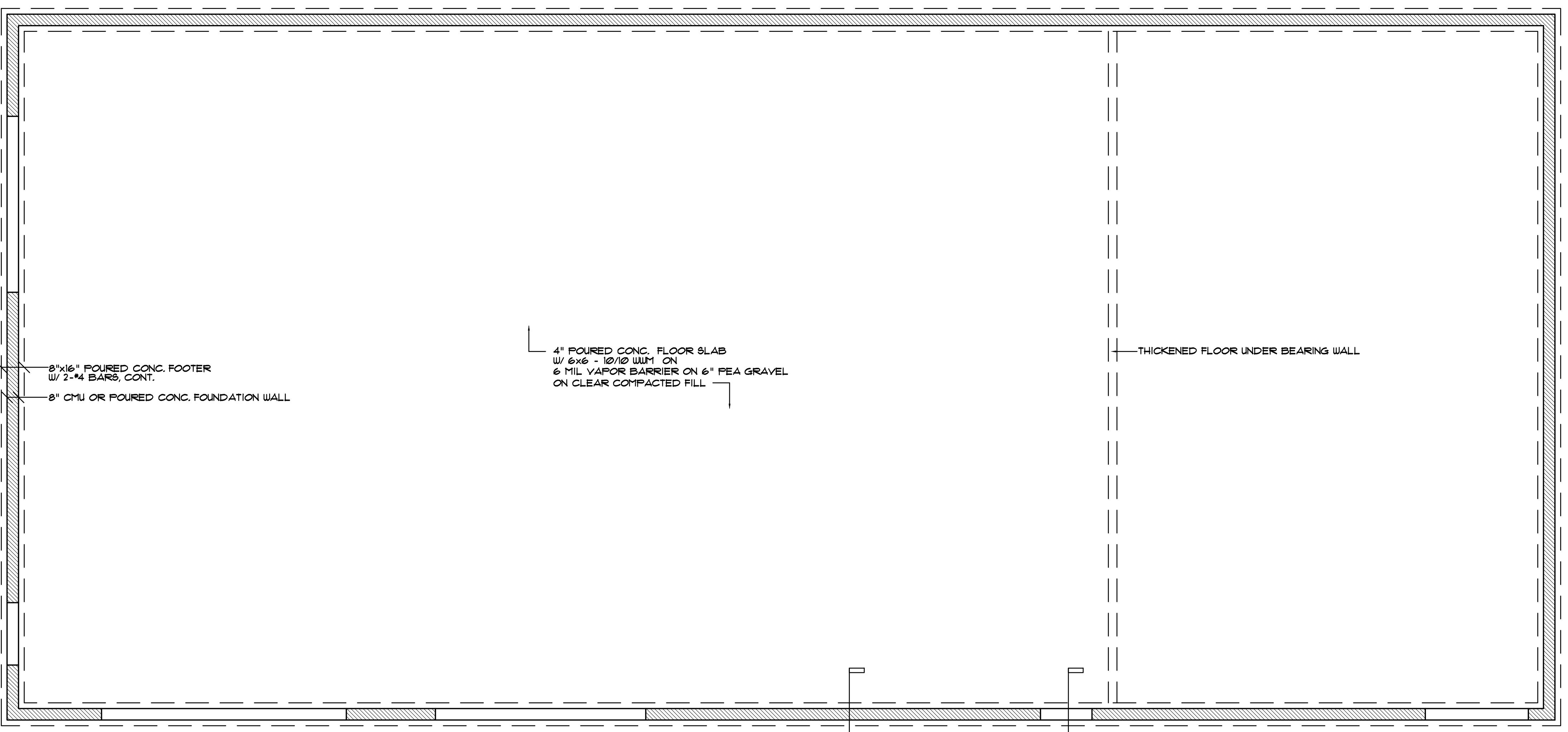
## FOUNDATION PLAN &amp; DETAILS

REVISIONS:

DAVID E. DESIGNS  
REG'D. IN OHIO  
120 W. SECOND STREET, SUITE #401  
DAYTON, OH 45402  
EXP. DATE: 12/31/2021

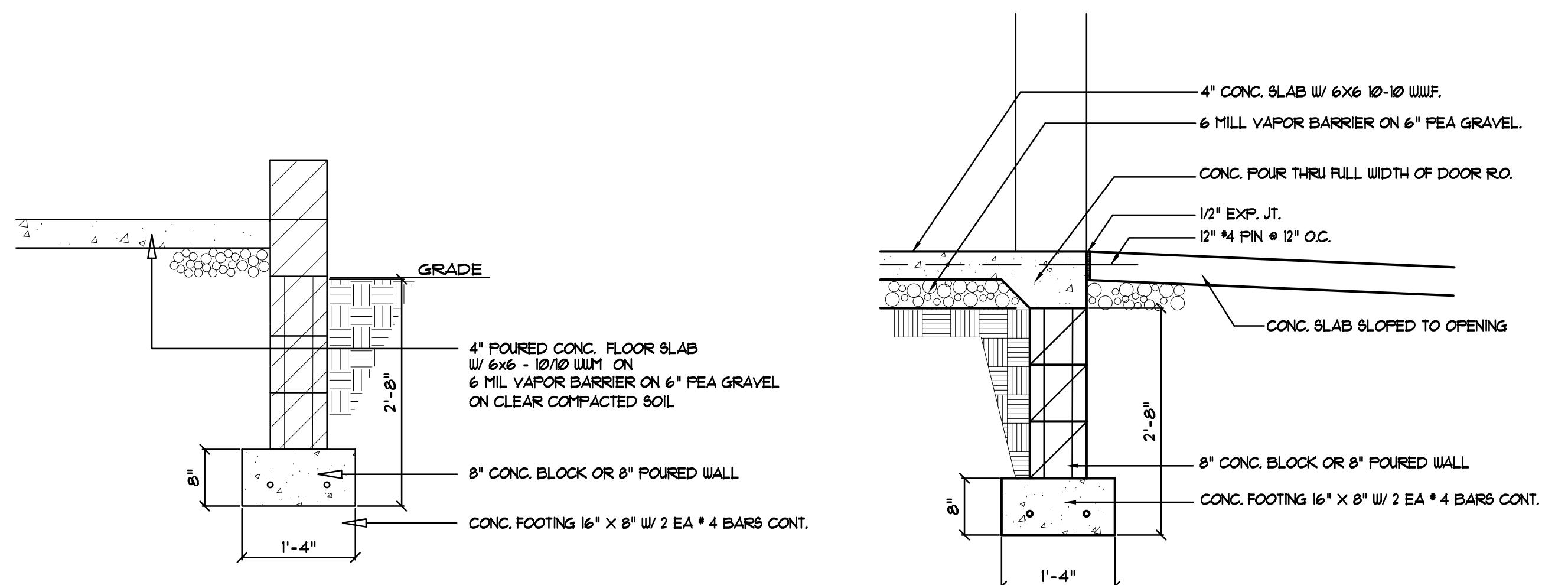
**D.E. Designs**  
LIBERTY TOWER  
120 W. SECOND STREET, SUITE #401  
DAYTON, OH 45402  
PHONE: (937) 299-3213

1  
1  
1



## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

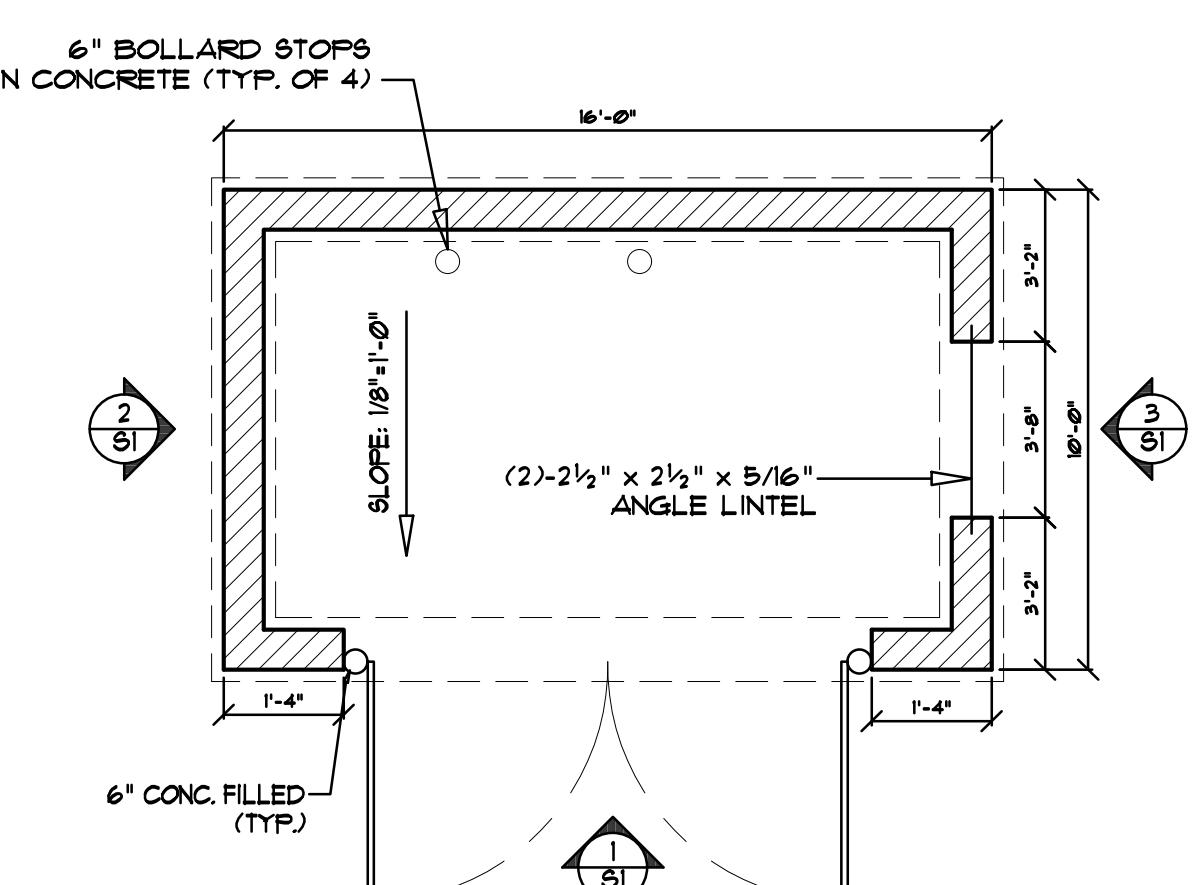


## PERIMETER FOUNDATION

SCALE: 3/4" = 1'-0"

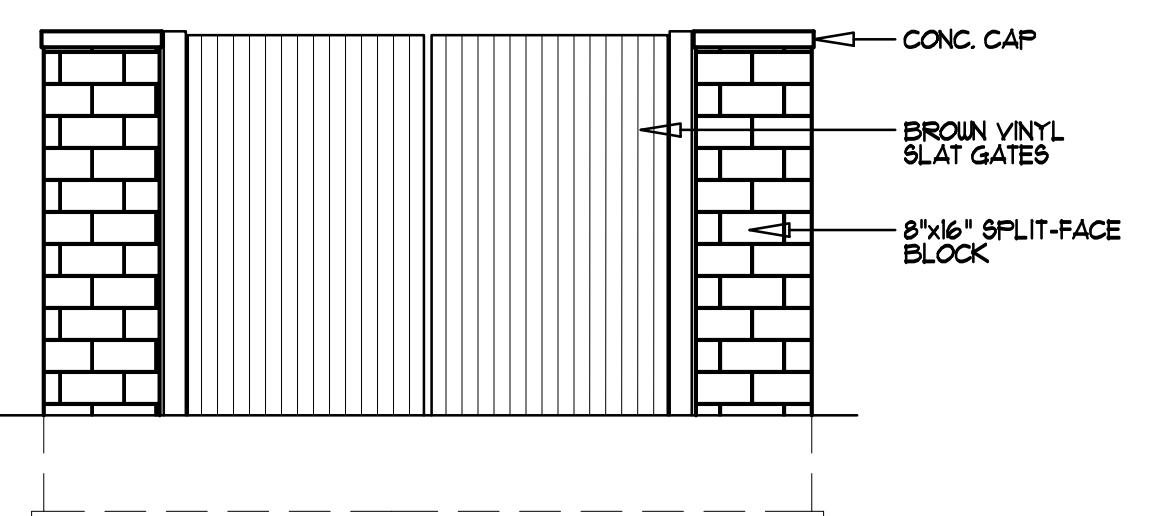
## DOOR POUR THROUGH

SCALE: 3/4" = 1'-0"



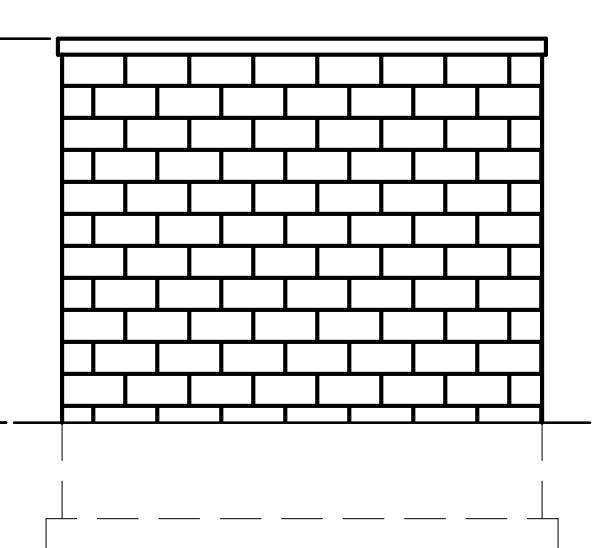
## PLAN VIEW - DUMPSTER ENCLOSURE

SCALE: 1/4" = 1'-0"



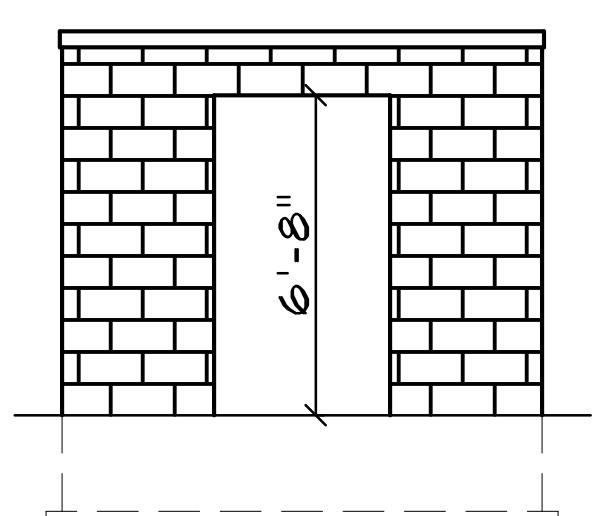
## FRONT ELEVATION

SCALE: 1/4" = 1'-0"



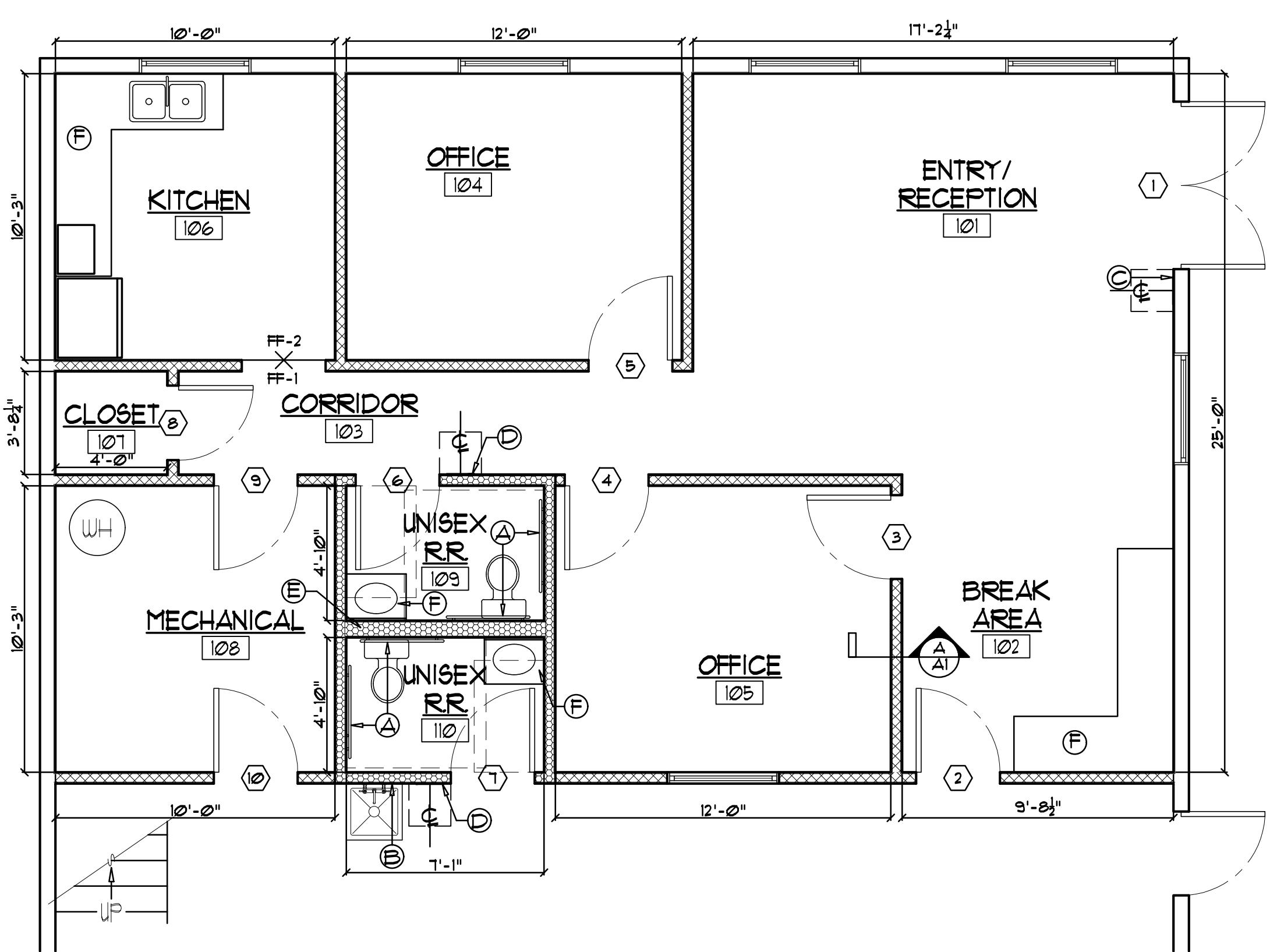
## SIDE ELEVATION

SCALE: 1/4" = 1'-0"



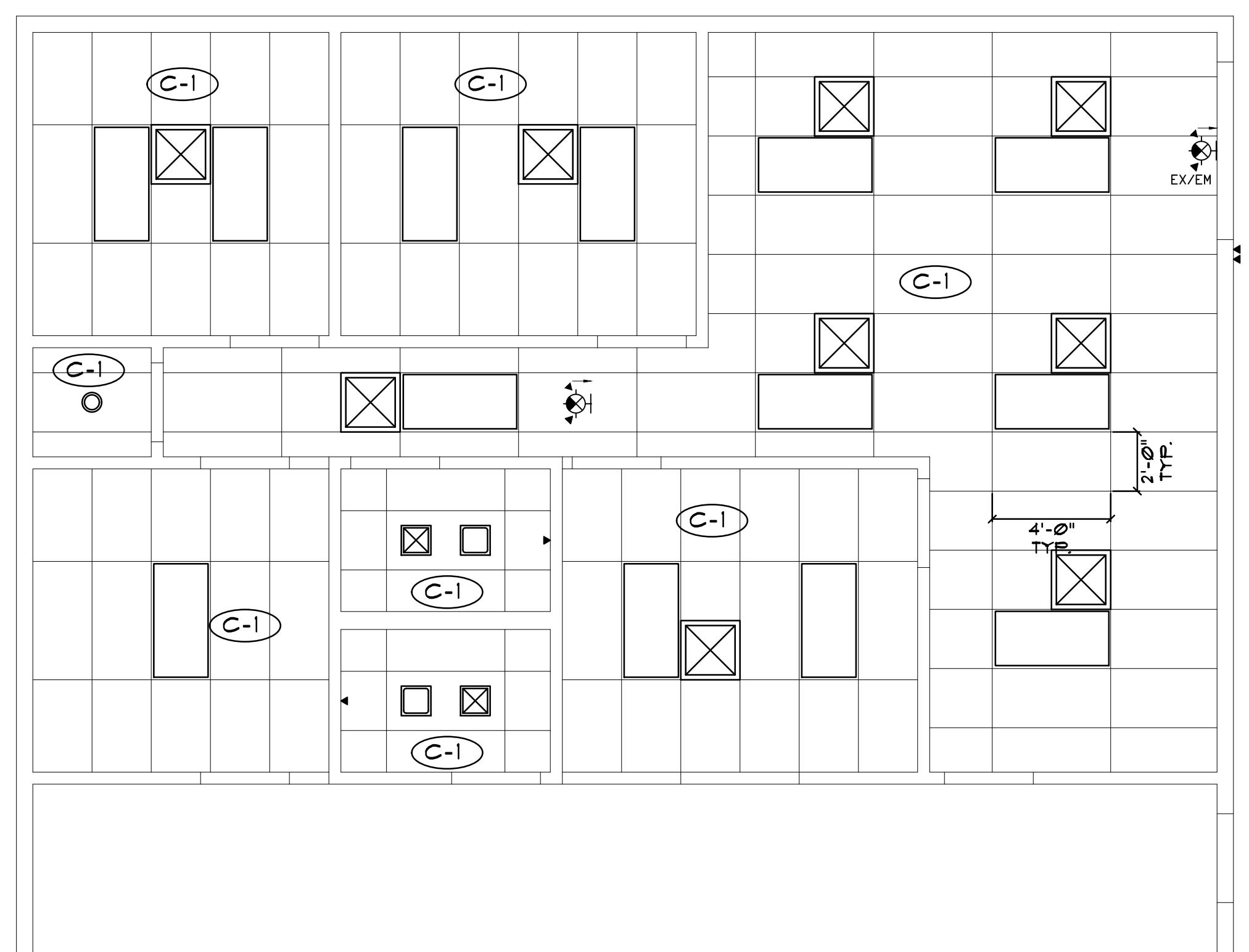
## SIDE ELEVATION

SCALE: 1/4" = 1'-0"



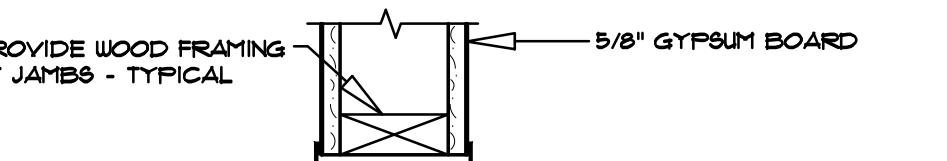
**DIMENSIONED FLOOR PLAN**

SCALE: 1/4" = 1'-0"



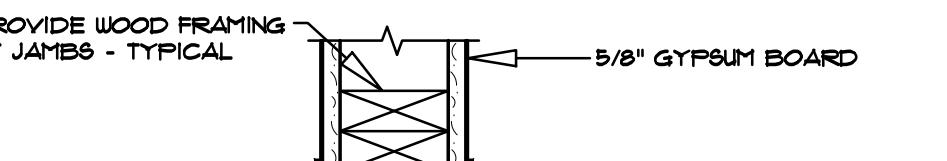
**REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



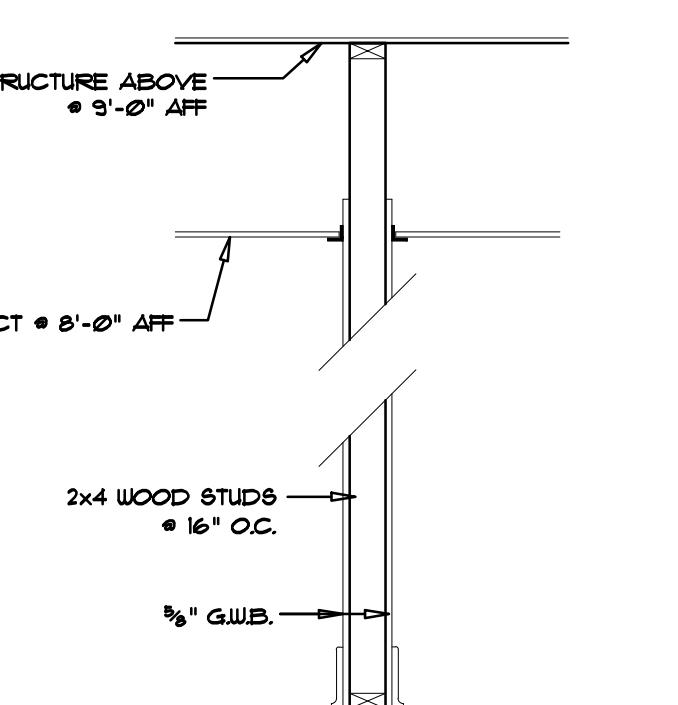
**DOOR JAMB DETAIL**

SCALE: 1-1/2" = 1'-0"



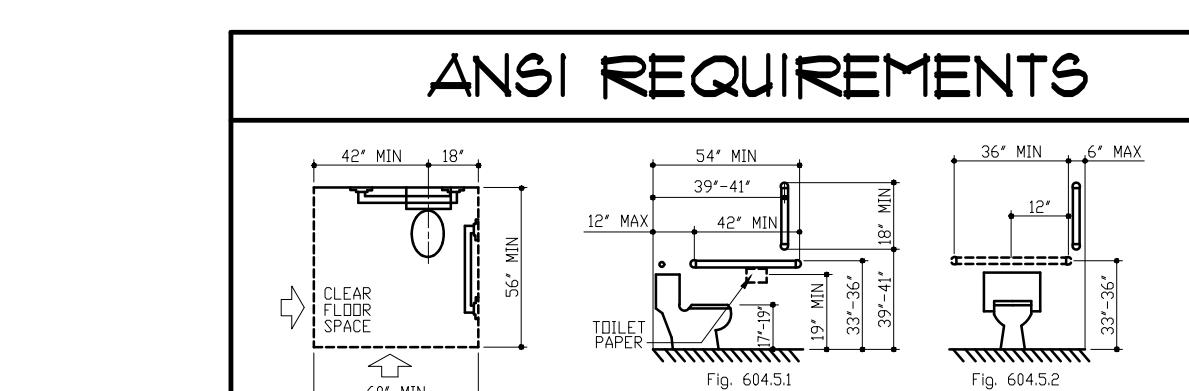
**DOOR HEADER DETAIL**

SCALE: 1-1/2" = 1'-0"



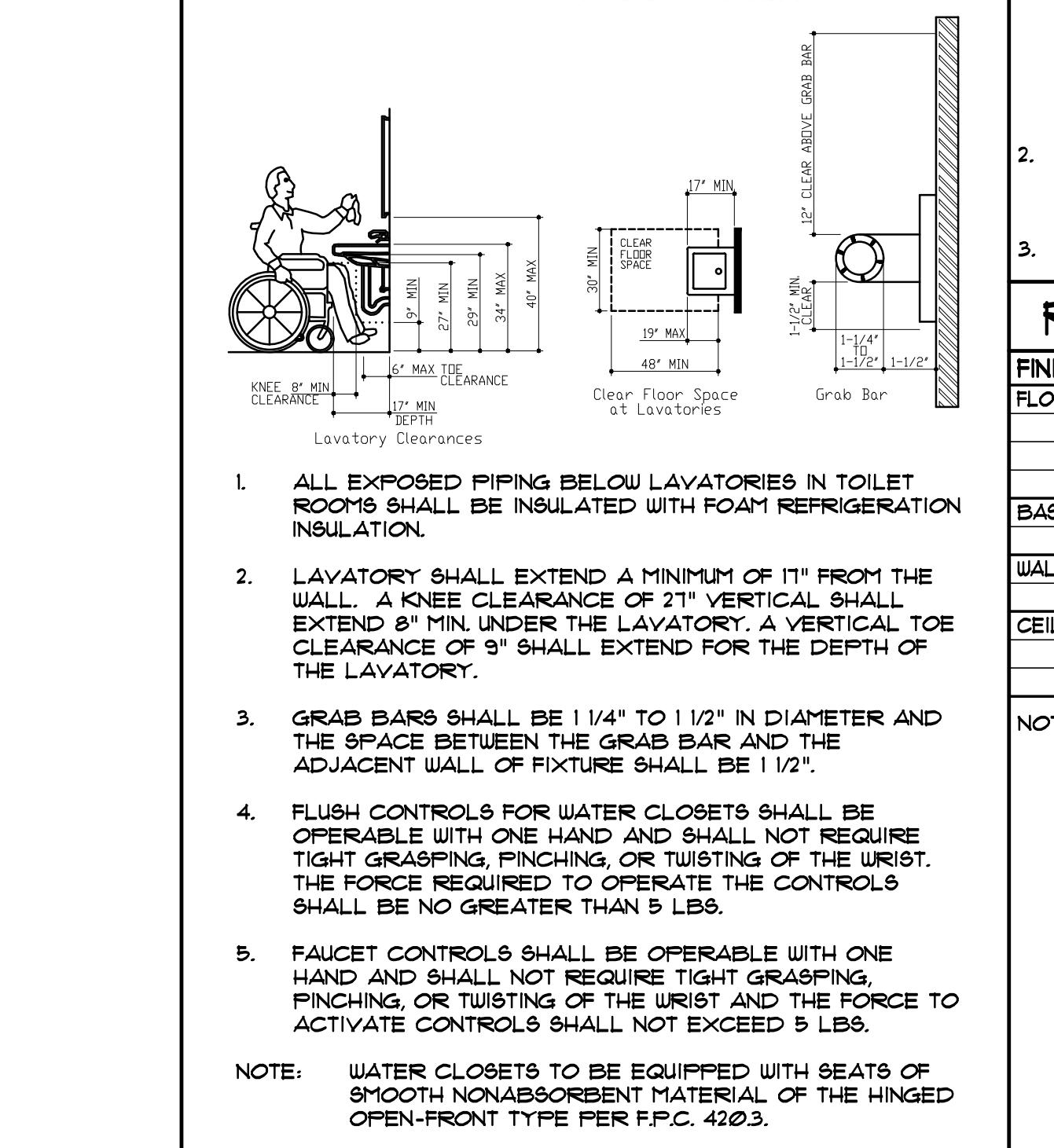
**WALL SECTION**

SCALE: 3/4" = 1'-0"



**ANSI REQUIREMENTS**

Fig. 604.31



1. PREPARE AND INSTALL FLOOR FINISHES AS INDICATED. CARPET TO BE COMMERCIAL GRADE NYLON LEVEL LOOP, DIRECT GLUE-DOWN, FLAME SPREAD 0 TO 25. CARPET COLORS PER OWNER. VINYL TILE TO BE ARMSTRONG PREMIUM EXCELON OR STANDARD EXCELON. TILE COLOR PER OWNER.

2. PREPARE AND INSTALL CEILING FINISHES AS INDICATED. SEE ROOM FINISH SCHEDULE AND ROOM FINISH SPECIFICATIONS.

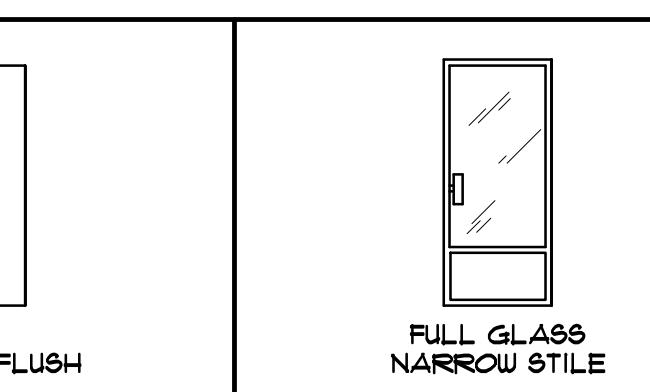
3. VINYL COVE BASE TO BE 4". COLOR PER OWNER.

**ROOM FINISH SPECIFICATIONS**

FINISH	DESCRIPTION	REF.	MFR	COLOR	REMARKS
FLOOR	CARPET	FF-1			
	SEALED CONCRETE	FF-2			
	LUXURY VINYL TILE	FF-3			
BASE	4" RUBBER COVE BASE	B-1	ROPPE		
WALL	PAINTED DRYWALL	WF-1			
CEILING	2x4 ACOUSTICAL TILE	C-1	ARMSTRONG	WHITE	

NOTE: ALL FINISHES TO BE VERIFIED WITH OWNER.  
ALL FINISHES TO COMPLY WITH O.B.C. CHAPTER 8.

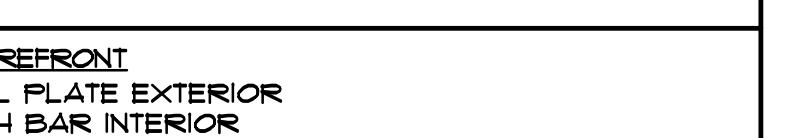
**DOOR TYPES**



**GENERAL NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. EXISTING DIMENSIONS ARE 'X'- AND MUST BE FIELD VERIFIED PRIOR TO COMMENCING THE WORK. NEW DIMENSIONS ARE TO FACE OF G.W.B. OR D.W.
- ALL NEW WALLS TO BE OF STEEL/TREATED LUMBER CONSTRUCTION. ALL NON-COMBUSTIBLE MATERIALS, 3 1/2" GA. STL STUDS OR TREATED LUMBER @ 16" O.C. W/ 1/2" GUB EACH SIDE, UNLESS OTHERWISE NOTED. ALL NEW RESTROOM WALLS TO RECEIVE SOUNDS BATT INSULATION.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS, NOT LOCATED BY DIMENSIONS, SHALL BE CENTERED IN WALL OR LOCATED FOUR INCHES (4") FROM FINISHED (PERPENDICULAR) WALL TO EDGE OF DOOR.
- GC TO CO-ORDINATE ALL BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS.
- ALL MATERIALS MUST MEET FLAME RESISTANCE REQUIREMENTS OF LOCAL CODES.
- WOOD BLOCKING, DECKING AND FRAMING MATERIALS ARE ONLY ALLOWED BELOW THE FINISHED CEILING LINE WHEN FIRE-RETARDANT TREATED AND MARKED AS SUCH.
- ANY PENETRATIONS OF, OR MODIFICATIONS TO THE EXISTING STRUCTURAL SYSTEMS, CONCRETE, STEEL, ETC. MUST BE COORDINATED WITH THE LANDLORD AND LOCAL AUTHORITIES. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDLORD AFTER SUBMISSION OF A DETAIL SCOPE OF WORK.
- CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHALL.
- FREELOCKING AND DRAFTSTOPPING TO BE INSTALLED, AS APPLICABLE, PER O.B.C. SECTION 18.1.

**HARDWARE**



**DOOR SCHEDULE**

NO.	DOOR SIZE	TYPE	MATERIAL	FRAME	LOCATION	HARDWARE SET
1	3'-0" x 6'-8"	B	GLASS	METAL	ENTRY (101)	STOREFRONT
2	3'-0" x 6'-8"	A	WOOD	WOOD	BREAK AREA (102)	CLASSROOM
3	3'-0" x 6'-8"	A	WOOD	WOOD	OFFICE (103)	CLASSROOM
4	3'-0" x 6'-8"	A	WOOD	WOOD	OFFICE (104)	CLASSROOM
5	3'-0" x 6'-8"	A	WOOD	WOOD	OFFICE (105)	CLASSROOM
6	3'-0" x 6'-8"	A	WOOD	WOOD	UNISEX RR (106)	PRIVACY
7	3'-0" x 6'-8"	A	WOOD	WOOD	UNISEX RR (107)	PRIVACY
8	3'-0" x 6'-8"	A	WOOD	WOOD	CLOSET (108)	CLASSROOM
9	3'-0" x 6'-8"	A	WOOD	WOOD	MECHANICAL (109)	CLASSROOM
10	3'-0" x 6'-8"	A	WOOD	WOOD	MECHANICAL (110)	CLASSROOM

NOTE:

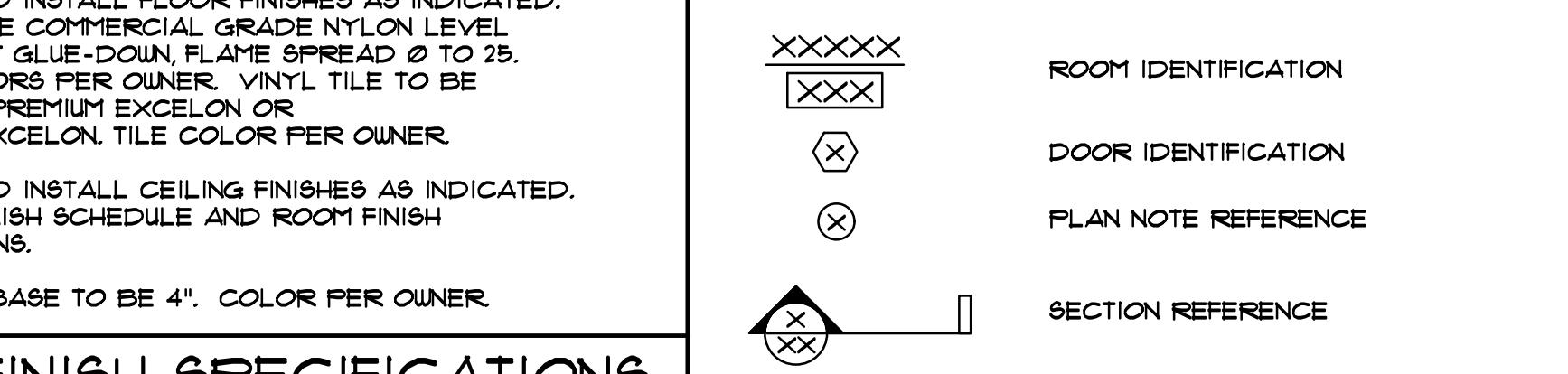
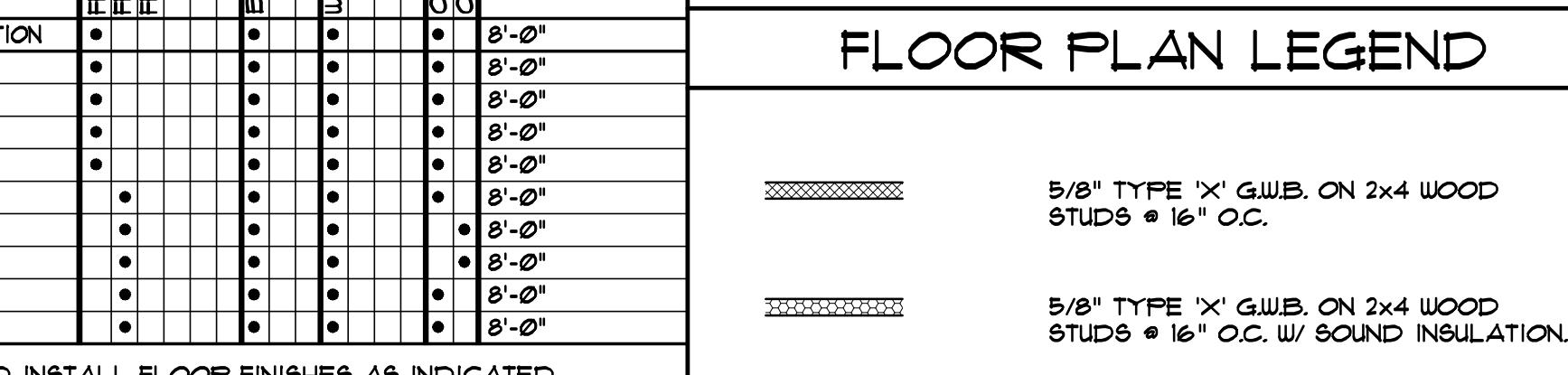
- ALL DOOR HARDWARE TO COMPLY WITH ICC ANSI A111-2009. ALL ARCHITECTURAL GLAZING WITHIN 48" OF DOORS SHALL BE TEMPERED, INCLUDING GLAZING OF DOORS.
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE, EFFORT OR USE OF A KEY. DOOR HANDLES, PULLS, LATCHES, LOCKS AND DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE MINIMUM 24" ABOVE FINISHED FLOOR AND A MAXIMUM OF 48 INCHES ABOVE FINISHED FLOOR. OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

**Sheet Notes**

- RESTROOM HANDICAPPED GRAB BARS 1 1/2" DIA @ 33" AFF. BY G.C. 42" LONG & 24" LONG. PROVIDE NONCOMBUSTIBLE BLOCKING IN WALLS FOR MOUNTING OF HANDRAILS.
- 4' FRP APPLIED TO MOP SINK WALLS.
- INSTALL TACTILE EXIT SIGN, MIN. 48" AFF. MAX 60" AFF. PER ICC ANSI A111-2009
- INSTALL TACTILE RESTROOM SIGN, MIN. 48" AFF. MAX 60" AFF. PER ICC ANSI A111-2009
- 6" PLUMBING WALL
- MILLWORK BY GENERAL CONTRACTOR

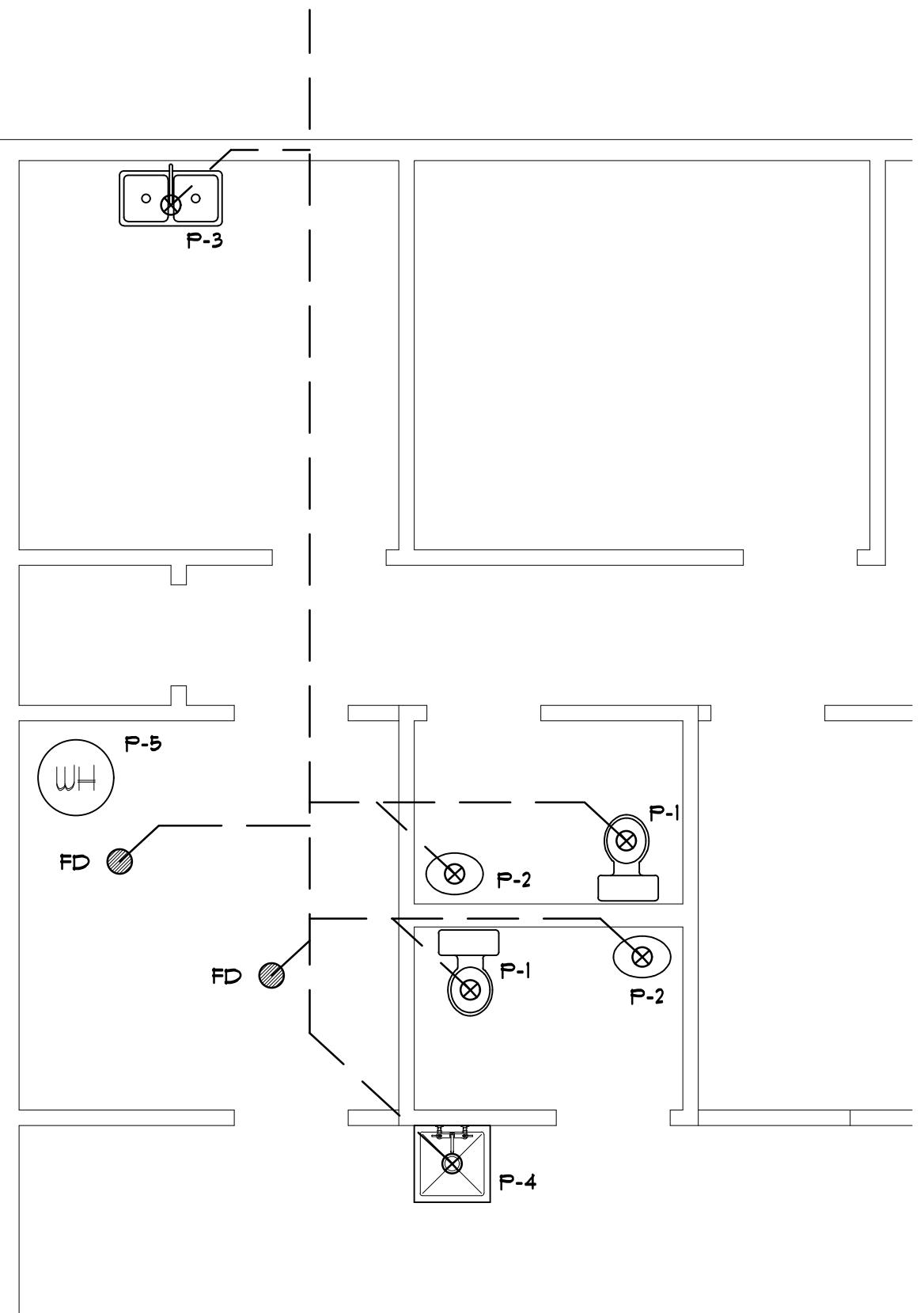
**ROOM FINISH SCHEDULE**

NO.	ROOM NAME	FLOOR	BASE	WALLS	CLG	HGT.
101	ENTRY / RECEPTION	1	1/2"	1/2"	1/2"	8'-0"
102	BREAK AREA	1	1/2"	1/2"	1/2"	8'-0"
103	CORRIDOR	1	1/2"	1/2"	1/2"	8'-0"
104	OFFICE	1	1/2"	1/2"	1/2"	8'-0"
105	OFFICE	1	1/2"	1/2"	1/2"	8'-0"
106	KITCHEN	1	1/2"	1/2"	1/2"	8'-0"
107	CLOSET	1	1/2"	1/2"	1/2"	8'-0"
108	MECHANICAL	1	1/2"	1/2"	1/2"	8'-0"
109	UNISEX RR	1	1/2"	1/2"	1/2"	8'-0"
110	UNISEX RR	1	1/2"	1/2"	1/2"	8'-0"

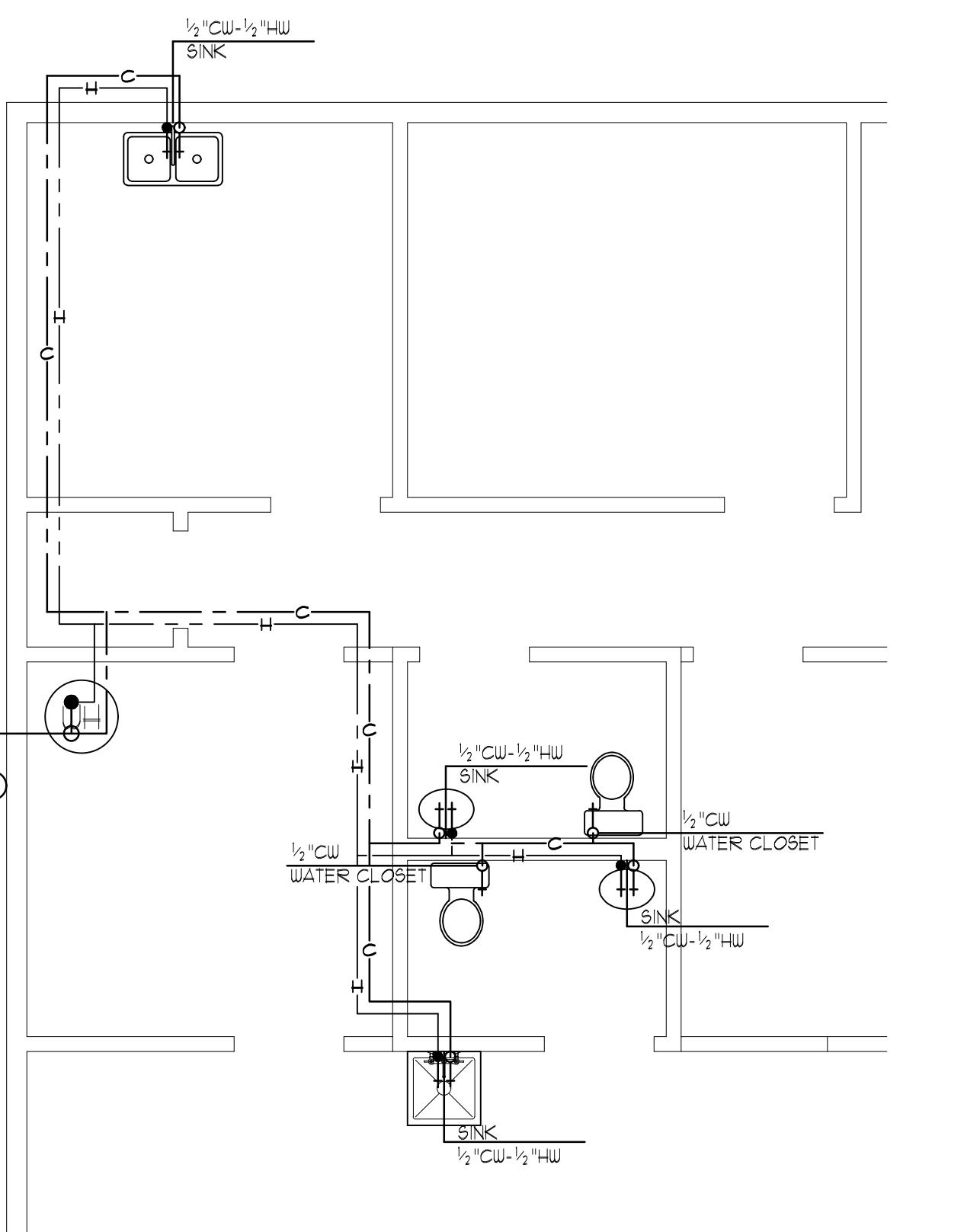


**GENERAL NOTES**

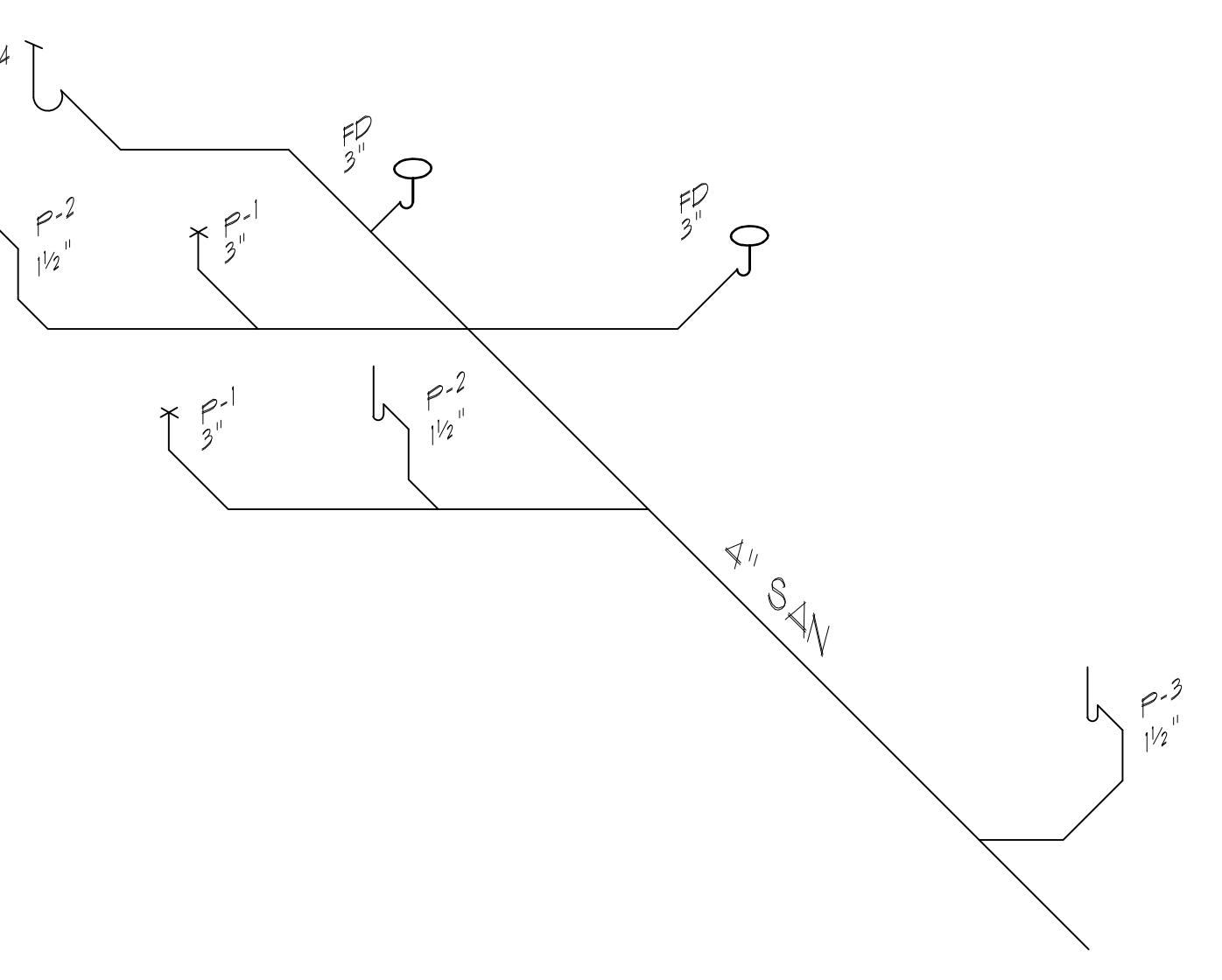
- ALL WORK IS TO MEET ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. ALL WORK TO BE DONE IN A CLEAN AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS, OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS, ETC, AND SHALL COMPLETE THE PLUMBING INSTALLATION AND RENDER ALL FIXTURES OPERATIONAL.
- ALL MATERIAL AND WORKMANSHIP ACCOMPLISHED BY THE PLUMBING CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE TENANT. ALL SERVICE CALLS DURING THIS PERIOD SHALL BE MADE PROMPTLY AT NO EXPENSE TO THE TENANT.
- THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS ON THE PROJECT.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM AND SHALL FIELD VERIFY EXISTING CONDITIONS/EXIST JOBSITE, AS WELL AS VERIFY ALL EQUIPMENT/FIXTURE REQUIREMENTS PRIOR TO BIDDING, AND START OF ROUGH-IN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UTILITIES AND MAKING SERVICEABLE CONNECTIONS TO THE SAME.
- ALL ROOF AND WALL PENETRATIONS TO BE APPROVED BY GENERAL CONTRACTOR.
- ALL OPENINGS THRU WALLS AND FLOORS SHALL BE SEALED WITH AN APPROVED MATERIAL AFTER PIPE INSTALLATIONS.
- PLUMBING FIXTURES SHALL BE COMPLETE WITH REQUIRED TRIM. EXPOSED METAL TRIM SHALL BE CHROME PLATED BRASS.
- PLUMBER TO MAKE ALL FINAL CONNECTIONS TO EQUIPMENT, AND PROVIDE ALL MATERIALS, WHEN REQUIRED, FROM ROUGH-IN LOCATIONS TO EQUIPMENT, TO MAKE CONNECTIONS COMPLETE AND FINAL.
- ALL PLUMBING FIXTURES/EQUIPMENT SHALL BE INSTALLED WITH A MEANS OF SHUT-OFF ON BOTH HOT AND COLD WATER LINES.
- ALL PLUMBING SHALL BE CONCEALED WITHIN FLOORS, WALLS OR CEILINGS FOR MAXIMUM SEAL WITHIN ENCLOSURES (BENEATH COUNTERS, ETC.)
- PLUMBING CONTRACTOR SHALL SAW OUT CONCRETE, EXCAVATE, BACKFILL AND PATCH AS NECESSARY TO INSTALL THE UNDER SLAB PLUMBING SYSTEM.
- ANY PLUMBING LINES THAT ARE UNAVOIDABLY EXPOSED SHALL BE AT LEAST 6" ABOVE THE FLOOR AND 1" AWAY FROM OTHER PIPES, CONDUITS, AND EQUIPMENT AND WALLS.
- ALL SINKS SHALL BE SEALED TO THE WALL, BY THE SUPPLYING CONTRACTOR, WITH A SILICONE RUBBER SEALANT.
- ALL WASTE LINES, DIRECT OR INDIRECT, SHALL BE FURNISHED AND INSTALLED BY PLUMBER. INDIRECT WASTES SHALL BE ADEQUATE SIZE AND EXTENDED FROM DRAIN TO AN APPROVED RECEPTOR. WASTES WITHIN FIXTURES SHALL BE ROUTED TO CONFORM WITH INTERIOR SHELVES, SPACES OR STRUCTURES.
- ALL SANITARY SHALL BE STANDARD WEIGHT CAST IRON PIPING BELOW GRADE SHALL BE SLOPED A MINIMUM OF 1/8/FOOT.
- ANY FOOD PREPARATION SINKS INDIRECTLY DRAINED TO WASTE SHALL NOT HAVE LEVER WASTE VALVES.
- ALL HOT, COLD AND HOT WATER RETURN PIPING TO BE TYPE "L" COPPER TUBING WITH COMPATIBLE FITTINGS AND JOINTS. INSULATE ALL PIPING WITH 1" THICK FIBERGLASS WITH A.S.J. RUN OVERHEAD EXCEPT WHERE NOTED. FLEX PIPING IS AN ACCEPTABLE ALTERNATE WHERE PERMITTED BY CODE.
- THE PLUMBING CONTRACTOR SHALL EXTEND THE NATURAL GAS SUPPLY TO EQUIPMENT AS REQUIRED.
- GAS SUPPLY LINES TO BE RUN OVERHEAD, EXCEPT AS NOTED.
- PLUMBING CONTRACTOR TO CONNECT, AND PROVIDE, IF NEEDED, ALL FUEL SHUT-OFF VALVES FOR GAS FIRED EQUIPMENT.
- PLUMBER TO SUPPLY, COMPLETE, ALL CONDENSATE DRAIN LINES FROM EQUIPMENT TO PROPERLY LOCATED INDIRECT WASTES.
- GREASE INTERCEPTORS TO BE SIZED, SUPPLIED, AND INSTALLED BY PLUMBING CONTRACTOR.


**PLUMBING WASTE PLAN**

SCALE: 1/4" = 1'-0"


**PLUMBING SUPPLY PLAN**

SCALE: 1/4" = 1'-0"


**PLUMBING ISOMETRIC**

N.T.S.

**PLUMBING FIXTURE SCHEDULE**

P-1 WATER CLOSET, AMERICAN STANDARD #2120, WHITE WATER SAVER, WITH SEAT (OR EQUAL)

P-2 COUNTER TOP LAVATORY

P-3 DROP-IN 33" 4 HOLE DOUBLE BOWL SINK STAINLESS STEEL, SATIN FINISH

P-4 MOP SINK FLOOR MOUNTED AMERICAN STANDARD #1695.018 24" X 20 1/2" X 11 1/4" W/82VB FAUCET

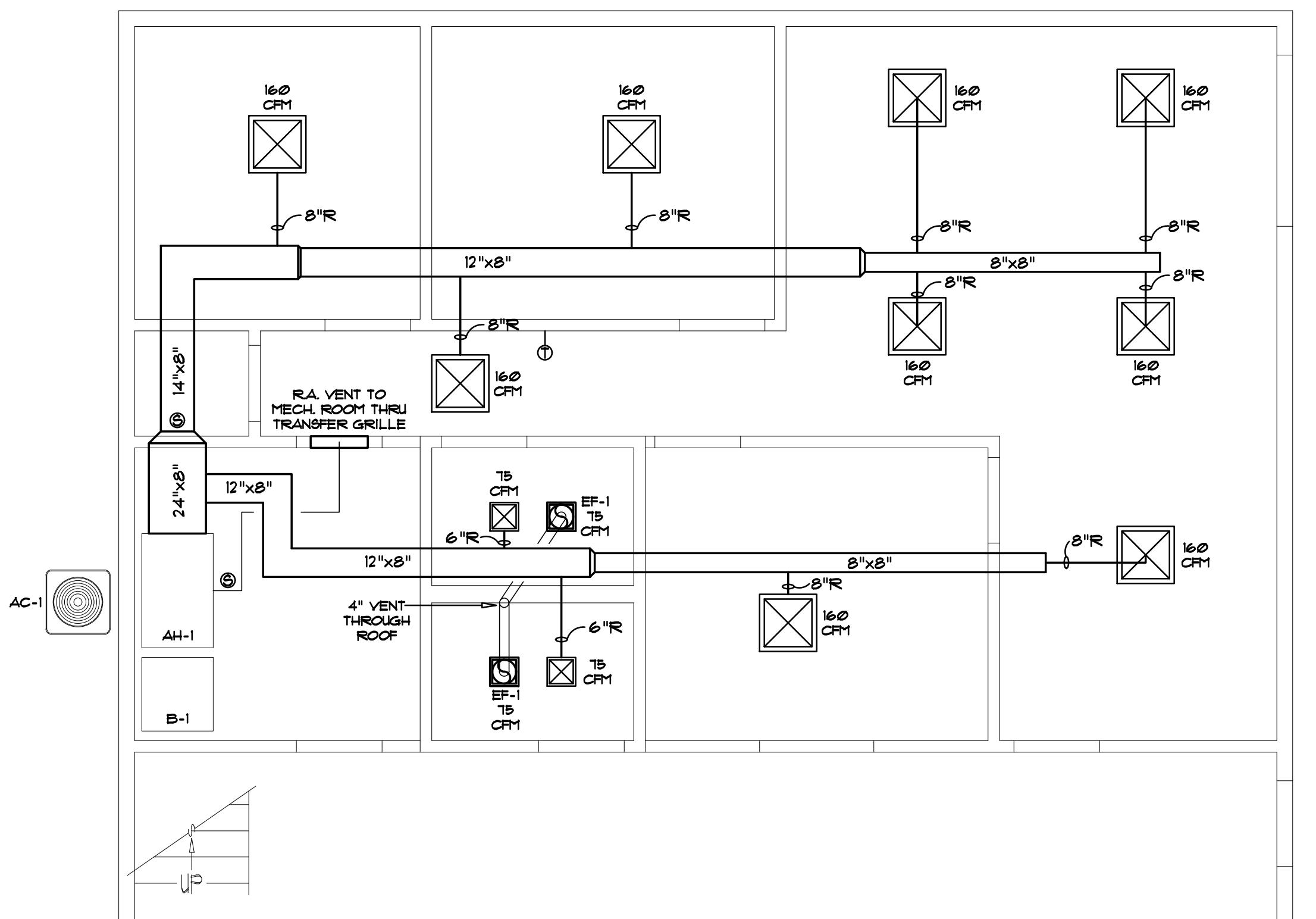
P-5 40 GALL. WATER HEATER A.O. SMITH SIGNATURE #2482:PREMIER 40000 BTU RATING 41 GPH RECOVERY @ 90° TYPE B DOUBLE WALL VENT 66 UNIFORM ENERGY FACTOR

**LEGEND**

- COLD WATER OUTLET
- HOT WATER OUTLET
- ⊗— DIRECT/CLOSED WASTE
- (W)— WATER METER
- — — — — GAS LINE
- H — — — HOT WATER LINE
- — — — — SANITARY LINE
- FD ○— FLOOR DRAIN

## GENERAL NOTES

- ALL WORK IS TO MEET ALL APPLICABLE CODE REQUIREMENTS.
- ALL WORK IS TO BE PERFORMED IN A CLEAN AND WORKMANLIKE MANNER.
- HEAT CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR REQUIRED FOR THE INSTALLATION OF THE COMPLETE SYSTEM, INCLUDING FINAL BALANCE AND CERTIFICATION. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS, ETC.
- ELECTRICAL POWER CONNECTIONS BY OTHERS.
- ALL MECHANICAL EQUIPMENT TO BE SUPPORTED FROM CEILING.
- SUPPORTS FOR EQUIPMENT, DUCTWORK, ETC. BY HVAC CONTRACTOR, APPROVED BY THE GENERAL CONTRACTOR AND LANDLORD.
- OPEN.
- ALL DIFFUSERS TO HAVE INTERNAL DAMPERS.
- SMOKE DETECTOR SHALL BE INSTALLED IN RETURN AIR DUCT, WIRED FOR UNIT SHUT DOWN PER CODE.
- PLAN DUCT SIZES ARE INSIDE CLEAR. ALL DUCTS TO BE CONSTRUCTED USING STACNA LOU PRESSURE STANDARDS.
- SYSTEM TO BE BALANCED TO SPECIFIED QUANTITIES AND REPORT GIVEN TO OWNER & OR LANDLORD.
- ALL SUPPLY AIR DUCTWORK TO BE INSULATED WITH 1/2" FOIL FACED FIBERGLASS. ALL JOINTS TO BE TAPE AND SEALED AIRTIGHT, INSULATION SHALL MEET ASTM-E84 AND BEAR UL LABEL.
- SUPPLY AIR DUCTS TO BE EXTERNALLY INSULATED IN CONDITIONED SPACE.
- ALL ROOF AND WALL PENETRATIONS TO BE APPROVED BY OWNER.
- EXHAUST FANS TO BE GREATER THAN 10' FROM THE HVAC UNIT(S), OTHERWISE, THE FAN CURB HEIGHT IS TO BE INCREASED SO THAT THE FAN DISCHARGE IS A MINIMUM OF 24" ABOVE HVAC AIR INTAKES, PER OMC 4214.1.
- OUTDOOR MAKE-UP AIR TO BE LOCATED A MINIMUM OF 10 FT. FROM ALL VENTS, CHIMNEYS, OR LOT LINES.
- INSTALL KITCHEN HOOD AND FAN PACKAGE AS SUPPLIED BY HOOD MANUFACTURER. MANUFACTURER TO PROVIDE DETAILED SHOP DRAWINGS OF ALL COMPONENTS.



HVAC PLAN

SCALE: 1/4" = 1'-0"

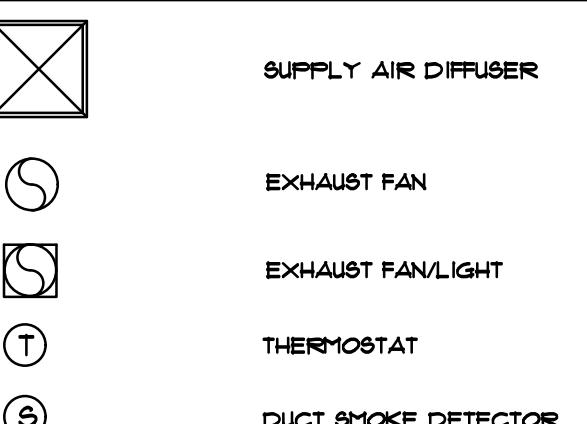
## FIRE PROTECTION NOTES

- INSTALL FIRE PROTECTION CONNECT TO MALL SYSTEM. CONTRACTOR TO DESIGN AND INSTALL A FULLY CALCULATED SYSTEM FOR NFPA AND LOCAL CODES. SUBMIT PLANS TO MALL AND ALL CODE AGENCIES.
- USE LANDLORD'S STANDARD SPRINKLER HEADS IN THIS SPACE.
- INSTALL ALL PIPING AND DEVICES REQUIRED TO COMPLETE ANSUL HOOD FIRE PROTECTION SYSTEM (ANSUL R-102, WITH REMOTE CONTROL AND AGENT CABINET). PROVIDE ALL CONTROL DEVICES AND WIRING REQUIRED. SEE ARCHITECTURAL PLANS FOR CABINET LOCATION.
- SEE LANDLORD STANDARD FIRE ALARM SYSTEM SCHEMATIC FOR ALL INTERCONNECTING WIRING AND SENSING/ALARM DEVICES REQUIRED TO COMPLETE THE SYSTEM IN THIS SPACE.

## HVAC EQUIPMENT SCHEDULE

HVAC UNITS:	
AC-1	GOODMAN AIR COOLED CONDENSING UNIT MODEL: ARUF4214 INPUT RATING: 42000 BTU 208/230/1/60 MCA: 24 MAX FUSE SIZE: 40 POSITION ON CONCRETE PAD.
AH-1	GOODMAN AIR HANDLER MODEL: ARUF4324 INPUT RATING: 60 MBH COP: 6.6 CFM: 1000 208/230/1/60 MCA: 4 MAX FUSE SIZE: 15
B-1	EVERGREEN 155000 BTU CONDENSING BOILER 1492000 DOE HEATING CAPACITY 100% COP 100% PVC, CPVC, PP, SS (AL29-4C) 100% VENTING LENGTH 3" VENT DIA 1/2" SUPPLY RETURN TAPPING 1/2" GAS CONNECTION 3.2 GAL WATER VOLUME USED FOR RADIANT FLOOR HEAT (SEE MFR SPECIFICATIONS FOR DETAILS)
EF-1	RESTROOM EXHAUST FAN CAPTIVE AIRE "CAD100" 1/10 HP MOTOR • 1500 RPM 300 CFM • 300 S.P. 120 VOLT, 2.4 AMP LOAD W/ INSULATED CURB AND BACKDRAFT DAMPER

## LEGEND

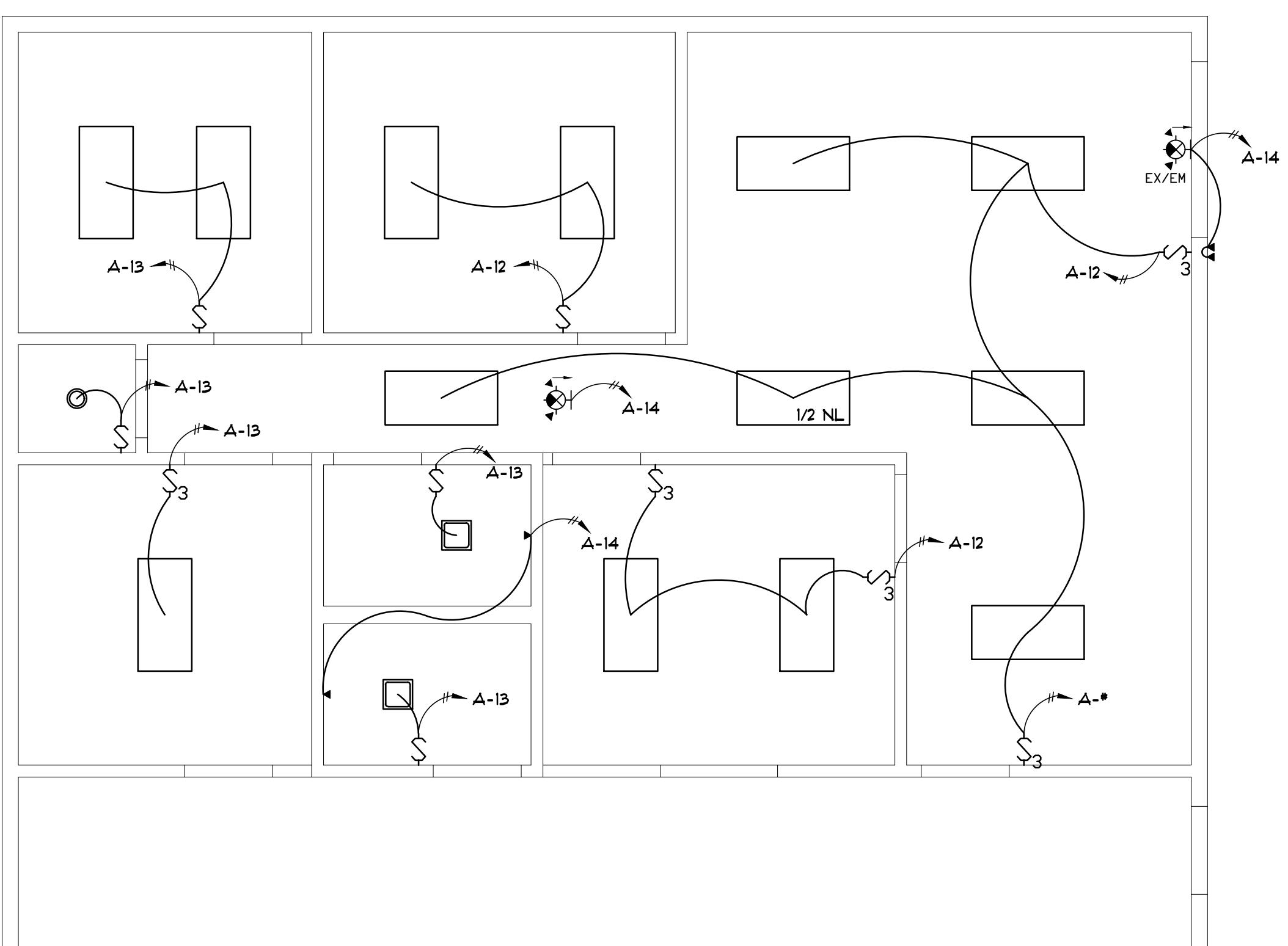
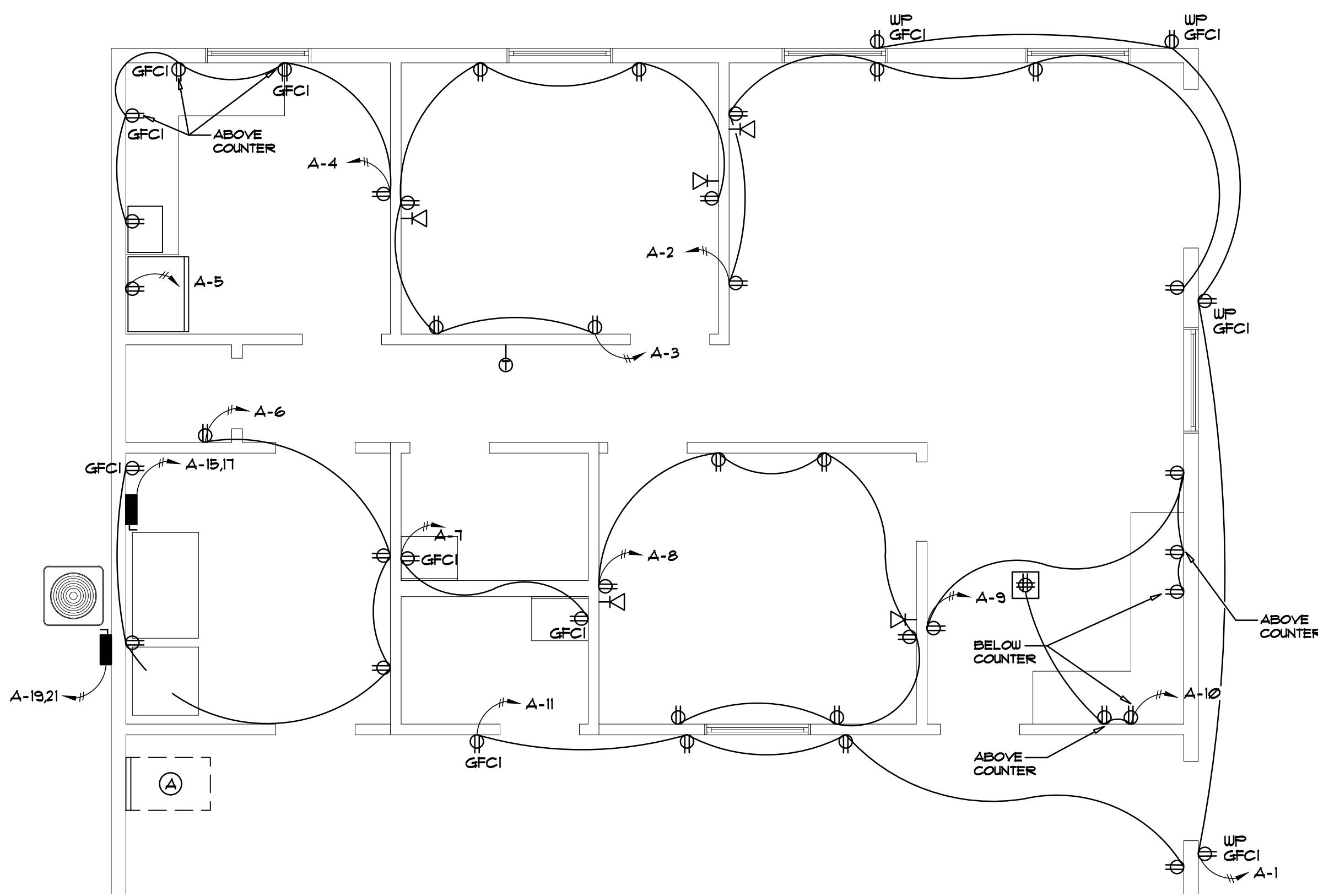


D.E. Designs

LIBERTY TOWER  
120 W. SECOND STREET, SUITE #401  
DAYTON, OH 45402  
PHONE: (937) 299-3213

**LEGEND**

DATE: 04/09/21  
 DRAWN BY: ZAM  
 CHECKED BY: DAE  
 SHELL: 2021  
 SCALE: 1/200  
 REVISIONS:  
 ELECTRIC POWER PLAN  
 ELECTRIC LIGHTING PLAN



PANEL SCHEDULE											
PANEL 120/240 VOLT 3 PHASE 4 #-- WIRES											
A 200 AMP MAIN 42 SPACE BOLT ON BREAKERS											
DESCRIPTION	BRK	BRK	BRK	BRK	LEFT HAND	RIGHT HAND	BRK	BRK	BRK	DESCRIPTION	
	20/1	20/1	20/1	20/1	L1 L2 L3	L1 L2 L3	20/1	20/1	20/1		
EXTERIOR WP GFI's	12	20/1	1	600		150	2	20/1	12	ENTRY/RECEPTION (101)	
OFFICE (104)	12	20/1	3	300		150	4	20/1	12	KITCHEN (106)	
REFRIGERATOR	12	20/1	5	500		150	6	20/1	12	MECH (108) & CLOSET	
RESTROOMS	12	20/1	7	300		300	8	20/1	12	OFFICE (105)	
BREAK AREA (102) (ENTRY WALL)	12	20/1	9	750		750	10	20/1	12	BREAK AREA (102) (SHOP WALL)	
OFFICE/SHOP WALL	12	20/1	11	600		500	12	20/1	12	LIGHTING (FRONT AREA & OFFICES)	
LIGHTING (BACK AREA & RR's)	12	20/1	13	325		25	14	20/1	12	EMERGENCY LIGHTING	
AIR HANDLER	14	15/2	15	460		--	16	--	--	EMPTY	
CONDENSER UNIT	10	40/2	19	2500		--	20	--	--	EMPTY	
			21	2500		--	22	--	--	EMPTY	
EMPTY	--	--	23	--		--	24	--	--	EMPTY	
EMPTY	--	--	25	--		--	26	--	--	EMPTY	
EMPTY	--	--	27	--		--	28	--	--	EMPTY	
EMPTY	--	--	29	--		--	30	--	--	EMPTY	
EMPTY	--	--	31	--		--	32	--	--	EMPTY	
EMPTY	--	--	33	--		--	34	--	--	EMPTY	
EMPTY	--	--	35	--		--	36	--	--	EMPTY	
EMPTY	--	--	37	--		--	38	--	--	EMPTY	
EMPTY	--	--	39	--		--	40	--	--	EMPTY	
EMPTY	--	--	41	--		--	42	--	--	EMPTY	
		TOTALS			3725	1615	TOTAL CONNECTED LOAD: 14,320 WATTS AMP LOAD MAX: 39.8 AMP				
					460	1500					
					5400	6110					
					1	2810					

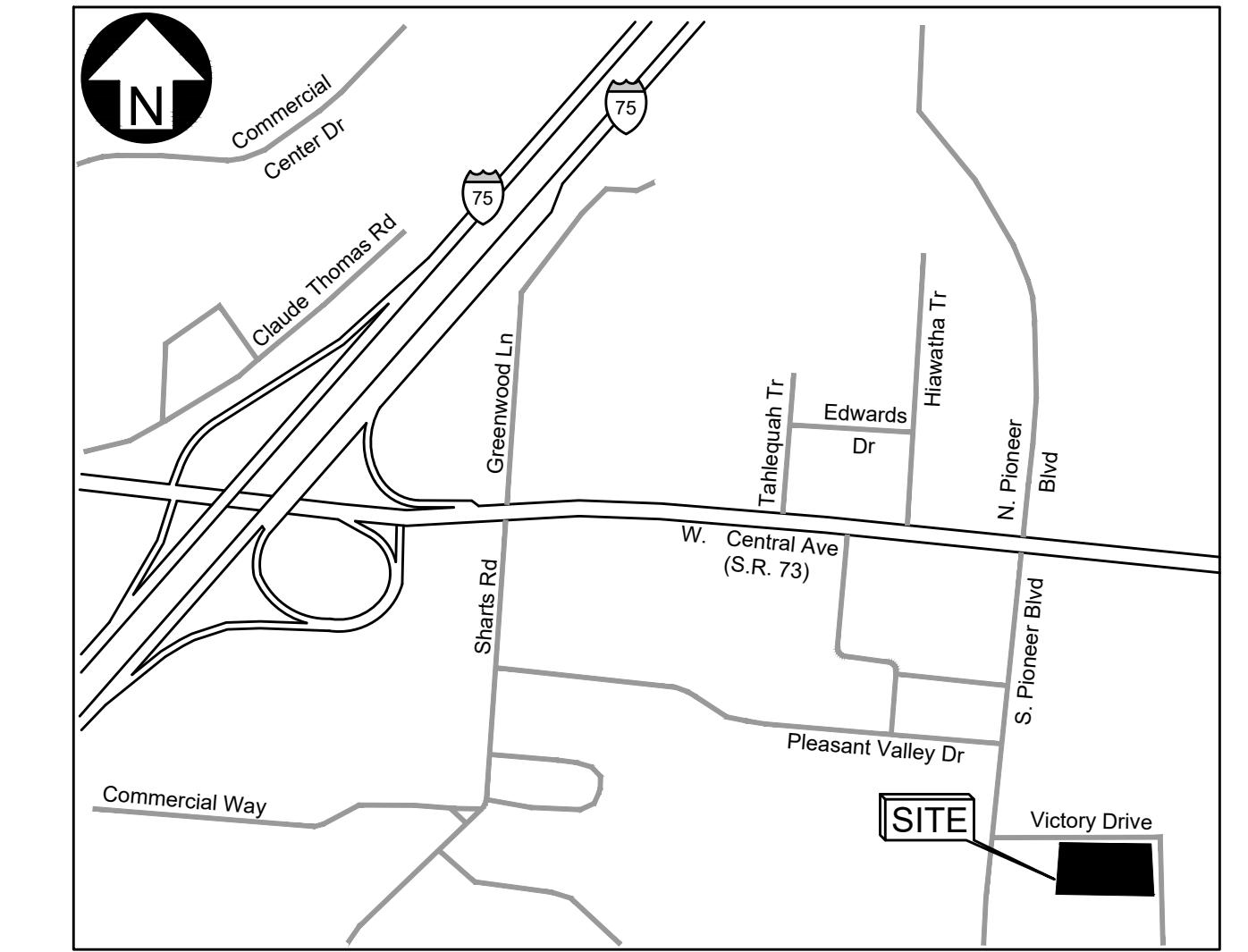
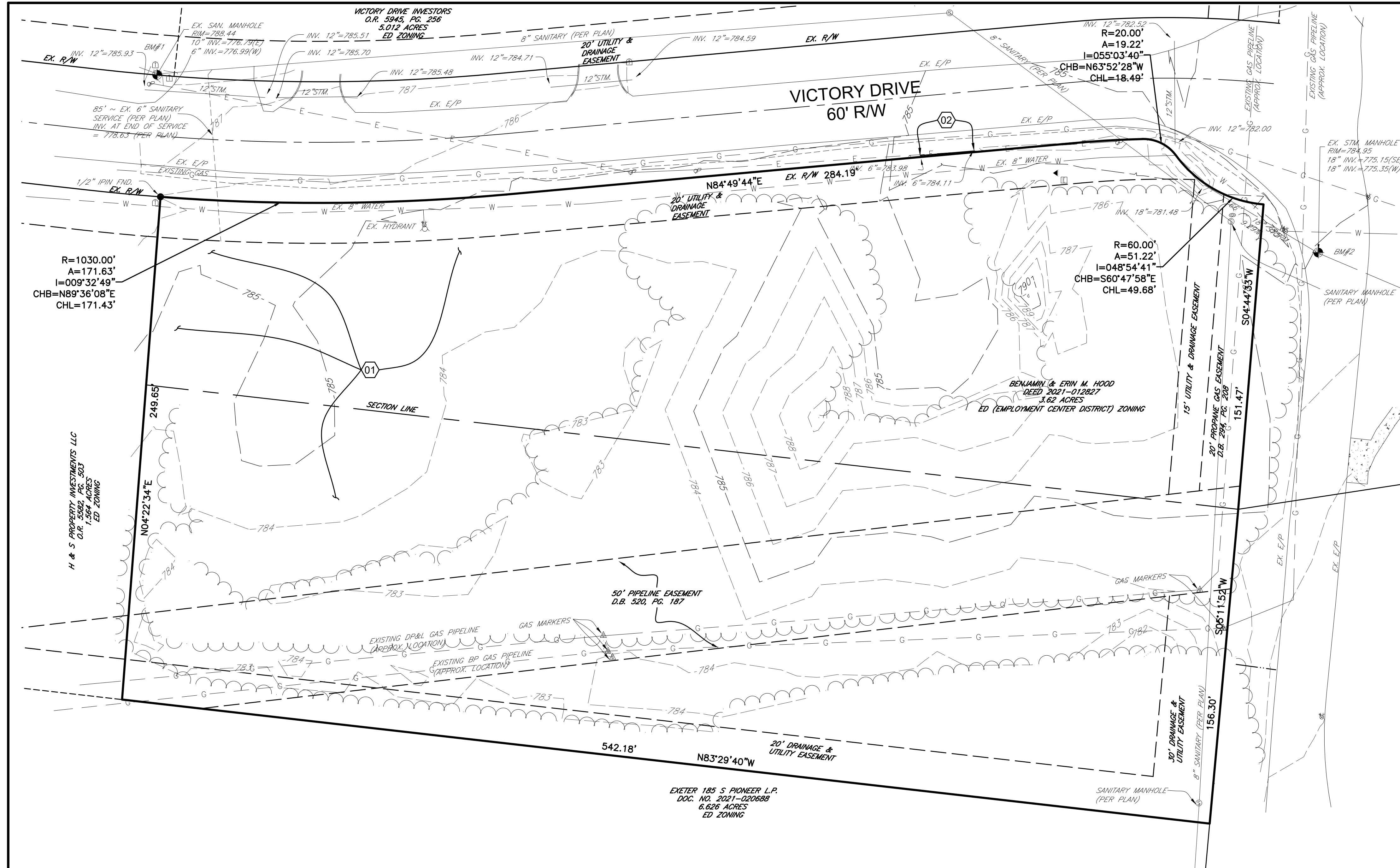
**SHEET NOTES**

A. MIN. 36" CLEAR FLOOR SPACE FROM FACE OF PANEL.

DAE DESIGNS  
 120 W. SECOND STREET, SUITE #401  
 LIBERTY TOWER  
 DAYTON, OH 45402  
 PHONE (937) 299-3213  
 EXP. DATE: 12/31/2021

**D.A.E. Designs**

120 W. SECOND STREET, SUITE #401  
 LIBERTY TOWER  
 DAYTON, OH 45402  
 PHONE (937) 299-3213



**VICINITY MAP**  
NOT TO SCALE

**SHEET INDEX**

- C-1.0: TITLE SHEET, EXISTING CONDITIONS, & DEMOLITION PLAN
- C-2.0: SITE PLAN & DETAILS
- C-3.0: UTILITY PLAN
- C-4.0: GRADING PLAN
- C-5.0: EROSION CONTROL PLAN
- C-6.0: STORMWATER MANAGEMENT PLAN

**DEMOLITION NOTES**

1. All work shall strictly comply with all City, State, and Federal regulations and requirements.
2. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
3. All items noted to be removed shall be done as part of the contract for general construction.
4. Remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, gravel fills, tree roots, pipes, etc.
5. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
6. Any disturbance incurred to any adjoining property or within the right-of-way due to demolition or construction shall be restored to the previous condition or better, in accordance with all Local and State Authorities.
7. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor should contact "811", 72 hours before commencement of work and verify all utility locations.

EXISTING SITE LEGEND	
●	IRON PIN FOUND
▲	PIPE FOUND
□	DRAINAGE INLET
◎	SANITARY MANHOLE
❖	FIRE HYDRANT
●	WATER MAIN VALVE
●	UTILITY POLE
■	TELEPHONE CABINET
●	AIR CONDITIONER
●	BOLLARD
—	STORM SEWER MAIN
—	SANITARY SEWER MAIN
—	WATER MAIN
—	ELECTRIC LINE
—	FENCE
—	TREE LINE
—	CONTOUR LINE



Know what's below.  
Call before you dig.

SITE BENCHMARKS  
BM#1 SANITARY MANHOLE  
Elev: 788.44  
BM#2 STORM MANHOLE  
Elev: 784.95

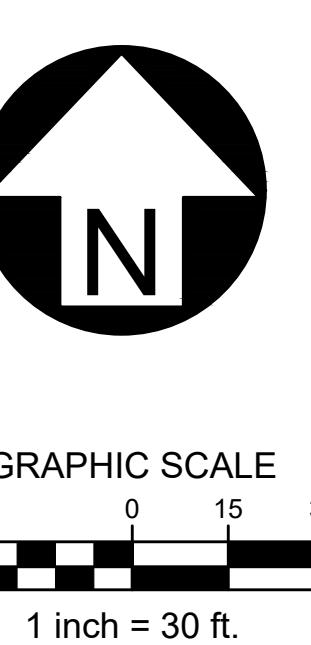
**Owner & Developer**  
B&E Plumbing  
Ben Woods  
Victory Drive  
Springboro, Ohio 45066  
937-608-3374

**Civil Engineer**  
Burkhardt Engineering  
Kurt Ziessler, P.E.  
28 North Cherry Street  
Germantown, OH 45327  
937-388-0060

**Architect**  
D.A.E. Designs  
Adam Eaton  
120 W. 2nd Street, Suite 401  
Dayton, OH 45402  
937-299-3213

**Zoning**  
Current Zone: Employment Center District (ED)  
Min. Lot Area: (Per Planning Commission)  
Setbacks: (40' Building Setback)

**Owner's Signature**  
Owner Name \_\_\_\_\_ Date \_\_\_\_\_



**SITE DEVELOPMENT PLANS FOR  
B&E PLUMBING**

VICTORY DRIVE  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

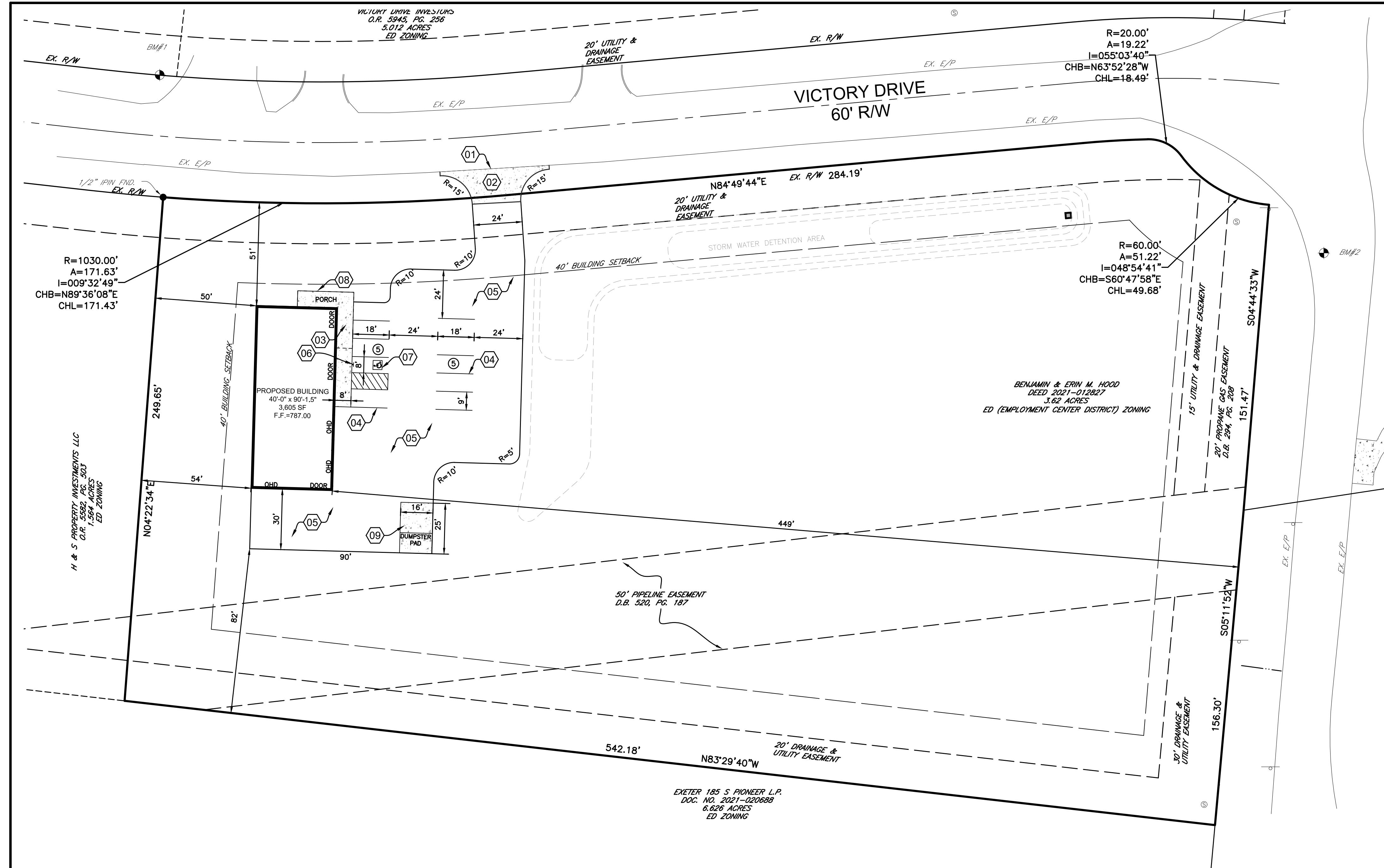
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM

**BURKHARDT**  
ENGINEERS & SURVEYORS



Design: KZ Proj: 21.168  
Draw: RK Dwg: 21.168  
Check: KZ Tab: C1 DEMO  
Scale: 1" = 30'  
Date: 7-23-2021

**EX. CONDITIONS & DEMO PLAN**  
Sheet No.: C-1.0



#### SITE KEYNOTES

- ① SAWCUT EXISTING PAVEMENT FOR SMOOTH EDGE FOR DRIVEWAY CONNECTION
- ② CONCRETE APPROACH IN RIGHT OF WAY - 7" QCI CONCRETE - SEE COMMERCIAL DRIVEWAY DETAIL THIS SHEET
- ③ CONCRETE SIDEWALK WITH INTEGRAL CURB - SEE DETAIL THIS SHEET
- ④ PARKING STRIPE / HATCH - 4" WIDE PAINTED STRIPES. ADA HATCHING TO BE AT 45° AND 2'-0" O.C. - STRIPING ON ASPHALT PAVEMENT TO BE PAINTED WHITE. - STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW
- ⑤ ASPHALT "PARKING AREA" PAVEMENT - SEE DETAIL THIS SHEET
- ⑥ ADA PARKING SIGNAGE - SEE DETAIL THIS SHEET
- ⑦ ADA PARKING SYMBOL
- ⑧ CONCRETE SIDEWALK - SEE DETAIL THIS SHEET
- ⑨ DUMPSTER ENCLOSURE - SEE ARCHITECTURAL PLANS FOR DETAILS

SITE AND PAVEMENT LEGEND	
①	NUMBER OF PARKING SPACES
•	PIPE BOLLARD
②	ADA PARKING SYMBOL
---	SIGN
○	PROPOSED LIGHT FIXTURE
▨	PAINT STRIPE AREA
▨	CONCRETE
▨	ASPHALT PARKING AREA PAVEMENT
—	BUILDING FOOTPRINT



SITE BENCHMARKS  
BM#1 SANITARY MANHOLE  
Elev: 788.44  
BM#2 STORM MANHOLE  
Elev: 784.95

#### PARKING REQUIREMENTS:

SITE IS WAREHOUSING/DISTRIBUTION

- PARKING REQUIREMENT IS 1 SPACE PER 350 SQUARE FEET OF OFFICE SPACE + 1 SPACE PER EMPLOYEE AT MAXIMUM SHIFT.
- FOR SITE OFFICE SPACE = 1,000 SQ. FT. = 4 SPACES
- MAXIMUM NUMBER OF EMPLOYEES = 2 = 2 SPACES
- TOTAL PARKING REQUIRED = 6 SPACES
- PARKING PROVIDED = 10 SPACES

#### BUILDING DIMENSIONS

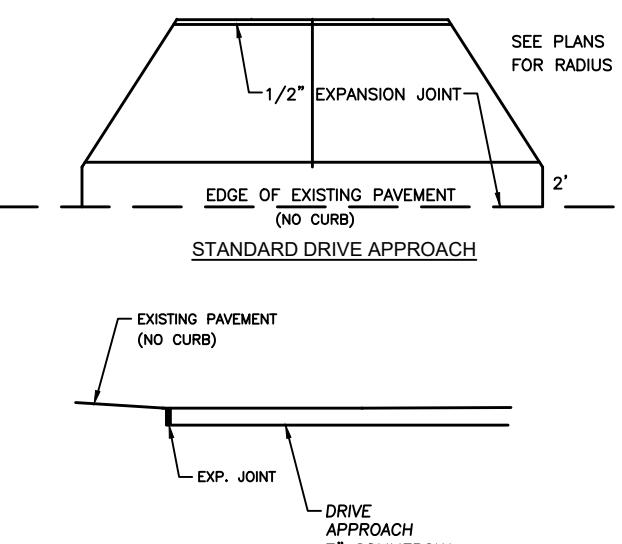
PROPOSED BUILDING AREA = 40'-0" x 90'-1.5" = 3,605 SQ. FT.

PROPOSED BUILDING HEIGHT = 23'-3 7/8" (PEAK HEIGHT)

#### BUILDING SETBACKS

PROPOSED BUILDING SETBACK FROM VICTORY DRIVE = 40'

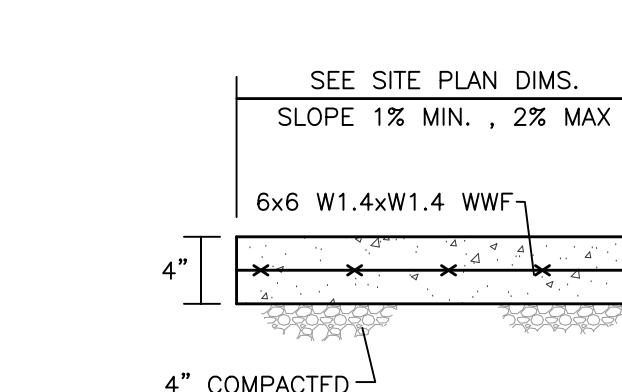
PROPOSED SIDE YARD/REAR YARD SETBACK IS 40'.



COMMERCIAL DRIVEWAY APPROACH

GENERAL NOTES  
1. DRIVE APPROACHES SHALL NOT BE Poured Monolithically WITH CURB & GUTTER.  
2. MAXIMUM SPACING SHALL BE 10' LONGITUDINALLY AND TRANSVERSELY.  
3. COMPACTED GRAVEL MAY BE USED FOR LEVELING COURSE UNDER CONCRETE DRIVE APPROACH.  
4. WHEN ASPHALTIC CONCRETE PAVEMENT IS DISTURBED, THE ASPHALT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.  
5. WHEN CONCRETE SIDEWALK IS TO BE CONSTRUCTED IN THE CONSTRUCTION OF DRIVE APPROACH, THE REPLACEMENT OF THE SIDEWALK IS NECESSARY FOR PROPER DEPTH.  
6. ANY VARIATION FROM THE ABOVE STANDARDS MUST APPROVE BY THE ENGINEER.  
7. ALL SIDEWALKS, DRIVE APPROACHES, DRIVEWAYS, SIDEWALKS, AND DRIVE APPROACH SHALL MEET THE REQUIREMENTS SET FORTH IN ITEM 608 (DOT SPEC.) CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AND 1000 PSI FLEXURAL STRENGTH.

8. EXPANSION MATERIAL TO BE PROFLEX VINYL EXPANSION MATERIAL AND SHALL MEET ASTM D-1752 SECTION FIVE OR AASHTO M153-98 SPECIFICATION.

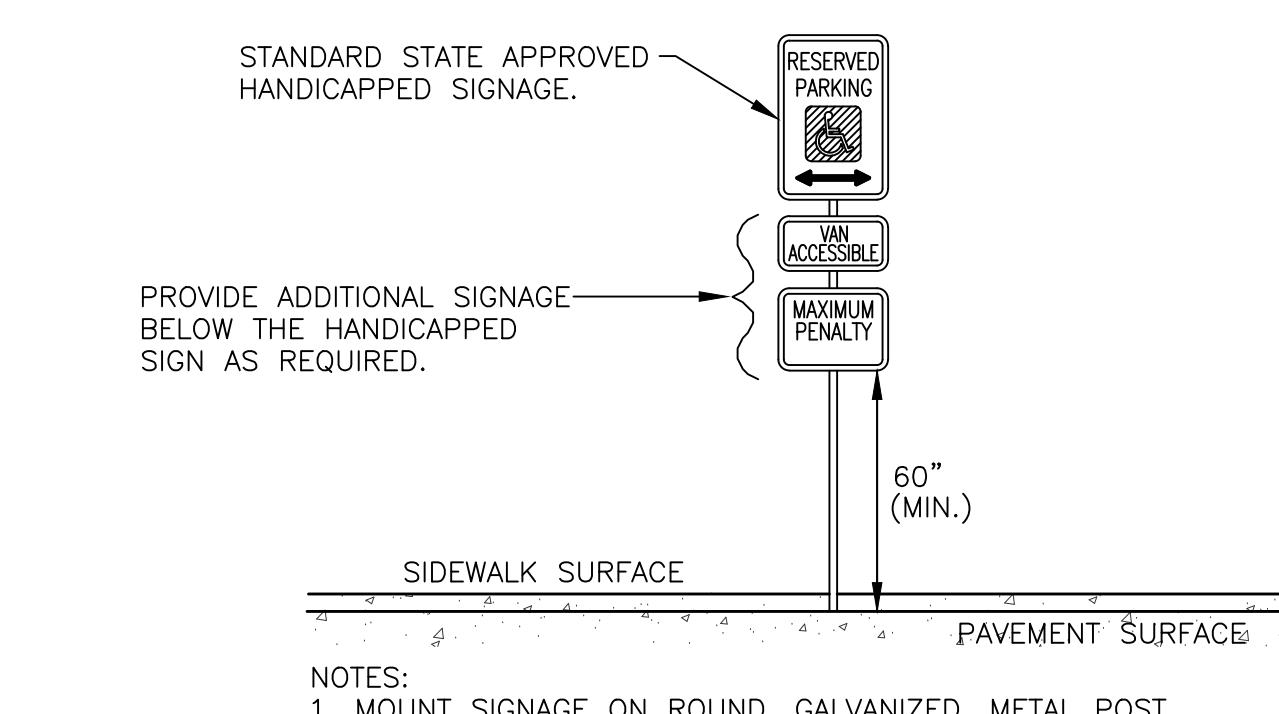


SEE SITE PLAN DIMS.  
SLOPE 1% MIN., 2% MAX  
6x6 W1.4xW1.4 WWF  
4" COMPACTED GRANULAR BASE  
NOTES:  
1. SIDEWALK TO BE CONSTRUCTED USING 3500 PSI CONCRETE.  
2. SIDEWALK TO HAVE TOELED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

CONCRETE SIDEWALK DETAIL  
NOT TO SCALE  
"PARKING AREA" PAVEMENT  
SECTION  
NOT TO SCALE

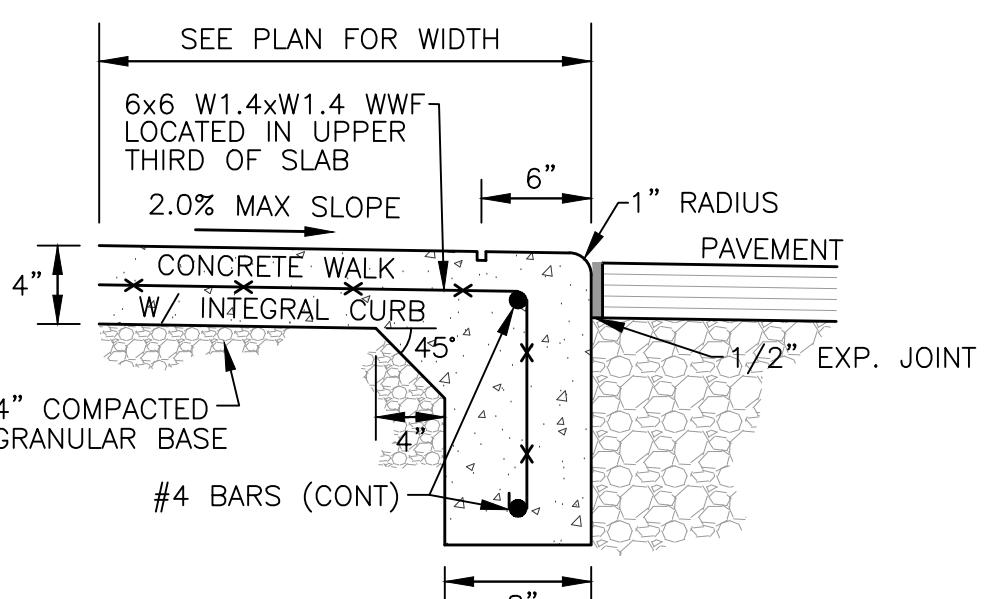
#### SITE NOTES

1. Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
2. All construction shall comply with City and State Standards.
3. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact building dimensions.
4. All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted. All Building dimensions are references to the outside face of structure.
5. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Municipal and/or State specifications and requirements.
6. The Contractor shall abide by all OSHA, Federal, State and Local Regulations when operating cranes, booms, hoists, etc., in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local power company to make arrangements for proper safeguards.
7. The Contractor shall obtain City permits for work within the road right-of-ways, including local curb cut permit, sewer and water connection permit and erosion control bond if required before the start of any activity. The Contractor shall post all bonds, pay all fees, provide proof of insurance, and provide traffic protection necessary for the work.
8. All material schedules shown on the plans are for general information only. The Contractor shall prepare his own material schedules based upon his plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
9. All proposed handicap ramps and parking areas shall comply with current Federal, State, and Local Regulations.
10. Proof roll building and all pavement areas. Notify Owner and/or Owner's Representative of any unacceptable areas.



NOTES:  
1. MOUNT SIGNAGE ON ROUND, GALVANIZED, METAL POST

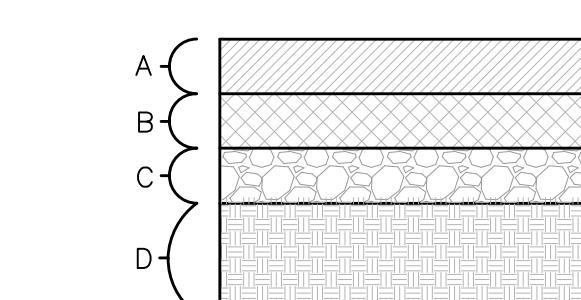
#### ADA PARKING SIGNAGE NOT TO SCALE



NOTES:  
1. SIDEWALK WITH INTEGRAL CURB TO BE CONSTRUCTED OF 3500 PSI CONCRETE (MIN.). PER ODOT ITEM 608 AND 609.  
2. SIDEWALK TO HAVE JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

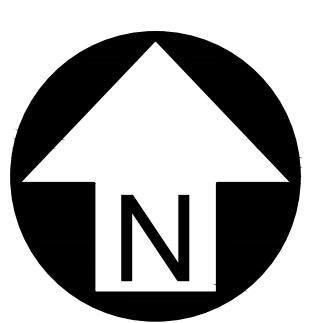
#### CONCRETE SIDEWALK WITH INTEGRAL CURB NOT TO SCALE

KEY  
A - 1-1/2" ODOT ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG64-22  
B - 3" ODOT ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448) PG64-22  
C - 6" ODOT ITEM 304, AGGREGATE BASE  
D - ODOT ITEM 204 SUBGRADE COMPACTION AS PER ODOT SPECIFICATIONS



NOTES:  
1. SIDEWALK TO BE CONSTRUCTED USING 3500 PSI CONCRETE.  
2. SIDEWALK TO HAVE TOELED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

ASPHALT  
"PARKING AREA" PAVEMENT  
SECTION  
NOT TO SCALE



GRAPHIC SCALE  
30 0 15 30  
1 inch = 30 ft.

## SITE DEVELOPMENT PLANS FOR B&E PLUMBING

VICTORY DRIVE  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

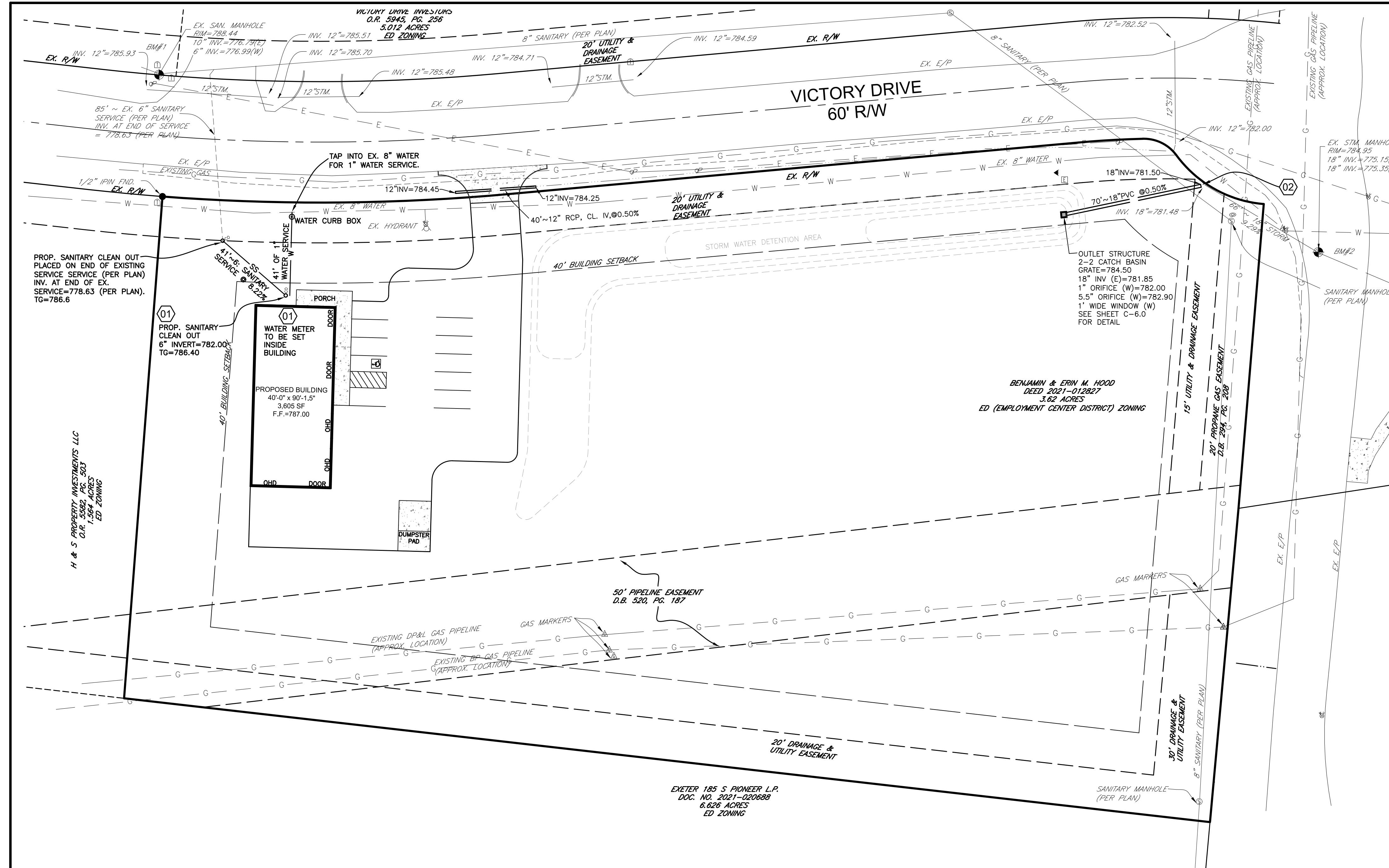
**BURKHARDT**  
ENGINEERS & SURVEYORS

28 North Chard Street | Germanotta, Ohio 45327 | Phone: 937-388-0660 | BURKHARDT.COM  
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: KZ Proj: 21.168  
Draw: RK Dwg: 21.168  
Check: KZ Tab: C2 SITE  
Scale: 1" = 30'  
Date: 07-23-2021

Sheet: SITE PLAN

Sheet No.: C-2.0



#### UTILITY KEYNOTES

(01) VERIFY EXACT LOCATION AND ELEVATION OF WATER SERVICE AND SANITARY SERVICE WITH PLUMBING/PLANS.

(02) USE HALF HEIGHT HEADWALL AND ADD 5' x 5' x 1.5' TYPE C ROCK CHANNEL PROTECTION AT END OF 18" STORM PIPE.

## B&E PLUMBING

VICTORY DRIVE  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

## BURKHARDT

ENGINEERS & SURVEYORS  
28 North Chard Street | Germania, Ohio 45327 | Phone: 937-388-0660 | BURKHARDT.COM

GAS PIPELINE NOTES	
Contractor to contact Gas Pipeline Owners before performing any work inside easement area. BP Gas Line Contact: Kim Miller 513-939-4794 DP&L Gas Line Contact:	

UTILITY TRENCH NOTES	
All utility trenches shall have backfill per City of Springboro requirements.	

EXISTING UTILITY NOTE	
The Contractor shall verify the depth of the existing water main and sanitary sewer at all utility crossings prior to construction. Contact Chad Dixon, City Engineer, 937-748-6184, for construction inspection.	



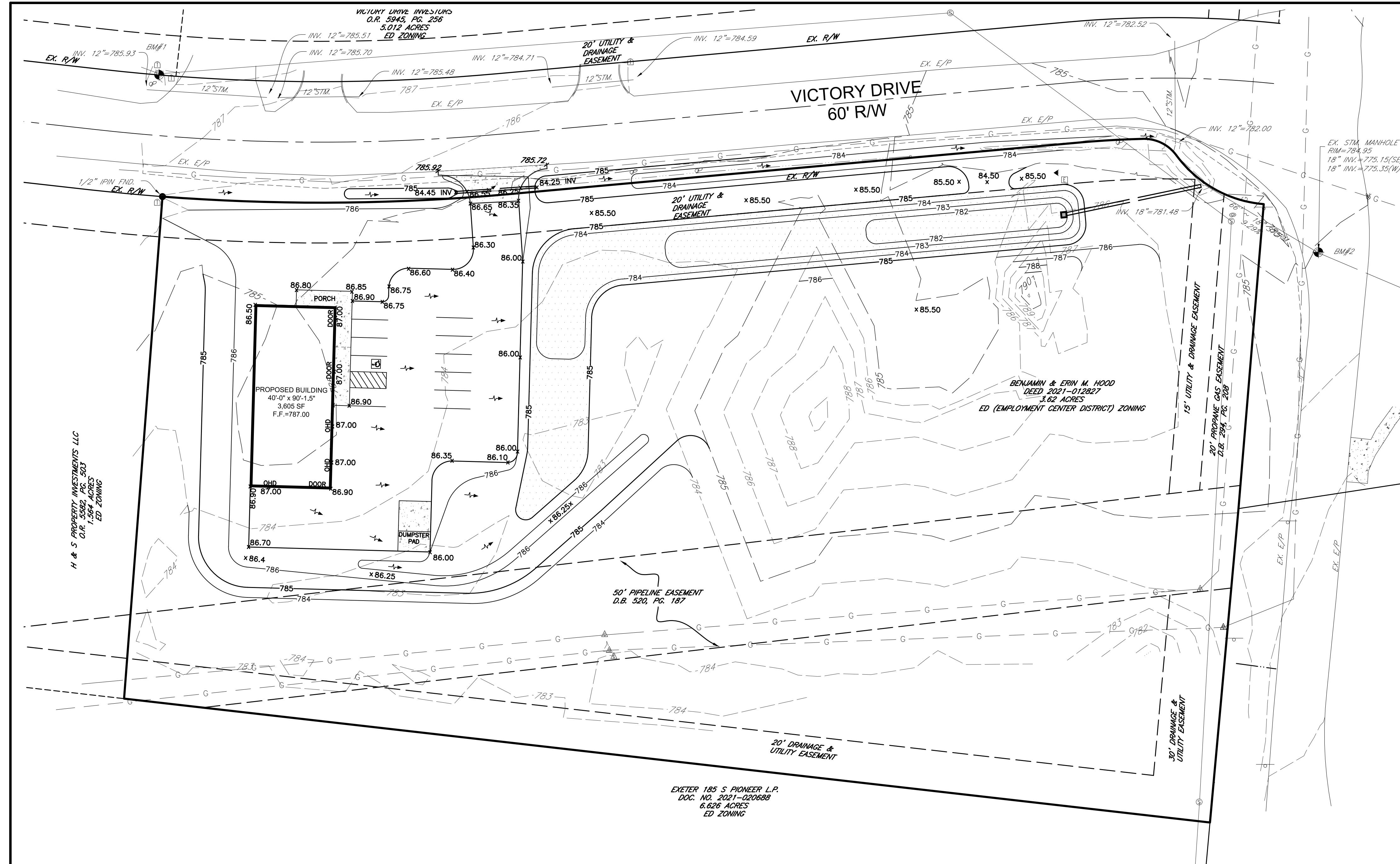
**SITE BENCHMARKS**  
BM#1 SANITARY MANHOLE  
Elev: 788.44  
BM#2 STORM MANHOLE  
Elev: 784.95

Know what's below.  
Call before you dig.

Sheet No.: C-3.0

Graphic Scale: 1 inch = 30 ft.

Page: 30



GAS PIPELINE NOTES

Contractor to contact Gas Pipeline Owners before performing any work inside easement area.  
BP Gas Line Contact: Kim Miller  
513-939-4794  
DP&L Gas Line Contact:

---

UTILITY TRENCH NOTES

All utility trenches shall have backfill per City of Springboro requirements

## PROPOSED DETENTION BASIN AREA



Know what's below.  
Call before you dig.

## SITE BENCHMARKS

BM#1 SANITARY MANHOLE  
Elev: 788.44  
BM#2 STORM MANHOLE

## GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
  - Ramps - 1:12 (8.3%) max.
  - Routes - 1:20 (5.0%) max.
  - Parking - 1:50 (2.0%) max.
  - Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

A black circular icon containing a white upward-pointing arrow. The letter 'N' is positioned in the lower half of the triangle, partially overlapping the black base.

# BURKHARDT

# ENGINEERS ▼ SURVEYORS

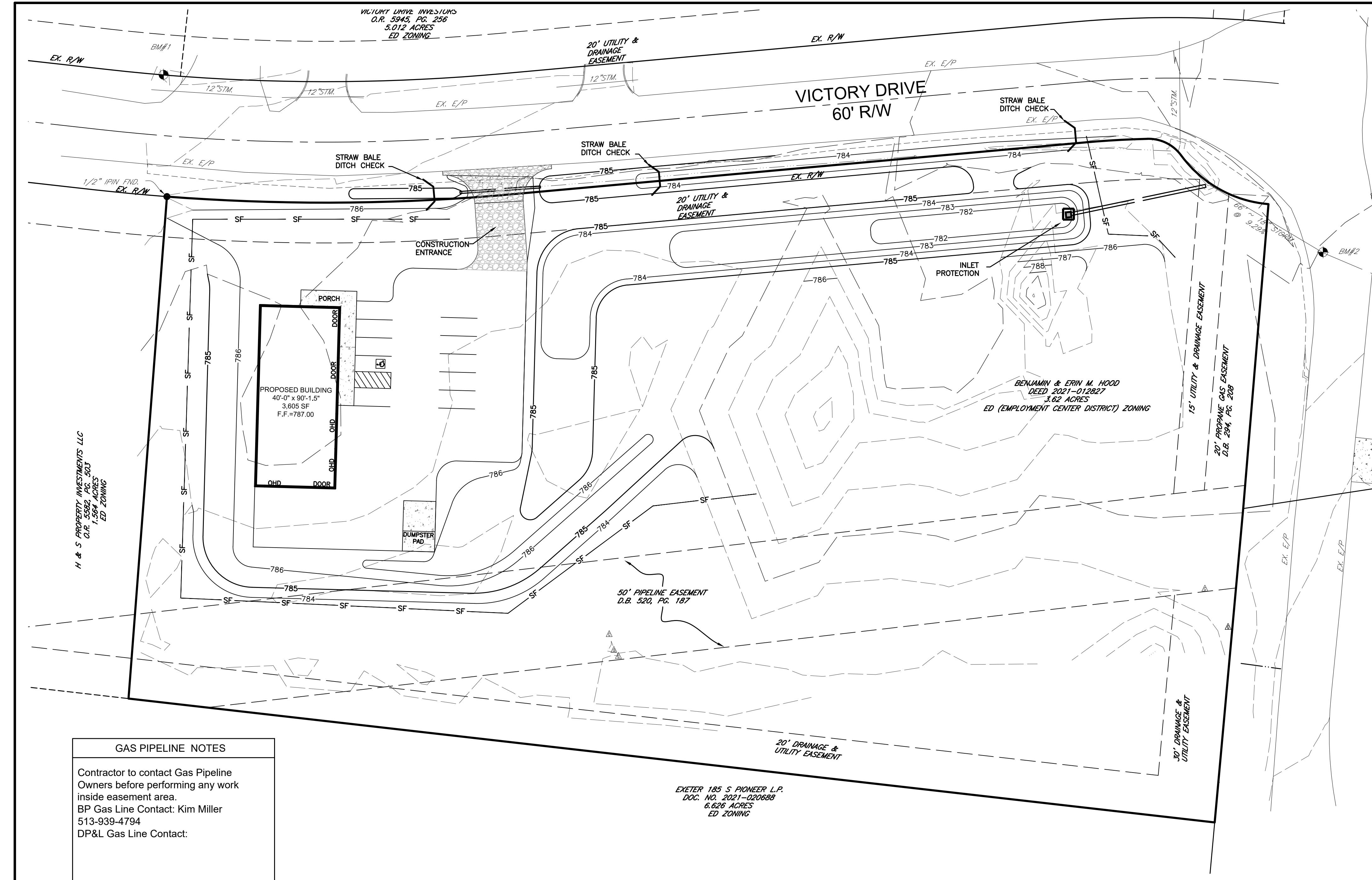
# SITE DEVELOPMNT PLANS FOR **B&E PLUMBING**

VICTORY DRIVE  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

Design: KZ	Proj: 21.168
Draw: RK	Dwg: 21.168
Check: KZ	Tab: C4 GRADING
Scale: 1" = 30"	
Date: 07-23-2021	

## GRADING PLAN

640

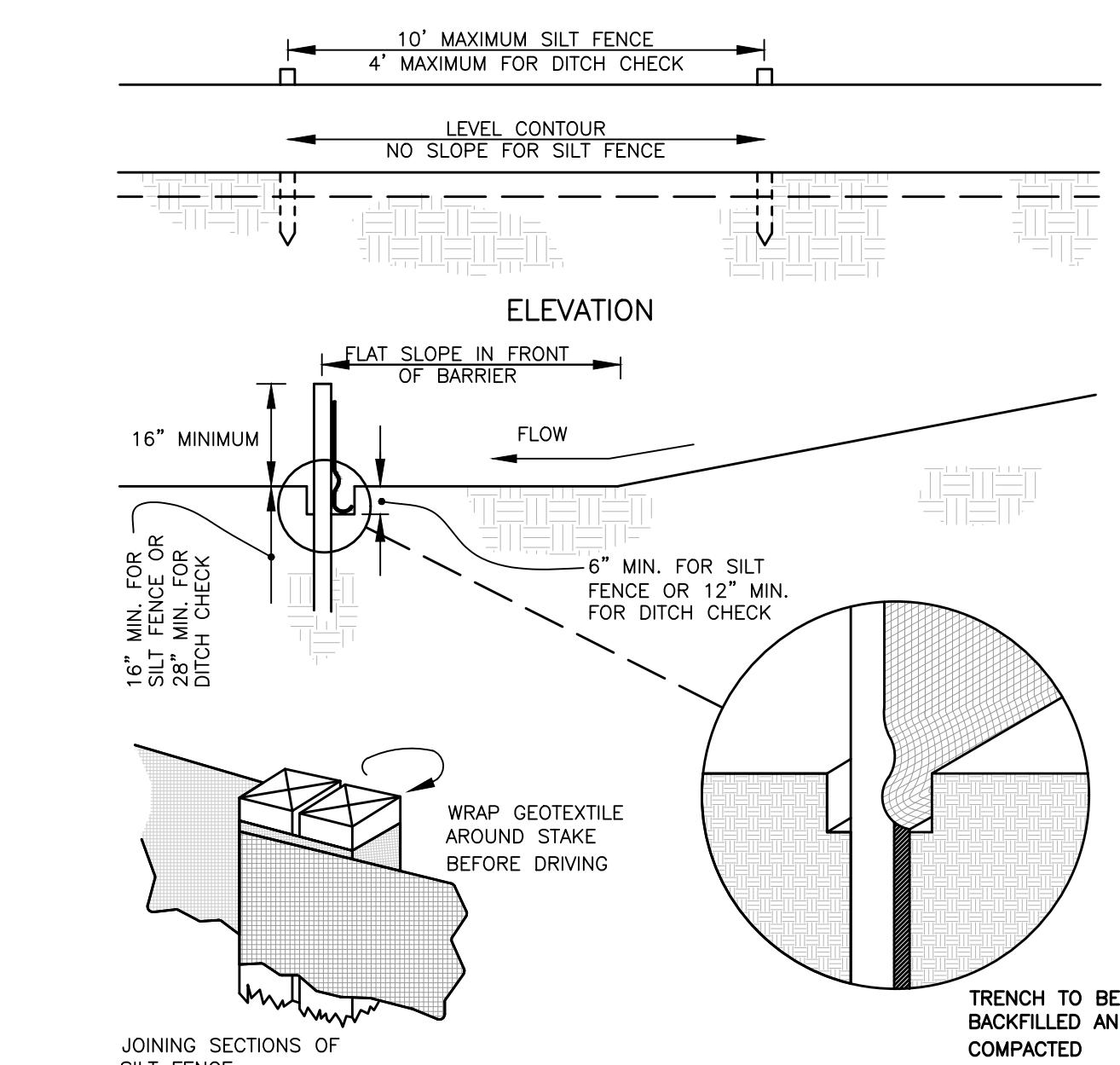


#### GENERAL STORMWATER POLLUTION PREVENTION NOTES

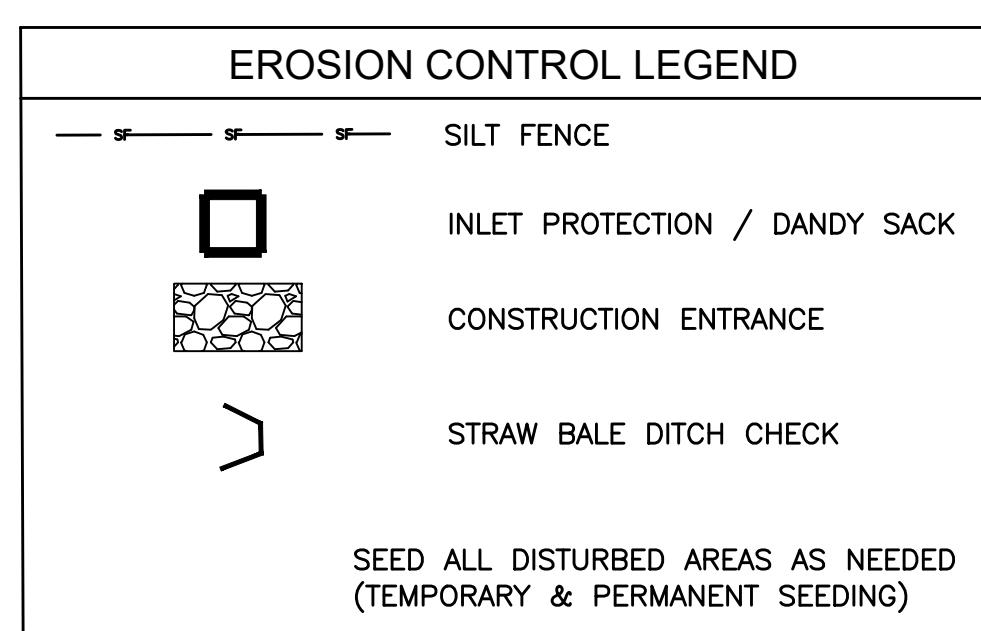
1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.25 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 21 days. Any disturbed area that is not going to be worked for 21 days or more must be seeded and mulched.
7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 21 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
10. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
11. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul routes.
12. No solid or liquid waste shall be discharged into storm water runoff.
13. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
14. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
15. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
16. No fuel storage is permitted on-site.
17. All detention areas shall be cleared of construction sediment upon completion of construction.
18. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the State of Ohio EPA.

#### SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

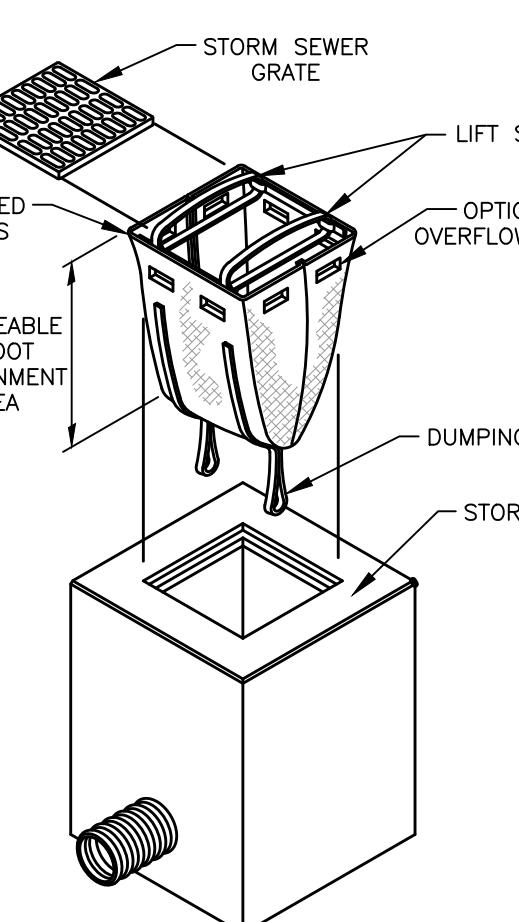


**SILT FENCE & SILT DITCH CHECK DETAIL**  
NOT TO SCALE

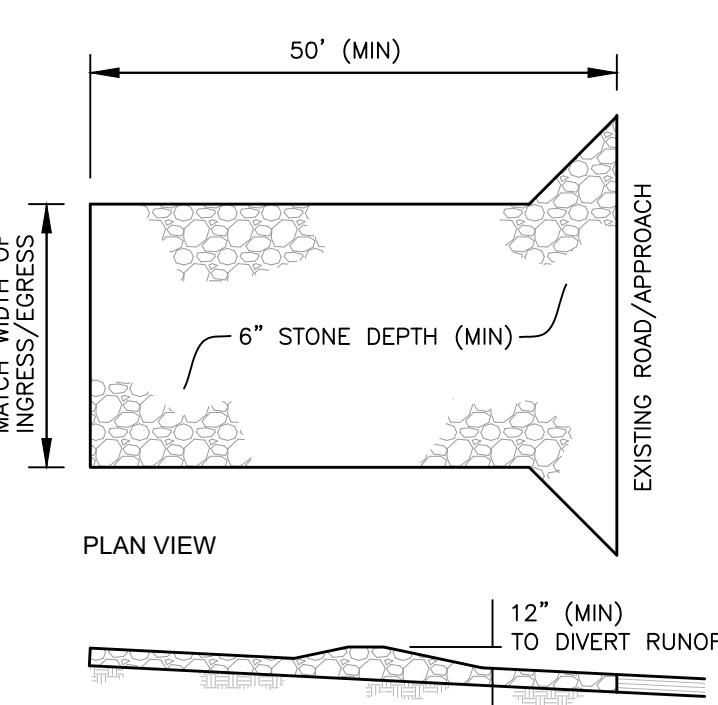


**SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION**

1. Stone tracking pad atop geotextile liner.
2. Install silt fence and protection fencing.
3. Initial clearing, grubbing, and demolition.
4. Strip and stockpile top soil.
5. Rough grade and balance site.
6. Install underground utilities (i.e. Sanitary, Storm & Water)
7. Place inlet filters on all storm inlets.
8. Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
9. Final grade site.
10. Install pavement, curb, and other hardscape structures/surfaces.
11. Stabilize ditches, swales, common areas and slopes.
12. Establish permanent vegetation for all disturbed areas.
13. Remove all temporary erosion and sediment control devices.
14. Clean out storm sewer system and detention area upon completion.

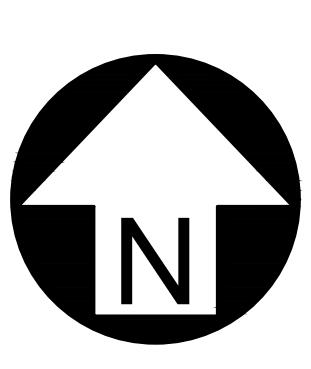


**DANDY SACK™ DETAIL**  
NOT TO SCALE



**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

**NOTES:**  
1. STONE SHALL BE 1.5"-2.5" IN DIAMETER  
2. GEOTEXTILE FABRIC SHALL BE LAID OVER THE  
ENTIRE AREA PRIOR TO PLACING STONE. (US 200  
OR EQUIV.)



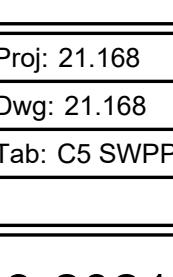
**SITE BENCHMARKS**  
BM#1 SANITARY MANHOLE  
Elev: 788.44  
BM#2 STORM MANHOLE  
Elev: 784.95

## B&E PLUMBING

VICTORY DRIVE  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

**BURKHARDT**  
ENGINEERS & SURVEYORS

28 North Chard Street | Germania, Ohio 45327 | Phone: 337-388-0660 | BURKHARDTINC.COM

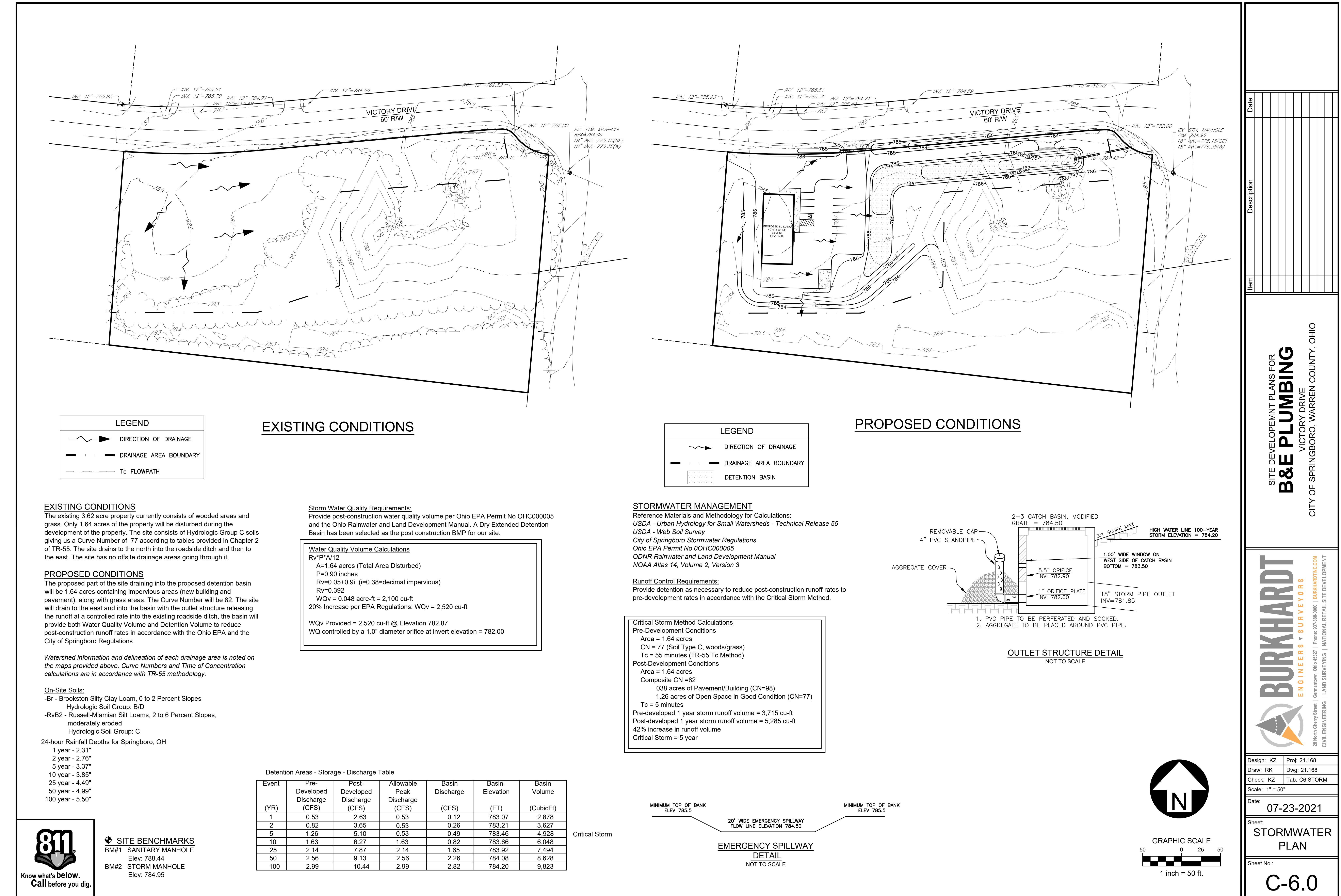


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Draw: RK Dwg: 21.168  
Check: KZ Tab: C5 SWPPP  
Scale: 1" = 30'  
Date: 07-23-2021

Sheet:  
**EROSION  
CONTROL PLAN**

Sheet No.:

**C-5.0**



## ELECTRICAL SPECIFICATIONS:

- ELECTRICAL CONTRACTOR SHALL SECURE ALL ELECTRICAL PERMITS AS REQUIRED AND MAKE ALL NECESSARY APPLICATIONS AND COORDINATE WORK WITH THE LOCAL ELECTRICAL UTILITY COMPANY, INCLUDING METER INSTALLATION, SERVICE ENTRANCE, ETC. FOR A COMPLETE ELECTRICAL INSTALLATION.
- CONTRACTOR SHALL CONTACT OHIO UTILITIES PROTECTION SERVICE (OUPS) TWO WORKING DAYS PRIOR TO ANY FIELD WORK AT (800)-362-2764. CONTRACTOR SHALL CONTACT ANY NON-OUPS MEMBER UTILITIES DIRECTLY.
- "PROVIDE" MEANS "FURNISH AND INSTALL."
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES. WHERE THERE IS A CONFLICT, THE MOST STRINGENT SHALL APPLY.
- ELECTRICAL CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND WORK TO BE DONE. ELECTRICAL CONTRACTOR SHALL CAREFULLY CHECK PLANS OF ALL DISCIPLINES; THESE ELECTRICAL DRAWINGS ARE TO BE USED AS A GUIDE AND ARE SCHEMATIC IN NATURE. ELECTRICAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR A COMPLETE AND FUNCTIONING SYSTEM, INCLUDING VERIFICATION OF DIMENSIONS, SEQUENCING, ETC.
- ALL ITEMS SHALL BE NEW UNLESS OTHERWISE NOTED. PROVIDE PRODUCTS LISTED AND LABELED BY UNDERWRITERS LABORATORIES INC. AS SUITABLE FOR THE PURPOSE INDICATED.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, DETAILS AND DESIGN. EQUIPMENT CALLED OUT BY CERTAIN MANUFACTURERS IS INTENDED TO CREATE A STANDARD. EQUALS WILL BE ACCEPTED UPON APPROVAL.
- THE CONTRACTOR SHALL PREPARE OR OBTAIN FROM THE MANUFACTURER SHOP DRAWINGS OF ALL ITEMS OF EQUIPMENT TO BE FURNISHED AND SUBMIT ELECTRONIC COPIES TO THE ARCHITECT AND/OR ENGINEER FOR APPROVAL BEFORE PROCEEDING WITH INSTALLATION OR CONSTRUCTION. THESE DRAWINGS SHALL BE COMPLETE IN EVERY RESPECT SHOWING PERTINENT DETAILS OF SIZE, CAPACITIES, ARRANGEMENTS, FITTINGS, PIPING, KINDS AND THICKNESS OF MATERIALS, WEIGHT, LOADING REQUIRED, CLEARANCES FOR SERVICE, MAINTENANCE, ETC. AS A MINIMUM, THE SHOP DRAWINGS EXPECTED ARE AS FOLLOWS:
- LIGHT FIXTURES
- DEMOLITION:
  - EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
  - ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
  - ALL CEILING MOUNTED DEVICES NOT SPECIFICALLY INDICATED IN THE PROJECT AREA SHALL BE REMOVED AND REINSTALLED TO FACILITATE INSTALLATION OF NEW CEILINGS/LIGHT FIXTURES.
  - ALL CONDUIT, WIRING, BOXES, AND RACEWAY THAT IS NOT BEING REUSED SHALL BE REMOVED BACK TO PANEL FROM WHERE IT ORIGINATES.
  - EXTEND CONDUIT, WIRING, ETC... AS REQUIRED, TO ACCOMMODATE NEW OR RELOCATED ELECTRICAL WORK.
  - COORDINATE DISPOSAL REQUIREMENTS WITH THE OWNER PRIOR TO DEMOLITION. ITEMS TO BE SALVAGED FOR THE OWNER SHALL BE REMOVED (UNDAMAGED) AND TURNED OVER TO OWNER. DISCONNECT (NOT JUST CUT) ALL WIRING & "WHIPS" FROM EQUIPMENT TERMINAL POINTS AND CAREFULLY TRANSPORT TO AND NEATLY STORE AT AN-SITE STORAGE LOCATION AS DIRECTED IN THE FIELD.
- CONDUCTORS:
  - COORDINATE SIZES OF RACEWAYS, BOXES, AND EQUIPMENT ENCLOSURES WITH THE ACTUAL CONDUCTORS TO BE INSTALLED, INCLUDING ADJUSTMENTS FOR CONDUCTOR SIZES INCREASED FOR VOLTAGE DROP.
  - UNLESS DIMENSIONED, CIRCUIT ROUTING INDICATED IS DIAGRAMMATIC. WHEN CIRCUIT DESTINATION IS INDICATED AND ROUTING IS NOT SHOWN, DETERMINE EXACT ROUTING REQUIRED.
  - SECURE AND SUPPORT CONDUCTORS AND CABLES IN ACCORDANCE WITH NFPA 70 USING SUITABLE SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE. DO NOT PROVIDE SUPPORT FROM RACEWAYS, PIPING, DUCTWORK, OR OTHER SYSTEMS.
  - UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENT AND DEVICES, INCLUDING THOSE FURNISHED BY OTHERS, AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
  - PROVIDE COPPER CONDUCTORS EXCEPT WHERE ALUMINUM CONDUCTORS ARE SPECIFICALLY INDICATED OR PERMITTED FOR SUBSTITUTION. CONDUCTOR SIZES INDICATED ARE BASED ON COPPER UNLESS SPECIFICALLY INDICATED AS ALUMINUM. CONDUCTORS DESIGNATED WITH THE ABBREVIATION "AL" INDICATE ALUMINUM.
  - SUBSTITUTION OF ALUMINUM CONDUCTORS FOR COPPER IS PERMITTED ONLY FOR THE FOLLOWING:
    - SERVICES: COPPER CONDUCTORS SIZE 1/0 AWG AND LARGER.
    - FEEDERS: COPPER CONDUCTORS SIZE 1/0 AWG AND LARGER.
  - WHERE ALUMINUM CONDUCTORS ARE SUBSTITUTED FOR COPPER, COMPLY WITH THE FOLLOWING:
    - SIZE ALUMINUM CONDUCTORS TO PROVIDE, WHEN COMPARED TO COPPER SIZES INDICATED, EQUIVALENT OR GREATER AMPACITY AND EQUIVALENT OR LESS VOLTAGE DROP.
    - INCREASE SIZE OF RACEWAYS, BOXES, WIRING GUTTERS, ENCLOSURES, ETC. AS REQUIRED TO ACCOMMODATE ALUMINUM CONDUCTORS.
    - EQUIP ELECTRICAL DISTRIBUTION EQUIPMENT WITH COMPRESSION LUGS FOR TERMINATING ALUMINUM CONDUCTORS.
  - MINIMUM CONDUCTOR SIZE FOR BRANCH CIRCUITS IS 12 AWG.
  - EXCEPTIONS:
    - 20 A, 120 V CIRCUITS LONGER THAN 75 FEET (23 M): 10 AWG, FOR VOLTAGE DROP.
    - 20 A, 120 V CIRCUITS LONGER THAN 150 FEET (46 M): 8 AWG, FOR VOLTAGE DROP.
  - WHERE CONDUCTOR SIZE IS NOT INDICATED, SIZE TO COMPLY

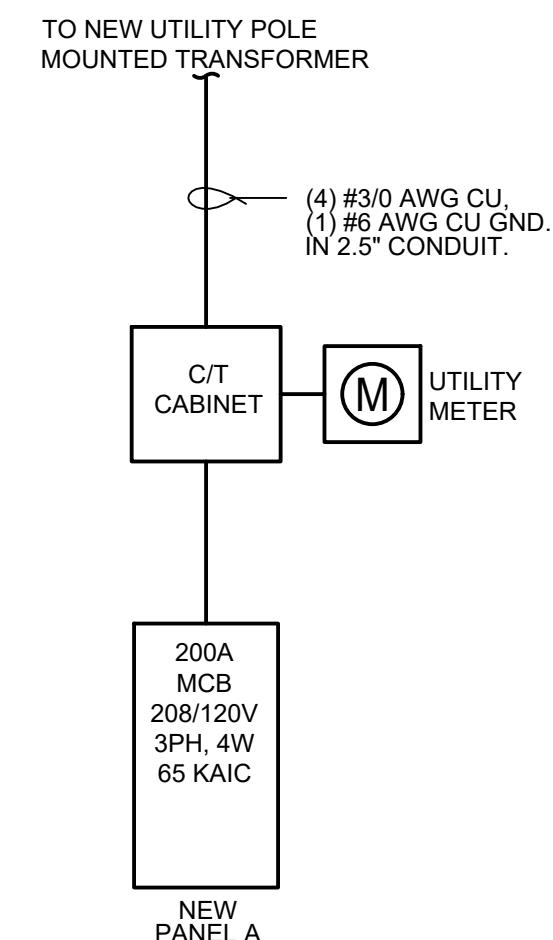


Know what's below.  
Call before you dig.

- WITH NFPA 70 BUT NOT LESS THAN APPLICABLE MINIMUM SIZE REQUIREMENTS SPECIFIED.
- COLOR CODE CONDUCTORS AS INDICATED UNLESS OTHERWISE REQUIRED BY THE AUTHORITY HAVING JURISDICTION. MAINTAIN CONSISTENT COLOR CODING THROUGHOUT PROJECT.
- 10.8. COLOR CODE:
  - 10.8.1. 208Y/120V, 3 PHASE, 4 WIRE SYSTEM:
    - 10.8.1.1. PHASE A: BLACK
    - 10.8.1.2. PHASE B: RED
    - 10.8.1.3. PHASE C: BLUE
    - 10.8.1.4. NEUTRAL/GROUNDED: WHITE
  - 10.8.2. EQUIPMENT GROUND, ALL SYSTEMS: GREEN
  - 10.8.3. FOR MODIFICATIONS OR ADDITIONS TO EXISTING WIRING SYSTEMS, COMPLY WITH EXISTING COLOR CODE WHEN EXISTING CODE COMPLIES WITH NFPA 70 AND IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 9.9. PROVIDE A DEDICATED NEUTRAL FOR EACH CIRCUIT.
11. GROUNDING:
  - 11.1. CONFORM TO REQUIREMENTS OF NFPA 70.
  - 11.2. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED COMPONENTS, CONDUCTORS, CONNECTORS, CONDUIT, BOXES, FITTINGS, SUPPORTS, ACCESSORIES, ETC. AS NECESSARY FOR A COMPLETE GROUNDING AND BONDING SYSTEM.
  - 11.3. WHERE CONDUCTOR SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70 BUT NOT LESS THAN APPLICABLE MINIMUM SIZE REQUIREMENTS SPECIFIED.
  - 11.4. PROVIDE CONNECTION TO REQUIRED AND SUPPLEMENTAL GROUNDING ELECTRODES TO FORM A GROUNDING ELECTRODE SYSTEM. PROVIDE CONTINUOUS GROUNDING ELECTRODE CONDUCTORS WITHOUT SPLICE OR JOINT. INSTALL GROUNDING ELECTRODE CONDUCTORS IN RACEWAY WHERE EXPOSED TO PHYSICAL DAMAGE. BOND GROUNDING ELECTRODE CONDUCTOR TO METALLIC RACEWAYS AT EACH END WITH BONDING JUMPER.
  - 11.4.1. PROVIDE CONNECTION TO UNDERGROUND METAL DOMESTIC AND FIRE PROTECTION (WHERE PRESENT) WATER SERVICE PIPE(S) THAT ARE IN DIRECT CONTACT WITH EARTH FOR AT LEAST 10 FEET (3.0 M) AT AN ACCESSIBLE LOCATION NOT MORE THAN 5 FEET (1.5 M) FROM THE POINT OF ENTRANCE TO THE BUILDING.
  - 11.4.2. PROVIDE CONNECTION TO METAL BUILDING OR STRUCTURE FRAME EFFECTIVELY GROUNDED IN ACCORDANCE WITH NFPA 70 AT NEAREST ACCESSIBLE LOCATION.
  - 11.4.3. PROVIDE CONCRETE-ENCASED ELECTRODE IN DIRECT CONTACT WITH THE EARTH CONSISTING OF AT LEAST 20 FEET (6.0 M) OF EITHER ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 13 MM (1/2 IN.) IN DIAMETER, OR CONSISTING OF AT LEAST 6.0 M (20 FT) OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG IN ACCORDANCE WITH NFPA 70.
  - 11.4.4. PROVIDE THREE GROUND ROD ELECTRODES IN AN EQUILATERAL TRIANGLE CONFIGURATION UNLESS OTHERWISE INDICATED OR REQUIRED. SPACE ELECTRODES NOT LESS THAN 10 FEET (3.0 M) FROM EACH OTHER AND ANY OTHER GROUND ELECTRODE. WHERE LOCATION IS NOT INDICATED, LOCATE ELECTRODE(S) AT LEAST 5 FEET (1.5 M) OUTSIDE BUILDING PERIMETER FOUNDATION AS NEAR AS POSSIBLE TO ELECTRICAL SERVICE ENTRANCE. WHERE POSSIBLE, LOCATE IN SOFTSCAPE (UNCOVERED) AREA.
  - 11.4.4.1. GROUND ROD ELECTRODES SHALL BE 3/4" x 10 COPPER UNLESS OTHERWISE INDICATED.
  - 11.5. PROVIDE BONDING FOR EQUIPMENT GROUNDING CONDUCTORS, EQUIPMENT GROUND BUSSES, METALLIC EQUIPMENT ENCLOSURES, METALLIC RACEWAYS AND BOXES, DEVICE GROUNDING TERMINALS, AND OTHER NORMALLY NON-CURRENT-CARRYING CONDUCTIVE MATERIALS ENCLOSING ELECTRICAL CONDUCTORS/EQUIPMENT OR LIKELY TO BECOME ENERGIZED AS INDICATED AND IN ACCORDANCE WITH NFPA 70.
  - 11.6. PROVIDE INSULATED EQUIPMENT GROUNDING CONDUCTOR IN EACH FEEDER AND BRANCH CIRCUIT RACEWAY. DO NOT USE RACEWAYS AS SOLE EQUIPMENT GROUNDING CONDUCTOR.
  - 11.7. WHERE CIRCUIT CONDUCTOR SIZES ARE INCREASED FOR VOLTAGE DROP, INCREASE SIZE OF EQUIPMENT GROUNDING CONDUCTOR PROPORTIONALLY IN ACCORDANCE WITH NFPA 70.
  - 11.8. TERMINATE BRANCH CIRCUIT EQUIPMENT GROUNDING CONDUCTORS ON SOLIDLY BONDED EQUIPMENT GROUND BUS ONLY. DO NOT TERMINATE ON NEUTRAL (GROUNDED) OR ISOLATED/INSULATED GROUND BUS.
  - 11.9. UNLESS OTHERWISE INDICATED, USE EXOTHERMIC WELDED CONNECTIONS FOR UNDERGROUND, CONCEALED AND OTHER INACCESSIBLE CONNECTIONS.
  - 11.9.1. EXOTHERMIC WELDS: MAKE CONNECTIONS USING MOLDS AND WELD MATERIAL SUITABLE FOR THE ITEMS TO BE CONNECTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - 11.10. UNLESS OTHERWISE INDICATED, USE MECHANICAL CONNECTORS, COMPRESSION CONNECTORS, OR EXOTHERMIC WELDED CONNECTIONS FOR ACCESSIBLE CONNECTIONS.
  - 11.10.1. MECHANICAL CONNECTORS: SECURE CONNECTIONS ACCORDING TO MANUFACTURER'S RECOMMENDED TORQUE SETTINGS.
  - 11.10.2. COMPRESSION CONNECTORS: SECURE CONNECTIONS USING MANUFACTURER'S RECOMMENDED TOOLS AND DIES.
  - 12. CONDUIT:
    - 12.1. COORDINATE THE ARRANGEMENT OF CONDUITS WITH STRUCTURAL MEMBERS, DUCTWORK, PIPING, EQUIPMENT AND OTHER POTENTIAL CONFLICTS INSTALLED BY OTHERS.
    - 12.2. DO NOT USE CONDUIT AND ASSOCIATED FITTINGS FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
    - 12.3. UNLESS OTHERWISE INDICATED AND WHERE NOT OTHERWISE RESTRICTED, USE THE CONDUIT TYPES INDICATED FOR THE SPECIFIED APPLICATIONS.
  - 12.3.1. EXTERIOR, EXPOSED: USE GALVANIZED STEEL RIGID METAL CONDUIT OR INTERMEDIATE METAL CONDUIT (IMC).
  - 12.3.2. EXTERIOR, DIRECT-BURIED: USE GALVANIZED STEEL RIGID METAL CONDUIT, INTERMEDIATE METALLIC CONDUIT (IMC), OR RIGID PVC CONDUIT.
  - 12.3.3. INTERIOR, CONCEALED: USE ELECTRICAL METALLIC TUBING (EMT).
  - 12.3.4. CONNECTIONS TO VIBRATING EQUIPMENT: USE LIQUIDTIGHT FLEXIBLE METAL CONDUIT.

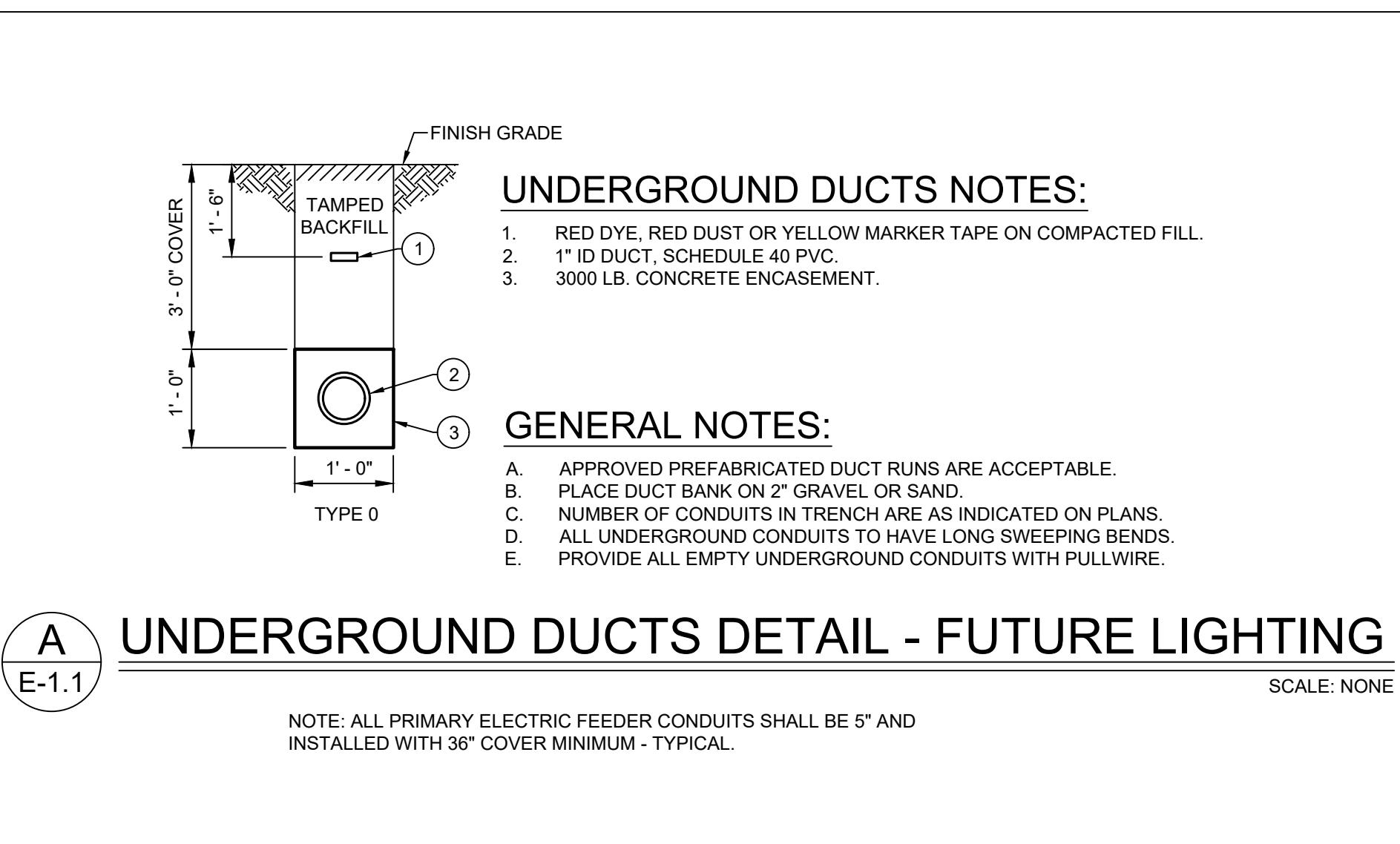
## LEGEND:

- NEW ITEM TO BE INSTALLED.
- EXISTING ITEM TO REMAIN.
- EXISTING ITEM TO BE DEMOLISHED.
- WIRING
- CIRCUIT HOME RUN, LABEL INDICATES PANEL AND CIRCUIT NUMBER.



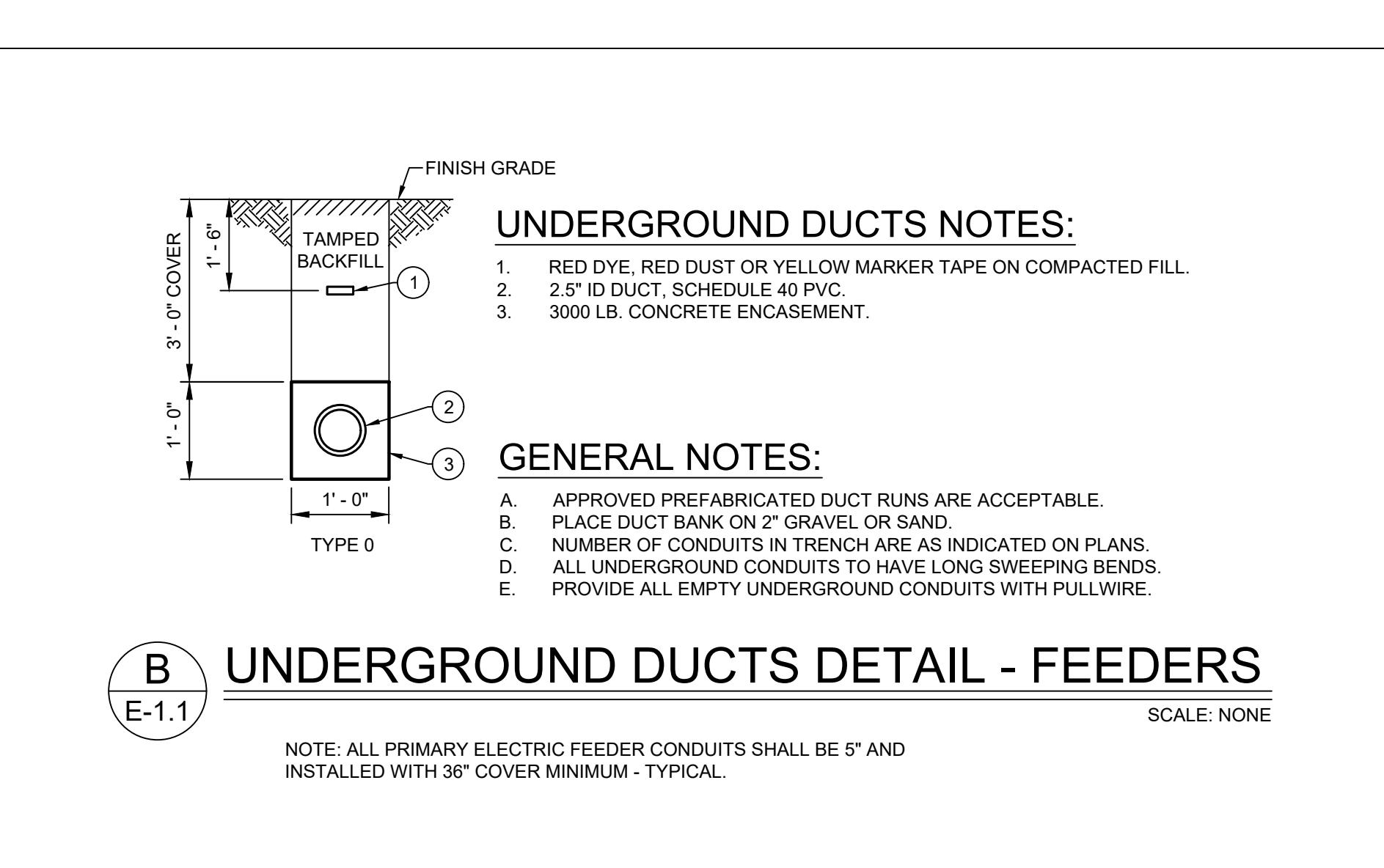
SINGLE LINE DIAGRAM

SCALE: NONE



UNDERGROUND DUCTS DETAIL - FUTURE LIGHTING

SCALE: NONE



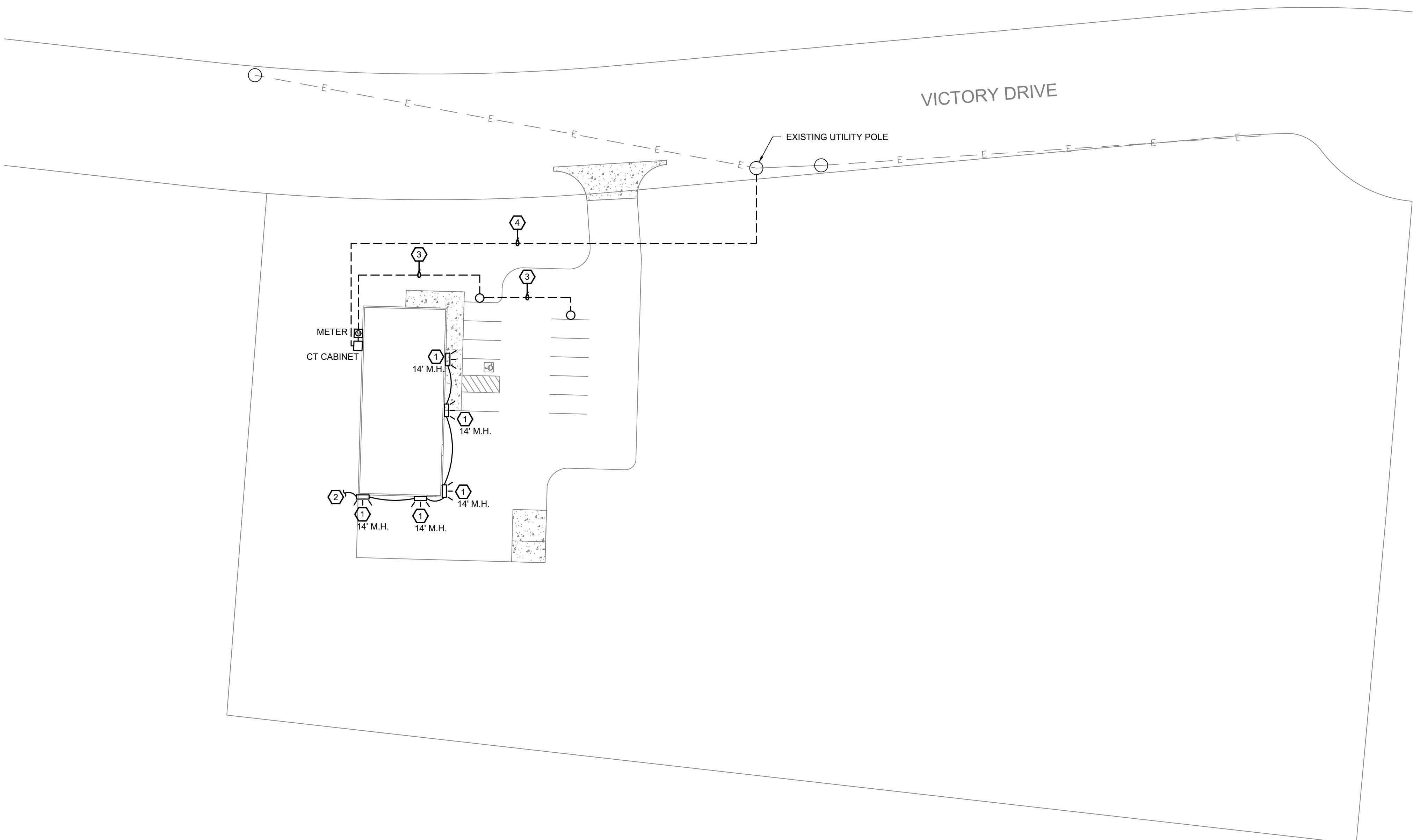
UNDERGROUND DUCTS DETAIL - FEEDERS

SCALE: NONE



**BURKHARDT**  
ENGINEERS & SURVEYORS  
28 North Cherry Street, Germantown, Ohio 45327 Phone: 337-388-0660 BURKHARDT.COM  
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: NVB Proj:  
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Scale:  
Date: 08-13-21  
Sheet:  
ELECTRICAL  
SPECS &  
DETAILS  
Sheet No.:  
E-1.1





# ELECTRICAL SITE PLAN

SCALE: 1/32"=1'-0"

SCALE: 1/32"=1'-0"



**Know what's below.  
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## INSTALLATION NOTES:

1. PROVIDE NEW LITHONIA #WDGE2 LED-P3-40K-80CRI-VW-MVOLT-SRM-PE WALL PACK. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH-IN.
2. CONNECT NEW WALL PACKS TO CIRCUIT A-16. REFER TO ELECTRICAL SHEET E-1 FOR PANEL A INFORMATION.
3. PROVIDE 1" CONDUIT ROUTE FOR FUTURE PARKING LOT LIGHTING. REFER TO DETAIL A ON SHEET E-1.1 FOR MORE INFORMATION.
4. PROVIDE 2.5" CONDUIT FOR NEW FEEDERS. REFER TO DETAIL B AND SINGLE LINE DIAGRAM ON SHEET E-1.1 FOR MORE INFORMATION.



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# ELCTRICAL ITE PLAN

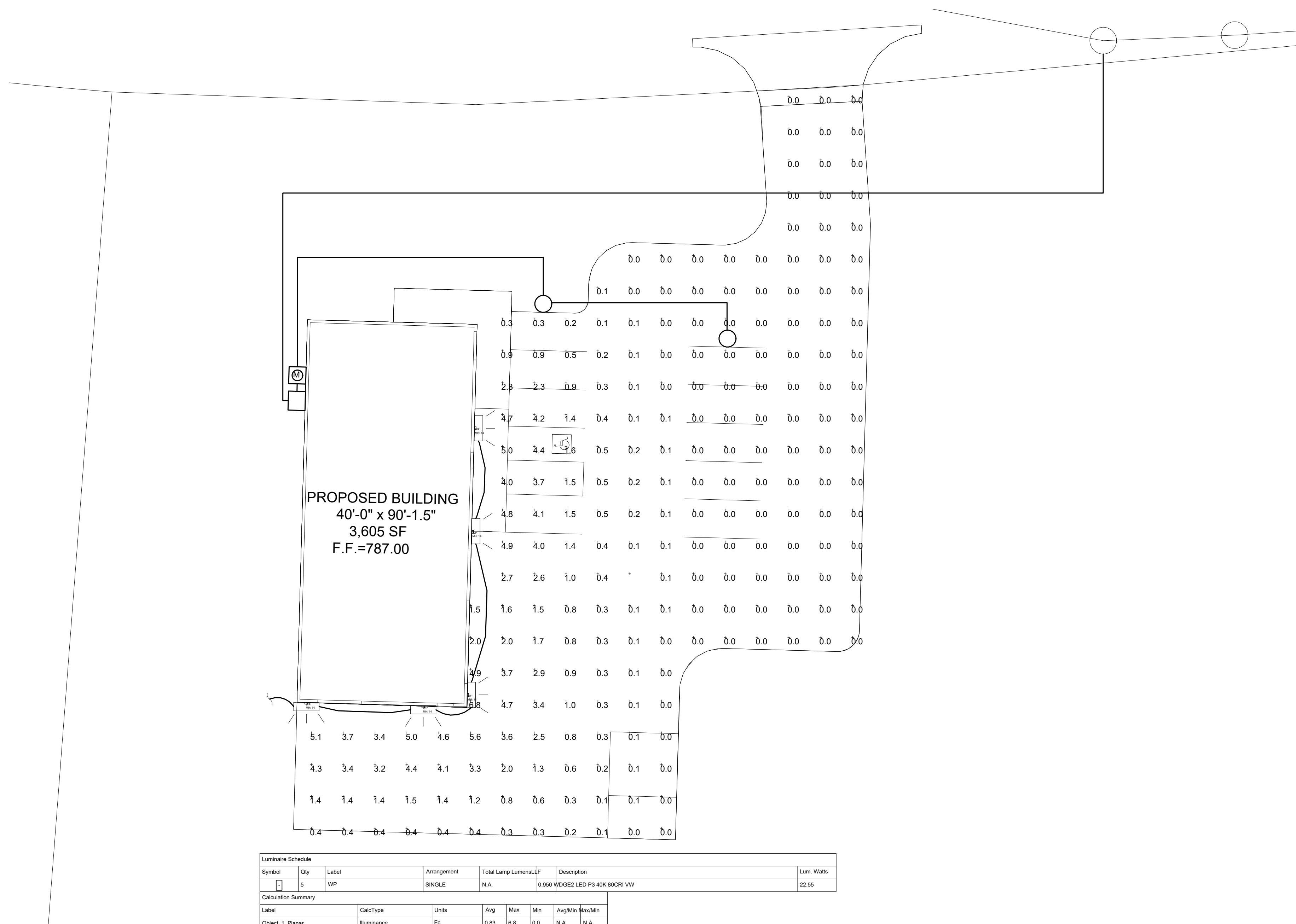
Set No.:



1785 S. METRO PARKWAY 937.306.1630  
CENTERVILLE, OH 45459 800.334.1630  
WWW.TRFTECH.US

## SEARCH PROJECT #21293

E-1.2

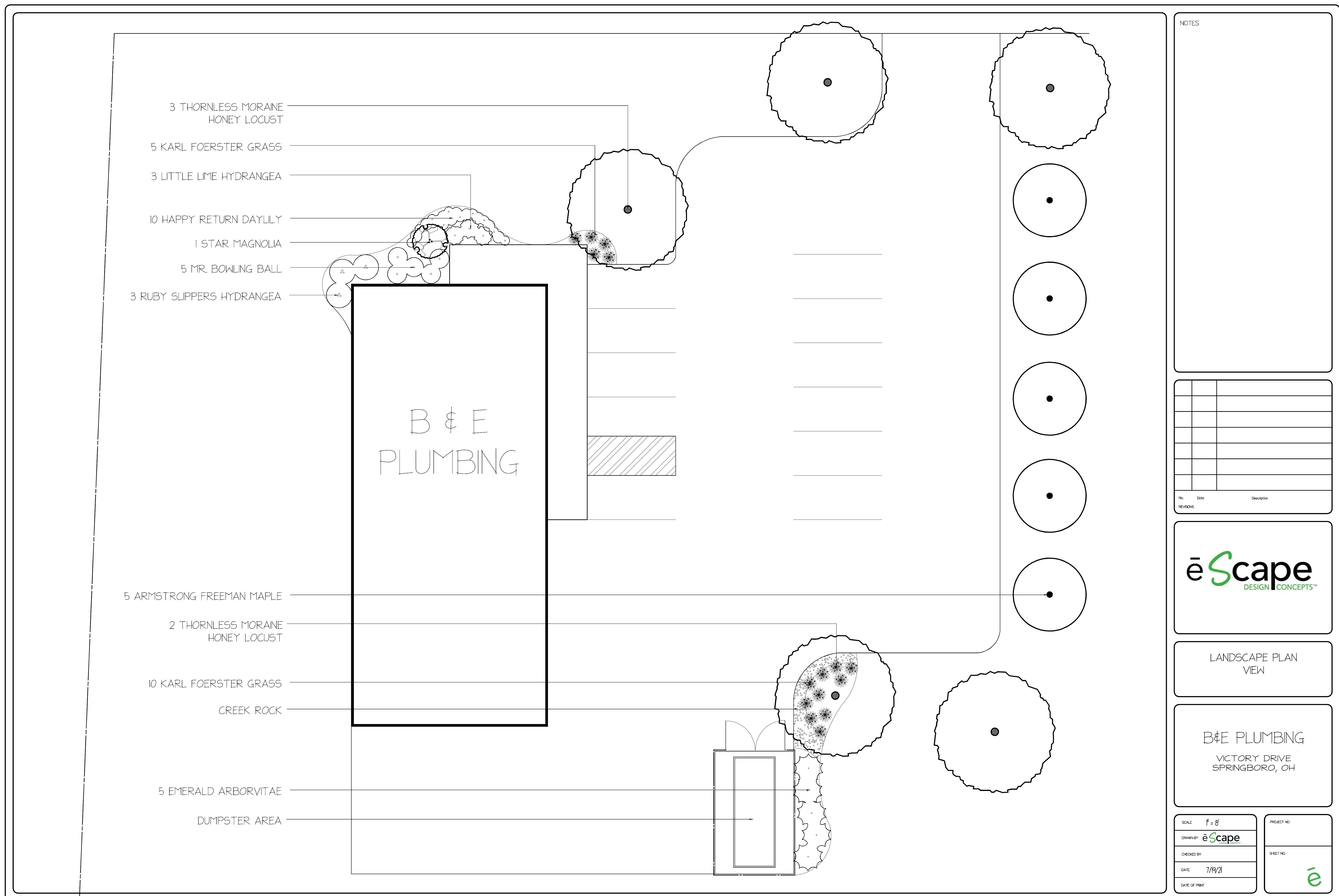


### ELECTRICAL SITE PLAN - PHOTOMETRICS

SCALE: NONE



811  
Call before you dig.



## B&E PLUMBING



HAPPY RETURN DAYLILY  
?Hemerocallis



ARMSTRONG FREEMAN MAPLE  
*Acer x freemanii 'Armstrong'*



KARL FOERSTER GRASS  
*Calamagrostis x acutiflora*



MORAINE THORNLESS HONEY LOCUST  
*Gleditsia triacanthos f. inermis 'Moraine'*



LITTLE LIME HYDRANGEA  
HYDRANGEA



RUBY SLIPPERS HYDRANGEA  
HYDRANGEA



STAR MAGNOLIA  
MAGNOLIA



MR. BOWLING BALL  
THUJA



EMERALD ARBORVITAE  
THUJA

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

## CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** Dryden Builders, Inc.  
 Agent  
 Lessee **Address:** 1741 Thomas Paine Parkway  
 Signed Purchase  
Contract Centerville, Ohio 45459

**Telephone No.** ( 937 ) 439-2728

**Fax No.** ( 937 ) 439-2729

**Email Address** chris@drydenbuilders.com

**PROPERTY OWNER NAME (IF OTHER):** Anthony Bors (Ann M. Weiskircher, ETAL)

**Address:** 1997 Hart Road

Lebanon, Ohio 45036

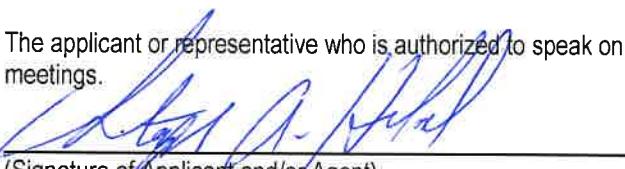
**Telephone No.** ( \_\_\_\_\_ ) \_\_\_\_\_

**Property Address or General Location:** 95 W. Central Avenue

**Parcel Number(s):** 0413229024 **Zoning District:** UVD

**Proposed Use:** New location for Foreign Exchange - Vehicle Service Center

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
(Signature of Applicant and/or Agent)

July 23, 2021  
(Date)

Dryden Builders, Inc.  
Christopher A. Hinkel, President

Printed Name

July 22, 2021

Anthony Bors  
1997 Hart Road  
Lebanon, Ohio 45036

I authorize Rick's Foreign Exchange, LLC and Dryden Builders, Inc. permission to present plans to the City of Springboro Planning Commission for property located at 95 W. Central Avenue.

Sincerely,

A handwritten signature in black ink, appearing to read "Anthony R. Bors".

Anthony Bors



July 23, 2021

City of Springboro Planning Commission

Re: **FOREIGN EXCHANGE #5, LLC**  
95 W. Central Ave.  
Springboro, Ohio 45066

To whom it may concern, Foreign Exchange owner Rick Reilich has hired Dryden Builders, Inc. to support them through the City Planning Commission process and ultimately build their 5<sup>th</sup> facility in Springboro. Their other locations are in Moraine, West Chester, Centerville, Fairborn and Waynesville. Their goal is to relocate the Waynesville store to Springboro since the majority of their clientele at that location are from Springboro. They have diligently been looking for the best location in Springboro for several years and this lot is perfect for them. Rick and Gayle Reilich have lived in Springboro for many years and are excited about finally having a location in their hometown.

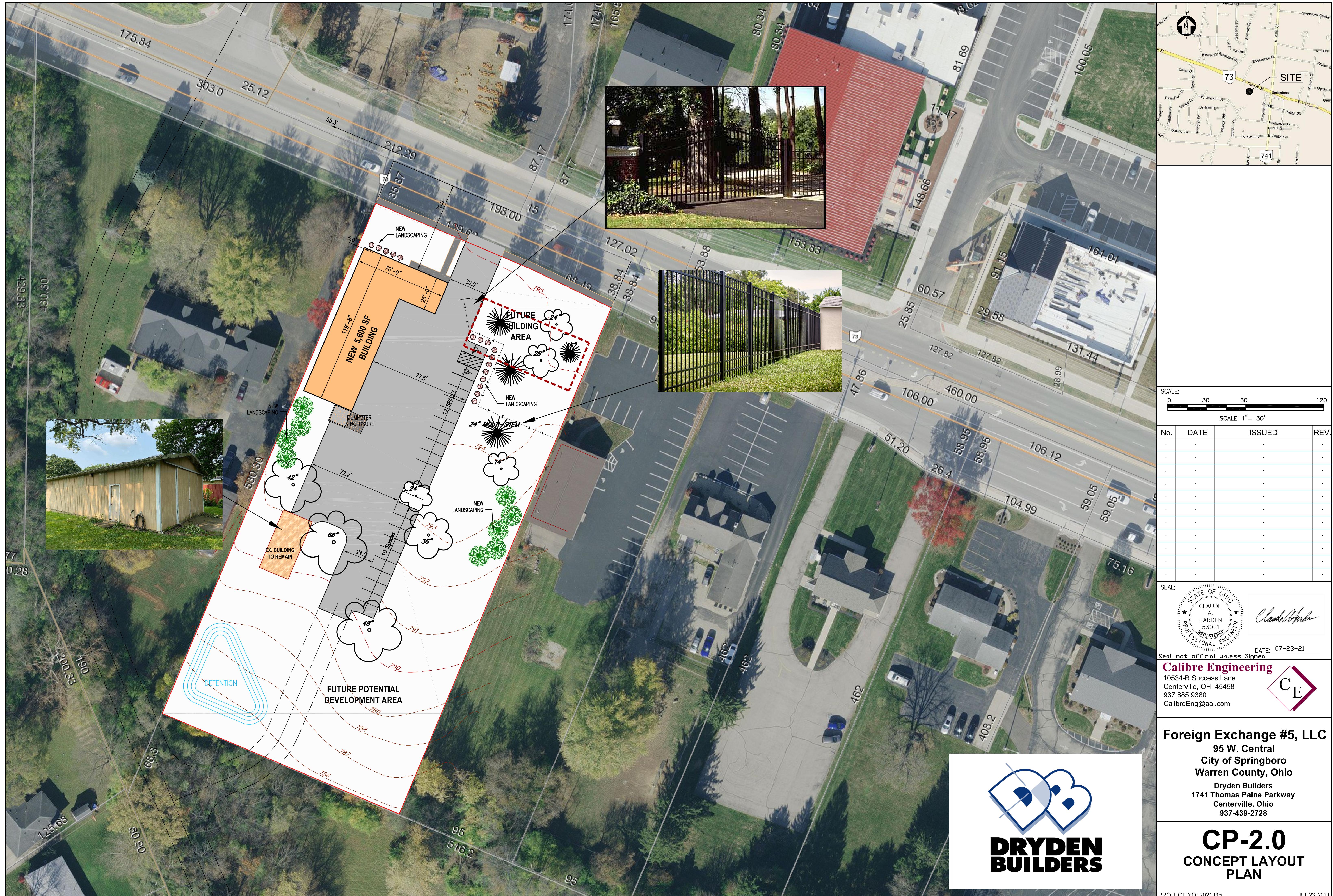
Dryden Builders design team consists of Calibre Engineering, Topos Studios landscaping and BC3D Design architects.

This project will be located in the Urban Village District. Our team has reviewed the UVD design standards and has had discussions with the City's staff for some further clarifications. We feel like this submittal meets the intent of the UVD's standards. A summary of the compliance items includes:

- Auto vehicle service centers are a permitted use in the UVD
- This submittal complies with Table 1, UVD Lot requirements, with the following clarifications:
  - Front Yard Build to Line of 0'. After discussions with the City staff, this building is placed 70' from the centerline of Central Ave. the 70' consists of 60' of ROW + 10' Utility Easement. Therefore, we believe we are on the Build To Line as submitted.
  - Side Yard setback is called to be 0'. We are proposing a 5' side yard setback. This will allow us to get our roof drainage underground piping installed on our property and allow limited room to physically construct the building on our lot. Finally, Ohio Building Code requires any exterior walls within 5' of the property line to have a 2-hour fire rating and any exterior walls from 5' to 10' to have a 1-hour fire rating. These ratings limit the types of building materials allowed and the size of any windows, etc. Initially we proposed the building to be 25' off the side yard and actually would prefer it to be 10' but after discussions with staff and understanding the intent of the UVD, we are proposing 5' as a compromise.



- Screening – we have designed the front showroom to extend approximately 30' further to the east than the back service bay areas to screen the service doors from Central Ave. view. We have also designed a decorative gate and fence along the front and east side along with landscaping to further screen the bay doors and the parking lot.
- Landscaping – a preliminary landscape plan has been provided by our landscape architect. The intent is to save as many of the existing trees as possible (approximately 12 existing to remain). We believe this plan complies with the UVD requirements.
- Building design materials – we have used a high level of building materials on all four sides of the building. Materials include:
  - Large aluminum windows along the front to allow public to see the fancy import cars on display.
  - Masonry on all four sides with field brick in light grey color, a triple soldier course up high on north and west side in crimson color, a single soldier course on north and east sided in crimson color and a wainscot on the north wall using a utility brick or burnished block in dark grey.
  - Architectural metal panel run vertical on the north wall above the wainscot as an addition accent feature.
  - Metal wall cap on all parapet walls in black.
  - Service bay doors planned to be all glass except bottom panel.
- Other enhancements include fabric awnings on north and east sides at doors. Painted mural planned on the west side near front – the picture on the drawings is Not the actual mural proposed but only showing the suggested location. The idea is to have this mural depict some of the history of automobiles. Final size, design and location to be worked out with City input.
- Potential future development
  - The owner is not intending to split this lot.
  - There have been discussions about possibly adding another building on the east side of the lot that could be leased to small businesses (like a bicycle shop, coffee shop, etc.). The site plan has a dotted line of a potential future building area. The thought would be it would be 5' off the east line and setback the same 70' as the Foreign Exchange building. The owner is not in a position to address this concept in any further detail until potential tenants could be secured.
  - There is the possibility of doing additional development on the southern property and even connecting our drive isle to the neighboring property to the south. The site plan shows a dotted line of this. If the Johnathan Wright property was to be developed, our property could connect to it. If that was to happen, additional buildings could be developed on our south property line.

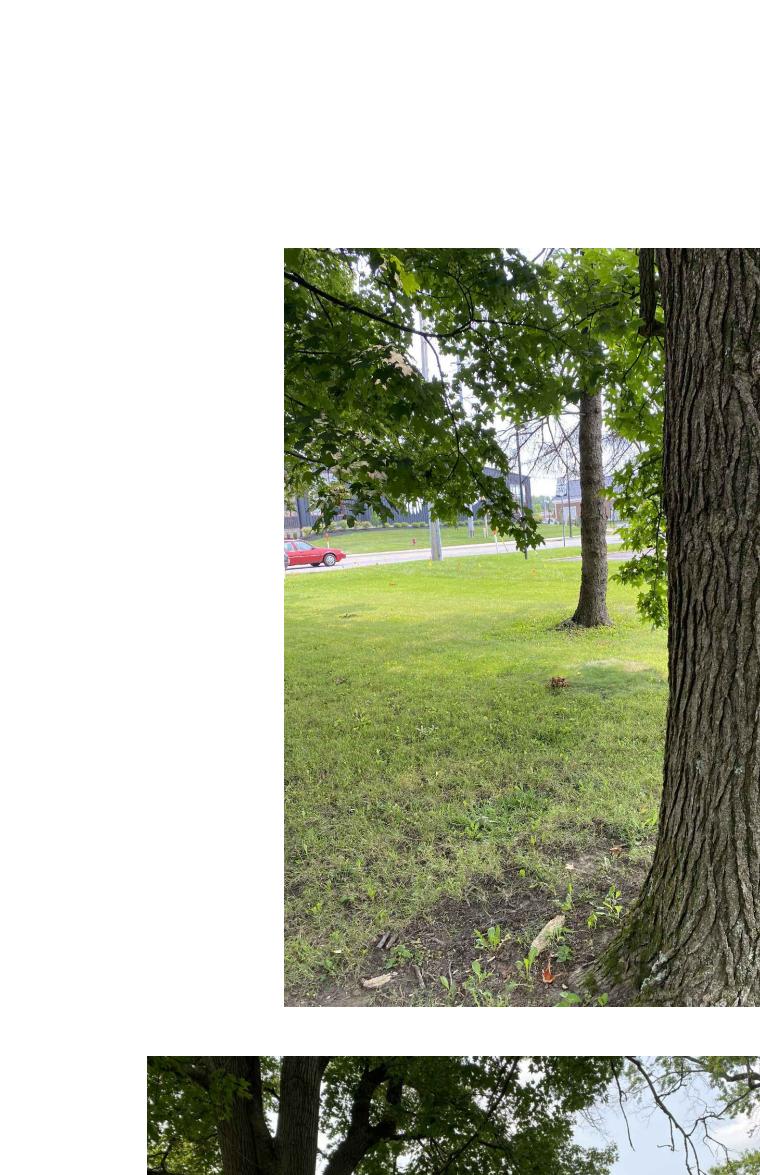


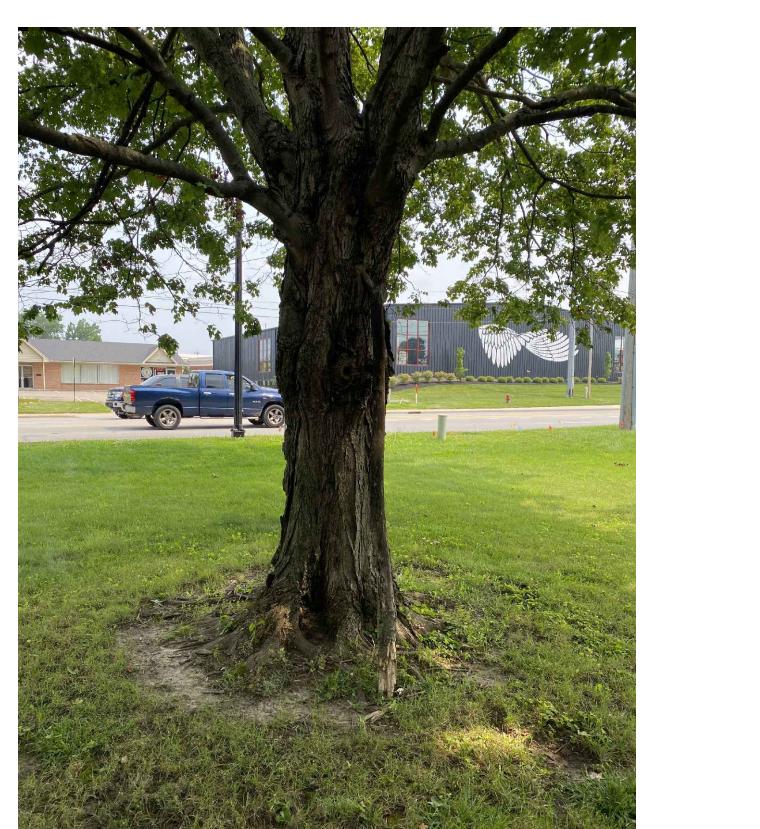
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**CHAPTER 1280 AND SECTION 1267.09 COMPLIANCE**

**1280.04 (B)**  
TREES AT 20.01 DBH OR GREATER = 11  
TREES AT 14.01-20' DBH = 1  
TOTAL 47 TREES REDUCTION IN NEW TREES REQUIRED

**1280.04 (C)- LANDSCAPE ADJACENT TO ROADS**  
FRONTAGE WIDTH (EXCLUDING DRIVE AND WALK) = 162'  
-4 SHADE OR EVERGREEN TREES REQUIRED - 4 PROVIDED  
-2 ORNAMENTAL TREES REQUIRED - 2 PROVIDED  
-32 SHRUBS REQUIRED - 34 PROVIDED

**1280 (E)(1)- PARKING LOT SCREENING**  
AS SHOWN ALONG NORTH PROPERTY LINE FRONTAGE

**1280 (2)(A)- INTERNAL PARKING LOT LANDSCAPING**  
23 SPACES = 230 SF OF INTERNAL LANDSCAPE REQUIRED  
312 SF PROVIDED IN THE LANDSCAPE ISLAND

**1280 (2)(C)- INTERNAL PARKING REQUIRED PLANTINGS**  
AS SHOWN ALONG ON PLAN, INCLUDING SAVING EXISTING TREE

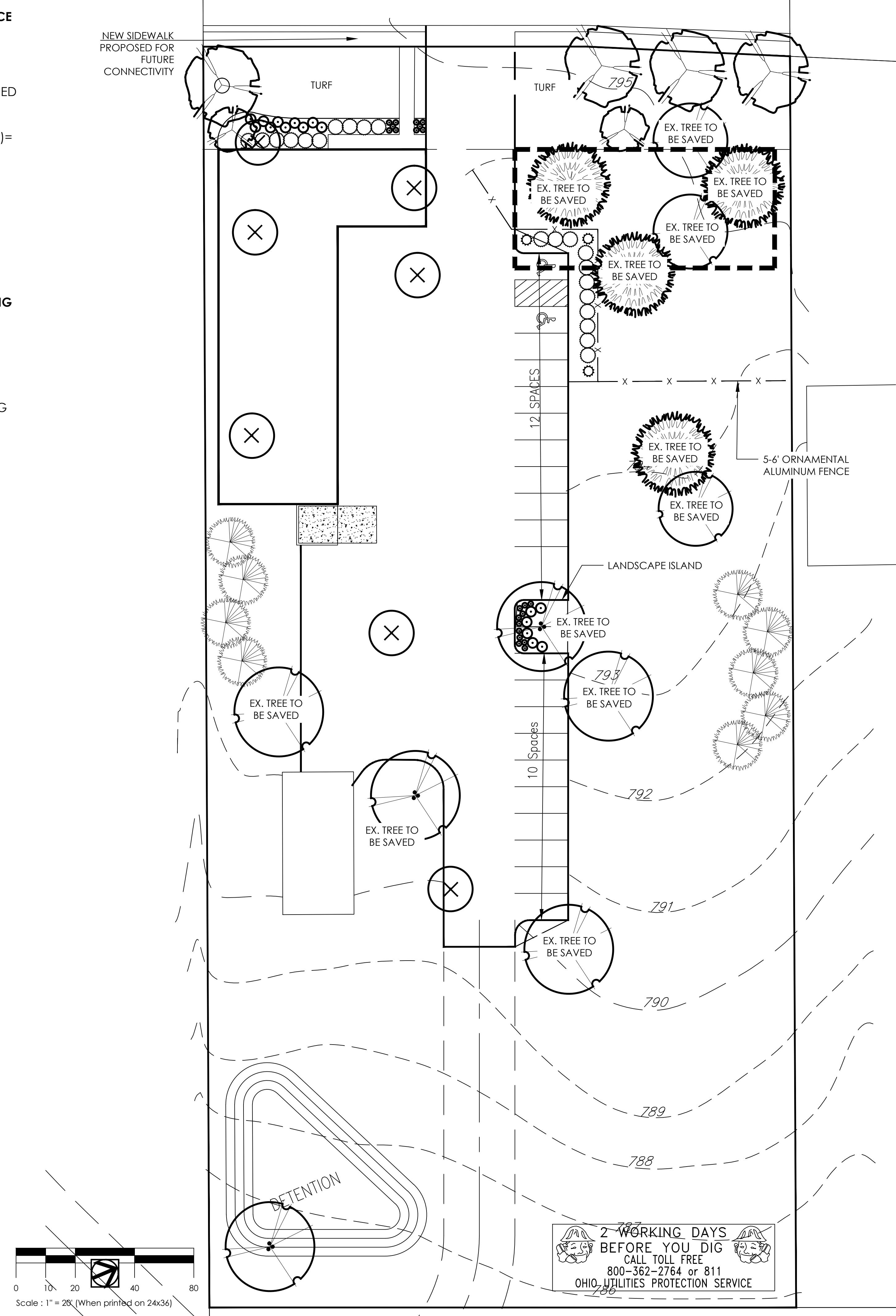
**1280 (F)- SITE LANDSCAPING**  
1 TREE SHALL BE PLANTED PER 3,000 SF OF LOT = 28 TREES REQUIRED  
DEDUCT 47 TREES FOR TREE PRESERVATION  
NET = (-19 NEW TREES REQUIRED) NO NEW TREES  
TREES REQUIRED, EXCEPTING TREE REQUIREMENTS FOR FRONTAGE AND LANDSCAPE ISLANDS, ETC.

**1280.05- PLANTING STANDARDS**  
ALL STANDARDS WILL BE MET

**1267.09- (UVD) URBAN VILLAGE DISTRICT LANDSCAPE REQUIREMENTS**  
ALL OTHER UVD LANDSCAPE STANDARDS WILL BE MET.

**EX. TREES TO BE SAVED**

**NEW SIDEWALK PROPOSED FOR FUTURE CONNECTIVITY**



Scale : 1" = 20' (When printed on 24x36')

**2 WORKING DAYS BEFORE YOU DIG CALL TOLL FREE 800-362-2764 or 811 OHIO UTILITIES PROTECTION SERVICE**

**NOT FOR CONSTRUCTION**

**TOPOS**  
S I U D O .  
4 West Franklin Street  
Centerville, OH 45459  
937-469-4409

**LANDSCAPE ARCHITECT OF RECORD**

**CONSULTANT:**

**SUBMITTALS AND REVISIONS**

07/23/2021

Preliminary Plan (For Review)

**Foreign Exchange #5, LLC  
Preliminary Landscape Plan**

95 W. Central Avenue  
Springboro, Ohio 45066

**PROJECT #:** 07/23/2021

**DRAWN:** CP

**REVIEWED:** CP

**C-5.0**

**DATE:** 07/23/2021

**TOPOS**  
S I U D O .  
4 West Franklin Street  
Centerville, OH 45459  
937-469-4409

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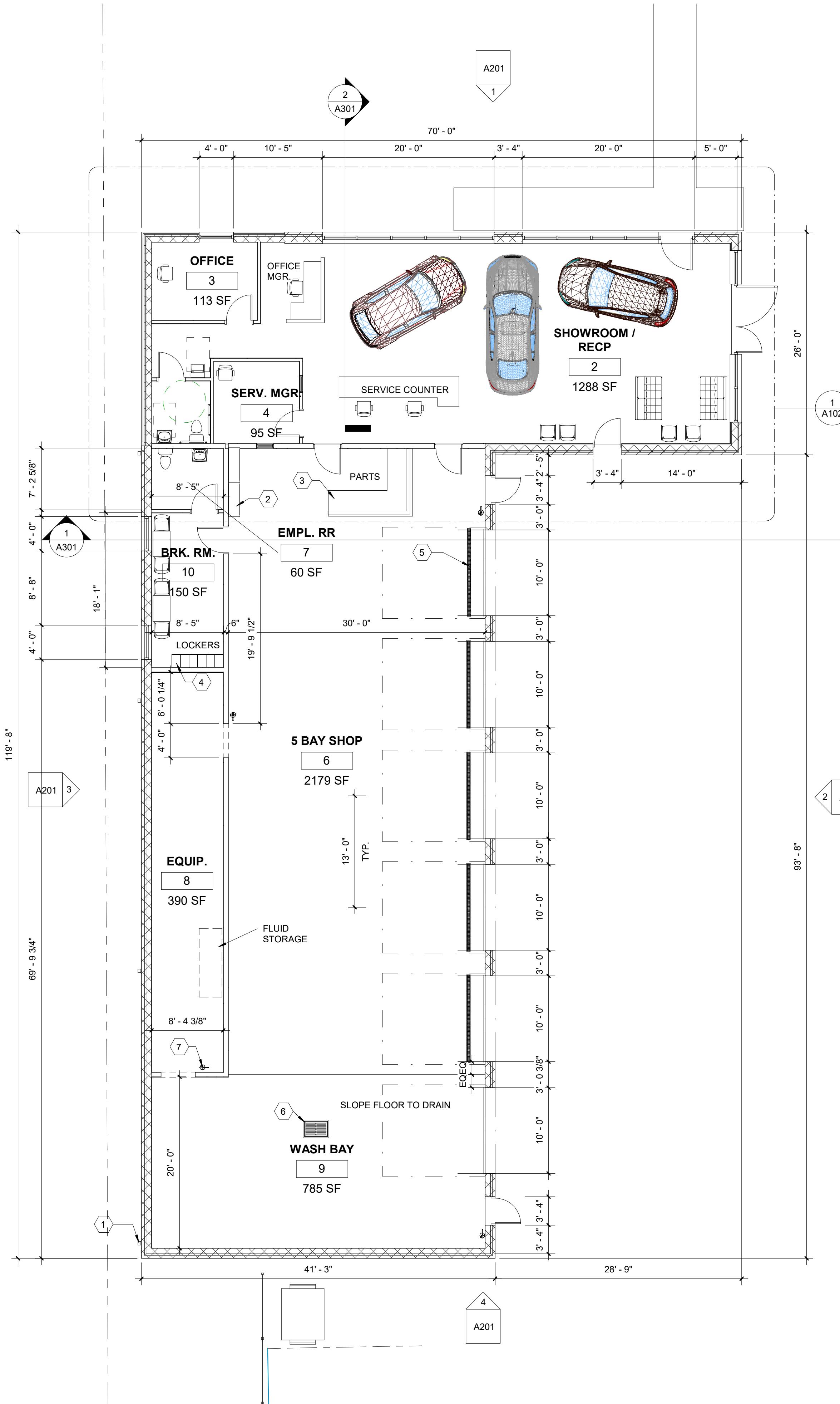
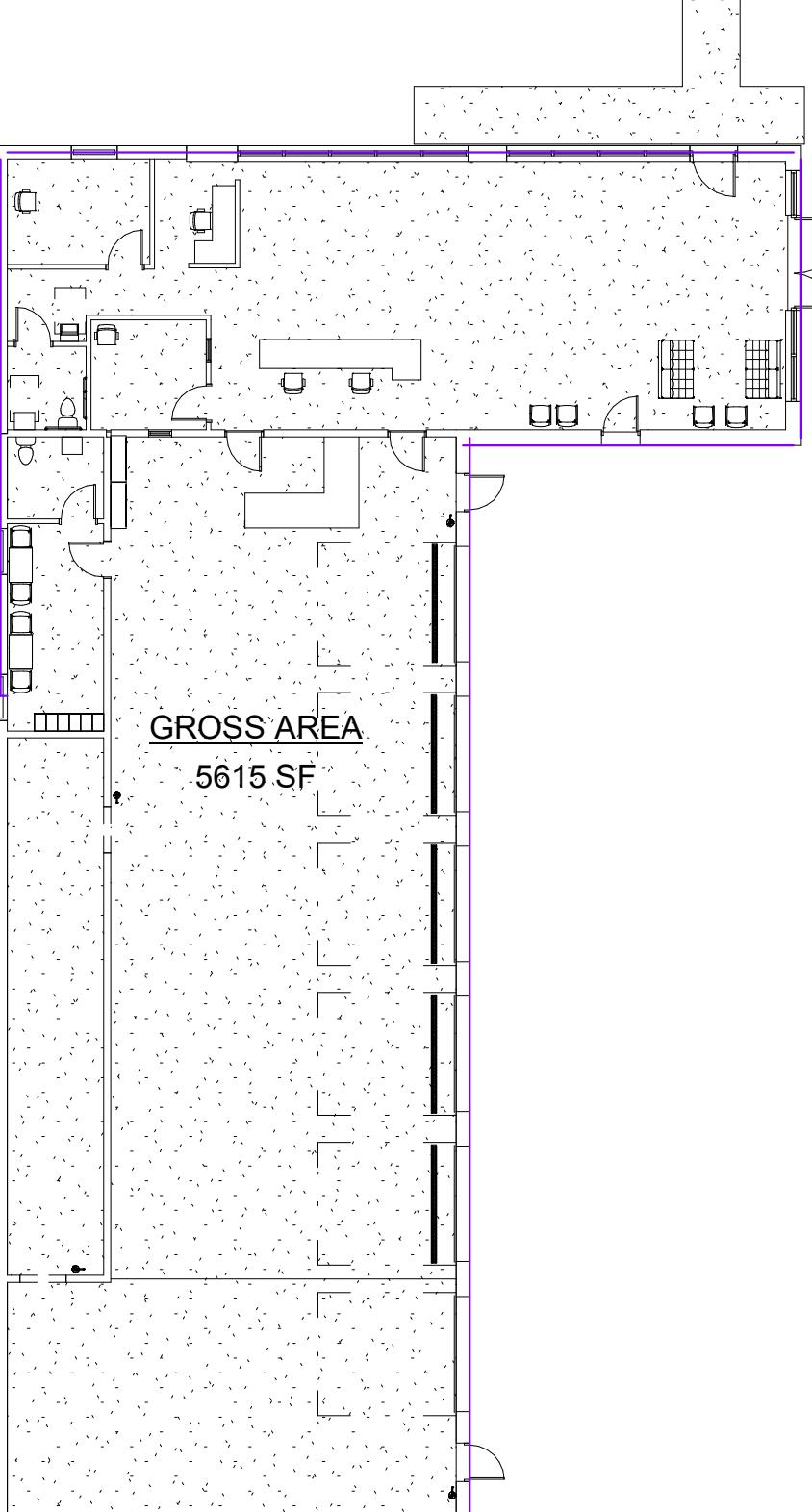
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PROPOSED AUTO REPAIR SHOP FOR:  
**RICK'S FOREIGN EXCHANGE, LLC**  
FOREIGN EXCHANGE #5, LLC  
SPRINGFIELD LOCATION  
95 W. CENTRAL AVE.  
SPRINGFIELD, OH 45066  
WARREN COUNTY

FLOOR PLAN	
Project number	2131
Issue Date	07/23/21
Drawn by	WC
Checked by	CH, RR, GR
A101	
SHEET	2 of 2
Scale	As indicated

7/23/2021 12:37:14 PM



1 Level 1  
A201/A101 1/8" = 1'-0"

NOT FOR  
REGULATORY  
APPROVAL  
OR  
CONSTRUCTION

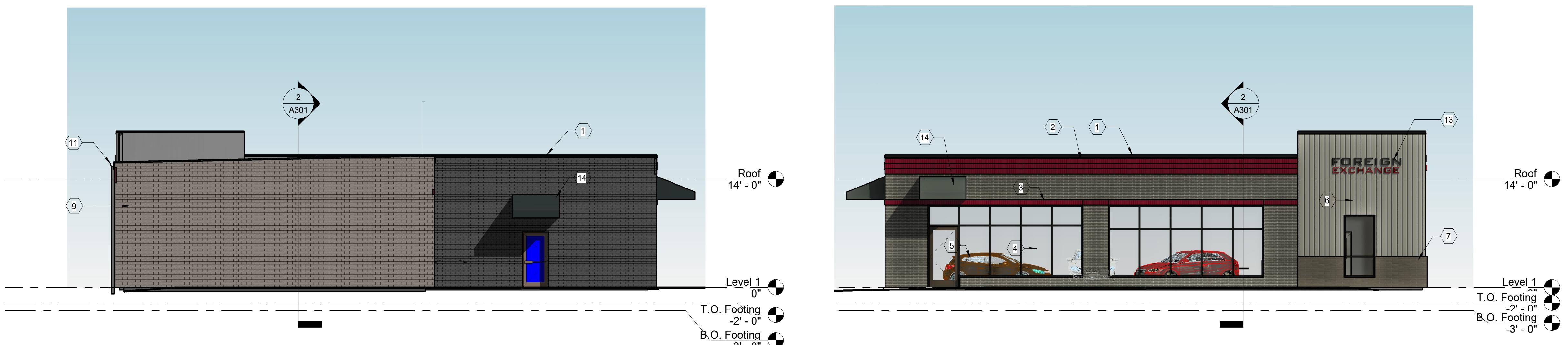
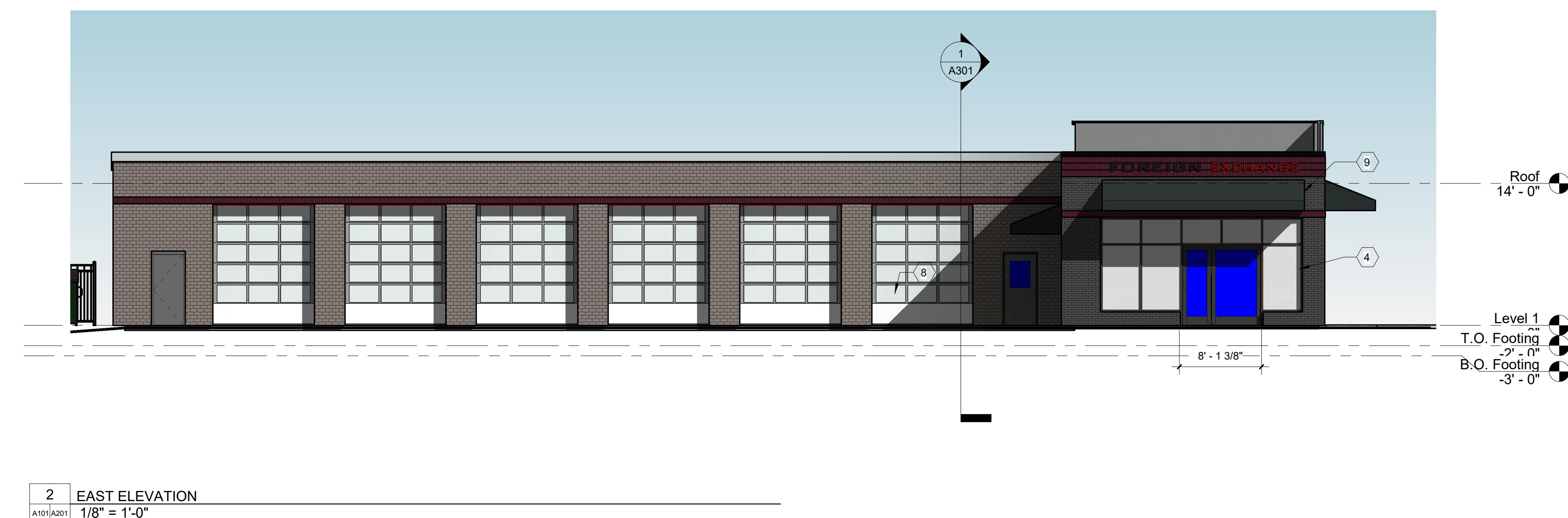
DATE	REVISION SCHEDULE
NO.	DESCRIPTION



PROPOSED AUTO REPAIR SHOP FOR:  
**RICK'S FOREIGN EXCHANGE, LLC**  
FOREIGN EXCHANGE #5, LLC  
SPRINGBORO LOCATION  
95 W. CENTRAL AVE.  
SPRINGBORO, OH 45066  
WARREN COUNTY

EXTERIOR ELEVATIONS	
Project number	2131
Issue Date	07/23/21
Drawn by	WC
Checked by	CH, RR, GR
A201	
Scale	1/8" = 1'-0"

Keynote Legend	
Key	Value
1	ALUM. WALL COPING; COLOR: BLACK ANODIZED
2	BRICK SOLDIER COURSE - TRIPLE; COLOR CRIMSON
3	BRICK SOLDIER COURSE - SINGLE; COLOR: CRIMSON
4	ALUM. STOREFRONT SYSTEM; 2.5" X 5"; COLOR: BLACK ANODIZED
5	TINTED INSULATED GLAZING; COLOR: CLEAR, LOW-E
6	VERT. FLUSH METAL SIDING PANELS; MED. GREY COLOR
7	BURNISHED JUMBO BRICK; COLOR: DK. GREY
8	ALUM. OVERHEAD SECTIONAL DOOR W/ GLAZING PANELS, SOLID PANEL AT BOTTOM SECTION
9	FACE BRICK; RUNNING BOND, COLOR: LT. GREY
10	ARTISTIC PERIOD STYLE PAINTED WALL MURAL
11	ALUM. GUTTER; COLOR: BLACK
12	ALUM. DOWNSPOUT; COLOR: TO MATCH SIDING OR MASONRY
13	CUSTOM LOGOTYPE SIGNAGE
14	FABRIC AWNING ON ALUM. FRAMEWORK; COLOR: BLACK

1 NORTH - FRONT ELEVATION  
A101/A201 1/8" = 1'-0"4 SOUTH - REAR ELEVATION  
A101/A201 1/8" = 1'-0"2 EAST ELEVATION  
A101/A201 1/8" = 1'-0"3 WEST ELEVATION  
A101/A201 1/8" = 1'-0"