

**Agenda**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, October 13, 2021, 6:00 p.m.**  
**Council Chambers, Springboro City Building, 320 West Central Avenue**

- I. Call to Order
- II. Approval of Minutes
  - A. September 8, 2021 Planning Commission Meeting
- III. Agenda Items
  - A. Final Approval, Site Plan Review, 1345 Lytle-Five Points Road, The Ravine at Settlerspointe assisted living facility
  - B. Preliminary Review, Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

**Background Information, Staff Comments & Recommendations**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, October 13, 2021, 6:00 p.m.**  
**Council Chambers, City Building, 320 West Central Avenue**

**III. Agenda Items**

**A. Final Approval**

**Site Plan Review, 1345 Lytle-Five Points Road, The Ravine at Settlerspointe assisted living facility**

**Background Information**

This agenda item is a request for site plan review approval, filed by James Alt, representing Seva Group LLC, property owner, seeking approval to construct a 32,770-square foot, 48-bed assisted living facility on property located at 1345 Lytle-Five Points Road. The proposed assisted living facility is proposed immediately to the south of the existing BeeHive Homes facility. That facility was reviewed and approved by the Planning Commission in 2017 with construction completed in 2018. The subject property is zoned O-R, Office Residential District, a zoning designation that allows assisted living facilities as a permitted use. The proposed building is permitted under the O-R District provisions. The O-R District places no limitations on the maximum size of buildings. The proposed site plan is consistent with all design and development standards including but not limited to setbacks, building heights, and lot coverage.

The proposed Ravine at Settlerspointe assisted living facility will use the same access drive to Lytle-Five Points Road as the existing one to the north. That drive terminates with a turnaround at the northwest corner of The Ravine property.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both located within the Woodland Greens subdivision. The property at the western terminus of Westchester Court, and immediately abutting the southeast corner of the subject property, is a detention pond owned by the City of Springboro. To the south is undeveloped land, to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road (Keybank, Settlers Station shopping center) as well as a vacant parcel fronting Lytle-Five Points Road. To the north is the existing BeeHive facility.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland Greens subdivision. To the south is O-R District, and to the west, is O-R District and LBD, Local Business District corresponding to the Settlers Station shopping center and adjacent development.

This item was reviewed on a preliminary basis at the July 14, 2021 Planning Commission meeting at which time this item was approved to be placed on a future agenda for formal approval.

This agenda item appeared as BeeHive Homes in the meeting materials for the July 14, 2021 Planning Commission with an address of 1325 Lytle-Five Points Road.

The Planning Commission's review of this site plan is to following the provisions of Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses that is included here:

**1284.08 Site Plan Review Criteria Applicable To All Land Uses.**

The Planning Commission shall review the site plan and the reports of City staff at a meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning (see Figure 10 at the end of this chapter). At the preliminary review, the Planning Commission shall determine if formal review of the site plan is appropriate at its next meeting if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development;
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance;
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community;
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan; and
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities. (Ord. 0-15-4. Passed 2-19-15.)

The City is in receipt of an objection from representatives of the Woodland Greens Homeowners Association regarding the July 14, 2021 review of this agenda item. That documentation is included in the meeting materials.

## Staff Recommendations

City staff recommends APPROVAL of the site plan for The Ravine at Settlerspointe located at 1345 Lytle-Five Points Road subject to compliance with the following comments:

1. Verify rear and side setbacks comply with 40-foot minimum at the overhang.
2. Update sheet A102A so that it matches the stated scale (1/8 inch equals 1 foot), and so that exterior color key matches elevations.
3. Indicate plans for screening of dumpster facilities. Also indicate if other screening matches that of the adjacent BeeHive facility at 1325 Lytle-Five Points Road in terms of color, materials, and appearance.
4. City staff recommends permitting up to 36 parking spaces on the site plan, consistent with ITE Parking Generation, 5th Edition, that requires a minimum of 1 parking space for each 2 rooms/occupancy. City code allows a maximum of 150% of that figure. The site plan shows 38 spaces.
5. Signage for the proposed use subject to review by the City of Springboro Zoning Inspector.
6. For proposed landscaping plan on sheet L-1, the following comments apply:
  - a. Shade trees to be a minimum 2.5 inches DBH, ornamental trees to be 2 inches DBH, and evergreens 6 feet in height per Chapter 1280, Landscaping, of Planning and Zoning Code.
  - b. City staff recommends accepting preservation of existing trees on site for use on south property line adjacent to undeveloped O-R lot, and site landscaping requirements.
7. Revise lighting plan accordingly for compliance with Chapter 1273, Exterior Lighting:
  - a. Use only fixtures with color-temperature of 3500° Kelvin or less (4500° indicated on plans).
  - b. Photometric analysis exceeds 4:1 average to minimum and 10:1 maximum to average ratios.
  - c. Include lighting specifications for wall pack and under-canopy lighting, if applicable, and include in photometric analysis.
  - d. Verify no light trespass onto adjoining detention pond, residential area to east.
8. Provide information verifying that the existing detention facility is designed for the proposed site.
9. Add note stating 6" sanitary sewer lateral to be SDR 35 or SCH 40 material.
10. Add note stating 6" water main to be class 52 ductile iron pipe.
11. Water meter to be located inside building with remote reader.
12. On grading plan, bold the proposed grading lines to stand out from existing grades.
13. Provide temporary stone construction entrance as noted on plans.
14. Dimension the parking lot setback to north property line to verify the required minimum 9 foot setback.
15. Identify benchmark.
16. Final revised and approved site plan shall be submitted to include all comments by staff and planning commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
17. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
18. Be advised that the Clearcreek Fire District utilizes the provisions from the Ohio Fire Code and the Ohio Building Code and that all fire hydrant components shall meet those of the City of Springboro Water works.

19. All test of systems shall be scheduled through the Springboro Building Department 48 hours prior to testing. The Building Department will contact the fire department and advise us of date and testing. A fire department representative will witness all testing.
20. We will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
21. Fire Department connections for all sprinkled buildings shall be within 75 feet of a fire hydrant on the public water system. All Fire Department connections must have a 5" Storz connection with a 30 degree downturn and includes a cap attached by a cable or chain. Fire Department connections must be visible and unobstructed at all times.
22. A fire extinguisher plan must be submitted to the fire department. Placement and installation must be done prior to final building inspection.
23. All monitored fire systems shall have a remote annunciator panel at the main entrance to the building for fire department use.

**B. Preliminary Review**

**Final Development Plan, Advance Drive PUD, Planned Unit Development, commercial building**

**Background Information**

This agenda item is a request for preliminary review of a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stoltz Industrial Park. The subject property is located approximately 600 feet northeast of the terminus of Advance Drive. The proposal was submitted by Cincinnati Commercial Contracting, property owner and developer.

The applicant is proposing to construct a one-story, 20,000-square foot flexible space commercial building for a future user. The plan for the site provides for expansion at a future date and subject to Planning Commission review. No address has been assigned for the property at this point in time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building will be located on 3.55 acres of undeveloped land; the property owner plans to develop their remaining 11.775 acres of undeveloped land as soon as practicable.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park are occupied by the following businesses: to the north Hanover Products at 125 Advanced Drive, to the northeast Alfonse Haar at 130 Advanced Drive, to the east and southeast Advanced Interiors at 240-250 Advanced Drive, and to the south A-1 Mechanical at 235 Advanced Drive. The subject property also borders to the west undeveloped property in Franklin Township with frontage and access provided from Sharts Road to the west.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stoltz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stoltz estate. The remainder of the estate is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west in Franklin Township is zoned Franklin Township R-1, Rural Residence District.

**Staff Comments**

City staff has the following comments regarding this agenda item.

1. Indicate number of employees projected at maximum shift for the purposes of determining the off-street parking requirement for the proposed building/site.
2. Indicate proposed exterior building materials proposed for building.
3. For final review of landscaping plan address the following:
  - a. Indicate all existing vegetation 4 inches DBH or larger to remain on site for credit against requirements of Chapter of the Planning and Zoning Code. This may reduce the number of plantings required as described below.
  - b. A total of 6 trees, including 3 evergreens, to be provided on Advanced Drive frontage.
  - c. Landscaped buffer required on north and south property lines at rate of 1 tree per 40 feet of frontage within a 10-foot buffer area.
  - d. Indicate long-range plans for the west end of the property in light of buffering requirements and credit that may be provided by existing vegetation.
4. For final review of lighting plan address the following:
  - a. Verify with City staff proposed lighting locations on photometric analysis sheet.
  - b. Provide average to minimum and maximum to minimum ratios for photometric analysis sheet.
  - c. Photometric analysis indicates 16.0 foot-candle reading. A maximum foot-candle level of 6.0 is permitted for such installations.
5. Add 6" gate valve at the 6" x 12" water tap on the existing main.
6. Construction requirements within the pipeline easement area to be worked out with pipeline company.
7. Locate existing sanitary manhole on sheet C-3.1.
8. Add note stating 6" water main to be class 52 ductile iron pipe.
9. Water meter to be located inside building with remote reader.
10. Add note stating existing curb and gutter to be removed and replaced by depressed ODOT Type 2 curb and gutter and provide details.
11. Identify benchmark.
12. Detention calculations are currently under review.
13. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, October 5, 2021 at 12:00 p.m.

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

## CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner APPLICANT NAME: JAMES M. ALT  
 Agent  
 Lessee Address STE B 2440 DAYTON XENIA RD  
 Signed Purchase  
Contract BEAVERCREEK, OH 45434  
Telephone No. ( 937 ) 477 2977  
Fax No. ( - ) -  
Email Address jalt@altarchitecture.com

PROPERTY OWNER NAME (IF OTHER): SEVA GROUP, LLC, ATTN SEAN BARRY

Address: 1325 Lytle - Five Points Rd  
Springboro, OH 45066

Telephone No. ( 614 ) 226 7638

Property Address or General Location: 1325 Lytle. Fivepoints Rd

Parcel Number(s): 04081010290 (04081010280) Zoning District: O-R

Proposed Use: Assisted Living and Physical Therapy

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
(Signature of Applicant and/or Agent)

2021-06-21

(Date)

Printed Name JAMES M. ALT



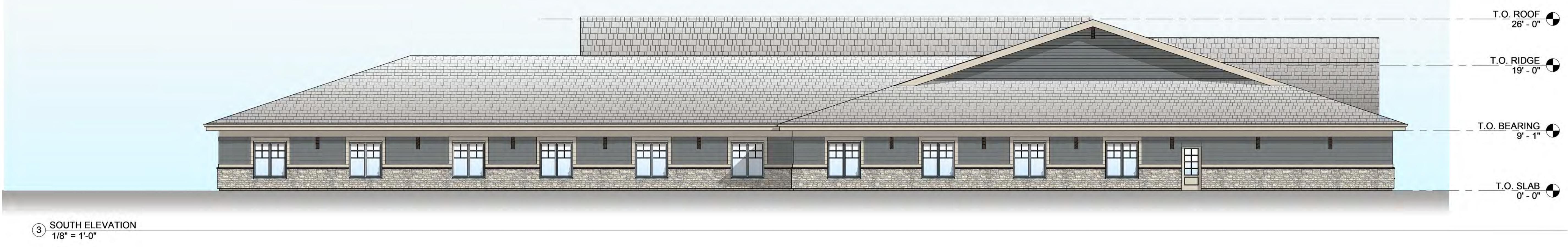
NEW ASSISTED  
LIVING FACILITY

1325 W LYTHE-FIVE POINTS RD  
SPRINGBORO, OH 45066

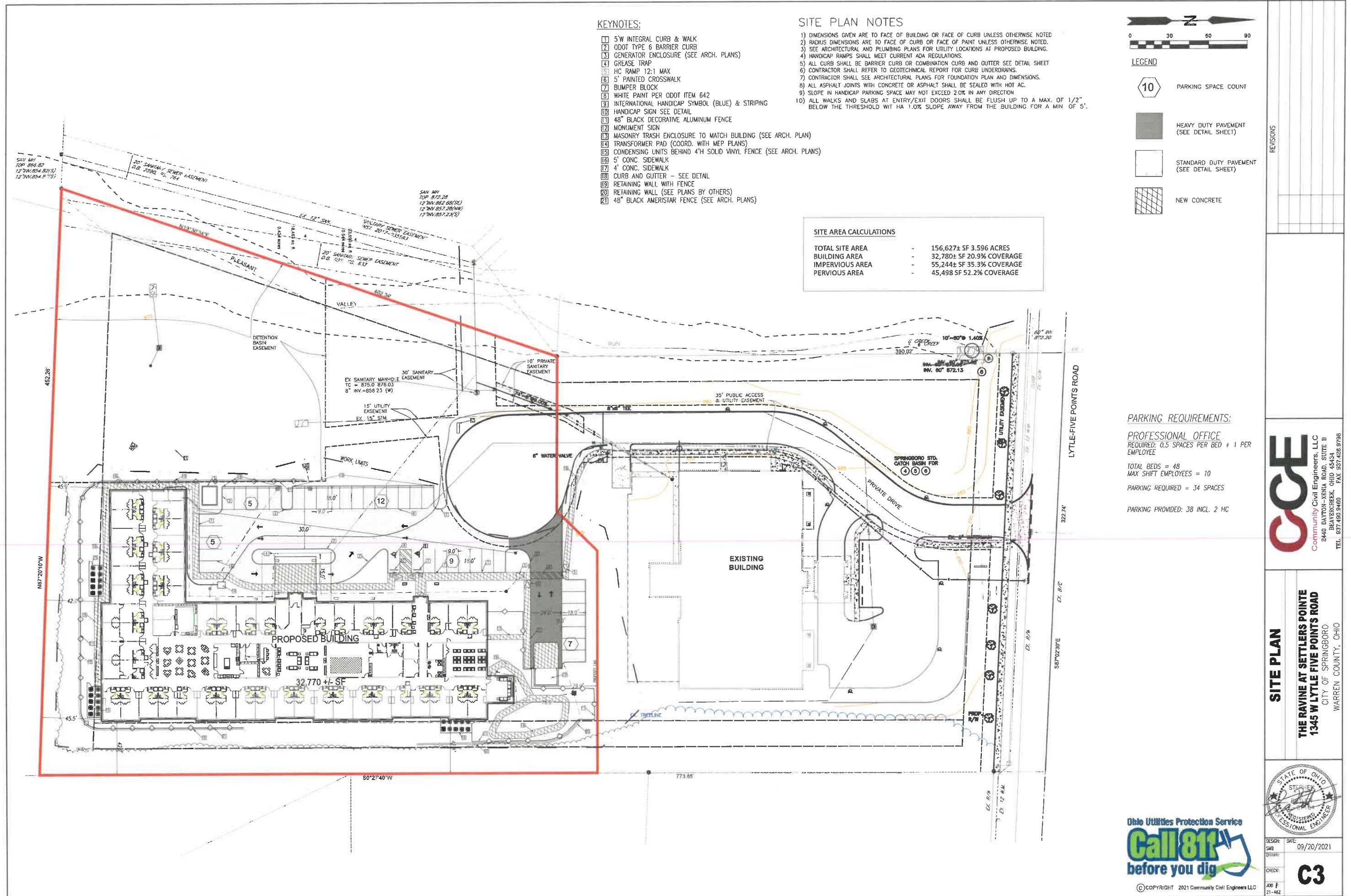


EXTERIOR COLORS

1. ROOF SHINGLES: TIMBERLINE AMERICAN HARVEST, COLOR: SADDLEWOOD RANCH
2. STANDING SEAM ROOF: SW 7067 CITYSCAPE
3. NATURAL STONE: MATCH EXISTING OR SIMILAR
4. STONE ACCENTS & TRIMS: MATCH EXISTING OR SIMILAR
5. HORIZONTAL SIDING - HARDIE BOARD: SW 7067 CITYSCAPE
6. COLUMNS AND TRIM DETAILS @ WINDOWS AND DOORS: SW 7530 BARCELONA BEIGE
7. EXTERIOR DOORS: SW 7530 BARCELONA BEIGE
8. WINDOWS: ALMOND OR SIMILAR, MATCH EXISTING
9. GUTTERS AND DOWNSPOUTS: SW 7530 BARCELONA BEIGE
10. METAL LOUVERS: SW 7067 CITYSCAPE
11. FASCIAS, SOFFITS, AND VENTS: SW 7530 BARCELONA BEIGE
12. COLUMNS/ BRACKETS: NATURAL TIMBER, CUSTOM COLOR.



RENDERED  
EXTERIOR  
ELEVATIONS



# CONSTRUCTION DRAWINGS FOR THE RAVINE AT SETTLERS POINT

## GENERAL NOTES

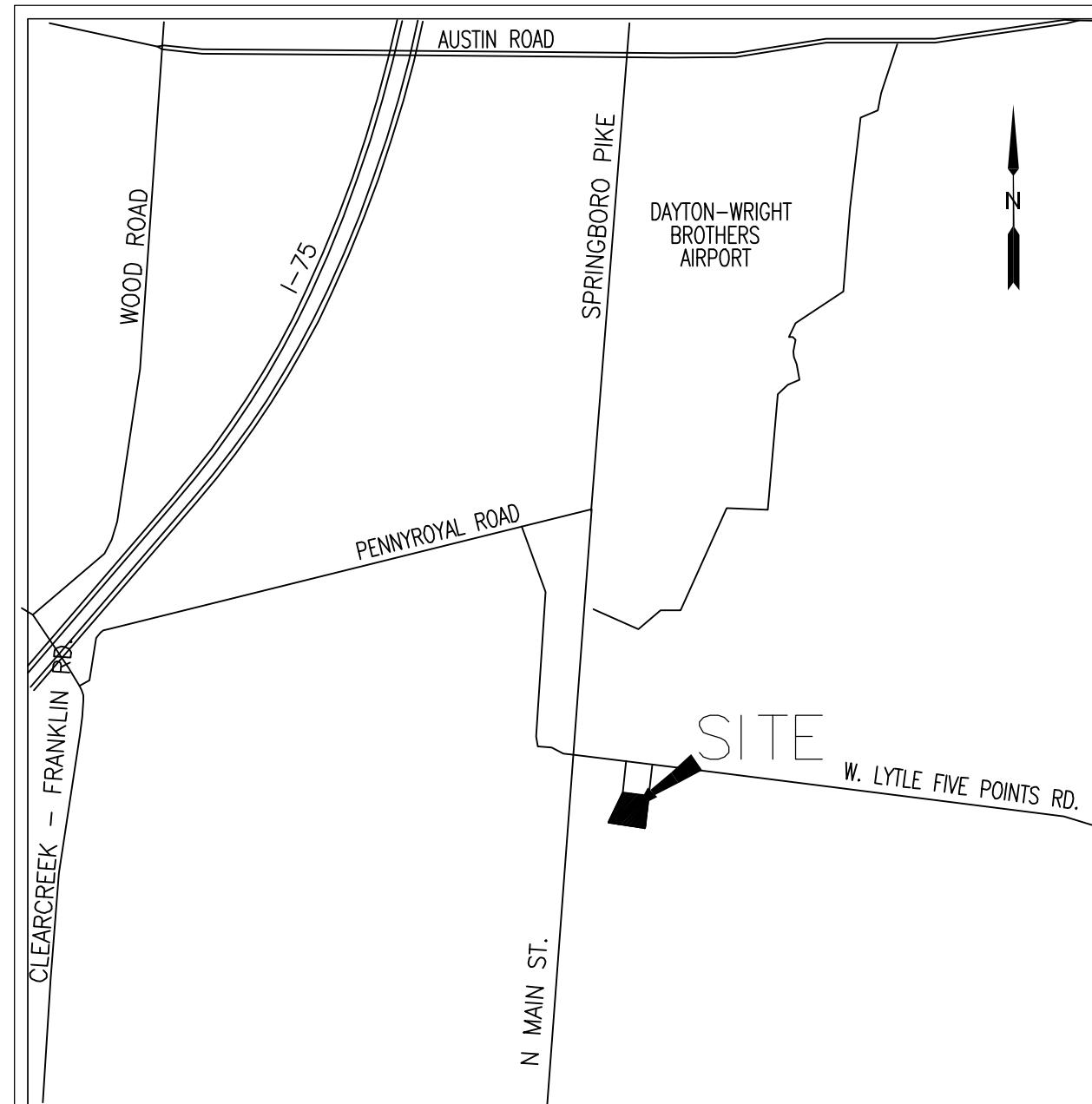
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH CITY OF SPRINGBORO STANDARDS AND SPECIFICATIONS. ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE AT COMMUNITY CIVIL ENGINEERS, FOR ODOT SPECS VIST; <http://www.dot.state.oh.us/divisions/ConstructionMgt/OnlineDocs/Pages/2010CMS.aspx>
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ODOT STANDARDS.
- ALL TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL WHERE SHOWN IN PROFILE AND BE DONE IN ACCORDANCE WITH CITY OF SPRINGBORO SPECIFICATIONS AND COMPACTED BEFORE SUBGRADE APPROVAL.
- ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE OR EASEMENT LINE, WHICHEVER IS FURTHEST, BEFORE STREETS ARE SURFACED.
- ALL CATCH BASINS TO BE IN ACCORDANCE WITH ODOT STANDARDS UNLESS OTHERWISE SPECIFIED.
- ALL MANHOLES TO BE TYPE "A" UNLESS OTHERWISE NOTED.
- CHANNEL BOTTOMS OF ALL MANHOLES.
- RADIUS OF BACK OF CURB AT INTERSECTIONS SHALL BE 25.00 FEET, UNLESS OTHERWISE SHOWN.
- ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM.
- CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPT OF TRANSPORTATION STD CONST DWG BP-7.1 TYPE 1.
- ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

UTILITY	OWNER	TELEPHONE
CABLE	SPECTRUM 1450 EXPERIMENT FARM RD. TROY, OH. 45373	(937)-294-6400
ELECTRIC	DAYTON POWER & LIGHT 1900 DRYDEN ROAD DAYTON, OH. 45439	(937)-331-4521
TELEPHONE	AT&T 3233 WOODMAN DR. DAYTON, OH 45420	(937)-296-3894
GAS	VECTREN 4285 N. JAMES H. MCGEE BLVD. DAYTON, OH. 45427	(937)-312-2533
SANITARY SEWER WATER MAINS	CITY OF SPRINGBORO 320 WEST CENTRAL AVENUE SPRINGBORO, OHIO 45066	9(37)-748-4365

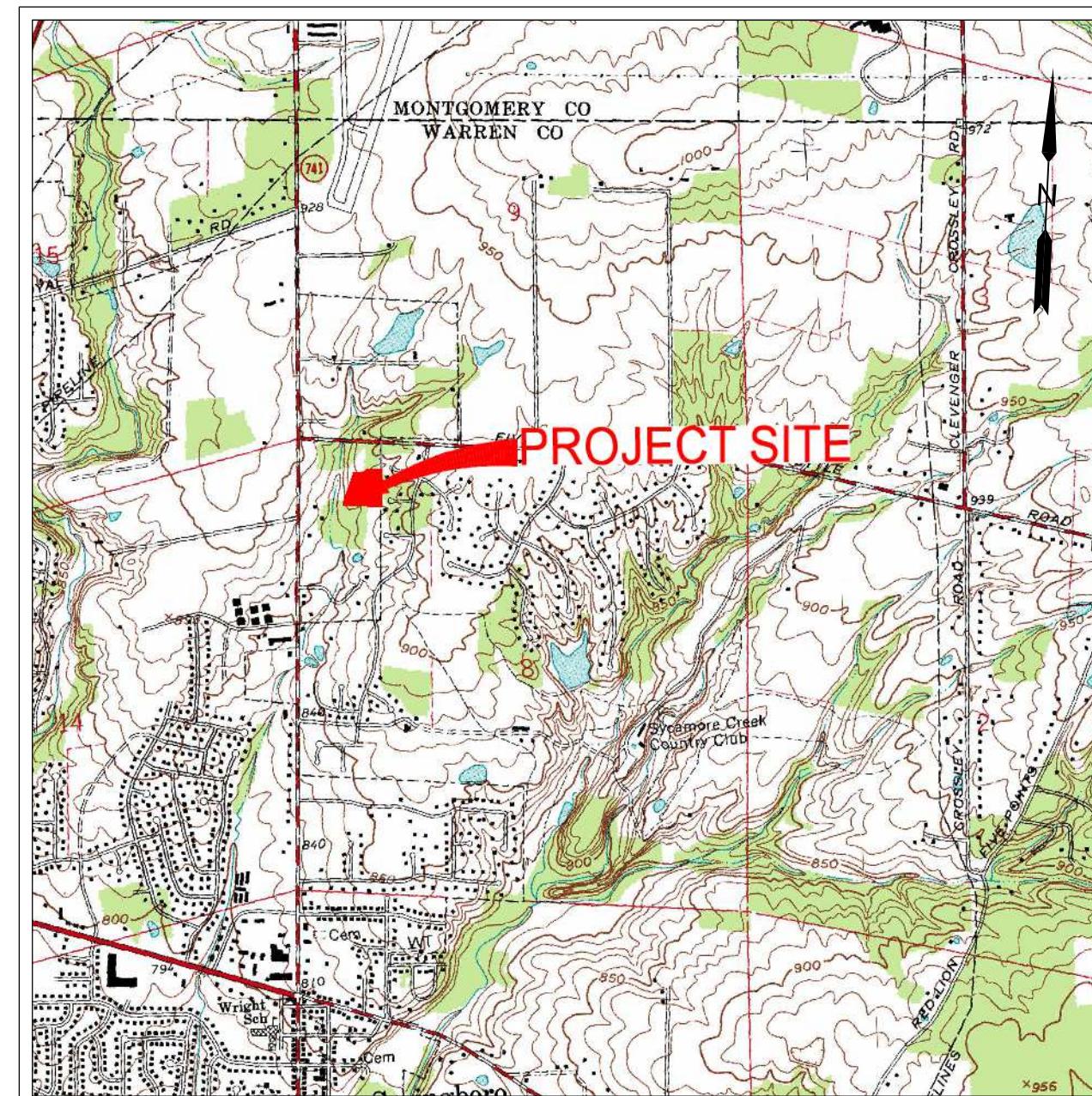
NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.

- ALL MANHOLES INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED EITHER CENTERED ON A TRAVELED LANE OR ON A LONGITUDINAL PAVEMENT MARKING STRIPE, SUCH AS A LANE LINE, CHANNELING LINE OR CENTERLINE.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE EXPOSED SHALL BE SEDED WITHIN 3 DAYS AS WORK IS COMPLETED IN THE AREA.
- ALL CATCH BASIN LATERALS TO BE REINFORCED CONCRETE ASTM SPECIFICATION NUMBER C-76, CLASS 4, UNLESS OTHERWISE NOTED.
- ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
- TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". ANY WORK ON A THOROUGHFARE OR WORK REQUIRING CLOSURES REQUIRES 48 HOUR NOTIFICATION AND APPROVAL OF THE MONTGOMERY COUNTY, NOTICE SHALL BE GIVEN TO THE PUBLIC WORKS DIRECTOR A MINIMUM TWO WEEKS PRIOR TO ANY CLOSING.
- SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
- WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE BASE BID.
- PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS ADJACENT TO THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AT THE CONTRACTORS EXPENSE.
- CITY OF SPRINGBORO STANDARD DRAWINGS ARE TO BE CONSIDERED PART OF THESE PLANS
- IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
- THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN INSPECTION AND MAINTENANCE LOGS OF EROSION CONTROL DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL INVERTS PRIOR TO STARTING CONSTRUCTION DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.

LOCATED IN  
CITY OF SPRINGBORO  
WARREN COUNTY, OHIO 45066



VICINITY MAP  
NO SCALE



USGS MAP  
SCALE: 1" = 2,000'

## INDEX OF SHEETS

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EROSION & SEDIMENT CONTROL PLAN	CS401
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CIVIL ENGINEER:

**CCE**  
Community Civil Engineers, LLC  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL. 937.490.9460 FAX 937.426.9798

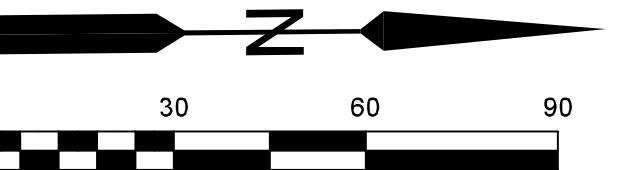
ARCHITECT:

**ALT** architecture  
ALT Architecture Inc.  
Architecture - Engineering  
Interior Architecture - Planning  
Suite B  
2440 Dayton-Xenia Road  
Beavercreek, Ohio 45434  
937.427.2770 voice  
937.427.2771 fax  
info@architecture.com

BENCHMARK #1  
INVERT OF SANITARY MANHOLE LOCATED AT 21' WEST OF CUL-DE-SAC  
INVERT ELEVATION 858.23



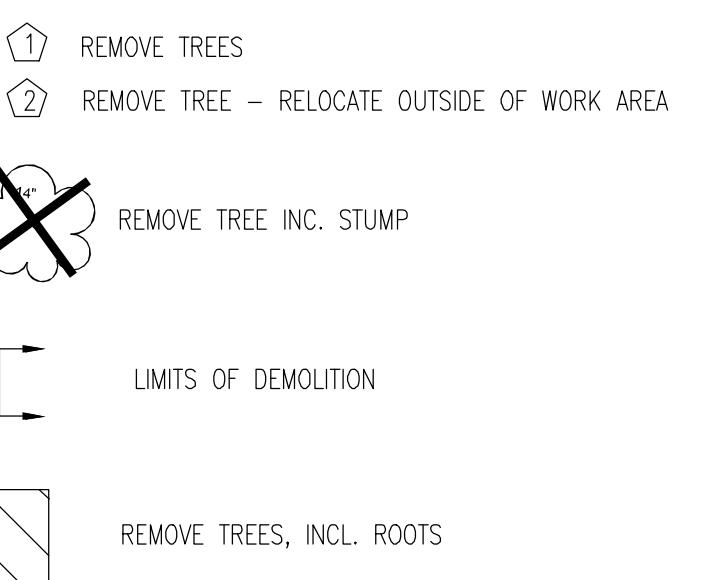
REVISIONS	2
CCE	
Community Civil Engineers, LLC 2440 DAYTON-XENIA ROAD, SUITE B BEAVERCREEK, OHIO 45434 TEL. 937.490.9460 FAX 937.426.9798	
TITLE SHEET	
THE RAVINE AT SETTLERS POINT 1345 W LYtle FIVE POINTS ROAD CITY OF SPRINGBORO WARREN COUNTY, OHIO	
DESIGN:	09/20/2021
SMB:	
DRAWN:	
CHECK:	
JOB #:	C1
(C) COPYRIGHT 2021 Community Civil Engineers LLC	



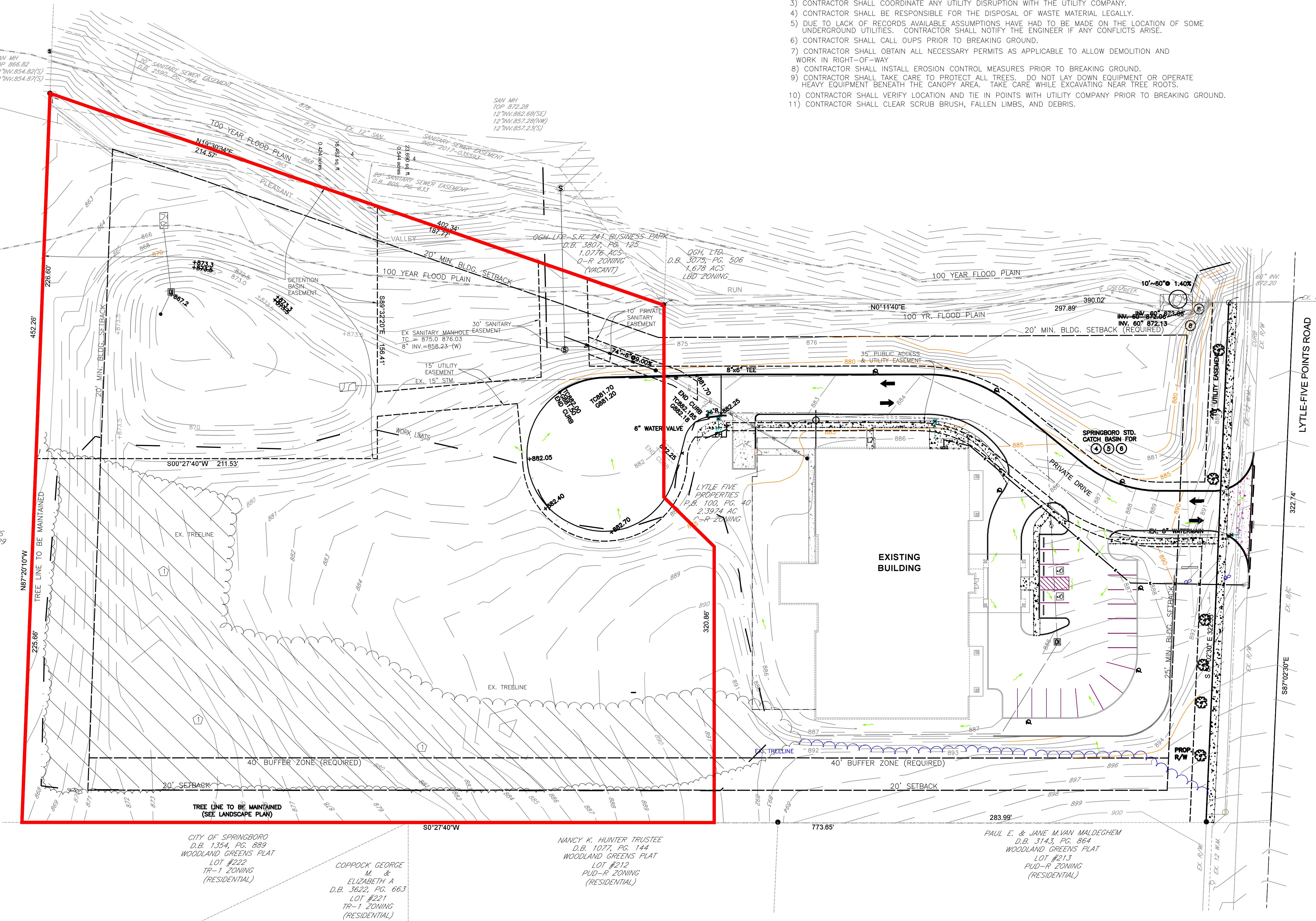
## EXISTING PLAN NOTES:

- 1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.  
NOTE: SOME UTILITIES ARE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS.
- 2) AFTER THE INSTALLATION OF UTILITIES THE GROUND SHALL BE RETURNED TO IT'S ORIGINAL CONDITION
- 3) CONTRACTOR SHALL COORDINATE ANY UTILITY DISRUPTION WITH THE UTILITY COMPANY.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY.
- 5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE.
- 6) CONTRACTOR SHALL CALL OUPS PRIOR TO BREAKING GROUND.
- 7) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS APPLICABLE TO ALLOW DEMOLITION AND WORK IN RIGHT-OF-WAY
- 8) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND.
- 9) CONTRACTOR SHALL TAKE CARE TO PROTECT ALL TREES. DO NOT LAY DOWN EQUIPMENT OR OPERATE HEAVY EQUIPMENT BENEATH THE CANOPY AREA. TAKE CARE WHILE EXCAVATING NEAR TREE ROOTS.
- 10) CONTRACTOR SHALL VERIFY LOCATION AND TIE IN POINTS WITH UTILITY COMPANY PRIOR TO BREAKING GROUND.
- 11) CONTRACTOR SHALL CLEAR SCRUB BRUSH, FALLEN LIMBS, AND DEBRIS.

# DEMOLITION LEGEND



## REVISIONS



# EXISTING SURVEY & FEATURES PLAN

## THE RAVINE AT SETTLERS POINTE 1345 W LYTHE FIVE POINTS ROAD

2440 DAYTON-XI  
BEAVERCREEK  
EL. 9337.490.9460

2440 DAYTON-XI  
BEAVERCREEK  
EL. 9337.490.9460



The logo for the Ohio Utilities Protection Service. It features the organization's name in a blue, sans-serif font at the top. Below it, the text 'Call 811 before you dig' is displayed in a large, bold, green font. To the right of the text is a blue outline of a shovel, angled upwards and to the right. A green curved line starts from the bottom right and sweeps upwards and to the left, crossing in front of the shovel's handle.

© COPYRIGHT 2021 Community Civil Engineers LLC

SIGN:	DATE:
B	09/20/2021
AWN:	
ECK:	
B #:	
-482	

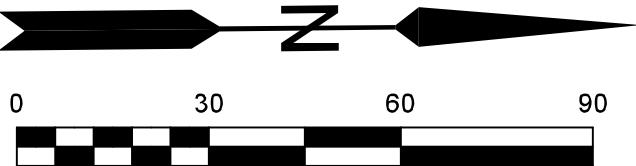
C2

### KEYNOTES:

- 1) 5'W INTEGRAL CURB & WALK
- 2) ODOT TYPE 6 BARRIER CURB
- 3) GENERATOR ENCLOSURE (SEE ARCH. PLANS)
- 4) GREASE TRAP
- 5) HC RAMP 12:1 MAX
- 6) 5' PAINTED CROSSWALK
- 7) BUMPER BLOCK
- 8) WHITE PAINT PER ODOT ITEM 642
- 9) INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
- 10) HANDICAP SIGN SEE DETAIL
- 11) 48" BLACK DECORATIVE ALUMINUM FENCE
- 12) MONUMENT SIGN
- 13) MASONRY TRASH ENCLOSURE TO MATCH BUILDING (SEE ARCH. PLAN)
- 14) TRANSFORMER PAD (COORD. WITH MEP PLANS)
- 15) CONDENSING UNITS BEHIND 4'H SOLID VINYL FENCE (SEE ARCH. PLANS)
- 16) 5' CONC. SIDEWALK
- 17) 4' CONC. SIDEWALK
- 18) CURB AND GUTTER - SEE DETAIL
- 19) RETAINING WALL WITH FENCE
- 20) RETAINING WALL (SEE PLANS BY OTHERS)
- 21) 48" BLACK AMERISTAR FENCE (SEE ARCH. PLANS)

### SITE PLAN NOTES

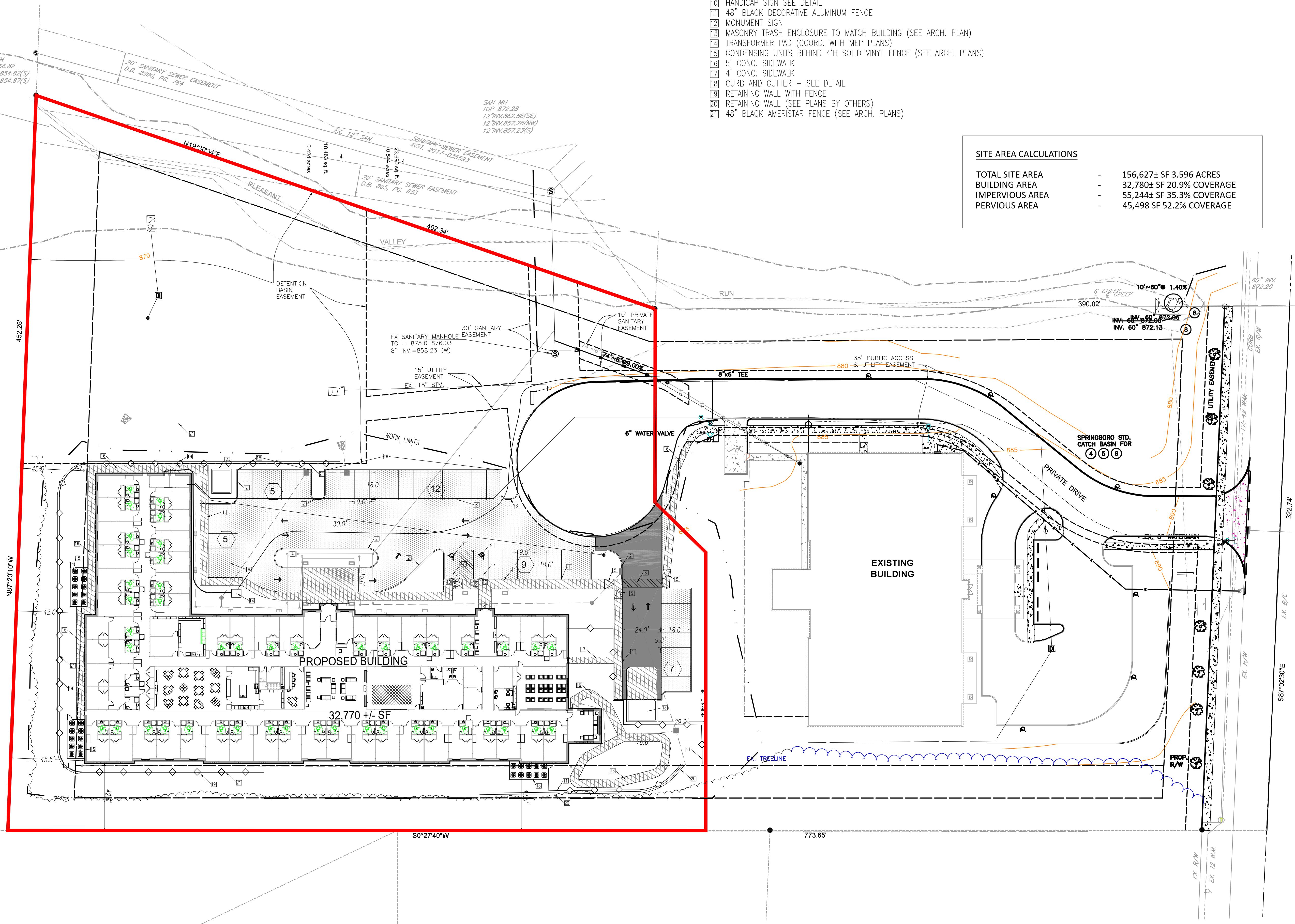
- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
- 2) RADIUS DIMENSIONS ARE TO FACE OF CURB OR FACE OF PAINT UNLESS OTHERWISE NOTED
- 3) SEE ARCHITECTURAL AND PLUMBING PLANS FOR UTILITY LOCATIONS AT PROPOSED BUILDING
- 4) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS
- 5) ALL CURB SHALL BE BARRIER CURB OR COMBINATION CURB AND GUTTER SEE DETAIL SHEET
- 6) CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR CURB UNDERDRAINS
- 7) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS
- 8) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC
- 9) SLOPE IN HANDICAP PARKING SPACE MAY NOT EXCEED 2.0% IN ANY DIRECTION
- 10) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WIT HA 1.0% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'.



### LEGEND

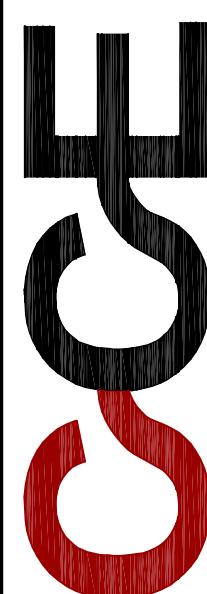
- 10 PARKING SPACE COUNT
- HEAVY DUTY PAVEMENT (SEE DETAIL SHEET)
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET)
- NEW CONCRETE

### REVISIONS



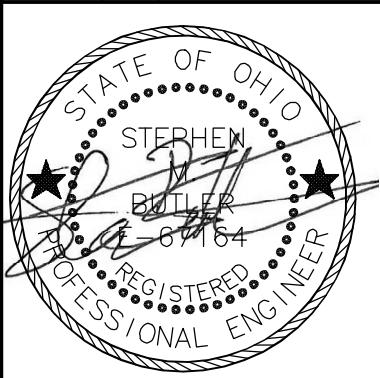
### PARKING REQUIREMENTS:

**PROFESSIONAL OFFICE**  
REQUIRED: 0.5 SPACES PER BED + 1 PER EMPLOYEE  
TOTAL BEDS = 48  
MAX SHIFT EMPLOYEES = 10  
PARKING REQUIRED = 34 SPACES  
PARKING PROVIDED: 38 INCL. 2 HC



### SITE PLAN

**THE RAVINE AT SETTLERS POINTE**  
1345 W LYTTLE FIVE POINTS ROAD  
CITY OF SPRINGBORO  
WARREN COUNTY, OHIO



Ohio Utilities Protection Service  
**Call 811**  
before you dig

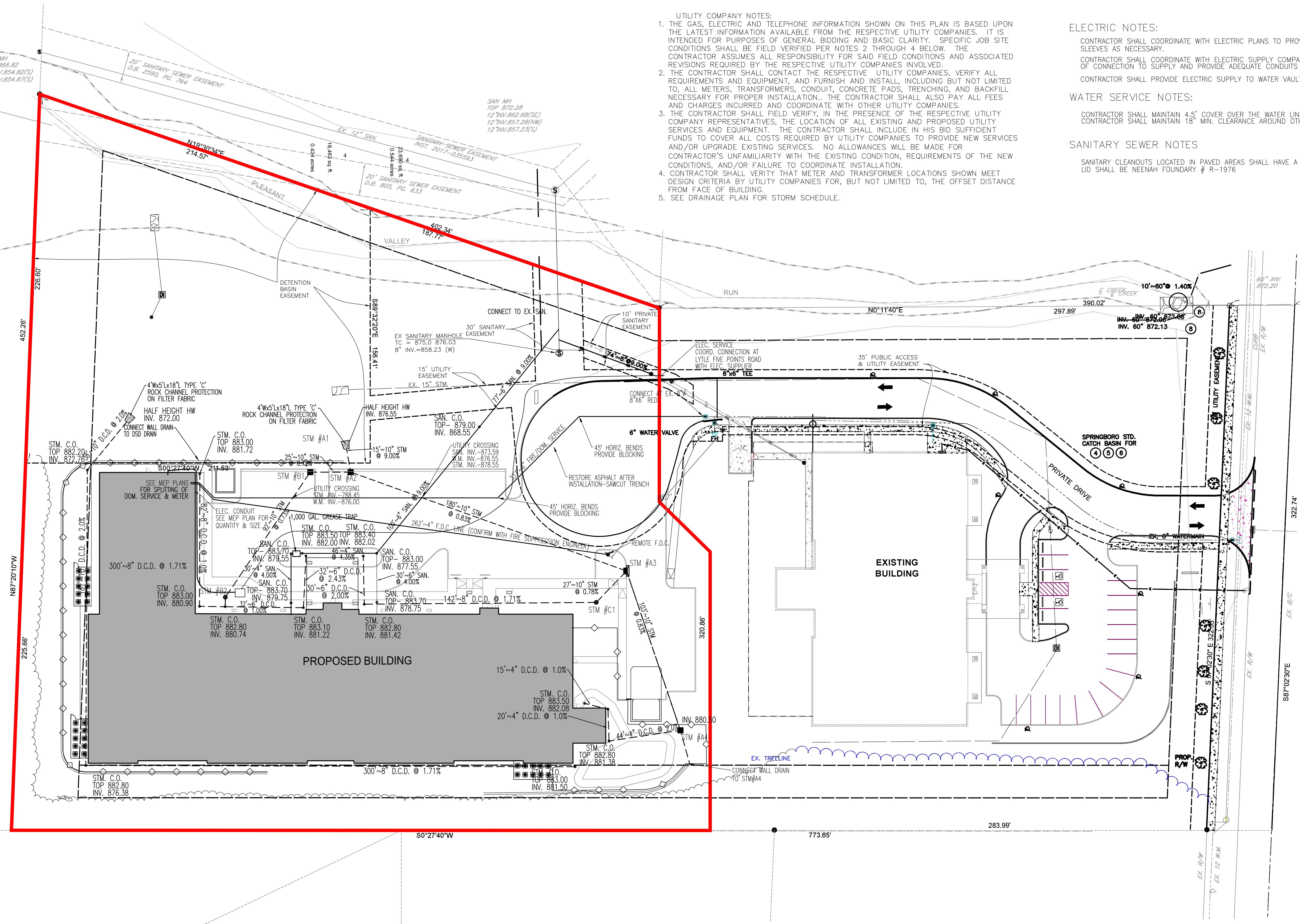
DESIGN: DATE: 09/20/2021  
SMB: DRAWN:  
CHECK:  
JOB #: 21-482  
**C3**

## UTILITY NOTES

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES, MEP & ARCH. PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
2. CLEAN OUTS LOCATED IN PAVED AREAS SHALL BE TRAFFIC RATED AND BE FLUSH WITH THE SURFACE.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL UTILITIES.
4. CONTRACTOR SHALL REFER TO DETAIL SHEET FOR TRENCHING DETAILS.
5. REFER TO SPRINGBORO STANDARD DRAWINGS AND SPECIFICATION FOR UTILITY CONNECTION AND GENERAL SITE DETAILS
6. 18" SEPARATION SHALL BE MAINTAINED BETWEEN OUTSIDE OF CONDUITS AT UTILITY CROSSINGS.

### UTILITY COMPANY NOTES:

1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
2. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUITS, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER UTILITY COMPANIES.
3. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
4. CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.
5. SEE DRAINAGE PLAN FOR STORM SCHEDULE.



## GRADING NOTES:

### GRADING LEGEND:

+ 663.05	EXISTING GRADE
63.00	TOP OF CURB
62.50	PAVEMENT GRADE
61.00	SPOT GRADES ON PAVEMENT/CONC/EOP
PVMT	OVERLAND DRAINAGE FLOW DIRECTION
—	WORK LIMIT
PVMT	PAVEMENT
CONC.	CONCRETE
HP	HIGH POINT
GND	GROUND
ASPH	ASPHALT

1. BEFORE STARTING GRADING OPERATIONS, SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).

2. BEFORE STARTING GRADING OPERATIONS, SEE LANDSCAPE PLAN AND SOILS REPORT FOR TREATMENT OF EXISTING GRADE.

3. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.

4. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS. STOCKPILE SUITABLE TOPSOILS FOR RESPRREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.

5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE, GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

6. ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

7. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPAKTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED .2% ABOVE NOR .3% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPAKCTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPAKTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.

8. EMBANKMENT SHALL BE COMPAKTED AND PLACED IN LAYERS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STORM SEWER.

9. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERENT FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERENT CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERENT FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERENT CONDITIONS.

10. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.

11. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREED PRIOR TO RESPRREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.

12. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.

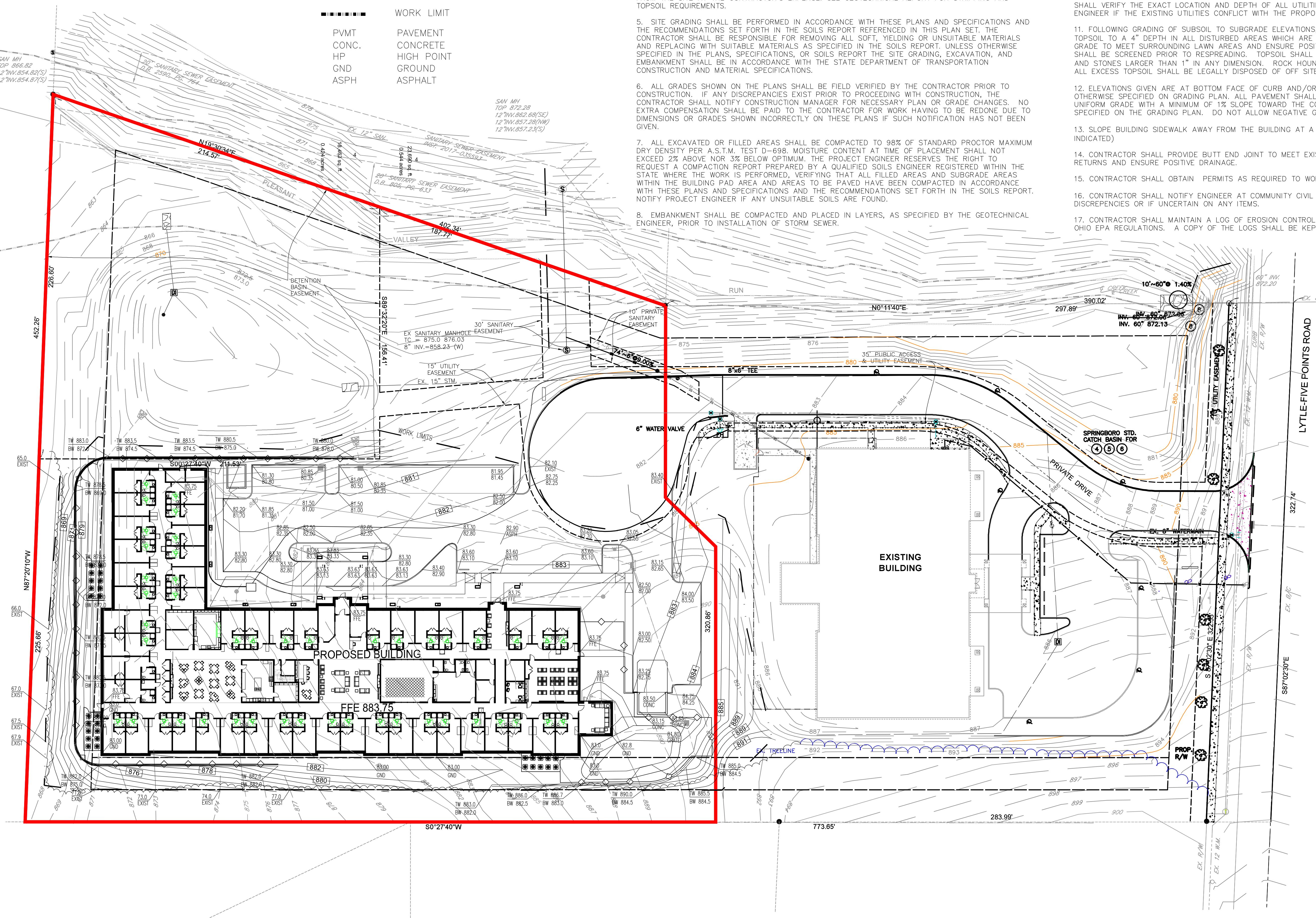
13. SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED).

14. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.

15. CONTRACTOR SHALL OBTAIN PERMITS AS REQUIRED TO WORK IN RIGHT-OF-WAY.

16. CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (937.490.9460) OF ANY DISCREPANCIES OR IF UNCERTAIN ON ANY ITEMS.

17. CONTRACTOR SHALL MAINTAIN A LOG OF EROSION CONTROL MAINTENANCE AND INSPECTION PER OHIO EPA REGULATIONS. A COPY OF THE LOGS SHALL BE KEPT ON-SITE.



# CCE

Community Civil Engineers, LLC

2440 DAYTON-XENIA ROAD, SUITE B

BLAVERCREEK, OHIO 45134

FAX: 937.490.9460

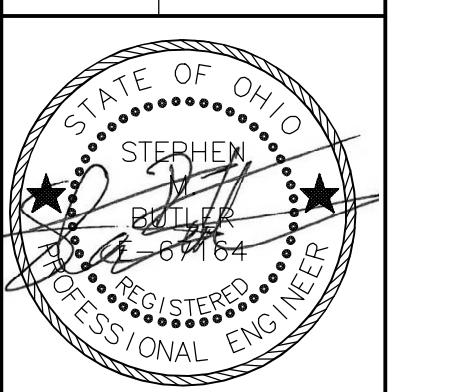
TEL: 937.490.9460

## GRADING PLAN

### THE RAVINE AT SETTLERS POINTE

### 1345 W LYCLE FIVE POINTS ROAD

CITY OF SPRINGFIELD  
WARREN COUNTY, OHIO



STATE OF OHIO  
STEPHEN  
PUBLISHED  
2014  
REGISTERED  
PROFESSIONAL  
ENGINEER

Ohio Utilities Protection Service  
**Call 811**  
before you dig

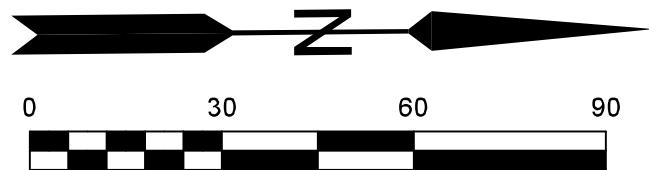
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DESIGN: DATE: 09/20/2021  
SMB: DRAWN:  
CHECK:  
JOB #: 21-482  
**C5**

REVISIONS



## STORM SEWER SYSTEM



PID : Date : Project : The Ravine at Settlers Location : Lytle Five Points Road  
Description : Storm Run 1 Designer : Stephen Butler

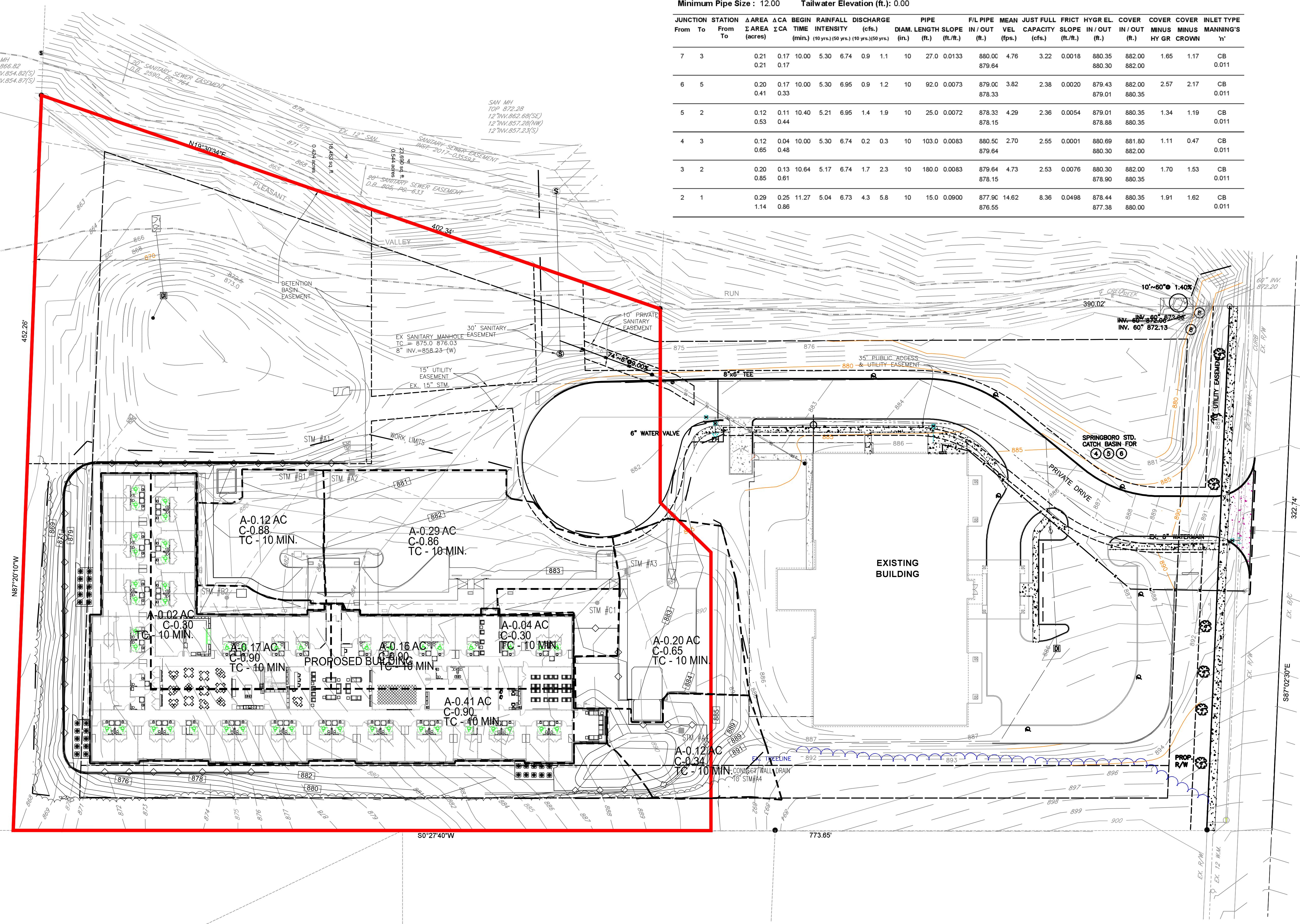
Rainfall Area: C Just Full Capacity Frequency (yrs.) : 10 Hydraulic Gradient Frequency (yrs.) : 50  
Minimum Pipe Size : 12.00 Tailwater Elevation (ft.): 0.00

JUNCTION STATION		AREA	ΔCA	BEGIN	RAINFALL	DISCHARGE	PIPE	F/L PIPE	MEAN	JUST FULL	FRIC	HYGR EL	COVER	COVER	COVER	INLET TYPE					
From	To	Σ AREA	Σ CA	TIME	INTENSITY	(cfs.)	DIAM.	LENGTH	SLOPE	VEL	CAPACITY	SLOPE	IN/OUT	IN/OUT	MINUS	MINUS	MANNING'S				
		(acres)		(min.)	(10 yrs.)	(50 yrs.)	(10 yrs.)	(50 yrs.)	(ft.)	(ft./ft.)	(cfs.)	(ft./ft.)	(ft.)	(ft.)	HY GR	CROWN	'n'				
7	3	0.21	0.17	10.00	5.30	6.74	0.9	1.1	10	27.0	0.0133	880.00	4.76	3.22	0.0018	880.35	882.00	1.65	1.17	CB	0.011
		0.21	0.17								879.64				880.30	882.00					
6	5	0.20	0.17	10.00	5.30	6.95	0.9	1.2	10	92.0	0.0073	879.00	3.82	2.38	0.0020	879.43	882.00	2.57	2.17	CB	0.011
		0.41	0.33								878.33				879.01	880.35					
5	2	0.12	0.11	10.40	5.21	6.95	1.4	1.9	10	25.0	0.0072	878.33	4.29	2.36	0.0054	879.01	880.35	1.34	1.19	CB	0.011
		0.53	0.44								878.15				878.88	880.35					
4	3	0.12	0.04	10.00	5.30	6.74	0.2	0.3	10	103.0	0.0083	880.50	2.70	2.55	0.0001	880.69	881.80	1.11	0.47	CB	0.011
		0.65	0.48								879.64				880.30	882.00					
3	2	0.20	0.13	10.64	5.17	6.74	1.7	2.3	10	180.0	0.0083	879.64	4.73	2.53	0.0076	880.30	882.00	1.70	1.53	CB	0.011
		0.85	0.61								878.15				878.90	880.35					
2	1	0.29	0.25	11.27	5.04	6.73	4.3	5.8	10	15.0	0.0900	877.90	14.62	8.36	0.0498	878.44	880.35	1.91	1.62	CB	0.011
		1.14	0.86								876.55				877.38	880.00					

## STORM SCHEDULE

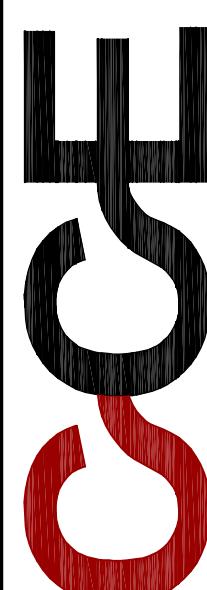
STM. #A1 HALF HEIGHT HW INV. 878.55	STM. #B1 ODOT 2-2B RIM 880.35 10" INV. 878.33
STM. #A2 ODOT 2-2B GRATE 880.35 10" INV. 877.90 (W) 10" INV. 878.15 (S,NE)	STM. #B2 YARD INLET GRATE 882.00 10" INV. 879.00 8" INV. 880.68
STM. #A3 CURB INLET GRATE 882.00 10" INV. 879.64	STM. #C1 YARD INLET TOP 882.00 10" INV. 880.00 8" INV. 880.00
STM. #A4 ODOT 2-2B GRATE 881.80 10" INV. 880.50	STM. #D1 CATCH BASIN 4" INV. 880.50

REVISIONS



## DRAINEAGE DATA

ALLOWED TRIBUTARY TO POND  
2.14 ACRES  
ALLOWED IMPERVIOUS  
1.40 ACRES  
PROPOSED TRIBUTARY TO POND  
1.64 ACRES  
PROPOSED IMPERVIOUS  
1.27 ACRES



Community Civil Engineers, LLC  
2440 DAYTON-XENIA ROAD, SUITE B  
BLAVERCREEK, OHIO 45134  
TEL. 937.490.9460 FAX 937.426.9796

## DRAINAGE PLAN

### THE RAVINE AT SETTLERS POINTE 1345 W LYCLE FIVE POINTS ROAD



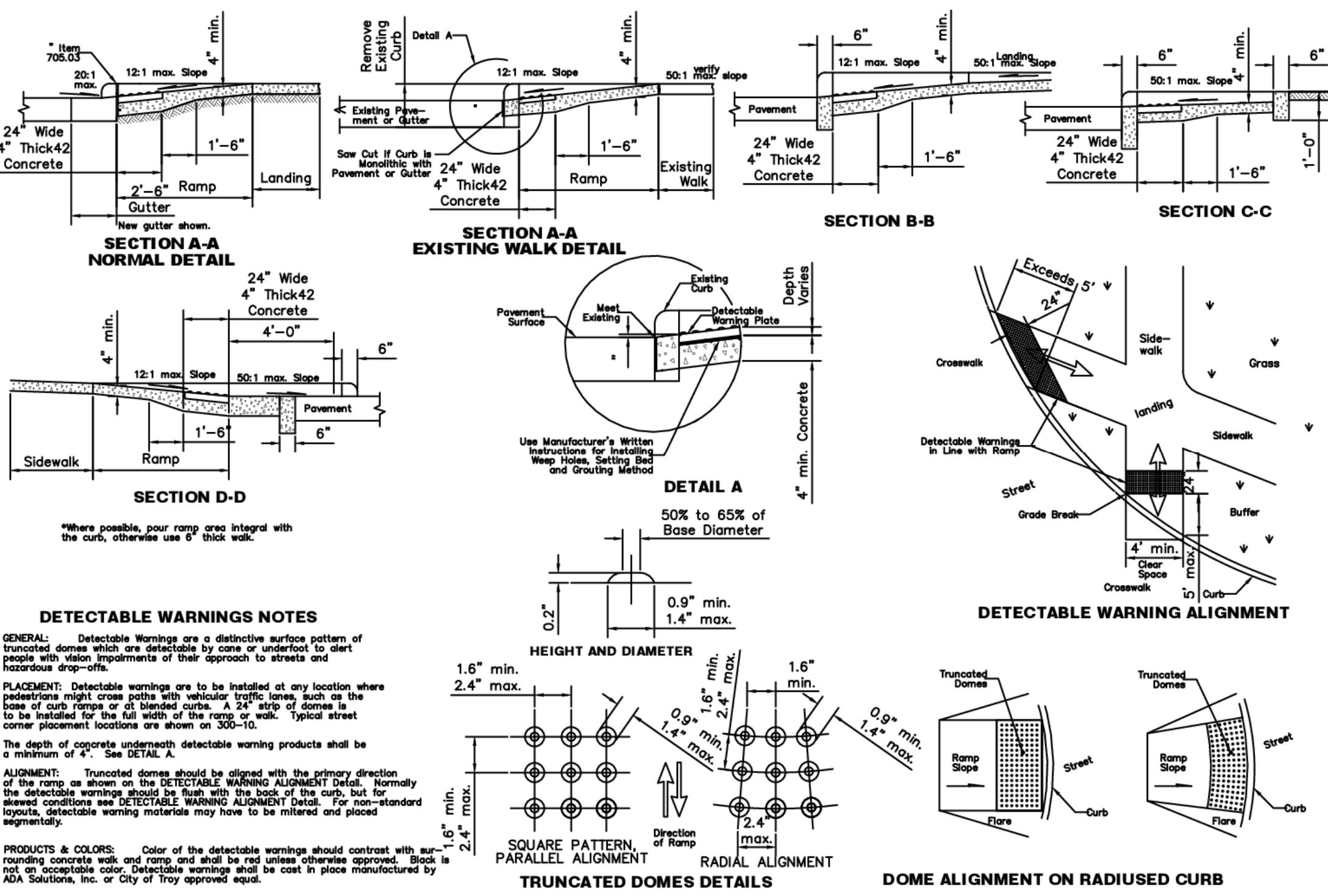
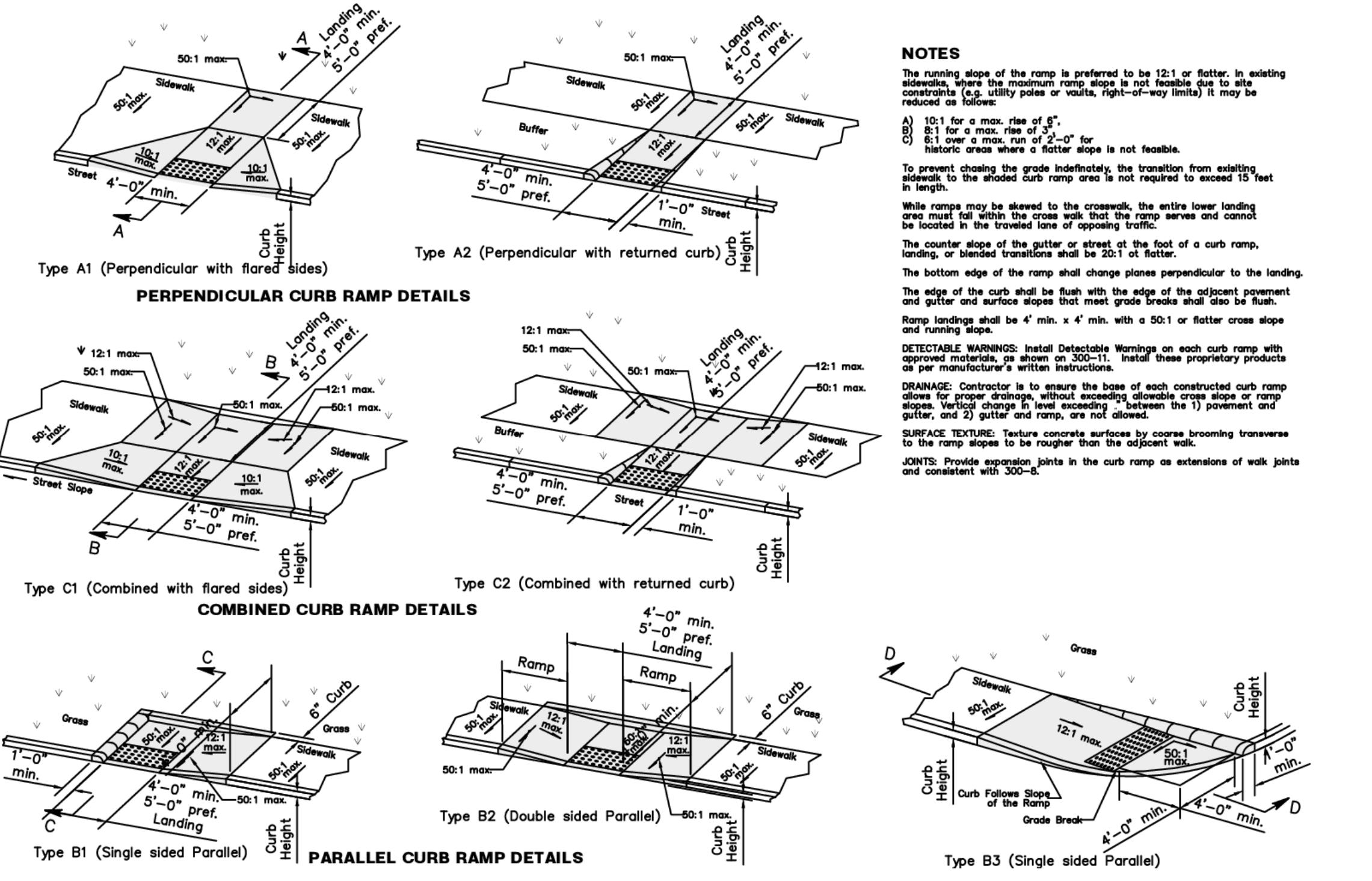
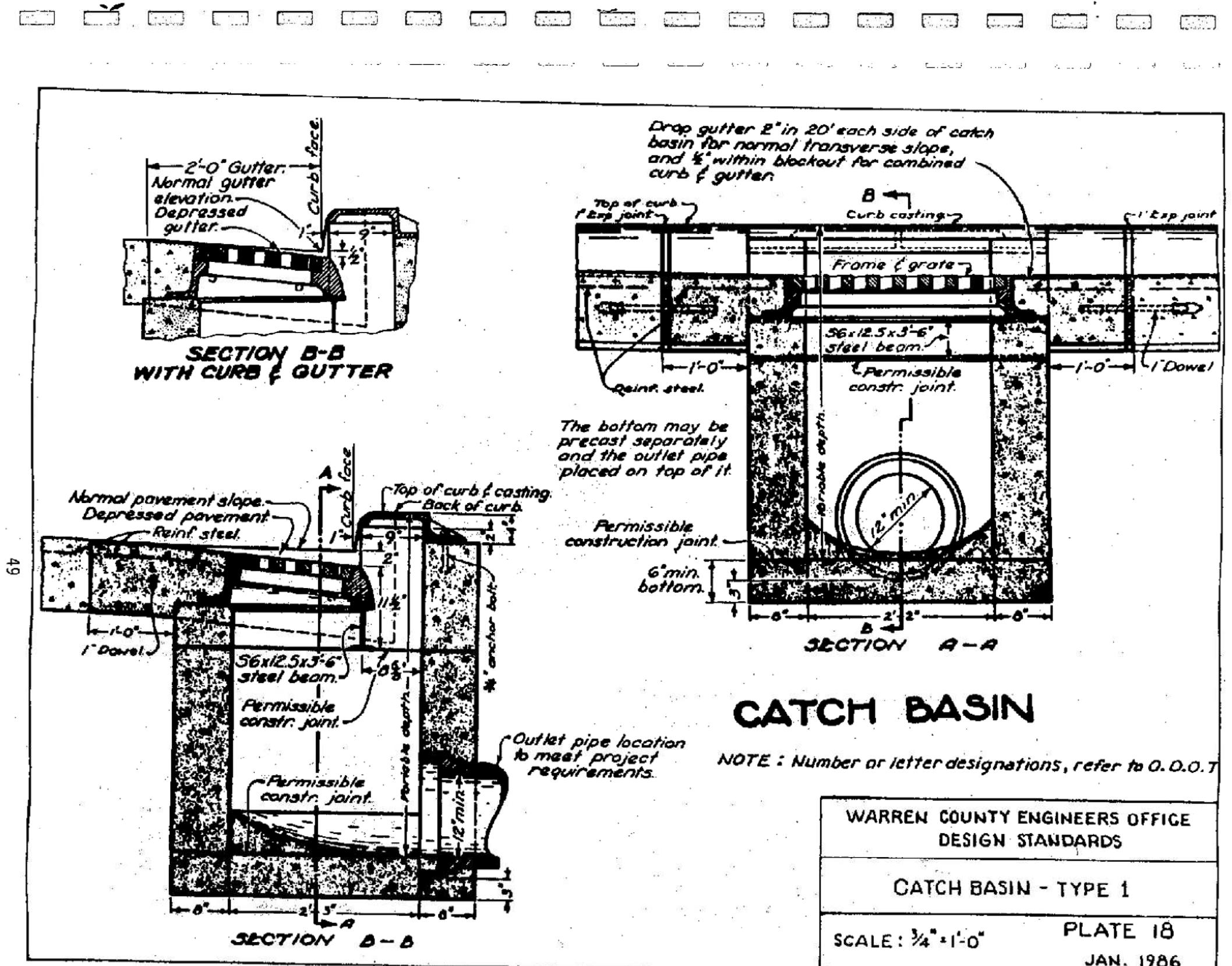
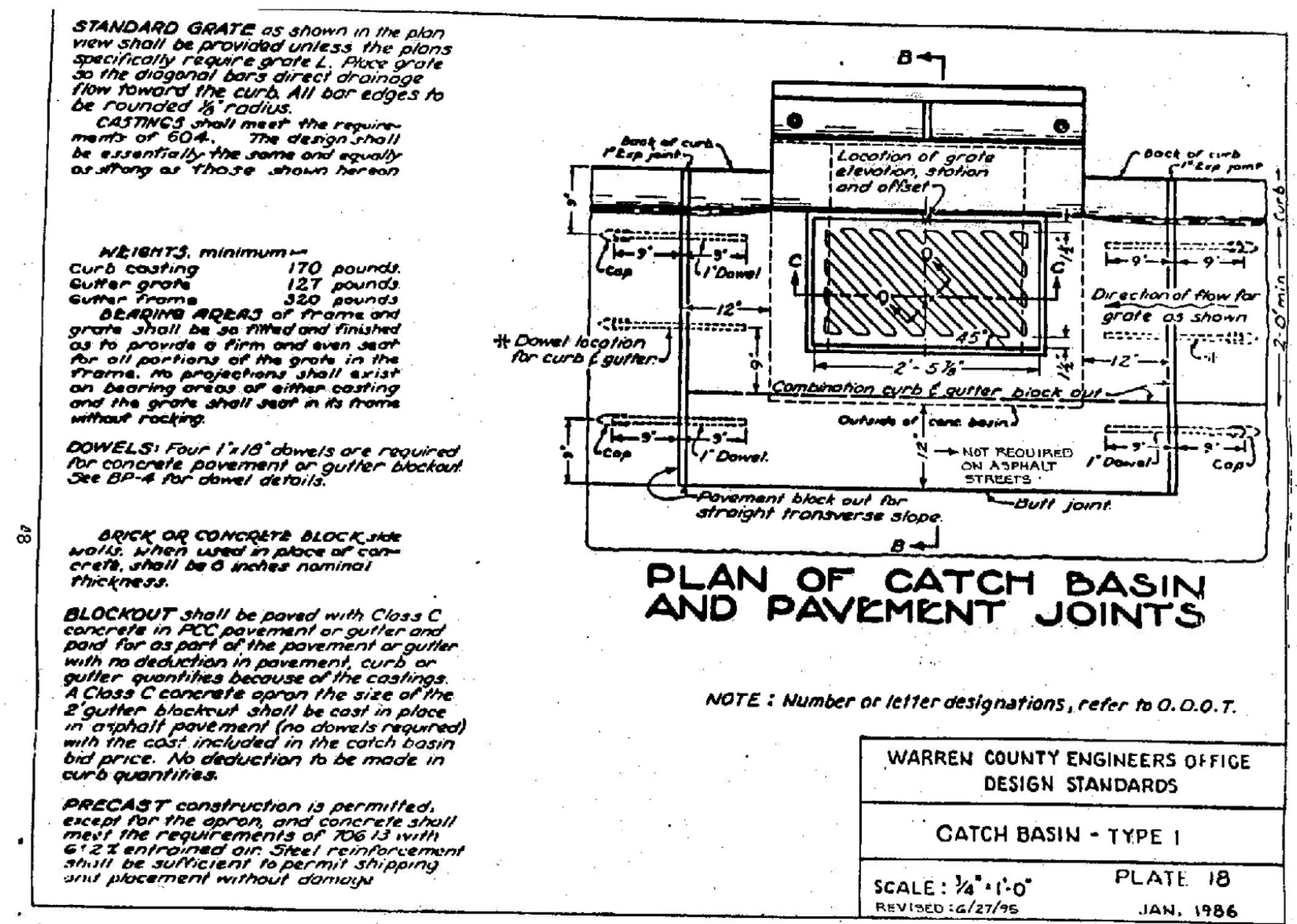
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 JOB #: C8  
 21-482





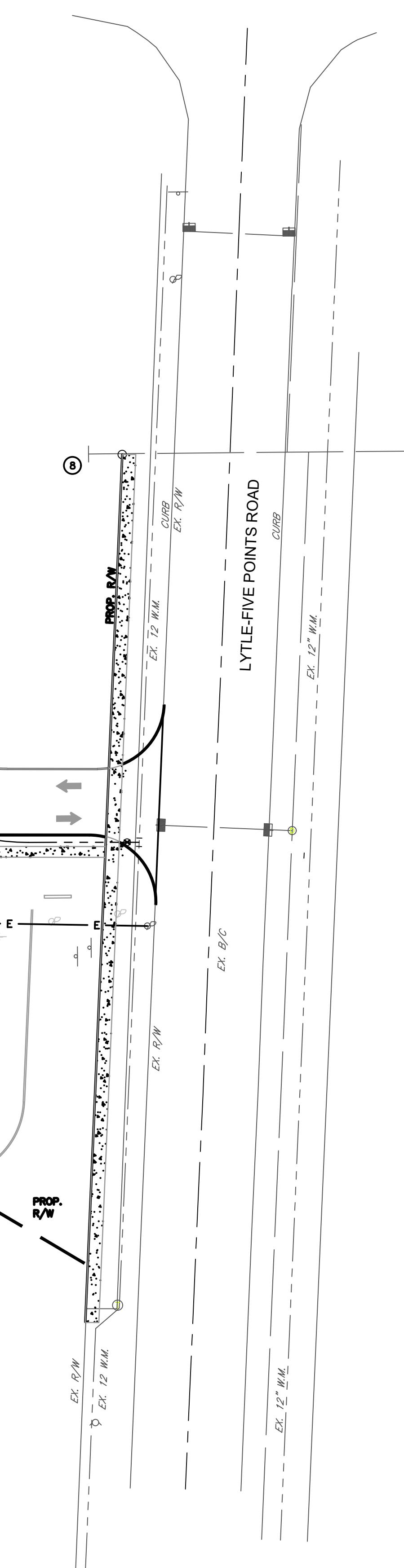
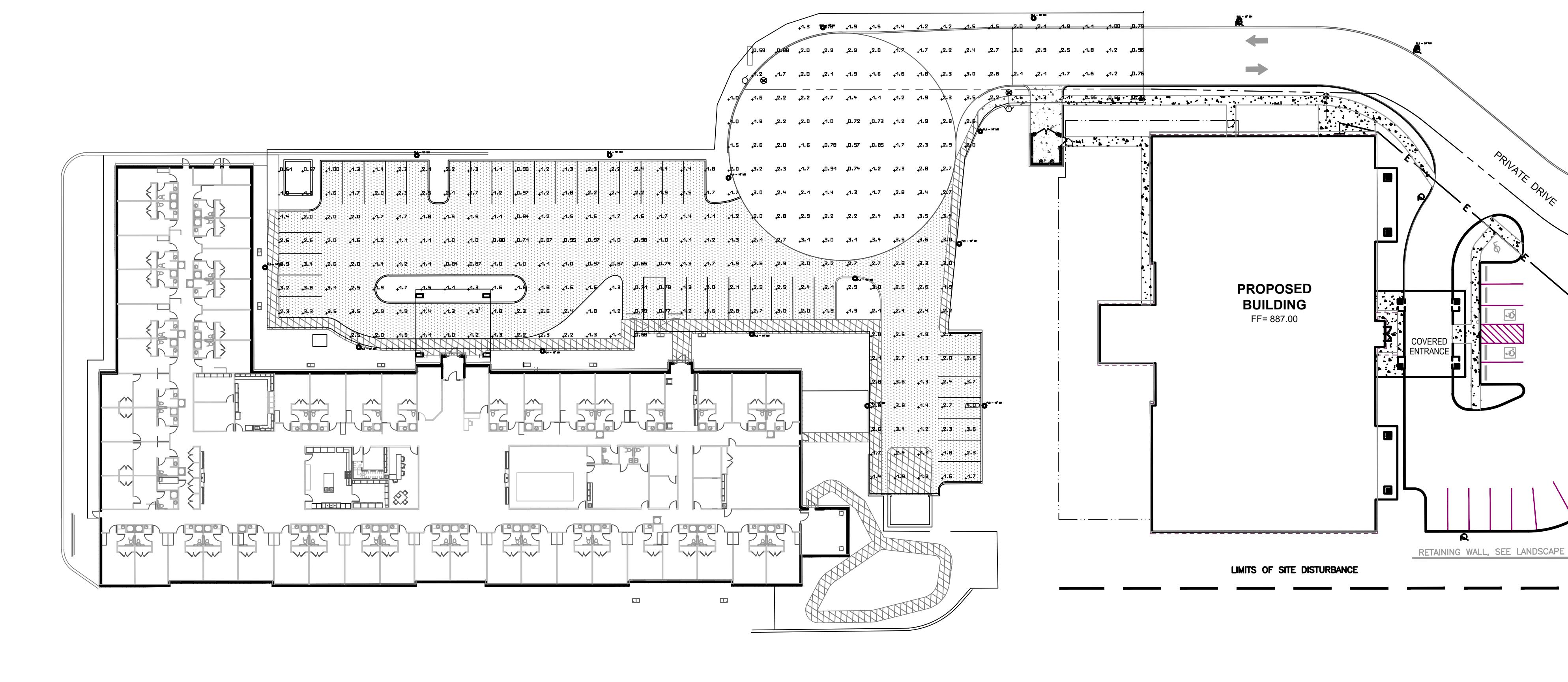
ALT Architecture Inc.  
Architecture - Engineering  
Interior Architecture - Planning

Suite B  
2440 Dayton-Kenia Road  
Beavercreek, Ohio 45434  
937 427 2770 voice  
937 426 9798 fax  
info@altarchitecture.com

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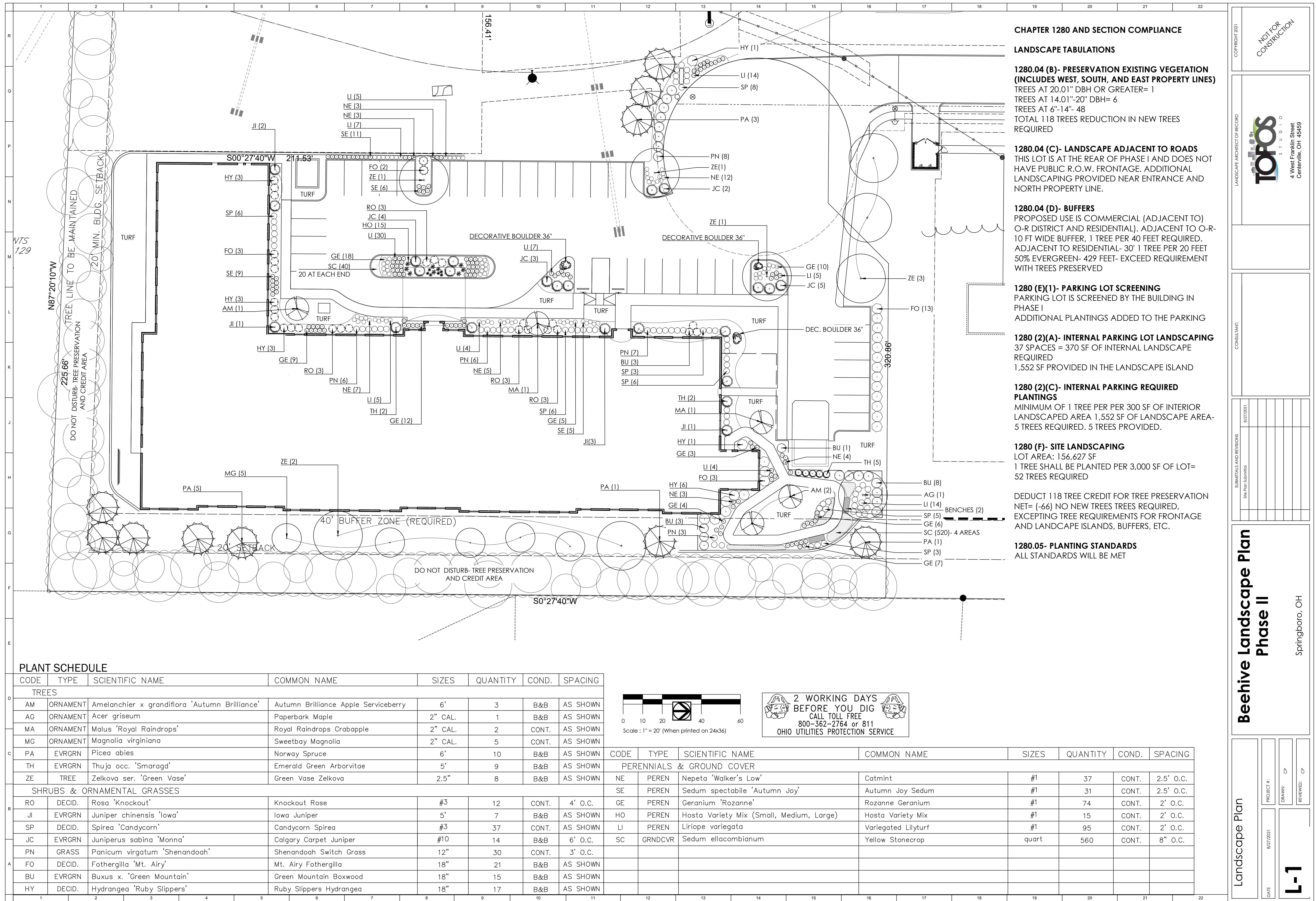
### NEW ASSISTED LIVING FACILITY

1345 W LYITLE-FIVE POINTS RD  
SPRINGBORO, OH 45066



### ELECTRICAL SITE PLAN

ES100







2021-09-23

City of Springboro  
320 West Central Avenue  
Springboro, OH 45066  
Attn.: Dan Boron City Planner  
Ref: 1345 Lytle Five Points Road  
The Ravine at Settlers Pointe  
Final Approval Submission for Site Plan Review  
Parking Variance Request

Sir:

In reference to the above project and as a confirmation of our request  
please note the following rationale:

parking required: 34  
parking requested: 38 (incl 2 HC spaces)

occupancy profile:

residents:	48	shift 1 7-3 PM	10
kit staff:	3	shift 2 3-11 PM	4
nurses:	3	shift 3 11-7 AM	3
aides:	4		

1. this will be all assisted living, no memory care.
2. visitors are more common for this care group.
3. visiting therapy services such as speech and other visiting testing specialties are more frequent.
4. in addition rehab of residents who may be shorter term is also a common element.
5. additional "visiting staff" is also common when a resident is being taken off campus for specialized treatments by "Meditrans" style non-emergency van transport.

From experience with the front building we've discovered that the regulated maximum is therefore tight at a couple times of the day. Even then the parking lot is almost empty after about 5:00 PM.

Please consider this request for this modest increase in parking spaces.

Regards,

A handwritten signature in blue ink, appearing to read "James M. Alt".

James M. Alt AIA NCARB MPE CBO

# GL1970 GALLERY SERIES

LED



EPA  
0.9 (ft<sup>2</sup>)  
WEIGHT  
56 LBS

7 YEAR  
WARRANTY

LUMEN  
RANGE  
6,670 to  
21,845  
@4000K

LUMEN  
MAINTENANCE  
L70 MINIMUM  
100,000  
HOURS

CLICK  
FOR FAQ's

RATED  
IP66

JOB NAME

---

Fixture Type

---

MEMO

---

## BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-GL1970-S-SRS-40L40T5-MDLO16-CA-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Luminaire	Shade Style	Housing	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

### Mounting Configuration

[\(Click here to link to mounting configuration specification page\)](#)

- W • 2A90 • 4A • SH44<sup>1</sup>
- A • 3A • 1AM • CH44<sup>1</sup>
- 2A • 3A90 • 2AM • CAT

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount  
SH = Stem Hung CH = Chain Hung CAT = Catenary

<sup>1</sup> Include overall drop length in inches after designation for Stem/Chain application (IE: CH44-48").

### Luminaire

- GL1970

### Shade Style

- S (Straight Edge)
- F (Flared Edge)
- B (Bell Edge)
- RR (Round with Round Rim)
- RF (Round with Flared Rim)
- RS (Round with Square Rim)

### Housing

- BFR (Base Fixture Round)
- BFS (Base Fixture Stepped)
- GRR (Glow Rings Round)
- GRS (Glow Rings Stepped)
- SRR (Solid Rings Round)
- SRS (Solid Rings Stepped)
- GWR (Glow Window Round)
- GWS (Glow Window Stepped)

### LED

- 16L<sup>2</sup> • 24L<sup>3</sup> • 32L<sup>2</sup> • 40L<sup>4</sup>

<sup>2</sup> Only available with MD\_O12.

<sup>3</sup> Only available with MD\_O10 and MD\_O14.

<sup>4</sup> Only available with MD\_O12 and MD\_O16.

### CCT - Color Temperature (K)

- 27(00) • 30(00) • 35(00)
- 40(00) • 50(00)

### Type

- T2 • T3 • T4 • T5

### Driver

- MDLO10 (120V-277V, 100mA)
- MDHO10 (347V-480V, 100mA)
- MDLO12 (120V-277V, 120mA)

- MDHO12 (347V-480V, 120mA)
- MDLO14 (120V-277V, 140mA)
- MDHO14 (347V-480V, 140mA)
- MDLO16 (120V-277V, 160mA)
- MDHO16 (347V-480V, 160mA)

### Lens

- CA (Clear Acrylic)
- SA (Sag Acrylic)
- SV1 (Flat Soft Vue Light Diffused Acrylic Lens)
- SV2 (Flat Soft Vue Moderate Diffused Acrylic Lens)
- SV4 (Flat Soft Vue Maximum Diffused Acrylic)
- SVISA (Soft Vue Light Diffused Sag Acrylic)
- SV2SA (Soft Vue Moderate Diffused Sag Acrylic)
- SV4SA (Soft Vue Maximum Diffused Sag Acrylic)

### Options (Click here to view accessories sheet)

- R7<sup>5</sup> 7-Pin control receptacle only
- PE<sup>6</sup> Twist-Lock Photocontrol (120V-277V)
- PE3<sup>6</sup> Twist-Lock Photocontrol (347V)
- PE4<sup>6</sup> Twist-Lock Photocontrol (480V)
- SC<sup>6</sup> Shorting Cap
- PEC Electronic Button Photocontrol (120V-277V)
- PEC4 Electronic Button Photocontrol (480V)
- FHD<sup>7</sup> Double Fuse and Holder
- HSHS Standard Horizontal Hangstraight, Spike Finial
- HSHN Standard Horizontal Hangstraight, No Finial
- HSHB Standard Horizontal Hangstraight, Ball Finial
- EZ Vertical Hangstraight, "EZ" Mount
- HSS 120° House Side Shield
- BLOC<sup>8</sup> Back Light Optical Control

<sup>5</sup> Only available with HSH\_

<sup>6</sup> Requires R7 control receptacle.

<sup>7</sup> Ships loose for installation in base.

<sup>8</sup> Only available with T2, T3 and T4.

### Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- CA • CSA • FFA • R2<sup>9</sup>
- DAG • RA • CAS • R3<sup>9</sup>

<sup>9</sup> Luminaires above grade height to be 2' higher than pole height, REQUIRES "EZ" hangstraight.

### Pole (Click here to link to pole specification page)

See Pole specification sheets.

### Finish

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Urban Gun Metal Textured
- UGM Urban Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- ULBT Urban Light Bronze Textured
- ULB Urban Light Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte
- UCHS Urban Champagne Satin Smooth
- BKT Black Textured

### Custom Urban Finishes<sup>10</sup>

- CM Custom Match

<sup>10</sup> Smooth finishes are available upon request.

## Specifications

### Luminaire

The Gallery GL1970 series is a large scale, decorative pendant luminaire with a cast aluminum driver housing and spun aluminum shades. The housing is available in two styles (Stepped and Round), each with 4 variations (BF\_, GR\_, SR\_ and GW\_). The shades are available in six styles: Straight (S), Flared (F), Bell (B), Round with Round rim (RR), Round with Flared rim (RF), and Round with Square rim (RS). The luminaire dimensions vary depending on shade/housing options selected (see page 3 of specification sheet for details). The Luminaire shall be UL listed in US and Canada.

### LEDs

The luminaire shall use high output, high brightness LEDs. The LEDs are mounted to maximize thermal transfer to the heat sink surface. The LEDs shall be 100% recyclable; not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. Lumen maintenance shall be determined in accordance with IESNA TM-21, based on LED manufacturer LM-80 test data of no less than 6,000 hours and in-situ testing of the luminaire by an NVLAP accredited Energy Efficient

*See next page*



SternbergLighting

ESTABLISHED 1923

800-621-3376

555 Lawrence Ave., Roselle, IL 60172

[contactus@sternberglighting.com](mailto:contactus@sternberglighting.com)

[www.sternberglighting.com](http://www.sternberglighting.com)

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# GL1970 GALLERY SERIES

LED

Lighting Products lab. The high-performance white LEDs will have a predicted lumen depreciation of approximately 100,000 hours with greater than 70% of initial output at 25°C. The high-brightness, high-output white LEDs shall be 4000K nominal (2700K, 3000K, 3500K or 5000K optional) correlated color temperature (CCT) with a 70 (minimum) color rendering index (CRI). Consult factory for custom CCT or CRI. The luminaire shall have a minimum \_\_\_\_\_ (see table) delivered initial lumens when operated at steady state with an average ambient temperature of 25°C (77°F).

## Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type \_\_\_\_\_ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

## Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10V signal, consult factory for more information.

## Photocontrols

**Button Style:** The photocontrol shall be mounted on the fixture and pre-wired to driver.

The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. See pole spec sheet for pole mounted version.

**Twist-Lock Style:** The photocontrol shall be mounted externally on the hangstraight and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles.

## Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

## Finish

Refer to website for details.

## Performance

MODEL #	T2 LUMENS	BUG	EFFICACY (LPW)	T3 LUMENS	BUG	EFFICACY (LPW)	T4 LUMENS	BUG	EFFICACY (LPW)	T5 LUMENS	BUG	EFFICACY (LPW)	WATTS
40L40T_MDL016	21710	B3U0G3	124.8	21240	B3U0G3	122.1	21105	B3U0G3	121.3	21845	B4U0G2	125.5	174
40L30T_MDL016	20700	B3U0G3	119.0	20250	B3U0G3	116.4	20125	B3U0G3	115.7	20830	B4U0G2	119.7	174
40L27T_MDL016	18715	B3U0G3	107.6	18310	B3U0G3	105.2	18195	B3U0G3	104.6	18830	B4U0G2	108.2	174
40L40T_MDL012	17040	B3U0G3	137.4	16510	B3U0G3	133.1	16530	B3U0G3	133.3	17155	B4U0G2	138.3	124
40L30T_MDL012	16245	B3U0G3	131.0	15740	B3U0G3	126.9	15760	B3U0G3	127.1	16355	B4U0G2	131.9	124
40L27T_MDL012	14690	B3U0G3	118.5	14235	B3U0G3	114.8	14250	B3U0G3	114.9	14790	B4U0G2	119.3	124
32L40T_MDL012	13650	B2U0G2	136.5	13290	B3U0G3	132.9	13300	B2U0G2	133.0	13840	B3U0G2	138.4	100
32L30T_MDL012	13015	B2U0G2	130.2	12670	B3U0G3	126.7	12680	B2U0G2	126.8	13195	B3U0G2	132.0	100
32L27T_MDL012	11765	B2U0G2	117.7	11455	B3U0G3	114.6	11465	B2U0G2	114.7	11930	B3U0G2	119.3	100
24L40T_MDL014	11535	B2U0G2	131.1	11275	B2U0G2	128.1	11270	B2U0G2	128.1	11650	B3U0G2	132.4	88
24L30T_MDL014	11000	B2U0G2	125.0	10750	B2U0G2	122.2	10745	B2U0G2	122.1	11110	B3U0G2	126.3	88
24L27T_MDL014	9945	B2U0G2	113.0	9720	B2U0G2	110.5	9715	B2U0G2	110.4	10045	B3U0G2	114.1	88
24L40T_MDL010	8950	B2U0G2	144.4	8440	B2U0G2	136.1	8445	B2U0G2	136.2	8690	B3U0G1	140.2	62
24L30T_MDL010	8535	B2U0G2	137.7	8045	B2U0G2	129.8	8050	B2U0G2	129.8	8285	B3U0G1	133.6	62
24L27T_MDL010	7715	B2U0G2	124.4	7275	B2U0G2	117.3	7280	B2U0G2	117.4	7490	B3U0G1	120.8	62
16L40T_MDL012	6815	B1U0G1	133.6	6670	B2U0G2	130.8	6690	B1U0G2	131.2	6860	B3U0G1	134.5	51
16L30T_MDL012	6500	B1U0G1	127.5	6360	B2U0G2	124.7	6380	B1U0G2	125.1	6540	B3U0G1	128.2	51
16L27T_MDL012	5875	B1U0G1	115.2	5750	B2U0G2	112.7	5765	B1U0G2	113.0	5915	B3U0G1	116.0	51



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# GL1970 GALLERY SERIES

LED

## Shade Style



Straight Edge (S)



Flared Edge (F)



Bell Edge (B)



Round with Round Rim (RR)



Round with Flared Rim (RF)



Round with Square Rim (RS)

## Dimensions

GL1970	SHADE	S	F	B	RF	RR	RS
HOUSING	Diameter	23.9"	23.9"	26"	25"	24.5"	23.8"
BF_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GW_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
SR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"



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# GL1970 GALLERY SERIES

LED

## Housing - Stepped



Base Fixture Stepped (BFS)



Glow Window Stepped (GWS)



Solid Rings Stepped (SRS)



Glow Rings Stepped (GRS)



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# GL1970 GALLERY SERIES

LED

## Housing - Round



Base Fixture Round (BFR)



Glow Window Round (GWR)



Solid Rings Round (SRR)



Glow Rings Round (GRR)



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# GL1970 GALLERY SERIES

LED



EPA  
0.9 (ft<sup>2</sup>)  
WEIGHT  
56 LBS

7 YEAR  
WARRANTY

LUMEN  
RANGE  
6,670 to  
21,845  
@4000K

LUMEN  
MAINTENANCE  
L70 MINIMUM  
100,000  
HOURS

CLICK  
FOR FAQ's

RATED  
IP66

JOB NAME

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Fixture Type

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MEMO

---

## BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-GL1970-S-SRS-40L40T5-MDLO16-CA-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Luminaire	Shade Style	Housing	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

### Mounting Configuration

[\(Click here to link to mounting configuration specification page\)](#)

- **W** • 2A90 • 4A • SH44<sup>1</sup>
- **A** • 3A • 1AM • CH44<sup>1</sup>
- **2A** • 3A90 • 2AM • CAT

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount  
SH = Stem Hung CH = Chain Hung CAT = Catenary

<sup>1</sup> Include overall drop length in inches after designation for Stem/Chain application (IE: CH44-48").

### Luminaire

- **GL1970**

### Shade Style

- **S** (Straight Edge)
- F (Flared Edge)
- B (Bell Edge)
- RR (Round with Round Rim)
- RF (Round with Flared Rim)
- RS (Round with Square Rim)

### Housing

- **BFR** (Base Fixture Round)
- **BFS** (Base Fixture Stepped)
- **GRR** (Glow Rings Round)
- **GRS** (Glow Rings Stepped)
- **SRR** (Solid Rings Round)
- **SRS** (Solid Rings Stepped)
- **GWR** (Glow Window Round)
- **GWS** (Glow Window Stepped)

### LED

- **16L<sup>2</sup>** • 24L<sup>3</sup> • 32L<sup>2</sup> • 40L<sup>4</sup>

<sup>2</sup> Only available with MD\_O12.

<sup>3</sup> Only available with MD\_O10 and MD\_O14.

<sup>4</sup> Only available with MD\_O12 and MD\_O16.

### CCT - Color Temperature (K)

- 27(00) • 30(00) • 35(00)
- **40(00)** • 50(00)

### Type

- T2 • T3 • **T4** • T5

### Driver

- **MDLO10** (120V-277V, 100mA)
- **MDHO10** (347V-480V, 100mA)
- **MDLO12** (120V-277V, 120mA)

- **MDHO12** (347V-480V, 120mA)
- **MDLO14** (120V-277V, 140mA)
- **MDHO14** (347V-480V, 140mA)
- **MDLO16** (120V-277V, 160mA)
- **MDHO16** (347V-480V, 160mA)

### Lens

- **CA** (Clear Acrylic)
- **SA** (Sag Acrylic)
- **SV1** (Flat Soft Vue Light Diffused Acrylic Lens)
- **SV2** (Flat Soft Vue Moderate Diffused Acrylic Lens)
- **SV4** (Flat Soft Vue Maximum Diffused Acrylic)
- **SVISA** (Soft Vue Light Diffused Sag Acrylic)
- **SV2SA** (Soft Vue Moderate Diffused Sag Acrylic)
- **SV4SA** (Soft Vue Maximum Diffused Sag Acrylic)

### Options (Click here to view accessories sheet)

- **R7<sup>5</sup>** 7-Pin control receptacle only
- **PE<sup>6</sup>** Twist-Lock Photocontrol (120V-277V)
- **PE3<sup>6</sup>** Twist-Lock Photocontrol (347V)
- **PE4<sup>6</sup>** Twist-Lock Photocontrol (480V)
- **SC<sup>6</sup>** Shorting Cap
- **PEC** Electronic Button Photocontrol (120V-277V)
- **PEC4** Electronic Button Photocontrol (480V)
- **FHD<sup>7</sup>** Double Fuse and Holder
- **HSHS** Standard Horizontal Hangstraight, Spike Finial
- **HSHN** Standard Horizontal Hangstraight, No Finial
- **HSHB** Standard Horizontal Hangstraight, Ball Finial
- **EZ** Vertical Hangstraight, "EZ" Mount
- **HSS** 120° House Side Shield
- **BLOC<sup>8</sup>** Back Light Optical Control

<sup>5</sup> Only available with HSH\_

<sup>6</sup> Requires R7 control receptacle.

<sup>7</sup> Ships loose for installation in base.

<sup>8</sup> Only available with T2, T3 and T4.

### Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- **CA** • **CSA** • **FFA** • **R2<sup>9</sup>**
- **DAG** • **RA** • **CAS** • **R3<sup>9</sup>**

<sup>9</sup> Luminaires above grade height to be 2' higher than pole height, REQUIRES "EZ" hangstraight.

### Pole (Click here to link to pole specification page)

See Pole specification sheets.

### Finish

**Standard Urban Finishes** [\(Click here to view paint finish sheet\)](#)

- **UGMT** Urban Gun Metal Textured
- **UGM** Urban Gun Metal Matte
- **UBT** Urban Bronze Textured
- **UB** Urban Bronze Matte
- **ULBT** Urban Light Bronze Textured
- **ULB** Urban Light Bronze Matte
- **USLT** Urban Silver Textured
- **USL** Urban Silver Matte
- **UWHT** Urban White Textured
- **UWH** Urban White Matte
- **UCHS** Urban Champagne Satin Smooth
- **BKT** Black Textured

### Custom Urban Finishes<sup>10</sup>

- **CM** Custom Match

<sup>10</sup> Smooth finishes are available upon request.

## Specifications

### Luminaire

The Gallery GL1970 series is a large scale, decorative pendant luminaire with a cast aluminum driver housing and spun aluminum shades. The housing is available in two styles (Stepped and Round), each with 4 variations (BF\_, GR\_, SR\_ and GW\_). The shades are available in six styles: Straight (S), Flared (F), Bell (B), Round with Round rim (RR), Round with Flared rim (RF), and Round with Square rim (RS). The luminaire dimensions vary depending on shade/housing options selected (see page 3 of specification sheet for details). The Luminaire shall be UL listed in US and Canada.

### LEDs

The luminaire shall use high output, high brightness LEDs. The LEDs are mounted to maximize thermal transfer to the heat sink surface. The LEDs shall be 100% recyclable; not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. Lumen maintenance shall be determined in accordance with IESNA TM-21, based on LED manufacturer LM-80 test data of no less than 6,000 hours and in-situ testing of the luminaire by an NVLAP accredited Energy Efficient

*See next page*



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800-621-3376

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# GL1970 GALLERY SERIES

LED

Lighting Products lab. The high-performance white LEDs will have a predicted lumen depreciation of approximately 100,000 hours with greater than 70% of initial output at 25°C. The high-brightness, high-output white LEDs shall be 4000K nominal (2700K, 3000K, 3500K or 5000K optional) correlated color temperature (CCT) with a 70 (minimum) color rendering index (CRI). Consult factory for custom CCT or CRI. The luminaire shall have a minimum \_\_\_\_\_ (see table) delivered initial lumens when operated at steady state with an average ambient temperature of 25°C (77°F).

## Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type \_\_\_\_\_ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

## Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10V signal, consult factory for more information.

## Photocontrols

**Button Style:** The photocontrol shall be mounted on the fixture and pre-wired to driver.

The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. See pole spec sheet for pole mounted version.

**Twist-Lock Style:** The photocontrol shall be mounted externally on the hangstraight and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles.

## Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

## Finish

Refer to website for details.

## Performance

MODEL #	T2 LUMENS	BUG	EFFICACY (LPW)	T3 LUMENS	BUG	EFFICACY (LPW)	T4 LUMENS	BUG	EFFICACY (LPW)	T5 LUMENS	BUG	EFFICACY (LPW)	WATTS
40L40T_MDL016	21710	B3U0G3	124.8	21240	B3U0G3	122.1	21105	B3U0G3	121.3	21845	B4U0G2	125.5	174
40L30T_MDL016	20700	B3U0G3	119.0	20250	B3U0G3	116.4	20125	B3U0G3	115.7	20830	B4U0G2	119.7	174
40L27T_MDL016	18715	B3U0G3	107.6	18310	B3U0G3	105.2	18195	B3U0G3	104.6	18830	B4U0G2	108.2	174
40L40T_MDL012	17040	B3U0G3	137.4	16510	B3U0G3	133.1	16530	B3U0G3	133.3	17155	B4U0G2	138.3	124
40L30T_MDL012	16245	B3U0G3	131.0	15740	B3U0G3	126.9	15760	B3U0G3	127.1	16355	B4U0G2	131.9	124
40L27T_MDL012	14690	B3U0G3	118.5	14235	B3U0G3	114.8	14250	B3U0G3	114.9	14790	B4U0G2	119.3	124
32L40T_MDL012	13650	B2U0G2	136.5	13290	B3U0G3	132.9	13300	B2U0G2	133.0	13840	B3U0G2	138.4	100
32L30T_MDL012	13015	B2U0G2	130.2	12670	B3U0G3	126.7	12680	B2U0G2	126.8	13195	B3U0G2	132.0	100
32L27T_MDL012	11765	B2U0G2	117.7	11455	B3U0G3	114.6	11465	B2U0G2	114.7	11930	B3U0G2	119.3	100
24L40T_MDL014	11535	B2U0G2	131.1	11275	B2U0G2	128.1	11270	B2U0G2	128.1	11650	B3U0G2	132.4	88
24L30T_MDL014	11000	B2U0G2	125.0	10750	B2U0G2	122.2	10745	B2U0G2	122.1	11110	B3U0G2	126.3	88
24L27T_MDL014	9945	B2U0G2	113.0	9720	B2U0G2	110.5	9715	B2U0G2	110.4	10045	B3U0G2	114.1	88
24L40T_MDL010	8950	B2U0G2	144.4	8440	B2U0G2	136.1	8445	B2U0G2	136.2	8690	B3U0G1	140.2	62
24L30T_MDL010	8535	B2U0G2	137.7	8045	B2U0G2	129.8	8050	B2U0G2	129.8	8285	B3U0G1	133.6	62
24L27T_MDL010	7715	B2U0G2	124.4	7275	B2U0G2	117.3	7280	B2U0G2	117.4	7490	B3U0G1	120.8	62
16L40T_MDL012	6815	B1U0G1	133.6	6670	B2U0G2	130.8	6690	B1U0G2	131.2	6860	B3U0G1	134.5	51
16L30T_MDL012	6500	B1U0G1	127.5	6360	B2U0G2	124.7	6380	B1U0G2	125.1	6540	B3U0G1	128.2	51
16L27T_MDL012	5875	B1U0G1	115.2	5750	B2U0G2	112.7	5765	B1U0G2	113.0	5915	B3U0G1	116.0	51



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800-621-3376

555 Lawrence Ave., Roselle, IL 60172

[contactus@sternberglighting.com](mailto:contactus@sternberglighting.com)

[www.sternberglighting.com](http://www.sternberglighting.com)

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# GL1970 GALLERY SERIES

LED

## Shade Style



Straight Edge (S)



Flared Edge (F)



Bell Edge (B)



Round with Round Rim (RR)



Round with Flared Rim (RF)



Round with Square Rim (RS)

## Dimensions

GL1970	SHADE	S	F	B	RF	RR	RS
HOUSING	Diameter	23.9"	23.9"	26"	25"	24.5"	23.8"
BF_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GW_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
SR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"



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# GL1970 GALLERY SERIES

LED

## Housing - Stepped



Base Fixture Stepped (BFS)



Glow Window Stepped (GWS)



Solid Rings Stepped (SRS)



Glow Rings Stepped (GRS)



SternbergLighting

ESTABLISHED 1923

800-621-3376

555 Lawrence Ave., Roselle, IL 60172

[contactus@sternberglighting.com](mailto:contactus@sternberglighting.com)

[www.sternberglighting.com](http://www.sternberglighting.com)

8/21 STERNBERG LIGHTING. ALL RIGHTS RESERVED.

# GL1970 GALLERY SERIES

LED

## Housing - Round



Base Fixture Round (BFR)



Glow Window Round (GWR)



Solid Rings Round (SRR)



Glow Rings Round (GRR)



SternbergLighting

ESTABLISHED 1923

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# CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development  
Application No.: \_\_\_\_\_

Rezoning/General Plan  Final Development Plan  Record Plan  Revision

NAME OF DEVELOPMENT: ADVANCED DRIVE #3

DEVELOPER'S NAME: CINCINNATI COMMERCIAL CONTRACTING

Address: 4779 REDBANK EXPRESSWAY, CINCINNATI, OH 45227

Telephone No.: (513) 561-6633x107 Fax No.: (\_\_\_\_\_) \_\_\_\_\_

Email: CSTONE@CINCIGROUP.COM

OWNER'S NAME: SPRINGBORO ADVANCE LLC

Address: 4779 REDBANK EXPRESSWAY, CINCINNATI, OH 45227

Telephone No.: (513) 561-6633x107 Fax No.: (\_\_\_\_\_) \_\_\_\_\_

Email: CSTONE@CINCIGROUP.COM

LOCATION DESCRIPTION:

Project Location: WEST OF ADVANCED DRIVE

Parcel #: 04191760040 (If necessary, attach a legal description.)

Existing Land Use: VACANT SPACE

PUD FEATURES:

Total Area (acres): 3.55 AC Number of Lots: 1

Type of PUD:  Residential  Business  Office  Manufacturing

Mixed

If Mixed, acreage in each area: \_\_\_\_\_ Residential \_\_\_\_\_ Business \_\_\_\_\_ Manufacturing \_\_\_\_\_ Office

Proposed Density: \_\_\_\_\_ Proposed Number of Units: \_\_\_\_\_

Type of Units:

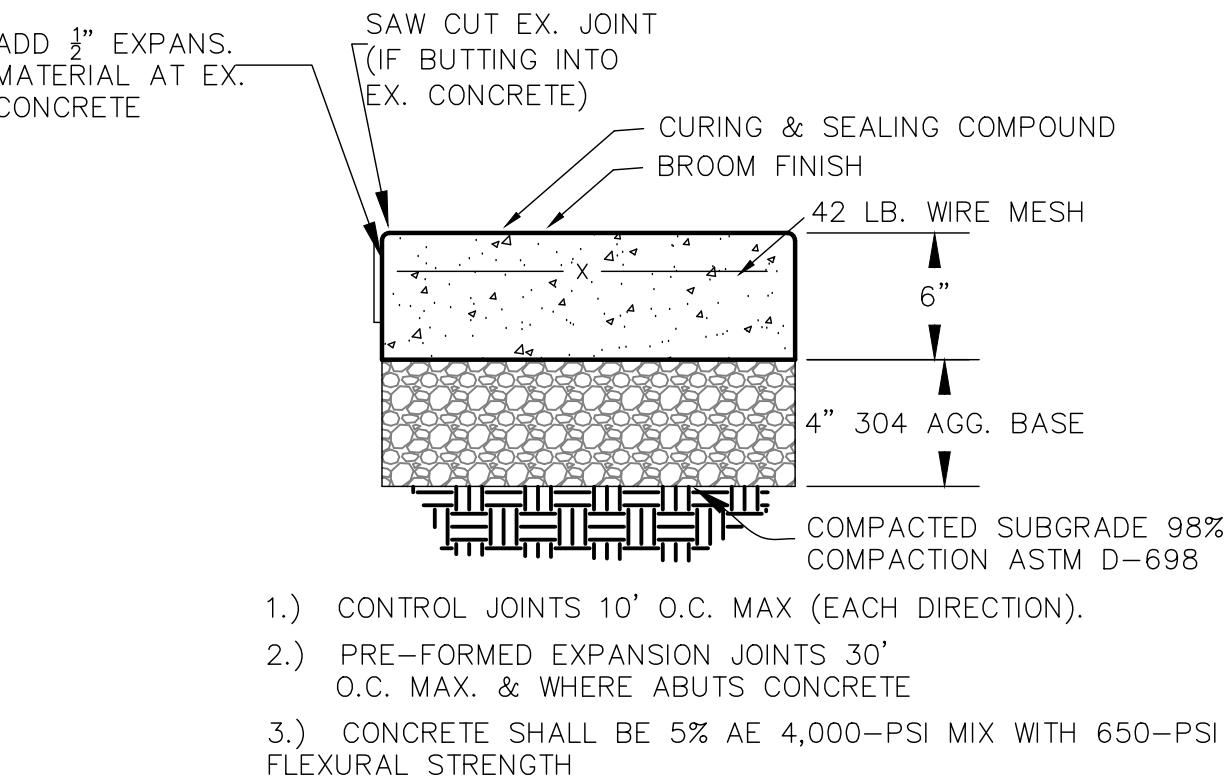
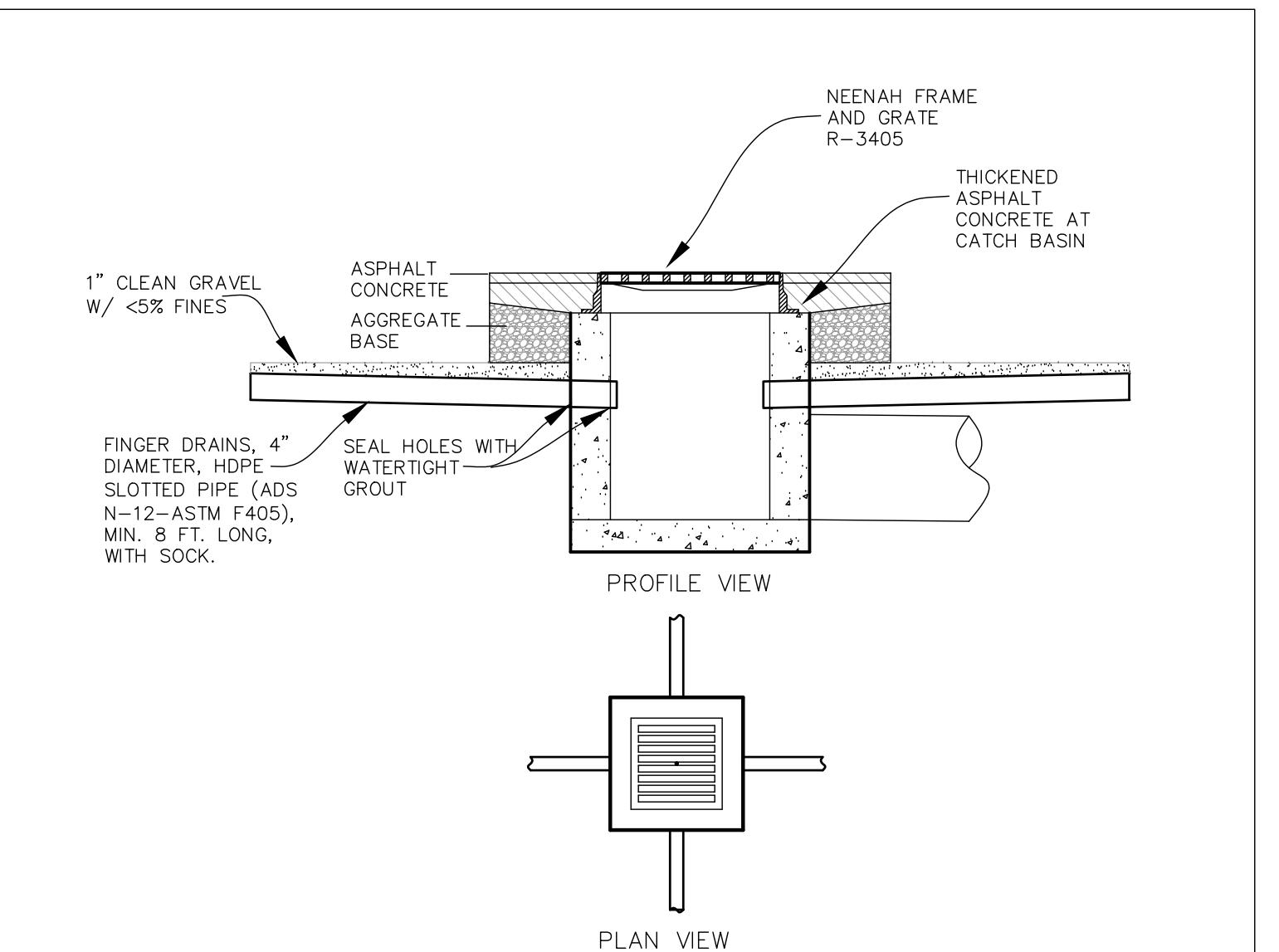
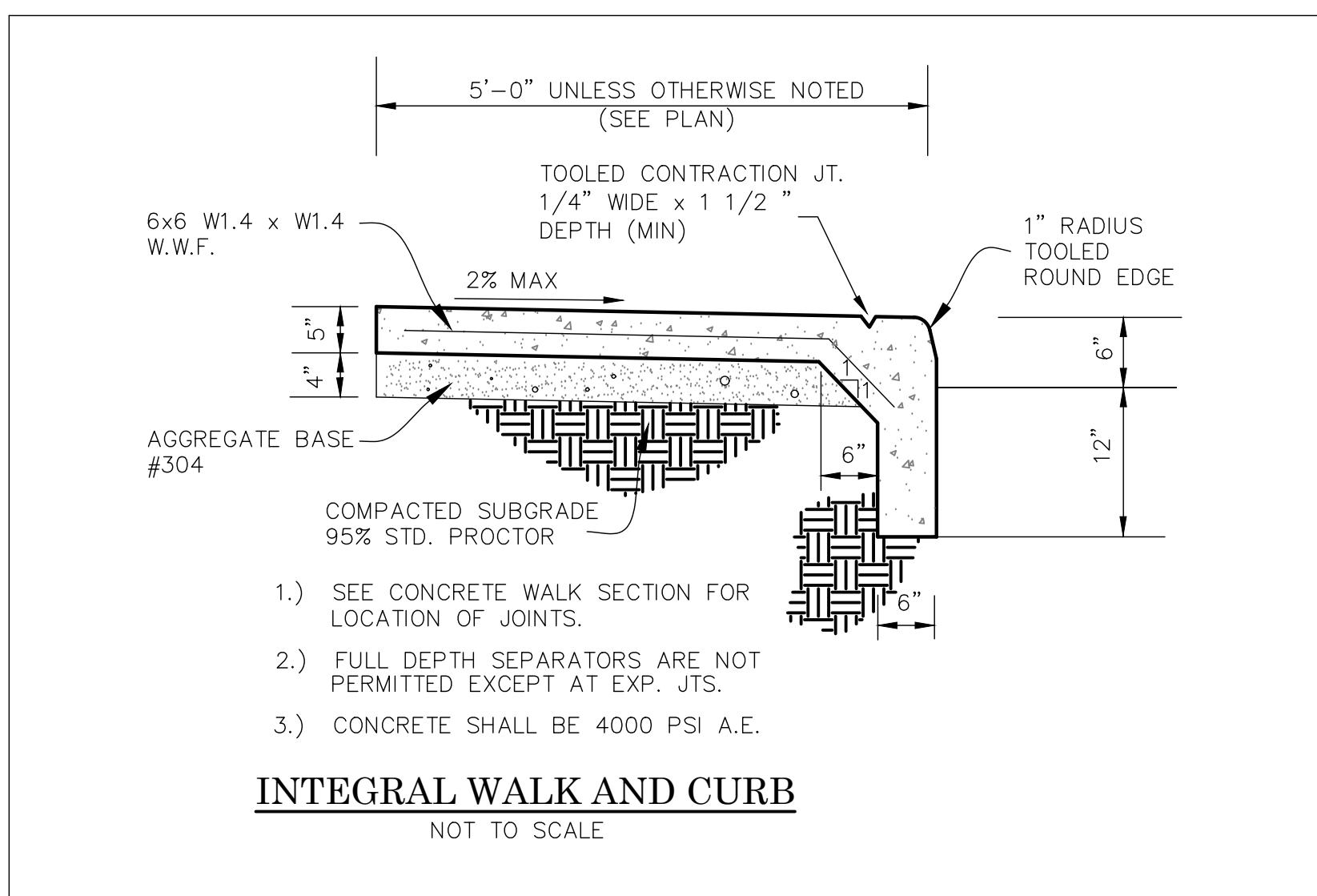
ZONING:

Current Zoning: PUD Proposed District (if appropriate): \_\_\_\_\_

Christie Stee  
(Signature of Developer and/or Owner)

9/24/2021  
(Date)





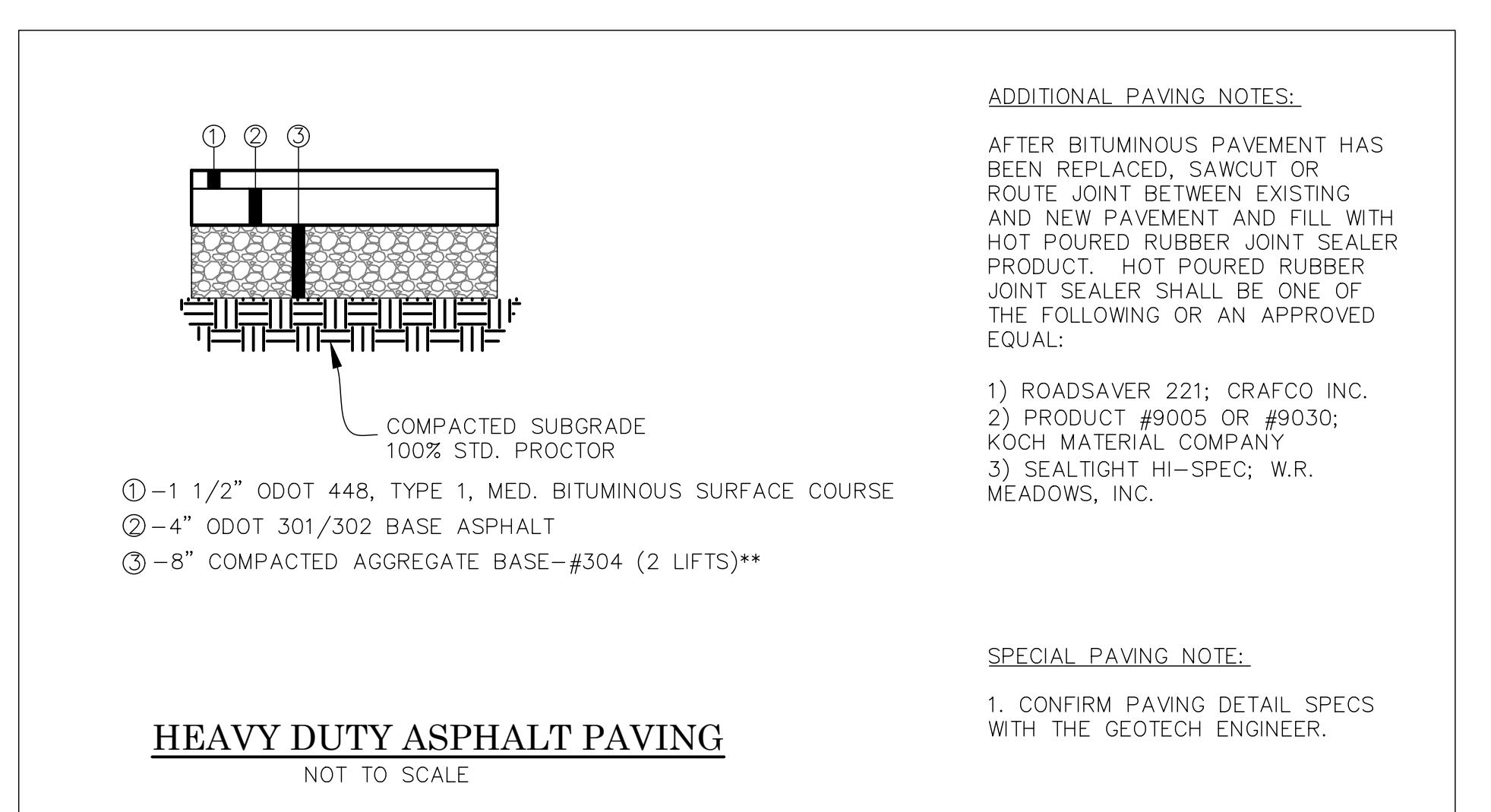
REVISIONS	
DATE	BY NO. & DESCRIPTION

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



ADVANCE DR. SPEC. #3  
ADVANCED DR.  
SITE CONSTRUCTION DETAILS  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

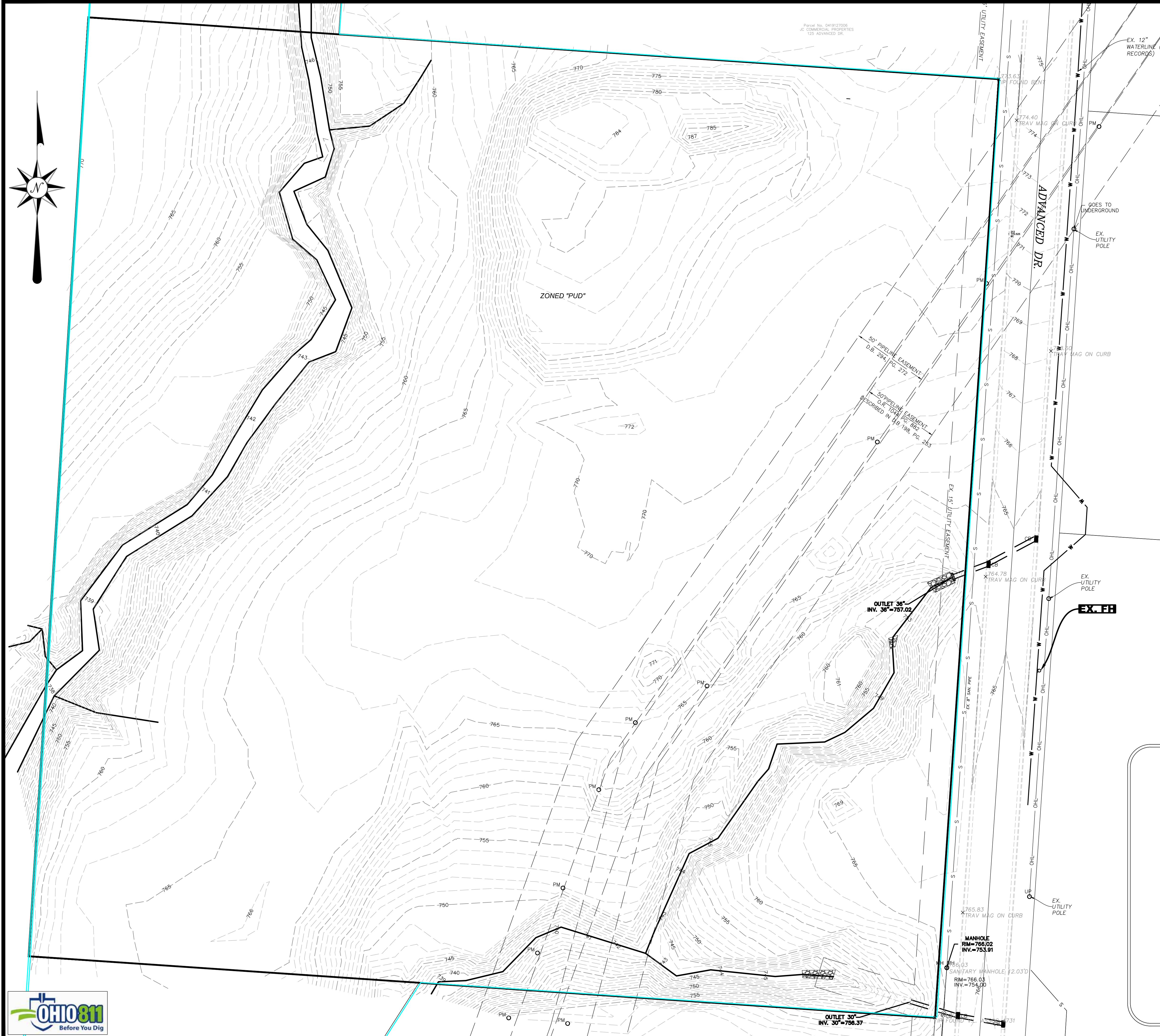


SCALE:	HORIZ.	VERT.
	N/A	N/A

JOB NO.	20-140
DATE	Sep. 23, 2021

SHEET NO.

C-1.1



## NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "PUD". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF SPRINGBORO ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0017E EFFECTIVE 12/17/2010, THE SUBJECT PROPERTY IS A NON-PRINTED MAP, LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

DATE	BY	NO. & DESCRIPTION

**EVANS ENGINEERING**  
**4240 AIRPORT ROAD, SUITE 211**  
**CINCINNATI, OHIO 45226**  
**(513) 321-2168**



# EXISTING CONDITIONS & DEMO PLAN

THE TOWN OF SPRINGBORO, WARREN COUNTY, OHIO

## Utility Notes

THE LOCATION OF UTILITES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENNANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, GAS, ELECTRIC, STORM SEWER, TELEPHONE, AND WATER LINES AND/OR SERVICE IS AVAILABLE FOR THE SUBJECT PROPERTY WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS AS SHOWN

## Legend of Symbols & Abbreviations

★	LIGHT POLE	↗	SIGN	DS	○	DOWNSPOUT		
FH	❑ FIRE HYDRANT							
☒	HEATING, VENTILATION AIR CONDITIONING UNIT		GV	○	GAS VALVE	GM	○	GAS METER
	CONCRETE		CO	●	CLEANOUT	G	UP	GUY WIRE UTILITY POLE
CM	○ COMMUNICATION MANHOLE		CB	■	CATCH BASIN		UP	OVERHEAD UTILITY
MH	○ MANHOLE				OLD WIRE FENCE			
SV	○ SPRINKLER VALVE	♿				WM	○	WATER METER
WV	○ WATER VALVE				HANDICAP PARKING SPACE			
UP	○ UTILITY POLE				GUARDRAIL	—		PARKING STOPPERS
★	WATER FAUCET		EB	■	ELECTRIC BOX	EM	■	ELECTRIC METER
	UNDERGROUND UTILITY		●		BALLARD	＼		ENTRANCE DOOR

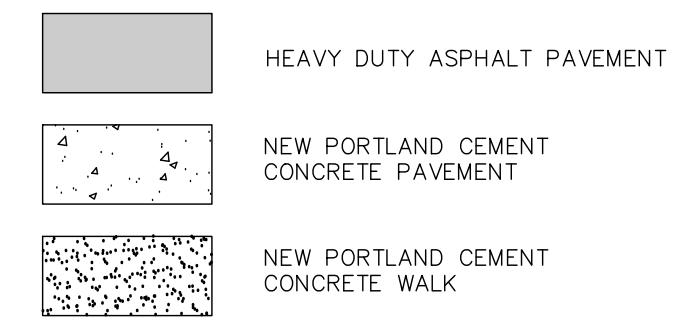
SCALE:	HORIZ.	VERT.
	1 ″=20'	N/A
B. NO.	20-140	
DATE	Sep. 23, 2021	

SHEET NO.

C-2



### LEGEND-PROP. FEATURES



SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

## NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

## PARKING TABLE:

PROPOSED PARKING= 18  
ADA ACCESSIBLE = 1  
TOTAL PARKING 19 SPACES (MIN. 9'X18')

# SITE DIMENSION PLAN

ADVANCE DR. SPEC. #3

ADVANCED DR.,  
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

**EVANS ENGINEERING**  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
513) 321-2168



	HORIZ.	VERT
	1"=20'	N/A

D. 20-140

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**HEET NO**

C-3





**EVANS ENGINEERING**  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
513) 321-2168

The logo consists of a stylized, three-dimensional letter 'M' or 'K' formed by blue and white geometric shapes, resembling a cube or a series of stacked rectangles.

# GRADING PLAN

ADVANCE DRAFT, #3

ADVANCED DR.,  
BBORO, WARREN COUNTY, OHIO

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

20-140

HEET NO

— 4

#### A. MAINTENANCE PLANS FOR THE STORM WATER MANAGEMENT PRACTICES

1. The Owner agrees to maintain in perpetuity the storm water management practices in accordance with approved Maintenance Plans listed in #2 below and in a manner that will permit the storm water management practices to perform the purposes for which they were designed and constructed, and in accordance with the standards by which they were designed and constructed, all as shown and described in the approved Comprehensive Storm Water Management Plan. This includes all pipes and channels built to convey storm water to the storm water management practices, as well as structures, improvements, and vegetation provided to control the quantity and quality of the storm water.
2. The Owner shall provide a Maintenance Plan for each storm water management practice. The Maintenance Plans shall include a schedule for monthly and annual maintenance. The Owner shall maintain, update, and store the maintenance records for the storm water management practices. The specific Maintenance Plans for each storm water management practice are as follows:
  - (a) Stormwater Pond Maintenance. To be completed MONTHLY.
    - (1) Remove floating debris.
    - (2) Remove woody vegetative growth from pond area including embankments.
    - (3) Remove trash and/or accumulated sediment.
    - (4) Remove obstructions in orifices and/or outlets.
  - (b) Stormwater Pond Maintenance. To be completed ANNUALLY.
    - (1) Repair erosion to outfall or spillway.
    - (2) Repair and/or replace damaged structures, such as catch basins, risers, pipes, and headwalls.
    - (3) Repair animal burrows and/or other leaks in the dam structures.
    - (4) Remove debris from overflow spillway and grates.
    - (5) Mow embankments and remove woody vegetation on embankments.
    - (6) Inspect and remove invasive plants.
    - (7) Dredge pond on a 3-7 year cycle or as necessary to retain design capacity.

3. The Owner shall perform all maintenance in accordance with the above Maintenance Plan and shall complete all repairs identified through regular inspections.,

## GRADING LEGEND

---

TC=TOP OF CURB ELEVATION  
P=FINISHED GRADE (PAVEMENT)  
F =FINISHED GRADE  
TW=TOP OF WALL  
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE  
B/W=EXISTING BACK OF WALL GRADE  
EX=EXISTING GRADE

## SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH  
GEOTECHNICAL ENGINEER BEFORE  
COMMENCING EARTHMoving ACTIVITIES.

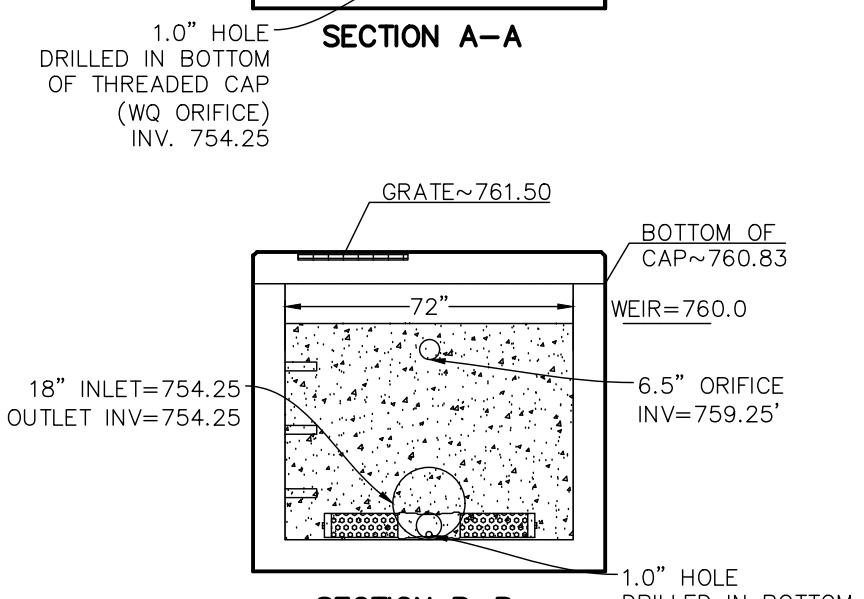
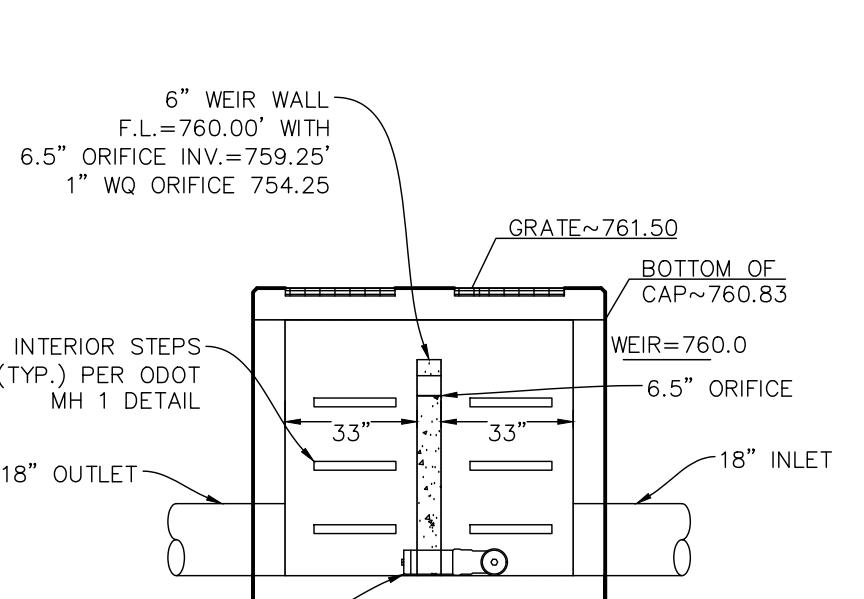
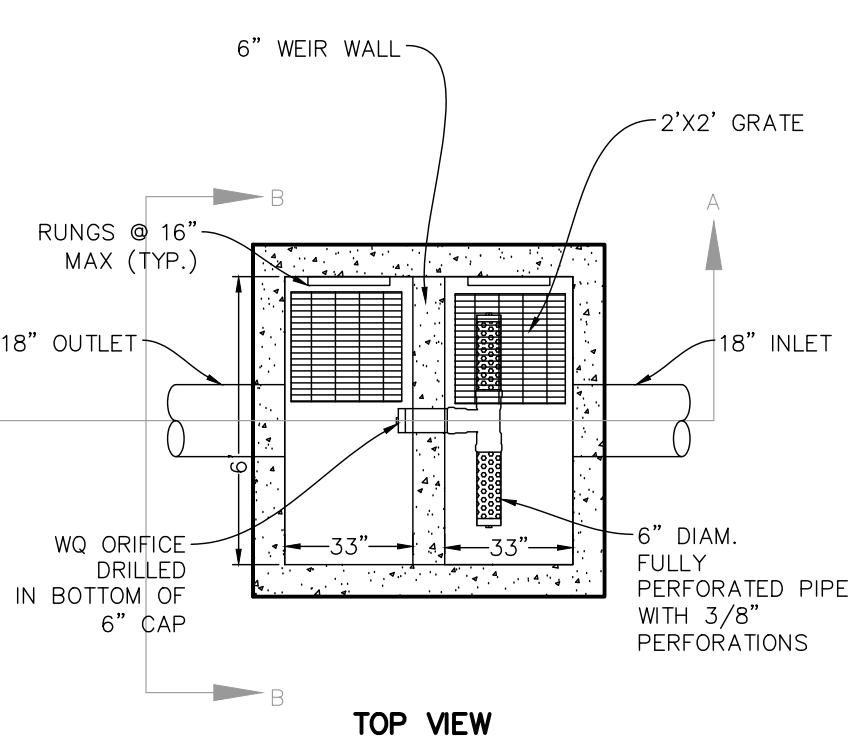
TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK

ACROSS LANDSCAPE AREAS PRIOR TO  
SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS  
MATERIAL IN ACCORDANCE WITH ALL LOCAL  
AND STATE CODES AND PERMIT  
REQUIREMENTS. EXPORTED MATERIAL SHALL  
BE TRANSPORTED TO AN APPROVED FILL  
AREA

#### CONTOUR LEGEND:

— — — — — EX. CONTOURS  
— — — — — PR. CONTOURS (MAJOR)  
— — — — — PR. CONTOURS (MINOR)



OF THREADED CAP  
(WQ ORIFICE)  
INV. 754.25

## EROSION AND SEDIMENT CONTROL NOTES:

### PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. REQUIRED PRE-CONSTRUCTION MEETING
- B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
- C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
- D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
- E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

### SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR CONTRACTOR MAY NOT PUBLISH OR POST ANYTHING WHICH VIOLATES SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

### STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS onto PUBLIC ROADS. ALL MATERIALS DEPOSITED onto PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES, VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDGY AREAS OR CLEANED BEFORE LEAVING SITE.

### SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AND EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.

17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.

18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

### TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROLS MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM POOLING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.

31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

### OTHER:

32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.

33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.

34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROOVING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.

36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.

37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

## ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINYWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THE DEVELOPER AND CONTRACTOR SHALL ABBIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO.

OHCO00004—"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."

CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABLISHED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SOIL STOCKPILE MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.

SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.

ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

DUMPSTERS AND PORT-A-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

### SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.

2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH MIGRATE FROM THE PROPERTY.

3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.

4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.

5. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

6. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

7. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

8. TEMPORARY SEDIMENT CONTROLS MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

9. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

## TEMPORARY AND PERMANENT SEEDING:

### 1.1 SEEDED PREPARATION:

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL ( $pH=5.5$  OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOIL TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

### 1.2 SEEDING:

#### 1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING AND SUMMER	1. OATS 2. PEREN. RYEGRASS 3. TALL FESCUE	3 LBS 1 LBS 1 LBS
FALL	1. PEREN. RYEGRASS 2. RYE 3. WHEAT 4. TALL FESCUE	0.25 LBS 0.25 LBS 0.25 LBS 1 LBS

#### 2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE 0.5 LBS DOMESTIC RYEGRASS 0.25 LBS KENTUCKY BLUEGRASS 0.25 LBS 2. TALL FESCUE 1 LBS 3. DWARF FESCUE 1 LBS	0.25 LBS 0.25 LBS 0.25 LBS 1 LBS
2-1 SEEDING FOR STEEP BANKS OR CUTS	1. TALL FESCUE 2. CROWNFETCH 3. DWARF FESCUE	0.25 LBS 0.25 LBS 0.25 LBS

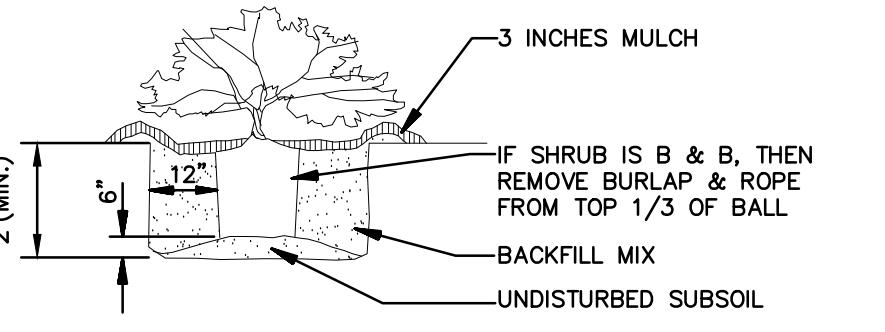
#### 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SEEDING PERIOD TYPE RATE (1000 SF)

SPRING, SUMMER, AND FALL	1. TALL FESCUE	1 LBS
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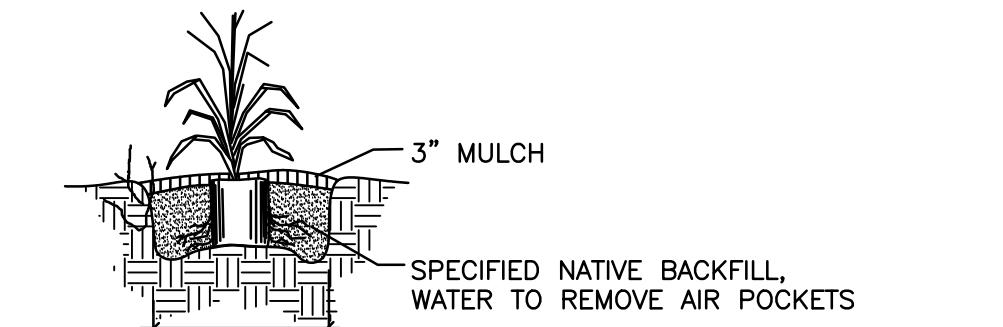
### IMPROVISED AND PERMANENT SEEDING (CONT.)

C. WHEN FEASIBLE, EX



### SHRUB PLANTING

NOT TO SCALE



### PERENNIAL PLANTING DETAIL

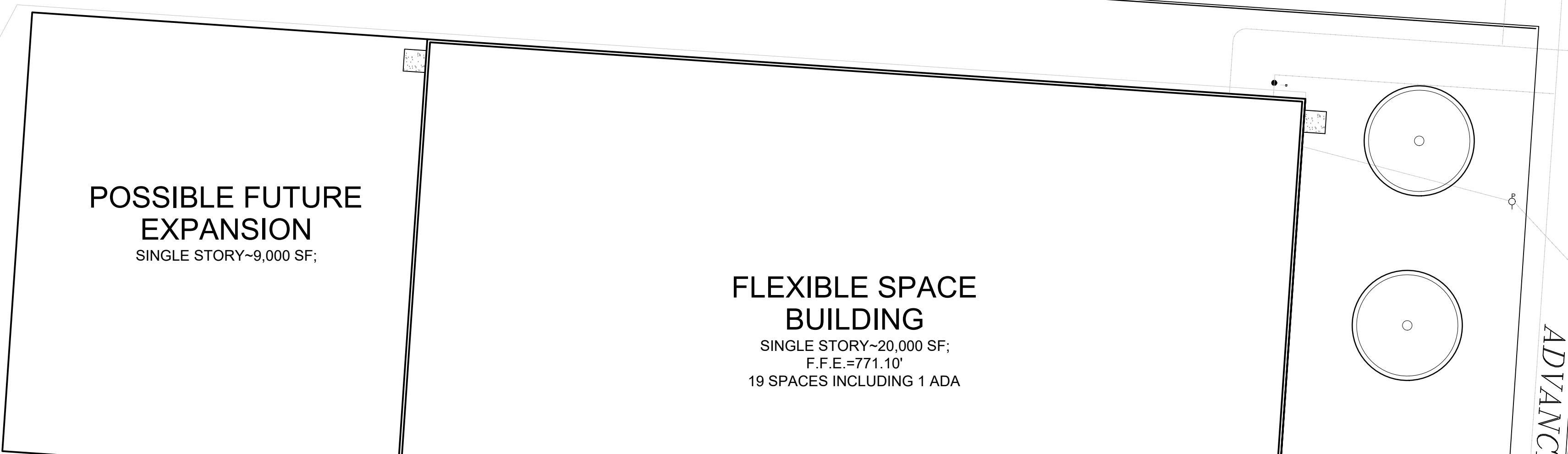
NOT TO SCALE  
① LOOSEN SOIL IN ROOT BALL AND SPREAD ROOTS PRIOR TO PLACING IN PIT.

### PERMANENT SEEDING

- ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- TILL AREAS TO BE SEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH LOOSED SUBGRADE.
- PROTECT SEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEDED AREAS.

### LANDSCAPE NOTES:

- ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS SHOULD BE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON THE MOST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. SPECIFIC LOCATIONS ARE DETERMINED BY THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA, 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD, 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED PLANTING. PLANT MATERIALS THAT ARE DISEASE, DISINTERRED, DEAD, OR DROPPED (PRIOR TO SUBMITTING COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS OF PLANT MATERIAL AND MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE, MULCHING.
- ALL EXISTING TREES SHOWN ON THE PLAN TO BE PRESERVED AND PROTECTED.

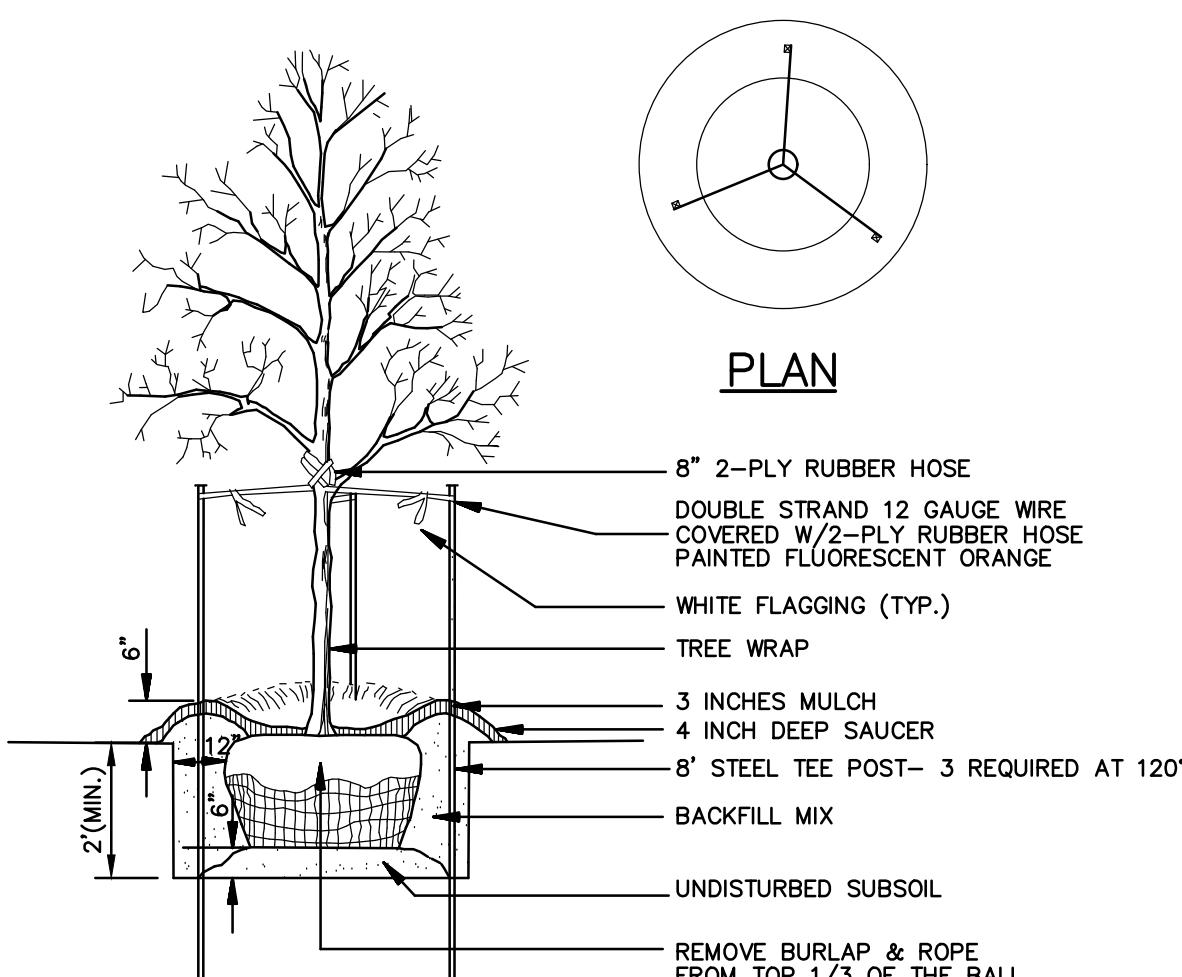


EXISTING WOOD LINE.  
EXISTING TREES TO  
REMAIN. PROTECT  
FROM DAMAGE.

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>ORNAMENTAL/CANOPY TREES</b>						
BN	3	Betula Nigra	River Birch	8' ht.	B&B	
QA	4	Quercus alba	White Oak	2.5" cal.	B&B	Straight Central Leader
<b>SHRUBS/PERENNIALS</b>						
CA	6	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass		#2 cont.	
RA	13	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac		#3 cont.	
NF	10	Nepeta x faassenii 'Walker's Low'	Walker's Low		#1 cont.	

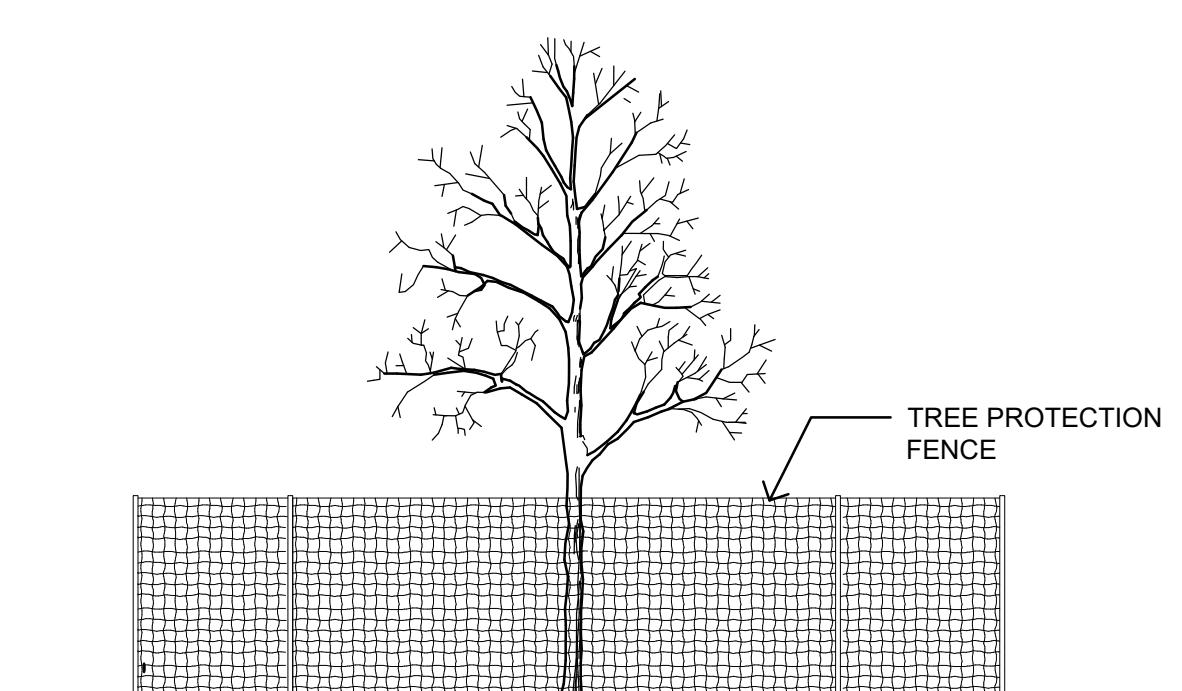
EXISTING WOOD LINE.  
EXISTING TREES TO  
REMAIN. PROTECT  
FROM DAMAGE.

WATER  
MATERIAL  
EAST  
NORTH  
SOUTH  
WEST



### TREE PLANTING

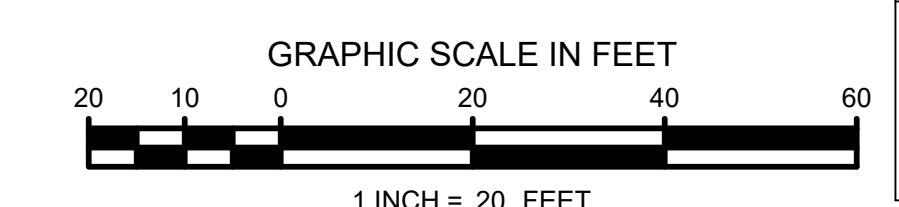
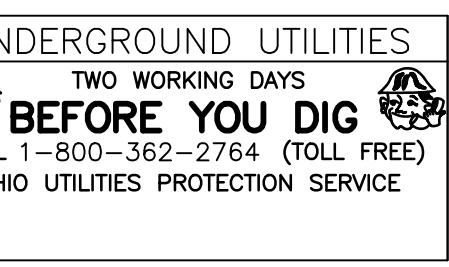
NOT TO SCALE



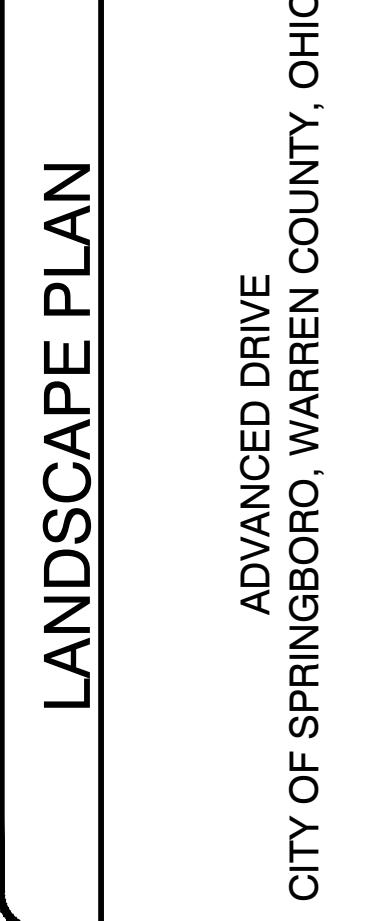
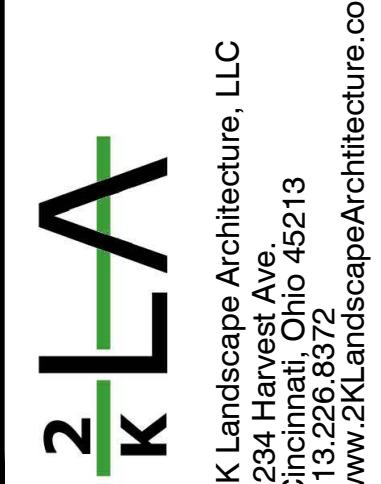
### TREE PROTECTION

NOT TO SCALE

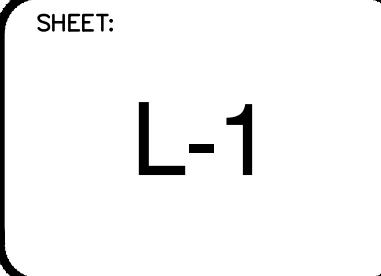
- TREE PROTECTION FENCE MUST BE A MINIMUM OF 5' TALL AND CONSTRUCTED OF DURABLE MATERIAL MOUNTED ON DURABLE POSTS APPROXIMATELY 8'-0" O.C. MAX.
- TREE PROTECTION FENCING SHALL BE ERECTED AT DRIP LINE OR BEYOND PRIOR TO START OF CONSTRUCTION.

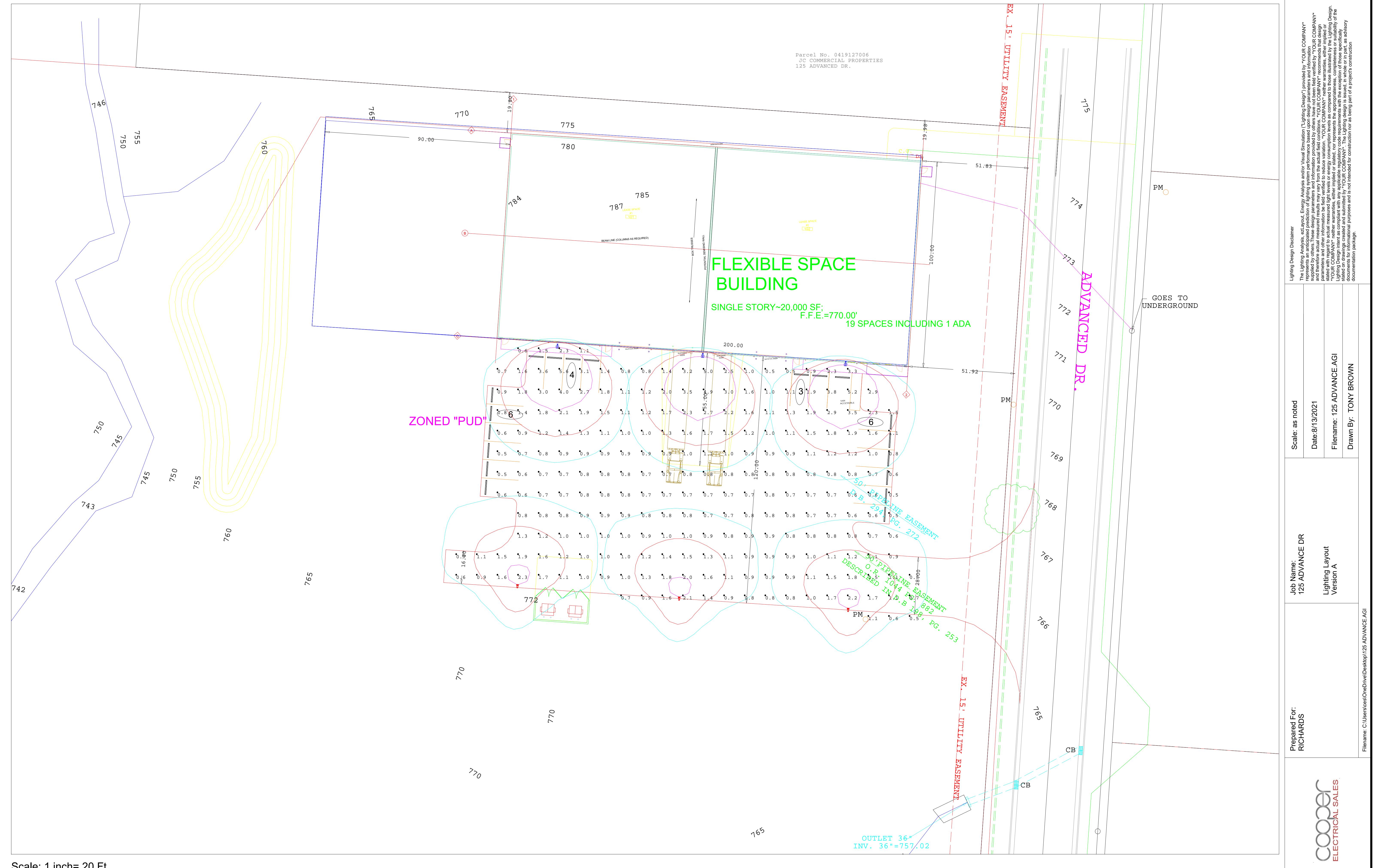


REVISION NUMBER:	DATE:	REMARKS:
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DATE: AUGUST 18, 2021	PROJECT NO.: 2021-23
DRAWN BY: KTC	CHECKED BY: KTC
SCALE: 1" = 20'	OWNER:





Scale: 1 inch= 20 Ft.



**Proposed Building For:  
Spec Building - Lot 3  
Advanced Drive  
Springboro, Ohio 45066**

REV. DATE

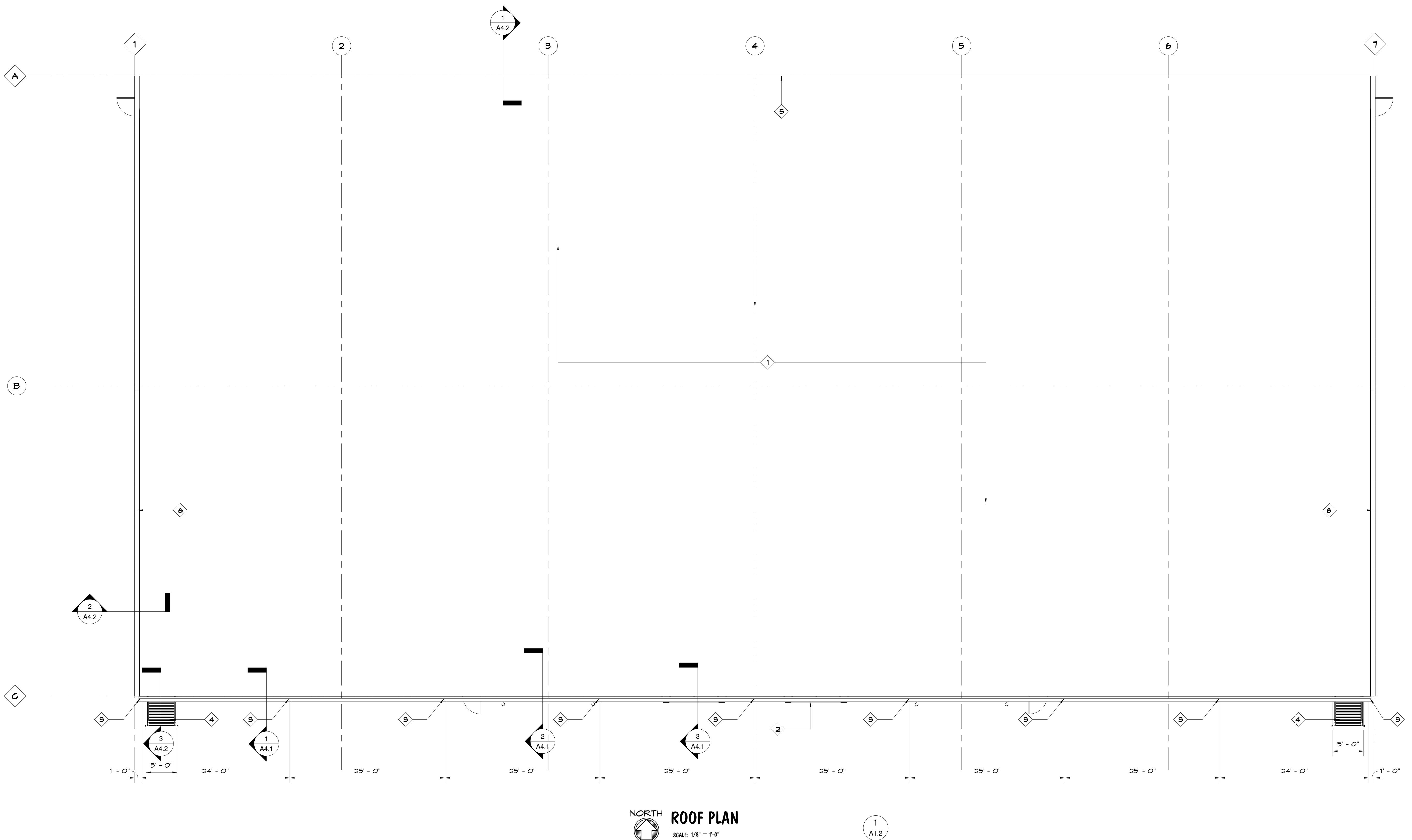
CK'D

Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

Date: 09.09.21 Job No:21.128

**A1.2**



**GENERAL NOTES**

- A. COORDINATE ALL CURB EQUIPMENT & ROOF PENETRATION LOCATIONS w/APPROPRIATE ENGINEERING DRAWINGS. PROVIDE POSITIVE DRAINAGE TO GUTTER AROUND CURBS & PENETRATIONS
- B. SEE STRUCTURAL DRAWINGS FOR ROOF SLOPE. SLOPES SHALL PROVIDE POSITIVE DRAINAGE TO GUTTERS @ 1/4" per FT MIN.

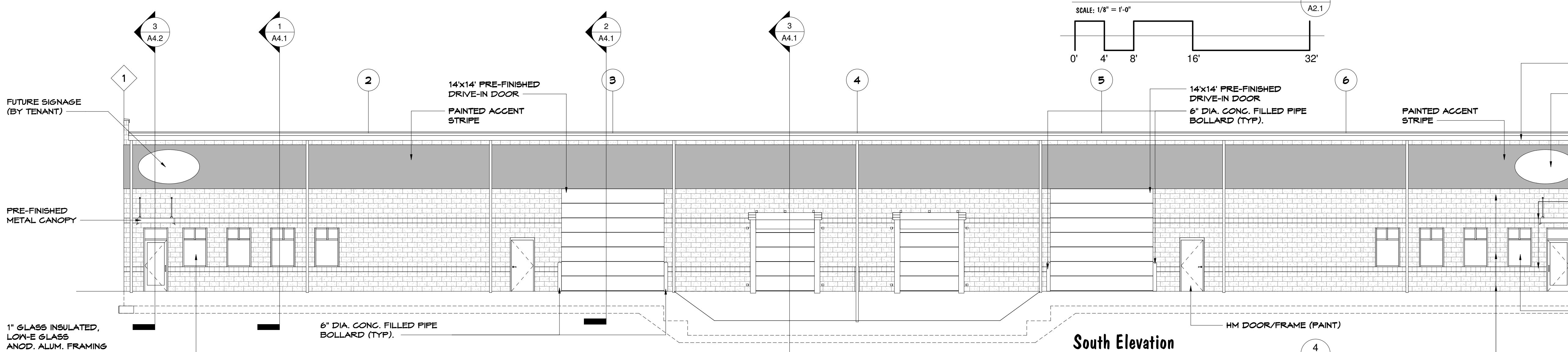
**KEY NOTES**

1. MECHANICALLY FASTENED, SINGLE-PLY MEMBRANE ROOFING ON (2) LAYERS OF RIGID ROOF INSULATION (R=25 MIN)
2. PRE-FINISHED METAL GUTTER (6"x6" MIN.)
3. PRE-FINISHED METAL DOWNSPOUT (4"x4" MIN.)
4. PRE-FINISHED METAL CANOPY WITH INTEGRAL GUTTER. OUTLET SHALL BE NEAR BUILDING LINE, CENTER ON DOOR OPENING
5. PRE-FINISHED METAL TRIM
6. PRE-FINISHED METAL COPING



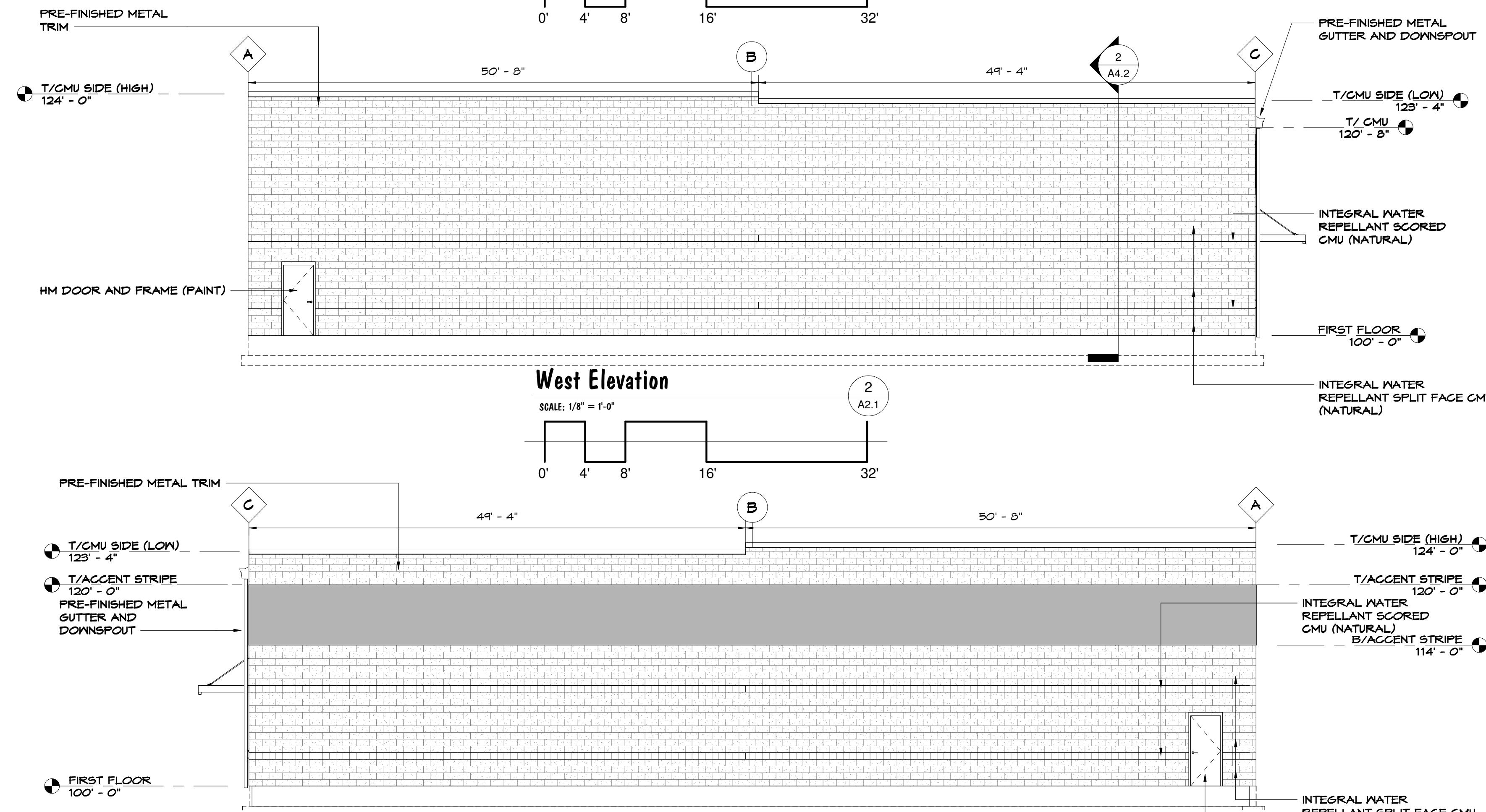
PERSPECTIVE

SCALE: 12" = 1'-0"



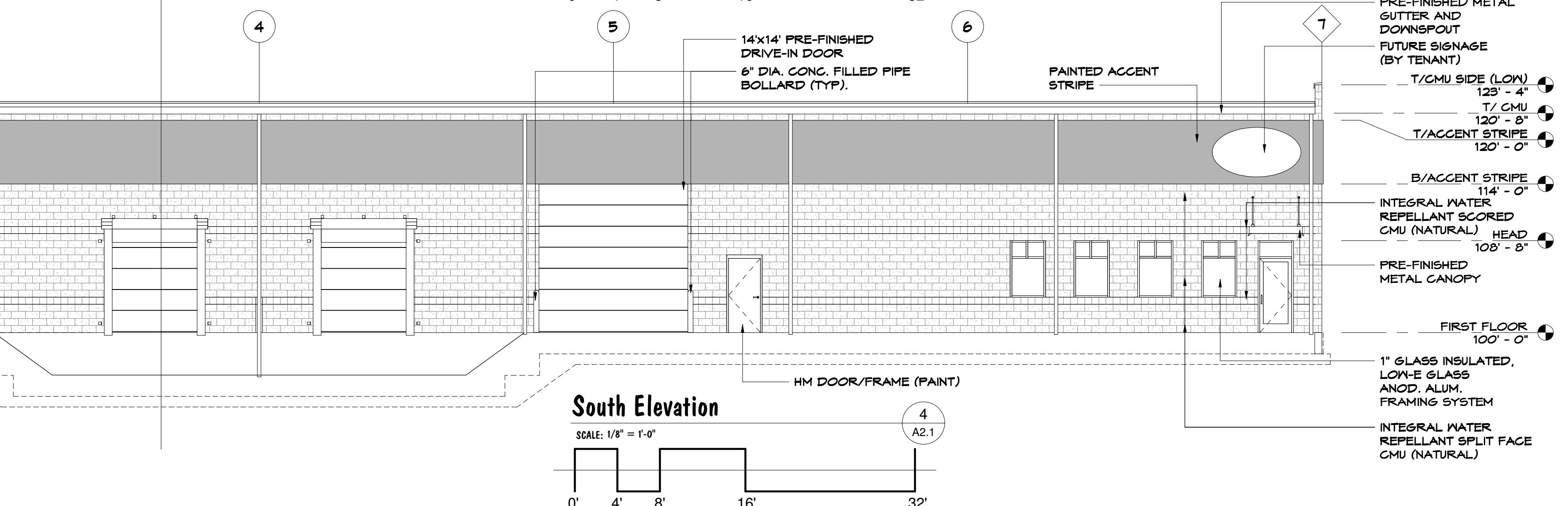
South Elevation

SCALE: 1/8" = 1'-0"  
0' 4' 8' 16' 32'



East Elevation

SCALE: 1/8" = 1'-0"  
0' 4' 8' 16' 32'



South Elevation

SCALE: 1/8" = 1'-0"  
0' 4' 8' 16' 32'

**Proposed Building For:  
Spec Building - Lot 3  
Advanced Drive  
Springboro, Ohio 45066**

REV. DATE CK'D

Drawn By: Author Checked By: WNS

Preliminary  
Not For  
Construction

Date: 09.23.21 Job No:21.128

**A2.1**

29 HIGH STREET  
Milford, Ohio 45150  
513.752.7800  
Fax: 513.752.7833  
www.KBAinc.com

**SHEET CONTENTS:**  
ELEVATIONS

**CC** CINCINNATI  
COMMERCIAL  
CONTRACTING  
Your Choice for Quality  
4779 Red Bank Expressway Cincinnati, Ohio 45227  
phone (513) 561-6633 fax (513) 561-3554

**K|B|A**  
K|B|A Incorporated ARCHITECTS  
CINCINNATI OHIO

**Proposed Building For:**  
**Spec Building - Lot 3**  
Advanced Drive  
Springboro, Ohio 45066

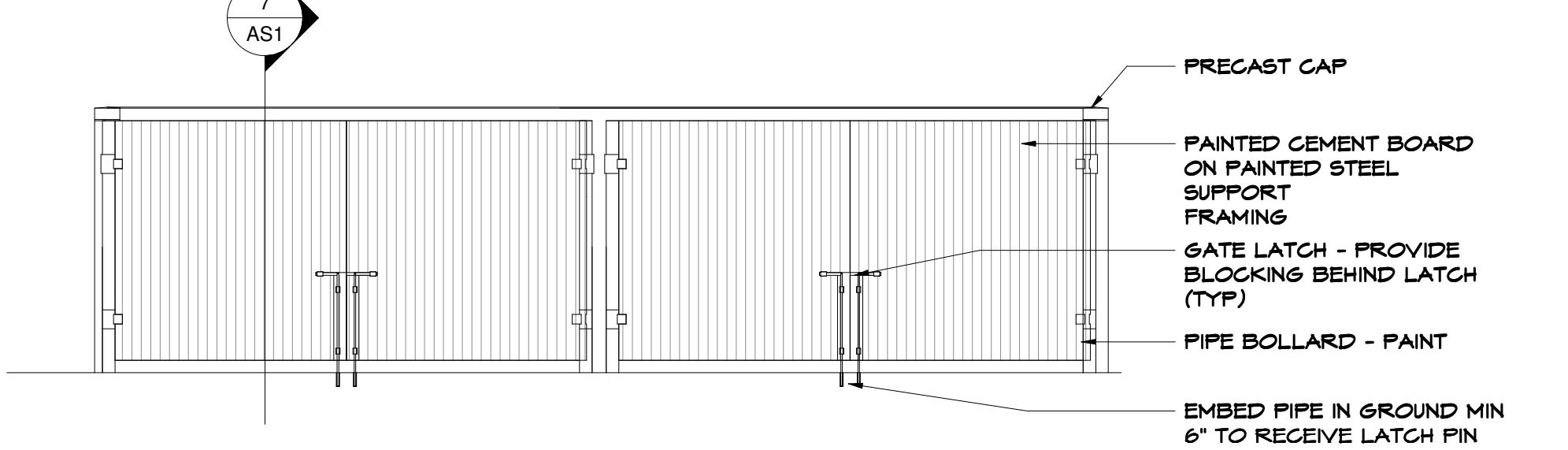
REV. DATE CK'D

Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

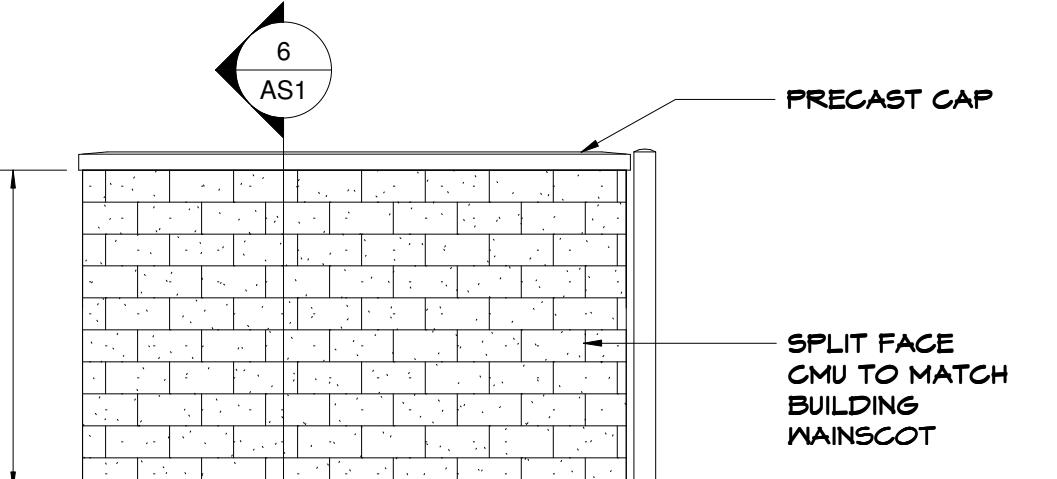
Date: 09.09.21 Job No:21.128

**AS1**



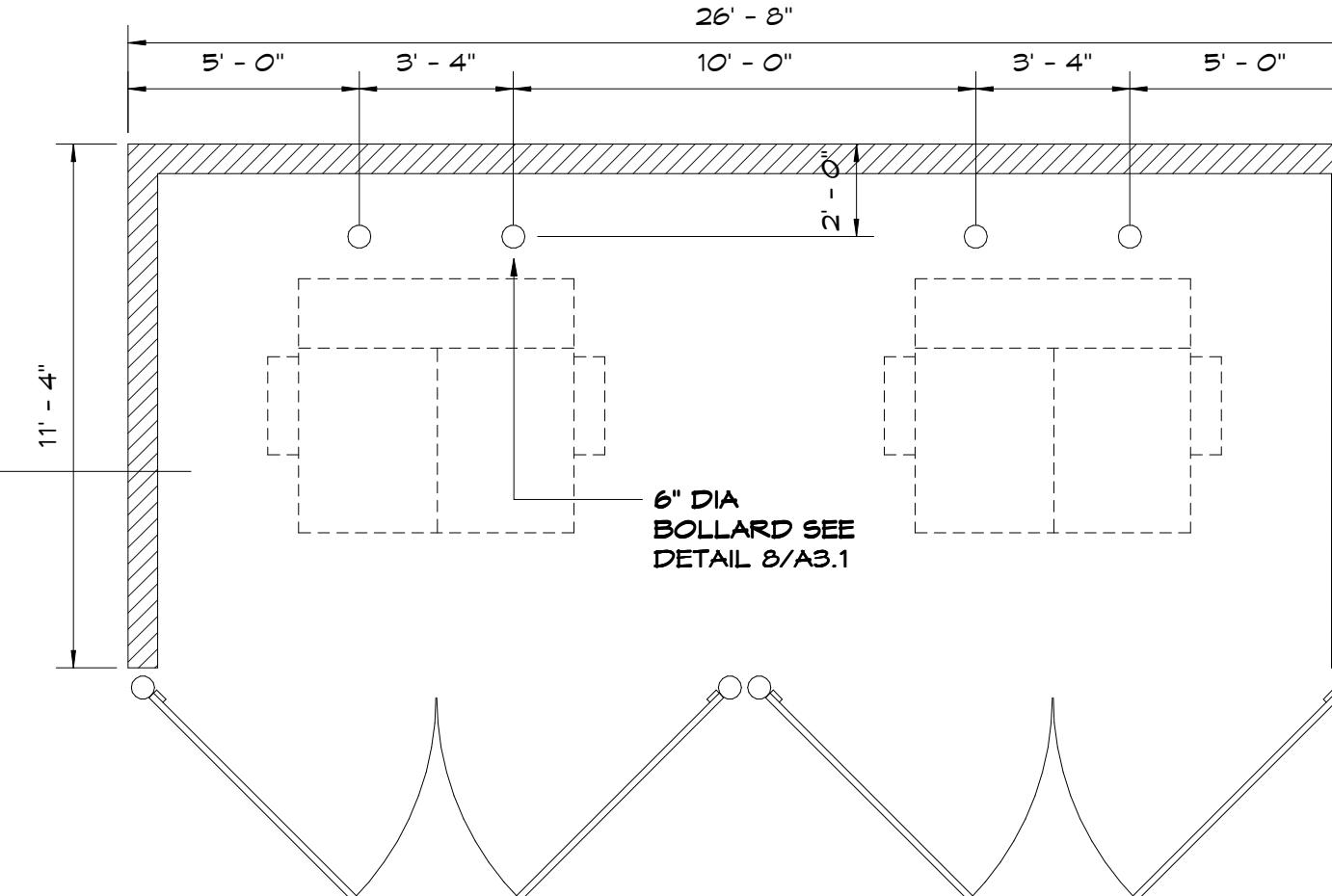
**DUMPSTER ENCLOSURE FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



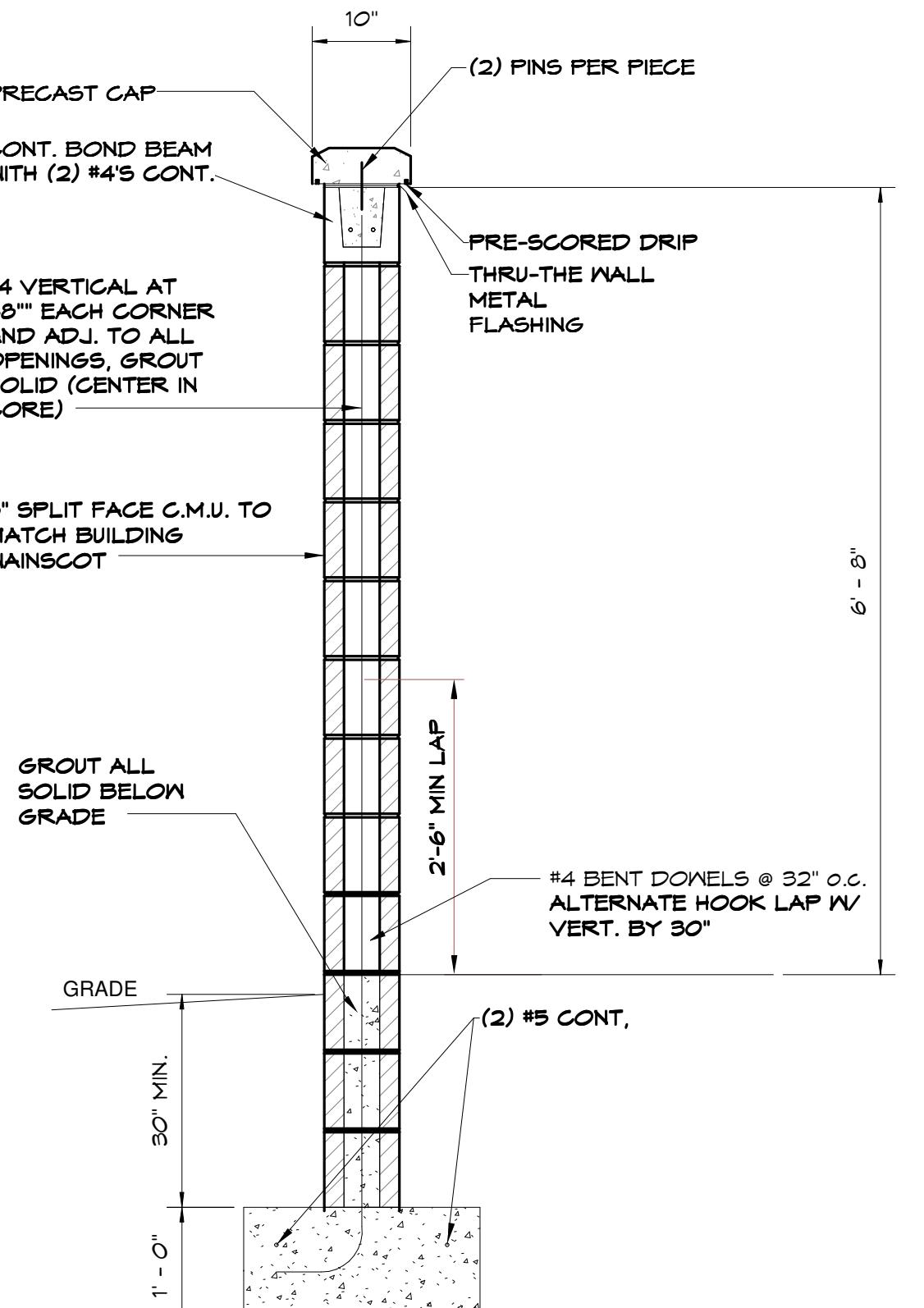
**DUMPSTER ENCLOSURE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



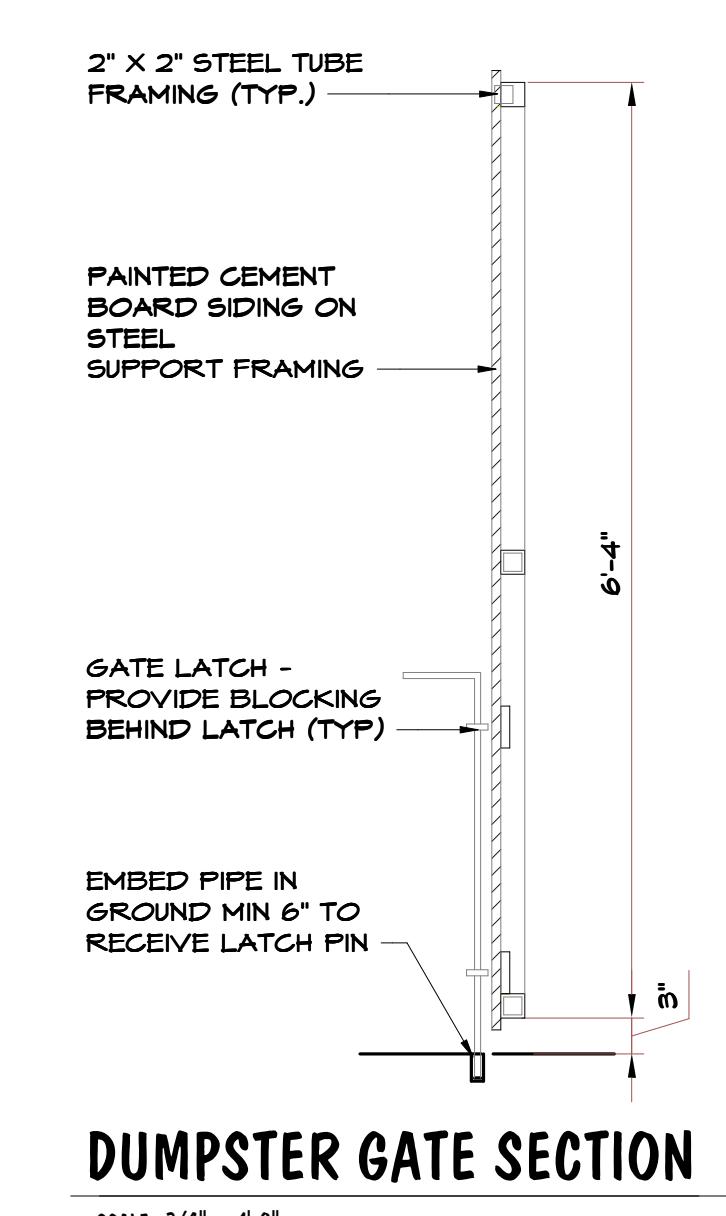
**DUMPSTER ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"



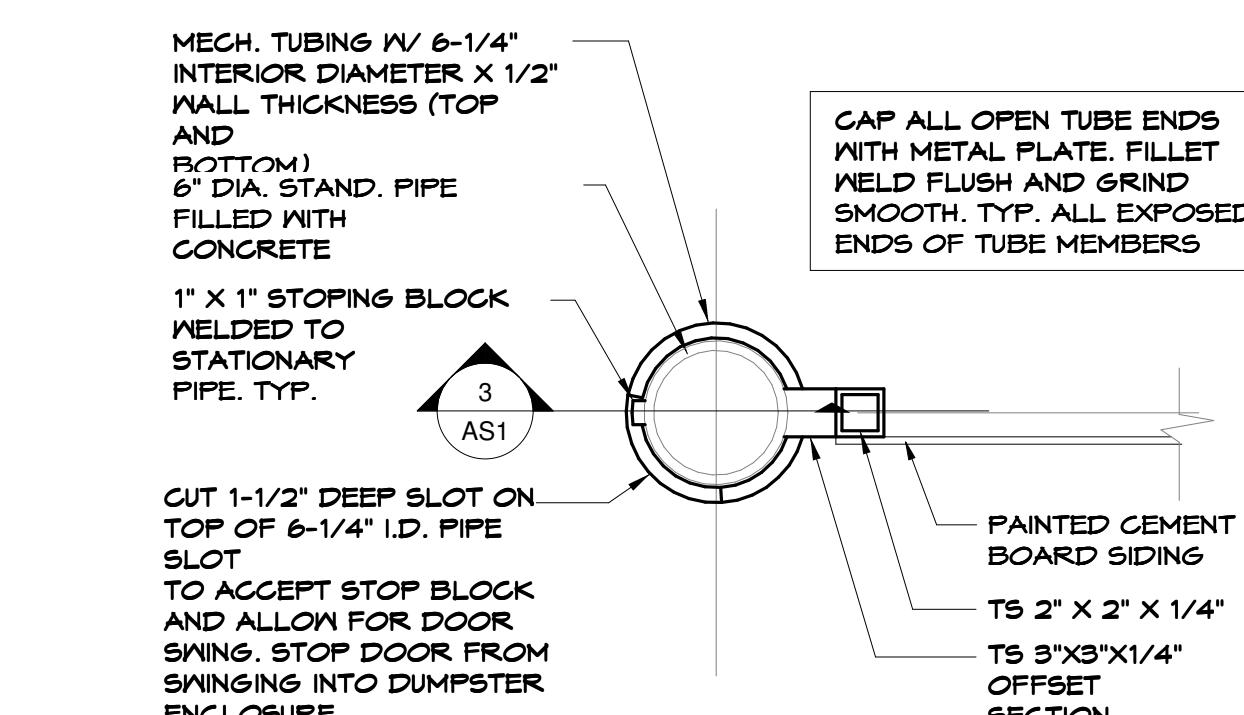
**DUMPSTER SECTION**

SCALE: 3/4" = 1'-0"



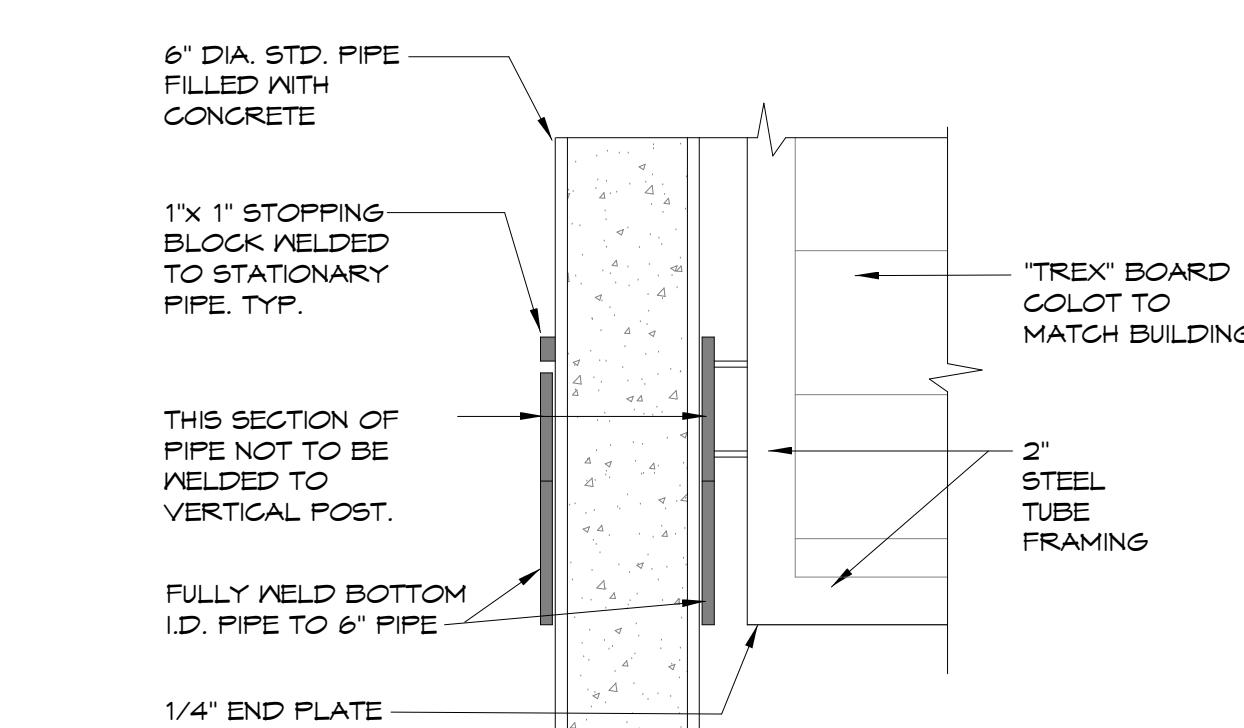
**DUMPSTER GATE SECTION**

SCALE: 3/4" = 1'-0"



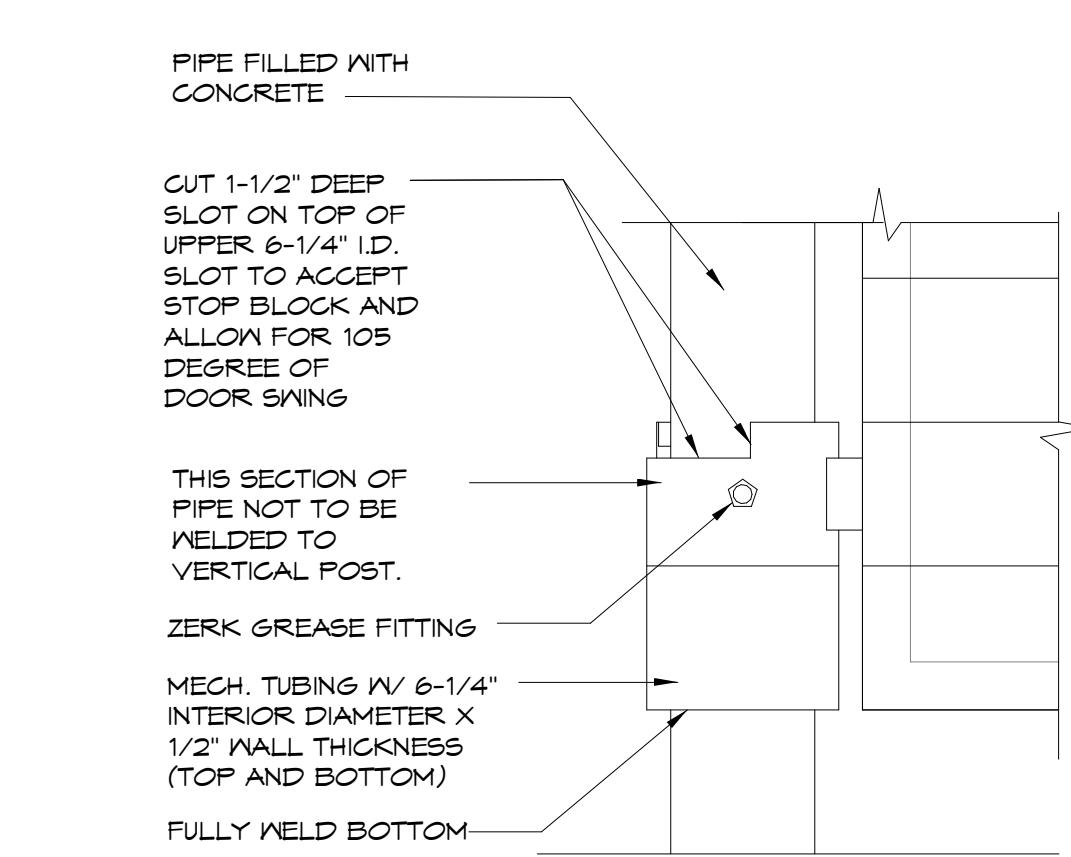
**DUMPSTER GATE HINGE PLAN**

SCALE: 1 1/2" = 1'-0"



**DUMPSTER GATE HINGE SECTION**

SCALE: 1 1/2" = 1'-0"



**DUMPSTER GATE HINGE ELEVATION**

SCALE: 1 1/2" = 1'-0"



Color: Bronze

Weight: 34.8 lbs

Project:

Type:

Prepared By:

Date:

**Driver Info**

Type	Constant Current	Watts	50W
120V	0.46A	Color Temp	3000K (Warm)
208V	0.27A	Color Accuracy	71 CRI
240V	0.23A	L70 Lifespan	100,000 Hours
277V	0.20A	Lumens	7,127
Input Watts 54.81W		Efficacy	130 lm/W

**LED Info****Technical Specifications****Compliance****UL Listed:**

Suitable for wet locations as a downlight

**IESNA LM-79 & IESNA LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**Dark Sky Conformance:**

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.

DLC Product Code: PKY4PVJR

**Performance****Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Construction****IES Classification:**

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**IP Rating:**

Ingress protection rating of IP66 for dust and water

**Ambient Temperature:**

Suitable for use in up to 40°C (104°F)

**Cold Weather Starting:**

Minimum starting temperature is -40°C (-40°F)

**Thermal Management:**

Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments

**Housing:**

Die-cast aluminum housing, lens frame and mounting arm

**Mounting:**

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

**Reflector:**

Specular vacuum-metallized polycarbonate

**Gaskets:**

High-temperature silicone gaskets

**Technical Specifications (continued)****Construction****Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free. RoHS-compliant components.

**LED Characteristics****LEDs:**

Multi-chip, high-output, long-life LEDs

**Color Consistency:**

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Color Stability:**

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

**Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Electrical****Driver:**

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

**THD:**

6.1% at 120V, 9.4% at 277V

**Power Factor:**

99.6% at 120V, 96% at 277V

**Surge Protection:**

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

**Other****Patents:**

The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

**Warranty:**

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

**Equivalency:**

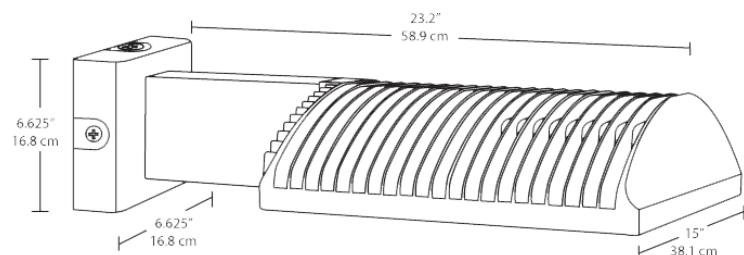
Equivalent to 250W Metal Halide

**Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Optical****BUG Rating:**

B0 U0 G1

**Dimensions****Features**

High performance LED light engine

Maintains 70% of initial lumens at 100,000-hours

Weatherproof high temperature silicone gaskets

Superior heat sinking with die cast aluminum housing and external fins

Replaces 400W MH

100 up to 277 Volts

5-Year, No-Compromise Warranty

**Ordering Matrix**

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	4T	50	Y				
4T = Type IV 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	50 = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = 5000K FX = Flat Mount	Blank = Arm FX = Flat Mount	W = White Blank = Bronze	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS = Multi-Level Motion Sensor /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud® Controller



Specification grade area lights available in IES Type IV distributions. Best-in-class 5-G vibration rating. 5-year, limited warranty.

Color: Bronze

Weight: 20.9 lbs

**Project:**

**Type:**

**Prepared By:**

**Date:**

**Driver Info**

Type	Constant Current	Watts	65W
120V	0.55A	Color Temp	3000K (Warm)
208V	0.33A	Color Accuracy	71 CRI
240V	0.29A	L70 Lifespan	100,000 Hours
277V	0.25A	Lumens	6,300
		Input Watts	65.4W
		Efficacy	96.3 lm/W

## Technical Specifications

### Compliance

#### UL Listed:

Suitable for wet locations

#### IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: PTFWA65X

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

### Construction

#### IES Classification:

The Type IV distribution (also known as a Forward Throw) produces a semicircular distribute, and is especially suited for mounting on sides of buildings or walls and perimeter of parking areas

#### Effective Projected Area:

EPA = 0.8

#### Vibration Rating:

Industry-leading 5G vibration rating per ANSI C136.31

#### Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

#### Ambient Temperature:

Suitable for use in up to 40°C (104°F)

### Housing:

Precision die-cast aluminum housing

#### Mounting:

Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adaptor is used.

#### Lens:

Clear acrylic lens with integrated optics

#### IP Rating:

Ingress protection rating of IP66 for dust and water

**Technical Specifications (continued)****Construction****Gaskets:**

High-temperature silicone gaskets

**Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free. RoHS-compliant components.

**LED Characteristics****LEDs:**

Long-life, high-efficacy, surface-mount LEDs

**Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Electrical****Driver:** Constant Current, Class 2, 100-277V, 50/60 Hz, 120V: 0.55A, 208V: 0.33A, 240V: 0.29A, 277V: 0.25A**THD:**

7.2% at 120, 10.6% at 277V

**Power Factor:**

99.6% at 120V, 95.4% at 277V

**Surge Protection:**

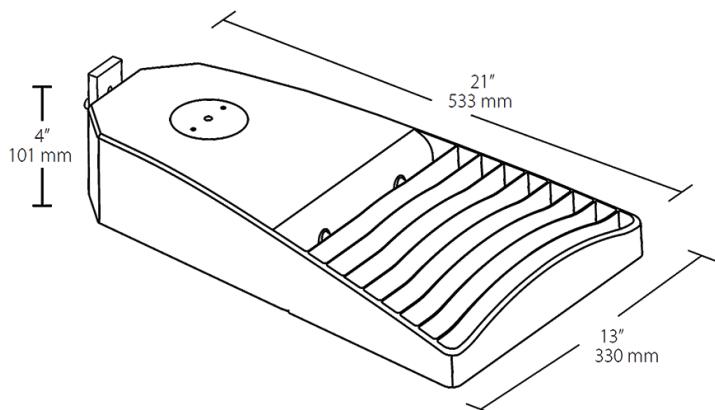
L-N 4kV; L-L, L-GND 6kV

**Other****5 Yr Limited Warranty:**Fixture operation and paint finish are covered for a period of 5-years. [See our full warranty here.](#)**Equivalency:**

Equivalent to 150W Metal Halide

**Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Dimensions****Features**

100,000-hour LED lifespan

Type IV distribution

**Ordering Matrix**

Family	IES Type	Wattage	Color Temp	Finish	Driver Options	Mounting	Sensor Options	Accessories	Other Options
LOT	4T	65	Y		/D10				
	<b>5T =</b> Type V	<b>65 = 65W</b> <b>110 =</b> 110W	<b>Blank =</b> 5000K (Cool)	<b>Blank =</b> Bronze	<b>/D10 =</b> 120-277V, 0-10V Dimming (standard)	<b>Blank =</b> Mounts to RAB square poles	<b>Blank = None</b> <b>/PCT =</b> 120-277V Twistlock PC	<b>Blank = None</b> <b>/HS =</b> 2 House-Side-Shields <sup>1</sup>	<b>Blank =</b> Standard
	<b>4T =</b> Type IV	<b>110W</b> <b>160 =</b> 160W	<b>N = 4000K</b> (Neutral)	<b>W =</b> White	<b>/480/D10 =</b> 480V, 0-10V Dimming	<b>/UPA =</b> Universal Pole Adaptor	<b>/PCT4 =</b> 480V Twistlock PC <b>/WS2 =</b> Wattstopper Sensor + 20ft lens, 120-277V <b>/WS4 =</b> Wattstopper Sensor + 40ft lens, 120-277V <b>/5PR =</b> 5-Pin Receptacle, no PCT <b>/7PR =</b> 7-Pin Receptacle, no PCT		<b>USA =</b> BAA Compliant
	<b>3T =</b> Type III		<b>Y = 3000K</b> (Warm)				<b>/BL =</b> Bi-Level Dimming, 120-277V		
	<b>2T =</b>								
	Type II								

<sup>1</sup> Available for Types II, III and IV only



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Project:

Type:

Prepared By:

Date:

## Technical Specifications

### Compliance

#### CSA Listed:

Suitable for wet locations

### Construction

#### Shaft:

46,000 p.s.i. minimum yield.

#### Hand Holes:

Reinforced with grounding lug and removable cover

#### Base Plates:

Slotted base plates 36,000 p.s.i.

### Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

### Color:

Bronze powder coating

### Shaft Size:

4"

### Height:

20 FT

### Hand Hole Dimensions:

3" x 5"

### Weight:

137 lbs

### Bolt Circle:

8 1/2"

### Gauge:

11

### Base Dimension:

8"

### Wall Thickness:

1/8"

## Technical Specifications (continued)

### Construction

#### Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

#### Anchor Bolt Templates:

**WARNING** Template must be printed on 11" x 17" sheet for actual size. **CHECK SCALE BEFORE USING.** Templates shipped with anchor bolts and available [online](#).

### Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

#### Max EPA's/Max Weights:

70MPH 10.7 ft./360 lb.  
80MPH 7.0 ft./350 lb.  
90MPH 4.3 ft./350 lb.  
100MPH 2.5 ft./350 lb.  
110MPH 1.1 ft./350 lb.  
120MPH 0.1 ft./340lb

### Other

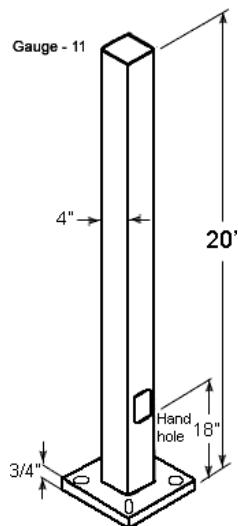
#### Terms of Sale:

Pole Terms of Sale is available [online](#).

#### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Dimensions



### Features

Designed for ground mounting

Heavy duty TGIC polyester coating

Reinforced hand holes with grounding lug and removable cover for easy wiring access

Pole caps, base covers & bolts are sold separately

Custom manufactured for each application

**City of Springboro**  
320 West Central Avenue, Springboro, Ohio 45066  
Planning Commission Meeting  
Wednesday, September 8, 2021

**I. Call to Order**

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice-Chair, Mark Davis, Robert Dimmitt, Steve Harding and Mike Thompson. Absent, John Sillies

*Mr. Harding motioned to excuse Mr. Sillies. Mr. Davis seconded the motion.*

**Vote: Harding, yes; Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (6-0)**

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary.

**II. Approval of Minutes**

**A. August 18, 2021 Planning Commission Minutes**

Ms. Iverson asked for corrections or additions to the minutes. There were none

*Mr. Pearson motioned to approve the August 18, 2021 Planning Commission minutes. . Mr. Harding seconded the motion.*

**Vote: Harding, yes; Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (7-0)**

**III. Agenda Items**

**A. Final Review, Site Plan Review, 95 West Central Avenue (SR 73), proposed vehicle service facility for Foreign Exchange**

**Background Information**

This agenda item is an application for site plan review filed by Dryden Builders, Inc., on behalf of Foreign Exchange, to permit the construction of a vehicle repair facility at 95 West Central Avenue (SR 73). The subject property is located southeast of the intersection of West Central Avenue and South Main Street. Foreign Exchange proposes to relocate their operation located in Clearcreek Township to the subject property. In addition to the Clearcreek Township location, the company operates other locations in West Chester, Centerville, and Moraine.

The subject property is located in the UVD, Urban Village District. While the applicant has been advised that the proposed use is permitted, the redevelopment of the site and any other in the UVD will need to comply with the high design and development standards of the UVD and the standard site plan review requirements.

Existing land uses include to the east the soon to open Latin Arepas restaurant at 85 West Central Avenue, to the south the former site of Jonathan Wright Elementary School, to the west a single-family residence at 105 West Central Avenue, and to the north on the north side of West Central Avenue, Kleather's pumpkin patch and single-family residence, the small commercial building that houses Scotty's barber shop, and the developing Wright Station development on the former IGA shopping center site.

Existing zoning in the vicinity of the subject property is UVD to the west, north on the north side of West Central Avenue, and east. To the south existing zoning is R-2, Low-Density Residential District, on the former site of Jonathan Wright Elementary School.

The City is in receipt of a letter from the existing property owner indicating authorization to proceed through the development review process prior to sale.

This item was reviewed on a preliminary basis at the August 18th Planning Commission meeting.

### Staff Recommendation

City staff recommends APPROVAL of the site plan for 95 West Central Avenue contingent on complying with the following comments following action by the Planning Commission:

1. The proposed use to comply with Section 1264.26, Development Standards for Specific Uses, Major and Minor Vehicle Repair that are included here for reference purposes:
  - a. Lot Area. The minimum lot area shall be 12,000 square feet.
  - b. Parking Location. The site plan shall be designed to locate vehicles awaiting or undergoing repair, employee parking, and customer parking behind the building setback line.
  - c. Screening. In addition to the screening requirements in Chapter 1280 (Landscaping), outdoor storage of vehicles awaiting or undergoing repair shall be screened on all sides by a solid wood fence or brick or stone wall 6feet in height. Such fence or wall shall be maintained in good repair and attractive condition at all times.
  - d. Petroleum Containment. Tracking of oil or other petroleum-based substances onto the public right-of-way shall be avoided by proper management of such materials.
  - e. Parking Duration. Storage of vehicles overnight at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being repaired at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
  - f. Dismantling Prohibited. No vehicle shall be dismantled unless said vehicle is being repaired inside the garage and said repair shall be accompanied by a repair order showing the description of the automobile, owner and the description of the work required. A valid and current license plate shall be displayed on all vehicles.
  - g. Enclosed Building. All activities shall take place inside the building. All lubrication equipment, automobile wash equipment, hoists, and pits shall be enclosed entirely within a building.
  - h. Sales and Rentals Prohibited. The sale or rental of vehicles or utility trailers of any kind shall be prohibited. No vehicle parked on the property shall be dismantled for the purposes of selling, bartering, swapping or giving of any part or parts of said vehicle.
  - i. Large Vehicles. No trucks with a capacity over one ton, buses, camping trailers, truck or trailers shall be permitted on the property at any time unless the said vehicles are being repaired in the garage.
  - j. Trash Containers and Rubbish. There shall be trash containers of sufficient size and capacity to contain any and all wastes generated by the operation of business. The premises shall be devoid of all rubbish, litter, debris, automobile parts, etc.

- k. Parking for Quick Oil Change Facilities. Quick oil change facilities shall provide off-street waiting spaces equal to five (5) times the number of oil change stalls for automobiles awaiting entrance. Each off-street waiting space shall be 10 feet wide by 20 feet long.
- l. Storage or Impounding. Storage or impounding of vehicles at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being stored or impounded at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
- m. Hours of Operation. In addition to all of the above standards, any vehicle repair facility adjacent to any residential district may only be open between the hours of 7:00 a.m. and 10:00 p.m.

2. For proposed lighting plan, address the following:

- a. Include ratios for maximum to minimum and average to minimum.
- b. Verify that proposed light fixtures are 3500° degrees Kelvin or less. Fixtures A and B appear to not comply.
- c. Verify that proposed fixture C complies with flush-mounting provides of code.

2. Indicate plans (timetable, setbacks, size and other details) for implementing future building areas shown on sheet CP-2.0. If not concurrent with proposed building/site proposed under this application, remove and revise site plan to comply with screening and landscaping and other provisions including the vehicle storage portion of the pavement. If the proposed building are to be developed at this time, building plans and design/development information is needed at this time that comply with UVD/Planning & Zoning Code standards.

3. Per UVD Section 1267.08(a)(1), Four-Sided Consistency, staff recommends the following:

- a. Extend proposed awning across front/north elevation façade.
- b. Provide window openings on the west and south elevations

4. Proposed signage and mural to be reviewed by City staff outside of Planning Commission site plan review process per sign code, UVD standards.

5. Per UVD Section 1267.08(a)(2), Orientation to Street, the front/north elevation needs to be architecturally enhanced to address this requirement with respect to the proposed building entrance.

6. Provide a record plan dedicating 60 Ft. right of way across frontage of SR 73 as well as a 10 Ft. utility easement.

7. Provide a 1" minimum "K" copper water service tap to the new building along with a new 6" sanitary sewer lateral (SDR 35 or SCH 40) to the existing 8" sewer main. Maintain a min 2% slope on sewer lateral to the building and indicate on plans.

8. Water meter to be located inside building with remote reader.

9. Based upon future plan, how will the water and sewer laterals reach future buildings? Should an 8" water main and 8" sewer main be installed in the middle of the property to provide the laterals? Each new building will require a separate water and sewer lateral.

10. Provide side yard swale slope information into basin with spot elevations.

11. Label storm structures on plan view.

12. Provide a 5 foot wide sidewalk along the frontage, including through the 7" concrete driveway apron, with a 2 foot tree lawn.

13. Provide details for the emergency overflow for detention basin.

14. Identify benchmark.

15. Detention calculation currently under review.

16. Dimension the parking lot stalls; to be min 9 feet wide by 18 feet long.

17. Provide building setbacks on plans (measured from overhang).

18. Provide rip-rap details at all storm sewer outlets, and clearly state the headwall locations.

19. Provide proposed contours in parking/drive aisle and spot elevations throughout.

20. Clearly show the limits of the curbing for the parking lot and drive aisle.

21. Provide roof drain invert at detention basin and slope information.

22. Provide details that show the existing curb and gutter along SR 73 to be removed and replaced with ODOT type 2 depressed curb and gutter. Provide 7" concrete apron and sidewalk details.

23. Verify the location of the building on C-2.0 Layout Plan on the 70 foot dimensional arrow.
24. Final revised and approved site plan shall be submitted to include all comments by City staff and Planning Commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
25. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
26. The Clearcreek Fire District has no comments at this time.

**Discussion:**

Chris Hinkel, Dryden Builders and Rick, Gayle and Ricky Relich with Foreign Exchange were present to discuss their application.

Mr. Hinkel stated that he has reviewed all staff comments and he highlighted some of the changes that were made to the site plan regarding fencing, screening and provided an overview of the landscaping.

Mr. Harding referred to comment (K) regarding parking for quick change facilities, clarifying the size of the spaces.

Mr. Hinkel explained that the parking stalls are per code, 9 feet wide and 18 feet deep, noting that their facility is not considered a "quick change" facility since they typically do more extensive repairs.

Mr. Ricky Relich explained that their facility is more routine, scheduled maintenance and not just quick oil changes.

Ms. Iverson confirmed that the 9 foot by 18 foot spaces are acceptable. Mr. Boron stated that was acceptable.

Mr. Dimmitt referred to comment (i), asking if they will have trucks larger than one ton, such as the oil trucks that were mentioned previously.

Mr. Rick Relich explained that they plan to have an oil burning unit in the facility that would limit the amount of waste oil that needs to be picked up. He noted that there is not much need for larger trucks to enter the facility.

Mr. Hinkel addressed the lighting issues on comment #2. He explained plans to comply with all the requirements of the lighting codes as well as provide cut sheets.

Ms. Iverson asked for clarification on item #3, plans for future buildings.

Mr. Hinkel reviewed the site plan explained plans to utilize existing trees as well as possibly adding some small shrubs to aid in the screening. He noted that some of the landscaping may need to be relocated in the future based on the location of any future buildings.

Mr. Boron explained that without a current commitment to future buildings, the plan needs to comply as much as possible with the UVD provisions, and other buildings would be reviewed at a future date.

Mr. Hinkel was confident that the size of the larger trees will serve as acceptable screening.

He also reviewed plans and photos that addressed comment #4 regarding the proposed awnings as well as plans for additional windows on the south and west side to improve lighting. This should be adequate to comply with the UVD requirements.

Mr. Harding agreed this will be good improvements to dress up the building.

Mr. Hinkel reviewed the drawings and explained that the awnings being proposed will be at the front and side doors rather than all the way across. This will be consistent with the look of the businesses across the street at Wright Station as well as comply with the 4-sided consistency.

Mr. Boron felt that the full awning added more dimension to the building.

Mr. Reilich explained that they saw similar awnings on surrounding business, and also expressed concern with maintenance issues that larger awnings can present.

Ms. Reilich provided sample boards showing additional pictures, colors and materials for the building.

There was additional discussion about other options for the awnings such as metal instead of fabric, or an L-shaped awning around the corner of the building.

Mr. Thompson stated that the awnings of the doorway were sufficient and there should not be a problem identifying the front of the building.

Members agreed with this.

Ms. Iverson asked if there were any issues or questions on the remainder of the staff comments, #7-26.

Mr. Hinkel acknowledged they will need to clean up the drawings relative to the water and sewer for any future buildings and agreed to work with the engineering staff to resolve this. He discussed some preliminary plans such as the size of water lines and the possible need for additional meters.

Mr. Boron referred to staff comment #3, noting that the UVD requirements need to be fulfilled based on the stand alone building at this time, and staff can work with the applicant on the landscaping lighting, as well as items 7-26.

Mr. Pearson clarified that the awning question was resolved.

Mr. Davis understood it was agreed that the awning could be above the doors as presented tonight.

Mr. Hinkel also noted that a survey team is working on flag placement, soil work and property lines. He explained that there is some overhead electric service and are still trying to locate any easement documents from Duke. This issue may need to be addressed in order to meet the build-to line requirements.

Mr. Boron agreed some of this is unknown and will be addressed in the future, and could result in a revision to the plan later.

Ms. Iverson asked for a motion for approval of the Site Plan for 95 West Central Ave., proposed vehicle service facility for Foreign Exchange, Avenue contingent on complying with the staff comments as discussed, and the omission of staff comment 4 (a).

*Mr. Pearson motioned to approve. Mr. Davis seconded the motion.*

Vote: Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes; Harding, yes; (6-0)

#### **IV. Guest Comments**

None.

#### **V. Planning Commission and Staff Comments**

Ms. Iverson reported that at the last Council meeting, the developer agreed to remove the apartments from the Easton Development plan, and she just wanted to thank staff and the Planning Commission for all the hours that were put in on these discussions

Mr. Harding also thanked Ms. Iverson for standing up for the Planning Commission and the process that is involved.

Mr. Boron stated that next Planning Commission meeting is scheduled for October 13th and the deadline is Friday, September 24th.

Mr. Harding asked when the Easton Development Plan could be coming back to the Planning commission.

Mr. Boron explained that if and after the City Council approves the recommendation after the 3rd reading, the Planning Commission could then see a final development plan shortly thereafter. It is likely that the plan will have a phased approach to the development and the Planning Commission will see each phase.

#### **Adjournment**

*Mr. Harding motioned to adjourn the September 8, 2021 Planning Commission Meeting at 7:15p.m.  
Mr. Dimmitt seconded the motion.*

Vote: Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Thompson, yes; Davis, yes. (6-0)

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Becky Iverson, Planning Commission Chairperson

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Dan Boron, Planning Consultant

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Ann Burns, Planning Commission Secretary

**WOODLAND GREENS HOMEOWNERS ASSOCIATION**  
**OBJECTIONS TO THE APPLICATION OF**  
**BEEHIVE ASSISTED LIVING**  
**FOR THE ADDITION OF THE ASSISTED LIVING FACILITY, PHASE TWO,**  
**LOCATED AT 1325 LYITLE-FIVE POINTS ROAD**  
**PARCEL NO. 04081010290**

On or about June 21, 2021, James Alt, as the agent of Beehive Assisted Living and Seva Group, LLC, the owner of Parcel No. 04081010290, commonly known as 1325 Lytle-Five Points Road in Springboro, Ohio (“Property”), filed an application for approval of a site plan for a 31,000 square foot building for use as an assisted living and physical therapy facility. A copy of the first page of the application is attached hereto as Exhibit 1. The Woodland Green’s Homeowners Association represents homeowners who have property adjacent to the Property and desire to file with the Planning Commission of Springboro these formal objections to the granting of the application because the facility is contrary to the written provisions and spirit of the Zoning Code of Springboro.

The Springboro Zoning Code in section 1261.09(b) states “[n]o building or structure or part thereof shall hereafter be erected, constructed, reconstructed, moved or structurally altered, except in conformity with all of the regulations specified in this Zoning Code for the district in which it is located. The Zoning Map of Springboro, Ohio lists the Property as O-R, which is defined in Zoning Code Section 1261.01 and Table 3 as Office Residential District. Zoning Code Section 1261.08(d) defines the Office-Residential District as follows:

- (1) Purpose. The purpose of the O-R District is to provide for a mixture of residential uses, and **small-scale** professional offices (emphasis added).
- (2) Intent. The intent of the O-R District is to act as a transition between established residential neighborhoods and non-residential areas. Development

should reflect a **residential scale** and not generate or create traffic or noise detrimental to the adjoining neighborhoods (emphasis added).

The Springboro Zoning Code does not specifically define small-scale or residential scale.

Although there are no definitions of the above referenced terms, the past history of Springboro leads to the inescapable conclusion that small-scale and residential scale means building containing less than 10,000 square feet<sup>1</sup>. Exhibit 2 attached hereto is an excerpt of the Springboro Zoning Map displaying the O-R area surrounding the Property in the area of SR 741. In this area, there are 30 areas or sections with the designation O-R. Exhibit 3 is a spreadsheet listing these areas/properties, information pertaining to those properties, and the square footage of the buildings upon those properties summarized from the information available at the Warren County Auditor's office<sup>2</sup>. The documentation upon which this summary is created is contained in Exhibits 4-40 also attached hereto (the numbers in the first column are the exhibit number, and the numbers in the second column of Exhibit 3 correspond to O-R area with the numbers superimposed on Exhibit 2 for point of reference). Additionally, specific homeowners Jane Van Maldeghem, George Coppock, and Elizabeth Coppock provide additional comments in Exhibits 41, 42, and 43 attached hereto.

A brief review of Exhibit 3 demonstrates the 34 buildings in this O-R Zone have square footages ranging from 586 square feet to 9112 square feet, all being less than 10,000

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<sup>1</sup> The only aberration to this is the Beehive Assisted Living facility, phase 1, which is 15,903 square feet at 1325 Lytle Five Points Road.

<sup>2</sup> The four areas at the southeast corner of SR 741 and Lytle Five Points Road, which are in a different Zoning District, were also included (Exhibits 4-7).

square feet<sup>1</sup>. Clearly, the 32 buildings allowed in this O-R district before the Beehive Assisted Living facility, phase 1, were consistent with small scale or residential scale.

The Beehive Assisted Living facility, phase 1, on the Property at 15,903 square feet is an aberration from the Zoning Code and the previous actions of the City of Springboro. In our opinion, the granting of the approval of phase 1 of the Beehive Assisted Living facility was incorrect, and doubling down by approving a 31,000 square foot second facility only compounds the problem. There is nothing “small scale” about a 31,000 square foot building, which is contrary to the word and spirit of the Zoning regulations for the O-R district. The requested application for a 31,000 square foot building in the O-R district is non-compliant with the Zoning code.

No building in Springboro can be built unless it is in compliance with all of the regulations specified in this Zoning Code for the district in which it is located. Zoning Code section 1261.09(b). The Planning Commission can only approve site plans that conform to the Zoning Code. In this matter, the application of Beehive Assisted Living and Seva Group, LLC for a 31,000 square foot building in the O-R district conflicts with “small-scale professional offices” and “residential scale” to prevent its approval. For the reasons stated above, the Woodland Greens Homeowners Association requests the Planning Commission deny the application because it is not in compliance with the Springboro Zoning Code.

Respectively submitted,

*/s/ Patrick J. Janis*

Patrick J. Janis (0012194) Of Counsel

Wayne E. Waite (0008352)

WAITE, TOMB & EBERLY

124 West Main Street

Troy, Ohio 45373

Phone: (937) 339-3939

Fax: (937) 440-1659

[pjjanis@helpinohio.com](mailto:pjjanis@helpinohio.com)

[wwaite@helpinohio.com](mailto:wwaite@helpinohio.com)

Attorneys for the Woodland Greens HOA

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

## CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN  REVISION TO APPROVED SITE PLAN  CONCEPT PLAN  PRELIMINARY SUBDIVISION  RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner APPLICANT NAME: JAMES M. ALT  
 Agent  
 Lessee Address STE B 2440 DAYTON XENIA RD  
 Signed Purchase  
Contract BEAVERCREEK, OH 45434  
 Telephone No. ( 937 ) 477 2977  
 Fax No. ( - ) -  
 Email Address jalt@altarchitecture.com

PROPERTY OWNER NAME (IF OTHER): SEVA GROUP, LLC, ATTN SEAN BARRY

Address: 1325 Lytle - Five Points Rd  
Springboro, OH 45066

Telephone No. ( 614 ) 226 7638

Property Address or General Location: 1325 Lytle.Fivepoints Rd

Parcel Number(s): 04081010290 (04081010280) Zoning District: O-R

Proposed Use: Assisted Living and Physical Therapy

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
 (Signature of Applicant and/or Agent)

2021-06-21

(Date)

Printed Name JAMES M. ALT

## EXHIBIT 2

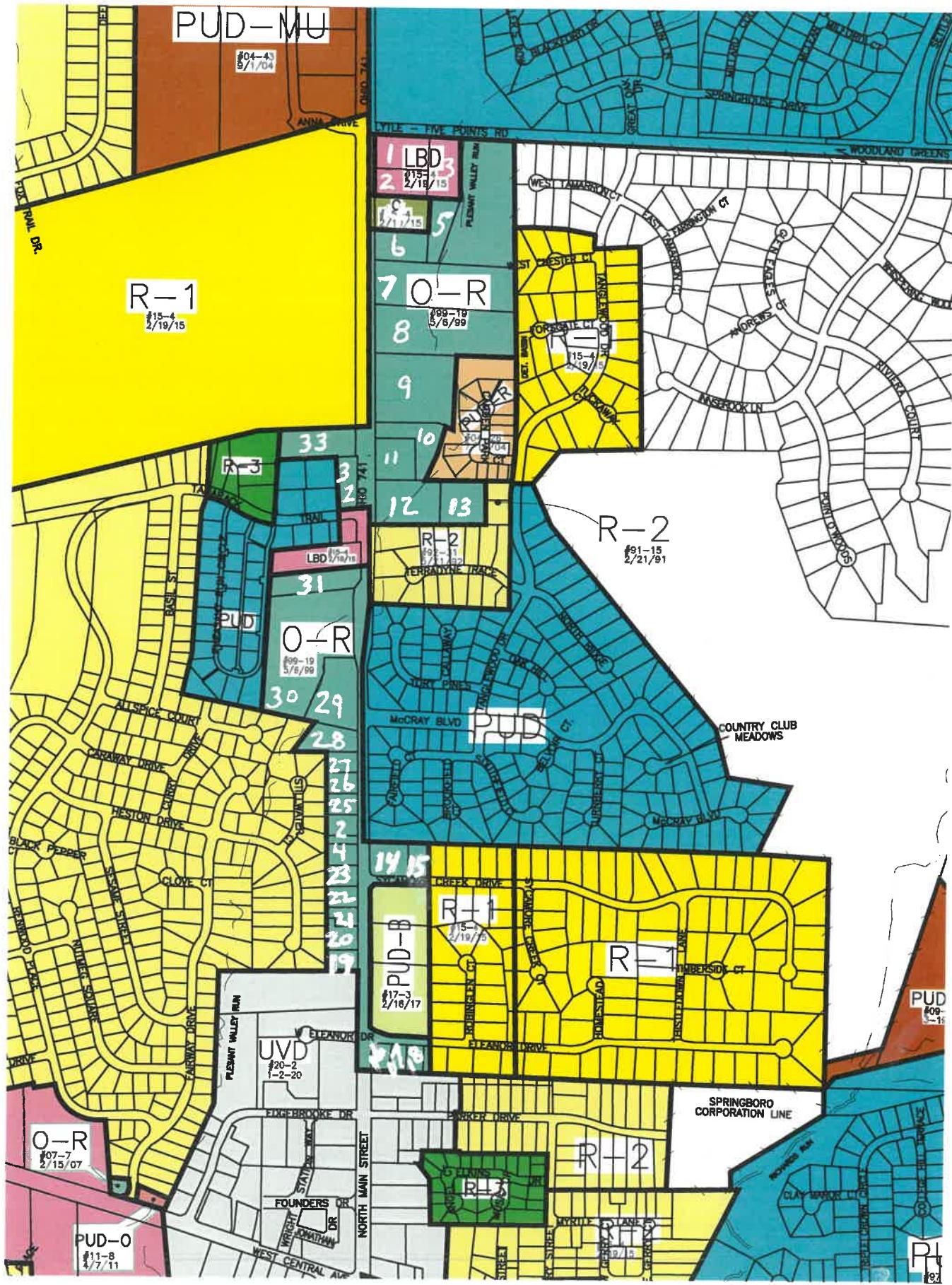


EXHIBIT 3

Exhibit	Number	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
Exhibit 2							
4	1	551864	408101012	KeyBank	690 n. Main St.	3200	
5	2	520365	408101011	Settlers Station	662 N. Main St.	8400	
6	3	551865	408101010	QGH Ltd.	W Lytle Five Points	Vacant	
7	4	552142	408101013	National City	650 N. Main St.	4054	
8	5	549649	408101015	QGH LFP SR bus. P	N Min Street	Vacant	
9	6	552655	4081010162	Miami Valley	630 N. Main St.	NO TAX	
10	7	552557	408101025	7 for 1 LLC	620 N. Main St.	7200	
	7	552633	408101024	Stokes Reserve	610 N. Main St.	3647	
	7	518417	408101023	Boro Investments	N. Main St.	Vacant	
11	8	518263	408100027	Eddie & Judy Lawson	590 N. Main St.	1716	
12	9	552641	408100053	Stryder LLC	582 N. Main St.	3056	—
9	552642	408100054	Dayton Eye II LLC	580 N. Main St.	3091	—	9112
9	552475	408100049	Midwest Spine	578 N. Main St.	2965	—	
13	9	552333	408100045	Emadi LLC	576 N. Main St.	3672	—
9	552334	408100046	Emadi LLC	574 N. Main St.	2568	—	6240

Exhibit	Number	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
14	9	551998	408100042	Saleh Enter	572 N. Main St.	3438	—
	9	551997	408100041	Shadow Company of Sp	568 N. Main St.	3776	—
15	9	552130	408100044	Raj Kulkarni	566 N. Main Street	2852	—
	9	552129	408100043	B&J's Professional Bld	564 A N.Main St.	3344	—
16	9	549517	408100032	SABR Inv. Ltd	562 N. Main St.	5274	
17	10	552335	408100047	Menrisky Inv. LLC	550 N. Main St.	4400	
18	11	550612	408169032	North Key Inc.	512 N. Main St.	2520	
19	12	550130	408169034	City of Springboro	510 N. Main St.	586	
20	13	518247	408169026	Tim & Kath Stonecash	N Tanglewood Dr.	Vacant	
	13	518255	408169206	Tim & Kath Stonecash	N Tanglewood Dr.	Vacant	
21	14	537012	408351032	TPG Inv. LLC	4 Sycamore Creek Dr.	4896	
	14	550338	408351029	6 Sycamore Creek Dr.	6 Sycamore Creek Dr.	4609	
22	15	528102	408351028	BAE Prop LLC	8 Sycamore Creek Dr.	3200	
23	16	520519	408355012	City of Springboro	5 Eleanor Dr.	Vacant	
24	17	520527	408355002	Eliz & Robt Rudd	15 Eleanor Dr.	2464	
25	18	506389	408355003	Gary & Anita Canterbury		2139	

Exhibit	Number	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
26	19	526819	414479027	Maple Leaf Funding	235 N. Main St.	2061	
27	20	526797	414479031	Pro Four PLL	245 N. Main St.	7200	
	20	526789	414479031	Pro Four PLL	N. Main		Vacant
28	21	550073	414479033	Rico Inv. LLC	255 N. Main	1384	
29	22	526762	414479029	James Walden	265 N. Main St.	2294	
30	23	526754	414479025	AG Real Estate Inv. LLC	275 N. Main St.	2856	
31	24	526746	414479053	Music Limited Part.	325 N. Main	7776	
32	25	526711	414426020	Lydia Siddens	335 N. Main St.	4448	
33	26	526703	414426024	Jcubed LLC	345 N Main St.	4310	
34	27	526681	414426022	Tri State CPAS LLC	355 N. Main St.	2662	
35	28	526673	414426018	Ramm Properties LLC	365 N. Main St.	3500	
36	29	526843	414426030	Music Ltd. Part.	405 N.Main St.	2924	
37	30	542539	414426028	Miami Presbytery	415 N. Main St.	8653	
38	31	530980	414252098	Global Technologies	465 N. Main St.	2520	
39	32	536016	414253044	Rainbow Rascals	505 N. Main St.	5027	
40	33	518336	414253049	Colleen Bossi Co LLC	535 N. Main St.	7686	


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

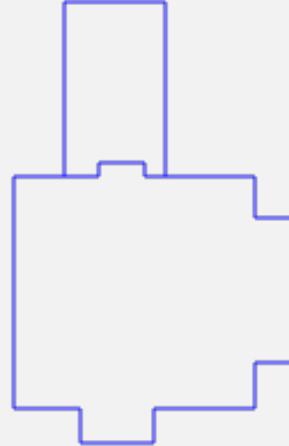
**Linda Oda**  
 Recorder

Parcel ID	0408101012	Current Owner	KEYBANK NATIONAL ASSOCIAT	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0551864	Property Address	690 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.4457 ACRES	State Use Code	0444 - FULL SERVICE BANK	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/17/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

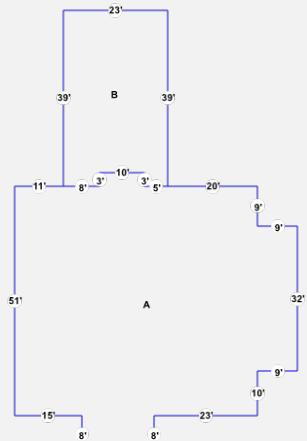
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$453,410	\$158,690
BUILDING	\$410,800	\$143,780
TOTAL	\$864,210	\$302,470
CAUV	\$0	-

Parcel ID	0408101012	Current Owner	KEYBANK NATIONAL ASSOCIAT	Account Number	0551864
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A    BRICK  
B    BRICK

1 STORY  
CANOPY

3200  
867

##### Building Detail

Occupancy Code	GCM
Building ID	BANK
Perimeter	250 Feet
Year Built	2004

Remodel Year	0
Grade	A-10
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	12 ft	90.14
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.23
Wall Height Adjustment		-3.02
Base Price		84.89
BPA %		100
Sub Total		84.89

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	84.89
Area	3200 Sq. Ft.
SubTotal	271,650.00

Plumbing	4,800.00
Features	72,150.00
Total Base	348,600.00
Grade %	135
Cost %	0
Design %	0
Replacement Value	470,610.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	400,000.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
3	VAULT	MV		0	0	120	0	0	00		0	0
4	VAULT DOOR	MV		10	0	0	0	0	00		0	0
7	NIGHT DEPOSITORY			0	0	0	0	0	00		0	0
99	CAN ADDN 867 SF			0	0	867	0	0	00		15	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

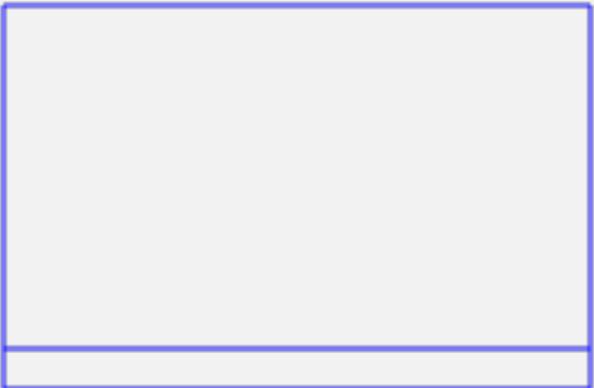
**Linda Oda**  
Recorder

Parcel ID	0408101011	Current Owner	SETTLERS STATION	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0520365	Property Address	662 N MAIN ST SPRINGBORO (662-680) 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-8 1.065 ACRES	State Use Code	0425 - NEIGHBORHOOD SHOPPING CENTER	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	12/03/2020	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

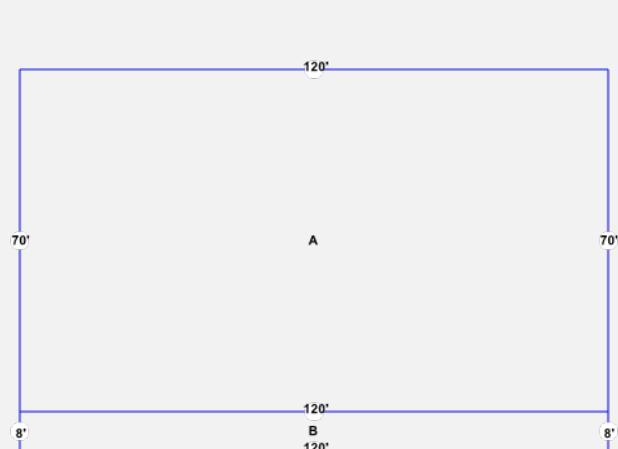
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$556,690	\$194,840
BUILDING	\$688,400	\$240,940
TOTAL	\$1,245,090	\$435,780
CAUV	\$0	-

Parcel ID	0408101011	Current Owner	SETTLERS STATION	Account Number	0520365
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A      BRICK  
B      BRICK

1 STORY  
CANOPY

8400  
960

##### Building Detail

Occupancy Code	GCM
Building ID	COMM
Perimeter	380 Feet
Year Built	2005

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	16 ft	65.60
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		0.00
Wall Height Adjustment		2.88
Base Price		68.48
BPA %		100
Sub Total		68.48

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	68.48
Area	8400 Sq. Ft.
SubTotal	575,230.00

Plumbing	26,400.00
Features	10,560.00
Total Base	612,190.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	746,870.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	672,200.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 960 SF			0	0	960	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

**Linda Oda**  
 Recorder

Parcel ID	0408101010	Current Owner	QGH LTD.	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551865	Property Address	W LYITTLE-FIVE POINTS RD SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 1.678 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture

**No Photo Available**


Primary Sketch

**No Sketch Found  
For Selected Property**

## Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/05/2003	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

## Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$397,440	\$139,100
BUILDING	\$0	\$0
TOTAL	\$397,440	\$139,100
CAUV	\$0	-


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

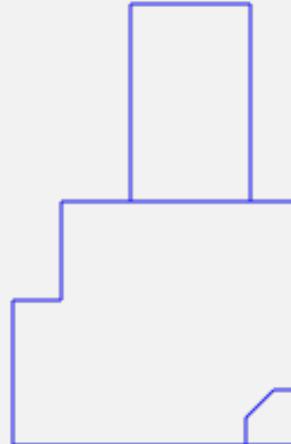
**Linda Oda**  
 Recorder

Parcel ID	0408101013	Current Owner	NATIONAL CITY BANK	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552142	Property Address	650 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 1.4651 ACRES	State Use Code	0444 - FULL SERVICE BANK	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$781,250	Bedrooms	0
Last Sale Date	08/23/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

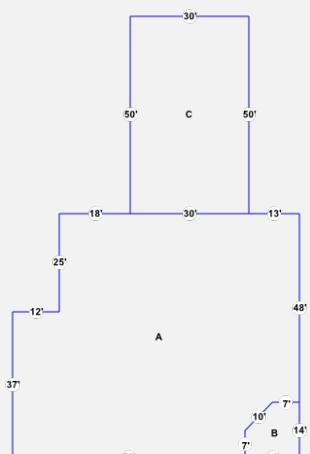
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$425,800	\$149,030
BUILDING	\$425,700	\$149,000
TOTAL	\$851,500	\$298,030
CAUV	\$0	-

Parcel ID	0408101013	Current Owner	NATIONAL CITY BANK	Account Number	0552142
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

**A** BRICK  
**B** STUCCO & FR.  
**C** BRICK

**1 STORY**  
**CANOPY**  
**CANOPY**

**4054**  
**172**  
**1500**

#### Building Detail

Occupancy Code	GCM
Building ID	BANK
Perimeter	266 Feet
Year Built	2005

Remodel Year	0
Grade	B+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	16 ft	86.69
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.23
Wall Height Adjustment		2.45
Base Price		86.91
BPA %		100
Sub Total		86.91

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	86.91
Area	4054 Sq. Ft.
SubTotal	352,330.00

Plumbing	4,800.00
Features	41,780.00
Total Base	398,910.00
Grade %	135
Cost %	0
Design %	0
Replacement Value	538,530.00
Physical Depreciation %	15
Obsolescence Dep. %	10
Influence %	0
True Value	412,000.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
5	DRIVE UP WINDOW			0	0	0	0	0	00		0	0
7	NIGHT DEPOSITORY			0	0	0	0	0	00		0	0
99	CAN ADDN 172 SF			0	0	172	0	0	00		15	0
99	CAN ADDN 1500 SF			0	0	1500	0	0	00		15	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408101015	Current Owner	QGH LFP-SR 741 BUSINESS P	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0549649	Property Address	N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.0776 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture

No Photo Available



Primary Sketch

No Sketch Found  
For Selected Property

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	03/08/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$16,810	\$5,880
BUILDING	\$0	\$0
TOTAL	\$16,810	\$5,880
CAUV	\$0	-

Warren County Ohio

**EXHIBIT 9**

# WARREN COUNTY

## Property Search

### Property Summary

[Printable Property Report](#)

Parcel ID	Current Owner	Property Value As Of	01-01-2020
Parcel Seq			
Account Number	0000000	Property Address	Ownership As Of 08-17-2021
			Tax Data As Of 08-17-2021
Legal Description	0 ACRES	State Use Code	Census Tract 0
Tax District		Neighborhood ID	Ohio Public School District Number 0
		School District	<a href="#">Click Here For Neighborhood Sales</a>

### Summary

[Building Details](#)
[Tax Info](#)
[Payments/Refunds](#)
[Tax Bill](#)
[Sales History](#)
[Value History](#)
[Land Records](#)
[Outbuildings](#)
[Yard Items](#)
[Memos](#)

Warren County Ohio

## Summary

# View Photos

**No Sketch Found  
For Selected Property**

Click on sketch to view details



Warren County GIS

Click image to link to map

## Warren County Ohio

**Value Summary****CURRENT VALUE AS OF 01-01-2020**

Valuation	True Value	Assessed Value
Land	\$0	\$0
Building	\$0	\$0
Total	\$0	\$0
CAUV	\$0	-

**Tax Summary****Tax Year 2020**

2020▼

	First Half	Second Half	Delinquent	Total Charge
Total Net Tax	\$0.00	\$0.00	\$0.00	\$0.00
Penalty	\$0.00	\$0.00	\$0.00	\$0.00
Special Assessments	\$0.00	\$0.00	\$0.00	\$0.00
SA Penalty	\$0.00	\$0.00	\$0.00	\$0.00
Adders	\$0.00	\$0.00	\$0.00	\$0.00
Remitters	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00	\$0.00	\$0.00	\$0.00
Refunded	\$0.00	\$0.00	\$0.00	\$0.00
Due	\$0.00	\$0.00	\$0.00	\$0.00
Aug Tax Interest				\$0.00
Aug SA Interest				\$0.00
Dec Tax Interest				\$0.00
Dec SA Interest				\$0.00
Def Tax Interest				\$0.00
Def SA Interest				\$0.00



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408101023	Current Owner	BORO INVESTMENTS	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0518417	Property Address	N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-8 2.7505 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch

**No Sketch Found  
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	09/21/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$214,540	\$75,090
BUILDING	\$0	\$0
TOTAL	\$214,540	\$75,090
CAUV	\$0	-



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

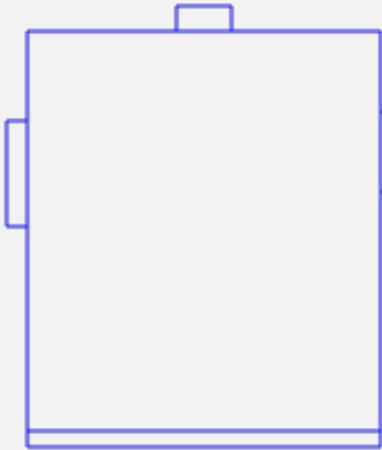
**Linda Oda**  
Recorder

Parcel ID	0408101025	Current Owner	7 FOR 1 LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552557	Property Address	620 N MAIN ST SPRINGBORO (620-626) 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 0.9946 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$220,000	Bedrooms	0
Last Sale Date	08/10/2009	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2009	Total Living Area	0 sq. ft.

Value Summary

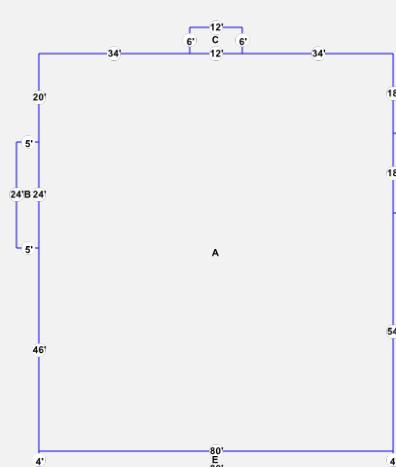
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$211,210	\$73,920
BUILDING	\$512,600	\$179,410
TOTAL	\$723,810	\$253,330
CAUV	\$0	-

Parcel ID	0408101025	Current Owner	7 FOR 1 LLC	Account Number	0552557
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	BRICK	1 STORY	7200
B	FRAME	CANOPY	120
C	FRAME	CANOPY	72
D	FRAME	CANOPY	90
E	FRAME	CANOPY	320

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICES
Perimeter	340 Feet
Year Built	2009

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	61.92
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-1.87
Base Price		57.75
BPA %		100
Sub Total		57.75

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	57.75
Area	7200 Sq. Ft.
SubTotal	415,800.00

Plumbing	10,800.00
Features	6,620.00
Total Base	433,220.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	528,530.00
Physical Depreciation %	5
Obsolescence Dep. %	0
Influence %	0
True Value	502,100.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 120 SF			0	0	120	0	0	00		11	0
99	CAN ADDN 72 SF			0	0	72	0	0	00		11	0
99	CAN ADDN 90 SF			0	0	90	0	0	00		11	0
99	CAN ADDN 320 SF			0	0	320	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

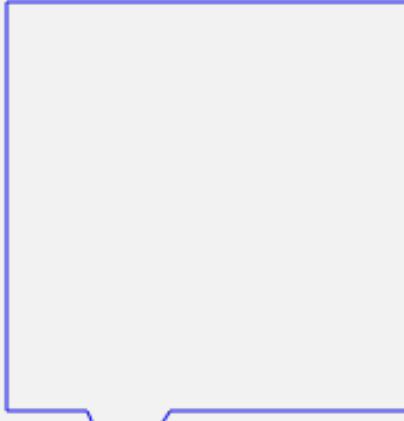
**Linda Oda**  
Recorder

Parcel ID	0408101024	Current Owner	STOKES RESERVE INVESTMENT	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0552633	Property Address	610 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.0651 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$450,000	Bedrooms	0
Last Sale Date	01/29/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1990	Total Living Area	0 sq. ft.

Value Summary

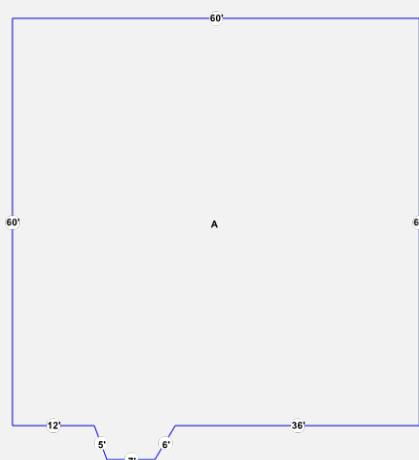
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$241,250	\$84,440
BUILDING	\$198,300	\$69,410
TOTAL	\$439,550	\$153,850
CAUV	\$0	-

Parcel ID	0408101024	Current Owner	STOKES RESERVE INVESTMENT	Account Number	0552633
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



A BRICK

#### Sketch Details

1 STORY

3647

#### Building Detail

Occupancy Code	GCM
Building ID	OFFICES
Perimeter	246 Feet
Year Built	1990

Remodel Year	0
Grade	C
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	12 ft	66.89
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		0.00
Wall Height Adjustment		0.00
Base Price		66.89
BPA %		100
Sub Total		66.89

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	66.89
Area	3647 Sq. Ft.
SubTotal	243,950.00

Plumbing	9,600.00
Features	0.00
Total Base	253,550.00
Grade %	100
Cost %	0
Design %	0
Replacement Value	253,550.00
Physical Depreciation %	25
Obsolescence Dep. %	0
Influence %	0
True Value	190,200.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

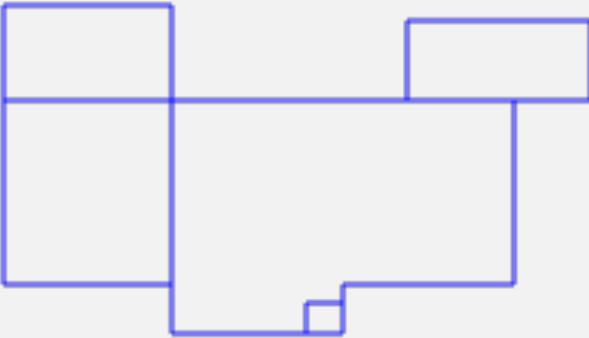
**Linda Oda**  
Recorder

Parcel ID	0408100027	Current Owner	LAWSON EDDIE JR. & JUDITH	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0518263	Property Address	590 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5 -2-8 5.174 ACRES	State Use Code	0511 - SGL. FAMILY DWG. 0 TO 9.99 AC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	08/13/1987	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	1,168 sq. ft.
Homestead Exemption	Y	Finished Basement/Attic	601 sq. ft.
Year Built	1951	Total Living Area	1,769 sq. ft.

Value Summary

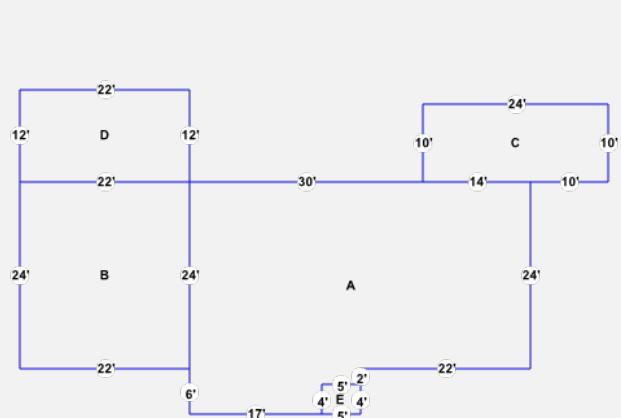
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$134,520	\$47,080
BUILDING	\$127,920	\$44,770
TOTAL	\$262,440	\$91,850
CAUV	\$0	-

Parcel ID	0408100027	Current Owner	LAWSON EDDIE JR.& JUDITH	Account Number	0518263
Parcel Seq	0				

### Residential Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	BRICK	1 STORY	1168
B	BRICK	GARAGE	528
C	FRAME	SOLARIUM	240
D	FRAME	CANOPY	264
E	FRAME	ENCLOSE PORCH	20

Occupancy	1 FAMILY UNIT
Construction Year	1951
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	1716 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	123,620.00

##### Special Features

No Special Features Found



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

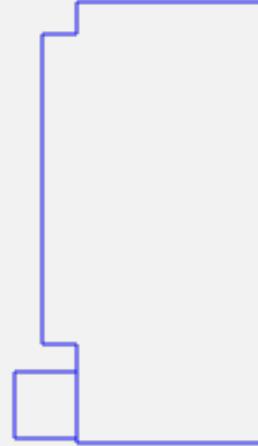
**Linda Oda**  
Recorder

Parcel ID	0408100053	Current Owner	STRYDER LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552641	Property Address	582 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3A LOT: 4-C 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$538,774	Bedrooms	0
Last Sale Date	03/09/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

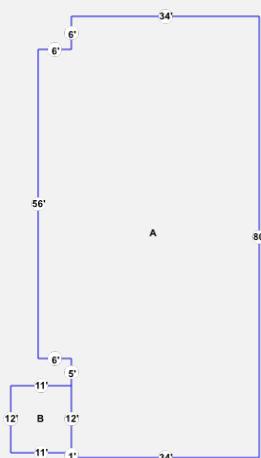
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$91,680	\$32,090
BUILDING	\$371,500	\$130,030
TOTAL	\$463,180	\$162,120
CAUV	\$0	-

Parcel ID	0408100053	Current Owner	STRYDER LLC	Account Number	0552641
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A FR. & MASONRY  
B FRAME

1 STORY  
CANOPY

3056  
132

#### Building Detail

Occupancy Code	GCM
Building ID	OFC
Perimeter	240 Feet
Year Built	2006

Remodel Year	0
Grade	C+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	69.48
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-3.02
Base Price		64.16
BPA %		100
Sub Total		64.16

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	64.16
Area	3056 Sq. Ft.
SubTotal	196,070.00

Plumbing	0.00
Features	1,450.00
Total Base	197,520.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	217,270.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	90
True Value	371,500.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			11	12	0	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

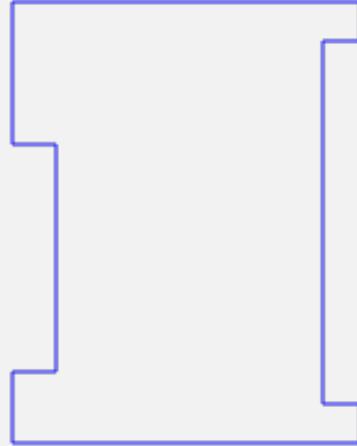
**Linda Oda**  
Recorder

Parcel ID	0408100054	Current Owner	DAYTON EYE II LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552642	Property Address	580 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3A LOT: 4-D 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$463,370	Bedrooms	0
Last Sale Date	12/21/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

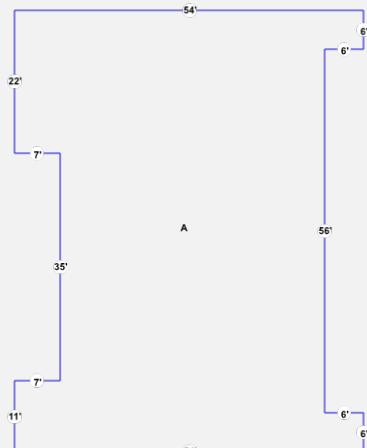
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$92,730	\$32,460
BUILDING	\$340,300	\$119,110
TOTAL	\$433,030	\$151,570
CAUV	\$0	-

Parcel ID	0408100054	Current Owner	DAYTON EYE II LLC	Account Number	0552642
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



Sketch DetailsA FR. & MASONRY1 STORY3091

#### Building Detail

Occupancy Code	GCM
Building ID	OFC
Perimeter	270 Feet
Year Built	2006

Remodel Year	0
Grade	C+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	72.00
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-3.31
Base Price		66.39
BPA %		100
Sub Total		66.39

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	66.39
Area	3091 Sq. Ft.
SubTotal	205,210.00

Plumbing	9,600.00
Features	0.00
Total Base	214,810.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	236,290.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	60
True Value	340,300.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

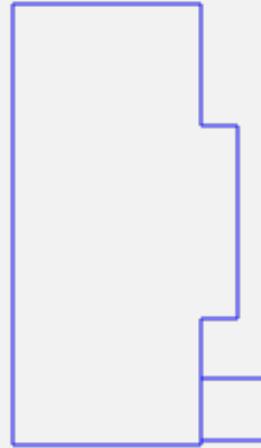
**Linda Oda**  
Recorder

Parcel ID	0408100049	Current Owner	MIDWEST SPINE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552475	Property Address	578 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3 LOT: 4-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$410,000	Bedrooms	0
Last Sale Date	11/19/2012	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

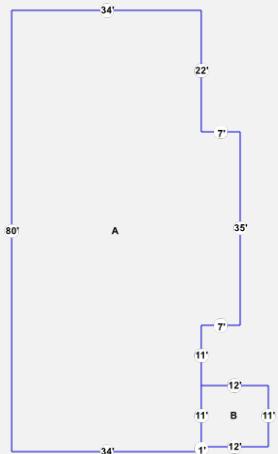
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$88,950	\$31,130
BUILDING	\$302,300	\$105,810
TOTAL	\$391,250	\$136,940
CAUV	\$0	-

Parcel ID	0408100049	Current Owner	MIDWEST SPINE	Account Number	0552475
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FR. & MASONRY	1 STORY	2965
B	FR. & MASONRY	CANOPY	132

#### Building Detail

Occupancy Code	GCM
Building ID	MED OFC
Perimeter	242 Feet
Year Built	2006

Remodel Year	0
Grade	C+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	89.02
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-3.02
Base Price		83.41
BPA %		100
Sub Total		83.41

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	83.41
Area	2965 Sq. Ft.
SubTotal	247,310.00

Plumbing	16,800.00
Features	1,450.00
Total Base	265,560.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	292,120.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	15
True Value	302,300.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			0	0	132	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408100045	Current Owner	EMADI LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552333	Property Address	576 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.2A LOT: 3-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$681,501	Bedrooms	0
Last Sale Date	06/10/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

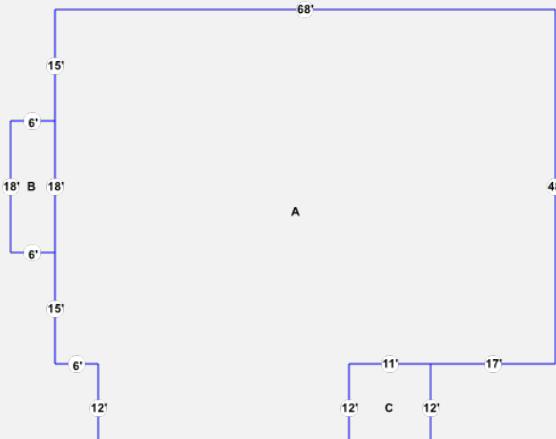
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$110,160	\$38,560
BUILDING	\$533,400	\$186,690
TOTAL	\$643,560	\$225,250
CAUV	\$0	-

Parcel ID	0408100045	Current Owner	EMADI LLC	Account Number	0552333
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FR. & MASONRY	1 STORY	3672
B	FR. & MASONRY	CANOPY	108
C	FR. & MASONRY	CANOPY	132

#### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	256 Feet
Year Built	2005

Remodel Year	0
Grade	C+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	82.54
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-1.44
Base Price		78.51
BPA %		100
Sub Total		78.51

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	78.51
Area	3672 Sq. Ft.
SubTotal	288,290.00

Plumbing	8,400.00
Features	2,640.00
Total Base	299,330.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	329,260.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	80
True Value	533,400.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 132 SF			0	0	132	0	0	00		11	0
99	CAN ADDN 108 SF			0	0	108	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

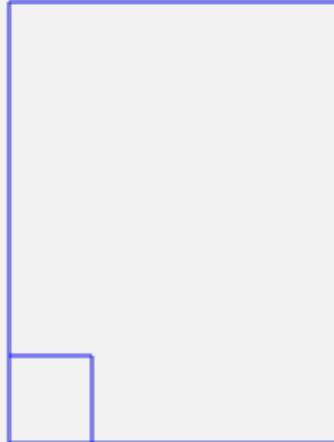
**Linda Oda**  
Recorder

Parcel ID	0408100046	Current Owner	EMADI LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552334	Property Address	574 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-16-2021
Legal Description	SPRINGBORO OFF.PK.2A LOT: 3-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-16-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$290,000	Bedrooms	0
Last Sale Date	02/25/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

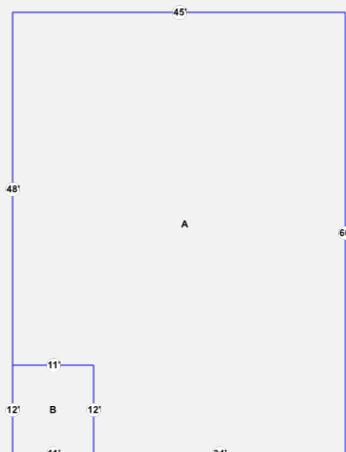
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$77,040	\$26,960
BUILDING	\$207,900	\$72,770
TOTAL	\$284,940	\$99,730
CAUV	\$0	-

Parcel ID	0408100046	Current Owner	EMADI LLC	Account Number	0552334
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FR. & MASONRY	1 STORY	2568
B	FR. & MASONRY	OPEN PORCH	132

Building Detail	
Occupancy Code	GCM
Building ID	OFFICE
Perimeter	210 Feet
Year Built	2005

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	64.51
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-1.73
Base Price		60.48
BPA %		100
Sub Total		60.48

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	60.48
Area	2568 Sq. Ft.
SubTotal	155,310.00

Plumbing	4,800.00
Features	1,450.00
Total Base	161,560.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	177,720.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	30
True Value	207,900.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 132 SF			0	0	132	0	0	00		11	0



**WARREN COUNTY**  
*Property Search*

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

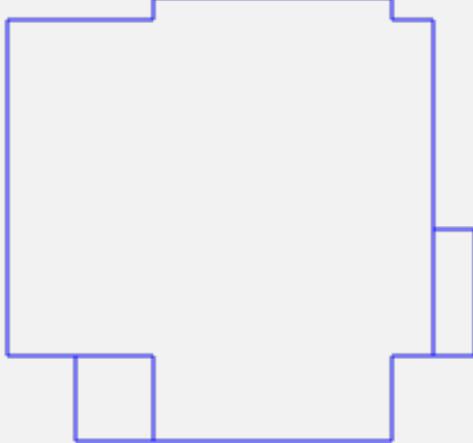
**EXHIBIT 14**

Parcel ID	0408100042	Current Owner	SALEH & SINKATHAMBY ENTER	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0551998	Property Address	572 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	SPRING.OFF.PRK.CON.2 LOT: 2-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

**Primary Picture**



**Primary Sketch**



**Residential Building and Last Sale Summary**

Last Sale Amount	\$773,698	Bedrooms	0
Last Sale Date	04/06/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

**Value Summary**

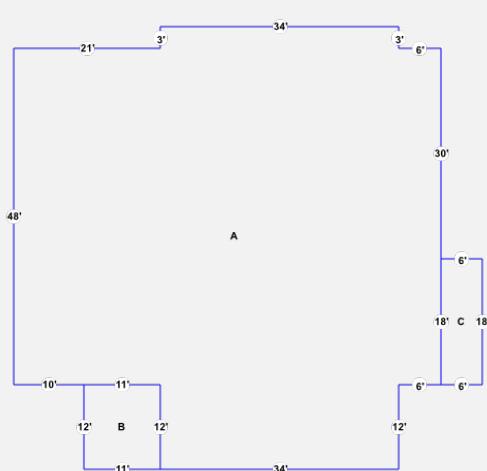
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$103,140	\$36,100
BUILDING	\$545,300	\$190,860
TOTAL	\$648,440	\$226,960
CAUV	\$0	-

Parcel ID	0408100042	Current Owner	SALEH & SINKATHAMBY ENTER	Account Number	0551998
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	FR. & MASONRY	1 STORY	3438
B	FR. & MASONRY	CANOPY	132
C	FR. & MASONRY	CANOPY	108

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	248 Feet
Year Built	2003

Remodel Year	0
Grade	C+10
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	86.18
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-2.45
Base Price		81.14
BPA %		100
Sub Total		81.14

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	81.14
Area	3438 Sq. Ft.
SubTotal	278,960.00

Plumbing	8,400.00
Features	2,520.00
Total Base	289,880.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	318,870.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	90
True Value	545,300.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			0	0	121	0	0	00		11	0
99	CAN ADDN 6X18			0	0	108	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408100041	Current Owner	SHADOW COMPANY OF SPRINGB	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551997	Property Address	568 N MAIN ST SPRINGBORO (568 & 570) 45066	Ownership As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON.2 LOT: 2-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	5.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$579,800	Bedrooms	0
Last Sale Date	02/02/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

Value Summary

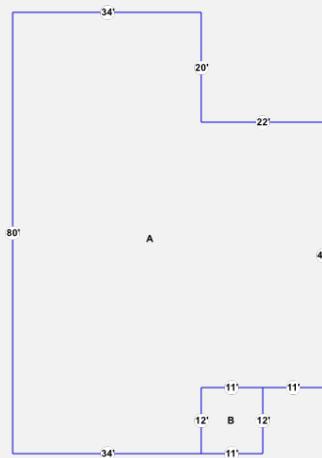
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$113,280	\$39,650
BUILDING	\$450,800	\$157,780
TOTAL	\$564,080	\$197,430
CAUV	\$0	-

Parcel ID	0408100041	Current Owner	SHADOW COMPANY OF SPRINGB	Account Number	0551997
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



A FR. & MASONRY  
B FR. & MASONRY

#### Sketch Details

1 STORY  
CANOPY

3776  
132

#### Building Detail

Occupancy Code	GCM
Building ID	MED OFC
Perimeter	272 Feet
Year Built	2003

Remodel Year	0
Grade	C+10
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	86.18
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-2.45
Base Price		81.14
BPA %		100
Sub Total		81.14

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	81.14
Area	3776 Sq. Ft.
SubTotal	306,390.00

Plumbing	8,400.00
Features	1,450.00
Total Base	316,240.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	347,860.00
Physical Depreciation %	10
Obsolescence Dep. %	10
Influence %	60
True Value	450,800.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			11	12	0	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

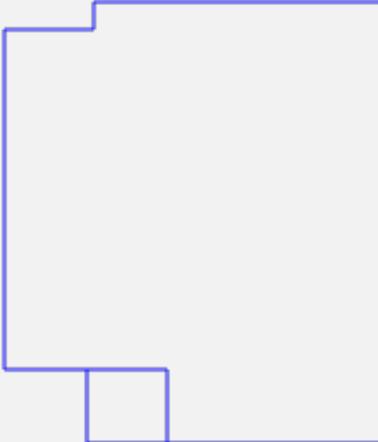
**Linda Oda**  
Recorder

Parcel ID	0408100044	Current Owner	KULKARNI RAJ	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552130	Property Address	566 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON. LOT: 1-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Tax Data As Of	08-17-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$548,986	Bedrooms	0
Last Sale Date	08/10/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

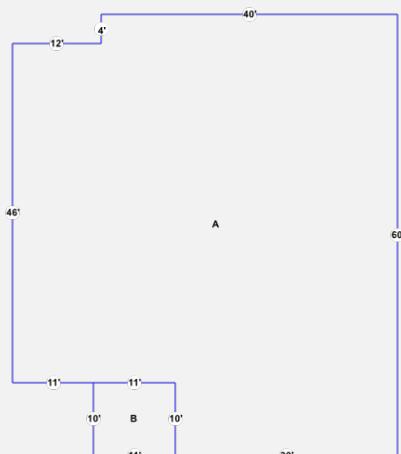
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$85,560	\$29,950
BUILDING	\$438,900	\$153,620
TOTAL	\$524,460	\$183,570
CAUV	\$0	-

Parcel ID	0408100044	Current Owner	KULKARNI RAJ	Account Number	0552130
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	FR. & MASONRY	1 STORY	2852
B	FR. & MASONRY	CANOPY	110

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	224 Feet
Year Built	2004

Remodel Year	0
Grade	C+10
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	89.02
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-3.02
Base Price		83.41
BPA %		100
Sub Total		83.41

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	83.41
Area	2852 Sq. Ft.
SubTotal	237,890.00

Plumbing	7,200.00
Features	1,210.00
Total Base	246,300.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	270,930.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	80
True Value	438,900.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 110 SF			0	0	110	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

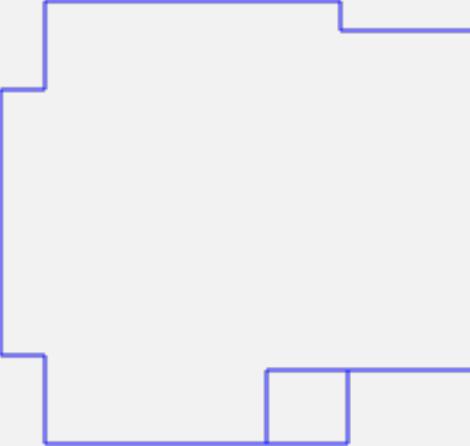
**Linda Oda**  
Recorder

Parcel ID	0408100043	Current Owner	B & J'S PROFESSIONAL BUIL	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-17-2021
Account Number	0552129	Property Address	564 A N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON. LOT: 1-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$522,627	Bedrooms	0
Last Sale Date	06/28/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

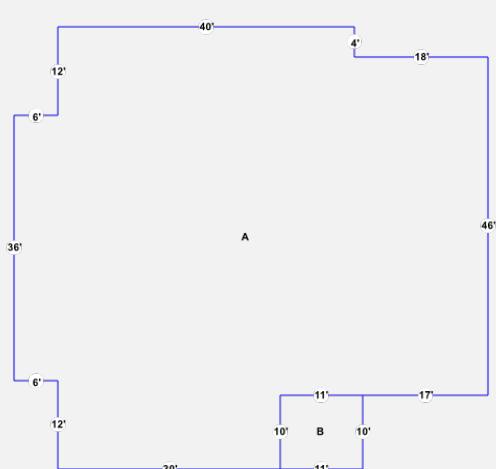
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$100,320	\$35,110
BUILDING	\$403,000	\$141,050
TOTAL	\$503,320	\$176,160
CAUV	\$0	-

Parcel ID	0408100043	Current Owner	B & J'S PROFESSIONAL BUIL	Account Number	0552129
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	FR. & MASONRY	1 STORY	3344
B	FR. & MASONRY	CANOPY	110

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	248 Feet
Year Built	2004

Remodel Year	0
Grade	C+10
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	78.47
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.47
Wall Height Adjustment		-2.44
Base Price		73.56
BPA %		100
Sub Total		73.56

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	73.56
Area	3344 Sq. Ft.
SubTotal	245,990.00

Plumbing	7,200.00
Features	1,210.00
Total Base	254,400.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	279,840.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	60
True Value	403,000.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 110 SF			0	0	110	0	0	00		11	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

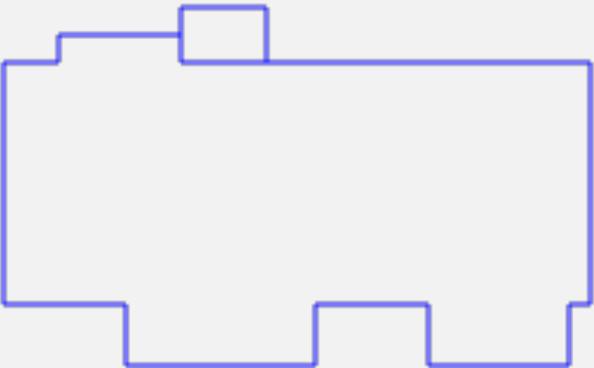
**Linda Oda**  
Recorder

Parcel ID	0408100032	Current Owner	SABR INVESTMENTS LTD	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0549517	Property Address	562 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 0.7424 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	02/05/2016	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

Value Summary

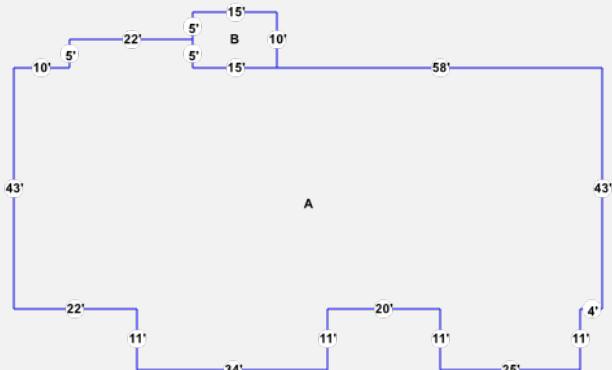
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$210,200	\$73,570
BUILDING	\$455,400	\$159,390
TOTAL	\$665,600	\$232,960
CAUV	\$0	-

Parcel ID	0408100032	Current Owner	SABR INVESTMENTS LTD	Account Number	0549517
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A    BRICK  
B    FR. & MASONRY

1 STORY  
CANOPY

5274  
150

##### Building Detail

Occupancy Code	GCM
Building ID	MED OFCS
Perimeter	350 Feet
Year Built	2003

Remodel Year	0
Grade	C+10
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	86.18
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-2.45
Base Price		81.14
BPA %		100
Sub Total		81.14

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	81.14
Area	5274 Sq. Ft.
SubTotal	427,930.00

Plumbing	16,800.00
Features	1,650.00
Total Base	446,380.00
Grade %	110
Cost %	0
Design %	0
Replacement Value	491,020.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	441,900.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 10X15			0	0	150	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

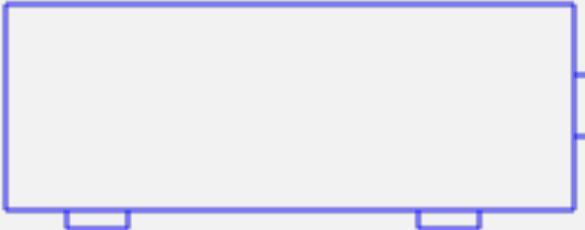
**Linda Oda**  
 Recorder

Parcel ID	0408100047	Current Owner	MENRISKY INVESTMENTS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552335	Property Address	550 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 1.53 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	10/30/2013	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2008	Total Living Area	0 sq. ft.

Value Summary

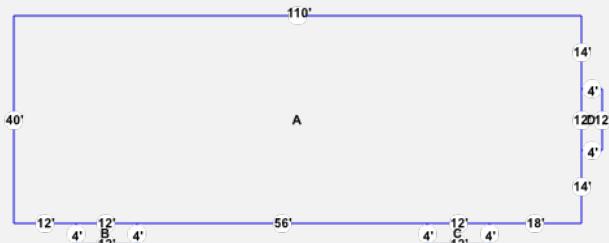
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$238,260	\$83,390
BUILDING	\$348,900	\$122,120
TOTAL	\$587,160	\$205,510
CAUV	\$0	-

Parcel ID	0408100047	Current Owner	MENRISKY INVESTMENTS LLC	Account Number	0552335
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	BRICK	1 STORY	4400
B	FRAME	CANOPY	48
C	FRAME	CANOPY	48
D	FRAME	CANOPY	48

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICES
Perimeter	300 Feet
Year Built	2008

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	66.89
2nd Floor	8 ft	3.33
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.68
Wall Height Adjustment		-3.17
Base Price		64.37
BPA %		100
Sub Total		64.37

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	64.37
Area	4400 Sq. Ft.
SubTotal	283,230.00

Plumbing	7,200.00
Features	1,580.00
Total Base	292,010.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	356,250.00
Physical Depreciation %	5
Obsolescence Dep. %	0
Influence %	0
True Value	338,400.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	(3) CAN ADDNS 4X12			0	0	48	3	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

**Linda Oda**  
 Recorder

Parcel ID	0408169032	Current Owner	NORTH KEY INC.		Value As Of	01-01-2020
Parcel Seq	0				Ownership As Of	08-13-2021
Account Number	0550612	Property Address	512 N MAIN ST SPRINGBORO 45066		Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.336 ACRES	State Use Code	0401 - APARTMENTS 4 TO 19 UNITS		Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009			OH Public School Dist No
		School District	SPRINGBORO CSD			8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	01/11/1999	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,520 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1962	Total Living Area	2,520 sq. ft.

Value Summary

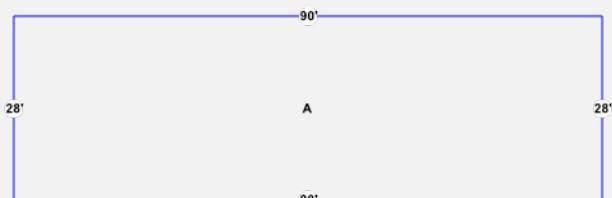
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$45,000	\$15,750
BUILDING	\$211,900	\$74,170
TOTAL	\$256,900	\$89,920
CAUV	\$0	-

Parcel ID	0408169032	Current Owner	NORTH KEY INC.	Account Number	0550612
Parcel Seq	0				

## Residential Building Details

### Building 1 of 2

#### Building Sketch



A BRICK

1 STORY

2520

Occupancy	3 FAMILY UNIT
Construction Year	1962
Remodel Year 1	0
Remodel Year 2	0
Condition	AVERAGE
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	0
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	RADIANT
Heat Source	ELECTRICAL
Central Air Conditioning	NO
Full Baths	3
Half Baths	2
True Value	105,850.00

#### Special Features

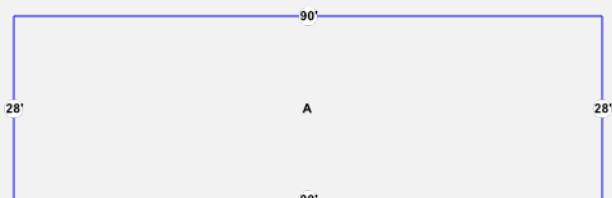
No Special Features Found

Parcel ID	0408169032	Current Owner	NORTH KEY INC.	Account Number	0550612
Parcel Seq	0				

## Residential Building Details

### Building 2 of 2

#### Building Sketch



A BRICK

1 STORY

2520

Occupancy	3 FAMILY UNIT
Construction Year	1965
Remodel Year 1	0
Remodel Year 2	0
Condition	AVERAGE
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	0
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	RADIANT
Heat Source	ELECTRICAL
Central Air Conditioning	NO
Full Baths	3
Half Baths	2
True Value	105,850.00

#### Special Features

No Special Features Found



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

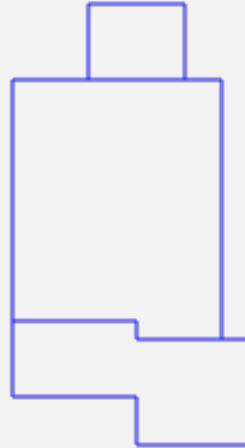
**Linda Oda**  
Recorder

Parcel ID	0408169034	Current Owner	CITY OF SPRINGBORO	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550130	Property Address	510 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-8 1.745 ACRES	State Use Code	0640 - EXEMPT OWNED BY MUNICIPALITIES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	04/16/2013	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2015	Total Living Area	0 sq. ft.

Value Summary

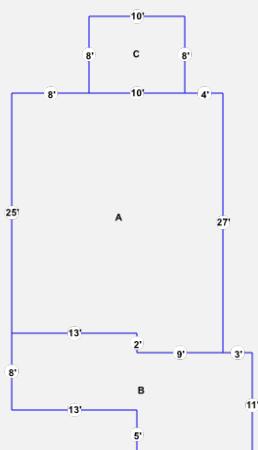
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$174,500	\$61,080
BUILDING	\$36,800	\$12,880
TOTAL	\$211,300	\$73,960
CAUV	\$0	-

Parcel ID	0408169034	Current Owner	CITY OF SPRINGBORO	Account Number	0550130
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FRAME	1 STORY	568
B	FRAME	CANOPY	236
C	FRAME	CANOPY	80

#### Building Detail

Occupancy Code	EXEMPT
Building ID	BIKING
Perimeter	98 Feet
Year Built	2015

Remodel Year	0
Grade	**
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	0 ft	0.00
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		0.00
Wall Height Adjustment		0.00
Base Price		0.00
BPA %		100
Sub Total		0.00

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	0.00
Area	568 Sq. Ft.
SubTotal	0.00

Plumbing	0.00
Features	0.00
Total Base	0.00
Grade %	0
Cost %	0
Design %	0
Replacement Value	0.00
Physical Depreciation %	0
Obsolescence Dep. %	0
Influence %	0
True Value	0.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408169026	Current Owner	STONECASH TIMOTHY & KATH	Value As Of	01-01-2020
Parcel Seq	1				
Account Number	0518247	Property Address	N TANGLEWOOD DR SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-8 0.454 ACRES	State Use Code	0501 - RES. VAC. LAND- 0 TO 9.99 AC.	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture

No Photo Available



Primary Sketch

No Sketch Found  
For Selected Property

## Residential Building and Last Sale Summary

Last Sale Amount	\$90,000	Bedrooms	0
Last Sale Date	03/12/1986	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

## Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$5,450	\$1,910
BUILDING	\$0	\$0
TOTAL	\$5,450	\$1,910
CAUV	\$0	-



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408169026	Current Owner	STONECASH TIMOTHY & KATH	Value As Of	01-01-2020
Parcel Seq	2				
Account Number	0518255	Property Address	N TANGLEWOOD DR SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-8 1.559 ACRES	State Use Code	0501 - RES. VAC. LAND- 0 TO 9.99 AC.	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture

No Photo Available



Primary Sketch

No Sketch Found  
For Selected Property

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	03/12/1986	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$18,710	\$6,550
BUILDING	\$0	\$0
TOTAL	\$18,710	\$6,550
CAUV	\$0	-


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

**Linda Oda**  
 Recorder

Parcel ID	0408351032	Current Owner	TPG INVESTMENTS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0537012	Property Address	4 SYCAMORE CREEK DR SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: PT. 113 0.6044 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$650,000	Bedrooms	0
Last Sale Date	07/25/2014	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1995	Total Living Area	0 sq. ft.

Value Summary

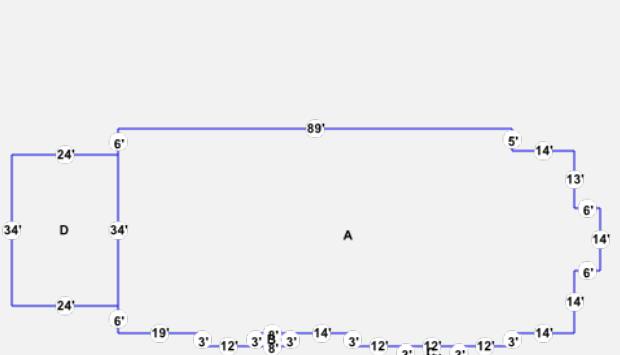
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$197,450	\$69,110
BUILDING	\$434,100	\$151,940
TOTAL	\$631,550	\$221,050
CAUV	\$0	-

Parcel ID	0408351032	Current Owner	TPG INVESTMENTS LLC	Account Number	0537012
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FR. & MASONRY	1 STORY	4896
B	FRAME	OPEN PORCH	24
C	FRAME	OPEN PORCH	36
D	FR. & MASONRY	1 STORY	816

#### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	322 Feet
Year Built	1995

Remodel Year	0
Grade	B
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	12 ft	62.64
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		0.00
Base Price		60.34
BPA %		100
Sub Total		60.34

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	60.34
Area	4896 Sq. Ft.
SubTotal	295,430.00

Plumbing	7,200.00
Features	108,790.00
Total Base	411,420.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	501,930.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	426,600.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
23	OPP			3	12	0	0	0	13		0	0
23	OPP			3	8	0	0	0	13		0	0
1	MEZZANINE OFFICE	1	F3	16	24	384	0	0	13	A	0	0
25	BLDG ADDN	01		24	34	816	0	0	24		115.5	0



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408351029	Current Owner	6 SYCAMORE CREEK DRIVE	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0550338	Property Address	6 SYCAMORE CREEK DR SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: PT. 118 0.4239 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/14/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1997	Total Living Area	0 sq. ft.

Value Summary

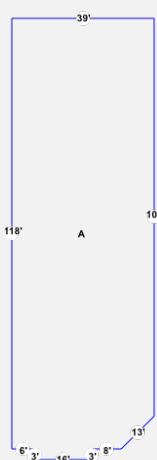
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$101,560	\$35,550
BUILDING	\$522,700	\$182,950
TOTAL	\$624,260	\$218,500
CAUV	\$0	-

Parcel ID	0408351029	Current Owner	6 SYCAMORE CREEK DRIVE	Account Number	0550338
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



A BRICK

#### Sketch Details

1 STORY

4609

#### Building Detail

Occupancy Code	GCM
Building ID	MED OFC
Perimeter	315 Feet
Year Built	1997

Remodel Year	2011
Grade	A
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	9 ft	86.18
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-3.67
Base Price		79.92
BPA %		100
Sub Total		79.92

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	79.92
Area	4609 Sq. Ft.
SubTotal	368,350.00

Plumbing	14,400.00
Features	0.00
Total Base	382,750.00
Grade %	150
Cost %	0
Design %	0
Replacement Value	574,130.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	516,700.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

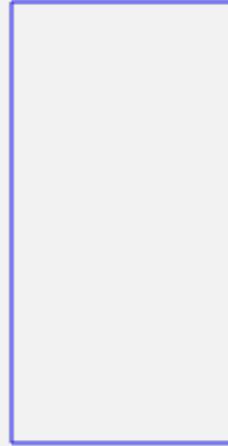
**Linda Oda**  
 Recorder

Parcel ID	0408351028	Current Owner	BAE PROPERTIES LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0528102	Property Address	8 Sycamore Creek Dr Springboro 45066	Ownership As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: 113-PT 0.55 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	04/13/2000	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1993	Total Living Area	0 sq. ft.

Value Summary

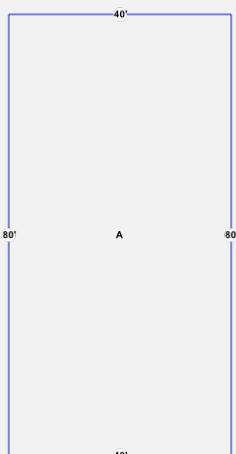
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$131,770	\$46,120
BUILDING	\$287,500	\$100,630
TOTAL	\$419,270	\$146,750
CAUV	\$0	-

Parcel ID	0408351028	Current Owner	BAE PROPERTIES LLC	Account Number	0528102
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A BRICK

1 STORY

3200

#### Building Detail

Occupancy Code	GCM
Building ID	MED OFC
Perimeter	240 Feet
Year Built	1993

Remodel Year	0
Grade	B
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	89.02
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-3.02
Base Price		83.41
BPA %		100
Sub Total		83.41

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	83.41
Area	3200 Sq. Ft.
SubTotal	266,910.00

Plumbing	6,000.00
Features	0.00
Total Base	272,910.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	332,950.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	283,000.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0408355012	Current Owner	CITY OF SPRINGBORO THE	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0520519	Property Address	5 ELEANOR DR SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: PT. 1 0 ACRES	State Use Code	0640 - EXEMPT OWNED BY MUNICIPALITIES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048008	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found  
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$16,000	Bedrooms	0
Last Sale Date	10/17/1988	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$35,000	\$12,250
BUILDING	\$0	\$0
TOTAL	\$35,000	\$12,250
CAUV	\$0	-


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

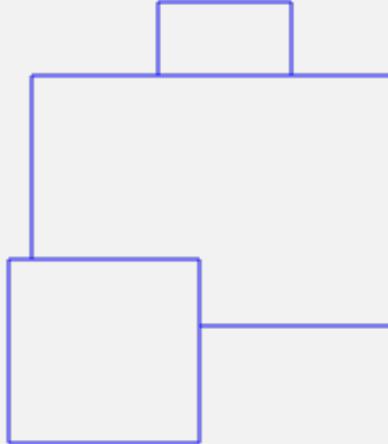
**Linda Oda**  
 Recorder

Parcel ID	0408355002	Current Owner	RUDD ELIZABETH & ROBERT	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0520527	Property Address	15 ELEANOR DR SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: 2 0 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	041003	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$170,000	Bedrooms	4
Last Sale Date	04/06/2000	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	2,464 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	56 sq. ft.
Year Built	1988	Total Living Area	2,520 sq. ft.

Value Summary

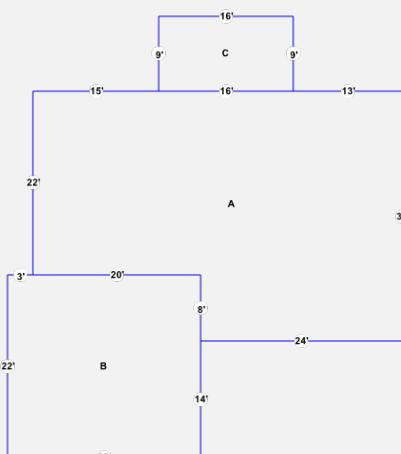
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$50,000	\$17,500
BUILDING	\$169,340	\$59,270
TOTAL	\$219,340	\$76,770
CAUV	\$0	-

Parcel ID	0408355002	Current Owner	RUDD ELIZABETH & ROBERT	Account Number	0520527
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

## Building Sketch



## Sketch Details

A	BRICK	2 STORY	1160
B	BRICK	GARAGE	506
C	FRAME	1 STORY	144

2 STORY  
GARAGE  
1 STORY

1160  
506  
144

Occupancy	1 FAMILY UNIT
Construction Year	1988
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	160 sq. ft.
Number of Bedrooms	4
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	169,340.00

## Special Features

### No Special Features Found


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

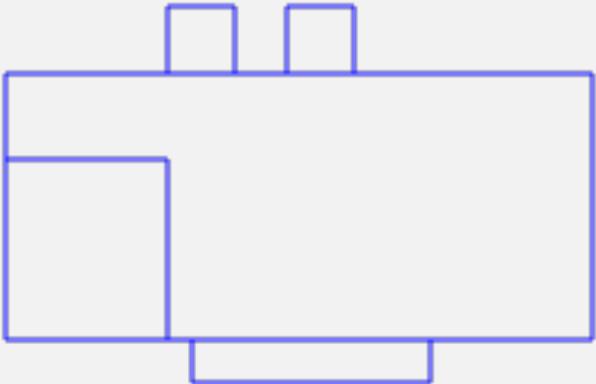
**Linda Oda**  
 Recorder

Parcel ID	0408355003	Current Owner	CANTERBURY GARY D. &	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0506389	Property Address	25 ELEANOR DR SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: 3 0 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	041003	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$160,000	Bedrooms	3
Last Sale Date	05/07/2019	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	2,139 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1959	Total Living Area	2,139 sq. ft.

Value Summary

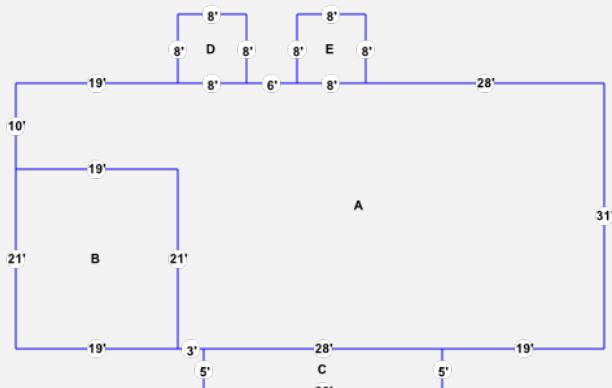
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$50,000	\$17,500
BUILDING	\$139,240	\$48,730
TOTAL	\$189,240	\$66,230
CAUV	\$0	-

Parcel ID	0408355003	Current Owner	CANTERBURY GARY D. &	Account Number	0506389
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

**Building Sketch**



**Sketch Details**

A	BRICK	1 STORY	1740
B	FR. & MASONRY	1 STORY	399
C	FRAME	OPEN PORCH	140
D	FRAME	DECK	64
E	FRAME	DECK	64

Occupancy	1 FAMILY UNIT
Construction Year	1959
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	139,240.00

**Special Features**

4 EXTRA FIXTURES FOR	0.00
DOG SHOWER/DAYCARE	0.00


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

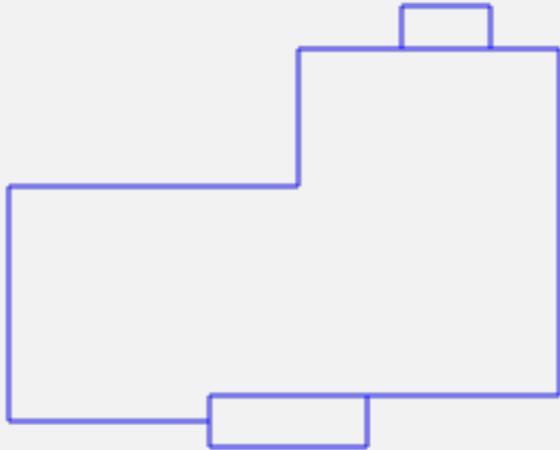
**Linda Oda**  
 Recorder

Parcel ID	0414479027	Current Owner	MAPLE LEAF FUNDING LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526819	Property Address	235 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.495 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$190,000	Bedrooms	3
Last Sale Date	07/01/2014	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,061 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1962	Total Living Area	2,061 sq. ft.

Value Summary

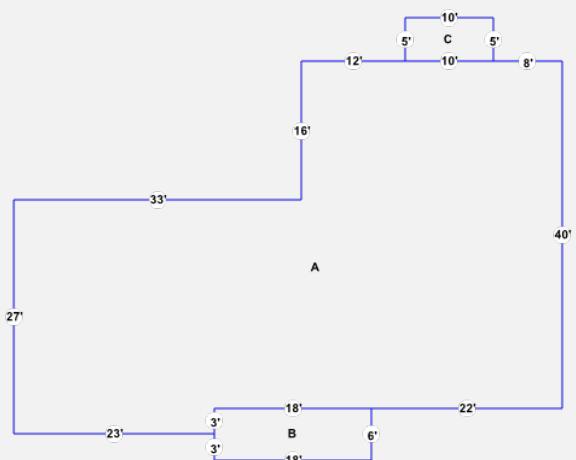
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$93,430	\$32,700
BUILDING	\$118,130	\$41,350
TOTAL	\$211,560	\$74,050
CAUV	\$0	-

Parcel ID	0414479027	Current Owner	MAPLE LEAF FUNDING LLC	Account Number	0526819
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	BRICK	1 STORY	2061
B	FRAME	CANOPY	108
C	FRAME	DECK	50

Occupancy	1 FAMILY UNIT
Construction Year	1962
Remodel Year 1	2015
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	0
Half Baths	2
True Value	102,630.00

#### Special Features

No Special Features Found



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Value As Of	01-01-2020
Parcel Seq	2				
Account Number	0526789	Property Address	N MAIN SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.137 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture

No Photo Available



Primary Sketch

No Sketch Found  
For Selected Property

Residential Building and Last Sale Summary

Last Sale Amount	\$160,000	Bedrooms	0
Last Sale Date	10/05/1994	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$23,460	\$8,210
BUILDING	\$0	\$0
TOTAL	\$23,460	\$8,210
CAUV	\$0	-



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Value As Of	01-01-2020
Parcel Seq	1				
Account Number	0526797	Property Address	245 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.482 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	308.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	10/05/1994	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1996	Total Living Area	0 sq. ft.

Value Summary

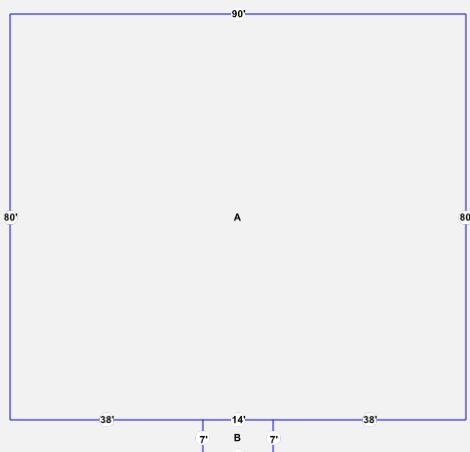
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$82,540	\$28,890
BUILDING	\$463,800	\$162,330
TOTAL	\$546,340	\$191,220
CAUV	\$0	-

Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Account Number	0526797
Parcel Seq	1				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A    BRICK  
B    FRAME

1 STORY  
OPEN PORCH

7200  
98

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICES
Perimeter	340 Feet
Year Built	1996

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	12 ft	61.92
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		0.00
Base Price		59.62
BPA %		100
Sub Total		59.62

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	59.62
Area	7200 Sq. Ft.
SubTotal	429,260.00

Plumbing	10,800.00
Features	1,080.00
Total Base	441,140.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	538,190.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	457,500.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	OFP ADDN 7X14=98 SF			0	0	98	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

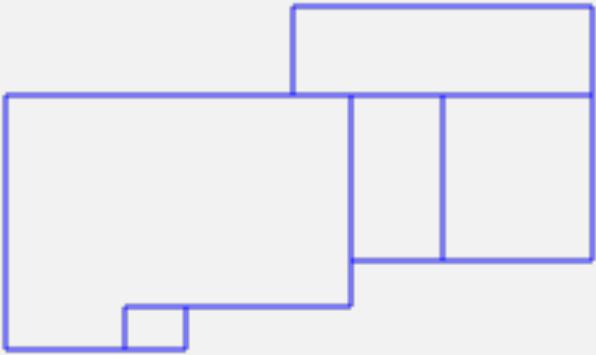
**Linda Oda**  
 Recorder

Parcel ID	0414479033	Current Owner	RICO INVESTMENTSLLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550073	Property Address	255 N MAIN SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-14 0.3748 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$232,500	Bedrooms	3
Last Sale Date	01/11/2006	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	1,384 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1955	Total Living Area	1,384 sq. ft.

Value Summary

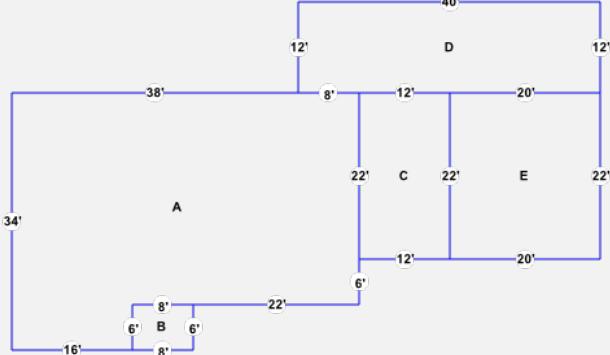
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$80,110	\$28,040
BUILDING	\$142,150	\$49,750
TOTAL	\$222,260	\$77,790
CAUV	\$0	-

Parcel ID	0414479033	Current Owner	RICO INVESTMENTSLLC	Account Number	0550073
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	BRICK	1 STORY	1384
B	FRAME	OPEN PORCH	48
C	FRAME	ENCLOSE PORCH	264
D	FRAME	OPEN PORCH	480
E	BRICK	GARAGE	440

Occupancy	1 FAMILY UNIT
Construction Year	1955
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	0
True Value	138,350.00

#### Special Features

No Special Features Found



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

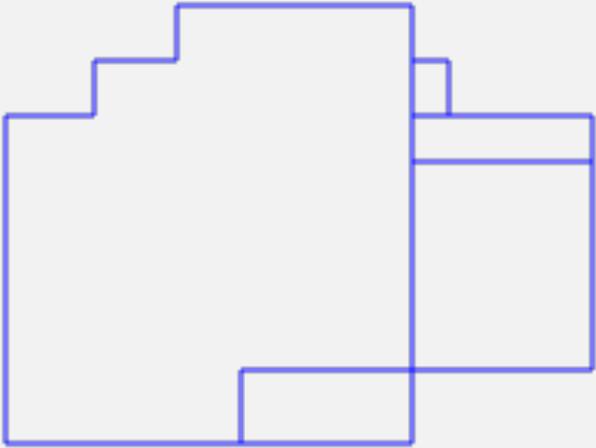
**Linda Oda**  
Recorder

Parcel ID	0414479029	Current Owner	WALDEN JAMES W. & JAMES	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526762	Property Address	265 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	10/15/2019	Exterior	COMBINATION
Owner Occupied	N	Above Grade Living Area	2,294 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1956	Total Living Area	2,294 sq. ft.

Value Summary

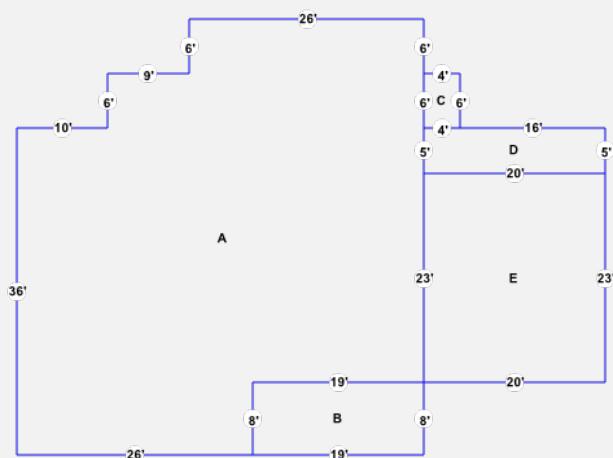
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$118,510	\$41,480
TOTAL	\$212,640	\$74,430
CAUV	\$0	-

Parcel ID	0414479029	Current Owner	WALDEN JAMES W. & JAMES	Account Number	0526762
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FR. & MASONRY	1 STORY	1834
B	FRAME	PATIO	152
C	FRAME	OPEN PORCH	24
D	FRAME	ENCLOSE PORCH	100
E	BRICK	1 STORY	460

Occupancy	1 FAMILY UNIT
Construction Year	1956
Remodel Year 1	1993
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	COMBINATION
Basement	3/4

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	0
True Value	107,110.00

#### Special Features

No Special Features Found


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

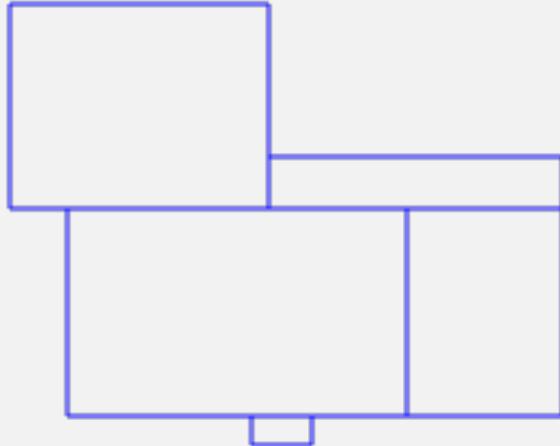
**Linda Oda**  
 Recorder

Parcel ID	0414479025	Current Owner	AG REAL ESTATE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526754	Property Address	275 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$365,000	Bedrooms	3
Last Sale Date	09/20/2018	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,856 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1960	Total Living Area	2,856 sq. ft.

Value Summary

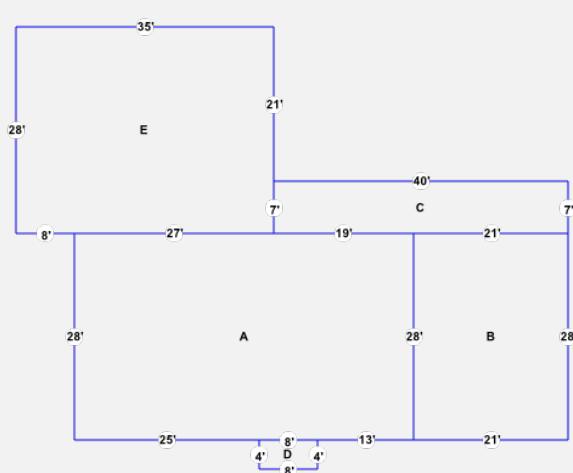
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$259,530	\$90,840
TOTAL	\$353,660	\$123,790
CAUV	\$0	-

Parcel ID	0414479025	Current Owner	AG REAL ESTATE	Account Number	0526754
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	BRICK	1 STORY	1288
B	BRICK	1 STORY	588
C	FRAME	OPEN PORCH	280
D	FRAME	OPEN PORCH	32
E	BRICK	1 STORY	980

Occupancy	1 FAMILY UNIT
Construction Year	1960
Remodel Year 1	2002
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	2
True Value	252,330.00

#### Special Features

No Special Features Found


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

**Linda Oda**  
 Recorder

Parcel ID	0414479053	Current Owner	MUSIC LIMITED PARTNERSHIP	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0526746	Property Address	325 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5 -2-14 1.2052 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$562,500	Bedrooms	0
Last Sale Date	06/22/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2007	Total Living Area	0 sq. ft.

Value Summary

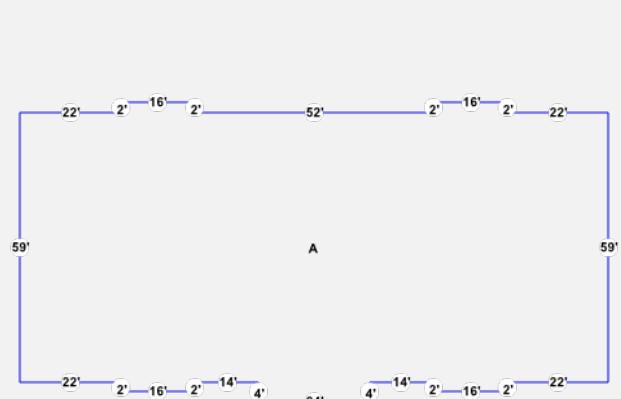
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$150,650	\$52,730
BUILDING	\$868,100	\$303,840
TOTAL	\$1,018,750	\$356,570
CAUV	\$0	-

Parcel ID	0414479053	Current Owner	MUSIC LIMITED PARTNERSHIP	Account Number	0526746
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A FR. & MASONRY

2 STORY

7776

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICES
Perimeter	398 Feet
Year Built	2007

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	58.75
2nd Floor	10 ft	40.34
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-4.36
Wall Height Adjustment		-1.78
Base Price		92.95
BPA %		100
Sub Total		92.95

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	92.95
Area	7776 Sq. Ft.
SubTotal	722,780.00

Plumbing	16,800.00
Features	38,020.00
Total Base	777,600.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	948,670.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	853,800.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
16	PASS ELEVATOR 2100#	HP		21	100	0	0	2	00		0	0



**WARREN COUNTY**  
*Property Search*

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

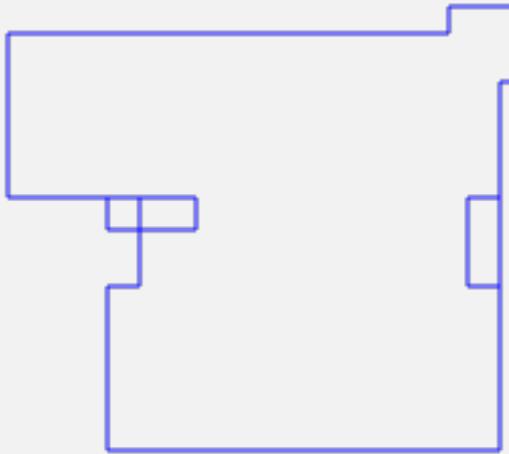
**Linda Oda**  
Recorder

Parcel ID	0414426020	Current Owner	SIDDENS LYDIA M. 50%	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526711	Property Address	335 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$525,000	Bedrooms	0
Last Sale Date	09/25/2019	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

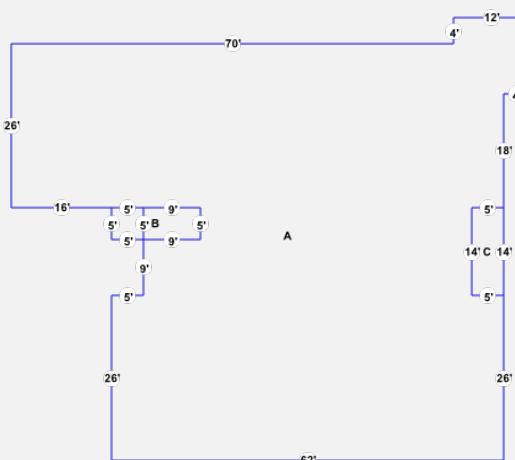
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$409,300	\$143,260
TOTAL	\$503,430	\$176,210
CAUV	\$0	-

Parcel ID	0414426020	Current Owner	SIDDENS LYDIA M. 50%	Account Number	0526711
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	FR. & MASONRY	1 STORY	4448
B	FRAME	CANOPY	70
C	FRAME	CANOPY	70

##### Building Detail

Occupancy Code	GCM
Building ID	MED OFCS
Perimeter	324 Feet
Year Built	2006

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	82.54
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.59
Wall Height Adjustment		-1.44
Base Price		78.51
BPA %		100
Sub Total		78.51

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	78.51
Area	4448 Sq. Ft.
SubTotal	349,210.00

Plumbing	14,400.00
Features	1,540.00
Total Base	365,150.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	445,480.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	400,900.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 5X14			0	0	70	0	0	00		11	0
99	CAN ADDN 5X14			0	0	70	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

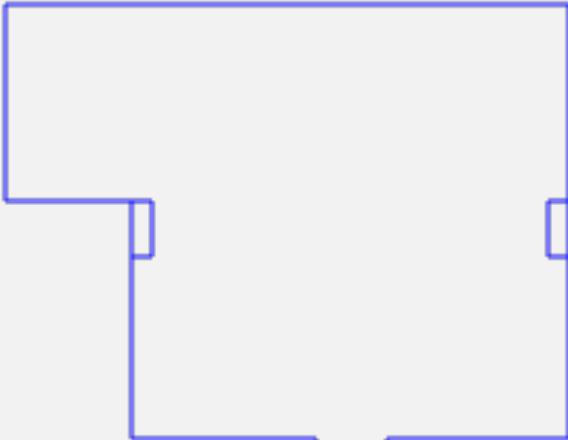
**Linda Oda**  
 Recorder

Parcel ID	0414426024	Current Owner	JCUBED LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526703	Property Address	345 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.499 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$167,500	Bedrooms	0
Last Sale Date	05/21/2003	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1959	Total Living Area	0 sq. ft.

Value Summary

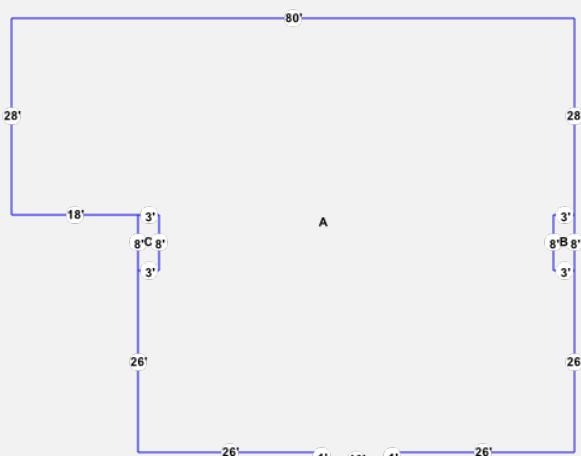
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$93,560	\$32,750
BUILDING	\$273,800	\$95,830
TOTAL	\$367,360	\$128,580
CAUV	\$0	-

Parcel ID	0414426024	Current Owner	JCUBED LLC	Account Number	0526703
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	FR. & MASONRY	1 STORY	4310
B	FRAME	CANOPY	24
C	FRAME	CANOPY	24

##### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	298 Feet
Year Built	1959

Remodel Year	2003
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	9 ft	4.04
1st Floor	10 ft	62.64
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.97
Wall Height Adjustment		-1.44
Base Price		62.27
BPA %		100
Sub Total		62.27

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	-0.19
Sprinkler	0.00
Square Foot Price	62.08
Area	4310 Sq. Ft.
SubTotal	267,570.00

Plumbing	4,800.00
Features	520.00
Total Base	272,890.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	332,930.00
Physical Depreciation %	20
Obsolescence Dep. %	0
Influence %	0
True Value	266,300.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 3X8			0	0	24	0	0	00		11	0
99	CAN ADDN 3X8			0	0	24	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

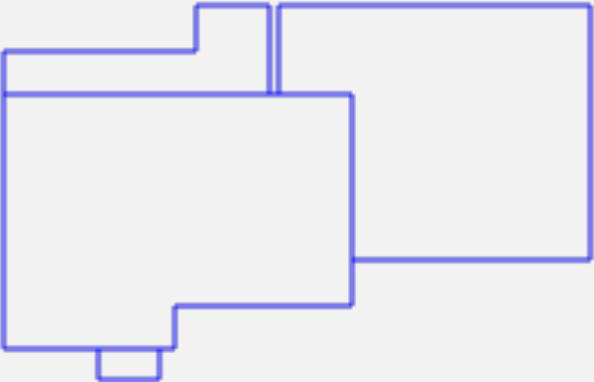
**Linda Oda**  
 Recorder

Parcel ID	0414426022	Current Owner	TRI STATE CPAS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526681	Property Address	355 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 0.495 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$380,000	Bedrooms	3
Last Sale Date	03/22/2021	Exterior	COMBINATION
Owner Occupied	N	Above Grade Living Area	2,662 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1960	Total Living Area	2,662 sq. ft.

Value Summary

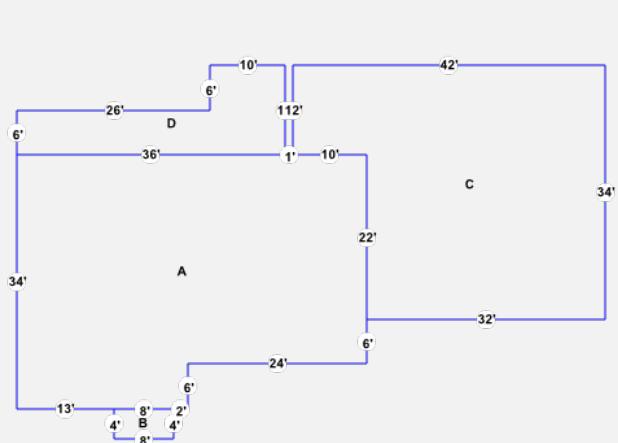
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$92,810	\$32,480
BUILDING	\$159,900	\$55,970
TOTAL	\$252,710	\$88,450
CAUV	\$0	-

Parcel ID	0414426022	Current Owner	TRI STATE CPAS LLC	Account Number	0526681
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	STUCCO & FR.	1 STORY	1454
B	STUCCO & FR.	OPEN PORCH	32
C	STUCCO & FR.	1 STORY	1208
D	FRAME	CANOPY	276

Occupancy	1 FAMILY UNIT
Construction Year	1960
Remodel Year 1	1993
Remodel Year 2	0
Condition	GOOD
Construction Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	COMBINATION
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	154,600.00

#### Special Features

No Special Features Found


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

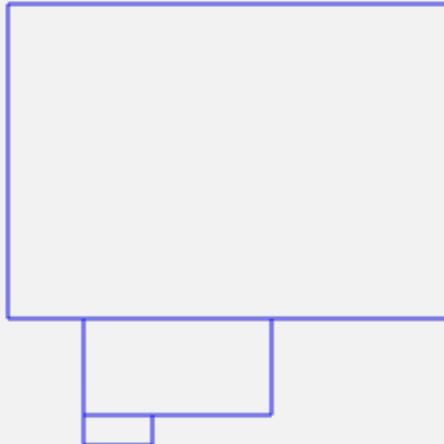
**Linda Oda**  
 Recorder

Parcel ID	0414426018	Current Owner	RAMM PROPERTIES LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526673	Property Address	365 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 1.131 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$338,000	Bedrooms	0
Last Sale Date	08/28/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2011	Total Living Area	0 sq. ft.

Value Summary

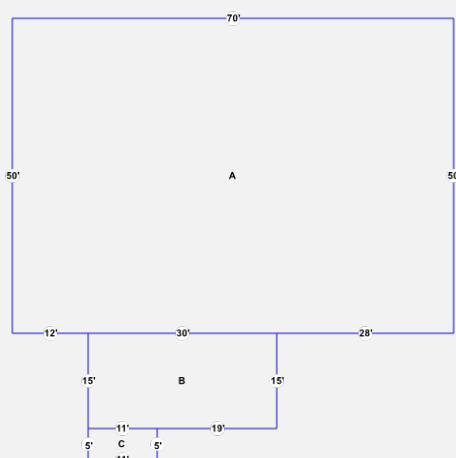
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$120,170	\$42,060
BUILDING	\$313,100	\$109,590
TOTAL	\$433,270	\$151,650
CAUV	\$0	-

Parcel ID	0414426018	Current Owner	RAMM PROPERTIES LLC	Account Number	0526673
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A	BRICK	1 STORY	3500
B	BRICK	1 STORY	450
C	FRAME	CANOPY	55

##### Building Detail

Occupancy Code	GCM
Building ID	MED OFCS
Perimeter	240 Feet
Year Built	2011

Remodel Year	0
Grade	B
Condition	GOOD

##### Pricing Ladder

Basement	9 ft	24.33
1st Floor	9 ft	86.18
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-5.26
Wall Height Adjustment		-4.01
Base Price		101.24
BPA %		100
Sub Total		101.24

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	-0.55
Sprinkler	0.00
Square Foot Price	100.69
Area	3500 Sq. Ft.
SubTotal	352,420.00

Plumbing	28,800.00
Features	34,360.00
Total Base	415,580.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	507,010.00
Physical Depreciation %	3
Obsolescence Dep. %	40
Influence %	0
True Value	295,100.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	BRK ADDN 450 SF			0	0	450	0	0	00		75	0
99	CAN ADDN 5X11=55 SF			0	0	55	0	0	00		11	0


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

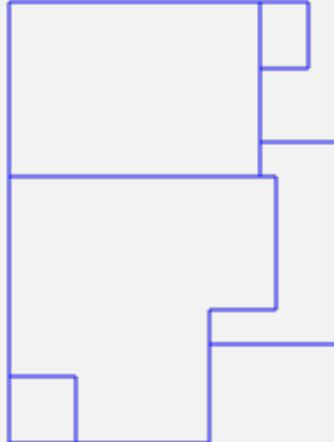
**Linda Oda**  
 Recorder

Parcel ID	0414426030	Current Owner	MUSIC LIMITED PARTNERSHIP	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526843	Property Address	405 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 2.126 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	10/06/2005	Exterior	WOOD SIDING
Owner Occupied	N	Above Grade Living Area	2,924 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1900	Total Living Area	2,924 sq. ft.

Value Summary

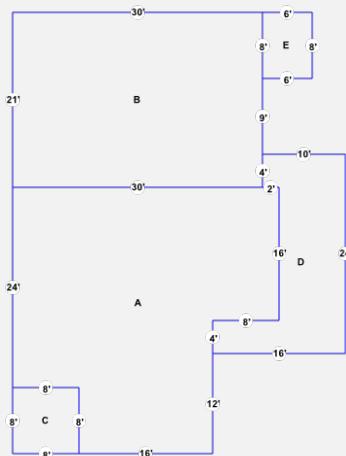
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$186,030	\$65,110
BUILDING	\$90,490	\$31,670
TOTAL	\$276,520	\$96,780
CAUV	\$0	-

Parcel ID	0414426030	Current Owner	MUSIC LIMITED PARTNERSHIP	Account Number	0526843
Parcel Seq	0				

## Residential Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	FRAME	2 STORY	832
B	FRAME	2 STORY	630
C	FRAME	ENCLOSE PORCH	64
D	FRAME	OPEN PORCH	232
E	FRAME	OPEN PORCH	48

Occupancy	1 FAMILY UNIT
Construction Year	1900
Remodel Year 1	2005
Remodel Year 2	0
Condition	AVERAGE
Construction Cost	0.00
Remodel Cost	10,000.00
Foundation	CONCRETE
Exterior	WOOD SIDING
Basement	1/2

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	0
Half Baths	2
True Value	90,490.00

#### Special Features

No Special Features Found


**WARREN COUNTY**  
*Property Search*
**Matt Nolan**  
 Auditor

**Barney Wright**  
 Treasurer

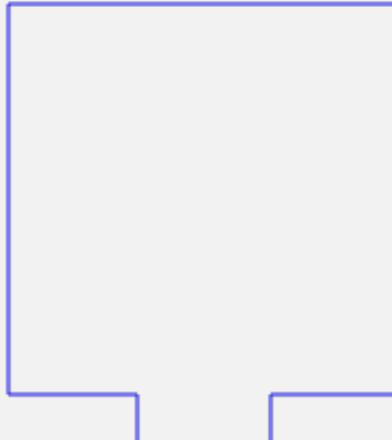
**Linda Oda**  
 Recorder

Parcel ID	0414426028	Current Owner	MIAMI PRESBYTERY PRESBYTT	Value As Of	01-01-2020
Parcel Seq	0			Ownership As Of	08-13-2021
Account Number	0542539	Property Address	415 N MAIN ST SPRINGBORO 45066	Tax Data As Of	08-13-2021
Legal Description	5-2-14 7.238 ACRES	State Use Code	0685 - CHURCHES, PUBLIC WORSHIP, ETC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$229,210	Bedrooms	0
Last Sale Date	07/15/1993	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1995	Total Living Area	0 sq. ft.

Value Summary

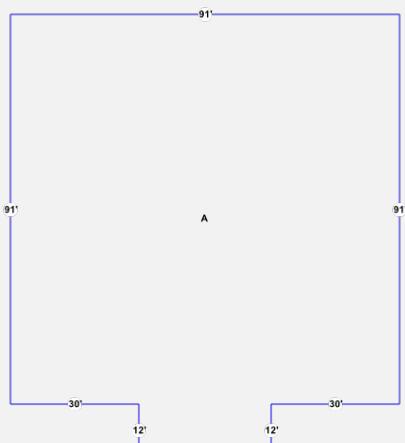
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$361,900	\$126,670
BUILDING	\$412,700	\$144,450
TOTAL	\$774,600	\$271,120
CAUV	\$0	-

Parcel ID	0414426028	Current Owner	MIAMI PRESBYTERY PRESBYT	Account Number	0542539
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A FR. & MASONRY

1 STORY

8653

##### Building Detail

Occupancy Code	EXEMPT
Building ID	CHURCH
Perimeter	388 Feet
Year Built	1995

Remodel Year	0
Grade	C
Condition	GOOD

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	16 ft	55.64
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.16
Wall Height Adjustment		-4.08
Base Price		49.40
BPA %		100
Sub Total		49.40

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	2.16
Sprinkler	0.00
Square Foot Price	51.56
Area	8653 Sq. Ft.
SubTotal	446,150.00

Plumbing	8,400.00
Features	0.00
Total Base	454,550.00
Grade %	100
Cost %	0
Design %	0
Replacement Value	454,550.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	386,400.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

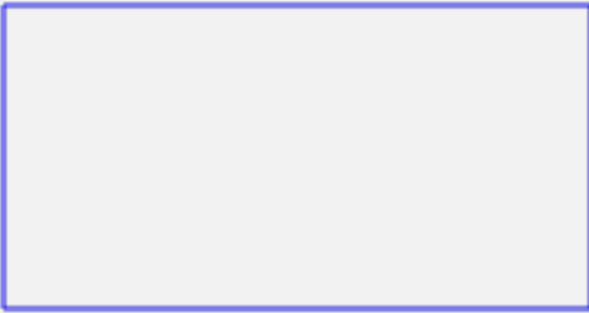
**Linda Oda**  
Recorder

Parcel ID	0414252098	Current Owner	GLOBAL TECHNOLOGIES LLC.	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0530980	Property Address	465 N MAIN ST SPRINGBORO (465-475) 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 1.801 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$522,000	Bedrooms	0
Last Sale Date	04/22/2021	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1966	Total Living Area	0 sq. ft.

Value Summary

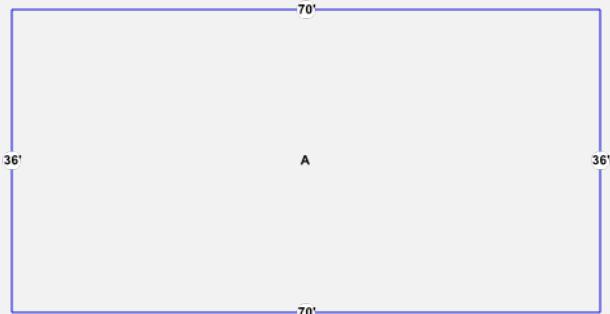
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$225,130	\$78,800
BUILDING	\$240,200	\$84,070
TOTAL	\$465,330	\$162,870
CAUV	\$0	-

Parcel ID	0414252098	Current Owner	GLOBAL TECHNOLOGIES LLC.	Account Number	0530980
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 1

##### Building Sketch



##### Sketch Details

A FR. & MASONRY 1 STORY 2520

##### Building Detail

Occupancy Code	GCM
Building ID	COMM
Perimeter	212 Feet
Year Built	1966

Remodel Year	1983
Grade	C
Condition	AVERAGE

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	14 ft	39.33
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		0.00
Wall Height Adjustment		1.49
Base Price		40.82
BPA %		100
Sub Total		40.82

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	40.82
Area	2520 Sq. Ft.
SubTotal	102,870.00

Plumbing	3,600.00
Features	0.00
Total Base	106,470.00
Grade %	100
Cost %	0
Design %	0
Replacement Value	106,470.00
Physical Depreciation %	45
Obsolescence Dep. %	0
Influence %	300
True Value	234,200.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



# WARREN COUNTY

Property Search

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

**Linda Oda**  
Recorder

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0536016	Property Address	505 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5-2-14 1.492 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$1,100,000	Bedrooms	0
Last Sale Date	07/26/2017	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

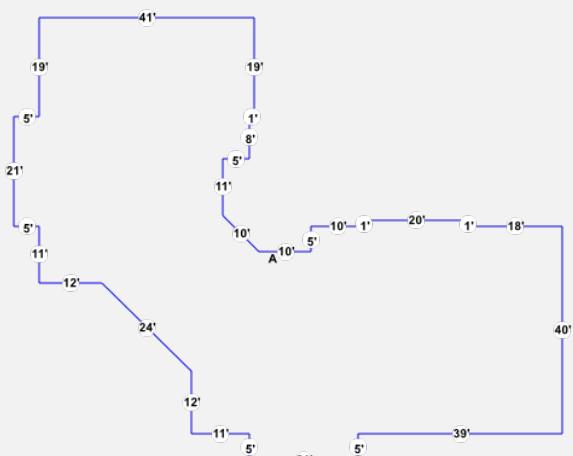
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$186,500	\$65,280
BUILDING	\$913,500	\$319,730
TOTAL	\$1,100,000	\$385,010
CAUV	\$0	-

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Account Number	0536016
Parcel Seq	0				

### Commercial Building Details

#### Building 1 of 2

##### Building Sketch



##### Sketch Details

A FR. & MASONRY

1 STORY

5027

##### Building Detail

Occupancy Code	GCM
Building ID	DAY ACAD
Perimeter	390 Feet
Year Built	1995

Remodel Year	0
Grade	C
Condition	AVERAGE

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	64.51
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-1.73
Base Price		60.48
BPA %		100
Sub Total		60.48

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	60.48
Area	5027 Sq. Ft.
SubTotal	304,030.00

Plumbing	13,200.00
Features	0.00
Total Base	317,230.00
Grade %	100
Cost %	0
Design %	0
Replacement Value	317,230.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	269,700.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

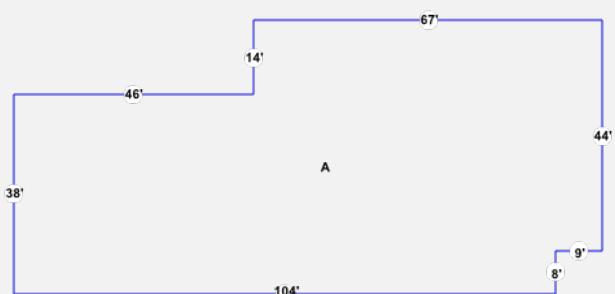
NO SPECIAL FEATURES FOUND

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Account Number	0536016
Parcel Seq	0				

### Commercial Building Details

#### Building 2 of 2

##### Building Sketch



##### Sketch Details

A FR. & MASONRY

1 STORY

5160

##### Building Detail

Occupancy Code	GCM
Building ID	DAY ACAD
Perimeter	330 Feet
Year Built	1999

Remodel Year	0
Grade	C
Condition	AVERAGE

##### Pricing Ladder

Basement	0 ft	0.00
1st Floor	10 ft	60.70
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		-1.15
Base Price		57.25
BPA %		100
Sub Total		57.25

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	57.25
Area	5160 Sq. Ft.
SubTotal	295,410.00

Plumbing	12,000.00
Features	0.00
Total Base	307,410.00
Grade %	100
Cost %	0
Design %	0
Replacement Value	307,410.00
Physical Depreciation %	15
Obsolescence Dep. %	0
Influence %	0
True Value	261,300.00

##### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value

NO SPECIAL FEATURES FOUND



**WARREN COUNTY**  
*Property Search*

**Matt Nolan**  
Auditor

**Barney Wright**  
Treasurer

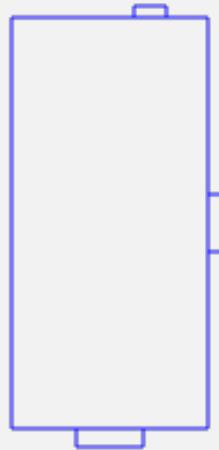
**Linda Oda**  
Recorder

Parcel ID	0414253049	Current Owner	COLLEEN BOSSI CO. LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0518336	Property Address	535 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
Legal Description	5 -2-14 1.68 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Tax Data As Of	08-13-2021
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	Census Tract	305.00
		School District	SPRINGBORO CSD	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$426,000	Bedrooms	0
Last Sale Date	05/23/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

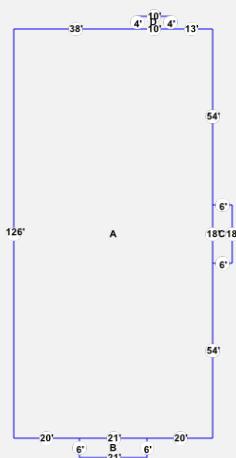
VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$210,000	\$73,500
BUILDING	\$539,100	\$188,690
TOTAL	\$749,100	\$262,190
CAUV	\$0	-

Parcel ID	0414253049	Current Owner	COLLEEN BOSSI CO. LLC	Account Number	0518336
Parcel Seq	0				

## Commercial Building Details

### Building 1 of 1

#### Building Sketch



#### Sketch Details

A	BRICK	1 STORY	7686
B	FRAME	CANOPY	126
C	FRAME	CANOPY	108
D	FRAME	CANOPY	40

#### Building Detail

Occupancy Code	GCM
Building ID	OFFICE
Perimeter	374 Feet
Year Built	2006

Remodel Year	0
Grade	B
Condition	GOOD

#### Pricing Ladder

Basement	0 ft	0.00
1st Floor	12 ft	61.92
2nd Floor	0 ft	0.00
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-2.30
Wall Height Adjustment		0.00
Base Price		59.62
BPA %		100
Sub Total		59.62

Unit Finish	0.00
Interior Finish	0.00
Divided Walls	0.00
Lighting	0.00
Heat/Cooling	0.00
Sprinkler	0.00
Square Foot Price	59.62
Area	7686 Sq. Ft.
SubTotal	458,240.00

Plumbing	13,200.00
Features	3,020.00
Total Base	474,460.00
Grade %	122
Cost %	0
Design %	0
Replacement Value	578,840.00
Physical Depreciation %	10
Obsolescence Dep. %	0
Influence %	0
True Value	521,000.00

#### Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 6X21			0	0	126	0	0	00		11	0
99	CAN ADDN 6X18			0	0	108	0	0	00		11	0
99	CAN ADDN 4X10			0	0	40	0	0	00		11	0

## EXHIBIT 41

Statement of Objections re: Beehive Homes Phase 2

August 5, 2021

As a resident of Woodland Greens Home Association I am writing to let my objections be known regarding the construction of Phase 2 of Beehive Homes. My home shares a property line with the Beehive Homes site. The Phase 1 building is 40 feet from my bedroom window and although I have some objections to its location I am aware that the building will remain there. However, I am concerned that homes located on both Winchester and Forsgate Courts, which share a common property line with the future Phase 2 building, will have the same or similar problems.

Before Phase 1 was constructed, we had a quiet neighborhood with beautiful wild animals wandering into our yard. The removal of most of the trees on that lot has virtually eradicated wildlife from the area. More importantly, those trees also acted as an effective damper for traffic noise coming from Interstate 75, State Route 741/Main Street and Lytle Five Points Road. Now traffic sounds seem much louder than before the trees were removed and we can hear traffic noise all the way from I-75 throughout the day and into the night.

On many, many occasions I have heard car alarms going off in the night. Beehive Homes employees regularly activate their car alarms after the 11:00 PM shift change. I am not talking about a quick "locator beep" but rather a full on car alarm. The alarm honks for a while before the worker can get it turned off. I am usually sound asleep before 11:00 PM so the alarm wakes me and since it is an alarm, I am so startled that I have a hard time falling back to sleep. Maybe it is not intentional but they must be pretty clumsy and inconsiderate to so frequently grab for their keys in such a haphazard way that they accidentally activate their car alarm and wake up the neighbors.

My concern for the construction of Phase 2 is that our neighbors will experience the same reduction in wildlife and the same increase in traffic noise. Perhaps the workers who staff that building will also mindlessly activate their car alarms. Since Phase 2 residents will require a higher level of care there is also the risk of hearing ambulances arrive and depart at odd hours of the night. According to the plans presented at the July 2021 Planning Commission meeting some of the forest buffer next to one neighbor on West Tamarron Court will be removed. A retaining wall will be installed which will likely kill some of the remaining trees due to root disturbance. The whole situation is frustrating to think about.

I do not object to a nursing home being built right next to my house. Office Residential zoning states that buildings are supposed to be small in design/scale and residential in nature. These two buildings, at 16,000 and 31,000 square feet, are not small in scale OR residential in nature. The enormous size of the buildings and the related impact of increased noise from the complex, increased traffic into/out of the site, increased light pollution and the vast reduction of the remaining green space that are of concern.

Jane Van Maldeghem  
1860 West Tamarron Court

Springboro, Ohio

EXHIBIT 42

George and Elizabeth Coppock  
1800 Westchester Ct  
Springboro, OH 45066

August 5, 2021

Thank you for representing Woodland Greens Homes Association. My wife and I make this statement of our own free will and hereby express our strong objection to the proposed Phase 2 Beehive Homes development.

First of all, as a new resident and property owner in Woodland Greens, it came as quite a surprise to my family to hear that Beehive Homes was planning a new development. Our primary attraction to Woodland Greens was the close proximity to the city but country feel with the existing wooded areas.

The fragile characteristic of this area is already being stressed with the rapid expansion and development of the City of Springboro.

The proposed development would be in our immediate back yard and would be a severe disruption to the natural environment.

The natural environment is home to a variety of wildlife that takes shelter in an area already suffering from natural deforestation. We estimate that approximately 20 feet of the existing tree lines would have to be removed to accommodate the proposed development.

Considering the loss of this wooded area and proposed development my wife and I have significant concerns and strongly object to the proposed development. Specifically, the loss of the natural environment will produce a significant increase in noise and light pollution, an increase in traffic on an already congested road, and the loss of property value.

We hope the City of Springboro favorably considers our object, and the objection of others and takes this opportunity for preservation.

Preserving the natural environment will continue to promote this area as a well-balanced residential and commercial area with a small town feel. Furthermore, preserving the natural environment will help maintain property values and provide natural noise and light pollution barriers. Finally, allowing the development to continue would forever alter the characteristics of the Woodland Greens neighborhood.

Sincerely,



Dear Springboro Council

Members,

August 5, 2021

I am writing this letter to make a formal compliant and express my strong opposition to allowing Phase 2 of the Beehive Homes development near the Woodland Greens neighborhood.

First of all, as a new resident and property owner in Woodland Greens, it came as quite a surprise to my family to hear that Beehive Homes was planning a new development. Our primary attraction to Woodland Greens neighborhood was the close proximity to the city but country feel with the existing wooded areas.

The fragile characteristic of this area is already being stressed with the rapid expansion and development of the City of Springboro.

The proposed development would be in our immediate back yard and would be a severe disruption to the natural environment.

The natural environment that is home to a variety of wildlife that takes shelter in an area already suffering from natural deforestation.

We estimate that approximately 20 feet of the existing tree lines would have to be removed to accommodate the proposed development. The loss of this wooded area and development brings to mind significant concerns; to include increased noise pollution, light pollution and decreased property value.

According to the National Wildlife Foundation's Trees for Wildlife Program, "economic analysis have found that the value of homes near trees is 9 to 15 percent higher than homes without". The program also goes on to state "a belt of trees 100 feet wide and 50 feet tall can reduce noise by up to 10 decibels, reduce the sound volume by half and also block unsightly views".

In closing, we ask the City of Springboro look at this as an opportunity for preservation. Preserving the natural environment will continue to promote this area as a well-balanced residential and commercial area with a small town feel. Furthermore, preserving the natural environment will help maintain property values and provide natural noise and light pollution barriers. Finally, allowing the development to continue would forever alter the characteristics of the Woodland Greens neighborhood.

Sincerely,



George Coppock  
1800 Westchester Ct.