

Agenda
City of Springboro Planning Commission Meeting
Wednesday, October 13, 2021, 6:00 p.m.
Council Chambers, Springboro City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. September 8, 2021 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Site Plan Review, 1345 Lytle-Five Points Road, The Ravine at Settlerspointe assisted living facility
 - B. Preliminary Review, Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information, Staff Comments & Recommendations
City of Springboro Planning Commission Meeting
Wednesday, October 13, 2021, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Site Plan Review, 1345 Lytle-Five Points Road, The Ravine at Settlerspointe assisted living facility

Background Information

This agenda item is a request for site plan review approval, filed by James Alt, representing Seva Group LLC, property owner, seeking approval to construct a 32,770-square foot, 48-bed assisted living facility on property located at 1345 Lytle-Five Points Road. The proposed assisted living facility is proposed immediately to the south of the existing BeeHive Homes facility. That facility was reviewed and approved by the Planning Commission in 2017 with construction completed in 2018. The subject property is zoned O-R, Office Residential District, a zoning designation that allows assisted living facilities as a permitted use. The proposed building is permitted under the O-R District provisions. The O-R District places no limitations on the maximum size of buildings. The proposed site plan is consistent with all design and development standards including but not limited to setbacks, building heights, and lot coverage.

The proposed Ravine at Settlerspointe assisted living facility will use the same access drive to Lytle-Five Points Road as the existing one to the north. That drive terminates with a turnaround at the northwest corner of The Ravine property.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both located within the Woodland Greens subdivision. The property at the western terminus of Westchester Court, and immediately abutting the southeast corner of the subject property, is a detention pond owned by the City of Springboro. To the south is undeveloped land, to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road (Keybank, Settlers Station shopping center) as well as a vacant parcel fronting Lytle-Five Points Road. To the north is the existing BeeHive facility.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland Greens subdivision. To the south is O-R District, and to the west, is O-R District and LBD, Local Business District corresponding to the Settlers Station shopping center and adjacent development.

This item was reviewed on a preliminary basis at the July 14, 2021 Planning Commission meeting at which time this item was approved to be placed on a future agenda for formal approval.

This agenda item appeared as BeeHive Homes in the meeting materials for the July 14, 2021 Planning Commission with an address of 1325 Lytle-Five Points Road.

The Planning Commission's review of this site plan is to following the provisions of Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses that is included here:

1284.08 Site Plan Review Criteria Applicable To All Land Uses.

The Planning Commission shall review the site plan and the reports of City staff at a meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning (see Figure 10 at the end of this chapter). At the preliminary review, the Planning Commission shall determine if formal review of the site plan is appropriate at its next meeting if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;
- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development;
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance;
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community;
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan; and
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities. (Ord. 0-15-4. Passed 2-19-15.)

The City is in receipt of an objection from representatives of the Woodland Greens Homeowners Association regarding the July 14, 2021 review of this agenda item. That documentation is included in the meeting materials.

Staff Recommendations

City staff recommends APPROVAL of the site plan for The Ravine at Settlerspointe located at 1345 Lytle-Five Points Road subject to compliance with the following comments:

1. Verify rear and side setbacks comply with 40-foot minimum at the overhang.
2. Update sheet A102A so that it matches the stated scale (1/8 inch equals 1 foot), and so that exterior color key matches elevations.
3. Indicate plans for screening of dumpster facilities. Also indicate if other screening matches that of the adjacent BeeHive facility at 1325 Lytle-Five Points Road in terms of color, materials, and appearance.
4. City staff recommends permitting up to 36 parking spaces on the site plan, consistent with ITE Parking Generation, 5th Edition, that requires a minimum of 1 parking space for each 2 rooms/occupancy. City code allows a maximum of 150% of that figure. The site plan shows 38 spaces.
5. Signage for the proposed use subject to review by the City of Springboro Zoning Inspector.
6. For proposed landscaping plan on sheet L-1, the following comments apply:
 - a. Shade trees to be a minimum 2.5 inches DBH, ornamental trees to be 2 inches DBH, and evergreens 6 feet in height per Chapter 1280, Landscaping, of Planning and Zoning Code.
 - b. City staff recommends accepting preservation of existing trees on site for use on south property line adjacent to undeveloped O-R lot, and site landscaping requirements.
7. Revise lighting plan accordingly for compliance with Chapter 1273, Exterior Lighting:
 - a. Use only fixtures with color-temperature of 3500° Kelvin or less (4500° indicated on plans).
 - b. Photometric analysis exceeds 4:1 average to minimum and 10:1 maximum to average ratios.
 - c. Include lighting specifications for wall pack and under-canopy lighting, if applicable, and include in photometric analysis.
 - d. Verify no light trespass onto adjoining detention pond, residential area to east.
8. Provide information verifying that the existing detention facility is designed for the proposed site.
9. Add note stating 6" sanitary sewer lateral to be SDR 35 or SCH 40 material.
10. Add note stating 6" water main to be class 52 ductile iron pipe.
11. Water meter to be located inside building with remote reader.
12. On grading plan, bold the proposed grading lines to stand out from existing grades.
13. Provide temporary stone construction entrance as noted on plans.
14. Dimension the parking lot setback to north property line to verify the required minimum 9 foot setback.
15. Identify benchmark.
16. Final revised and approved site plan shall be submitted to include all comments by staff and planning commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
17. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
18. Be advised that the Clearcreek Fire District utilizes the provisions from the Ohio Fire Code and the Ohio Building Code and that all fire hydrant components shall meet those of the City of Springboro Water works.

19. All test of systems shall be scheduled through the Springboro Building Department 48 hours prior to testing. The Building Department will contact the fire department and advise us of date and testing. A fire department representative will witness all testing.
20. We will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
21. Fire Department connections for all sprinkled buildings shall be with-in 75 feet of a fire hydrant on the public water system. All Fire Department connections must have a 5" Stortz connection with a 30 degree downturn and includes a cap attached by a cable or chain. Fire Department connections must be visible and unobstructed at all times.
22. A fire extinguisher plan must be submitted to the fire department. Placement and installation must be done prior to final building inspection.
23. All monitored fire systems shall have a remote annunciator panel at the main entrance to the building for fire department use.

B. Preliminary Review

Final Development Plan, Advance Drive PUD, Planned Unit Development, commercial building

Background Information

This agenda item is a request for preliminary review of a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park. The subject property is located approximately 600 feet northeast of the terminus of Advance Drive. The proposal was submitted by Cincinnati Commercial Contracting, property owner and developer.

The applicant is proposing to construct a one-story, 20,000-square foot flexible space commercial building for a future user. The plan for the site provides for expansion at a future date and subject to Planning Commission review. No address has been assigned for the property at this point in time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building will be located on 3.55 acres of undeveloped land; the property owner plans to develop their remaining 11.775 acres of undeveloped land as soon as practicable.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stolz Industrial Park are occupied by the following businesses: to the north Hanover Products at 125 Advanced Drive, to the northeast Alfonse Haar at 130 Advanced Drive, to the east and southeast Advanced Interiors at 240-250 Advanced Drive, and to the south A-1 Mechanical at 235 Advanced Drive. The subject property also borders to the west undeveloped property in Franklin Township with frontage and access provided from Sharts Road to the west.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west in Franklin Township is zoned Franklin Township R-1, Rural Residence District.

Staff Comments

City staff has the following comments regarding this agenda item.

1. Indicate number of employees projected at maximum shift for the purposes of determining the off-street parking requirement for the proposed building/site.
2. Indicate proposed exterior building materials proposed for building.
3. For final review of landscaping plan address the following:
 - a. Indicate all existing vegetation 4 inches DBH or larger to remain on site for credit against requirements of Chapter of the Planning and Zoning Code. This may reduce the number of plantings required as described below.
 - b. A total of 6 trees, including 3 evergreens, to be provided on Advanced Drive frontage.
 - c. Landscaped buffer required on north and south property lines at rate of 1 tree per 40 feet of frontage within a 10-foot buffer area.
 - d. Indicate long-range plans for the west end of the property in light of buffering requirements and credit that may be provided by existing vegetation.
4. For final review of lighting plan address the following:
 - a. Verify with City staff proposed lighting locations on photometric analysis sheet.
 - b. Provide average to minimum and maximum to minimum ratios for photometric analysis sheet.
 - c. Photometric analysis indicates 16.0 foot-candle reading. A maximum foot-candle level of 6.0 is permitted for such installations.
5. Add 6" gate valve at the 6" x 12" water tap on the existing main.
6. Construction requirements within the pipeline easement area to be worked out with pipeline company.
7. Locate existing sanitary manhole on sheet C-3.1.
8. Add note stating 6" water main to be class 52 ductile iron pipe.
9. Water meter to be located inside building with remote reader.
10. Add note stating existing curb and gutter to be removed and replaced by depressed ODOT Type 2 curb and gutter and provide details.
11. Identify benchmark.
12. Detention calculations are currently under review.
13. The Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, October 5, 2021 at 12:00 p.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME:

JAMES M. ALT

Address

STE B 2440 DAYTON KENIA RD

BEAVERCREEK, OH 45434

Telephone No.

(937) 477 2977

Fax No.

(-) -

Email Address

jalt@altarchitecture.com

PROPERTY OWNER NAME (IF OTHER):

SEVA GROUP, LLC, ATTN SEAN BARRY

Address:

1325 Lytle - Five Points Rd

Springboro, OH 45066

Telephone No.

(614) 226 7638

Property Address or General Location:

1325 Lytle - Five Points Rd

Parcel Number(s):

04081010290 (04081010280)

Zoning District:

O-R

Proposed Use:

Assisted Living and Physical Therapy

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)



JAMES M. ALT

Printed Name

(Date)

2021-06-21



ALT Architecture Inc.
Architecture - Engineering
Interior Architecture - Planning

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Beavercreek, Ohio 45434
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NEW ASSISTED
LIVING FACILITY

1325 W LYTLE-FIVE POINTS RD
SPRINGBORO, OH 45066

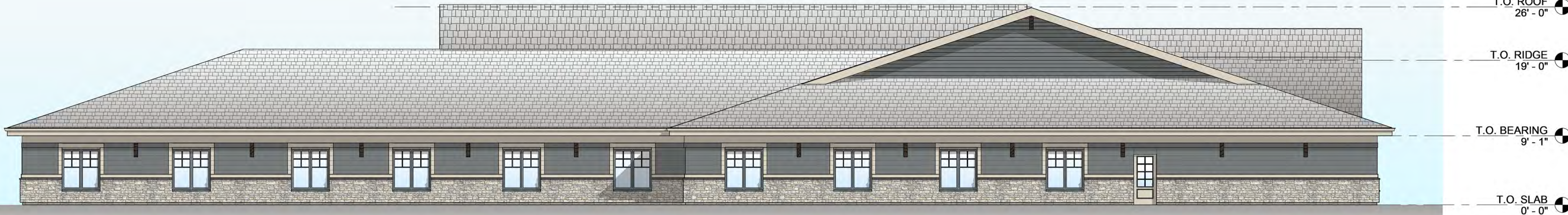
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



EXTERIOR COLORS

1. ROOF SHINGLES: TIMBERLINE AMERICAN HARVEST, COLOR: SADDLEWOOD RANCH
2. STANDING SEAM ROOF: SW 7067 CITYSCAPE
3. NATURAL STONE: MATCH EXISTING OR SIMILAR
4. STONE ACCENTS & TRIMS: MATCH EXISTING OR SIMILAR
5. HORIZONTAL SIDING - HARDIE BOARD: SW 7067 CITYSCAPE
6. COLUMNS AND TRIM DETAILS @ WINDOWS AND DOORS: SW 7530 BARCELONA BEIGE
7. EXTERIOR DOORS: SW 7530 BARCELONA BEIGE
8. WINDOWS: ALMOND OR SIMILAR, MATCH EXISTING
9. GUTTERS AND DOWNSPOUTS: SW 7530 BARCELONA BEIGE
10. METAL LOUVERS: SW 7067 CITYSCAPE
11. FASCIAS, SOFFITS, AND VENTS: SW 7530 BARCELONA BEIGE
12. COLUMNS/ BRACKETS: NATURAL TIMBER, CUSTOM COLOR.



4 WEST ELEVATION
1/8" = 1'-0"



RENDERED
EXTERIOR
ELEVATIONS

KEYNOTES:

- 1) 5'W INTEGRAL CURB & WALK
- 2) ODOT TYPE 6 BARRIER CURB
- 3) GENERATOR ENCLOSURE (SEE ARCH. PLANS)
- 4) GREASE TRAP
- 5) HC RAMP 12:1 MAX
- 6) 5' PAINTED CROSSWALK
- 7) BUMPER BLOCK
- 8) WHITE PAINT PER ODOT ITEM 642
- 9) INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
- 10) HANDICAP SIGN SEE DETAIL
- 11) 48" BLACK DECORATIVE ALUMINUM FENCE
- 12) MONUMENT SIGN
- 13) MASONRY TRASH ENCLOSURE TO MATCH BUILDING (SEE ARCH. PLAN)
- 14) TRANSFORMER PAD (COORD. WITH MEP PLANS)
- 15) CONDENSING UNITS BEHIND 4'H SOLID VINYL FENCE (SEE ARCH. PLANS)
- 16) 5' CONC. SIDEWALK
- 17) 4' CONC. SIDEWALK
- 18) CURB AND GUTTER - SEE DETAIL
- 19) RETAINING WALL WITH FENCE
- 20) RETAINING WALL (SEE PLANS BY OTHERS)
- 21) 48" BLACK AMERISTAR FENCE (SEE ARCH. PLANS)

SITE PLAN NOTES

- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
- 2) RADIUS DIMENSIONS ARE TO FACE OF CURB OR FACE OF PAINT UNLESS OTHERWISE NOTED.
- 3) SEE ARCHITECTURAL AND PLUMBING PLANS FOR UTILITY LOCATIONS AT PROPOSED BUILDING.
- 4) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS.
- 5) ALL CURB SHALL BE BARRIER CURB OR COMBINATION CURB AND GUTTER SEE DETAIL SHEET
- 6) CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR CURB UNDERDRAINS.
- 7) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS.
- 8) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.
- 9) SLOPE IN HANDICAP PARKING SPACE MAY NOT EXCEED 2.0% IN ANY DIRECTION
- 10) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WITH A 1.0% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'.

SITE AREA CALCULATIONS

TOTAL SITE AREA	-	156,627± SF 3.596 ACRES
BUILDING AREA	-	32,780± SF 20.9% COVERAGE
IMPERVIOUS AREA	-	55,244± SF 35.3% COVERAGE
PERVIOUS AREA	-	45,498 SF 52.2% COVERAGE



LEGEND

- PARKING SPACE COUNT
- HEAVY DUTY PAVEMENT (SEE DETAIL SHEET)
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET)
- NEW CONCRETE

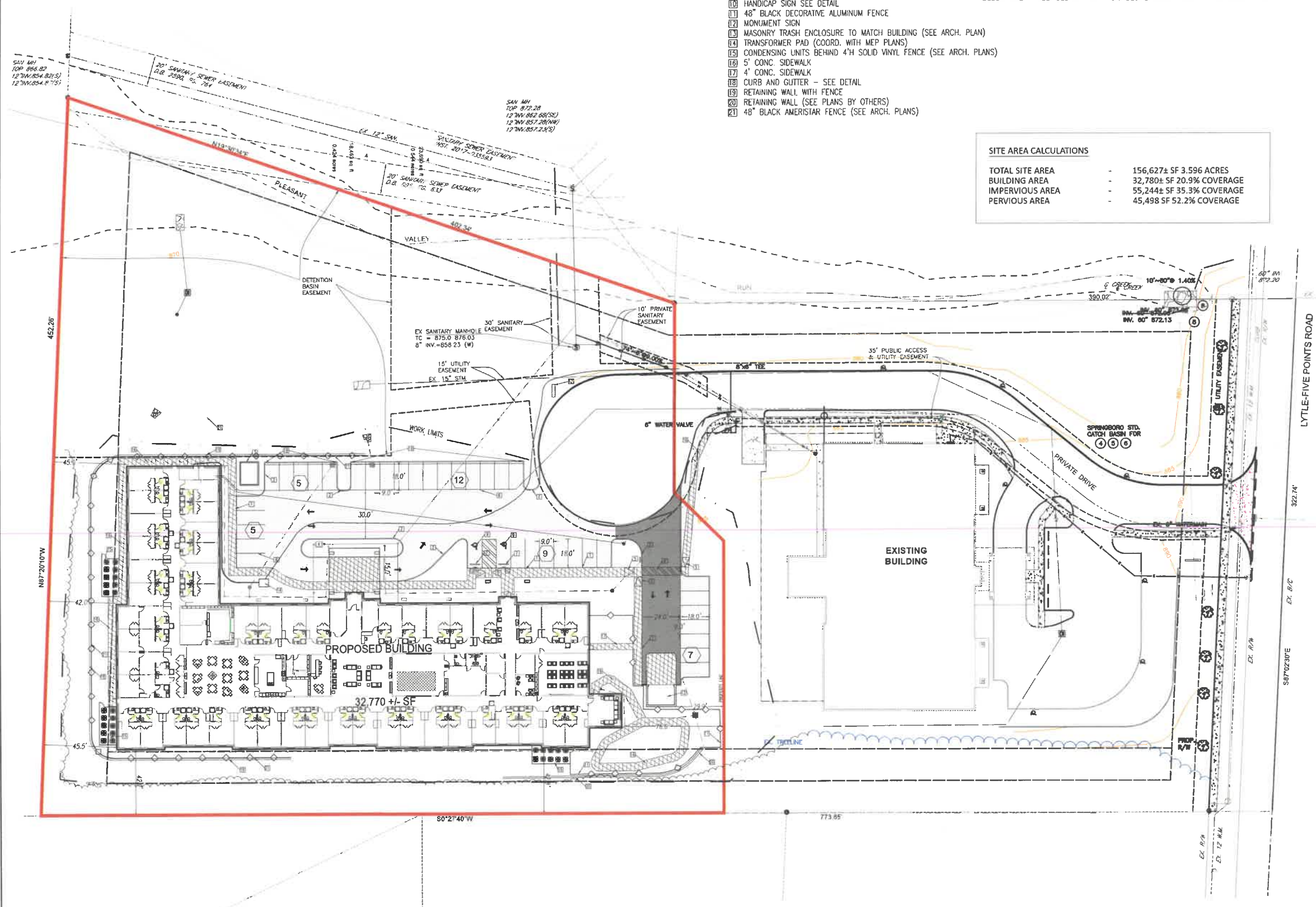
PARKING REQUIREMENTS:

PROFESSIONAL OFFICE
REQUIRED: 0.5 SPACES PER BED + 1 PER EMPLOYEE

TOTAL BEDS = 48
MAX SHIFT EMPLOYEES = 10

PARKING REQUIRED = 34 SPACES

PARKING PROVIDED: 38 INCL. 2 HC



REVISIONS

CEE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45424
TEL. 937.480.9460 FAX 937.426.9798

SITE PLAN

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



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DESIGN:	DATE:
SWB	09/20/2021
UTL:	
CHECK:	
JOB #:	
21-482	

C3

CONSTRUCTION DRAWINGS

FOR

THE RAVINE AT

SETTLERS POINT

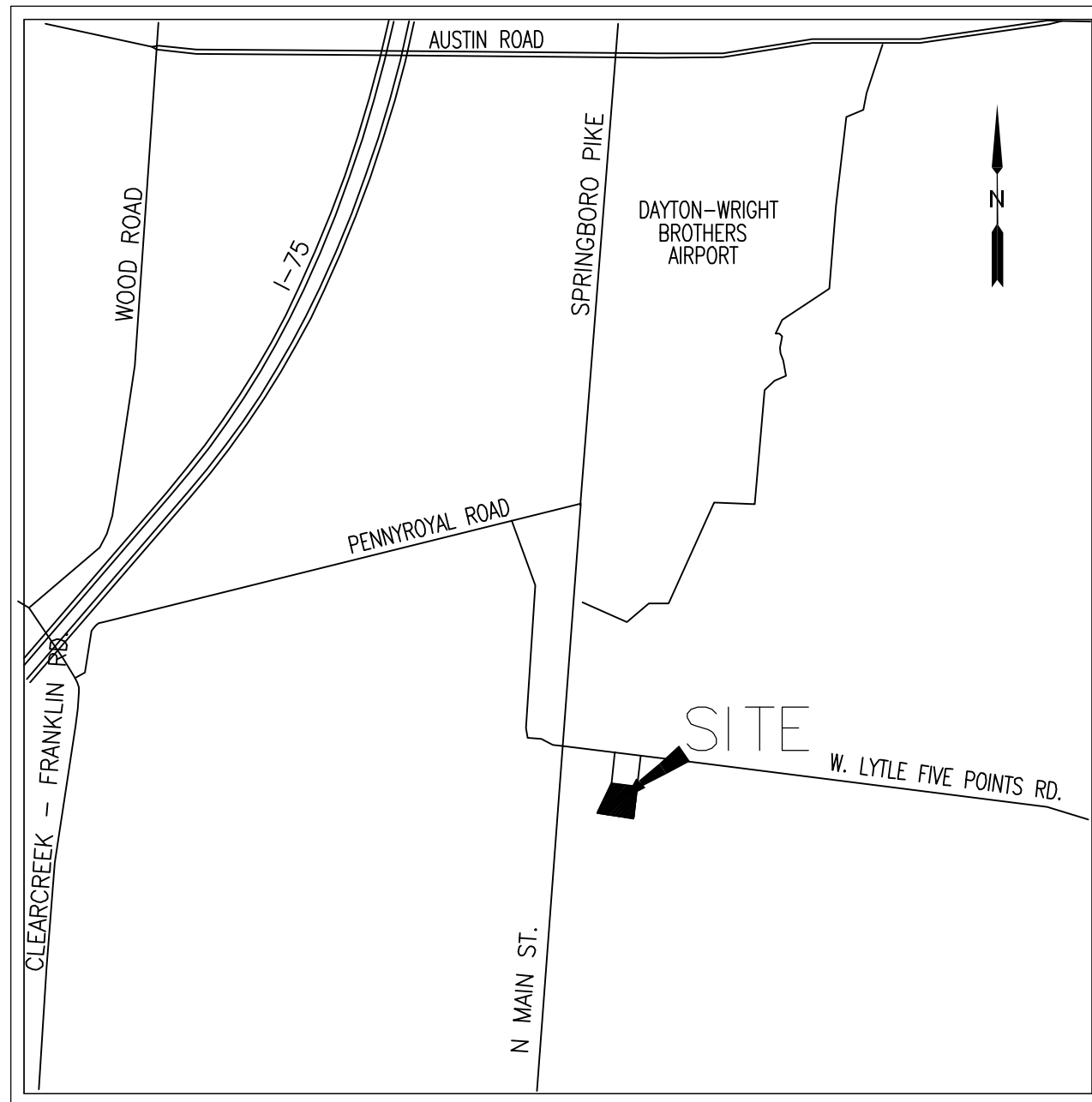
GENERAL NOTES

- 1) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH CITY OF SPRINGBORO STANDARDS AND SPECIFICATIONS ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE AT COMMUNITY CIVIL ENGINEERS. FOR ODOT SPECS VISIT:
<http://www.dot.state.oh.us/Divisions/ConstructionMgt/OnlineDocs/Pages/2010CMS.aspx>
- 2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ODOT STANDARDS.
- 3) ALL TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL WHERE SHOWN IN PROFILE AND BE DONE IN ACCORDANCE WITH CITY OF SPRINGBORO SPECIFICATIONS AND COMPACTED BEFORE SUBGRADE APPROVAL.
- 4) ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE OR EASEMENT LINE, WHICHEVER IS FURTHEST, BEFORE STREETS ARE SURFACED.
- 5) ALL CATCH BASINS TO BE IN ACCORDANCE WITH ODOT STANDARDS UNLESS OTHERWISE SPECIFIED.
- 6) ALL MANHOLES TO BE TYPE "A" UNLESS OTHERWISE NOTED.
- 7) CHANNEL BOTTOMS OF ALL MANHOLES.
- 8) RADIUS OF BACK OF CURB AT INTERSECTIONS SHALL BE 25.00 FEET, UNLESS OTHERWISE SHOWN.
- 9) ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM.
- 10) CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPT OF TRANSPORTATION STD CONST DWG BP-7.1 TYPE 1.
- 11) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

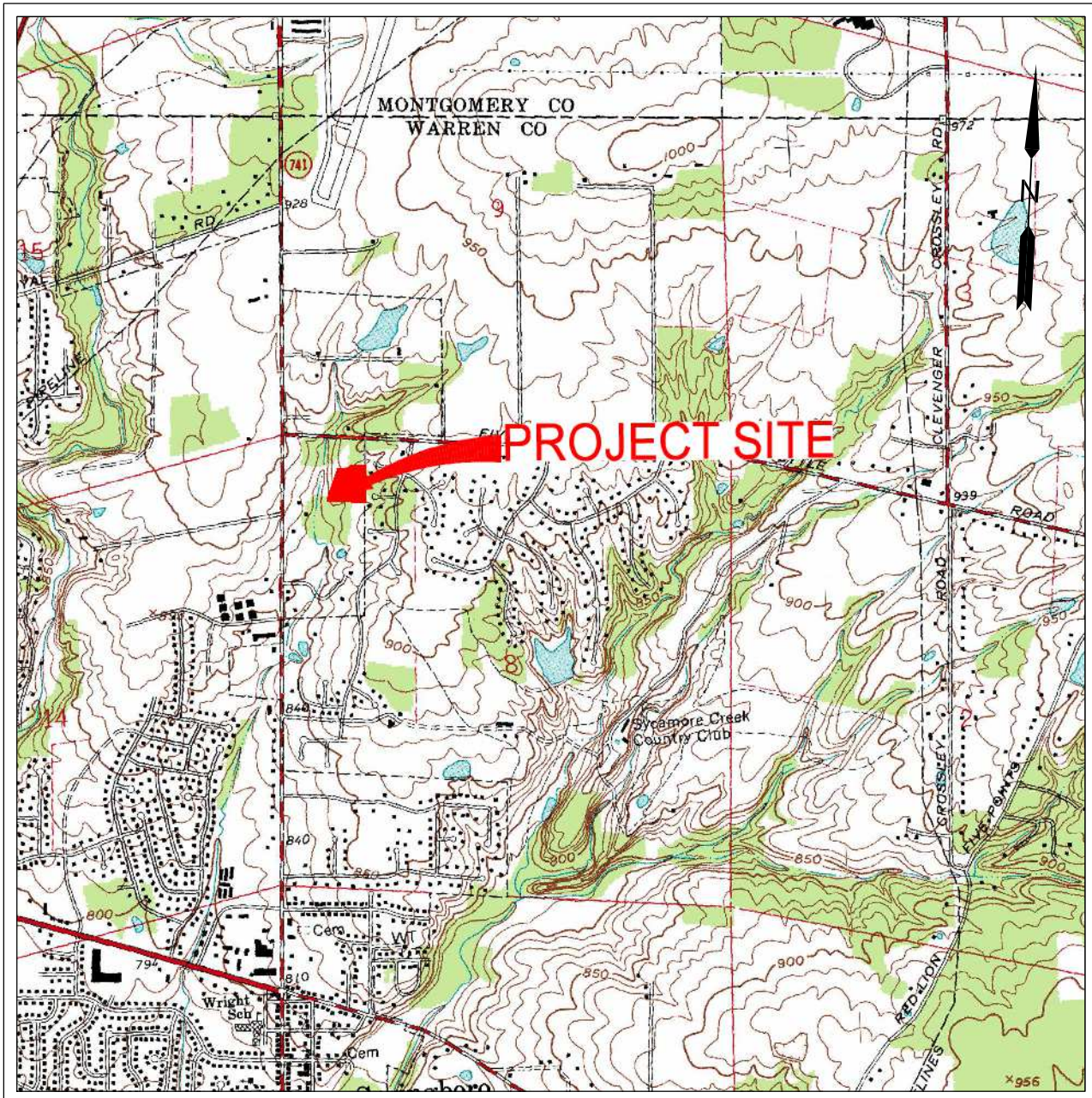
UTILITY	OWNER	TELEPHONE
CABLE	SPECTRUM 1450 EXPERIMENT FARM RD. TROY, OH. 45373	(937)-294-6400
ELECTRIC	DAYTON POWER & LIGHT 1900 DRYDEN ROAD DAYTON, OH. 45439	(937)-331-4521
TELEPHONE	AT&T 3233 WOODMAN DR. DAYTON, OH 45420	(937)-296-3894
GAS	VECTREN 4285 N. JAMES H. McGEE BLVD. DAYTON, OH. 45427	(937)-312-2533
SANITARY SEWER WATER MAINS	CITY OF SPRINGBORO 320 WEST CENTRAL AVENUE SPRINGBORO, OHIO 45066	9(37)-748-4365

- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
- 12) ALL MANHOLES INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED EITHER CENTERED ON A TRAVELED LANE OR ON A LONGITUDINAL PAVEMENT MARKING STRIPE, SUCH AS A LANE LINE, CHANNELING LINE OR CENTERLINE.
 - 13) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE EXPOSED SHALL BE SEEDED WITHIN 3 DAYS AS WORK IS COMPLETED IN THE AREA.
 - 14) ALL CATCH BASIN LATERALS TO BE REINFORCED CONCRETE ASTM SPECIFICATION NUMBER C-76, CLASS 4, UNLESS OTHERWISE NOTED.
 - 15) ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
 - 16) ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND CUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
 - 17) TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", ANY WORK ON A THOROUGHFARE OR WORK REQUIRING CLOSURES REQUIRES 48 HOUR NOTIFICATION AND APPROVAL OF THE MONTGOMERY COUNTY. NOTICE SHALL BE GIVEN TO THE PUBLIC WORKS DIRECTOR A MINIMUM TWO WEEKS PRIOR TO ANY CLOSING.
 - 18) SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
 - 19) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE BASE BID.
 - 20) PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS ADJACENT TO THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - 21) THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AT THE CONTRACTORS EXPENSE.
 - 22) CITY OF SPRINGBORO STANDARD DRAWINGS ARE TO BE CONSIDERED PART OF THESE PLANS
 - 23) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
 - 24) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.
 - 25) CONTRACTOR SHALL MAINTAIN INSPECTION AND MAINTENANCE LOGS OF EROSION CONTROL DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.
 - 26) CONTRACTOR SHALL VERIFY ALL INVERTS PRIOR TO STARTING CONSTRUCTION DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.

LOCATED IN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO 45066



VICINITY MAP
NO SCALE



USGS MAP
SCALE: 1" = 2,000'

INDEX OF SHEETS

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DRAINAGE PLAN	C6
SITE DETAILS (1)	C7
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SWPPP NOTES & DETAILS	CS203
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EROSION & SEDIMENT CONTROL PLAN	CS400
INITIAL INSTALLATION	
EROSION & SEDIMENT CONTROL PLAN	CS401
DURING CONSTRUCTION	

CIVIL ENGINEER:



ARCHITECT:



BENCHMARK #1

INVERT OF SANITARY MANHOLE LOCATED AT 21' WEST OF CUL-DE-SAC
INVERT ELEVATION 858.23

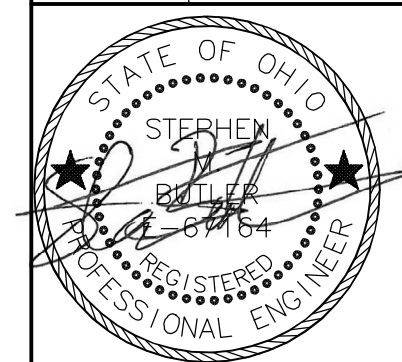


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REVISIONS

TITLE SHEET

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

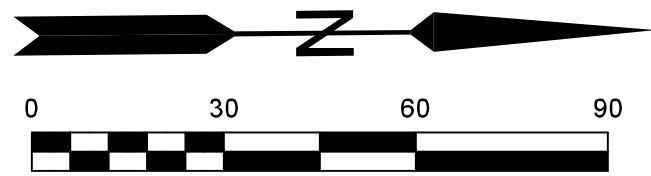


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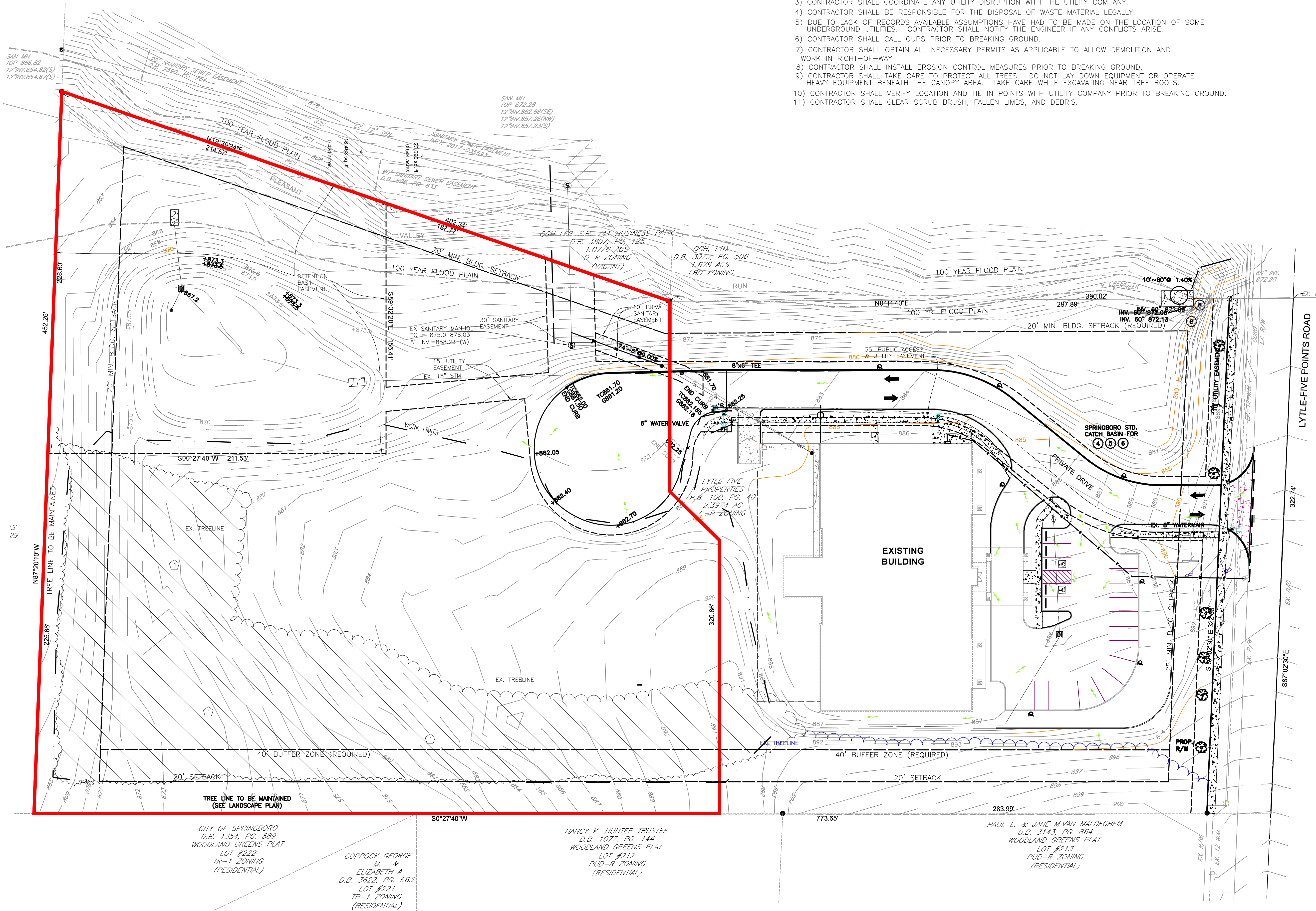


DEMOLITION LEGEND

- 1 REMOVE TREES
- 2 REMOVE TREE - RELOCATE OUTSIDE OF WORK AREA
- REMOVE TREE INC. STUMP
- LIMITS OF DEMOLITION
- REMOVE TREES, INCL. ROOTS

EXISTING PLAN NOTES:

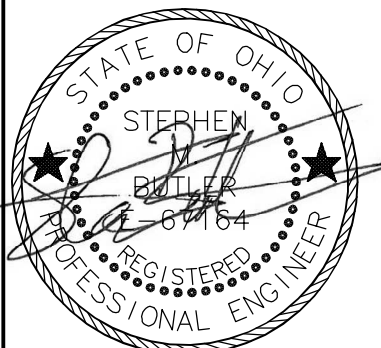
- 1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. NOTE: SOME UTILITIES ARE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS.
- 2) AFTER THE INSTALLATION OF UTILITIES THE GROUND SHALL BE RETURNED TO IT'S ORIGINAL CONDITION
- 3) CONTRACTOR SHALL COORDINATE ANY UTILITY DISRUPTION WITH THE UTILITY COMPANY.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY.
- 5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE.
- 6) CONTRACTOR SHALL CALL OUPS PRIOR TO BREAKING GROUND.
- 7) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS APPLICABLE TO ALLOW DEMOLITION AND WORK IN RIGHT-OF-WAY
- 8) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND.
- 9) CONTRACTOR SHALL TAKE CARE TO PROTECT ALL TREES. DO NOT LAY DOWN EQUIPMENT OR OPERATE HEAVY EQUIPMENT BENEATH THE CANOPY AREA. TAKE CARE WHILE EXCAVATING NEAR TREE ROOTS.
- 10) CONTRACTOR SHALL VERIFY LOCATION AND TIE IN POINTS WITH UTILITY COMPANY PRIOR TO BREAKING GROUND.
- 11) CONTRACTOR SHALL CLEAR SCRUB BRUSH, FALLEN LIMBS, AND DEBRIS.



REVISIONS

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**EXISTING SURVEY
& FEATURES PLAN**
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



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KEYNOTES:

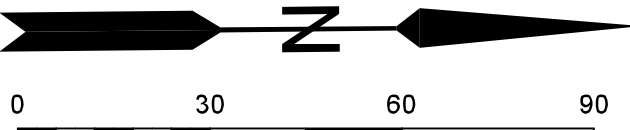
- 1 5'W INTEGRAL CURB & WALK
- 2 ODOT TYPE 6 BARRIER CURB
- 3 GENERATOR ENCLOSURE (SEE ARCH. PLANS)
- 4 GREASE TRAP
- 5 HC RAMP 12:1 MAX
- 6 5" PAINTED CROSSWALK
- 7 BUMPER BLOCK
- 8 WHITE PAINT PER ODOT ITEM 642
- 9 INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
- 10 HANDICAP SIGN SEE DETAIL
- 11 48" BLACK DECORATIVE ALUMINUM FENCE
- 12 MONUMENT SIGN
- 13 MASONRY TRASH ENCLOSURE TO MATCH BUILDING (SEE ARCH. PLAN)
- 14 TRANSFORMER PAD (COORD. WITH MEP PLANS)
- 15 CONDENSING UNITS BEHIND 4'H SOLID VINYL FENCE (SEE ARCH. PLANS)
- 16 5" CONC. SIDEWALK
- 17 4" CONC. SIDEWALK
- 18 CURB AND GUTTER - SEE DETAIL
- 19 RETAINING WALL WITH FENCE
- 20 RETAINING WALL (SEE PLANS BY OTHERS)
- 21 48" BLACK AMERISTAR FENCE (SEE ARCH. PLANS)

SITE PLAN NOTES

- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
- 2) RADIUS DIMENSIONS ARE TO FACE OF CURB OR FACE OF PAINT UNLESS OTHERWISE NOTED.
- 3) SEE ARCHITECTURAL AND PLUMBING PLANS FOR UTILITY LOCATIONS AT PROPOSED BUILDING.
- 4) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS.
- 5) ALL CURB SHALL BE BARRIER CURB OR COMBINATION CURB AND GUTTER SEE DETAIL SHEET
- 6) CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR CURB UNDERDRAINS.
- 7) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS.
- 8) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.
- 9) SLOPE IN HANDICAP PARKING SPACE MAY NOT EXCEED 2.0% IN ANY DIRECTION.
- 10) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WITH A 1.0% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'.

SITE AREA CALCULATIONS

TOTAL SITE AREA	-	156,627± SF 3.596 ACRES
BUILDING AREA	-	32,780± SF 20.9% COVERAGE
IMPERVIOUS AREA	-	55,244± SF 35.3% COVERAGE
PERVIOUS AREA	-	45,498 SF 52.2% COVERAGE



LEGEND

- 10 PARKING SPACE COUNT
- HEAVY DUTY PAVEMENT (SEE DETAIL SHEET)
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET)
- NEW CONCRETE

PARKING REQUIREMENTS:

PROFESSIONAL OFFICE
REQUIRED: 0.5 SPACES PER BED + 1 PER EMPLOYEE

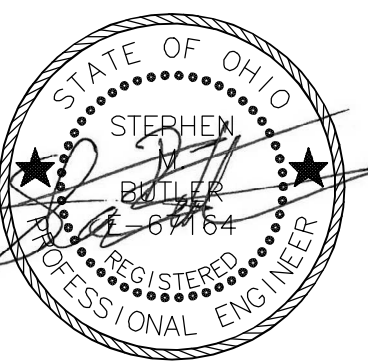
TOTAL BEDS = 48
MAX SHIFT EMPLOYEES = 10

PARKING REQUIRED = 34 SPACES

PARKING PROVIDED: 38 INCL. 2 HC



SITE PLAN
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
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UTILITY NOTES

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES, MEP & ARCH. PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
2. CLEAN OUTS LOCATED IN PAVED AREAS SHALL BE TRAFFIC RATED AND BE FLUSH WITH THE SURFACE.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL UTILITIES.
4. CONTRACTOR SHALL REFER TO DETAIL SHEET FOR TRENCHING DETAILS.
5. REFER TO SPRINGBORO STANDARD DRAWINGS AND SPECIFICATION FOR UTILITY CONNECTION AND GENERAL SITE DETAILS.
6. 18" SEPARATION SHALL BE MAINTAINED BETWEEN OUTSIDE OF CONDUITS AT UTILITY CROSSINGS.

- UTILITY COMPANY NOTES:
1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
 2. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER UTILITY COMPANIES.
 3. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
 4. CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.
 5. SEE DRAINAGE PLAN FOR STORM SCHEDULE.

STORM SEWER

1. BICYCLE SAFE GRATES AND RATED FOR CLASS D LOADS SHALL ONLY BE USED.
2. COORDINATE CONNECTION OF DOWNSPOUTS TO THE STORM DRAINAGE SYSTEM. SEE PLUMBING PLANS.
3. CONFIRM ALL LOCATIONS AND CONNECTIONS PER ROOFING AND UNDERFLOOR PLAN PRIOR TO CONSTRUCTION.
4. ALL STORM SEWER SHALL BE HDPE OR ENGINEER APPROVED EQUAL.
5. ALL CATCH BASINS LOCATED IN PAVED AREAS SHALL HAVE FINGER DRAINS INSTALLED PER DETAIL.
6. SEE DRAINAGE PLAN FOR STORM SEWER INFORMATION INCLUDING STORM SCHEDULE.

ELECTRIC NOTES:

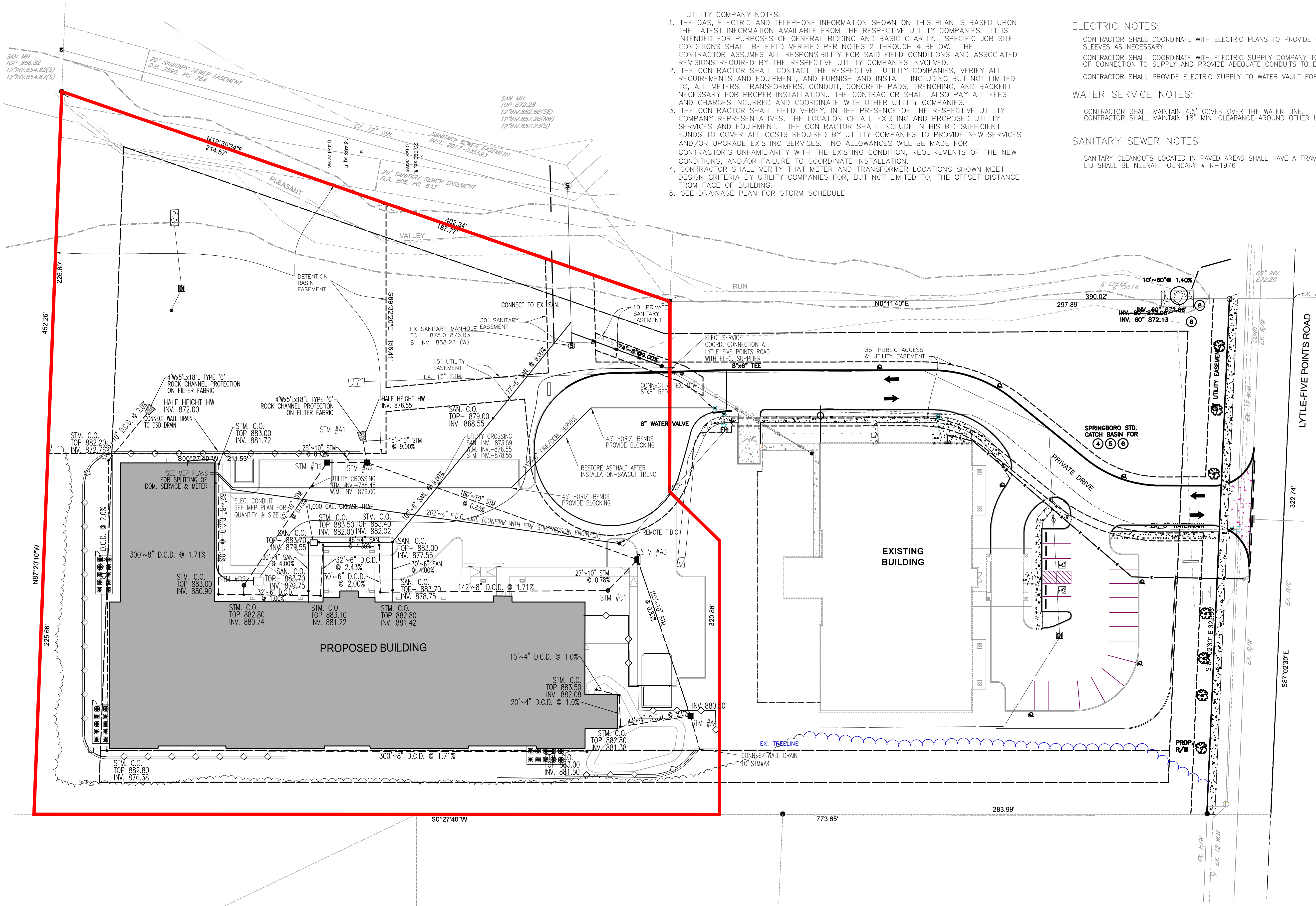
- CONTRACTOR SHALL COORDINATE WITH ELECTRIC PLANS TO PROVIDE CONDUIT SLEEVES AS NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH ELECTRIC SUPPLY COMPANY TO DETERMINE POINT OF CONNECTION TO SUPPLY AND PROVIDE ADEQUATE CONDUITS TO BUILDING.
- CONTRACTOR SHALL PROVIDE ELECTRIC SUPPLY TO WATER VAULT FOR SUMP PUMP.

WATER SERVICE NOTES:

- CONTRACTOR SHALL MAINTAIN 4.5' COVER OVER THE WATER LINE.
- CONTRACTOR SHALL MAINTAIN 18" MIN. CLEARANCE AROUND OTHER UTILITIES.

SANITARY SEWER NOTES

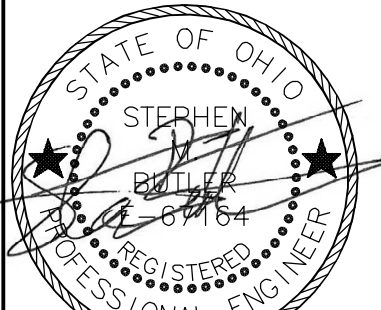
- SANITARY CLEANOUTS LOCATED IN PAVED AREAS SHALL HAVE A FRAME AND LID. (SEE DETAIL)
- LID SHALL BE NEENAH FOUNDARY # R-1976



REVISIONS

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UTILITY PLAN
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
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GRADING LEGEND:

- + 663.05

63.00

62.50

61.00

PVMT
- EXISTING GRADE
- TOP OF CURB
- PAVEMENT GRADE
- SPOT GRADES ON PAVEMENT/CONC/EOP
- OVERLAND DRAINAGE FLOW DIRECTION
- WORK LIMIT
- PVMT
- CONC.
- HP
- GND
- ASPH
- PAVEMENT
- CONCRETE
- HIGH POINT
- GROUND
- ASPHALT

GRADING NOTES:

1. BEFORE STARTING GRADING OPERATIONS, SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).

2. BEFORE STARTING GRADING OPERATIONS, SEE LANDSCAPE PLAN AND SOILS REPORT FOR TREATMENT OF EXISTING GRADE.

3. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.

4. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS. STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.

5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

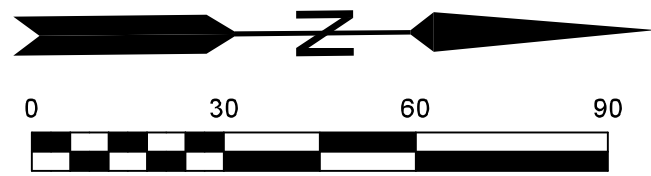
6. ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

7. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.

8. EMBANKMENT SHALL BE COMPACTED AND PLACED IN LAYERS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STORM SEWER.
9. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
10. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.
11. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESPREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.
12. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
13. SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED)
14. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.
15. CONTRACTOR SHALL OBTAIN PERMITS AS REQUIRED TO WORK IN RIGHT-OF-WAY.
16. CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (937.490.9460) OF ANY DISCREPANCIES OR IF UNCERTAIN ON ANY ITEMS.
17. CONTRACTOR SHALL MAINTAIN A LOG OF EROSION CONTROL MAINTENANCE AND INSPECTION PER OHIO EPA REGULATIONS. A COPY OF THE LOGS SHALL BE KEPT ON-SITE.
- The figure is a detailed grading plan for a construction site. It shows a large 'PROPOSED BUILDING' on the left and an 'EXISTING BUILDING' on the right. The plan is overlaid with a grid of spot elevations and contour lines. Key features include: a red boundary line defining the work limits; various easements such as '20" SANITARY SEWER EASEMENT', '15" UTILITY EASEMENT', and '35" PUBLIC ACCESS'; a '6" WATER VALVE' and a '6" TEE'; a '35" UTILITY EASEMENT'; a 'PRIVATE DRIVE'; and a 'SPRINGBORO STD. CATCH BASIN FOR 4, 5, 6'. The plan also shows 'LYTLE FIVE POINTS ROAD' to the east and 'PLEASANT VALLEY RUN' to the north. The site is bounded by 'N87°20'10"W' and 'S0°27'40"W' lines. The plan includes numerous elevation points, such as '883.0', '881.5', '880.5', '879.5', '878.5', '877.5', '876.5', '875.5', '874.5', '873.5', '872.5', '871.5', '870.5', '869.5', '868.5', '867.5', '866.5', '865.5', '864.5', '863.5', '862.5', '861.5', '860.5', '859.5', '858.5', '857.5', '856.5', '855.5', '854.5', '853.5', '852.5', '851.5', '850.5', '849.5', '848.5', '847.5', '846.5', '845.5', '844.5', '843.5', '842.5', '841.5', '840.5', '839.5', '838.5', '837.5', '836.5', '835.5', '834.5', '833.5', '832.5', '831.5', '830.5', '829.5', '828.5', '827.5', '826.5', '825.5', '824.5', '823.5', '822.5', '821.5', '820.5', '819.5', '818.5', '817.5', '816.5', '815.5', '814.5', '813.5', '812.5', '811.5', '810.5', '809.5', '808.5', '807.5', '806.5', '805.5', '804.5', '803.5', '802.5', '801.5', '800.5', '799.5', '798.5', '797.5', '796.5', '795.5', '794.5', '793.5', '792.5', '791.5', '790.5', '789.5', '788.5', '787.5', '786.5', '785.5', '784.5', '783.5', '782.5', '781.5', '780.5', '779.5', '778.5', 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STORM SEWER SYSTEM



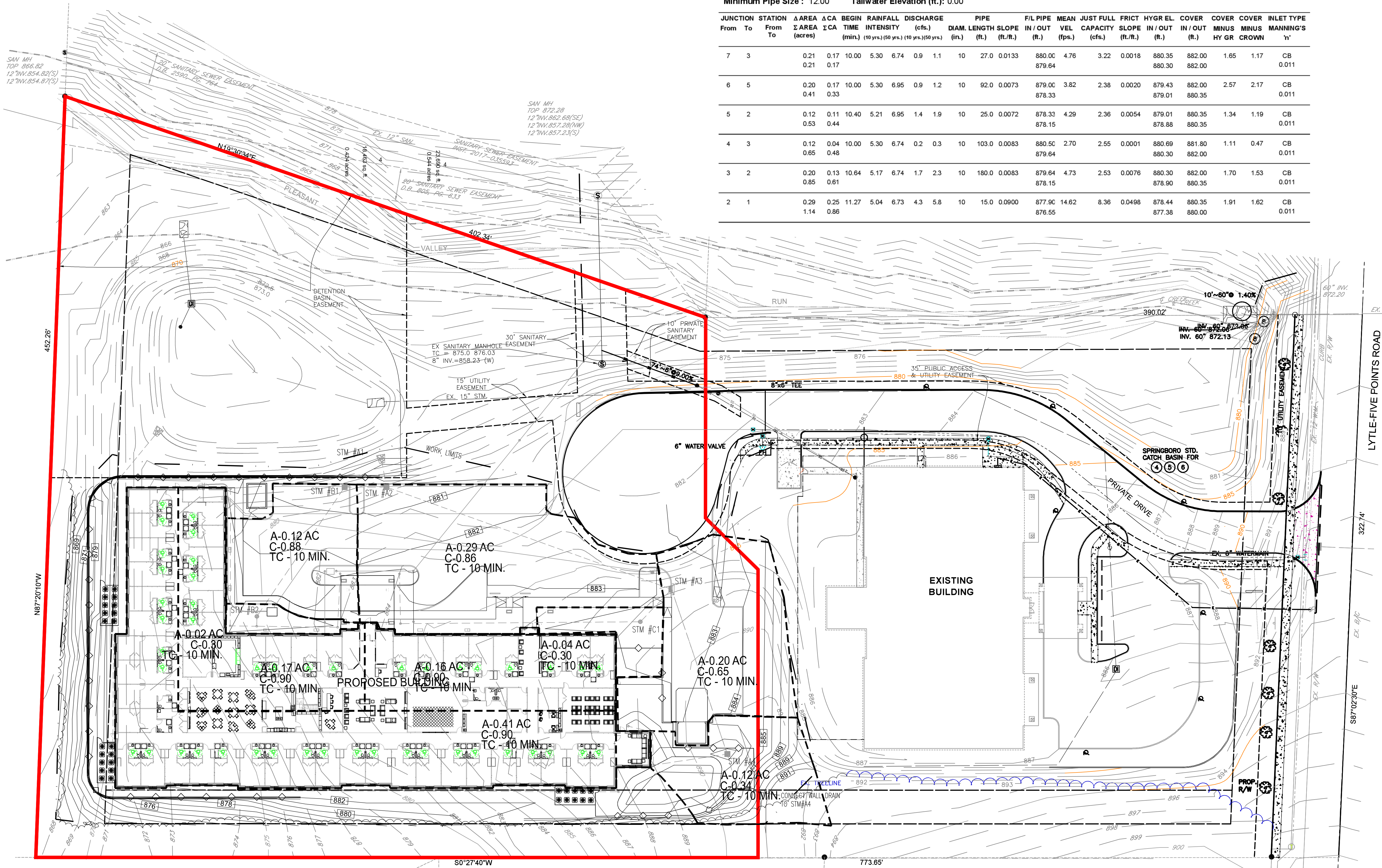
PID :		Date :		Project : The Ravine at Settlers										Location : Lytle Five Points Road									
Description :Storm Run 1														Designer : Stephen Butler									
Rainfall Area: C				Just Full Capacity Frequency (yrs.) : 10										Hydraulic Gradient Frequency (yrs.) : 50									
Minimum Pipe Size : 12.00				Tailwater Elevation (ft.): 0.00																			
JUNCTION	STATION	Δ AREA	Δ CA	BEGIN	RAINFALL	DISCHARGE	PIPE			F/L PIPE	MEAN	JUST FULL	FRICT	HYGR EL.	COVER	COVER	COVER	COVER	INLET TYPE				
From	To	Σ AREA	Σ CA	TIME	INTENSITY	(cfs.)	DIAM.	LENGTH	SLOPE	IN / OUT	VEL	CAPACITY	SLOPE	IN / OUT	IN / OUT	MINUS	MINUS	MINUS	IN'				
		(acres)		(min.)	(10 yrs.)	(50 yrs.)	(10 yrs.)	(50 yrs.)	(in.)	(ft.)	(ft./ft.)	(ft.)	(fps.)	(cfs.)	(ft./ft.)	(ft.)	HY GR	CROWN					
7	3	0.21	0.17	10.00	5.30	6.74	0.9	1.1	10	27.0	0.0133	880.00	4.76	3.22	0.0018	880.35	882.00	1.65	1.17	CB			
		0.21	0.17									879.64				880.30	882.00			0.011			
6	5	0.20	0.17	10.00	5.30	6.95	0.9	1.2	10	92.0	0.0073	879.00	3.82	2.38	0.0020	879.43	882.00	2.57	2.17	CB			
		0.41	0.33									878.33				879.01	880.35			0.011			
5	2	0.12	0.11	10.40	5.21	6.95	1.4	1.9	10	25.0	0.0072	878.33	4.29	2.36	0.0054	879.01	880.35	1.34	1.19	CB			
		0.53	0.44									878.15				878.88	880.35			0.011			
4	3	0.12	0.04	10.00	5.30	6.74	0.2	0.3	10	103.0	0.0083	880.50	2.70	2.55	0.0001	880.69	881.80	1.11	0.47	CB			
		0.65	0.48									879.64				880.30	882.00			0.011			
3	2	0.20	0.13	10.64	5.17	6.74	1.7	2.3	10	180.0	0.0083	879.64	4.73	2.53	0.0076	880.30	882.00	1.70	1.53	CB			
		0.85	0.61									878.15				878.90	880.35			0.011			
2	1	0.29	0.25	11.27	5.04	6.73	4.3	5.8	10	15.0	0.0900	877.90	14.62	8.36	0.0498	878.44	880.35	1.91	1.62	CB			
		1.14	0.86									876.55				877.38	880.00			0.011			

STORM SCHEDULE

STM. #A1 HALF HEIGHT HW INV. 876.55	STM. #B1 ODOT 2-2B RIM 880.35 10" INV. 878.33
STM. #A2 ODOT 2-2B GRATE 880.35 10" INV 877.90 (W) 10" INV 878.15 (S,NE)	STM. #B2 YARD INLET GRATE 882.00 10" INV 879.00 8" INV 880.68
STM. #A3 CURB INLET GRATE 882.00 10" INV 879.64	STM. #C1 YARD INLET TOP 882.00 10" INV 880.00 8" INV 880.00
STM. #A4 ODOT 2-2B GRATE 881.80 10" INV 880.50 4" INV 880.50	

DRAINAGE DATA

ALLOWED TRIBUTARY TO POND	2.14 ACRES
ALLOWED IMPERVIOUS	1.40 ACRES
PROPOSED TRIBUTARY TO POND	1.64 ACRES
PROPOSED IMPERVIOUS	1.27 ACRES



REVISIONS

CEE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL: 937.490.9460 FAX: 937.426.9798

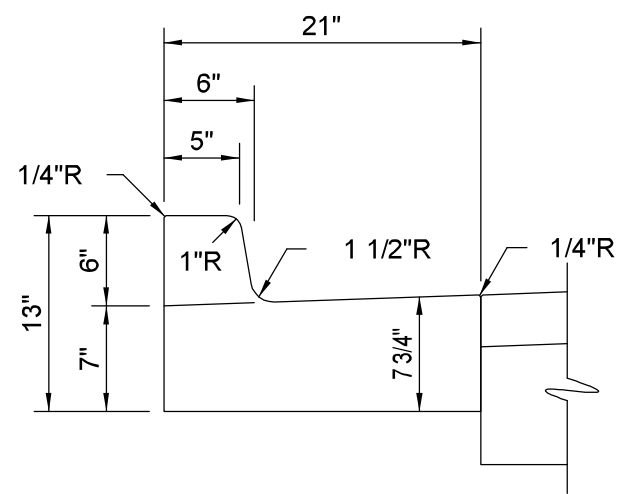
DRAINAGE PLAN
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



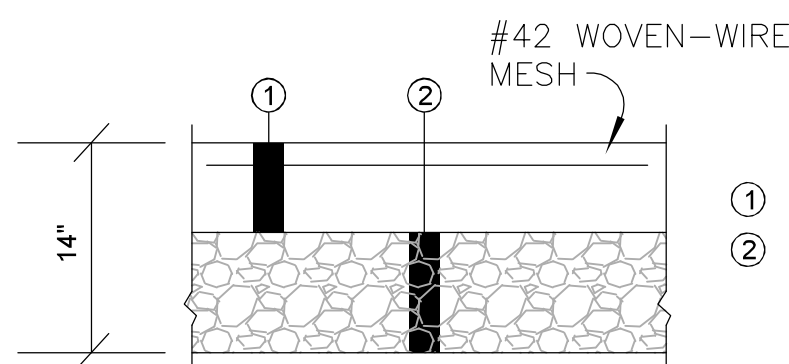
Ohio Utilities Protection Service
Call 811
before you dig

DESIGN:	DATE:	09/20/2021
SMR		
DRAWN:		
CHECK:		
JOB #:		
21-482		

C6

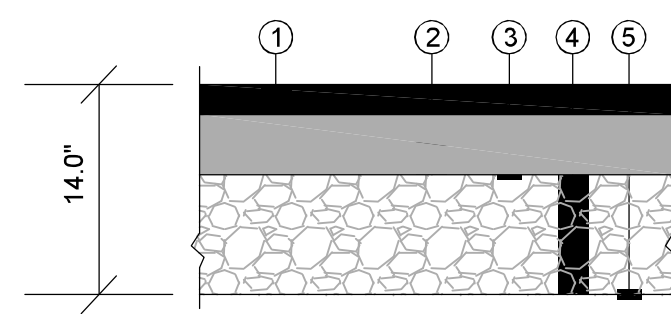


COMBINED CURB & GUTTER
NTS



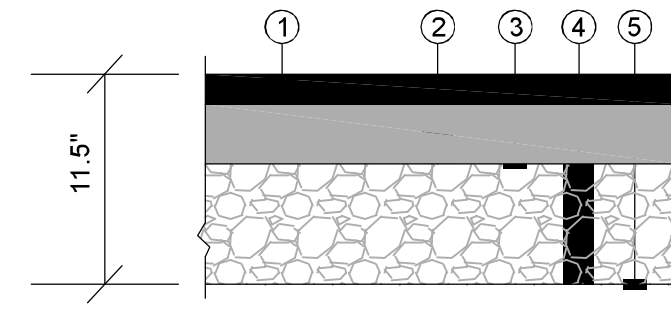
CONCRETE DUMPSTER PAD
NTS

(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



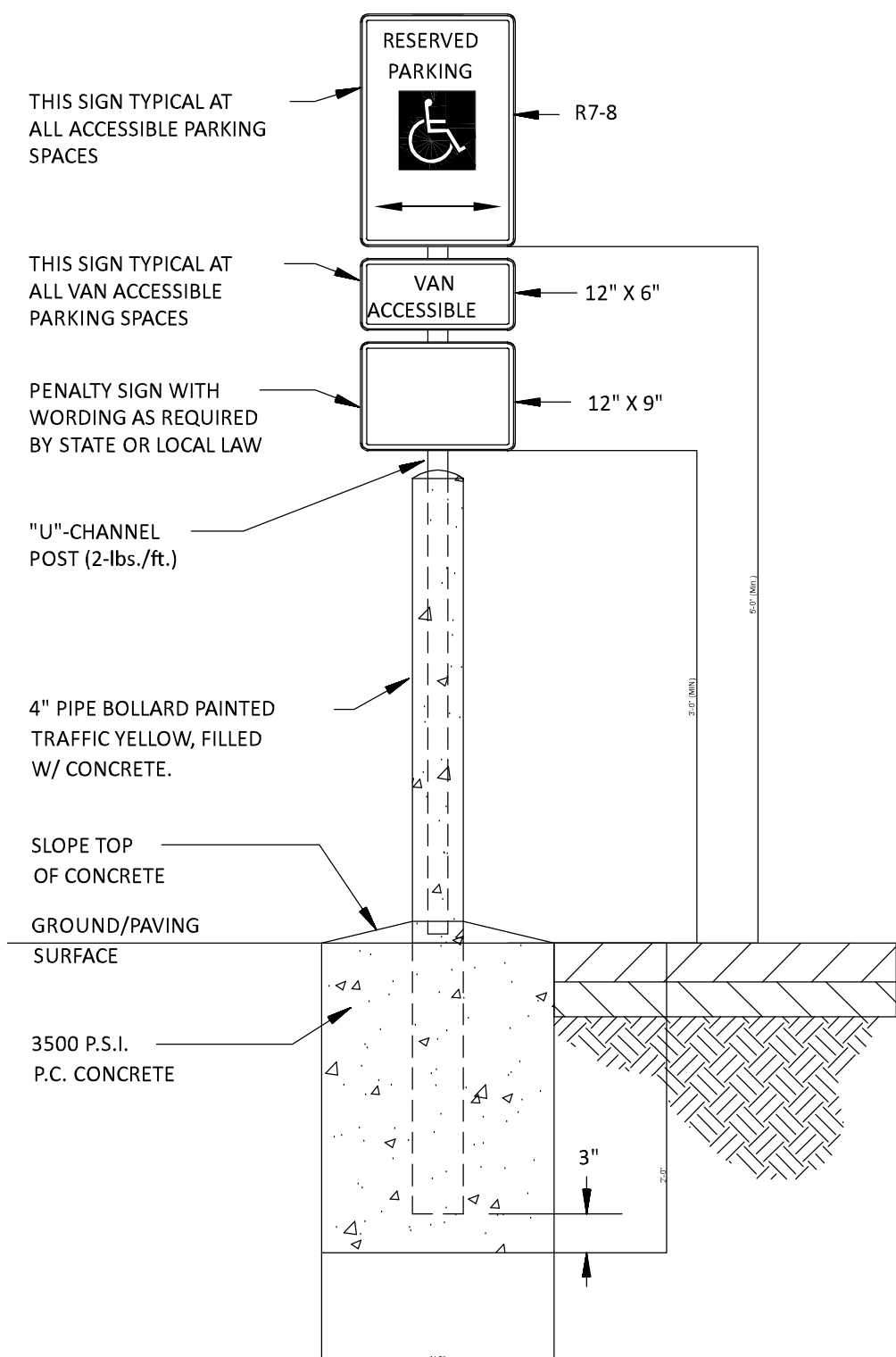
HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS

(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



STANDARD ASPHALT PAVEMENT SECTION
NTS

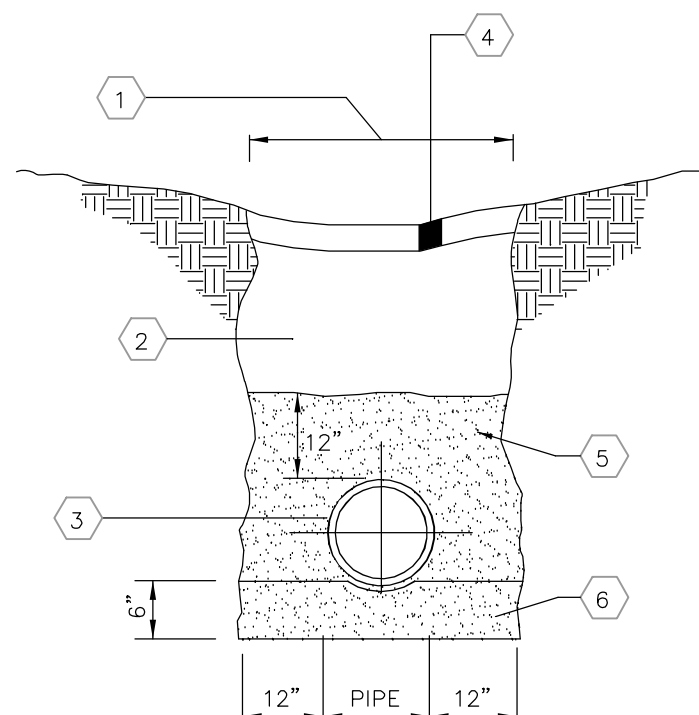
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



ACCESSIBLE PARKING SIGN
N.T.S.

KEYED NOTES

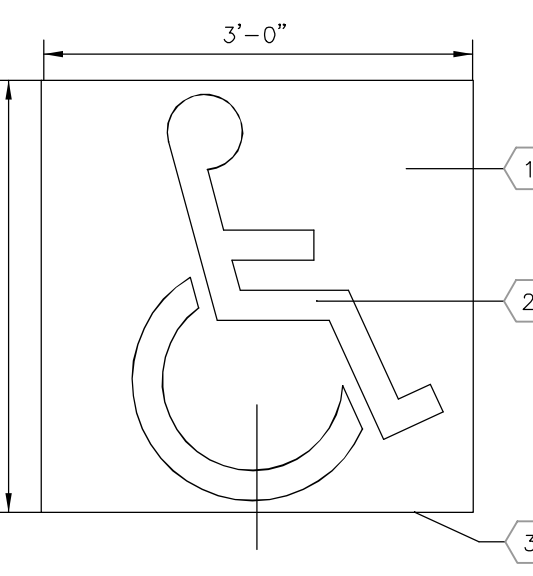
- 1 EXCAVATE WIDTH OF TRENCH AS NEEDED
- 2 PLACE SUITABLE SOIL OR GRANULAR BACKFILL IN 6" MAX. LIFTS. SUITABLE SOIL SHALL BE COMPACTED TO 90% MIN. (98% MIN. UNDER PAVEMENT) DRY DENSITY, PER ASTM D698. GRANULAR BACKFILL SHALL BE COMPACTED TO 75% (80% UNDER PAVEMENT) RELATIVE DENSITY, PER ASTM 4353. GRANULAR BACKFILL REQUIRED UNDER PAVEMENT.
- 3 PROPOSED STORM OR SANITARY SEWER
- 4 TOPSOIL, SOD, AND MULCHING OR PAVEMENT AS DETAILED ELSEWHERE.
- 5 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE
- 6 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 6" BELOW THE BOTTOM OF THE PIPE



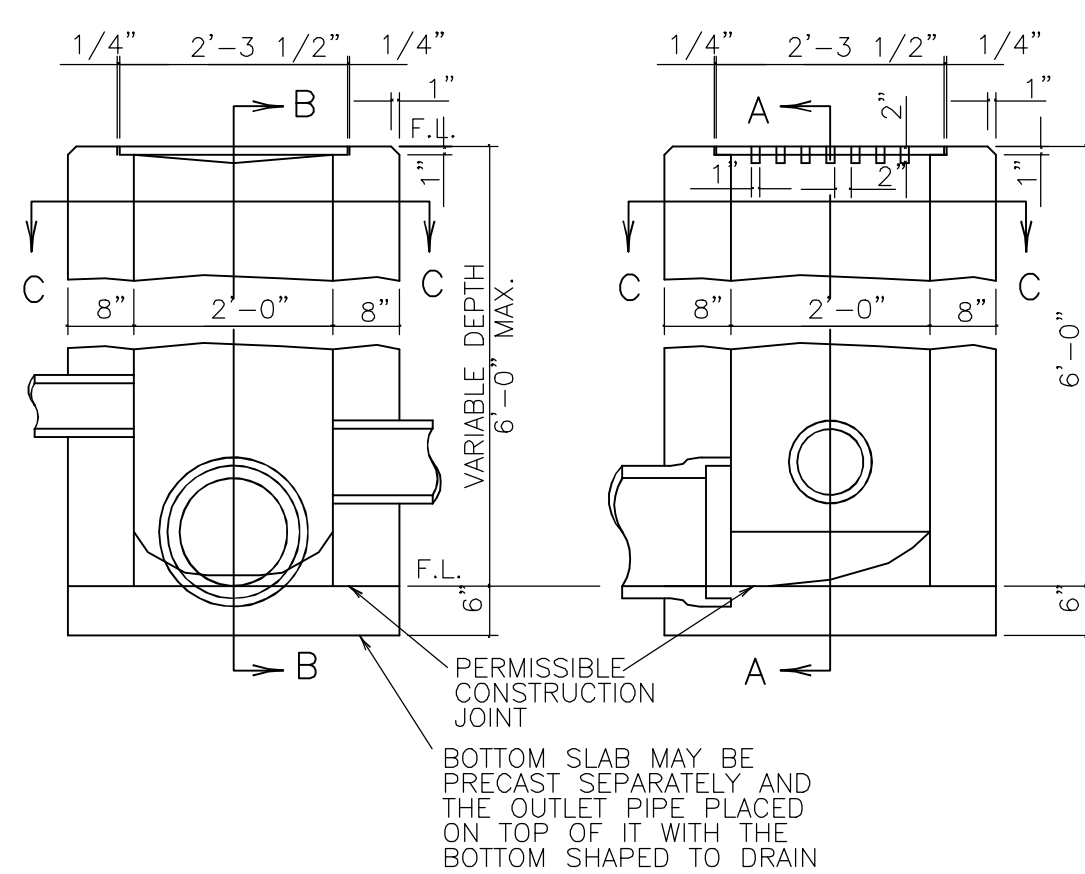
TRENCH DETAIL
N.T.S.

KEYED NOTES

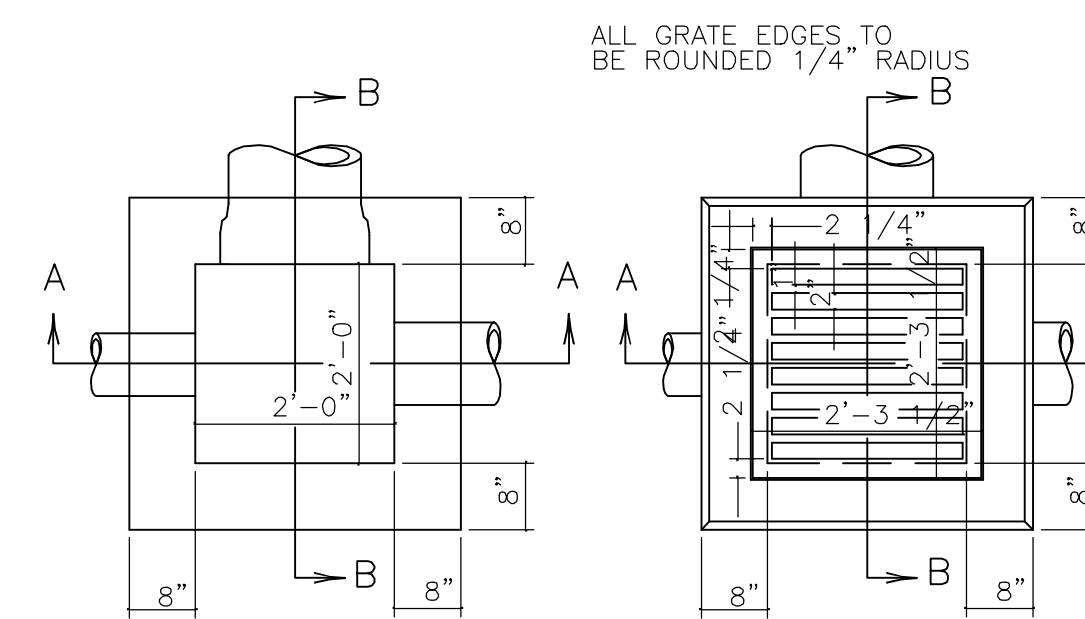
- 1 PAINT BACKGROUND BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-30 - BLUE
- 2 PAINT SYMBOL BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-01 - WHITE
- 3 BOTTOM EDGE OF SYMBOL BOX SHALL MATCH END OF STALL STRIPE AT DRIVE AISLE END OF STALL.



ADA PAVEMENT SYMBOL
N.T.S.



SECTION A-A SECTION B-B



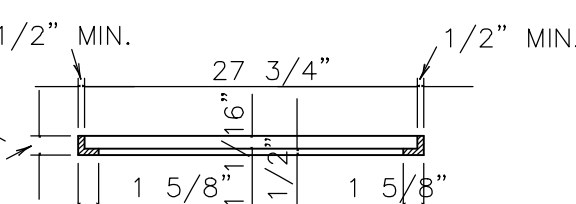
SECTION C-C

PLAN

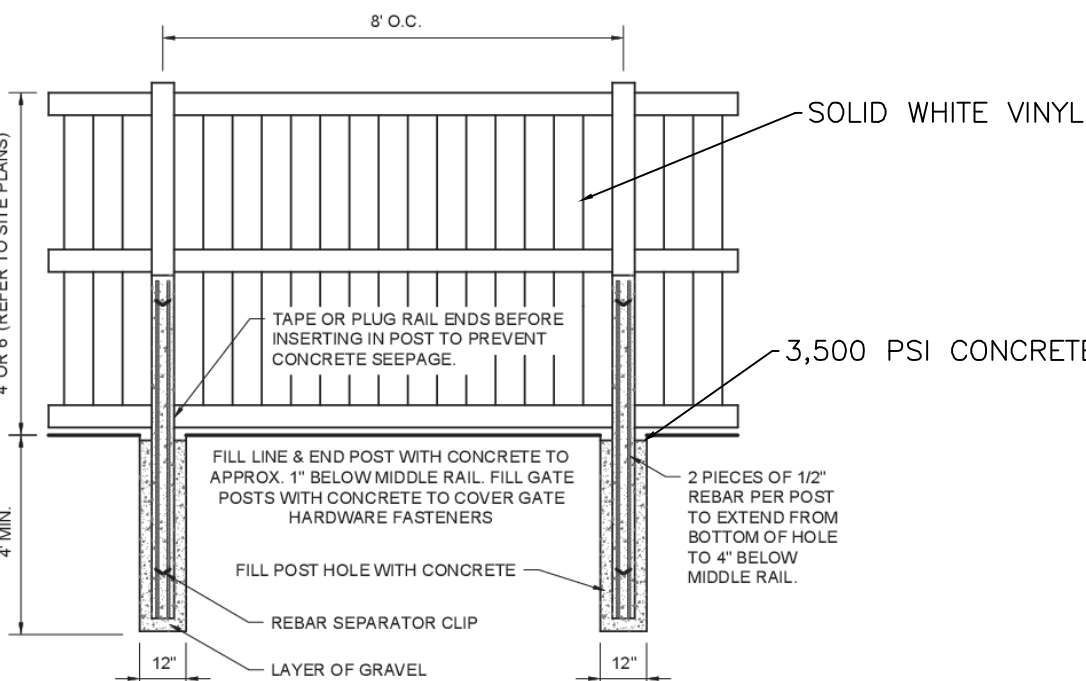
STANDARD No. 2-2-B CATCH BASIN (PRIVATE)
NTS

NOTE;

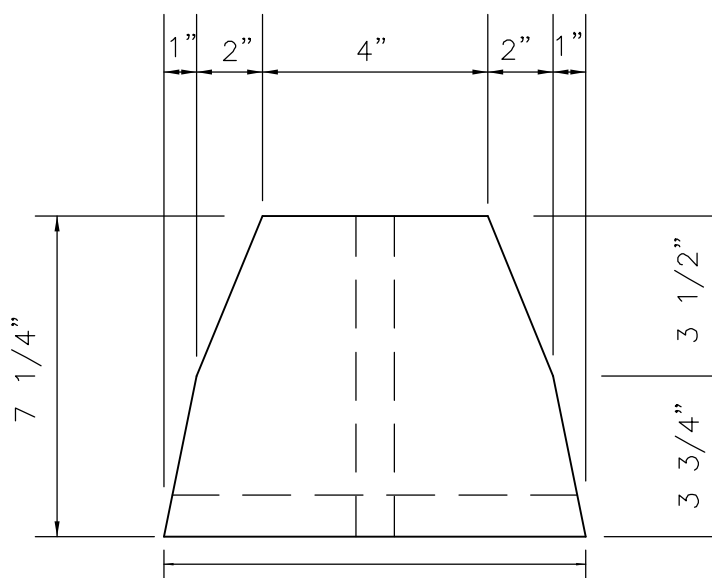
GRATE SHALL BE BICYCLE SAFE



SECTION THROUGH
ANGLE FRAME

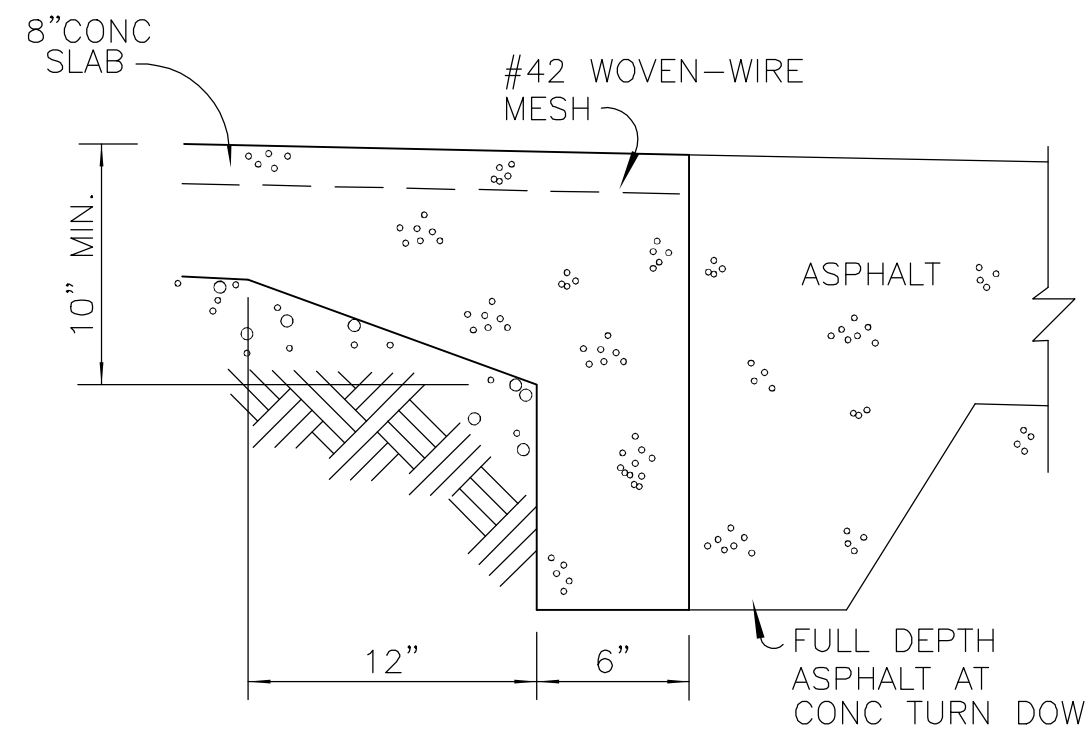


VINYL FENCE DETAIL (AROUND CONDENSING UNITS)



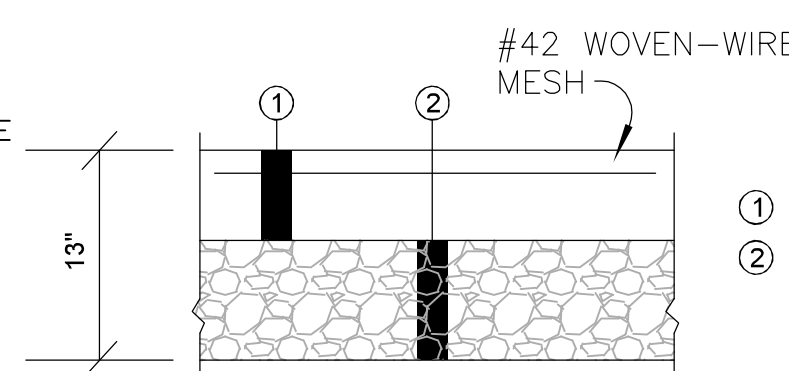
PARKING BLOCK SHALL BE 2.0' FROM THE EDGE OF PAVEMENT OR F/CURB

PARKING BLOCK DETAIL
NTS



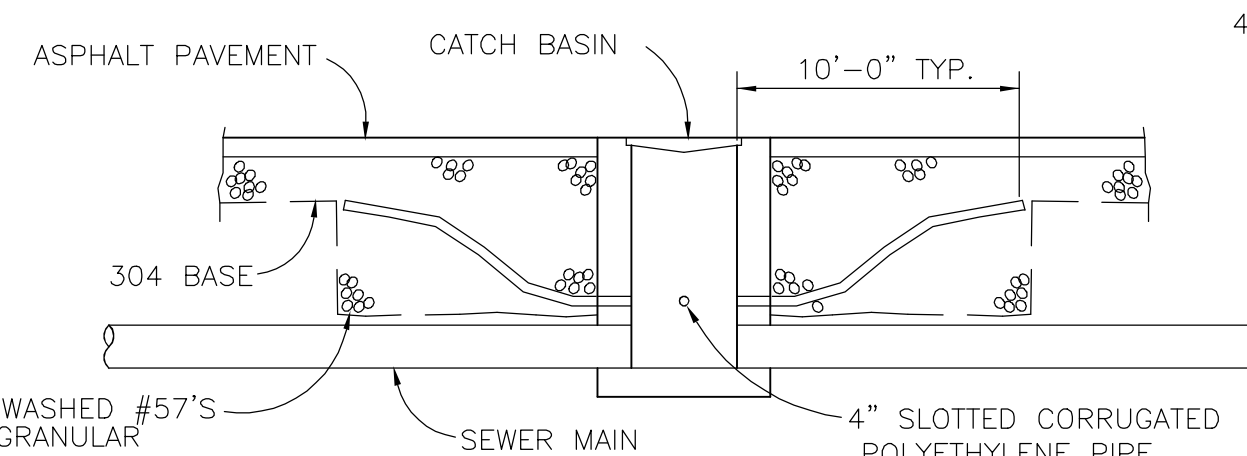
CONCRETE TURN DOWN
AT DUMPSTER
NTS

(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



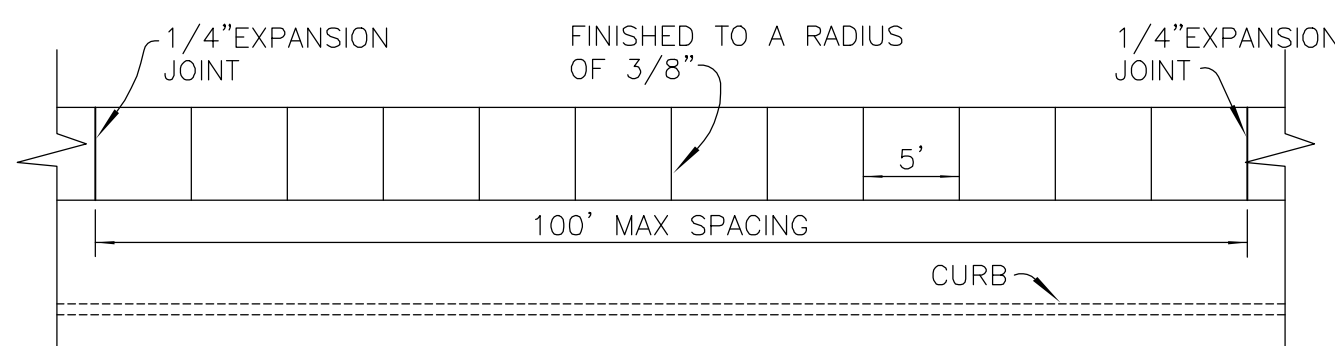
CONCRETE UNDER CANOPY

(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)



NOTE: TO BE USED WITH AGGREGATE BASE PAVEMENT SECTION ONLY.

FINGER DRAINS AROUND
CATCH BASINS (TYPICAL)
NTS

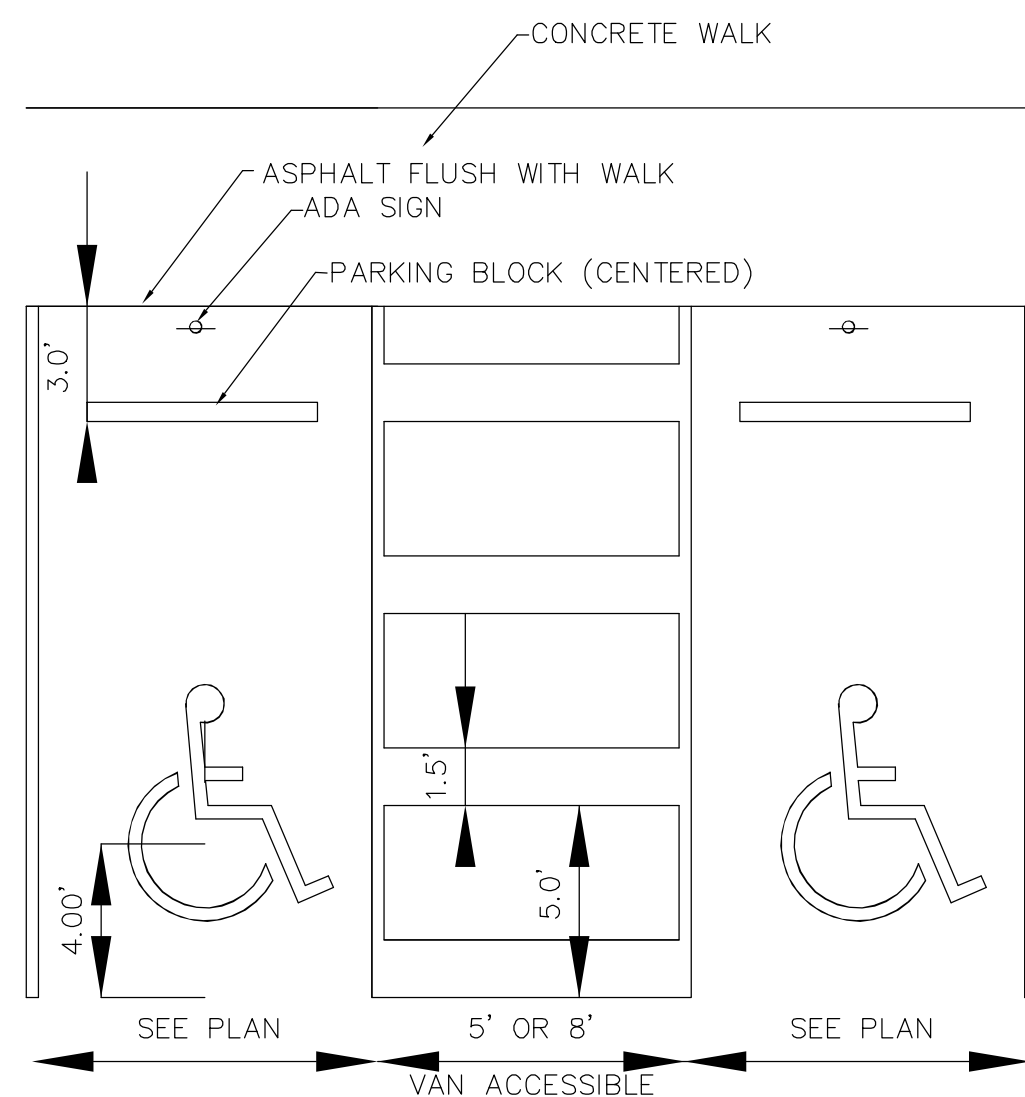


PLAN VIEW

NOTES:

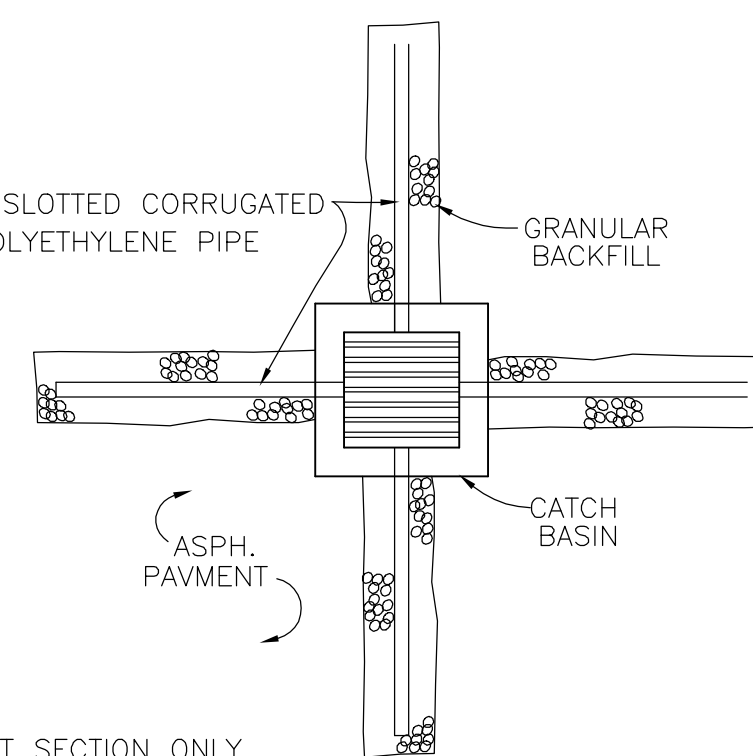
- 1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
- 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
- 3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
- 4) 3" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS IF DETERMINED NECESSARY.
- 5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
- 6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

SIDEWALK DETAIL (PRIVATE)
NTS



ADA PARKING SPACE DETAIL
NTS

CONTRACTOR SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
PAINT SHALL BE WHITE AND CONFORM TO OHIO DOT ITEM 642



REVISIONS

CCE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL: 937.490.9460 FAX: 937.428.9798

SITE DETAILS (1)

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO



DESIGN: DATE: 09/20/2021

SMR

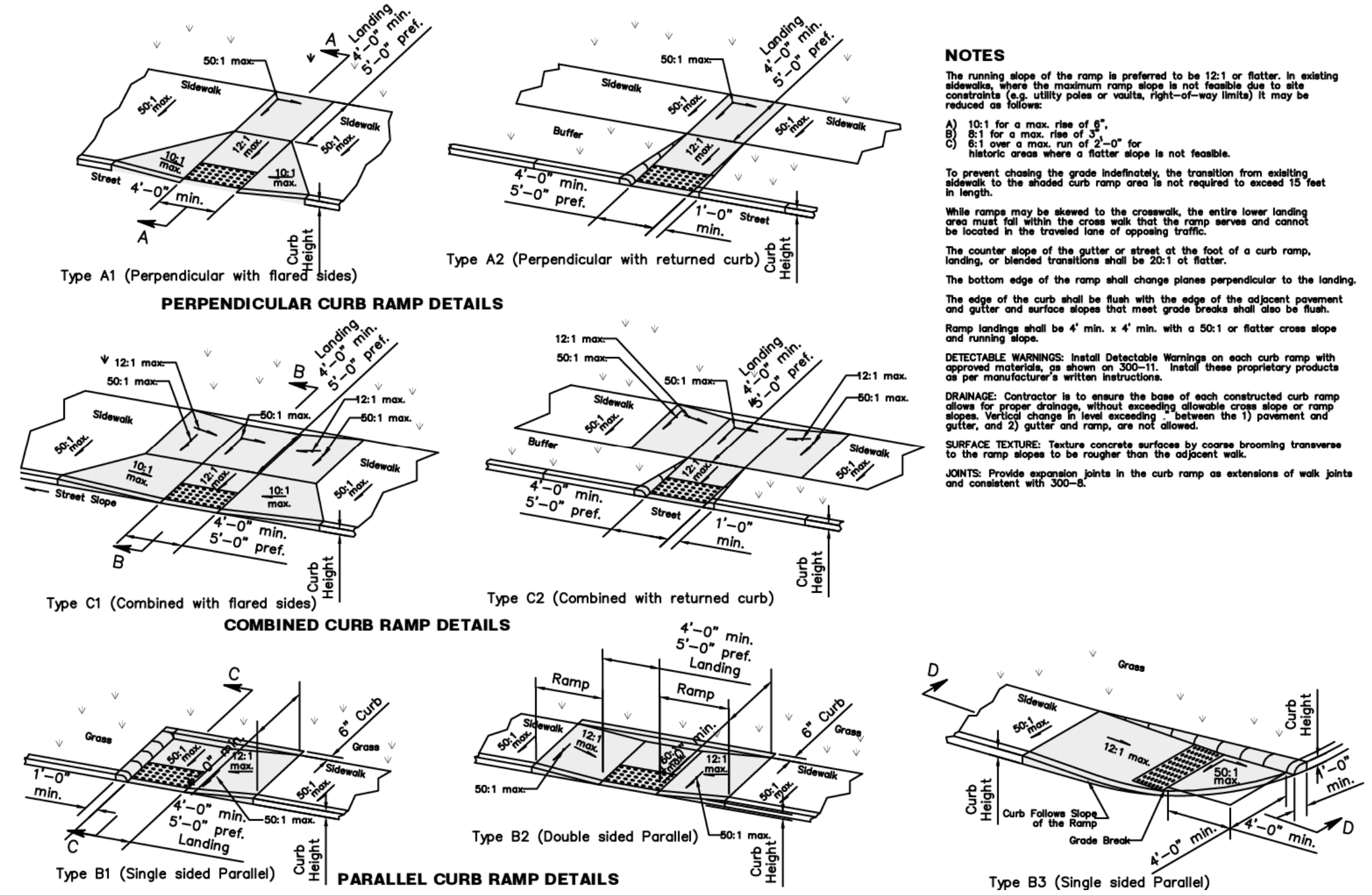
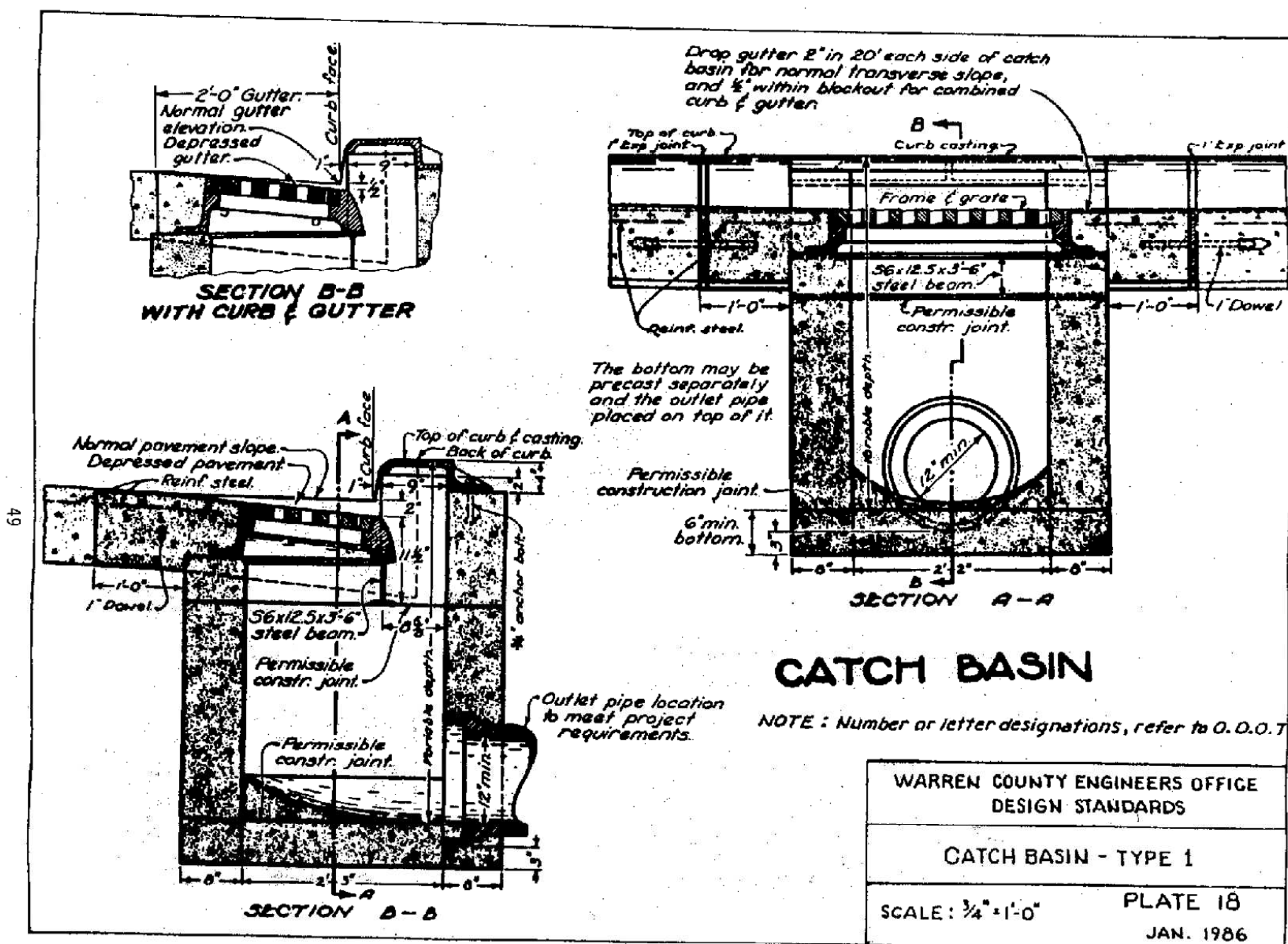
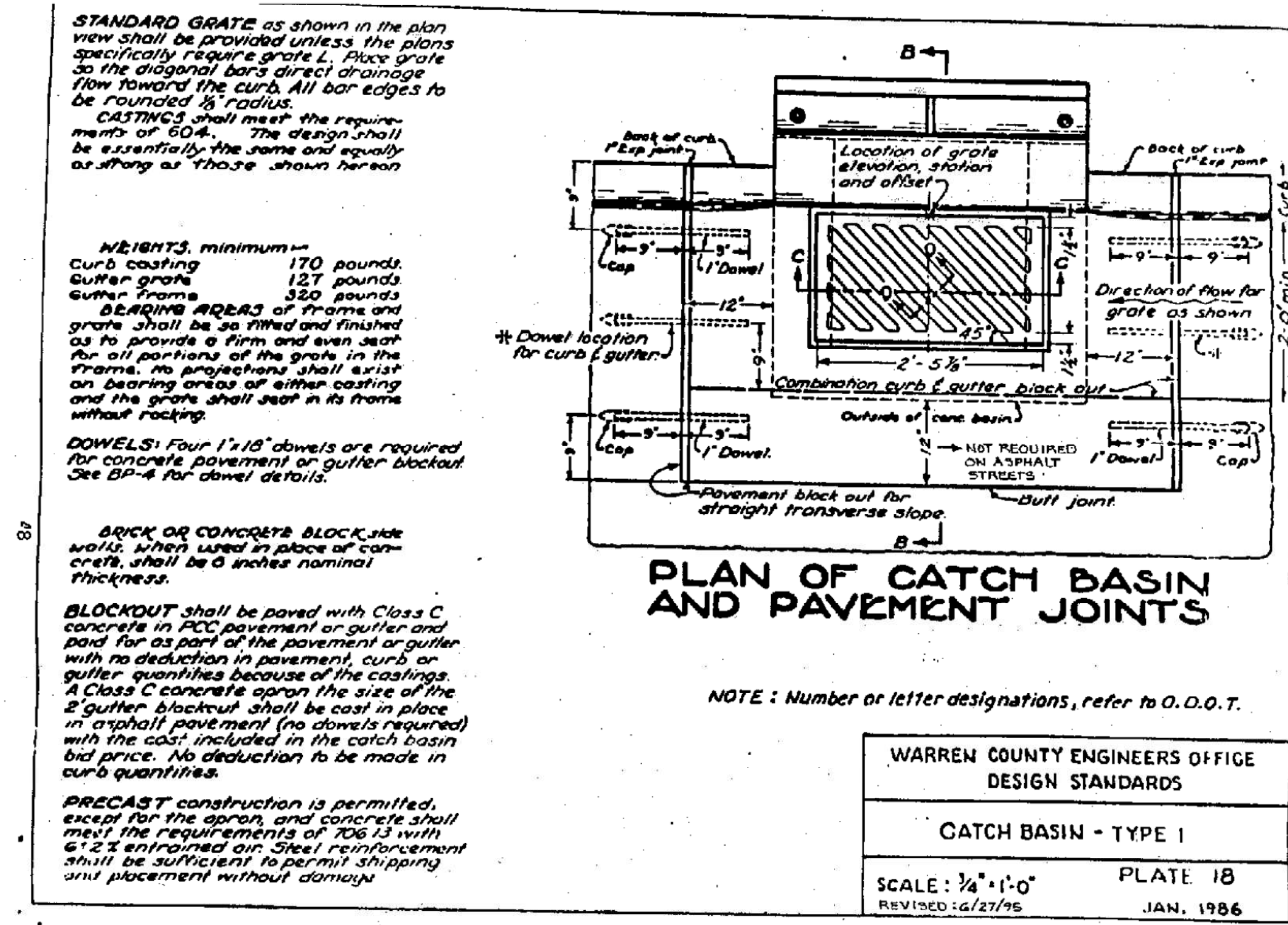
DRAWN:

CHECK:

JOB #:

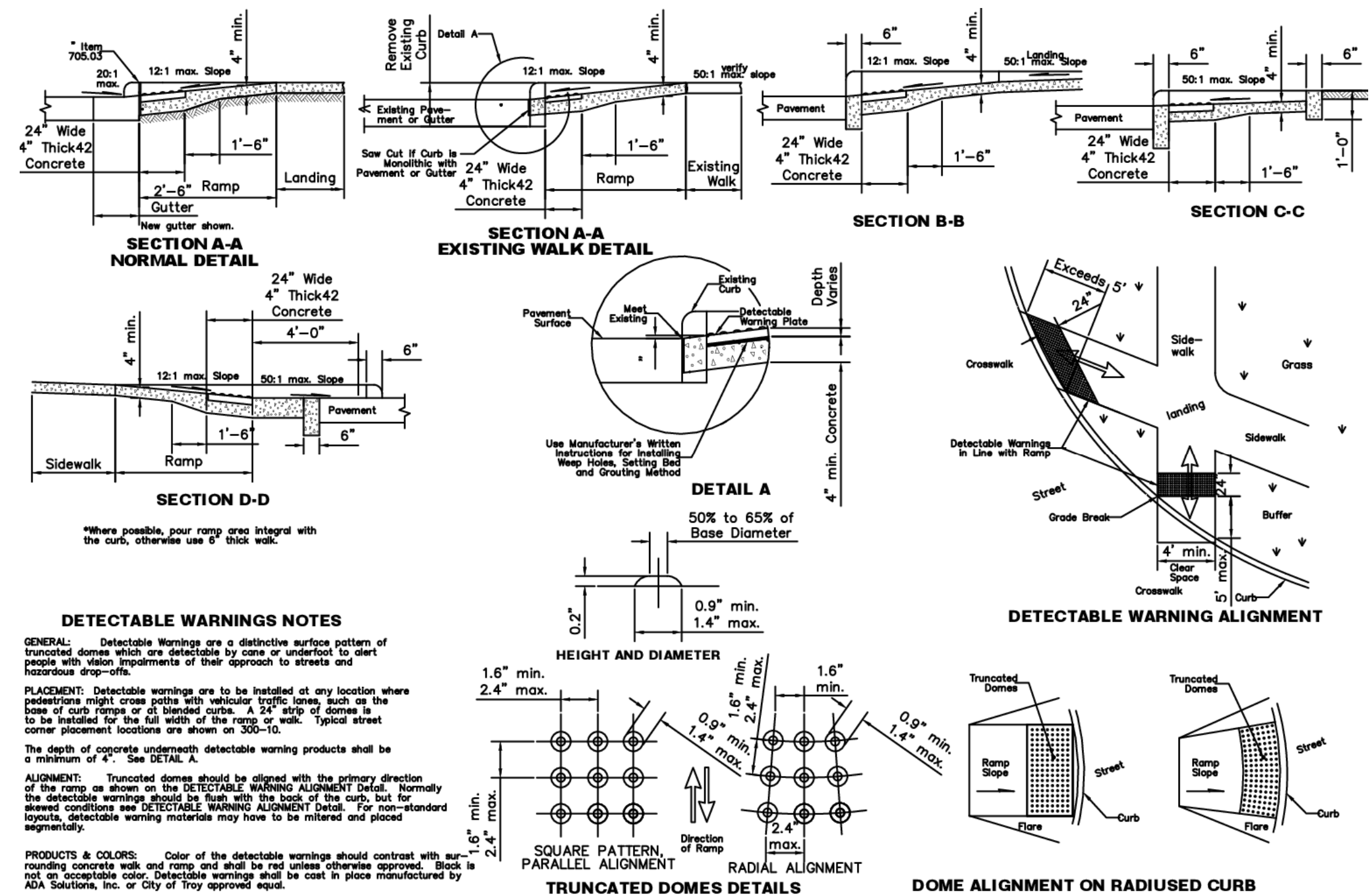
21-482

C7



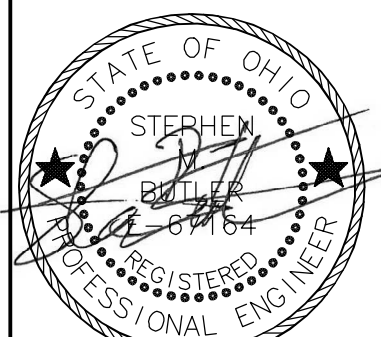
NOTES

- The running slope of the ramp is preferred to be 12:1 or flatter. In existing situations, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or walls, right-of-way limits) it may be reduced or flatter.
 - A) 10:1 for a max. rise of 8".
 - B) 8:1 for a max. rise of 12".
 - C) 6:1 for a max. rise of 18".
- To prevent closing the grade inadvertently, the transition from existing sidewalk to the adjacent curb ramp area is not required to exceed 15 feet in length.
- While ramps may be skewed to the crosswalk, the entire lower landing area must fall within the crosswalk that the ramp serves and cannot be located in the traveled lane of opposing traffic.
- The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transition shall be 20:1 or flatter.
- The bottom edge of the ramp shall change planes perpendicular to the landing.
- The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.
- Ramp landings shall be 4' min. x 4' min. with a 50:1 or flatter cross slope and running slope.
- DETECTABLE WARNINGS:** Install Detectable Warnings on each curb ramp with approved materials, as shown on 300-11. Install these proprietary products as per manufacturer's written instructions.
- CONCRETE:** Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical curbs are recommended between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.
- SURFACE TEXTURE:** Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.
- JOINTS:** Provide expansion joints in the curb ramp as extensions of walk joints and consistent with 300-5.



SITE DETAILS (2)

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
 CITY OF SPRINGBORO
 WARREN COUNTY, OHIO



DESIGN: DATE: 09/20/2021

SMR

DRAWN:

CHECK:

JOB #:

21-482

C8

REVISIONS

Community Civil Engineers, LLC
 2440 DAYTON-XENIA ROAD, SUITE B
 BEAVERCREEK, OHIO 45434
 TEL: 937.490.9460 FAX: 937.426.9798



ALT Architecture Inc.
Architecture - Engineering
Interior Architecture - Planning

Suite B
2440 Dayton-Xenia Road
Beavercreek, Ohio 45434
937 427 2770 voice
937 426 9798 fax
info@altarchitecture.com

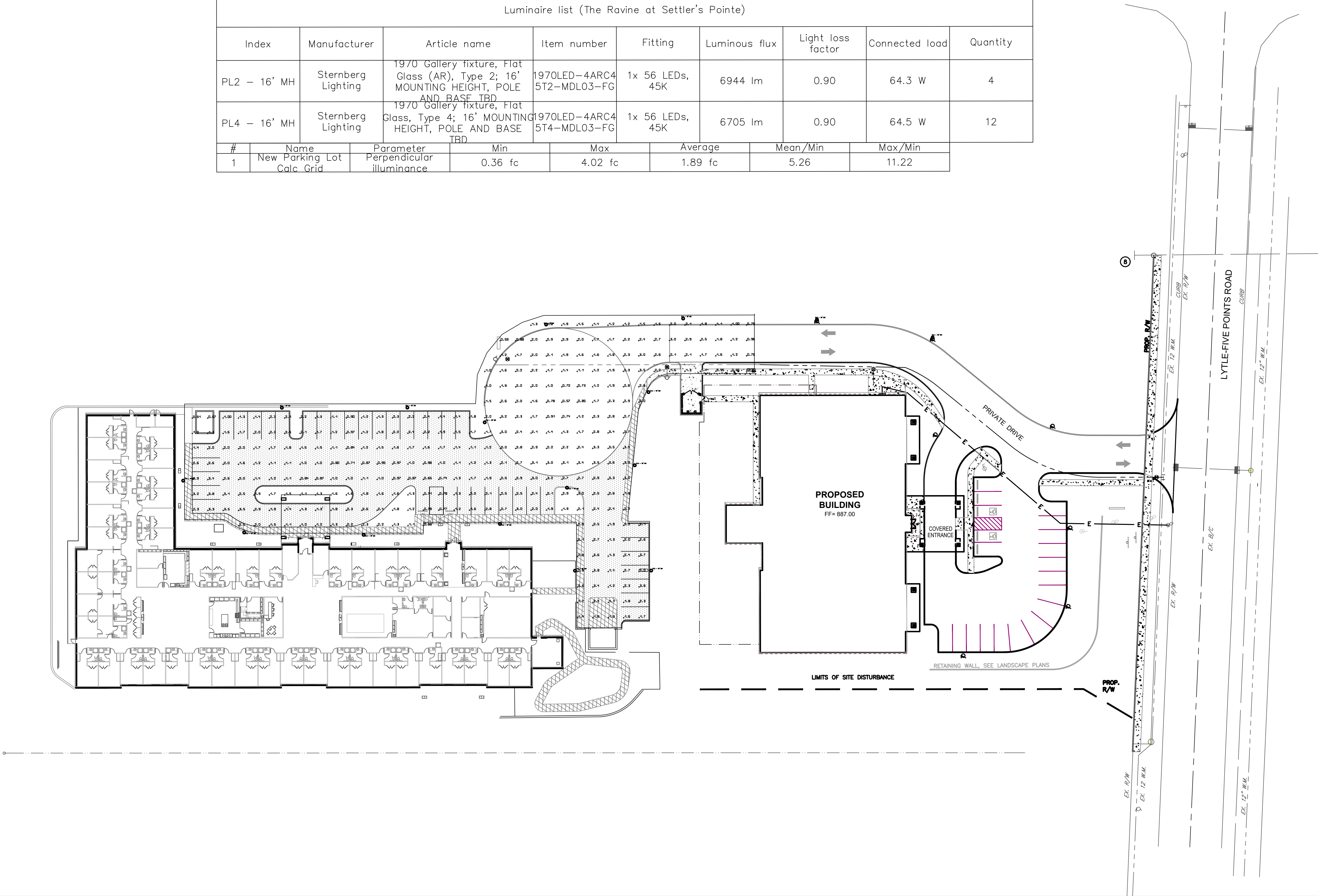
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NEW ASSISTED
LIVING FACILITY

1345 W LYTLE-FIVE POINTS RD
SPRINGBORO, OH 45066

ELECTRICAL
SITE PLAN

Luminaire list (The Ravine at Settler's Pointe)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
PL2 - 16' MH	Sternberg Lighting	1970 Gallery fixture, Flat Glass (AR), Type 2; 16' MOUNTING HEIGHT, POLE AND BASE TBD	1970LED-4ARC4 5T2-MDL03-FG	1x 56 LEDs, 45K	6944 lm	0.90	64.3 W	4
PL4 - 16' MH	Sternberg Lighting	1970 Gallery fixture, Flat Glass, Type 4; 16' MOUNTING HEIGHT, POLE AND BASE TBD	1970LED-4ARC4 5T4-MDL03-FG	1x 56 LEDs, 45K	6705 lm	0.90	64.5 W	12
#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min	
1	New Parking Lot Calc. Grid	Perpendicular illuminance	0.36 fc	4.02 fc	1.89 fc	5.26	11.22	



2021-09-23

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Attn.: Dan Boron City Planner
Ref: 1345 Lytle Five Points Road
The Ravine at Settlers Pointe
Final Approval Submission for Site Plan Review
Parking Variance Request

Sir:

In reference to the above project and as a confirmation of our request please note the following rationale:

ALT Architecture Inc.
Suite B, 2440 Dayton-Xenia Rd.
Beavercreek, Ohio 45434
Voice: 937.427.2770
Fax: 937.426.9798
www.altarchitecture.com
info@altarchitecture.com

parking required: 34
parking requested: 38 (incl 2 HC spaces)

occupancy profile:

residents:	48	shift 1 7-3 PM	10
kit staff:	3	shift 2 3-11 PM	4
nurses:	3	shift 3 11-7 AM	3
aides:	4		

1. this will be all assisted living, no memory care.
2. visitors are more common for this care group.
3. visiting therapy services such as speech and other visiting testing specialties are more frequent.
4. in addition rehab of residents who may be shorter term is also a common element.
5. additional "visiting staff" is also common when a resident is being taken off campus for specialized treatments by "Meditrans" style non-emergency van transport.

From experience with the front building we've discovered that the regulated maximum is therefore tight at a couple times of the day. Even then the parking lot is almost empty after about 5:00 PM.

Please consider this request for this modest increase in parking spaces.

Regards,



James M. Alt AIA NCARB MPE CBO



GL1970 GALLERY SERIES

LED

EPA
0.9 (ft²)
WEIGHT
56 LBS

7 YEAR
WARRANTY

LUMEN
RANGE
6,670 to
21,845
@4000K

LUMEN
MAINTENANCE
L70 MINIMUM
100,000
HOURS

CLICK
FOR FAQ's

RATED
IP66

JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: **2A**-GL1970-S-SRS-4OL4OT5-MDLO16-CA-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Luminaire	Shade Style	Housing	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

Mounting Configuration

(Click here to link to mounting configuration specification page)

- IW
- 1A
- 2A
- 2A90
- 3A
- 3A90
- 4A
- 1AM
- 2AM
- SH44¹
- CH44¹
- CAT

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount
SH = Stem Hung CH = Chain Hung CAT = Catenary

¹ Include overall drop length in inches after designation for Stem/Chain application (IE: CH44-48").

Luminaire

- GL1970

Shade Style

- S (Straight Edge)
- F (Flared Edge)
- B (Bell Edge)
- RR (Round with Round Rim)
- RF (Round with Flared Rim)
- RS (Round with Square Rim)

Housing

- BFR (Base Fixture Round)
- BFS (Base Fixture Stepped)
- GRR (Glow Rings Round)
- GRS (Glow Rings Stepped)
- SRR (Solid Rings Round)
- SRS (Solid Rings Stepped)
- GWR (Glow Window Round)
- GWS (Glow Window Stepped)

LED

- 16L²
- 24L³
- 32L²
- 40L⁴

² Only available with MD_012.

³ Only available with MD_010 and MD_014.

⁴ Only available with MD_012 and MD_016.

CCT - Color Temperature (K)

- 27(00)
- 30(00)
- 35(00)
- 40(00)
- 50(00)

Type

- T2
- T3
- T4
- T5

Driver

- MDLO10 (120V-277V, 100mA)
- MDHO10 (347V-480V, 100mA)
- MDLO12 (120V-277V, 120mA)

- MDHO12 (347V-480V, 120mA)
- MDLO14 (120V-277V, 140mA)
- MDHO14 (347V-480V, 140mA)
- MDLO16 (120V-277V, 160mA)
- MDHO16 (347V-480V, 160mA)

Lens

- CA (Clear Acrylic)
- SA (Sag Acrylic)
- SV1 (Flat Soft Vue Light Diffused Acrylic Lens)
- SV2 (Flat Soft Vue Moderate Diffused Acrylic Lens)
- SV4 (Flat Soft Vue Maximum Diffused Acrylic)
- SVISA (Soft Vue Light Diffused Sag Acrylic)
- SV2SA (Soft Vue Moderate Diffused Sag Acrylic)
- SV4SA (Soft Vue Maximum Diffused Sag Acrylic)

Options (Click here to view accessories sheet)

- R7⁵ 7-Pin control receptacle only
- PE⁶ Twist-Lock Photocontrol (120v-277v)
- PE3⁶ Twist-Lock Photocontrol (347v)
- PE4⁶ Twist-Lock Photocontrol (480v)
- SC⁶ Shorting Cap
- PEC Electronic Button Photocontrol (120v-277v)
- PEC4 Electronic Button Photocontrol (480v)
- FHD⁷ Double Fuse and Holder
- HSHS Standard Horizontal Hangstraight, Spike Finial
- HSHN Standard Horizontal Hangstraight, No Finial
- HSHB Standard Horizontal Hangstraight, Ball Finial
- EZ Vertical Hangstraight, "EZ" Mount
- HSS 120° House Side Shield
- BLOC⁸ Back Light Optical Control

⁵ Only available with HSHL.

⁶ Requires R7 control receptacle.

⁷ Ships loose for installation in base.

⁸ Only available with T2, T3 and T4.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- CA
- CSA
- FFA
- R2⁹
- DAG
- RA
- CAS
- R3⁹

⁹ Luminaires above grade height to be 2" higher than pole height, REQUIRES "EZ" hangstraight.

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Urban Gun Metal Textured
- UGM Urban Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- ULBT Urban Light Bronze Textured
- ULB Urban Light Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte
- UCHS Urban Champagne Satin Smooth
- BKT Black Textured

Custom Urban Finishes¹⁰

- CM Custom Match

¹⁰ Smooth finishes are available upon request.

Specifications

Luminaire

The Gallery GL1970 series is a large scale, decorative pendant luminaire with a cast aluminum driver housing and spun aluminum shades. The housing is available in two styles (Stepped and Round), each with 4 variations (BF_, GR_, SR_ and GW_). The shades are available in six styles: Straight (S), Flared (F), Bell (B), Round with Round rim (RR), Round with Flared rim (RF), and Round with Square rim (RS). The luminaire dimensions vary depending on shade/housing options selected (see page 3 of specification sheet for details). The Luminaire shall be UL listed in US and Canada.

LEDs

The luminaire shall use high output, high brightness LEDs. The LEDs are mounted to maximize thermal transfer to the heat sink surface. The LEDs shall be 100% recyclable; not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. Lumen maintenance shall be determined in accordance with IESNA TM-21, based on LED manufacturer LM-80 test data of no less than 6,000 hours and in-situ testing of the luminaire by an NVLAP accredited Energy Efficient

See next page



SternbergLighting

ESTABLISHED 1923

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
contactus@sternberglighting.com
www.sternberglighting.com

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GL1970 GALLERY SERIES

LED

Lighting Products lab. The high-performance white LEDs will have a predicted lumen depreciation of approximately 100,000 hours with greater than 70% of initial output at 25°C. The high-brightness, high-output white LEDs shall be 4000K nominal (2700K, 3000K, 3500K or 5000K optional) correlated color temperature (CCT) with a 70 (minimum) color rendering index (CRI). Consult factory for custom CCT or CRI. The luminaire shall have a minimum _____ (see table) delivered initial lumens when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type ____ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols

Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver.

The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. See pole spec sheet for pole mounted version.

Twist-Lock Style: The photocontrol shall be mounted externally on the hangstraight and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles.

Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

Finish

Refer to website for details.

Performance

MODEL #	T2 LUMENS	BUG	EFFICACY (LPW)	T3 LUMENS	BUG	EFFICACY (LPW)	T4 LUMENS	BUG	EFFICACY (LPW)	T5 LUMENS	BUG	EFFICACY (LPW)	WATTS
40L40T_-MDL016	21710	B3U0G3	124.8	21240	B3U0G3	122.1	21105	B3U0G3	121.3	21845	B4U0G2	125.5	174
40L30T_-MDL016	20700	B3U0G3	119.0	20250	B3U0G3	116.4	20125	B3U0G3	115.7	20830	B4U0G2	119.7	174
40L27T_-MDL016	18715	B3U0G3	107.6	18310	B3U0G3	105.2	18195	B3U0G3	104.6	18830	B4U0G2	108.2	174
40L40T_-MDL012	17040	B3U0G3	137.4	16510	B3U0G3	133.1	16530	B3U0G3	133.3	17155	B4U0G2	138.3	124
40L30T_-MDL012	16245	B3U0G3	131.0	15740	B3U0G3	126.9	15760	B3U0G3	127.1	16355	B4U0G2	131.9	124
40L27T_-MDL012	14690	B3U0G3	118.5	14235	B3U0G3	114.8	14250	B3U0G3	114.9	14790	B4U0G2	119.3	124
32L40T_-MDL012	13650	B2U0G2	136.5	13290	B3U0G3	132.9	13300	B2U0G2	133.0	13840	B3U0G2	138.4	100
32L30T_-MDL012	13015	B2U0G2	130.2	12670	B3U0G3	126.7	12680	B2U0G2	126.8	13195	B3U0G2	132.0	100
32L27T_-MDL012	11765	B2U0G2	117.7	11455	B3U0G3	114.6	11465	B2U0G2	114.7	11930	B3U0G2	119.3	100
24L40T_-MDL014	11535	B2U0G2	131.1	11275	B2U0G2	128.1	11270	B2U0G2	128.1	11650	B3U0G2	132.4	88
24L30T_-MDL014	11000	B2U0G2	125.0	10750	B2U0G2	122.2	10745	B2U0G2	122.1	11110	B3U0G2	126.3	88
24L27T_-MDL014	9945	B2U0G2	113.0	9720	B2U0G2	110.5	9715	B2U0G2	110.4	10045	B3U0G2	114.1	88
24L40T_-MDL010	8950	B2U0G2	144.4	8440	B2U0G2	136.1	8445	B2U0G2	136.2	8690	B3U0G1	140.2	62
24L30T_-MDL010	8535	B2U0G2	137.7	8045	B2U0G2	129.8	8050	B2U0G2	129.8	8285	B3U0G1	133.6	62
24L27T_-MDL010	7715	B2U0G2	124.4	7275	B2U0G2	117.3	7280	B2U0G2	117.4	7490	B3U0G1	120.8	62
16L40T_-MDL012	6815	B1U0G1	133.6	6670	B2U0G2	130.8	6690	B1U0G2	131.2	6860	B3U0G1	134.5	51
16L30T_-MDL012	6500	B1U0G1	127.5	6360	B2U0G2	124.7	6380	B1U0G2	125.1	6540	B3U0G1	128.2	51
16L27T_-MDL012	5875	B1U0G1	115.2	5750	B2U0G2	112.7	5765	B1U0G2	113.0	5915	B3U0G1	116.0	51



SternbergLighting

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Shade Style



Straight Edge (S)



Flared Edge (F)



Bell Edge (B)



Round with Round Rim (RR)



Round with Flared Rim (RF)



Round with Square Rim (RS)

Dimensions

GL1970	SHADE	S	F	B	RF	RR	RS
HOUSING	Diameter	23.9"	23.9"	26"	25"	24.5"	23.8"
BF_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GW_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
SR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"



Housing - Stepped



Base Fixture Stepped (BFS)



Glow Window Stepped (GWS)



Solid Rings Stepped (SRS)



Glow Rings Stepped (GRS)



Housing - Round



Base Fixture Round (BFR)



Glow Window Round (CWR)



Solid Rings Round (SRR)



Glow Rings Round (GRR)



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GL1970 GALLERY SERIES

LED

EPA
0.9 (ft²)
WEIGHT
56 LBS

7 YEAR
WARRANTY

LUMEN
RANGE
6,670 to
21,845
@4000K

LUMEN
MAINTENANCE
L70 MINIMUM
100,000
HOURS

CLICK
FOR FAQ's

RATED
IP66

JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: **2A**-GL1970-S-SRS-4OL4OT5-MDLO16-CA-R7-PE-HSHN/CA6/5218P5/UBKT

Mounting Config.	Luminaire	Shade Style	Housing	LED	CCT	Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hang-straight	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

Mounting Configuration

(Click here to link to mounting configuration specification page)

- IW
- 1A
- 2A
- 2A90
- 3A
- 3A90
- 4A
- 1AM
- 2AM
- SH44¹
- CH44¹
- CAT

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount
SH = Stem Hung CH = Chain Hung CAT = Catenary

¹ Include overall drop length in inches after designation for Stem/
Chain application (IE: CH44-48").

Luminaire

- GL1970

Shade Style

- S (Straight Edge)
- F (Flared Edge)
- B (Bell Edge)
- RR (Round with Round Rim)
- RF (Round with Flared Rim)
- RS (Round with Square Rim)

Housing

- BFR (Base Fixture Round)
- BFS (Base Fixture Stepped)
- GRR (Glow Rings Round)
- GRS (Glow Rings Stepped)
- SRR (Solid Rings Round)
- SRS (Solid Rings Stepped)
- GWR (Glow Window Round)
- GWS (Glow Window Stepped)

LED

- 16L²
- 24L³
- 32L²
- 40L⁴

² Only available with MD_O12.

³ Only available with MD_O10 and MD_O14.

⁴ Only available with MD_O12 and MD_O16.

CCT - Color Temperature (K)

- 27(00)
- 30(00)
- 35(00)
- 40(00)
- 50(00)

Type

- T2
- T3
- T4
- T5

Driver

- MDLO10 (120V-277V, 100mA)
- MDHO10 (347V-480V, 100mA)
- MDLO12 (120V-277V, 120mA)

- MDHO12 (347V-480V, 120mA)
- MDLO14 (120V-277V, 140mA)
- MDHO14 (347V-480V, 140mA)
- MDLO16 (120V-277V, 160mA)
- MDHO16 (347V-480V, 160mA)

Lens

- CA (Clear Acrylic)
- SA (Sag Acrylic)
- SV1 (Flat Soft Vue Light Diffused Acrylic Lens)
- SV2 (Flat Soft Vue Moderate Diffused Acrylic Lens)
- SV4 (Flat Soft Vue Maximum Diffused Acrylic)
- SVISA (Soft Vue Light Diffused Sag Acrylic)
- SV2SA (Soft Vue Moderate Diffused Sag Acrylic)
- SV4SA (Soft Vue Maximum Diffused Sag Acrylic)

Options (Click here to view accessories sheet)

- R7⁵ 7-Pin control receptacle only
- PE⁶ Twist-Lock Photocontrol (120V-277V)
- PE3⁶ Twist-Lock Photocontrol (347V)
- PE4⁶ Twist-Lock Photocontrol (480V)
- SC⁶ Shorting Cap
- PEC Electronic Button Photocontrol (120V-277V)
- PEC4 Electronic Button Photocontrol (480V)
- FHD⁷ Double Fuse and Holder
- HSHS Standard Horizontal Hangstraight, Spike Finial
- HSHN Standard Horizontal Hangstraight, No Finial
- HSHB Standard Horizontal Hangstraight, Ball Finial
- EZ Vertical Hangstraight, "EZ" Mount
- HSS 120° House Side Shield
- BLOC⁸ Back Light Optical Control

⁵ Only available with HSHL.

⁶ Requires R7 control receptacle.

⁷ Ships loose for installation in base.

⁸ Only available with T2, T3 and T4.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- CA
- CSA
- FFA
- R2⁹
- DAG
- RA
- CAS
- R3⁹

⁹ Luminaires above grade height to be 2" higher than pole height, REQUIRES "EZ" hangstraight.

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Urban Gun Metal Textured
- UGM Urban Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- ULBT Urban Light Bronze Textured
- ULB Urban Light Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte
- UCHS Urban Champagne Satin Smooth
- BKT Black Textured

Custom Urban Finishes¹⁰

- CM Custom Match

¹⁰ Smooth finishes are available upon request.

Specifications

Luminaire

The Gallery GL1970 series is a large scale, decorative pendant luminaire with a cast aluminum driver housing and spun aluminum shades. The housing is available in two styles (Stepped and Round), each with 4 variations (BF_, GR_, SR_ and GW_). The shades are available in six styles: Straight (S), Flared (F), Bell (B), Round with Round rim (RR), Round with Flared rim (RF), and Round with Square rim (RS). The luminaire dimensions vary depending on shade/housing options selected (see page 3 of specification sheet for details). The Luminaire shall be UL listed in US and Canada.

LEDs

The luminaire shall use high output, high brightness LEDs. The LEDs are mounted to maximize thermal transfer to the heat sink surface. The LEDs shall be 100% recyclable; not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. Lumen maintenance shall be determined in accordance with IESNA TM-21, based on LED manufacturer LM-80 test data of no less than 6,000 hours and in-situ testing of the luminaire by an NVLAP accredited Energy Efficient

See next page



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GL1970 GALLERY SERIES

LED

Lighting Products lab. The high-performance white LEDs will have a predicted lumen depreciation of approximately 100,000 hours with greater than 70% of initial output at 25°C. The high-brightness, high-output white LEDs shall be 4000K nominal (2700K, 3000K, 3500K or 5000K optional) correlated color temperature (CCT) with a 70 (minimum) color rendering index (CRI). Consult factory for custom CCT or CRI. The luminaire shall have a minimum _____ (see table) delivered initial lumens when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type ____ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols

Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver.

The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. See pole spec sheet for pole mounted version.

Twist-Lock Style: The photocontrol shall be mounted externally on the hangstraight and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles.

Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

Finish

Refer to website for details.

Performance

MODEL #	T2 LUMENS	BUG	EFFICACY (LPW)	T3 LUMENS	BUG	EFFICACY (LPW)	T4 LUMENS	BUG	EFFICACY (LPW)	T5 LUMENS	BUG	EFFICACY (LPW)	WATTS
40L40T_-MDL016	21710	B3U0G3	124.8	21240	B3U0G3	122.1	21105	B3U0G3	121.3	21845	B4U0G2	125.5	174
40L30T_-MDL016	20700	B3U0G3	119.0	20250	B3U0G3	116.4	20125	B3U0G3	115.7	20830	B4U0G2	119.7	174
40L27T_-MDL016	18715	B3U0G3	107.6	18310	B3U0G3	105.2	18195	B3U0G3	104.6	18830	B4U0G2	108.2	174
40L40T_-MDL012	17040	B3U0G3	137.4	16510	B3U0G3	133.1	16530	B3U0G3	133.3	17155	B4U0G2	138.3	124
40L30T_-MDL012	16245	B3U0G3	131.0	15740	B3U0G3	126.9	15760	B3U0G3	127.1	16355	B4U0G2	131.9	124
40L27T_-MDL012	14690	B3U0G3	118.5	14235	B3U0G3	114.8	14250	B3U0G3	114.9	14790	B4U0G2	119.3	124
32L40T_-MDL012	13650	B2U0G2	136.5	13290	B3U0G3	132.9	13300	B2U0G2	133.0	13840	B3U0G2	138.4	100
32L30T_-MDL012	13015	B2U0G2	130.2	12670	B3U0G3	126.7	12680	B2U0G2	126.8	13195	B3U0G2	132.0	100
32L27T_-MDL012	11765	B2U0G2	117.7	11455	B3U0G3	114.6	11465	B2U0G2	114.7	11930	B3U0G2	119.3	100
24L40T_-MDL014	11535	B2U0G2	131.1	11275	B2U0G2	128.1	11270	B2U0G2	128.1	11650	B3U0G2	132.4	88
24L30T_-MDL014	11000	B2U0G2	125.0	10750	B2U0G2	122.2	10745	B2U0G2	122.1	11110	B3U0G2	126.3	88
24L27T_-MDL014	9945	B2U0G2	113.0	9720	B2U0G2	110.5	9715	B2U0G2	110.4	10045	B3U0G2	114.1	88
24L40T_-MDL010	8950	B2U0G2	144.4	8440	B2U0G2	136.1	8445	B2U0G2	136.2	8690	B3U0G1	140.2	62
24L30T_-MDL010	8535	B2U0G2	137.7	8045	B2U0G2	129.8	8050	B2U0G2	129.8	8285	B3U0G1	133.6	62
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16L40T_-MDL012	6815	B1U0G1	133.6	6670	B2U0G2	130.8	6690	B1U0G2	131.2	6860	B3U0G1	134.5	51
16L30T_-MDL012	6500	B1U0G1	127.5	6360	B2U0G2	124.7	6380	B1U0G2	125.1	6540	B3U0G1	128.2	51
16L27T_-MDL012	5875	B1U0G1	115.2	5750	B2U0G2	112.7	5765	B1U0G2	113.0	5915	B3U0G1	116.0	51



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Shade Style



Straight Edge (S)



Flared Edge (F)



Bell Edge (B)



Round with Round Rim (RR)



Round with Flared Rim (RF)



Round with Square Rim (RS)

Dimensions

GL1970	SHADE	S	F	B	RF	RR	RS
HOUSING	Diameter	23.9"	23.9"	26"	25"	24.5"	23.8"
BF_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
GW_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"
SR_	Height	17.9"	16.6"	18.2"	19.6"	19.1"	18.6"



Housing - Stepped



Base Fixture Stepped (BFS)



Glow Window Stepped (GWS)



Solid Rings Stepped (SRS)



Glow Rings Stepped (GRS)



Housing - Round



Base Fixture Round (BFR)



Glow Window Round (GWR)



Solid Rings Round (SRR)



Glow Rings Round (GRR)



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CITY OF SPRINGBORO PLANNING COMMISSION

Application for Planned Unit Development

Application No.: _____

☐ Rezoning/General Plan ☒ Final Development Plan ☐ Record Plan ☐ Revision

NAME OF DEVELOPMENT: ADVANCED DRIVE #3

DEVELOPER'S NAME: CINCINNATI COMMERCIAL CONTRACTING

Address: 4779 REDBANK EXPRESSWAY, CINCINNATI, OH 45227

Telephone No.: (513) 561-6633x107 Fax No.: ()

Email: CSTONE@CINCIGROUP.COM

OWNER'S NAME: SPRINGBORO ADVANCE LLC

Address: 4779 REDBANK EXPRESSWAY, CINCINNATI, OH 45227

Telephone No.: (513) 561-6633x107 Fax No.: ()

Email: CSTONE@CINCIGROUP.COM

LOCATION DESCRIPTION:

Project Location: WEST OF ADVANCED DRIVE

Parcel #: 04191760040 (If necessary, attach a legal description.)

Existing Land Use: VACANT SPACE

PUD FEATURES:

Total Area (acres): 3.55 AC

Number of Lots: 1

Type of PUD: ☐ Residential ☐ Business ☐ Office ☒ Manufacturing ☐

Mixed

If Mixed, acreage in each area: Residential Business Manufacturing Office

Proposed Density: Proposed Number of Units:

Type of Units:

ZONING:

Current Zoning: PUD

Proposed District (if appropriate):

Christie Stue

(Signature of Developer and/or Owner)

9/24/2021

(Date)

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGRI.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706.05 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

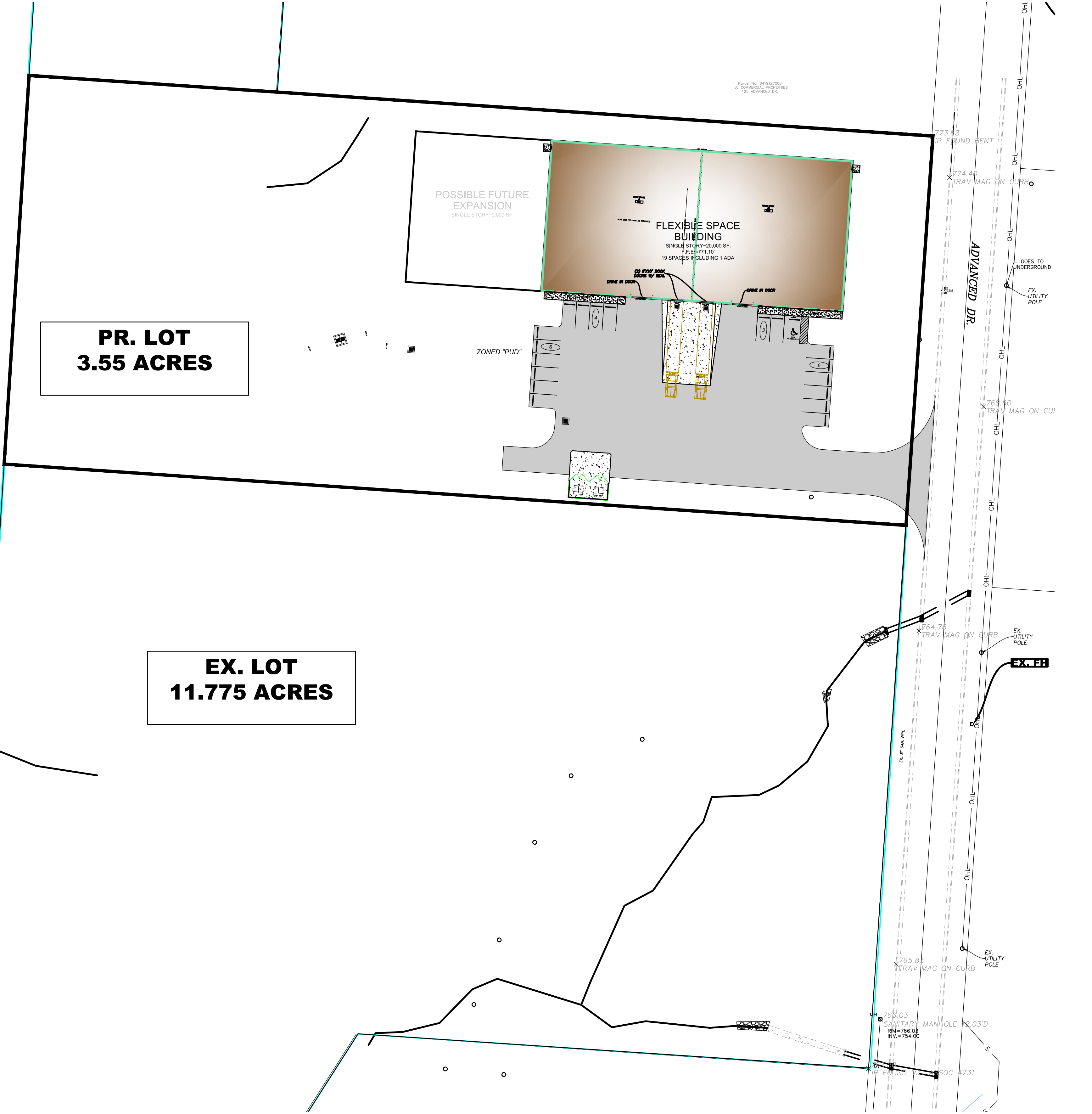
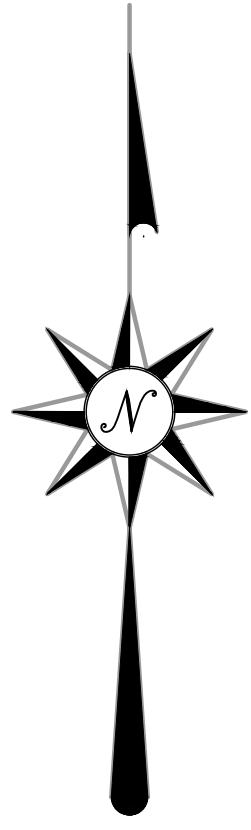
CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

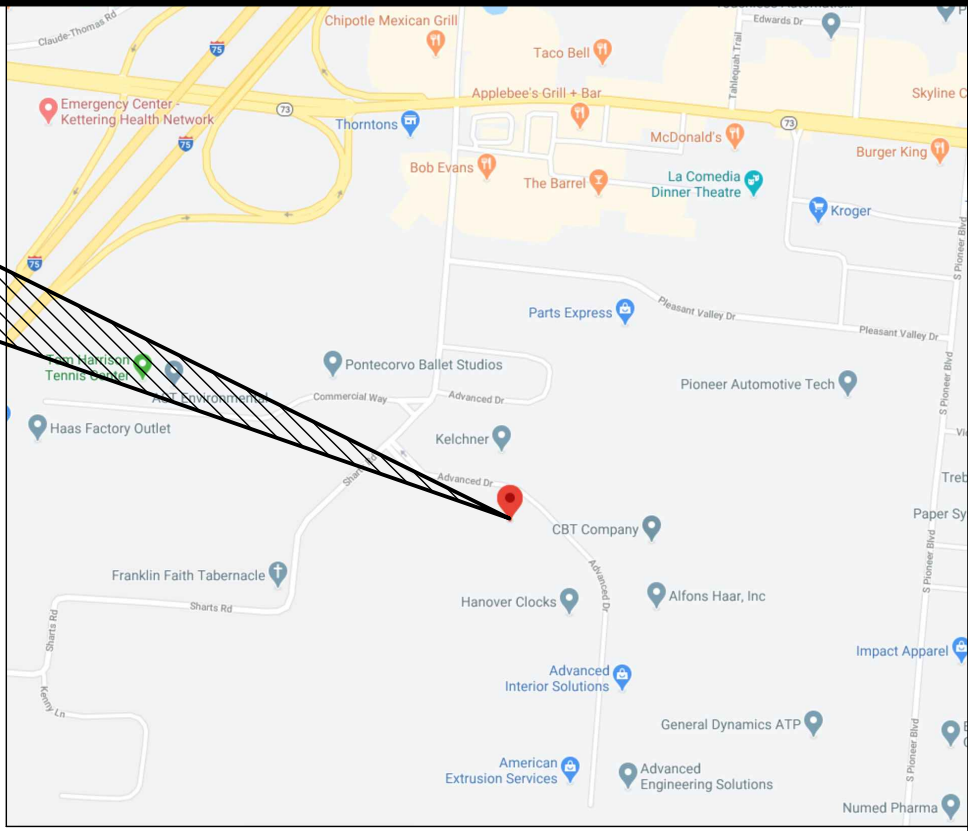
PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

ADVANCE DR. SPEC. #3

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO
AUG., 2021



PROPOSED SITE



LOCATION MAP

DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD.
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(513)-202-0525
DANNY BINZ, P.S.

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

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STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
MH 1.2 (1-15-2016) MANHOLE NO. 3
BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
- INSTALL STORMWATER MANAGEMENT SYSTEMS.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY
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REVISIONS

NO.	DESCRIPTION
BY	
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4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



ADVANCE DR. SPEC. #3

TITLE SHEET & GENERAL
NOTES

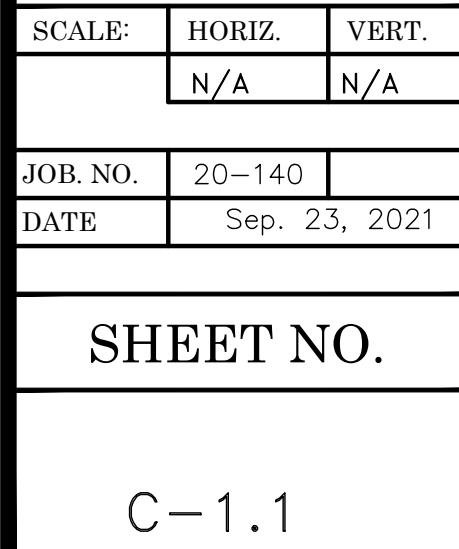
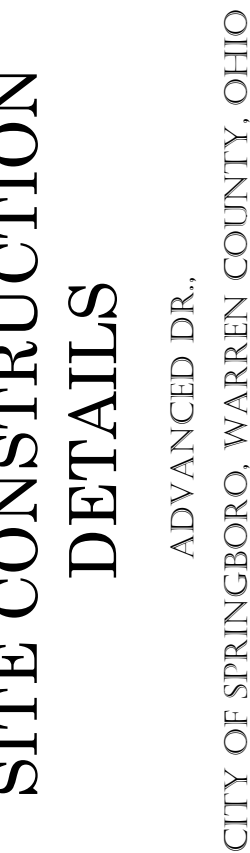
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

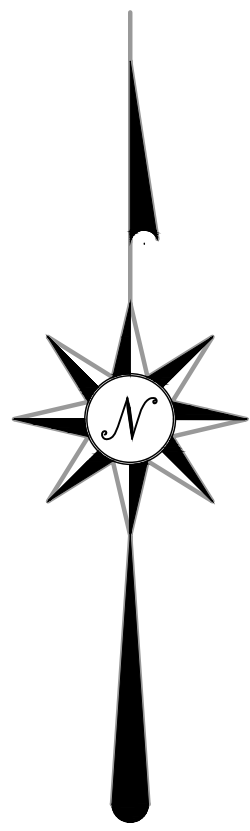
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	1"=30'	N/A
JOB NO.	20-140	
DATE	Sep. 23, 2021	

SHEET NO.

C-1







NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "PUD". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF SPRINGBORO ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0017E EFFECTIVE 12/17/2010, THE SUBJECT PROPERTY IS A NON-PRINTED MAP, LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

Utility Notes

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, GAS, ELECTRIC, STORM SEWER, TELEPHONE, AND WATER LINES AND/OR SERVICE IS AVAILABLE FOR THE SUBJECT PROPERTY WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS AS SHOWN.

Legend of Symbols & Abbreviations

- | | | |
|---|-------------------|--------------------------|
| * LIGHT POLE | ▲ SIGN | DS ○ DOWNSPOUT |
| FH ▲ FIRE HYDRANT | GV ○ GAS VALVE | GM ○ GAS METER |
| ☒ HEATING, VENTILATION
AIR CONDITIONING UNIT | CO ○ CLEANOUT | —○— GUY WIRE |
| CONCRETE | CB ■ CATCH BASIN | —○— OVERHEAD
UTILITY |
| CM ○ COMMUNICATION MANHOLE | — OLD WIRE FENCE | WM ○ WATER METER |
| MH ○ MANHOLE | ○ SPRINKLER VALVE | ○ HANDICAP PARKING SPACE |
| SV ○ SPRINKLER VALVE | — GUARDRAIL | — PARKING
STOPPERS |
| WV ○ WATER VALVE | UP ○ UTILITY POLE | |
| ○ WATER FAUCET | EB ■ ELECTRIC BOX | EM ■ ELECTRIC METER |
| — UNDERGROUND UTILITY | • BALLARD | — ENTRANCE DOOR |

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(513) 321-2168



EXISTING CONDITIONS &
DEMO PLAN

ADVANCE DR. SPEC. #3

ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE: HORIZ. VERT.

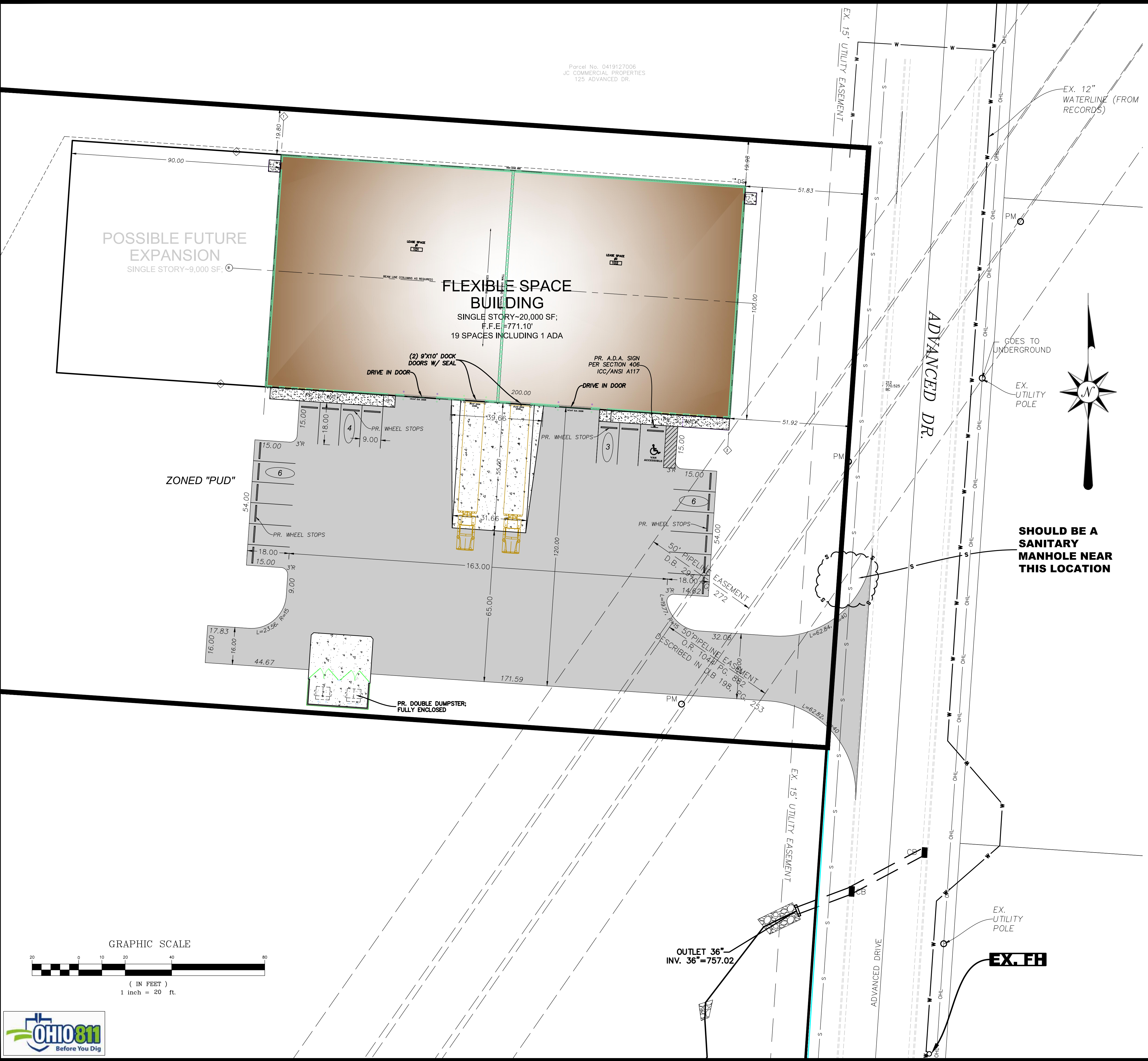
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JOB NO. 20-140

DATE Sep. 23, 2021

SHEET NO.

C-2



LEGEND-PROP. FEATURES

- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
- PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

PARKING TABLE:

PROPOSED PARKING=	18
ADA ACCESSIBLE =	1
TOTAL PARKING	19 SPACES (MIN. 9'X18')

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ADVANCE DR. SPEC. #3

SITE DIMENSION PLAN

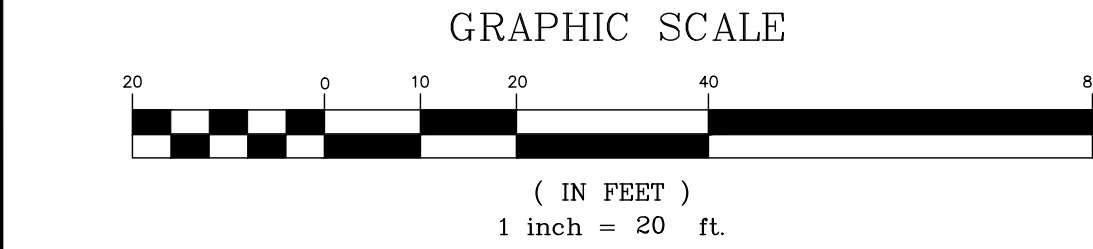
ADVANCED DR.,

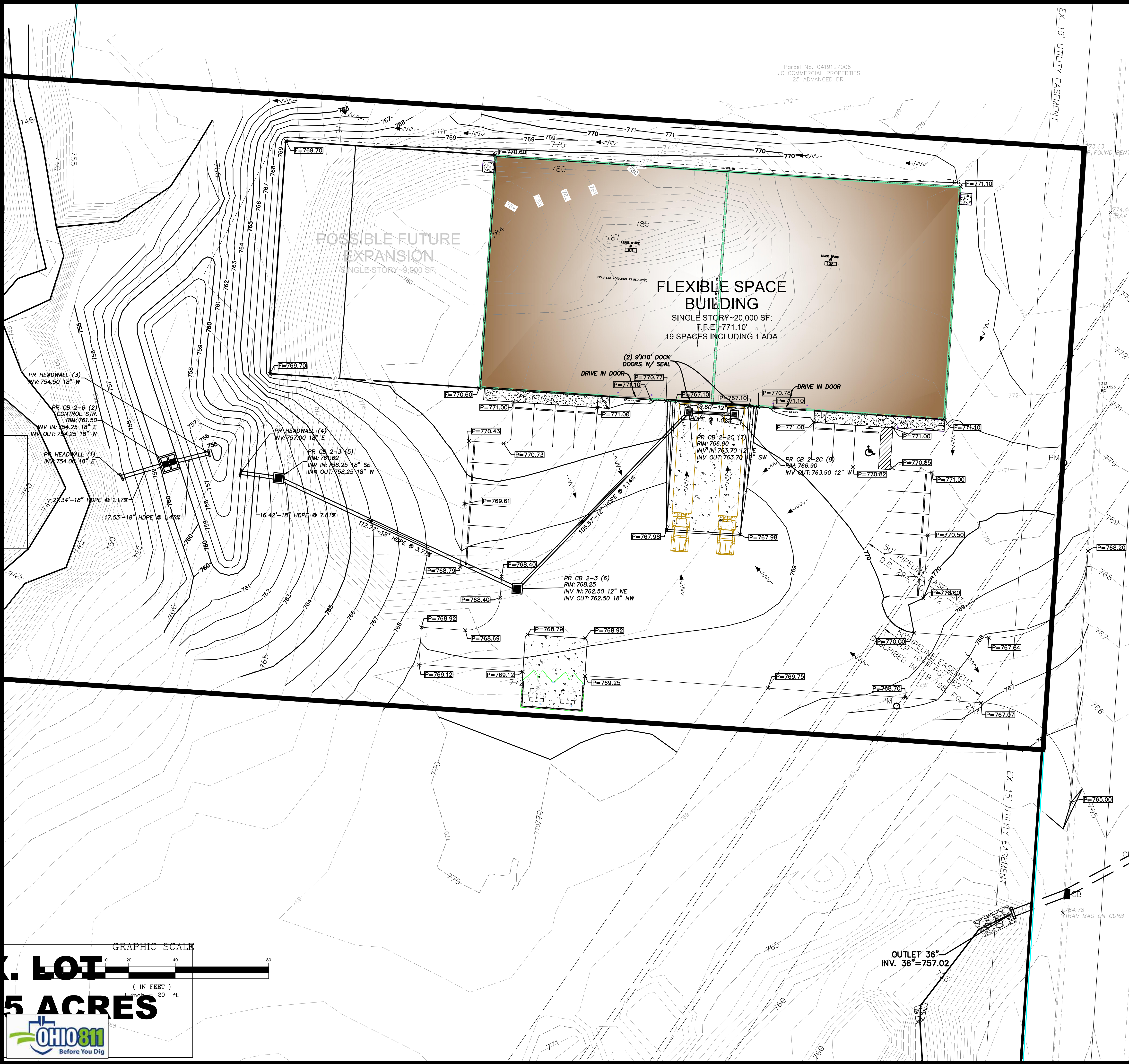
CITY OF STRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB. NO.	20-140	
DATE	Sep. 23, 2021	

SHEET NO.

C-3





- A. MAINTENANCE PLANS FOR THE STORM WATER MANAGEMENT PRACTICES**
- 1.The Owner agrees to maintain in perpetuity the storm water management practices in accordance with approved Maintenance Plans listed in #2 below and in a manner that will permit the storm water management practices to perform the purposes for which they were designed and constructed, and in accordance with the standards by which they were designed and constructed, all as shown and described in the approved Comprehensive Storm Water Management Plan. This includes all pipes and channels built to convey storm water to the storm water management practices, as well as structures, improvements, and vegetation provided to control the quantity and quality of the storm water.
- 2.The Owner shall provide a Maintenance Plan for each storm water management practice. The Maintenance Plans shall include a schedule for monthly and annual maintenance. The Owner shall maintain, update, and store the maintenance records for the storm water management practices. The specific Maintenance Plans for each storm water management practice are as follows:
- (a) Stormwater Pond Maintenance. To be completed MONTHLY.
 - (1) Remove floating debris.
 - (2) Remove woody vegetative growth from pond area including embankments.
 - (3) Remove trash and/or accumulated sediment.
 - (4) Remove obstructions in orifices and/or outlets.
 - (b) Stormwater Pond Maintenance. To be completed ANNUALLY.
 - (1) Repair erosion to outfall or spillway.
 - (2) Repair and/or replace damaged structures, such as catch basins, risers, pipes, and headwalls.
 - (3) Repair animal burrows and/or other leaks in the dam structures.
 - (4) Remove debris from overflow spillway and grates.
 - (5) Mow embankments and remove woody vegetation on embankments.
 - (6) Inspect and remove invasive plants.
 - (7) Dredge pond on a 3-7 year cycle or as necessary to retain design capacity.
- 3.The Owner shall perform all maintenance in accordance with the above Maintenance Plan and shall complete all repairs identified through regular inspections.,

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F =FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

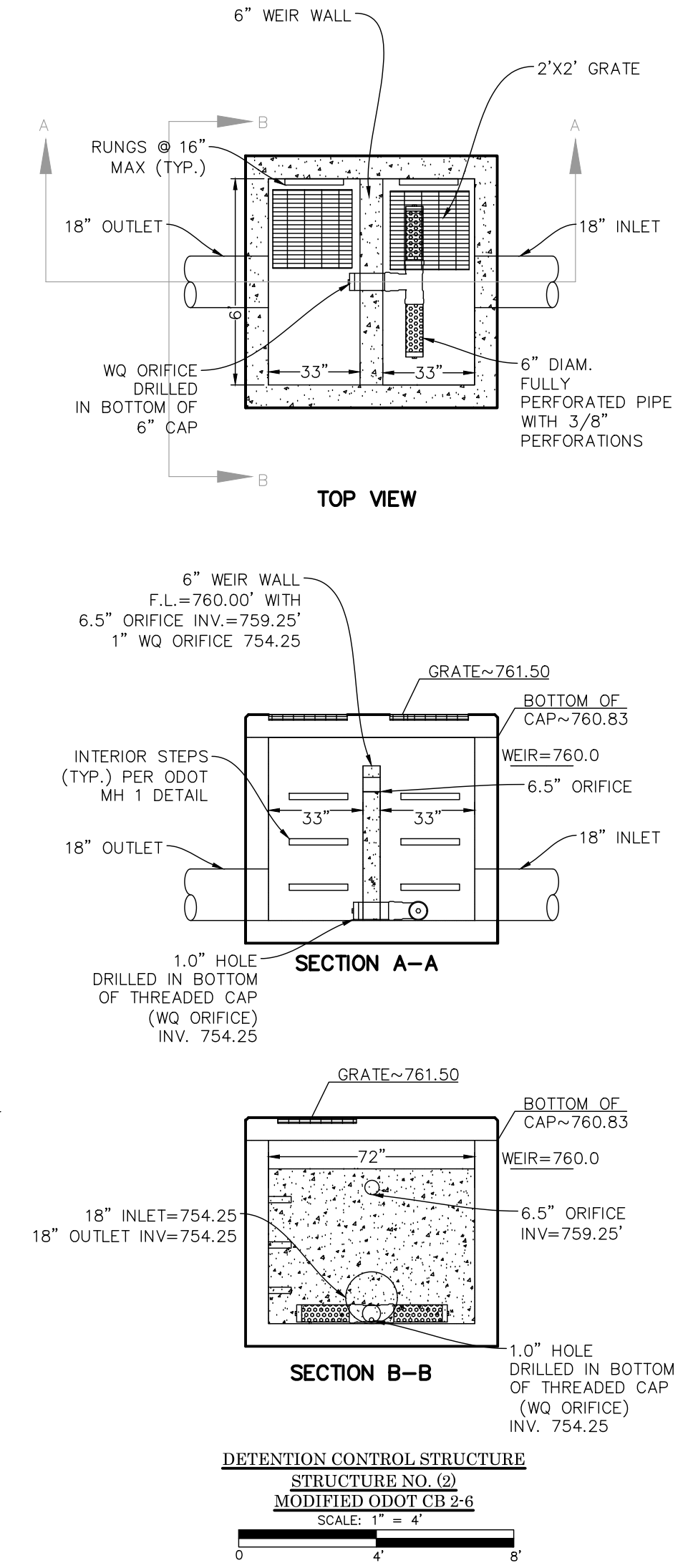
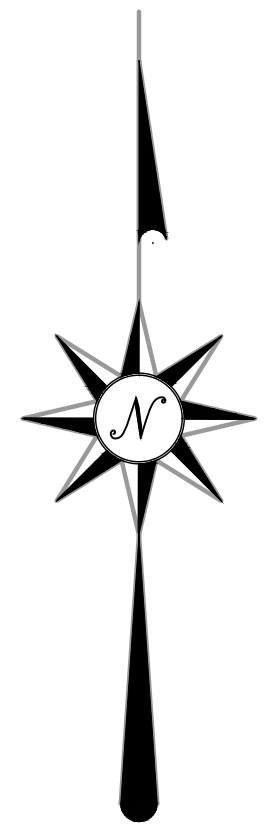
CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

CONTOUR LEGEND:

--- EX. CONTOURS
--- PR. CONTOURS (MAJOR)
--- PR. CONTOURS (MINOR)



LOT 5 ACRES

GRAPHIC SCALE

(IN FEET)

1" = 20' ft.

OHIO811
Before You Dig

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EVANS ENGINEERING
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(513) 321-2168

ADVANCE DR. SPEC. #3
GRADING PLAN
ADVANCED DR.,
CITY OF STRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB NO.	20-140
DATE	Sep. 23, 2021

SHEET NO.

C-4

EROSION AND SEDIMENT CONTROL NOTES:

PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. THE REQUIRED PRE-CONSTRUCTION MEETING
B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE
D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE MADE UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE GRADE TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AN EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.

17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.

18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OF ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.

31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

OTHER:

32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.

33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.

34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROWING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.

36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.

37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OH0C00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."

CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SOIL STOCKPILED MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.

SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.

ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

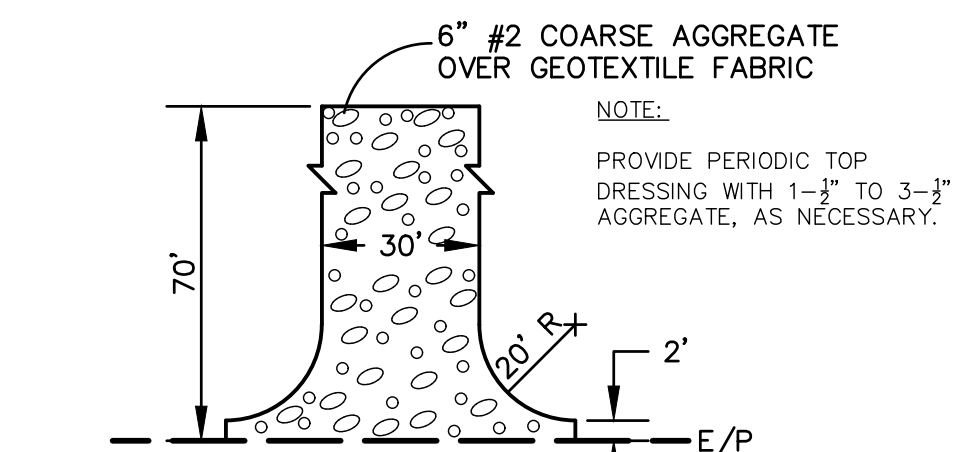
SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.

2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.

3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.

4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



STABILIZED CONSTRUCTION ENTRANCE (ONLY IF NECESSARY) NO SCALE

TEMPORARY AND PERMANENT SEEDING:

1.1 SEEDBED PREPARATION

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

1.2 SEEDING

1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING AND SUMMER	1. OATS	3 LBS
	2. PEREN. RYEGRASS	1 LBS
	3. TALL FESCUE	1 LBS
FALL	1. PEREN. RYEGRASS	1 LBS
	2. RYE	3 LBS
	3. WHEAT	3 LBS
	4. TALL FESCUE	1 LBS

2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE	0.5 LBS
	DOMESTIC RYEGRASS	0.25 LBS
	KENTUCKY BLUEGRASS	0.25 LBS
	2. TALL FESCUE	1 LBS
	3. DWARF FESCUE	1 LBS

2-1 SEEDING FOR STEEP BANKS OR CUTS

SPRING, SUMMER, AND FALL	1. TALL FESCUE	1 LBS
	2. CROWNVECH	0.25 LBS
	TALL FESCUE	0.50 LBS
	3. FLATPEA	0.50 LBS
	TALL FESCUE	0.50 LBS

2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SPRING, SUMMER AND FALL	1. TALL FESCUE	1 LBS
-------------------------	----------------	-------

B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) OF AN INCH.

TEMPORARY AND PERMANENT SEEDING(CONT.)

C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.

D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.

E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

2. DORMANT SEEDING

A. TEMPORARY SEEDING-AFTER NOVEMBER 1, USE MULCH ONLY.

B. PERMANENT SEEDING- SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING":

1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

3. MULCHING

A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.

B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.

C. MULCH ANCHORING METHODS:

1. MECHANICAL- USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.
2. ASPHALT EMULSION-APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
3. MULCH NETTING-USE ACCORDING TO THE MANUF. RECOMMENDATIONS.

4. IRRIGATION

SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

STABILIZATION:

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

PERMANENT STABILIZATION

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of surface water of the state and at final grade	Within two days of reaching final grade
All other areas at final grade	Within seven days of reaching final grade within that area

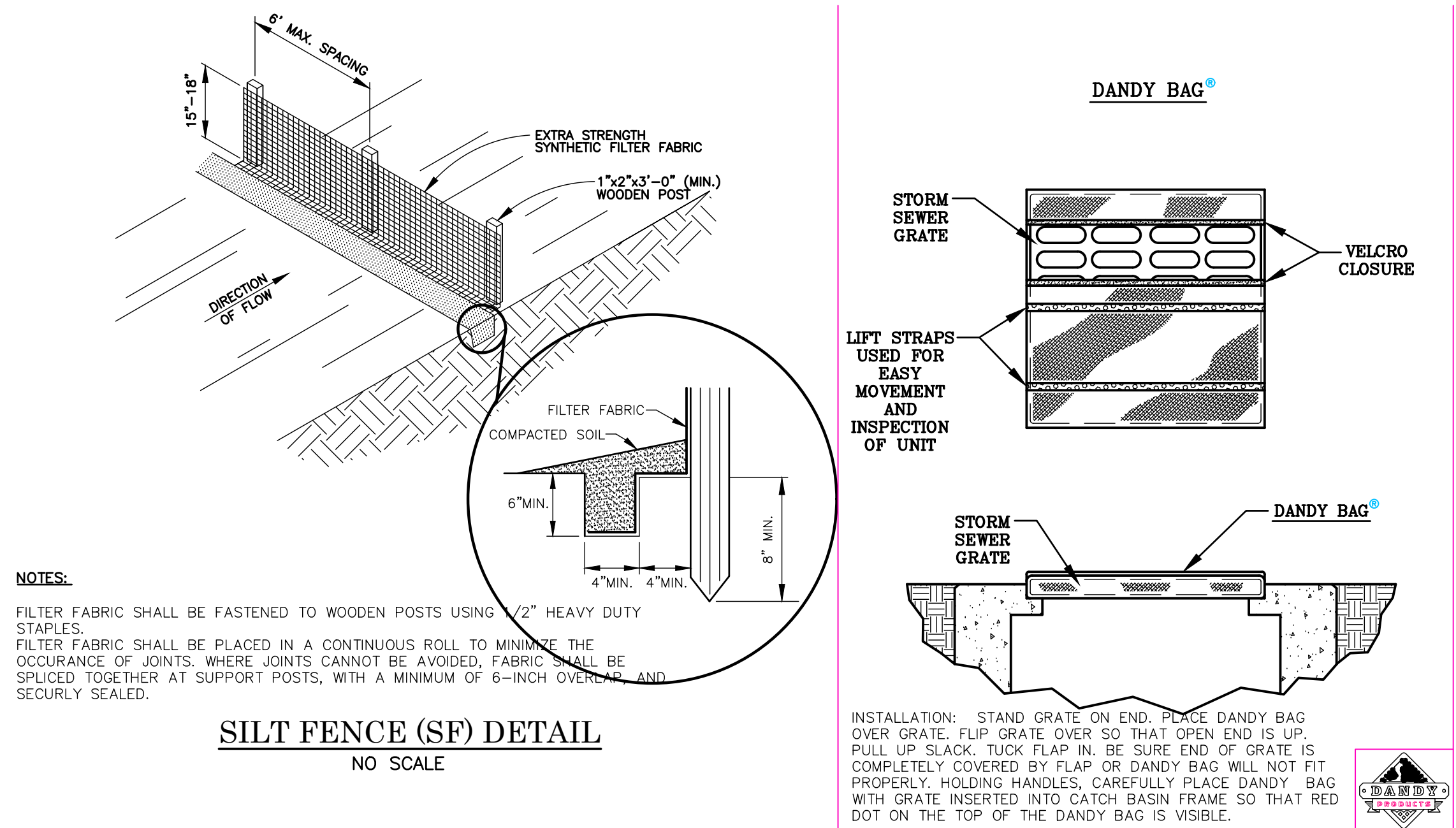
TEMPORARY STABILIZATION

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will lie dormant for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will lie idle over winter	Prior to the onset of winter weather

CONSTRUCTION SEQUENCE:

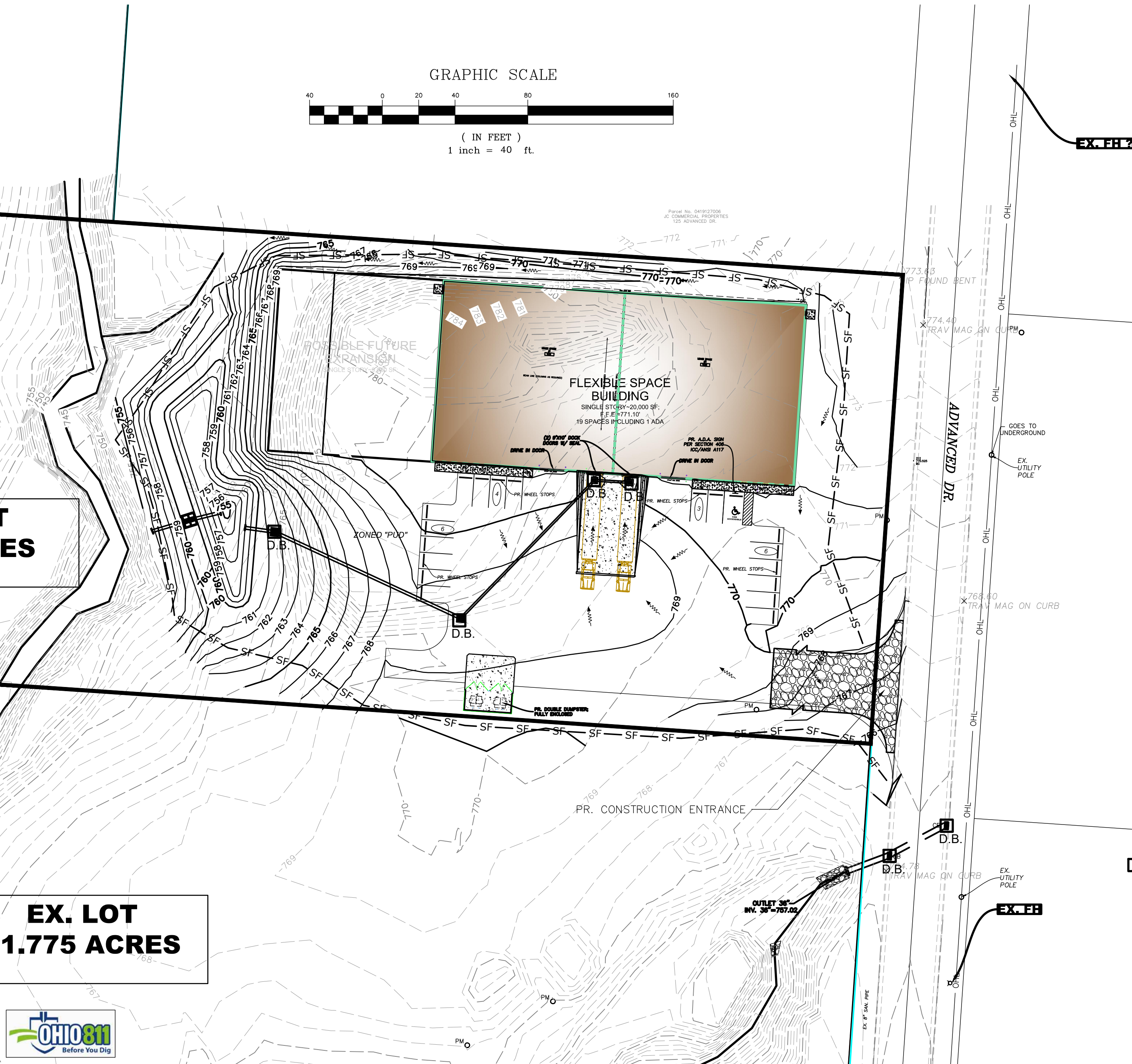
THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
5. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
6. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
7. INSTALLATION OF ALL UTILITIES.
8. SITE CONSTRUCTION.
9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



SILT FENCE (SF) DETAIL NO SCALE

DETAIL OF INLET SEDIMENT CONTROL DEVICE DANDY BAG (DB)

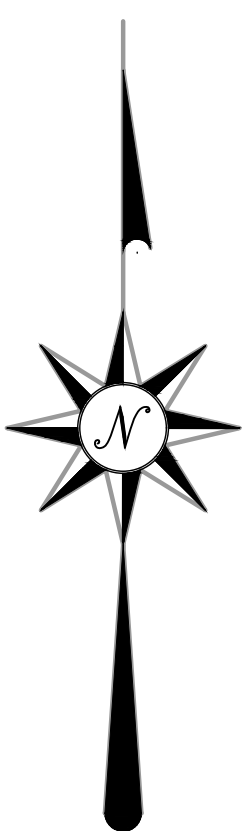


EX. LOT 1.775 ACRES



EROSION CONTROL LEGEND

- SF — SILT FENCE
- D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
- CONSTRUCTION ENTRANCE



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



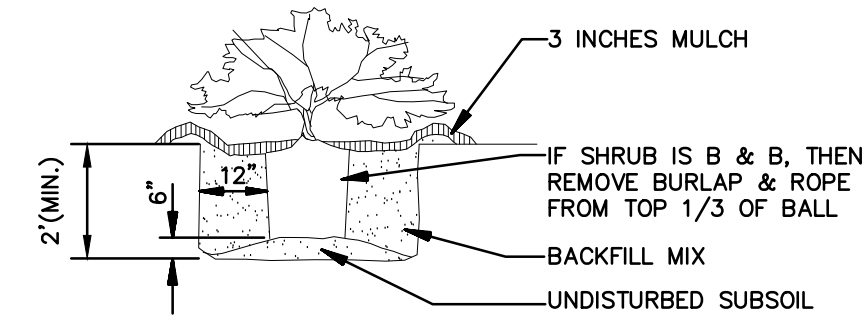
ADVANCE DR. SPEC. #3
STORMWATER POLLUTION
PREVENTION PLAN

ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

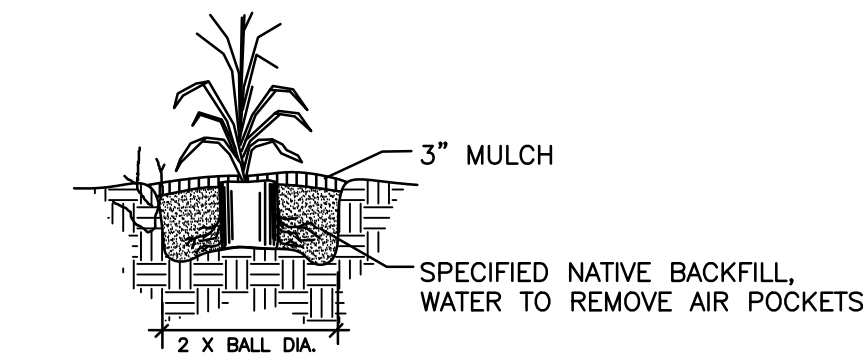
SCALE: HORIZ. VERT.
1"=40' N/A

JOB NO. 20-140
DATE Sep. 23, 2021

SHEET NO.



SHRUB PLANTING
NOT TO SCALE



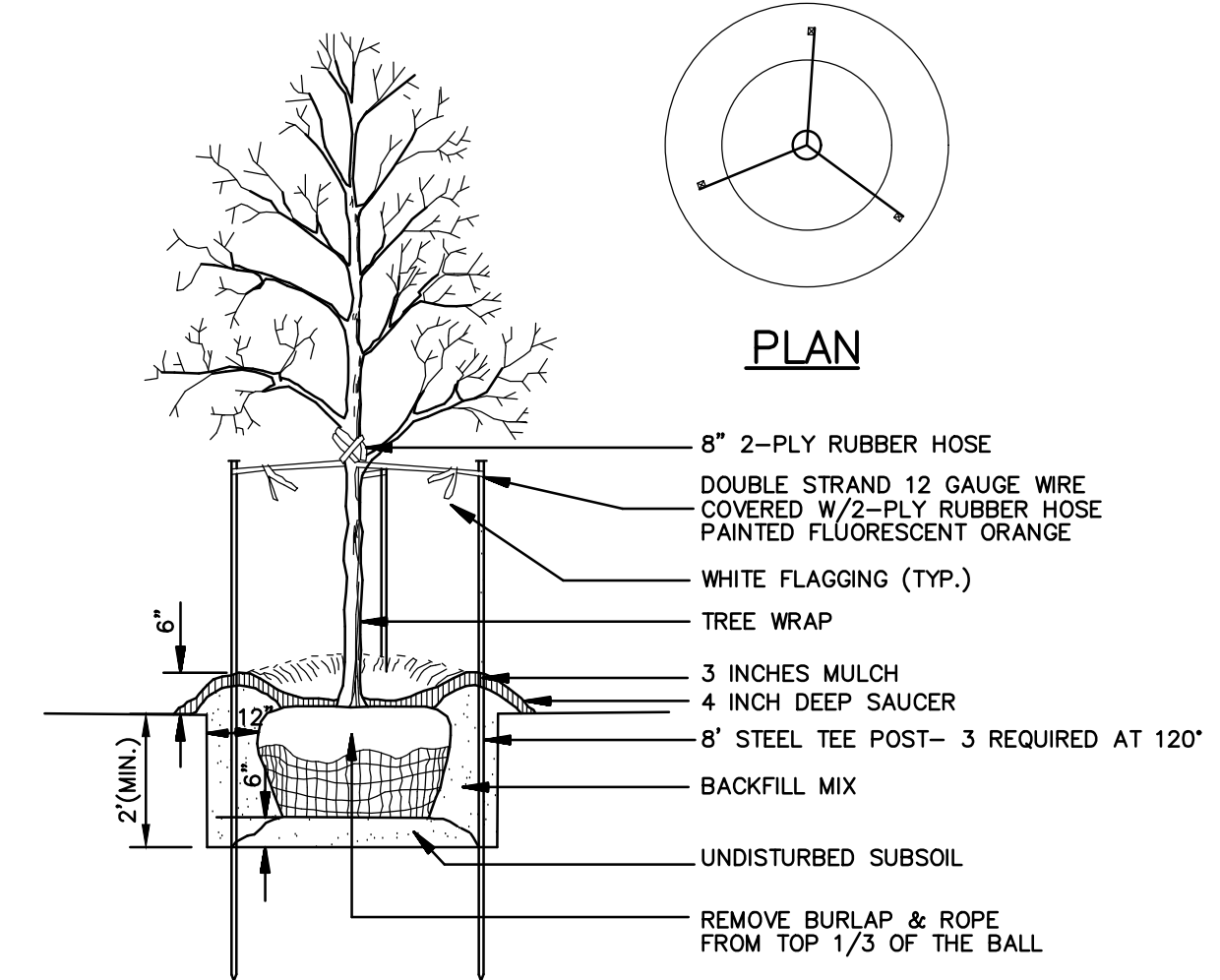
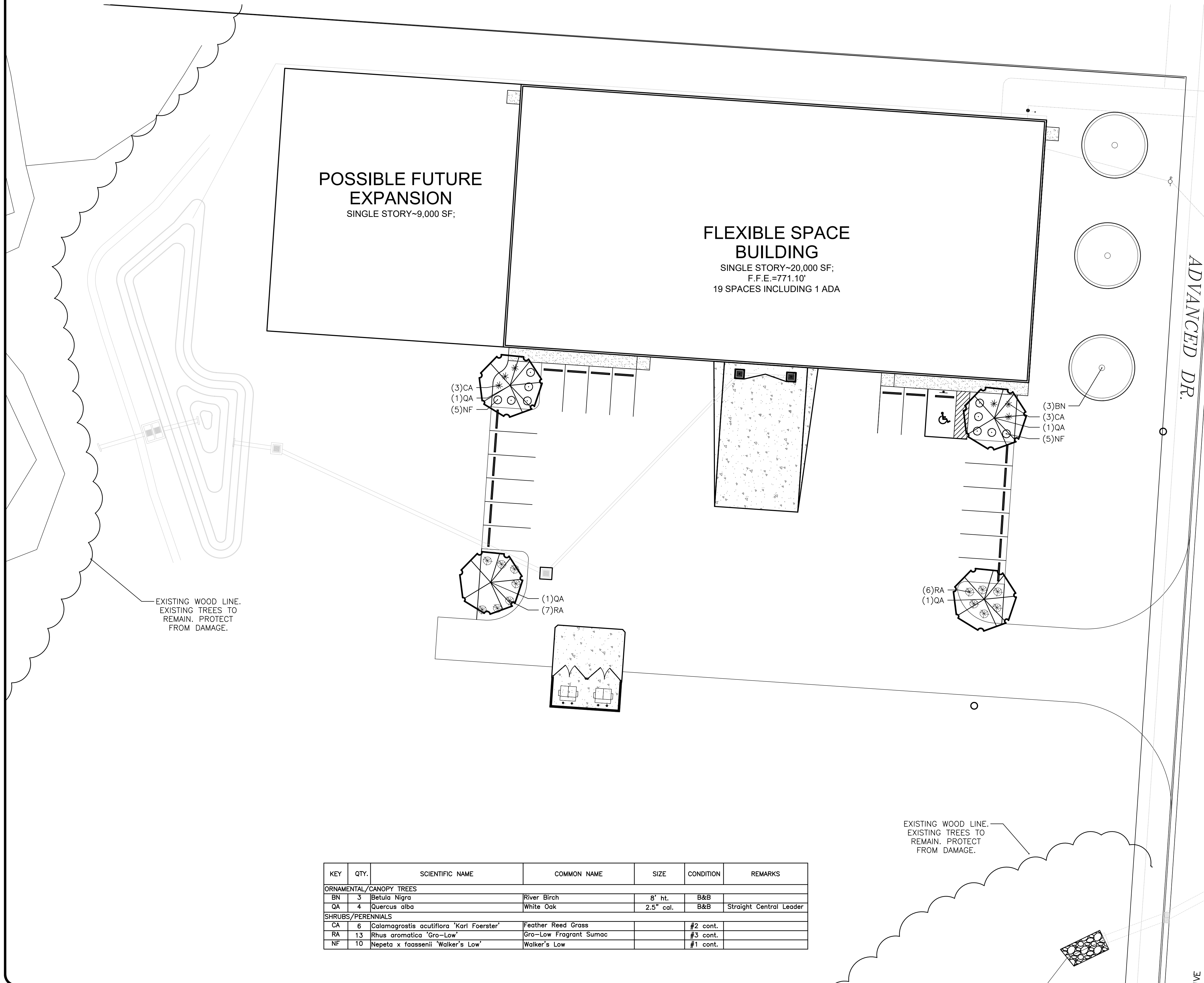
PERENNIAL PLANTING DETAIL
NOT TO SCALE
① LOOSEN SOIL IN ROOT BALL AND SPREAD ROOTS PRIOR TO PLACING IN PIT.

PERMANENT SEEDING

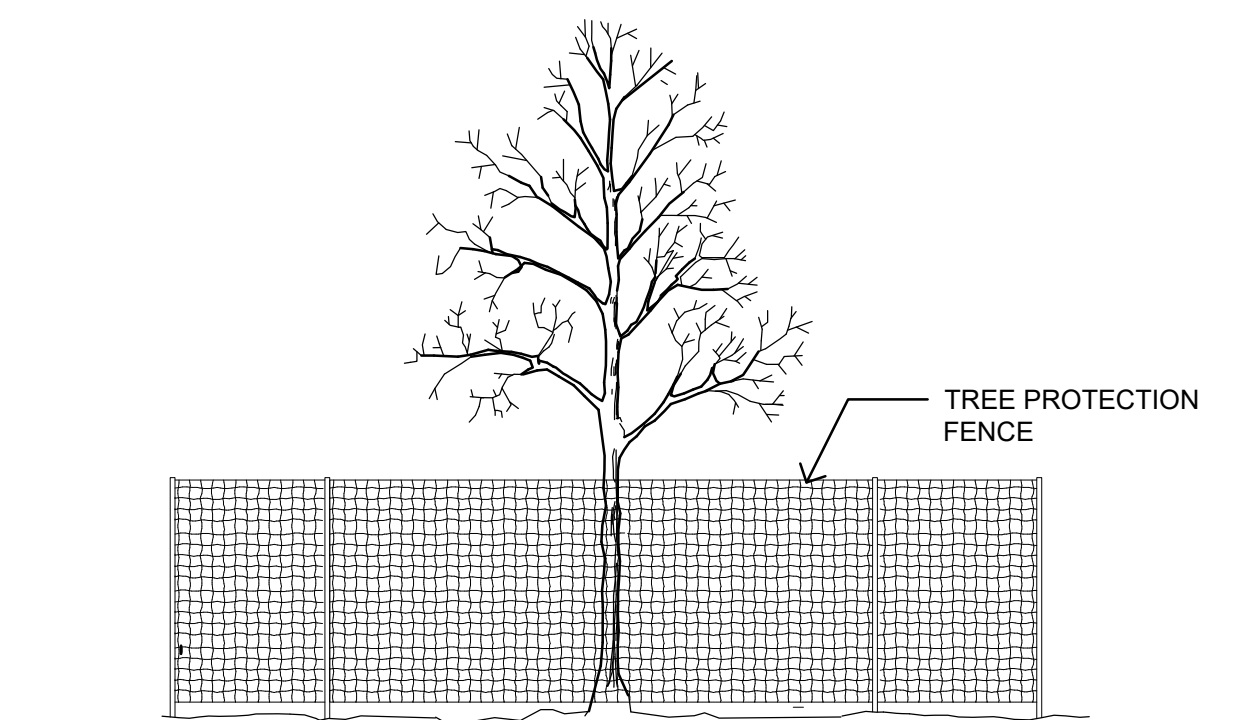
- (1) ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- (2) TILL AREAS TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- (3) PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEEDED AREAS.

LANDSCAPE NOTES:

1. ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED.
11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
12. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
13. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.
14. ALL EXISTING TREES SHOWN ON THE PLAN TO BE PRESERVED AND PROTECTED.

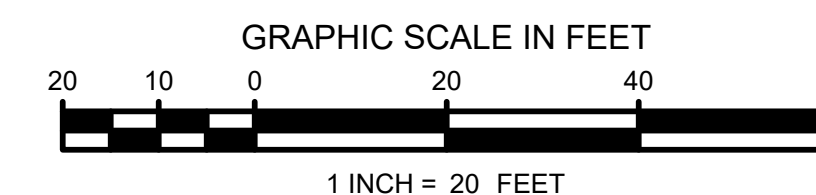


TREE PLANTING
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE

- ① TREE PROTECTION FENCE MUST BE A MINIMUM OF 5' TALL AND CONSTRUCTED OF DURABLE MATERIAL. MOUNTED ON DURABLE POSTS APPROXIMATELY 8'-0" O.C. MAX.
- ② TREE PROTECTION FENCING SHALL BE ERECTED AT DRIP LINE OR BEYOND PRIOR TO START OF CONSTRUCTION.



REVISION NUMBER	DATE	REMARKS

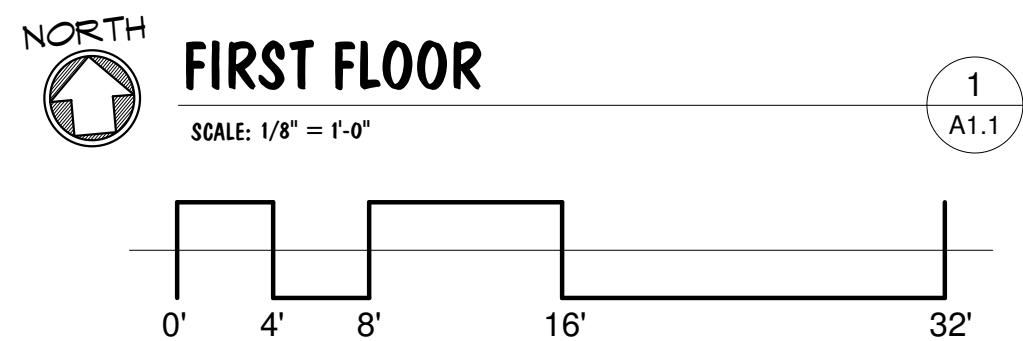
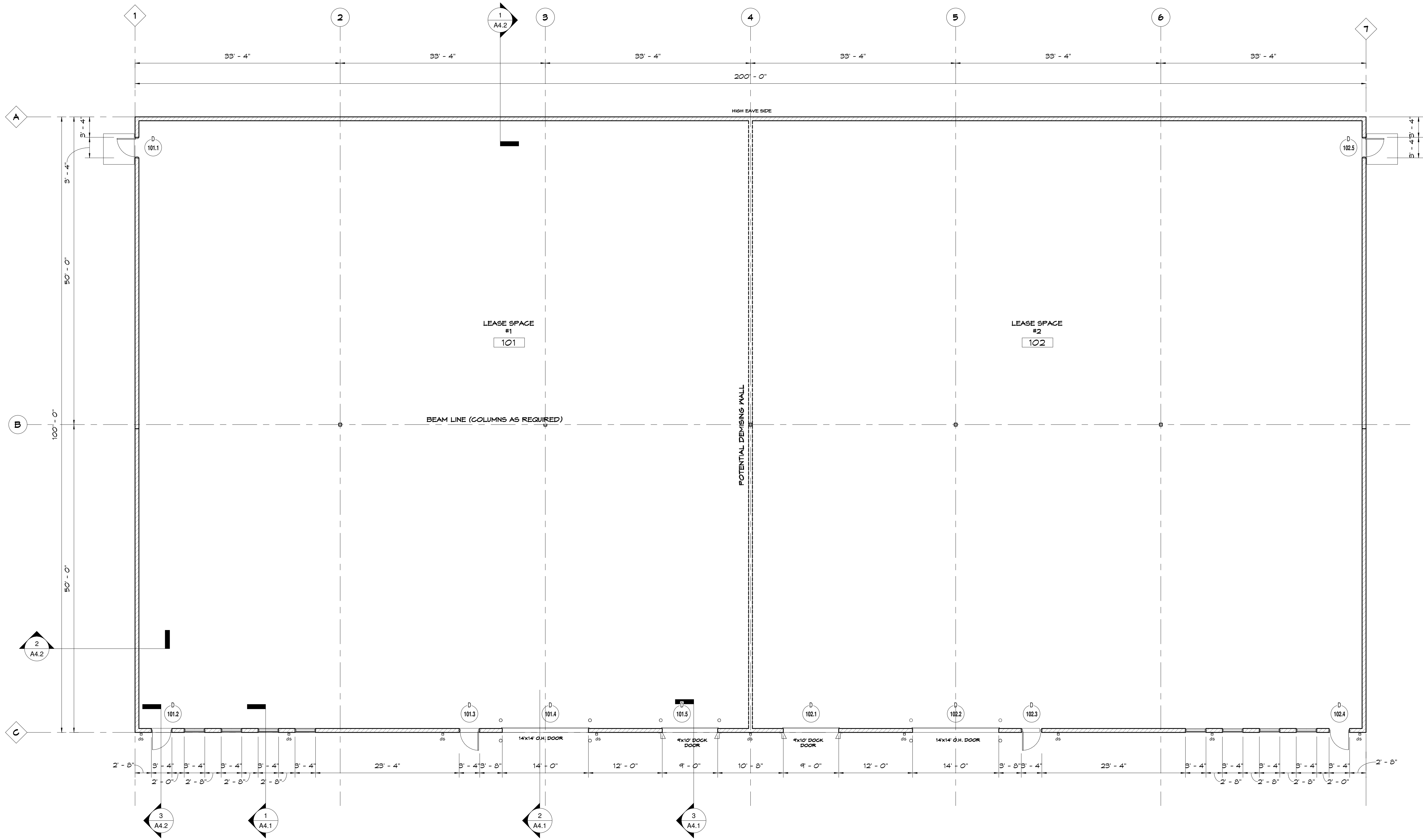
2K LA
2K Landscape Architecture, LLC
3234 Harvest Ave.
Cincinnati, Ohio 45213
513.228.8572
www.2KlandscapeArchitecture.com

LANDSCAPE PLAN
ADVANCED DRIVE
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

OWNER:

PROJECT NO.: 2021-23
DATE: AUGUST 18, 2021
DRAWN BY: KTC
CHECKED BY: KTC
SCALE: 1" = 20'

SHEET:
L-1



Proposed Building For:
Spec Building - Lot 3
Advanced Drive
Springboro, Ohio 45066

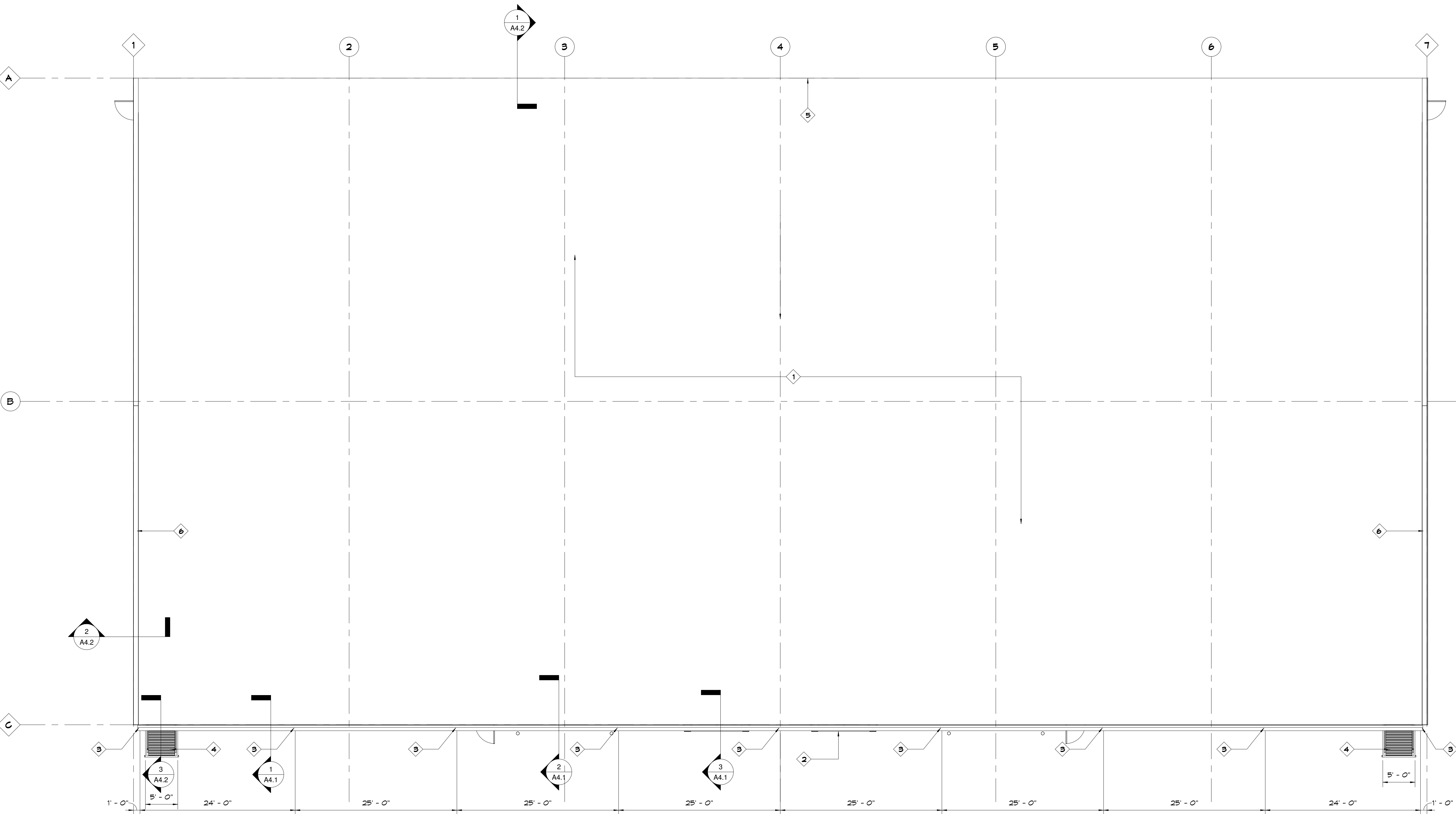
REV. DATE CK'D

Drawn By: WNS Checked By: WNS

Preliminary
Not For
Construction

Date: 09.09.21 Job No: 21.128

A1.1



ROOF PLAN
SCALE: 1/8" = 1'-0"

1
A1.2

GENERAL NOTES

- A. COORDINATE ALL CURB EQUIPMENT & ROOF PENETRATION LOCATIONS W/APPROPRIATE ENGINEERING DRAWINGS. PROVIDE POSITIVE DRAINAGE TO GUTTER AROUND CURBS & PENETRATIONS
- B. SEE STRUCTURAL DRAWINGS FOR ROOF SLOPE. SLOPES SHALL PROVIDE POSITIVE DRAINAGE TO GUTTERS @ 1/4" per FT MIN.



KEY NOTES

1. MECHANICALLY FASTENED, SINGLE-PLY MEMBRANE ROOFING ON (2) LAYERS OF RIGID ROOF INSULATION (R= 25 MIN.)
2. PRE-FINISHED METAL GUTTER (6"x6" MIN.)
3. PRE-FINISHED METAL DOWNSPOUT (4"x4" MIN.)
4. PRE-FINISHED METAL CANOPY WITH INTEGRAL GUTTER. OUTLET SHALL BE NEAR BUILDING LINE. CENTER ON DOOR OPENING
5. PRE-FINISHED METAL TRIM
6. PRE-FINISHED METAL COPING

Proposed Building For:
Spec Building - Lot 3
Advanced Drive
Springboro, Ohio 45066

REV. DATE

CK'D

Drawn By: WNS Checked By: WNS

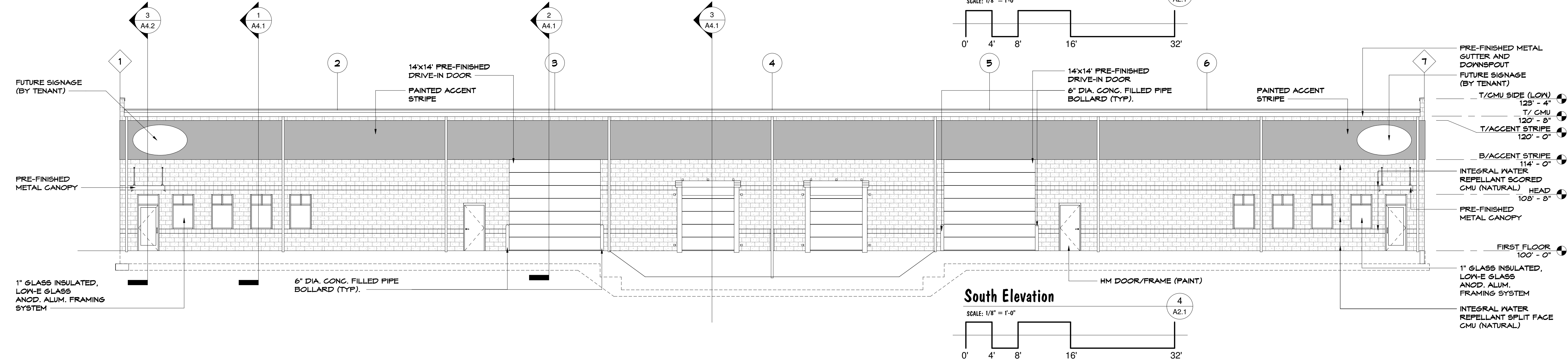
Preliminary
Not For
Construction

Date: 09.09.21 Job No: 21.128

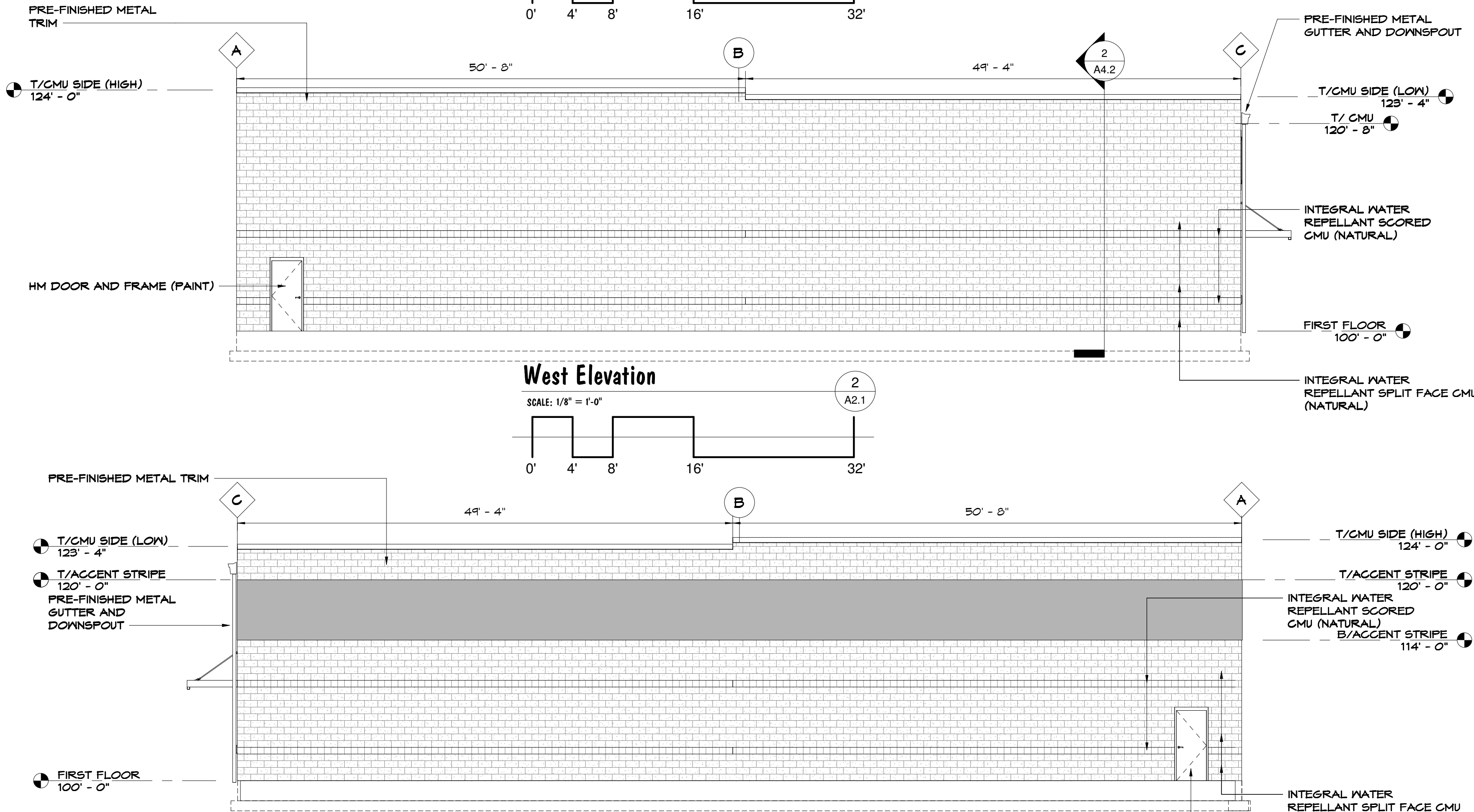
A1.2



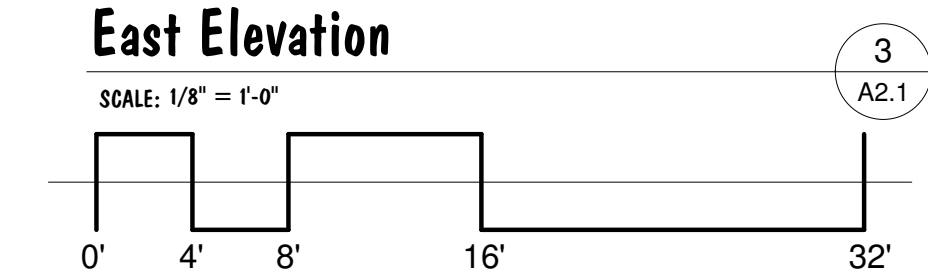
PERSPECTIVE
SCALE: 12" = 1'-0"



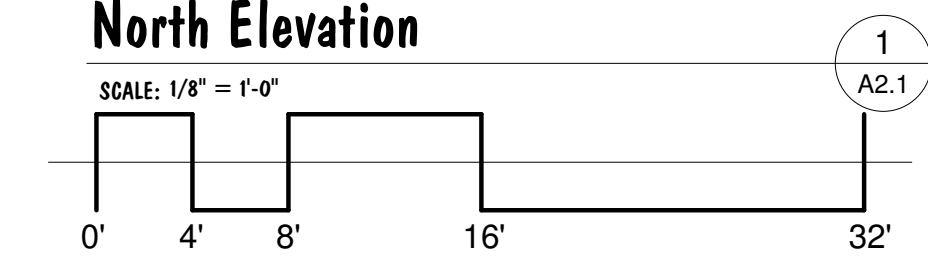
South Elevation
SCALE: 1/8" = 1'-0"



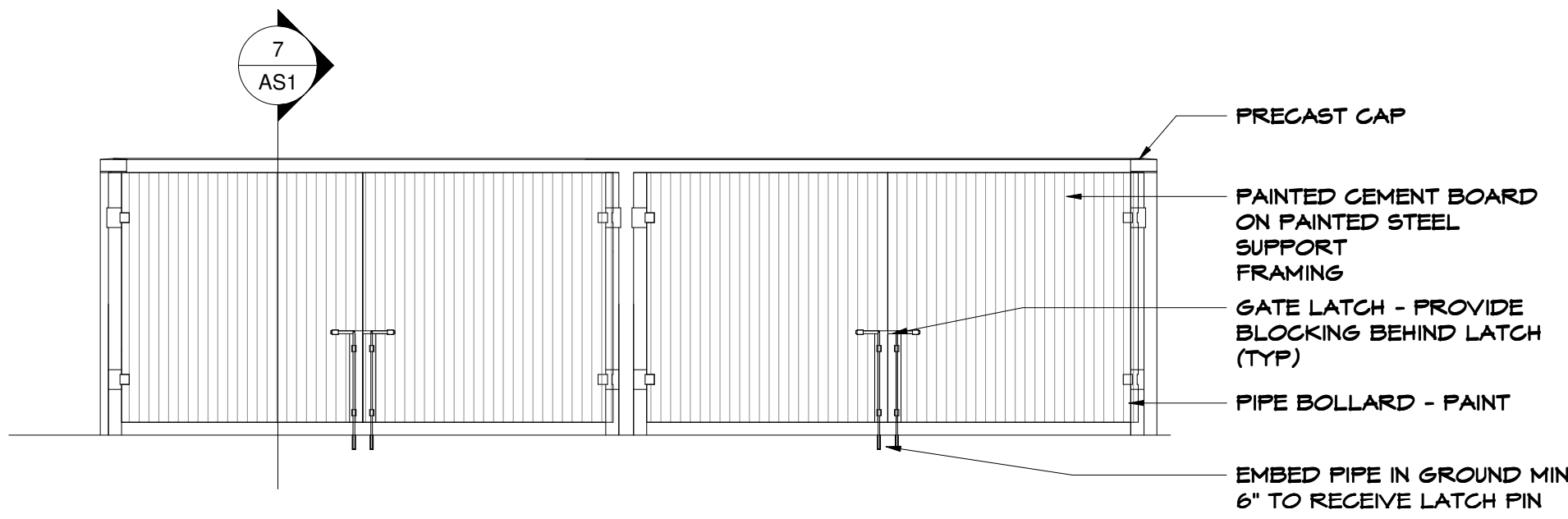
West Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



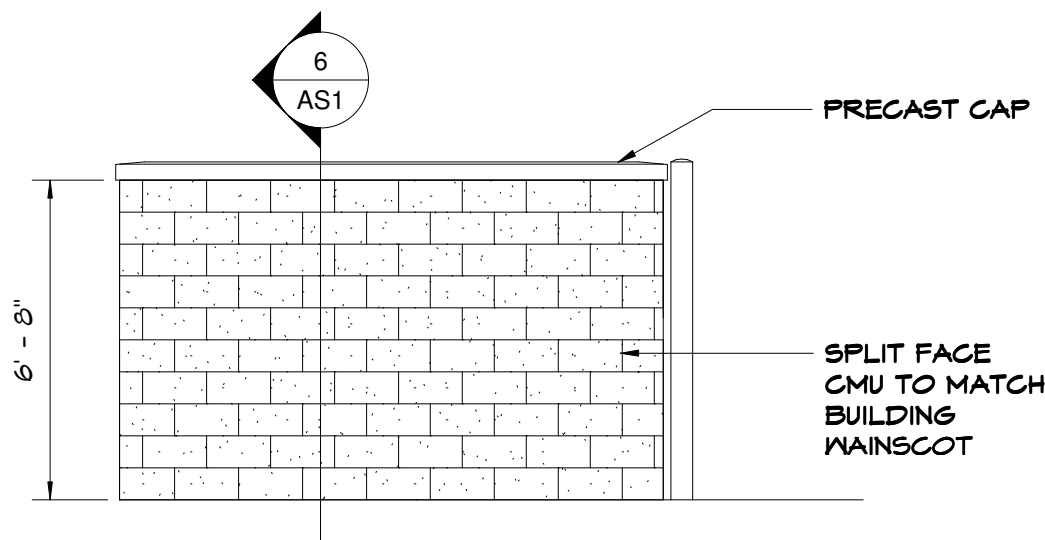
North Elevation
SCALE: 1/8" = 1'-0"



DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

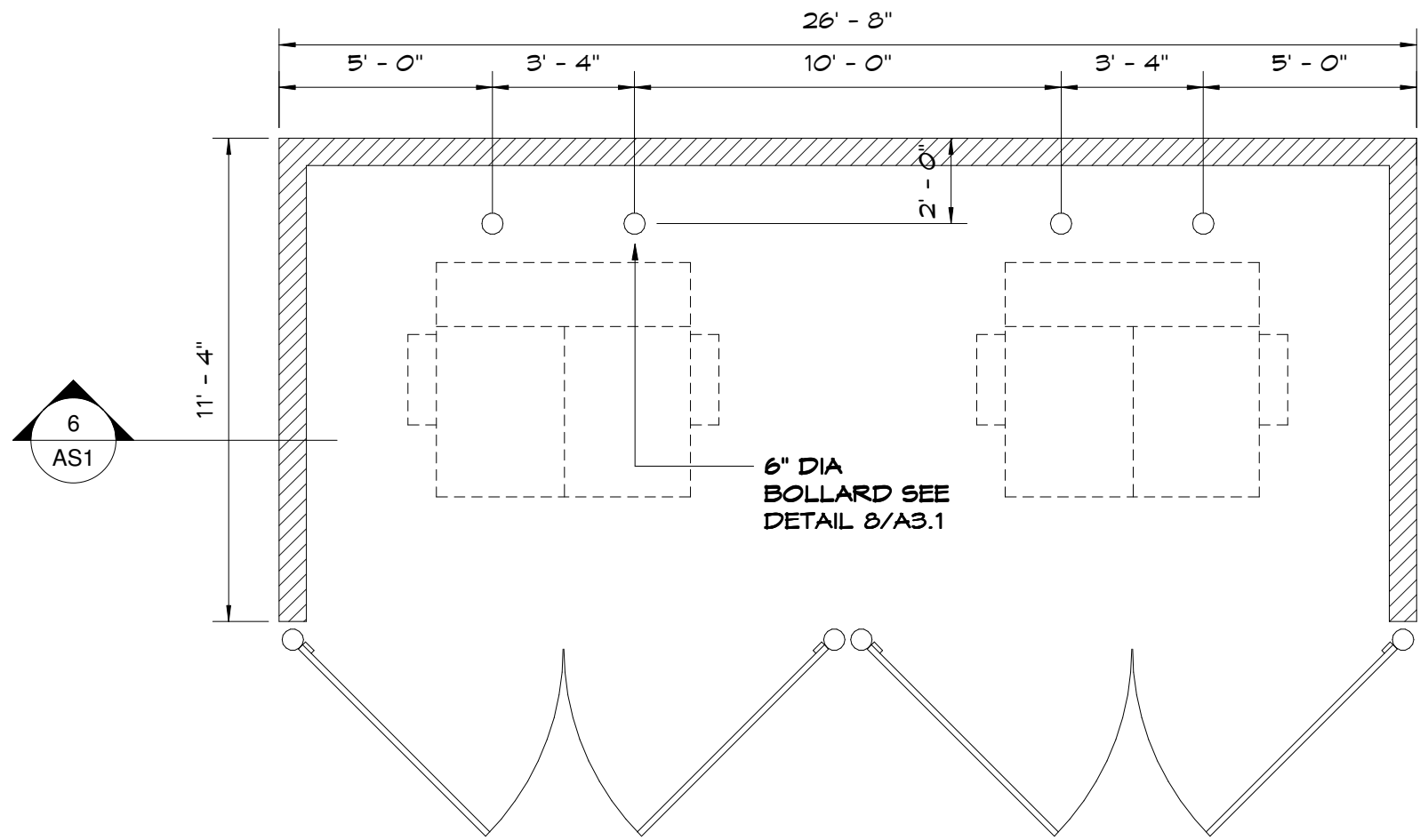
8
AS1



DUMPSTER ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

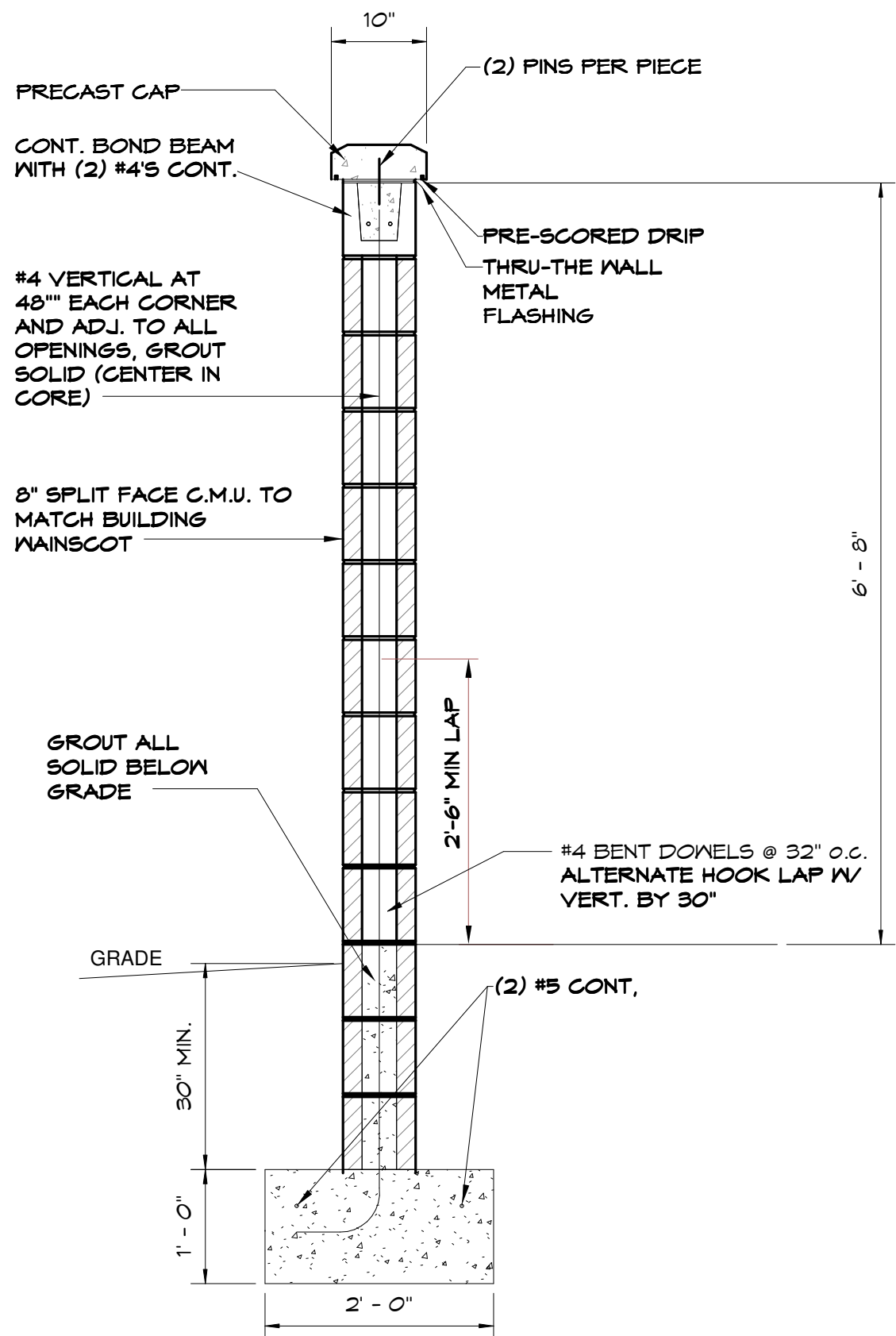
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DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

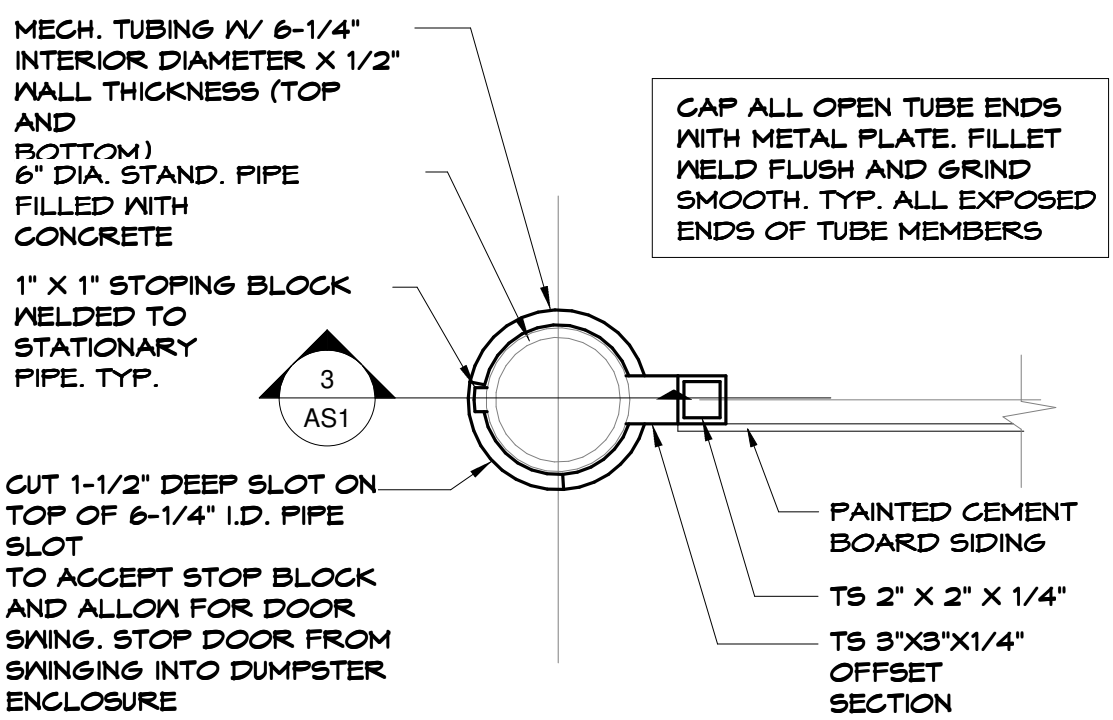
1
AS1



DUMPSTER SECTION

SCALE: 3/4" = 1'-0"

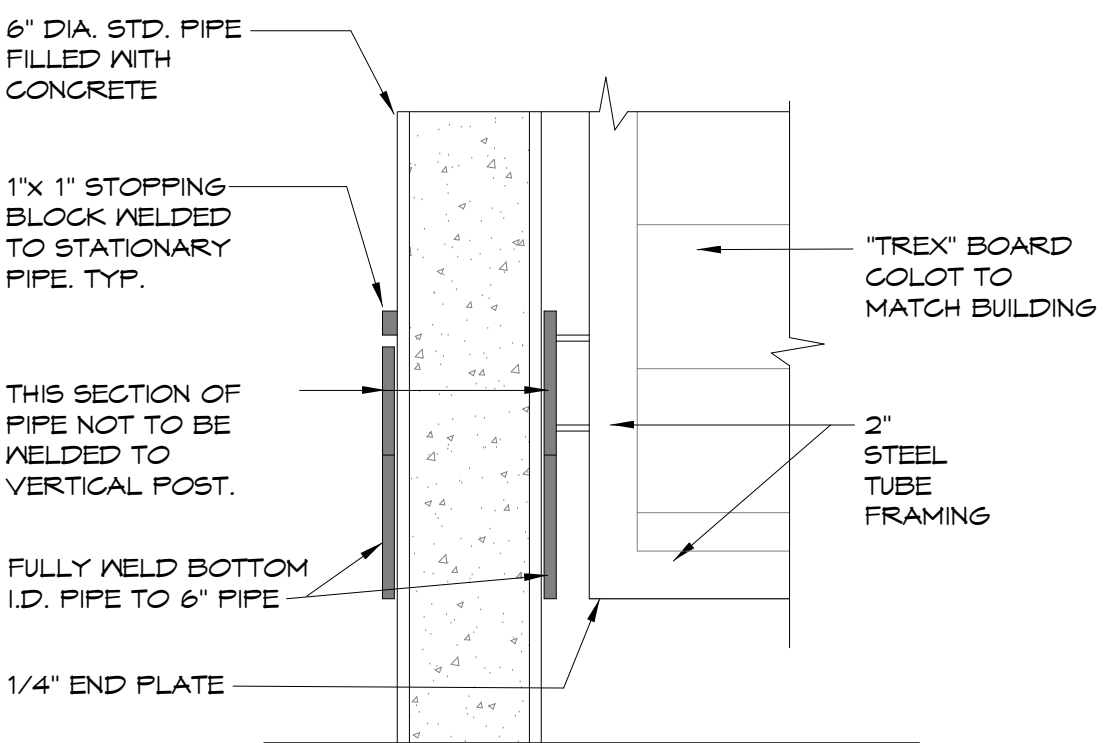
6
AS1



DUMPSTER GATE HINGE PLAN

SCALE: 1 1/2" = 1'-0"

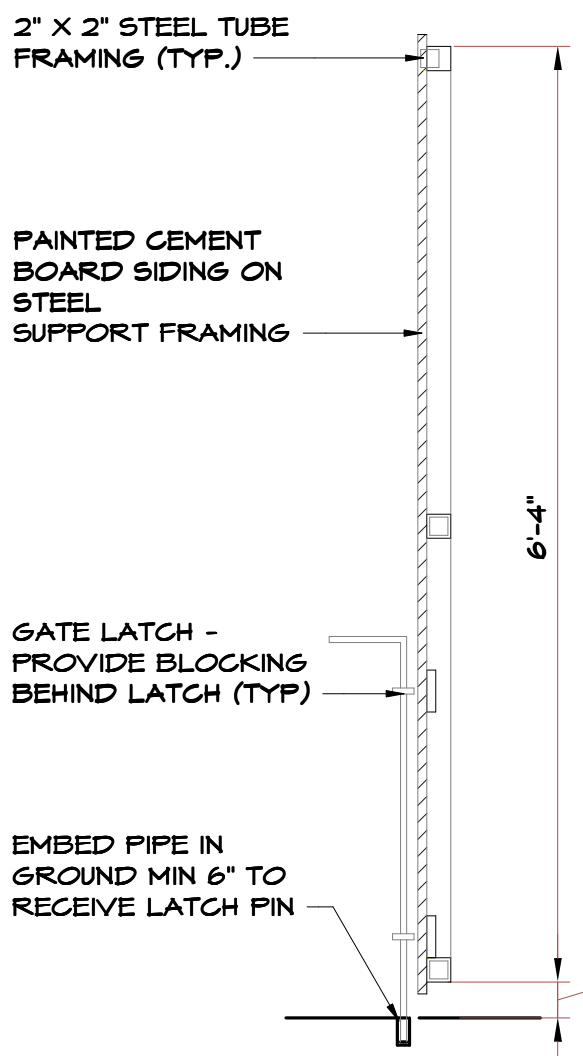
2
AS1



DUMPSTER GATE HINGE SECTION

SCALE: 1 1/2" = 1'-0"

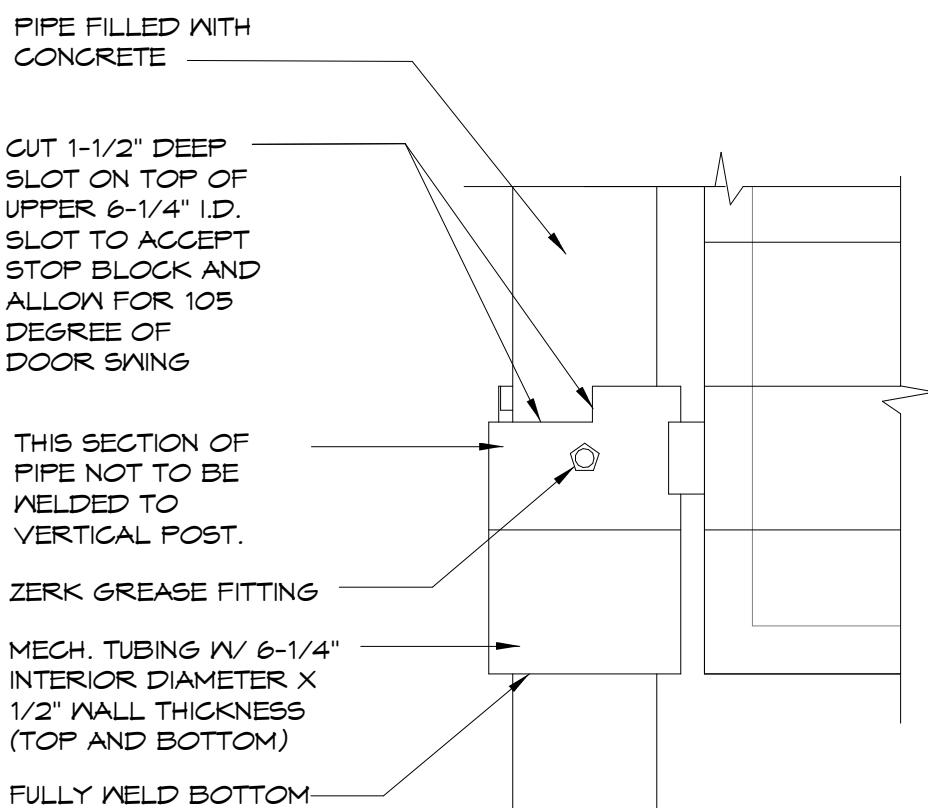
3
AS1



DUMPSTER GATE SECTION

SCALE: 3/4" = 1'-0"

7
AS1



DUMPSTER GATE HINGE ELEVATION

SCALE: 1 1/2" = 1'-0"

4
AS1



Color: Bronze

Weight: 34.8 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.46A
208V	0.27A
240V	0.23A
277V	0.20A
Input Watts	54.81W

LED Info

Watts	50W
Color Temp	3000K (Warm)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	7,127
Efficacy	130 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations as a downlight

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.
DLC Product Code: PKY4PVJR

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

IP Rating:

Ingress protection rating of IP66 for dust and water

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Technical Specifications (continued)

Construction

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:

6.1% at 120V, 9.4% at 277V

Power Factor:

99.6% at 120V, 96% at 277V

Surge Protection:

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other

Patents:

The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Equivalency:

Equivalent to 250W Metal Halide

Buy American Act Compliance:

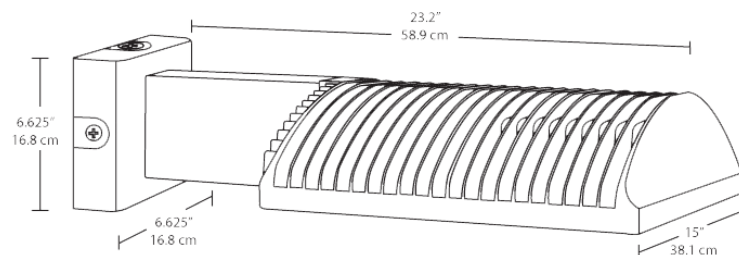
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B0 U0 G1

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	4T	50	Y				
	4T = Type IV 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Arm FX = Flat Mount	W = White Blank = Bronze	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS = Multi-Level Motion Sensor /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud® Controller



Specification grade area lights available in IES Type IV distributions. Best-in-class 5-G vibration rating. 5-year, limited warranty.

Color: Bronze

Weight: 20.9 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.55A
208V	0.33A
240V	0.29A
277V	0.25A
Input Watts	65.4W

LED Info

Watts	65W
Color Temp	3000K (Warm)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	6,300
Efficacy	96.3 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: PTFWA65X

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) produces a semicircular distribute, and is especially suited for mounting on sides of buildings or walls and perimeter of parking areas

Effective Projected Area:

EPA = 0.8

Vibration Rating:

Industry-leading 5G vibration rating per ANSI C136.31

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Precision die-cast aluminum housing

Mounting:

Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adaptor is used.

Lens:

Clear acrylic lens with integrated optics

IP Rating:

Ingress protection rating of IP66 for dust and water

Technical Specifications (continued)

Construction

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 120V: 0.55A, 208V: 0.33A, 240V: 0.29A, 277V: 0.25A

THD:

7.2% at 120, 10.6% at 277V

Power Factor:

99.6% at 120V, 95.4% at 277V

Surge Protection:

L-N 4kV; L-L, L-GND 6kV

Other

5 Yr Limited Warranty:

Fixture operation and paint finish are covered for a period of 5-years. [See our full warranty here.](#)

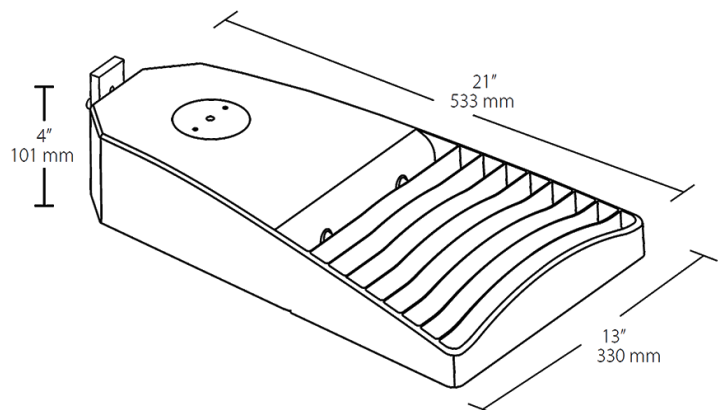
Equivalency:

Equivalent to 150W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

100,000-hour LED lifespan

Type IV distribution

Ordering Matrix

Family	IES Type	Wattage	Color Temp	Finish	Driver Options	Mounting	Sensor Options	Accessories	Other Options
LOT	4T	65	Y		/D10				
	5T = Type V 4T = Type IV 3T = Type III 2T = Type II	65 = 65W 110 = 110W 160 = 160W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze W = White	/D10 = 120-277V, 0-10V Dimming (standard) /480/D10 = 480V, 0-10V Dimming	Blank = Mounts to RAB square poles /UPA = Universal Pole Adaptor	Blank = None /PCT = 120-277V Twistlock PC /PCT4 = 480V Twistlock PC /WS2 = Wattstopper Sensor + 20ft lens, 120-277V /WS4 = Wattstopper Sensor + 40ft lens, 120-277V /5PR = 5-Pin Receptacle, no PCT /7PR = 7-Pin Receptacle, no PCT /BL = Bi-Level Dimming, 120-277V	Blank = None /HS = 2 House-Side- Shields ¹	Blank = Standard USA = BAA Compliant

¹ Available for Types II, III and IV only



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

20 FT

Weight:

137 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Technical Specifications (continued)

Construction

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

70MPH 10.7 ft./360 lb.
80MPH 7.0 ft./350 lb.
90MPH 4.3 ft./350 lb.
100MPH 2.5 ft./350 lb.
110MPH 1.1 ft./350 lb.
120MPH 0.1 ft./340lb

Other

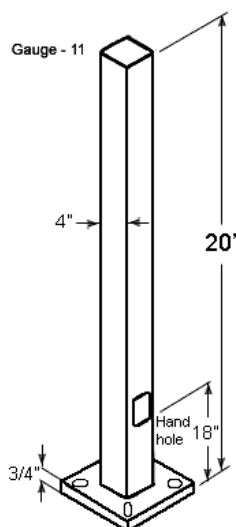
Terms of Sale:

Pole Terms of Sale is available [online](#).

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, September 8, 2021

I. Call to Order

Chairperson Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice-Chair, Mark Davis, Robert Dimmitt, Steve Harding and Mike Thompson. Absent, John Sillies

Mr. Harding motioned to excuse Mr. Sillies. Mr. Davis seconded the motion.

Vote: Harding, yes; Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (6-0)

Staff: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary.

II. Approval of Minutes

A. August 18, 2021 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none

Mr. Pearson motioned to approve the August 18, 2021 Planning Commission minutes. . Mr. Harding seconded the motion.

Vote: Harding, yes; Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes (7-0)

III. Agenda Items

A. Final Review, Site Plan Review, 95 West Central Avenue (SR 73), proposed vehicle service facility for Foreign Exchange

Background Information

This agenda item is an application for site plan review filed by Dryden Builders, Inc., on behalf of Foreign Exchange, to permit the construction of a vehicle repair facility at 95 West Central Avenue (SR 73). The subject property is located southeast of the intersection of West Central Avenue and South Main Street. Foreign Exchange proposes to relocate their operation located in Clearcreek Township to the subject property. In addition to the Clearcreek Township location, the company operates other locations in West Chester, Centerville, and Moraine.

The subject property is located in the UVD, Urban Village District. While the applicant has been advised that the proposed use is permitted, the redevelopment of the site and any other in the UVD will need to comply with the high design and development standards of the UVD and the standard site plan review requirements.

Existing land uses include to the east the soon to open Latin Arepas restaurant at 85 West Central Avenue, to the south the former site of Jonathan Wright Elementary School, to the west a single-family residence at 105 West Central Avenue, and to the north on the north side of West Central Avenue, Kleather's pumpkin patch and single-family residence, the small commercial building that houses Scotty's barber shop, and the developing Wright Station development on the former IGA shopping center site.

Existing zoning in the vicinity of the subject property is UVD to the west, north on the north side of West Central Avenue, and east. To the south existing zoning is R-2, Low-Density Residential District, on the former site of Jonathan Wright Elementary School.

The City is in receipt of a letter from the existing property owner indicating authorization to proceed through the development review process prior to sale.

This item was reviewed on a preliminary basis at the August 18th Planning Commission meeting.

Staff Recommendation

City staff recommends APPROVAL of the site plan for 95 West Central Avenue contingent on complying with the following comments following action by the Planning Commission:

1. The proposed use to comply with Section 1264.26, Development Standards for Specific Uses, Major and Minor Vehicle Repair that are included here for reference purposes:
 - a. Lot Area. The minimum lot area shall be 12,000 square feet.
 - b. Parking Location. The site plan shall be designed to locate vehicles awaiting or undergoing repair, employee parking, and customer parking behind the building setback line.
 - c. Screening. In addition to the screening requirements in Chapter 1280 (Landscaping), outdoor storage of vehicles awaiting or undergoing repair shall be screened on all sides by a solid wood fence or brick or stone wall 6feet in height. Such fence or wall shall be maintained in good repair and attractive condition at all times.
 - d. Petroleum Containment. Tracking of oil or other petroleum-based substances onto the public right-of-way shall be avoided by proper management of such materials.
 - e. Parking Duration. Storage of vehicles overnight at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being repaired at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
 - f. Dismantling Prohibited. No vehicle shall be dismantled unless said vehicle is being repaired inside the garage and said repair shall be accompanied by a repair order showing the description of the automobile, owner and the description of the work required. A valid and current license plate shall be displayed on all vehicles.
 - g. Enclosed Building. All activities shall take place inside the building. All lubrication equipment, automobile wash equipment, hoists, and pits shall be enclosed entirely within a building.
 - h. Sales and Rentals Prohibited. The sale or rental of vehicles or utility trailers of any kind shall be prohibited. No vehicle parked on the property shall be dismantled for the purposes of selling, bartering, swapping or giving of any part or parts of said vehicle.
 - i. Large Vehicles. No trucks with a capacity over one ton, buses, camping trailers, truck or trailers shall be permitted on the property at any time unless the said vehicles are being repaired in the garage.
 - j. Trash Containers and Rubbish. There shall be trash containers of sufficient size and capacity to contain any and all wastes generated by the operation of business. The premises shall be devoid of all rubbish, litter, debris, automobile parts, etc.

- k. Parking for Quick Oil Change Facilities. Quick oil change facilities shall provide off-street waiting spaces equal to five (5) times the number of oil change stalls for automobiles awaiting entrance. Each off-street waiting space shall be 10 feet wide by 20 feet long.
 - l. Storage or Impounding. Storage or impounding of vehicles at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being stored or impounded at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
 - m. Hours of Operation. In addition to all of the above standards, any vehicle repair facility adjacent to any residential district may only be open between the hours of 7:00 a.m. and 10:00 p.m.
2. For proposed lighting plan, address the following:
 - a. Include ratios for maximum to minimum and average to minimum.
 - b. Verify that proposed light fixtures are 3500° degrees Kelvin or less. Fixtures A and B appear to not comply.
 - c. Verify that proposed fixture C complies with flush-mounting provides of code.
 2. Indicate plans (timetable, setbacks, size and other details) for implementing future building areas shown on sheet CP-2.0. If not concurrent with proposed building/site proposed under this application, remove and revise site plan to comply with screening and landscaping and other provisions including the vehicle storage portion of the pavement. If the proposed building are to be developed at this time, building plans and design/development information is needed at this time that comply with UVD/Planning & Zoning Code standards.
 3. Per UVD Section 1267.08(a)(1), Four-Sided Consistency, staff recommends the following:
 - a. Extend proposed awning across front/north elevation façade.
 - b. Provide window openings on the west and south elevations
 4. Proposed signage and mural to be reviewed by City staff outside of Planning Commission site plan review process per sign code, UVD standards.
 5. Per UVD Section 1267.08(a)(2), Orientation to Street, the front/north elevation needs to be architecturally enhanced to address this requirement with respect to the proposed building entrance.
 6. Provide a record plan dedicating 60 Ft. right of way across frontage of SR 73 as well as a 10 Ft. utility easement.
 7. Provide a 1" minimum "K" copper water service tap to the new building along with a new 6" sanitary sewer lateral (SDR 35 or SCH 40) to the existing 8" sewer main. Maintain a min 2% slope on sewer lateral to the building and indicate on plans.
 8. Water meter to be located inside building with remote reader.
 9. Based upon future plan, how will the water and sewer laterals reach future buildings? Should an 8" water main and 8" sewer main be installed in the middle of the property to provide the laterals? Each new building will require a separate water and sewer lateral.
 10. Provide side yard swale slope information into basin with spot elevations.
 11. Label storm structures on plan view.
 12. Provide a 5 foot wide sidewalk along the frontage, including through the 7" concrete driveway apron, with a 2 foot tree lawn.
 13. Provide details for the emergency overflow for detention basin.
 14. Identify benchmark.
 15. Detention calculation currently under review.
 16. Dimension the parking lot stalls; to be min 9 feet wide by 18 feet long.
 17. Provide building setbacks on plans (measured from overhang).
 18. Provide rip-rap details at all storm sewer outlets, and clearly state the headwall locations.
 19. Provide proposed contours in parking/drive aisle and spot elevations throughout.
 20. Clearly show the limits of the curbing for the parking lot and drive aisle.
 21. Provide roof drain invert at detention basin and slope information.
 22. Provide details that show the existing curb and gutter along SR 73 to be removed and replaced with ODOT type 2 depressed curb and gutter. Provide 7" concrete apron and sidewalk details.

23. Verify the location of the building on C-2.0 Layout Plan on the 70 foot dimensional arrow.
24. Final revised and approved site plan shall be submitted to include all comments by City staff and Planning Commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
25. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
26. The Clearcreek Fire District has no comments at this time.

Discussion:

Chris Hinkel, Dryden Builders and Rick, Gayle and Ricky Relich with Foreign Exchange were present to discuss their application.

Mr. Hinkel stated that he has reviewed all staff comments and he highlighted some of the changes that were made to the site plan regarding fencing, screening and provided an overview of the landscaping.

Mr. Harding referred to comment (K) regarding parking for quick change facilities, clarifying the size of the spaces.

Mr. Hinkel explained that the parking stalls are per code, 9 feet wide and 18 feet deep, noting that their facility is not considered a "quick change" facility since they typically do more extensive repairs.

Mr. Ricky Relich explained that their facility is more routine, scheduled maintenance and not just quick oil changes.

Ms. Iverson confirmed that the 9 foot by 18 foot spaces are acceptable. Mr. Boron stated that was acceptable.

Mr. Dimmitt asked referred to comment (i), asking if they will have trucks larger than one ton, such as the oil trucks that were mentioned previously.

Mr. Rick Relich explained that they plan to have an oil burning unit in the facility that would limit the amount of waste oil that needs to be picked up. He noted that there is not much need for larger trucks to enter the facility.

Mr. Hinkel addressed the lighting issues on comment #2. He explained plans to comply with all the requirements of the lighting codes as well as provide cut sheets.

Ms. Iverson asked for clarification on item #3, plans for future buildings.

Mr. Hinkel reviewed the site plan explained plans to utilize existing trees as well as possibly adding some small shrubs to aid in the screening. He noted that some of the landscaping may need to be relocated in the future based on the location of any future buildings.

Mr. Boron explained that without a current commitment to future buildings, the plan needs to comply as much as possible with the UVD provisions, and other buildings would be reviewed at a future date.

Mr. Hinkel was confident that the size of the larger trees will serve as acceptable screening.

He also reviewed plans and photos that addressed comment #4 regarding the proposed awnings as well as plans for additional windows on the south and west side to improve lighting. This should be adequate to comply with the UVD requirements.

Mr. Harding agreed this will be good improvements to dress up the building.

Mr. Hinkel reviewed the drawings and explained that the awnings being proposed will be at the front and side doors rather than all the way across. This will be consistent with the look of the businesses across the street at Wright Station as well as comply with the 4-sided consistency.

Mr. Boron felt that the full awning added more dimension to the building.

Mr. Reilich explained that they saw similar awnings on surrounding business, and also expressed concern with maintenance issues that larger awnings can present.

Ms. Reilich provided sample boards showing additional pictures, colors and materials for the building.

There was additional discussion about other options for the awnings such as metal instead of fabric, or an L-shaped awning around the corner of the building.

Mr. Thompson stated felt that the awnings of the doorway were sufficient and there should not be a problem identifying the front of the building.

Members agreed with this.

Ms. Iverson asked if there were any issues or questions on the remainder of the staff comments, #7-26.

Mr. Hinkel acknowledged they will need to clean up the drawings relative to the water and sewer for any future buildings and agreed to work with the engineering staff to resolve this. He discussed some preliminary plans such as the size of water lines and the possible need for additional meters.

Mr. Boron referred to staff comment #3, noting that the UVD requirements need to be fulfilled based on the stand alone building at this time, and staff can work with the applicant on the landscaping lighting, as well as items 7-26.

Mr. Pearson clarified that the awning question was resolved.

Mr. Davis understood it was agreed that the awning could be above the doors as presented tonight.

Mr. Hinkel also noted that a survey team is working on flag placement, soil work and property lines. He explained that there is some overhead electric service and are still trying to locate any easement documents from Duke. This issue may need to be addressed in order to meet the build-to line requirements.

Mr. Boron agreed some of this is unknown and will be addressed in the future, and could result in a revision to the plan later.

Ms. Iverson asked for a motion for approval of the Site Plan for 95 West Central Ave., proposed vehicle service facility for Foreign Exchange, Avenue contingent on complying with the staff comments as discussed, and the omission of staff comment 4 (a).

Mr. Pearson motioned to approve. Mr. Davis seconded the motion.

Vote: Davis, yes; Dimmitt, yes; Iverson, yes; Pearson, yes; Thompson, yes; Harding, yes; (6-0)

IV. Guest Comments

None.

V. Planning Commission and Staff Comments

Ms. Iverson reported that at the last Council meeting, the developer agreed to remove the apartments from the Easton Development plan, and she just wanted to thank staff and the Planning Commission for all the hours that were put in on these discussions

Mr. Harding also thanked Ms. Iverson for standing up for the Planning Commission and the process that is involved.

Mr. Boron stated that next Planning Commission meeting is scheduled for October 13th and the deadline is Friday, September 24th.

Mr. Harding asked when the Easton Development Plan could be coming back to the Planning commission.

Mr. Boron explained that if and after the City Council approves the recommendation after the 3rd reading, the Planning Commission could then see a final development plan shortly thereafter. It is likely that the plan will have a phased approach to the development and the Planning Commission will see each phase.

Adjournment

*Mr. Harding motioned to adjourn the September 8, 2021 Planning Commission Meeting at 7:15p.m.
Mr. Dimmitt seconded the motion.*

Vote: Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Thompson, yes; Davis, yes. (6-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary

WOODLAND GREENS HOMEOWNERS ASSOCIATION
OBJECTIONS TO THE APPLICATION OF
BEEHIVE ASSISTED LIVING
FOR THE ADDITION OF THE ASSISTED LIVING FACILITY, PHASE TWO,
LOCATED AT 1325 LYTLE-FIVE POINTS ROAD
PARCEL NO. 04081010290

On or about June 21, 2021, James Alt, as the agent of Beehive Assisted Living and Seva Group, LLC, the owner of Parcel No. 04081010290, commonly known as 1325 Lytle-Five Points Road in Springboro, Ohio (“Property”), filed an application for approval of a site plan for a 31,000 square foot building for use as an assisted living and physical therapy facility. A copy of the first page of the application is attached hereto as Exhibit 1. The Woodland Green’s Homeowners Association represents homeowners who have property adjacent to the Property and desire to file with the Planning Commission of Springboro these formal objections to the granting of the application because the facility is contrary to the written provisions and spirit of the Zoning Code of Springboro.

The Springboro Zoning Code in section 1261.09(b) states “[n]o building or structure or part thereof shall hereafter be erected, constructed, reconstructed, moved or structurally altered, except in conformity with all of the regulations specified in this Zoning Code for the district in which it is located. The Zoning Map of Springboro, Ohio lists the Property as O-R, which is defined in Zoning Code Section 1261.01 and Table 3 as Office Residential District. Zoning Code Section 1261.08(d) defines the Office-Residential District as follows:

- (1) Purpose. The purpose of the O-R District is to provide for a mixture of residential uses, and **small-scale** professional offices (emphasis added).
- (2) Intent. The intent of the O-R District is to act as a transition between established residential neighborhoods and non-residential areas. Development

should reflect a **residential scale** and not generate or create traffic or noise detrimental to the adjoining neighborhoods (emphasis added).

The Springboro Zoning Code does not specifically define small-scale or residential scale.

Although there are no definitions of the above referenced terms, the past history of Springboro leads to the inescapable conclusion that small-scale and residential scale means building containing less than 10,000 square feet¹. Exhibit 2 attached hereto is an excerpt of the Springboro Zoning Map displaying the O-R area surrounding the Property in the area of SR 741. In this area, there are 30 areas or sections with the designation O-R. Exhibit 3 is a spreadsheet listing these areas/properties, information pertaining to those properties, and the square footage of the buildings upon those properties summarized from the information available at the Warren County Auditor's office². The documentation upon which this summary is created is contained in Exhibits 4-40 also attached hereto (the numbers in the first column are the exhibit number, and the numbers in the second column of Exhibit 3 correspond to O-R area with the numbers superimposed on Exhibit 2 for point of reference). Additionally, specific homeowners Jane Van Maldeghem, George Coppock, and Elizabeth Coppock provide additional comments in Exhibits 41, 42, and 43 attached hereto.

A brief review of Exhibit 3 demonstrates the 34 buildings in this O-R Zone have square footages ranging from 586 square feet to 9112 square feet, all being less than 10,000

¹ The only aberration to this is the Beehive Assisted Living facility, phase 1, which is 15,903 square feet at 1325 Lytle Five Points Road.

² The four areas at the southeast corner of SR 741 and Lytle Five Points Road, which are in a different Zoning District, were also included (Exhibits 4-7).

square feet¹. Clearly, the 32 buildings allowed in this O-R district before the Beehive Assisted Living facility, phase 1, were consistent with small scale or residential scale.

The Beehive Assisted Living facility, phase 1, on the Property at 15,903 square feet is an aberration from the Zoning Code and the previous actions of the City of Springboro. In our opinion, the granting of the approval of phase 1 of the Beehive Assisted Living facility was incorrect, and doubling down by approving a 31,000 square foot second facility only compounds the problem. There is nothing “small scale” about a 31,000 square foot building, which is contrary to the word and spirit of the Zoning regulations for the O-R district. The requested application for a 31,000 square foot building in the O-R district is non-compliant with the Zoning code.

No building in Springboro can be built unless it is in compliance with all of the regulations specified in this Zoning Code for the district in which it is located. Zoning Code section 1261.09(b). The Planning Commission can only approve site plans that conform to the Zoning Code. In this matter, the application of Beehive Assisted Living and Seva Group, LLC for a 31,000 square foot building in the O-R district conflicts with “small-scale professional offices” and “residential scale” to prevent its approval. For the reasons stated above, the Woodland Greens Homeowners Association requests the Planning Commission deny the application because it is not in compliance with the Springboro Zoning Code.

Respectively submitted,

/s/ Patrick J. Janis

Patrick J. Janis (0012194) Of Counsel

Wayne E. Waite (0008352)

WAITE, TOMB & EBERLY

124 West Main Street

Troy, Ohio 45373

Phone: (937) 339-3939

Fax: (937) 440-1659

pjjanis@helpinohio.com

wwaite@helpinohio.com

Attorneys for the Woodland Greens HOA

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME:

JAMES M. ALT

Address

STE B 2440 DAYTON KENIA RD

BEAVERCREEK, OH 45434

Telephone No.

(937) 477 2977

Fax No.

(-) -

Email Address

jalt@altarchitecture.com

PROPERTY OWNER NAME (IF OTHER):

SEVA GROUP, LLC, ATTN SEAN BARRY

Address:

1325 Lytle - Five Points Rd

Springboro, OH 45066

Telephone No.

(614) 226 7638

Property Address or General Location:

1325 Lytle-Five Points Rd

Parcel Number(s):

04081010290 (04081010280)

Zoning District:

O-R

Proposed Use:

Assisted Living and Physical Therapy

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)



JAMES M. ALT

Printed Name

(Date)

2021-06-21

EXHIBIT 2

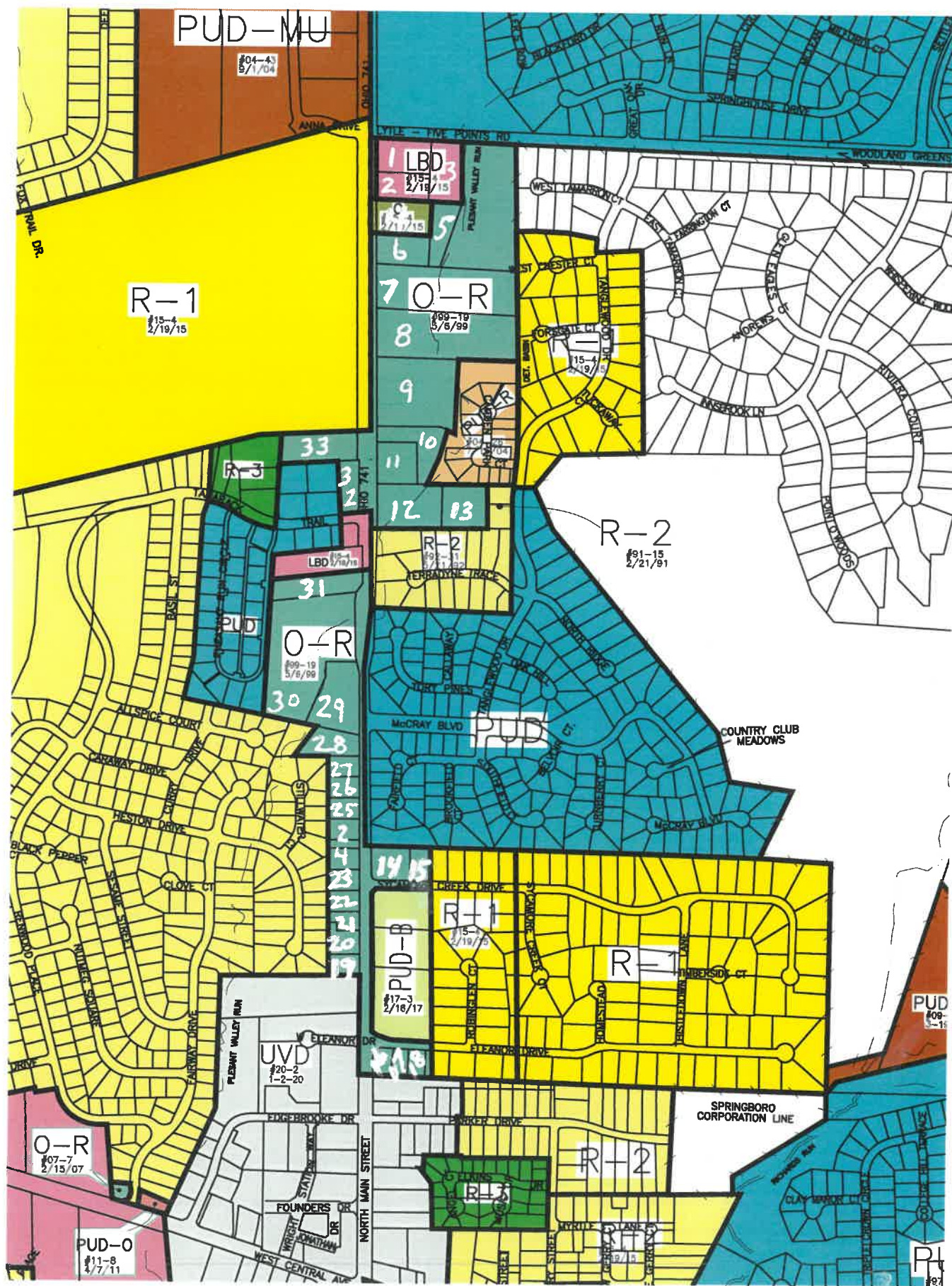


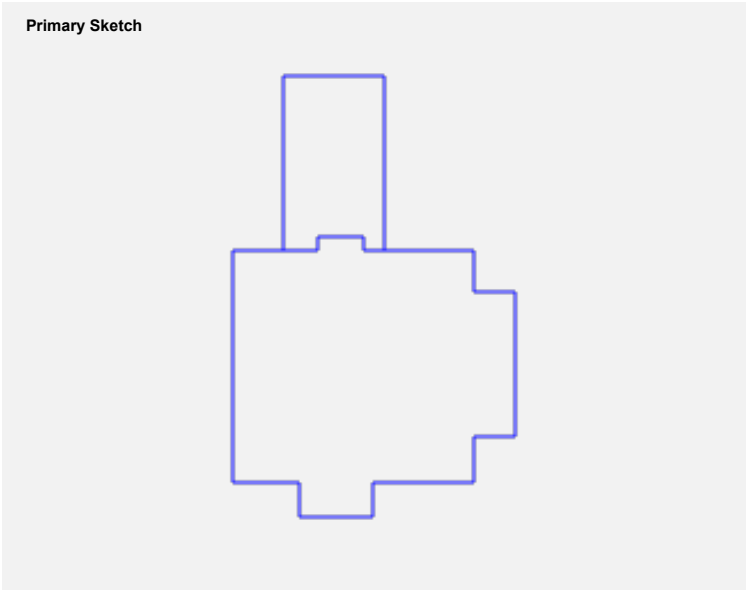
EXHIBIT 3

Exhibit	Number Exhibit 2	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
4	1	551864	408101012	KeyBank	690 n. Main St.	3200	
5	2	520365	408101011	Settlers Station	662 N. Main St.	8400	
6	3	551865	408101010	QGH Ltd.	W Lytle Five Points	Vacant	
7	4	552142	408101013	National City	650 N. Main St.	4054	
8	5	549649	408101015	QGH LFP SR bus. P	N Min Street	Vacant	
9	6	552655	4081010162	Miami Valley	630 N. Main St.	NO TAX	
10	7	552557	408101025	7 for 1 LLC	620 N. Main St.	7200	
	7	552633	408101024	Stokes Reserve	610 N. Main St.	3647	
	7	518417	408101023	Boro Investments	N. Main St.	Vacant	
11	8	518263	408100027	Eddie & Judy Lawson	590 N. Main St.	1716	
12	9	552641	408100053	Stryder LLC	582 N. Main St.	3056	
	9	552642	408100054	Dayton Eye II LLC	580 N. Main St.	3091	9112
	9	552475	408100049	Midwest Spine	578 N. Main St.	2965	
13	9	552333	408100045	Emadi LLC	576 N. MainSt.	3672	
	9	552334	408100046	Emadi LLC	574 N. Main St.	2568	6240

Exhibit	Number	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
14	9	551998	408100042	Saleh Enter	572 N. Main St.	3438	7214
	9	551997	408100041	Shadow Company of Sp	568 N. Main St.	3776	
15	9	552130	408100044	Raj Kulkarni	566 N. Main Street	2852	6196
	9	552129	408100043	B&J's Professional Bld	564 A N.Main St.	3344	
16	9	549517	408100032	SABR Inv. Ltd	562 N. Main St.	5274	
17	10	552335	408100047	Menrisky Inv. LLC	550 N. Main St.	4400	
18	11	550612	408169032	North Key Inc.	512 N. Main St.	2520	
19	12	550130	408169034	City of Springboro	510 N. Main St.	586	
20	13	518247	408169026	Tim & Kath Stonecash	N Tanglewood Dr.	Vacant	
	13	518255	408169206	Tim & Kath Stonecash	N Tanglewood Dr.	Vacant	
21	14	537012	408351032	TPG Inv. LLC	4 Sycamore Creek Dr.	4896	
	14	550338	408351029	6 Sycamore Creek Dr.	6 Sycamore Creek Dr.	4609	
22	15	528102	408351028	BAE Prop LLC	8 Sycamore Creek Dr.	3200	
23	16	520519	408355012	City of Springboro	5 Eleanor Dr.	Vacant	
24	17	520527	4083550002	Eliz & Robt Rudd	15 Eleanor Dr.	2464	
25	18	506389	4083550003	Gary & Anita Canterbury		2139	

Exhibit	Number	Account No.	Parcel	Owner	Address	Square Footage	Units in one Building
26	19	526819	414479027	Maple Leaf Funding	235 N. Main St.	2061	
27	20	526797	414479031	Pro Four PLL	245 N. Main St.	7200	
	20	526789	414479031	Pro Four PLL	N. Main	Vacant	
28	21	550073	414479033	Rico Inv. LLC	255 N. Main	1384	
29	22	526762	414479029	James Walden	265 N. Main St.	2294	
30	23	526754	414479025	AG Real Estate Inv. LLC	275 N. Main St.	2856	
31	24	526746	414479053	Music Limited Part.	325 N. Main	7776	
32	25	526711	414426020	Lydia Siddens	335 N. Main St.	4448	
33	26	526703	414426024	Jcubed LLC	345 N Main St.	4310	
34	27	526681	414426022	Tri State CPAS LLC	355 N. Main St.	2662	
35	28	526673	414426018	Ramm Properties LLC	365 N. Main St.	3500	
36	29	526843	414426030	Music Ltd. Part.	405 N.Main St.	2924	
37	30	542539	414426028	Miami Presbytery	415 N. Main St.	8653	
38	31	530980	414252098	Global Technologies	465 N. Main St.	2520	
39	32	536016	414253044	Rainbow Rascals	505 N. Main St.	5027	
40	33	518336	414253049	Colleen Bossi Co LLC	535 N. Main St.	7686	

Parcel ID	0408101012	Current Owner	KEYBANK NATIONAL ASSOCIAT	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551864	Property Address	690 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.4457 ACRES	State Use Code	0444 - FULL SERVICE BANK	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/17/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$453,410	\$158,690
BUILDING	\$410,800	\$143,780
TOTAL	\$864,210	\$302,470
CAUV	\$0	-

0551864

Commercial Building Details

Building 1 of 1



Building Detail

2004

GOOD

Pricing Ladder

84.89

Special Features

Value

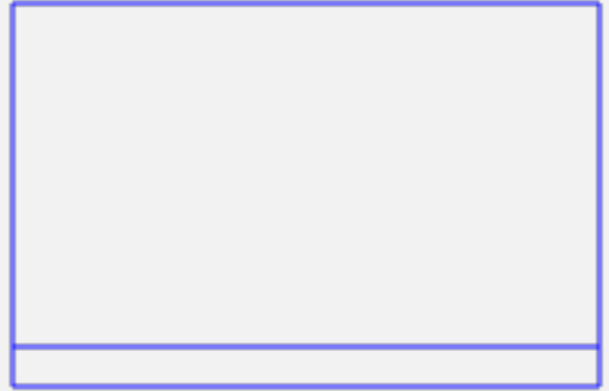


Parcel ID	0408101011	Current Owner	SETTLERS STATION	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0520365	Property Address	662 N MAIN ST SPRINGBORO (662-680) 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-8 1.065 ACRES	State Use Code	0425 - NEIGHBORHOOD SHOPPING CENTER	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	12/03/2020	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$556,690	\$194,840
BUILDING	\$688,400	\$240,940
TOTAL	\$1,245,090	\$435,780
CAUV	\$0	-

Parcel ID	0408101011	Current Owner	SETTLERS STATION	Account Number	0520365
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

120'

70'

A

120'

8'

B

120'

Sketch Details

A	BRICK	1 STORY	8400
B	BRICK	CANOPY	960

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	COMM	Grade	B
Perimeter	380 Feet	Condition	GOOD
Year Built	2005		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	26,400.00
1st Floor	16 ft	65.60	Interior Finish	0.00	Features	10,560.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	612,190.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		0.00	Square Foot Price	68.48	Replacement Value	746,870.00
Wall Height Adjustment		2.88	Area	8400 Sq. Ft.	Physical Depreciation %	10
Base Price		68.48	SubTotal	575,230.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		68.48			True Value	672,200.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 960 SF			0	0	960	0	0	00		11	0



Parcel ID	0408101010	Current Owner	QGH LTD.	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551865	Property Address	W LYTLE-FIVE POINTS RD SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.678 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/05/2003	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$397,440	\$139,100
BUILDING	\$0	\$0
TOTAL	\$397,440	\$139,100
CAUV	\$0	-

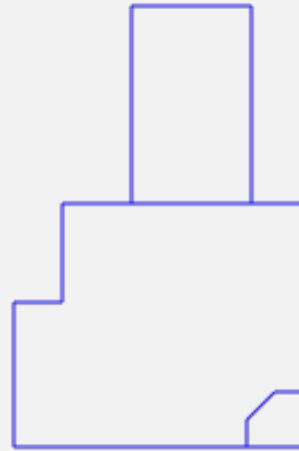


Parcel ID	0408101013	Current Owner	NATIONAL CITY BANK	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552142	Property Address	650 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.4651 ACRES	State Use Code	0444 - FULL SERVICE BANK	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$781,250	Bedrooms	0
Last Sale Date	08/23/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

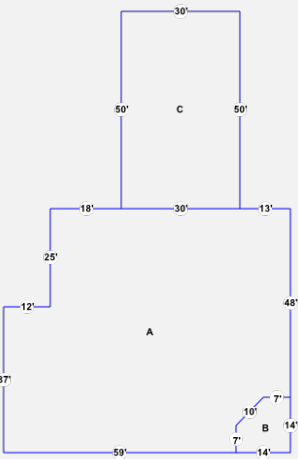
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$425,800	\$149,030
BUILDING	\$425,700	\$149,000
TOTAL	\$851,500	\$298,030
CAUV	\$0	-

Parcel ID	0408101013	Current Owner	NATIONAL CITY BANK	Account Number	0552142
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	BRICK	1 STORY	4054
B	STUCCO & FR.	CANOPY	172
C	BRICK	CANOPY	1500

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	BANK	Grade	B+10
Perimeter	266 Feet	Condition	GOOD
Year Built	2005		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	4,800.00
1st Floor	16 ft	86.69	Interior Finish	0.00	Features	41,780.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	398,910.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	135
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.23	Square Foot Price	86.91	Replacement Value	538,530.00
Wall Height Adjustment		2.45	Area	4054 Sq. Ft.	Physical Depreciation %	15
Base Price		86.91	SubTotal	352,330.00	Obsolescence Dep. %	10
BPA %		100			Influence %	0
Sub Total		86.91			True Value	412,000.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
5	DRIVE UP WINDOW			0	0	0	0	0	00		0	0
7	NIGHT DEPOSITORY			0	0	0	0	0	00		0	0
99	CAN ADDN 172 SF			0	0	172	0	0	00		15	0
99	CAN ADDN 1500 SF			0	0	1500	0	0	00		15	0



Parcel ID	0408101015	Current Owner	QGH LFP-SR 741 BUSINESS P	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0549649	Property Address	N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.0776 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	03/08/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$16,810	\$5,880
BUILDING	\$0	\$0
TOTAL	\$16,810	\$5,880
CAUV	\$0	-

Warren County Ohio



WARREN COUNTY

Property Search

Property Summary

[Printable Property Report](#)

Parcel ID		Current Owner	Property Value As Of	01-01-2020
Parcel Seq				
Account Number	0000000	Property Address	Ownership As Of	08-17-2021
			Tax Data As Of	08-17-2021
Legal Description	0 ACRES	State/Use Code	Census Tract	0
Tax District		Neighborhood ID	Ohio Public School District Number	0
		School District	Click Here For Neighborhood Sales	

Summary

[Building Details](#)
[Tax Info](#)
[Payments/Refunds](#)
[Tax Bill](#)
[Sales History](#)
[Value History](#)
[Land Records](#)
[Outbuildings](#)
[Yard Items](#)
[Memos](#)

Warren County Ohio

Summary

View Photos

**No Sketch Found
For Selected Property**

Click on sketch to view details



Click image to link to map

Warren County Ohio

Value Summary**CURRENT VALUE AS OF 01-01-2020**

Valuation	True Value	Assessed Value
Land	\$0	\$0
Building	\$0	\$0
Total	\$0	\$0
CAUV	\$0	-

Tax Summary**Tax Year 2020**

2020 v

	First Half	Second Half	Delinquent	Total Charge
Total Net Tax	\$0.00	\$0.00	\$0.00	\$0.00
Penalty	\$0.00	\$0.00	\$0.00	\$0.00
Special Assessments	\$0.00	\$0.00	\$0.00	\$0.00
SA Penalty	\$0.00	\$0.00	\$0.00	\$0.00
Adders	\$0.00	\$0.00	\$0.00	\$0.00
Remitters	\$0.00	\$0.00	\$0.00	\$0.00
Paid	\$0.00	\$0.00	\$0.00	\$0.00
Refunded	\$0.00	\$0.00	\$0.00	\$0.00
Due	\$0.00	\$0.00	\$0.00	\$0.00
Aug Tax Interest				\$0.00
Aug SA Interest				\$0.00
Dec Tax Interest				\$0.00
Dec SA Interest				\$0.00
Def Tax Interest				\$0.00
Def SA Interest				\$0.00



Parcel ID	0408101023	Current Owner	BORO INVESTMENTS	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0518417	Property Address	N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-8 2.7505 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	09/21/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$214,540	\$75,090
BUILDING	\$0	\$0
TOTAL	\$214,540	\$75,090
CAUV	\$0	-

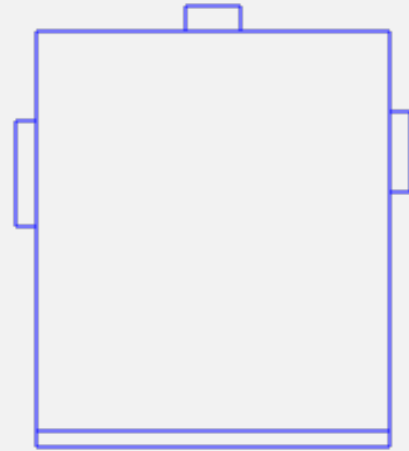


Parcel ID	0408101025	Current Owner	7 FOR 1 LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552557	Property Address	620 N MAIN ST SPRINGBORO (620-626) 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 0.9946 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$220,000	Bedrooms	0
Last Sale Date	08/10/2009	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2009	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$211,210	\$73,920
BUILDING	\$512,600	\$179,410
TOTAL	\$723,810	\$253,330
CAUV	\$0	-

Parcel ID	0408101025	Current Owner	7 FOR 1 LLC	Account Number	0552557
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

A

Sketch Details

A	BRICK	1 STORY	7200
B	FRAME	CANOPY	120
C	FRAME	CANOPY	72
D	FRAME	CANOPY	90
E	FRAME	CANOPY	320

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICES	Grade	B
Perimeter	340 Feet	Condition	GOOD
Year Built	2009		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	10,800.00
1st Floor	10 ft	61.92	Interior Finish	0.00	Features	6,620.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	433,220.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	57.75	Replacement Value	528,530.00
Wall Height Adjustment		-1.87	Area	7200 Sq. Ft.	Physical Depreciation %	5
Base Price		57.75	SubTotal	415,800.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		57.75			True Value	502,100.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 120 SF			0	0	120	0	0	00		11	0
99	CAN ADDN 72 SF			0	0	72	0	0	00		11	0
99	CAN ADDN 90 SF			0	0	90	0	0	00		11	0
99	CAN ADDN 320 SF			0	0	320	0	0	00		11	0

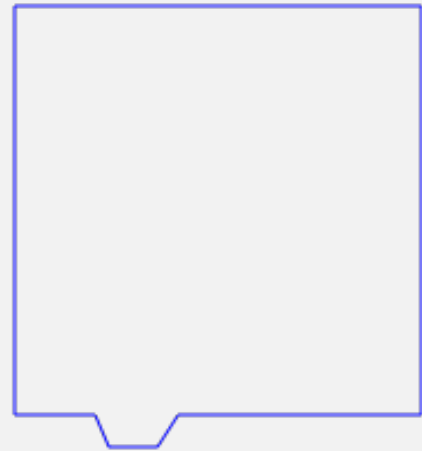


Parcel ID	0408101024	Current Owner	STOKES RESERVE INVESTMENT	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552633	Property Address	610 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.0651 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$450,000	Bedrooms	0
Last Sale Date	01/29/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1990	Total Living Area	0 sq. ft.

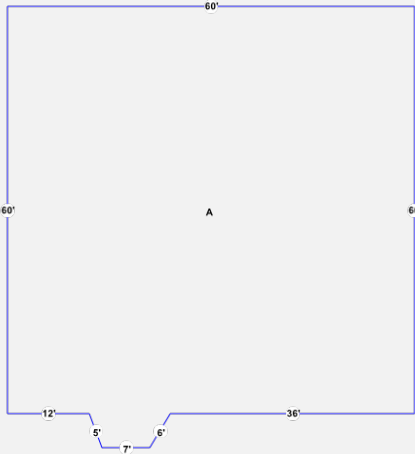
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$241,250	\$84,440
BUILDING	\$198,300	\$69,410
TOTAL	\$439,550	\$153,850
CAUV	\$0	-

Parcel ID	0408101024	Current Owner	STOKES RESERVE INVESTMENT	Account Number	0552633
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	BRICK	1 STORY	3647
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Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICES	Grade	C
Perimeter	246 Feet	Condition	GOOD
Year Built	1990		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	9,600.00
1st Floor	12 ft	66.89	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	253,550.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	100
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		0.00	Square Foot Price	66.89	Replacement Value	253,550.00
Wall Height Adjustment		0.00	Area	3647 Sq. Ft.	Physical Depreciation %	25
Base Price		66.89	SubTotal	243,950.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		66.89			True Value	190,200.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												

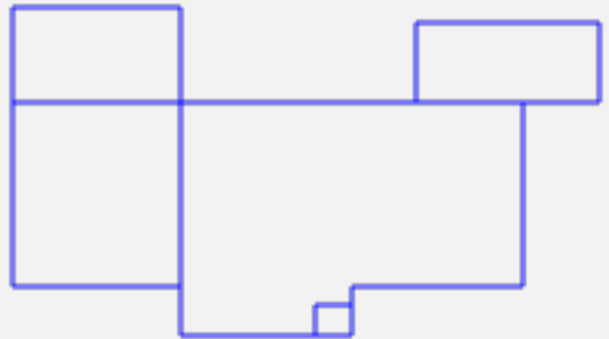


Parcel ID	0408100027	Current Owner	LAWSON EDDIE JR. & JUDITH	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0518263	Property Address	590 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-8 5.174 ACRES	State Use Code	0511 - SGL. FAMILY DWG. 0 TO 9.99 AC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	08/13/1987	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	1,168 sq. ft.
Homestead Exemption	Y	Finished Basement/Attic	601 sq. ft.
Year Built	1951	Total Living Area	1,769 sq. ft.

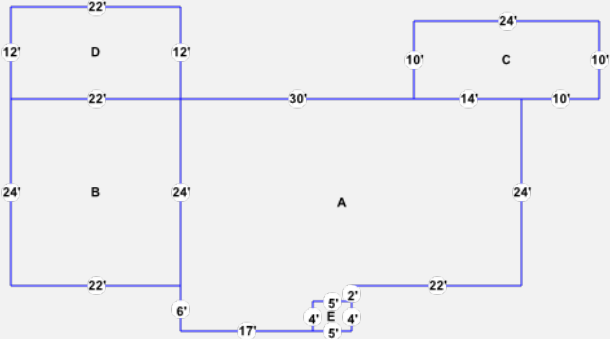
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$134,520	\$47,080
BUILDING	\$127,920	\$44,770
TOTAL	\$262,440	\$91,850
CAUV	\$0	-

Parcel ID	0408100027	Current Owner	LAWSON EDDIE JR. & JUDITH	Account Number	0518263
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	BRICK	1 STORY	1168
B	BRICK	GARAGE	528
C	FRAME	SOLARIUM	240
D	FRAME	CANOPY	264
E	FRAME	ENCLOSE PORCH	20

Occupancy	1 FAMILY UNIT
Construction Year	1951
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	1716 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	123,620.00

Special Features
No Special Features Found



Parcel ID	0408100053	Current Owner	STRYDER LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552641	Property Address	582 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3A LOT: 4-C 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$538,774	Bedrooms	0
Last Sale Date	03/09/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

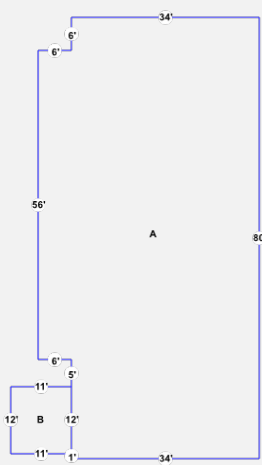
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$91,680	\$32,090
BUILDING	\$371,500	\$130,030
TOTAL	\$463,180	\$162,120
CAUV	\$0	-

Parcel ID	0408100053	Current Owner	STRYDER LLC	Account Number	0552641
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	3056
B	FRAME	CANOPY	132

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFC	Grade	C+10
Perimeter	240 Feet	Condition	GOOD
Year Built	2006		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	0.00
1st Floor	10 ft	69.48	Interior Finish	0.00	Features	1,450.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	197,520.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	64.16	Replacement Value	217,270.00
Wall Height Adjustment		-3.02	Area	3056 Sq. Ft.	Physical Depreciation %	10
Base Price		64.16	SubTotal	196,070.00	Obsolescence Dep. %	0
BPA %		100			Influence %	90
Sub Total		64.16			True Value	371,500.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			11	12	0	0	0	00		11	0

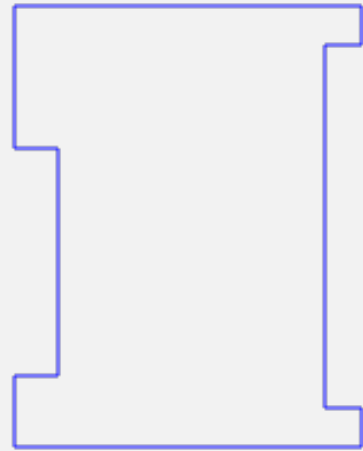


Parcel ID	0408100054	Current Owner	DAYTON EYE II LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552642	Property Address	580 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3A LOT: 4-D 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$463,370	Bedrooms	0
Last Sale Date	12/21/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

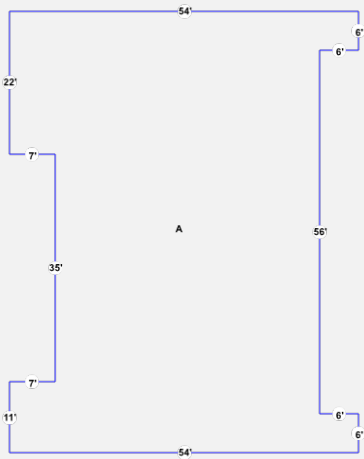
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$92,730	\$32,460
BUILDING	\$340,300	\$119,110
TOTAL	\$433,030	\$151,570
CAUV	\$0	-

Parcel ID	0408100054	Current Owner	DAYTON EYE II LLC	Account Number	0552642
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	3091
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Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFC	Grade	C+10
Perimeter	270 Feet	Condition	GOOD
Year Built	2006		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	9,600.00
1st Floor	10 ft	72.00	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	214,810.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	66.39	Replacement Value	236,290.00
Wall Height Adjustment		-3.31	Area	3091 Sq. Ft.	Physical Depreciation %	10
Base Price		66.39	SubTotal	205,210.00	Obsolescence Dep. %	0
BPA %		100			Influence %	60
Sub Total		66.39			True Value	340,300.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												

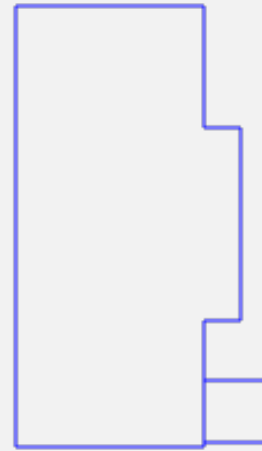


Parcel ID	0408100049	Current Owner	MIDWEST SPINE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552475	Property Address	578 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.3 LOT: 4-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$410,000	Bedrooms	0
Last Sale Date	11/19/2012	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

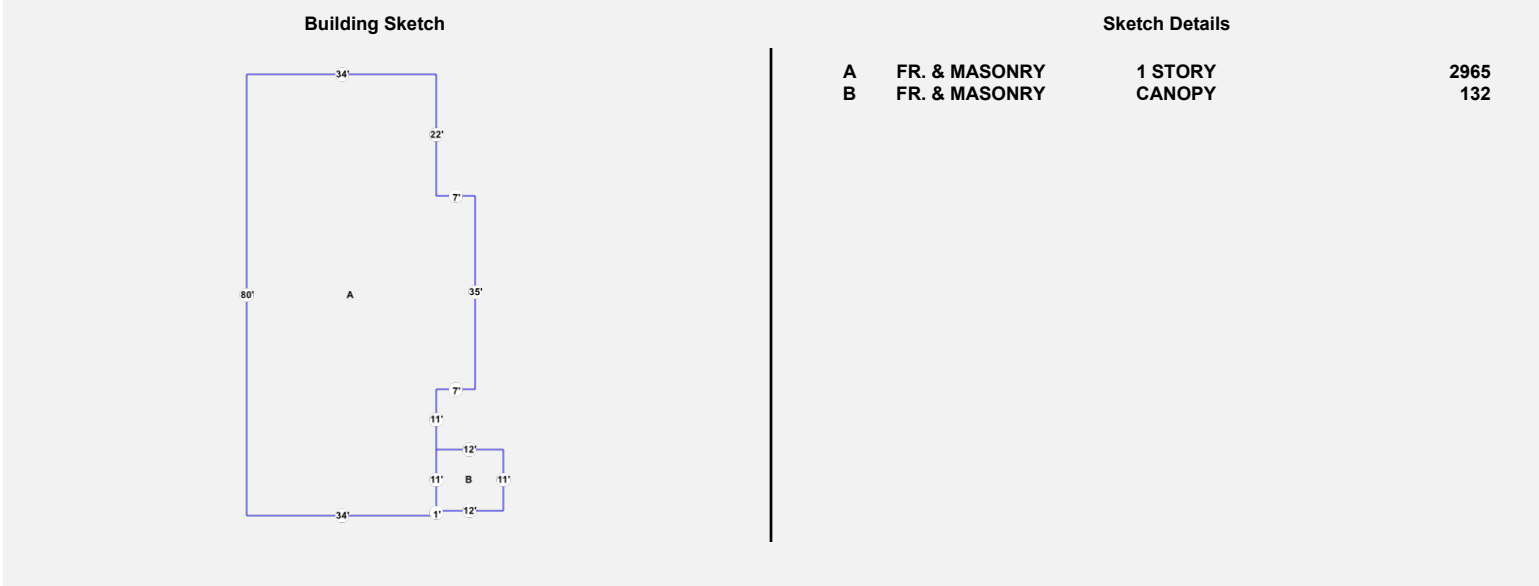
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$88,950	\$31,130
BUILDING	\$302,300	\$105,810
TOTAL	\$391,250	\$136,940
CAUV	\$0	-

Parcel ID	0408100049	Current Owner	MIDWEST SPINE	Account Number	0552475
Parcel Seq	0				

Commercial Building Details

Building 1 of 1



Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFC	Grade	C+10
Perimeter	242 Feet	Condition	GOOD
Year Built	2006		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	16,800.00
1st Floor	10 ft	89.02	Interior Finish	0.00	Features	1,450.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	265,560.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	83.41	Replacement Value	292,120.00
Wall Height Adjustment		-3.02	Area	2965 Sq. Ft.	Physical Depreciation %	10
Base Price		83.41	SubTotal	247,310.00	Obsolescence Dep. %	0
BPA %		100			Influence %	15
Sub Total		83.41			True Value	302,300.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			0	0	132	0	0	00		11	0

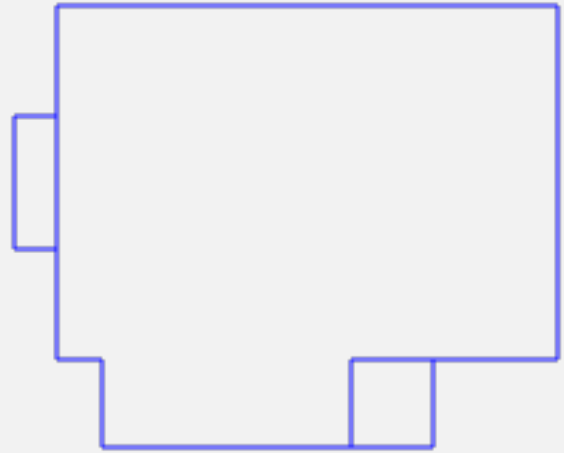


Parcel ID	0408100045	Current Owner	EMADI LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552333	Property Address	576 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRINGBORO OFF.PK.2A LOT: 3-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$681,501	Bedrooms	0
Last Sale Date	06/10/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$110,160	\$38,560
BUILDING	\$533,400	\$186,690
TOTAL	\$643,560	\$225,250
CAUV	\$0	-

Parcel ID	0408100045	Current Owner	EMADI LLC	Account Number	0552333
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	FR. & MASONRY	1 STORY	3672
B	FR. & MASONRY	CANOPY	108
C	FR. & MASONRY	CANOPY	132

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	C+10
Perimeter	256 Feet	Condition	GOOD
Year Built	2005		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	8,400.00
1st Floor	10 ft	82.54	Interior Finish	0.00	Features	2,640.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	299,330.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	78.51	Replacement Value	329,260.00
Wall Height Adjustment		-1.44	Area	3672 Sq. Ft.	Physical Depreciation %	10
Base Price		78.51	SubTotal	288,290.00	Obsolescence Dep. %	0
BPA %		100			Influence %	80
Sub Total		78.51			True Value	533,400.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 132 SF			0	0	132	0	0	00		11	0
99	CAN ADDN 108 SF			0	0	108	0	0	00		11	0

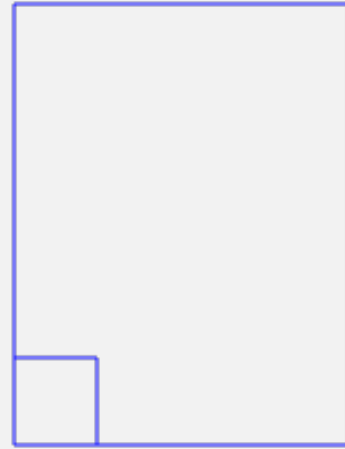


Parcel ID	0408100046	Current Owner	EMADI LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552334	Property Address	574 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-16-2021
				Tax Data As Of	08-16-2021
Legal Description	SPRINGBORO OFF.PK.2A LOT: 3-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$290,000	Bedrooms	0
Last Sale Date	02/25/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2005	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$77,040	\$26,960
BUILDING	\$207,900	\$72,770
TOTAL	\$284,940	\$99,730
CAUV	\$0	-

Parcel ID	0408100046	Current Owner	EMADI LLC	Account Number	0552334
Parcel Seq	0				

Commercial Building Details

Building 1 of 1

Building Sketch

Sketch Details

A	FR. & MASONRY	1 STORY	2568
B	FR. & MASONRY	OPEN PORCH	132

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	C+10
Perimeter	210 Feet	Condition	GOOD
Year Built	2005		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	4,800.00
1st Floor	10 ft	64.51	Interior Finish	0.00	Features	1,450.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	161,560.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	60.48	Replacement Value	177,720.00
Wall Height Adjustment		-1.73	Area	2568 Sq. Ft.	Physical Depreciation %	10
Base Price		60.48	SubTotal	155,310.00	Obsolescence Dep. %	0
BPA %		100			Influence %	30
Sub Total		60.48			True Value	207,900.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 132 SF			0	0	132	0	0	00		11	0

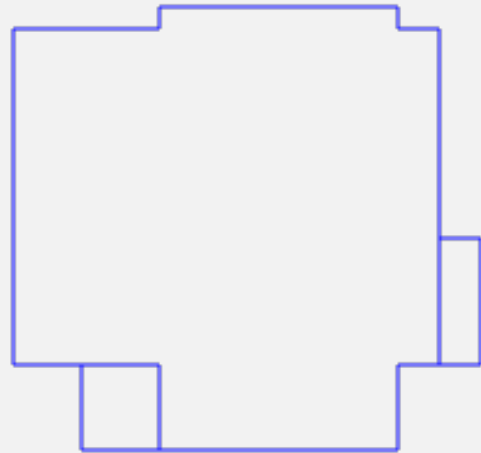


Parcel ID	0408100042	Current Owner	SALEH & SINNATHAMBY ENTER	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551998	Property Address	572 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SPRING.OFF.PRK.CON.2 LOT: 2-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$773,698	Bedrooms	0
Last Sale Date	04/06/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$103,140	\$36,100
BUILDING	\$545,300	\$190,860
TOTAL	\$648,440	\$226,960
CAUV	\$0	-

0551998

Commercial Building Details

Building 1 of 1



Building Detail

2003

GOOD

Pricing Ladder

31.1460.00

5,300.00

Special Features

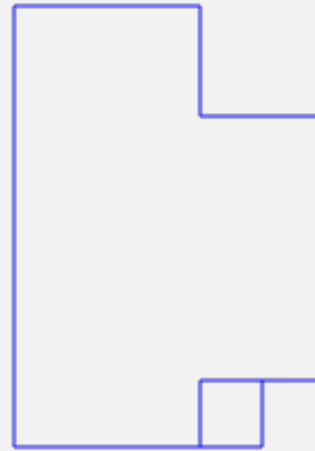


Parcel ID	0408100041	Current Owner	SHADOW COMPANY OF SPRINGB	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0551997	Property Address	568 N MAIN ST SPRINGBORO (568 & 570) 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON.2 LOT: 2-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	5.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$579,800	Bedrooms	0
Last Sale Date	02/02/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$113,280	\$39,650
BUILDING	\$450,800	\$157,780
TOTAL	\$564,080	\$197,430
CAUV	\$0	-

Parcel ID	0408100041	Current Owner	SHADOW COMPANY OF SPRINGB	Account Number	0551997
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

The sketch shows an L-shaped building footprint. The main vertical section is 80' wide and 34' high. The horizontal section is 22' wide and 20' high. The total width is 34' + 22' = 56'. The total height is 80' + 20' = 100'. The area is divided into two sections: A (the main vertical section) and B (the horizontal section). The dimensions for section B are 12' by 11'.

Sketch Details

A	FR. & MASONRY	1 STORY	3776
B	FR. & MASONRY	CANOPY	132

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFC	Grade	C+10
Perimeter	272 Feet	Condition	GOOD
Year Built	2003		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	8,400.00
1st Floor	10 ft	86.18	Interior Finish	0.00	Features	1,450.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	316,240.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	81.14	Replacement Value	347,860.00
Wall Height Adjustment		-2.45	Area	3776 Sq. Ft.	Physical Depreciation %	10
Base Price		81.14	SubTotal	306,390.00	Obsolescence Dep. %	10
BPA %		100			Influence %	60
Sub Total		81.14			True Value	450,800.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 11X12			11	12	0	0	0	00		11	0



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

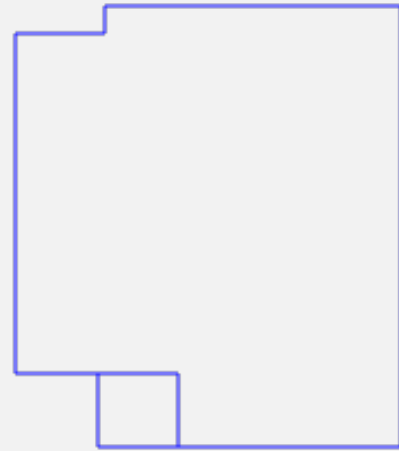
Linda Oda
Recorder

Parcel ID	0408100044	Current Owner	KULKARNI RAJ	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552130	Property Address	566 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON. LOT: 1-B 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$548,986	Bedrooms	0
Last Sale Date	08/10/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$85,560	\$29,950
BUILDING	\$438,900	\$153,620
TOTAL	\$524,460	\$183,570
CAUV	\$0	-

Parcel ID	0408100044	Current Owner	KULKARNI RAJ	Account Number	0552130
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	FR. & MASONRY	1 STORY	2852
B	FR. & MASONRY	CANOPY	110

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	C+10
Perimeter	224 Feet	Condition	GOOD
Year Built	2004		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	7,200.00
1st Floor	10 ft	89.02	Interior Finish	0.00	Features	1,210.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	246,300.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	83.41	Replacement Value	270,930.00
Wall Height Adjustment		-3.02	Area	2852 Sq. Ft.	Physical Depreciation %	10
Base Price		83.41	SubTotal	237,890.00	Obsolescence Dep. %	0
BPA %		100			Influence %	80
Sub Total		83.41			True Value	438,900.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 110 SF			0	0	110	0	0	00		11	0

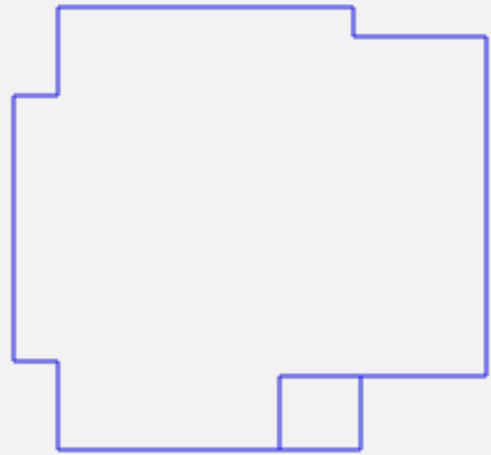


Parcel ID	0408100043	Current Owner	B & J'S PROFESSIONAL BUIL	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552129	Property Address	564 A N MAIN ST SPRINGBORO 45066	Ownership As Of	08-17-2021
				Tax Data As Of	08-17-2021
Legal Description	SPRING.OFF.PRK.CON. LOT: 1-A 0 ACRES	State Use Code	0450 - OFFICE CONDOMINIUM UNIT	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$522,627	Bedrooms	0
Last Sale Date	06/28/2004	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2004	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$100,320	\$35,110
BUILDING	\$403,000	\$141,050
TOTAL	\$503,320	\$176,160
CAUV	\$0	-

Parcel ID	0408100043	Current Owner	B & J'S PROFESSIONAL BUIL	Account Number	0552129
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	FR. & MASONRY	1 STORY	3344
B	FR. & MASONRY	CANOPY	110

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	C+10
Perimeter	248 Feet	Condition	GOOD
Year Built	2004		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	7,200.00
1st Floor	10 ft	78.47	Interior Finish	0.00	Features	1,210.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	254,400.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.47	Square Foot Price	73.56	Replacement Value	279,840.00
Wall Height Adjustment		-2.44	Area	3344 Sq. Ft.	Physical Depreciation %	10
Base Price		73.56	SubTotal	245,990.00	Obsolescence Dep. %	0
BPA %		100			Influence %	60
Sub Total		73.56			True Value	403,000.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 110 SF			0	0	110	0	0	00		11	0

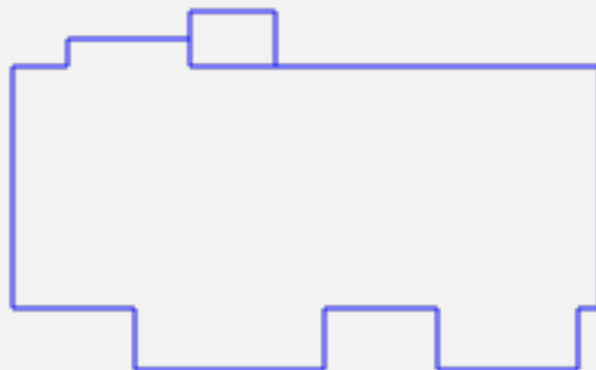


Parcel ID	0408100032	Current Owner	SABR INVESTMENTS LTD	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0549517	Property Address	562 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 0.7424 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	02/05/2016	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2003	Total Living Area	0 sq. ft.

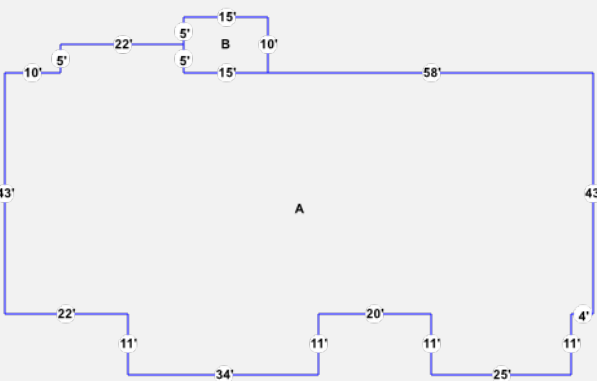
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$210,200	\$73,570
BUILDING	\$455,400	\$159,390
TOTAL	\$665,600	\$232,960
CAUV	\$0	-

Parcel ID	0408100032	Current Owner	SABR INVESTMENTS LTD	Account Number	0549517
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	BRICK	1 STORY	5274
B	FR. & MASONRY	CANOPY	150

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFCS	Grade	C+10
Perimeter	350 Feet	Condition	GOOD
Year Built	2003		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	16,800.00
1st Floor	10 ft	86.18	Interior Finish	0.00	Features	1,650.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	446,380.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	110
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	81.14	Replacement Value	491,020.00
Wall Height Adjustment		-2.45	Area	5274 Sq. Ft.	Physical Depreciation %	10
Base Price		81.14	SubTotal	427,930.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		81.14			True Value	441,900.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 10X15			0	0	150	0	0	00		11	0

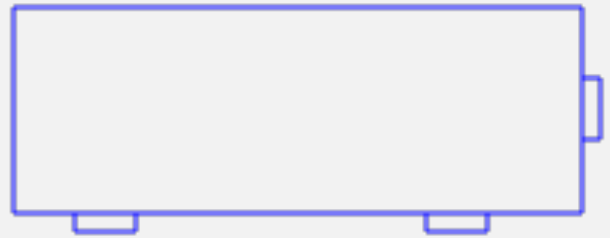


Parcel ID	0408100047	Current Owner	MENRISKY INVESTMENTS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0552335	Property Address	550 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.53 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	10/30/2013	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2008	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$238,260	\$83,390
BUILDING	\$348,900	\$122,120
TOTAL	\$587,160	\$205,510
CAUV	\$0	-

Parcel ID	0408100047	Current Owner	MENRISKY INVESTMENTS LLC	Account Number	0552335
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	4400
B	FRAME	CANOPY	48
C	FRAME	CANOPY	48
D	FRAME	CANOPY	48

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICES	Grade	B
Perimeter	300 Feet	Condition	GOOD
Year Built	2008		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	7,200.00
1st Floor	10 ft	66.89	Interior Finish	0.00	Features	1,580.00
2nd Floor	8 ft	3.33	Divided Walls	0.00	Total Base	292,010.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.68	Square Foot Price	64.37	Replacement Value	356,250.00
Wall Height Adjustment		-3.17	Area	4400 Sq. Ft.	Physical Depreciation %	5
Base Price		64.37	SubTotal	283,230.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		64.37			True Value	338,400.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	(3) CAN ADDNS 4X12			0	0	48	3	0	00		11	0

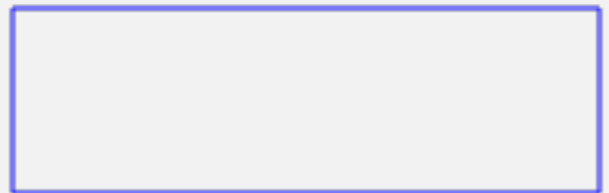


Parcel ID	0408169032	Current Owner	NORTH KEY INC.	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550612	Property Address	512 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.336 ACRES	State Use Code	0401 - APARTMENTS 4 TO 19 UNITS	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	01/11/1999	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,520 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1962	Total Living Area	2,520 sq. ft.

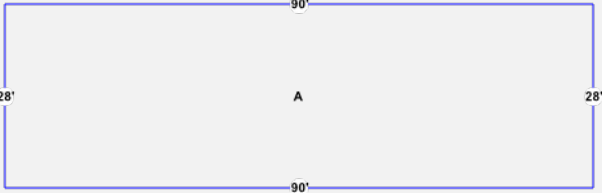
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$45,000	\$15,750
BUILDING	\$211,900	\$74,170
TOTAL	\$256,900	\$89,920
CAUV	\$0	-

Parcel ID	0408169032	Current Owner	NORTH KEY INC.	Account Number	0550612
Parcel Seq	0				

Residential Building Details
Building 1 of 2

Building Sketch



Sketch Details

A

BRICK

1 STORY

2520

Occupancy	3 FAMILY UNIT
Construction Year	1962
Remodel Year 1	0
Remodel Year 2	0
Condition	AVERAGE
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	0
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	RADIANT
Heat Source	ELECTRICAL
Central Air Conditioning	NO
Full Baths	3
Half Baths	2
True Value	105,850.00

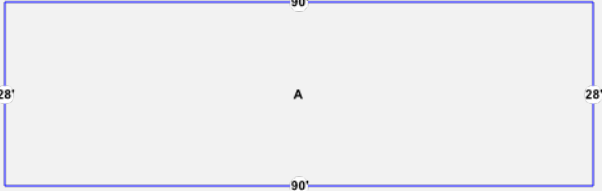
Special Features

No Special Features Found

Parcel ID	0408169032	Current Owner	NORTH KEY INC.	Account Number	0550612
Parcel Seq	0				

Residential Building Details
Building 2 of 2

Building Sketch



Sketch Details

A

BRICK

1 STORY

2520

Occupancy	3 FAMILY UNIT
Construction Year	1965
Remodel Year 1	0
Remodel Year 2	0
Condition	AVERAGE
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	0
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	RADIANT
Heat Source	ELECTRICAL
Central Air Conditioning	NO
Full Baths	3
Half Baths	2
True Value	105,850.00

Special Features

No Special Features Found

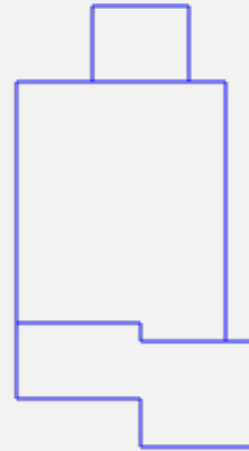


Parcel ID	0408169034	Current Owner	CITY OF SPRINGBORO	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550130	Property Address	510 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-8 1.745 ACRES	State Use Code	0640 - EXEMPT OWNED BY MUNICIPALITIES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	04/16/2013	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2015	Total Living Area	0 sq. ft.

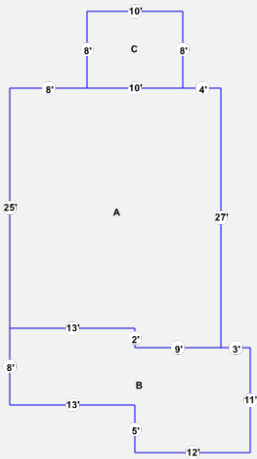
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$174,500	\$61,080
BUILDING	\$36,800	\$12,880
TOTAL	\$211,300	\$73,960
CAUV	\$0	-

Parcel ID	0408169034	Current Owner	CITY OF SPRINGBORO	Account Number	0550130
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FRAME	1 STORY	568
B	FRAME	CANOPY	236
C	FRAME	CANOPY	80

Building Detail

Occupancy Code	EXEMPT	Remodel Year	0
Building ID	BIKING	Grade	**
Perimeter	98 Feet	Condition	GOOD
Year Built	2015		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	0.00
1st Floor	0 ft	0.00	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	0.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	0
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		0.00	Square Foot Price	0.00	Replacement Value	0.00
Wall Height Adjustment		0.00	Area	568 Sq. Ft.	Physical Depreciation %	0
Base Price		0.00	SubTotal	0.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		0.00			True Value	0.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												



Parcel ID	0408169026	Current Owner	STONECASH TIMOTHY & KATH	Value As Of	01-01-2020
Parcel Seq	1				
Account Number	0518247	Property Address	N TANGLEWOOD DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-8 0.454 ACRES	State Use Code	0501 - RES. VAC. LAND- 0 TO 9.99 AC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$90,000	Bedrooms	0
Last Sale Date	03/12/1986	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$5,450	\$1,910
BUILDING	\$0	\$0
TOTAL	\$5,450	\$1,910
CAUV	\$0	-



Parcel ID	0408169026	Current Owner	STONECASH TIMOTHY & KATH	Value As Of	01-01-2020
Parcel Seq	2				
Account Number	0518255	Property Address	N TANGLEWOOD DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-8 1.559 ACRES	State Use Code	0501 - RES. VAC. LAND- 0 TO 9.99 AC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	03/12/1986	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$18,710	\$6,550
BUILDING	\$0	\$0
TOTAL	\$18,710	\$6,550
CAUV	\$0	-



Parcel ID	0408351032	Current Owner	TPG INVESTMENTS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0537012	Property Address	4 SYCAMORE CREEK DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: PT. 113 0.6044 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$650,000	Bedrooms	0
Last Sale Date	07/25/2014	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1995	Total Living Area	0 sq. ft.

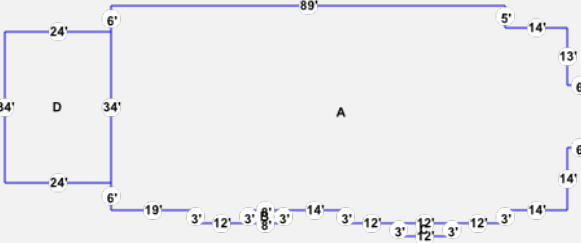
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$197,450	\$69,110
BUILDING	\$434,100	\$151,940
TOTAL	\$631,550	\$221,050
CAUV	\$0	-

Parcel ID	0408351032	Current Owner	TPG INVESTMENTS LLC	Account Number	0537012
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	4896
B	FRAME	OPEN PORCH	24
C	FRAME	OPEN PORCH	36
D	FR. & MASONRY	1 STORY	816

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	B
Perimeter	322 Feet	Condition	GOOD
Year Built	1995		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	7,200.00
1st Floor	12 ft	62.64	Interior Finish	0.00	Features	108,790.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	411,420.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	60.34	Replacement Value	501,930.00
Wall Height Adjustment		0.00	Area	4896 Sq. Ft.	Physical Depreciation %	15
Base Price		60.34	SubTotal	295,430.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		60.34			True Value	426,600.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
23	OFP			3	12	0	0	0	13		0	0
23	OFP			3	8	0	0	0	13		0	0
1	MEZZANINE OFFICE	1	F3	16	24	384	0	0	13	A	0	0
25	BLDG ADDN	01		24	34	816	0	0	24		115.5	0



Parcel ID	0408351029	Current Owner	6 SYCAMORE CREEK DRIVE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550338	Property Address	6 SYCAMORE CREEK DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: PT. 113 0.4239 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	06/14/2005	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1997	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$101,560	\$35,550
BUILDING	\$522,700	\$182,950
TOTAL	\$624,260	\$218,500
CAUV	\$0	-

Parcel ID	0408351029	Current Owner	6 SYCAMORE CREEK DRIVE	Account Number	0550338
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	4609
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Building Detail

Occupancy Code	GCM	Remodel Year	2011
Building ID	MED OFC	Grade	A
Perimeter	315 Feet	Condition	GOOD
Year Built	1997		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	14,400.00
1st Floor	9 ft	86.18	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	382,750.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	150
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	79.92	Replacement Value	574,130.00
Wall Height Adjustment		-3.67	Area	4609 Sq. Ft.	Physical Depreciation %	10
Base Price		79.92	SubTotal	368,350.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		79.92			True Value	516,700.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												

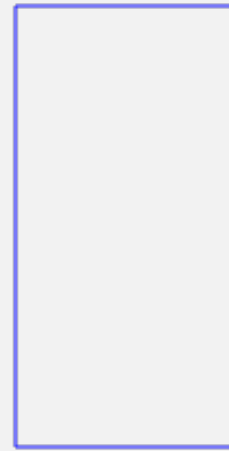


Parcel ID	0408351028	Current Owner	BAE PROPERTIES LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0528102	Property Address	8 SYCAMORE CREEK DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS 5 LOT: 113-PT 0.55 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	04/13/2000	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1993	Total Living Area	0 sq. ft.

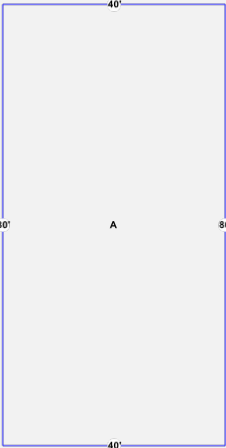
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$131,770	\$46,120
BUILDING	\$287,500	\$100,630
TOTAL	\$419,270	\$146,750
CAUV	\$0	-

Parcel ID	0408351028	Current Owner	BAE PROPERTIES LLC	Account Number	0528102
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A

BRICK

1 STORY

3200

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFC	Grade	B
Perimeter	240 Feet	Condition	GOOD
Year Built	1993		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	6,000.00
1st Floor	10 ft	89.02	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	272,910.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	83.41	Replacement Value	332,950.00
Wall Height Adjustment		-3.02	Area	3200 Sq. Ft.	Physical Depreciation %	15
Base Price		83.41	SubTotal	266,910.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		83.41			True Value	283,000.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												



Parcel ID	0408355012	Current Owner	CITY OF SPRINGBORO THE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0520519	Property Address	5 ELEANOR DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: PT. 1 0 ACRES	State Use Code	0640 - EXEMPT OWNED BY MUNICIPALITIES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048008	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$16,000	Bedrooms	0
Last Sale Date	10/17/1988	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$35,000	\$12,250
BUILDING	\$0	\$0
TOTAL	\$35,000	\$12,250
CAUV	\$0	-



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

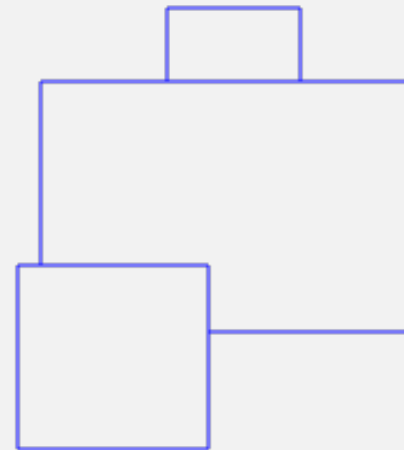
Linda Oda
Recorder

Parcel ID	0408355002	Current Owner	RUDD ELIZABETH & ROBERT	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0520527	Property Address	15 ELEANOR DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: 2 0 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	041003	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$170,000	Bedrooms	4
Last Sale Date	04/06/2000	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	2,464 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	56 sq. ft.
Year Built	1988	Total Living Area	2,520 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$50,000	\$17,500
BUILDING	\$169,340	\$59,270
TOTAL	\$219,340	\$76,770
CAUV	\$0	-

Parcel ID	0408355002	Current Owner	RUDD ELIZABETH & ROBERT	Account Number	0520527
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	2 STORY	1160
B	BRICK	GARAGE	506
C	FRAME	1 STORY	144

Occupancy	1 FAMILY UNIT
Construction Year	1988
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	160 sq. ft.
Number of Bedrooms	4
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	169,340.00

Special Features
No Special Features Found

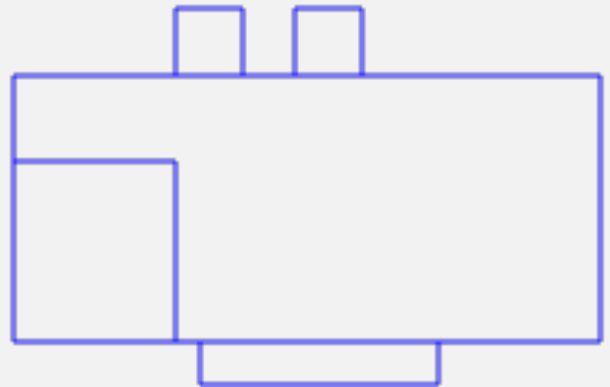


Parcel ID	0408355003	Current Owner	CANTERBURY GARY D. &	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0506389	Property Address	25 ELEANOR DR SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	SYCAMORE HEIGHTS LOT: 3 0 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	041003	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$160,000	Bedrooms	3
Last Sale Date	05/07/2019	Exterior	MASONRY
Owner Occupied	Y	Above Grade Living Area	2,139 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1959	Total Living Area	2,139 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$50,000	\$17,500
BUILDING	\$139,240	\$48,730
TOTAL	\$189,240	\$66,230
CAUV	\$0	-

Parcel ID	0408355003	Current Owner	CANTERBURY GARY D. &	Account Number	0506389
Parcel Seq	0				

Residential Building Details

Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	1740
B	FR. & MASONRY	1 STORY	399
C	FRAME	OPEN PORCH	140
D	FRAME	DECK	64
E	FRAME	DECK	64

Occupancy	1 FAMILY UNIT	Finished Basement	0 sq. ft.
Construction Year	1959	Unfinished Attic	0 sq. ft.
Remodel Year 1	0	Finished Attic/Living Area	0 sq. ft.
Remodel Year 2	0	Number of Bedrooms	3
Condition	GOOD	Family/Rec Room	YES
Constrction Cost	0.00	Wood Fireplace	1
Remodel Cost	0.00	Gas Fireplace	0
Foundation	C. BLOCK	Heating System	FORCED AIR
Exterior	MASONRY	Heat Source	GAS
Basement	NONE	Central Air Conditioning	YES
		Full Baths	2
		Half Baths	0
		True Value	139,240.00

Special Features	
4 EXTRA FIXTURES FOR	0.00
DOG SHOWER/DAYCARE	0.00

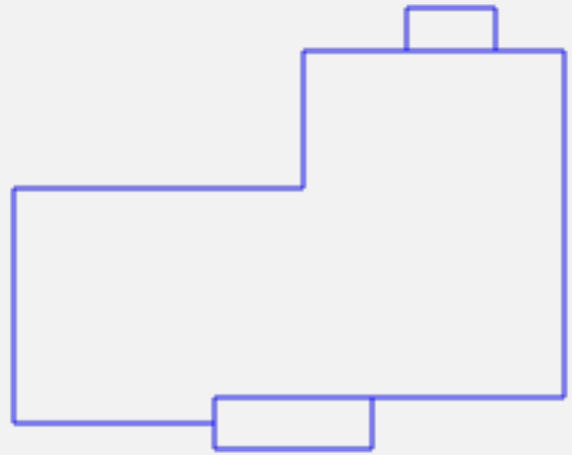


Parcel ID	0414479027	Current Owner	MAPLE LEAF FUNDING LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526819	Property Address	235 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.495 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$190,000	Bedrooms	3
Last Sale Date	07/01/2014	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,061 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1962	Total Living Area	2,061 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$93,430	\$32,700
BUILDING	\$118,130	\$41,350
TOTAL	\$211,560	\$74,050
CAUV	\$0	-

Parcel ID	0414479027	Current Owner	MAPLE LEAF FUNDING LLC	Account Number	0526819
Parcel Seq	0				

Residential Building Details

Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	2061
B	FRAME	CANOPY	108
C	FRAME	DECK	50

Occupancy	1 FAMILY UNIT
Construction Year	1962
Remodel Year 1	2015
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	0
Half Baths	2
True Value	102,630.00

Special Features
<div>No Special Features Found</div>



Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Value As Of	01-01-2020
Parcel Seq	2				
Account Number	0526789	Property Address	N MAIN SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.137 ACRES	State Use Code	0400 - VACANT COMMERCIAL LAND	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch

**No Sketch Found
For Selected Property**

Residential Building and Last Sale Summary

Last Sale Amount	\$160,000	Bedrooms	0
Last Sale Date	10/05/1994	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$23,460	\$8,210
BUILDING	\$0	\$0
TOTAL	\$23,460	\$8,210
CAUV	\$0	-

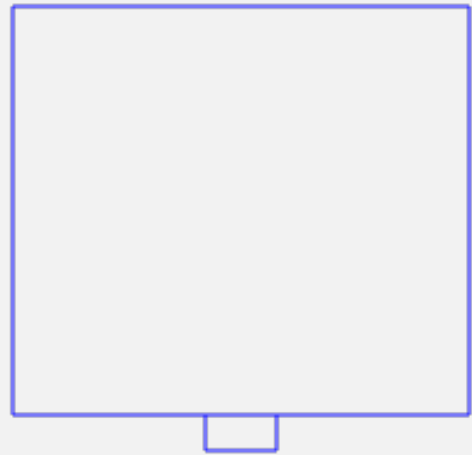


Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Value As Of	01-01-2020
Parcel Seq	1				
Account Number	0526797	Property Address	245 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.482 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	308.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	0
Last Sale Date	10/05/1994	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1996	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$82,540	\$28,890
BUILDING	\$463,800	\$162,330
TOTAL	\$546,340	\$191,220
CAUV	\$0	-

Parcel ID	0414479031	Current Owner	PRO FOUR P.L.L.	Account Number	0526797
Parcel Seq	1				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	7200
B	FRAME	OPEN PORCH	98

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICES	Grade	B
Perimeter	340 Feet	Condition	GOOD
Year Built	1996		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	10,800.00
1st Floor	12 ft	61.92	Interior Finish	0.00	Features	1,080.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	441,140.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	59.62	Replacement Value	538,190.00
Wall Height Adjustment		0.00	Area	7200 Sq. Ft.	Physical Depreciation %	15
Base Price		59.62	SubTotal	429,260.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		59.62			True Value	457,500.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	OFP ADDN 7X14=98 SF			0	0	98	0	0	00		11	0

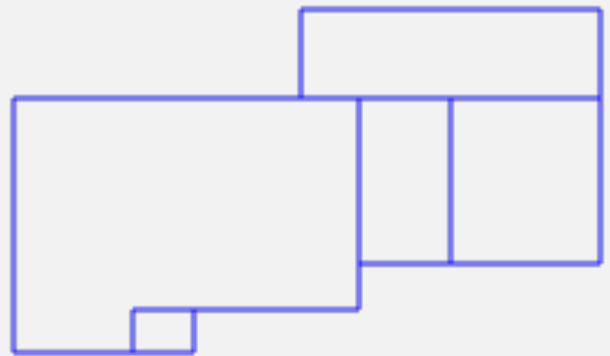


Parcel ID	0414479033	Current Owner	RICO INVESTMENTSLLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0550073	Property Address	255 N MAIN SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-14 0.3748 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$232,500	Bedrooms	3
Last Sale Date	01/11/2006	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	1,384 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1955	Total Living Area	1,384 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$80,110	\$28,040
BUILDING	\$142,150	\$49,750
TOTAL	\$222,260	\$77,790
CAUV	\$0	-

Parcel ID	0414479033	Current Owner	RICO INVESTMENTSLLC	Account Number	0550073
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	1384
B	FRAME	OPEN PORCH	48
C	FRAME	ENCLOSE PORCH	264
D	FRAME	OPEN PORCH	480
E	BRICK	GARAGE	440

Occupancy	1 FAMILY UNIT
Construction Year	1955
Remodel Year 1	0
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	MASONRY
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	0
True Value	138,350.00

Special Features
No Special Features Found

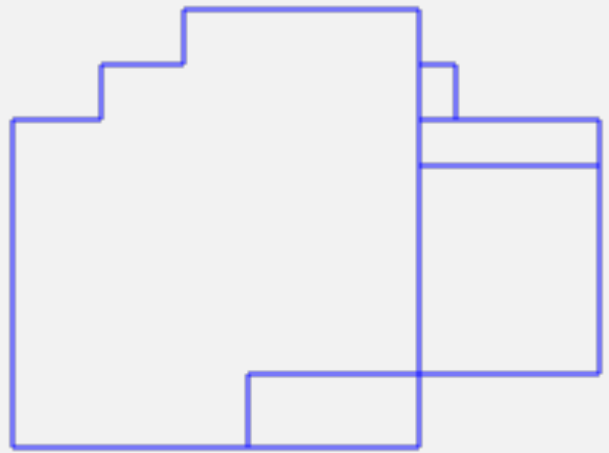


Parcel ID	0414479029	Current Owner	WALDEN JAMES W. & JAMES	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526762	Property Address	265 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0510 - SINGLE FAMILY DWG (PLATTED)	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	10/15/2019	Exterior	COMBINATION
Owner Occupied	N	Above Grade Living Area	2,294 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1956	Total Living Area	2,294 sq. ft.

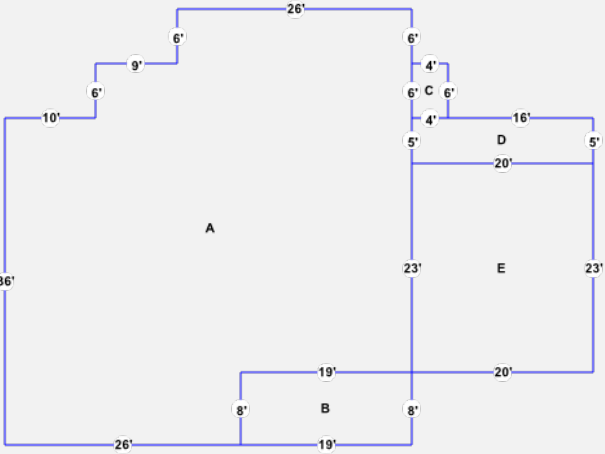
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$118,510	\$41,480
TOTAL	\$212,640	\$74,430
CAUV	\$0	-

Parcel ID	0414479029	Current Owner	WALDEN JAMES W. & JAMES	Account Number	0526762
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	1834
B	FRAME	PATIO	152
C	FRAME	OPEN PORCH	24
D	FRAME	ENCLOSE PORCH	100
E	BRICK	1 STORY	460

Occupancy	1 FAMILY UNIT
Construction Year	1956
Remodel Year 1	1993
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	CONCRETE
Exterior	COMBINATION
Basement	3/4

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	0
True Value	107,110.00

Special Features
No Special Features Found



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

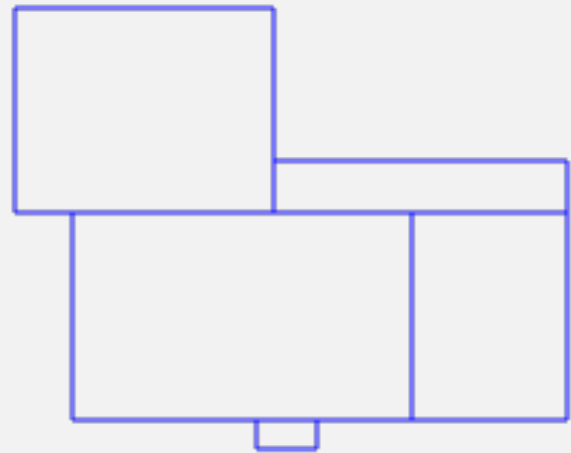
Linda Oda
Recorder

Parcel ID	0414479025	Current Owner	AG REAL ESTATE	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526754	Property Address	275 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$365,000	Bedrooms	3
Last Sale Date	09/20/2018	Exterior	MASONRY
Owner Occupied	N	Above Grade Living Area	2,856 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1960	Total Living Area	2,856 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$259,530	\$90,840
TOTAL	\$353,660	\$123,790
CAUV	\$0	-

Parcel ID	0414479025	Current Owner	AG REAL ESTATE	Account Number	0526754
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	BRICK	1 STORY	1288
B	BRICK	1 STORY	588
C	FRAME	OPEN PORCH	280
D	FRAME	OPEN PORCH	32
E	BRICK	1 STORY	980

Occupancy	1 FAMILY UNIT
Construction Year	1960
Remodel Year 1	2002
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	MASONRY
Basement	NONE

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	1
Half Baths	2
True Value	252,330.00

Special Features
No Special Features Found



Parcel ID	0414479053	Current Owner	MUSIC LIMITED PARTNERSHIP	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526746	Property Address	325 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 1.2052 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$562,500	Bedrooms	0
Last Sale Date	06/22/2010	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2007	Total Living Area	0 sq. ft.

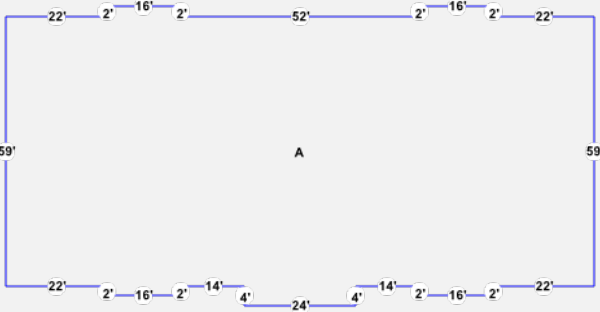
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$150,650	\$52,730
BUILDING	\$868,100	\$303,840
TOTAL	\$1,018,750	\$356,570
CAUV	\$0	-

Parcel ID	0414479053	Current Owner	MUSIC LIMITED PARTNERSHIP	Account Number	0526746
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	2 STORY	7776
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Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICES	Grade	B
Perimeter	398 Feet	Condition	GOOD
Year Built	2007		

Pricing Ladder		
Basement	0 ft	0.00
1st Floor	10 ft	58.75
2nd Floor	10 ft	40.34
3rd Floor	0 ft	0.00
4th Floor	0 ft	0.00
Remaining Floors		0.00
Frame Adjustment		-4.36
Wall Height Adjustment		-1.78
Base Price		92.95
BPA %		100
Sub Total		92.95
Unit Finish		0.00
Interior Finish		0.00
Divided Walls		0.00
Lighting		0.00
Heat/Cooling		0.00
Sprinkler		0.00
Square Foot Price		92.95
Area		7776 Sq. Ft.
SubTotal		722,780.00
Plumbing		16,800.00
Features		38,020.00
Total Base		777,600.00
Grade %		122
Cost %		0
Design %		0
Replacement Value		948,670.00
Physical Depreciation %		10
Obsolescence Dep. %		0
Influence %		0
True Value		853,800.00

Special Features												
Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
16	PASS ELEVATOR 2100#	HP		21	100	0	0	2	00		0	0

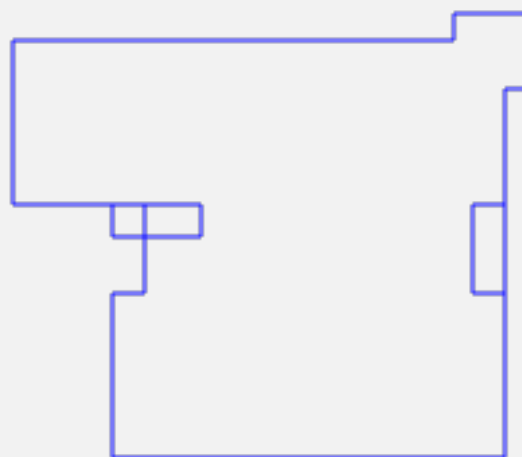


Parcel ID	0414426020	Current Owner	SIDDENS LYDIA M. 50%	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526711	Property Address	335 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.502 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$525,000	Bedrooms	0
Last Sale Date	09/25/2019	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

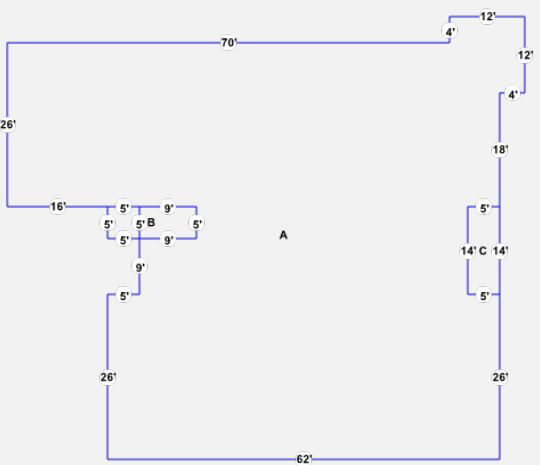
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$94,130	\$32,950
BUILDING	\$409,300	\$143,260
TOTAL	\$503,430	\$176,210
CAUV	\$0	-

Parcel ID	0414426020	Current Owner	SIDDENS LYDIA M. 50%	Account Number	0526711
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	4448
B	FRAME	CANOPY	70
C	FRAME	CANOPY	70

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFCS	Grade	B
Perimeter	324 Feet	Condition	GOOD
Year Built	2006		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	14,400.00
1st Floor	10 ft	82.54	Interior Finish	0.00	Features	1,540.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	365,150.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.59	Square Foot Price	78.51	Replacement Value	445,480.00
Wall Height Adjustment		-1.44	Area	4448 Sq. Ft.	Physical Depreciation %	10
Base Price		78.51	SubTotal	349,210.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		78.51			True Value	400,900.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 5X14			0	0	70	0	0	00		11	0
99	CAN ADDN 5X14			0	0	70	0	0	00		11	0



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

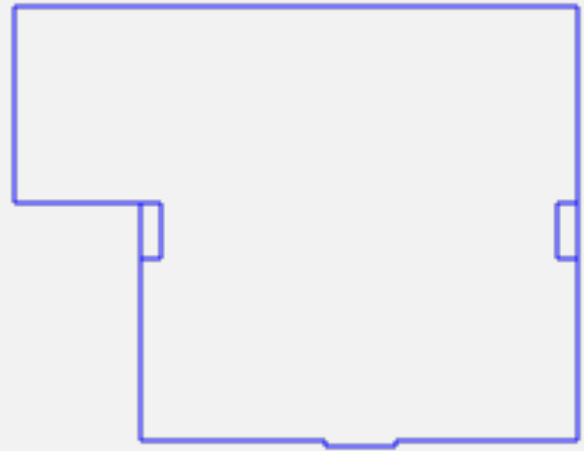
Linda Oda
Recorder

Parcel ID	0414426024	Current Owner	JCUBED LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526703	Property Address	345 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.499 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$167,500	Bedrooms	0
Last Sale Date	05/21/2003	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1959	Total Living Area	0 sq. ft.

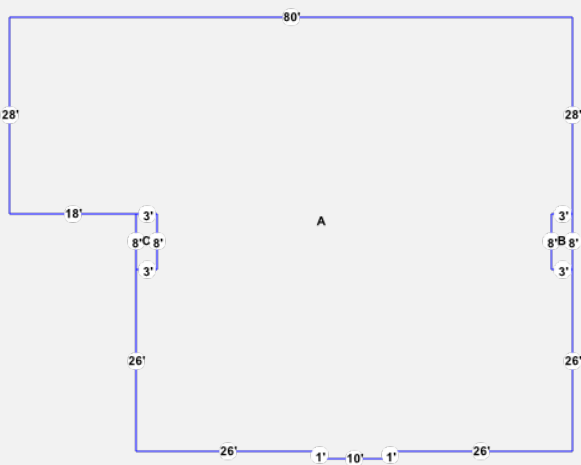
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$93,560	\$32,750
BUILDING	\$273,800	\$95,830
TOTAL	\$367,360	\$128,580
CAUV	\$0	-

Parcel ID	0414426024	Current Owner	JCUBED LLC	Account Number	0526703
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	4310
B	FRAME	CANOPY	24
C	FRAME	CANOPY	24

Building Detail

Occupancy Code	GCM	Remodel Year	2003
Building ID	OFFICE	Grade	B
Perimeter	298 Feet	Condition	GOOD
Year Built	1959		

Pricing Ladder

Basement	9 ft	4.04	Unit Finish	0.00	Plumbing	4,800.00
1st Floor	10 ft	62.64	Interior Finish	0.00	Features	520.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	272,890.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	-0.19	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.97	Square Foot Price	62.08	Replacement Value	332,930.00
Wall Height Adjustment		-1.44	Area	4310 Sq. Ft.	Physical Depreciation %	20
Base Price		62.27	SubTotal	267,570.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		62.27			True Value	266,300.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 3X8			0	0	24	0	0	00		11	0
99	CAN ADDN 3X8			0	0	24	0	0	00		11	0

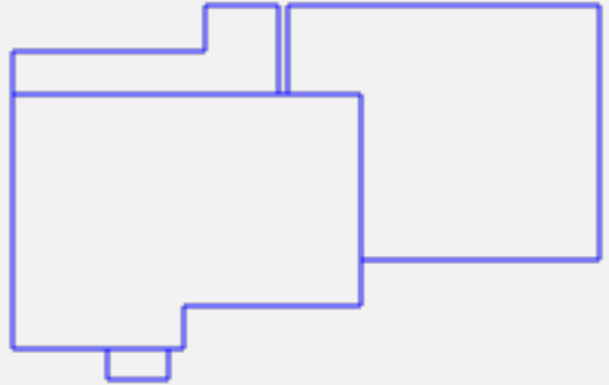


Parcel ID	0414426022	Current Owner	TRI STATE CPAS LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526681	Property Address	355 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 0.495 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$380,000	Bedrooms	3
Last Sale Date	03/22/2021	Exterior	COMBINATION
Owner Occupied	N	Above Grade Living Area	2,662 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1960	Total Living Area	2,662 sq. ft.

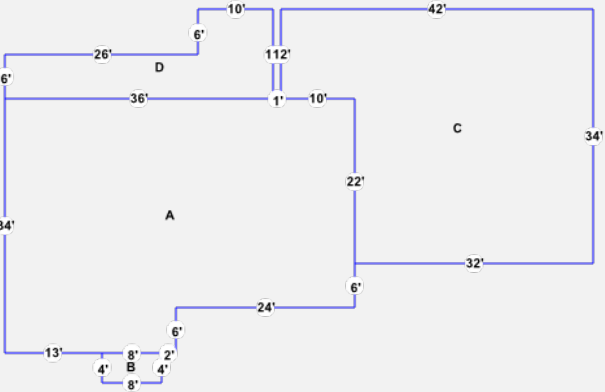
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$92,810	\$32,480
BUILDING	\$159,900	\$55,970
TOTAL	\$252,710	\$88,450
CAUV	\$0	-

Parcel ID	0414426022	Current Owner	TRI STATE CPAS LLC	Account Number	0526681
Parcel Seq	0				

Residential Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	STUCCO & FR.	1 STORY	1454
B	STUCCO & FR.	OPEN PORCH	32
C	STUCCO & FR.	1 STORY	1208
D	FRAME	CANOPY	276

Occupancy	1 FAMILY UNIT
Construction Year	1960
Remodel Year 1	1993
Remodel Year 2	0
Condition	GOOD
Constrcution Cost	0.00
Remodel Cost	0.00
Foundation	C. BLOCK
Exterior	COMBINATION
Basement	FULL

Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	154,600.00

Special Features
No Special Features Found

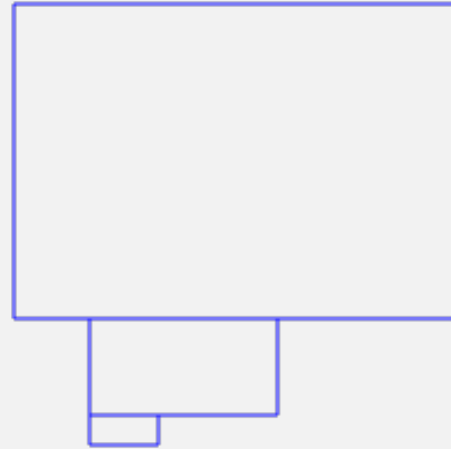


Parcel ID	0414426018	Current Owner	RAMM PROPERTIES LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526673	Property Address	365 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 1.131 ACRES	State Use Code	0442 - MEDICAL CLINICS, OFFICES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$338,000	Bedrooms	0
Last Sale Date	08/28/2007	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2011	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$120,170	\$42,060
BUILDING	\$313,100	\$109,590
TOTAL	\$433,270	\$151,650
CAUV	\$0	-

Parcel ID	0414426018	Current Owner	RAMM PROPERTIES LLC	Account Number	0526673
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

A

B

C

Sketch Details

A	BRICK	1 STORY	3500
B	BRICK	1 STORY	450
C	FRAME	CANOPY	55

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	MED OFCS	Grade	B
Perimeter	240 Feet	Condition	GOOD
Year Built	2011		

Pricing Ladder

Basement	9 ft	24.33	Unit Finish	0.00	Plumbing	28,800.00
1st Floor	9 ft	86.18	Interior Finish	0.00	Features	34,360.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	415,580.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	-0.55	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-5.26	Square Foot Price	100.69	Replacement Value	507,010.00
Wall Height Adjustment		-4.01	Area	3500 Sq. Ft.	Physical Depreciation %	3
Base Price		101.24	SubTotal	352,420.00	Obsolescence Dep. %	40
BPA %		100			Influence %	0
Sub Total		101.24			True Value	295,100.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	BRK ADDN 450 SF			0	0	450	0	0	00		75	0
99	CAN ADDN 5X11=55 SF			0	0	55	0	0	00		11	0



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

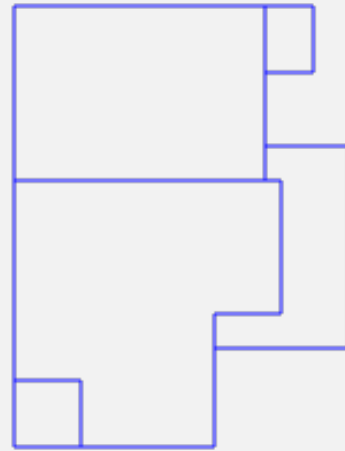
Linda Oda
Recorder

Parcel ID	0414426030	Current Owner	MUSIC LIMITED PARTNERSHIP	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0526843	Property Address	405 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 2.126 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$0	Bedrooms	3
Last Sale Date	10/06/2005	Exterior	WOOD SIDING
Owner Occupied	N	Above Grade Living Area	2,924 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1900	Total Living Area	2,924 sq. ft.

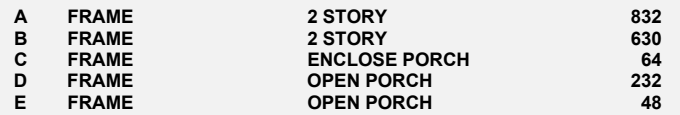
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$186,030	\$65,110
BUILDING	\$90,490	\$31,670
TOTAL	\$276,520	\$96,780
CAUV	\$0	-

Account Number	0526843
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Residential Building Details

Building 1 of 1



Finished Basement	0 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	0 sq. ft.
Number of Bedrooms	3
Family/Rec Room	NO
Wood Fireplace	0
Gas Fireplace	0
Heating System	FORCED AIR
Heat Source	GAS
Central Air Conditioning	YES
Full Baths	0
Half Baths	2
True Value	90,490.00

Special Features

No Special Features Found

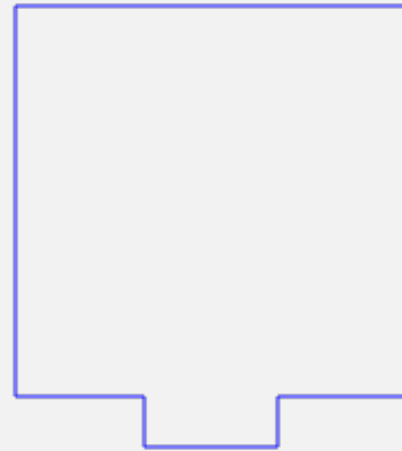


Parcel ID	0414426028	Current Owner	MIAMI PRESBYTERY PRESBYT	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0542539	Property Address	415 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-14 7.238 ACRES	State Use Code	0685 - CHURCHES, PUBLIC WORSHIP, ETC.	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048010	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$229,210	Bedrooms	0
Last Sale Date	07/15/1993	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1995	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$361,900	\$126,670
BUILDING	\$412,700	\$144,450
TOTAL	\$774,600	\$271,120
CAUV	\$0	-

Parcel ID	0414426028	Current Owner	MIAMI PRESBYTERY PRESBYT	Account Number	0542539
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

Sketch Details

A	FR. & MASONRY	1 STORY	8653
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Building Detail

Occupancy Code	EXEMPT	Remodel Year	0
Building ID	CHURCH	Grade	C
Perimeter	388 Feet	Condition	GOOD
Year Built	1995		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	8,400.00
1st Floor	16 ft	55.64	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	454,550.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	100
4th Floor	0 ft	0.00	Heat/Cooling	2.16	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.16	Square Foot Price	51.56	Replacement Value	454,550.00
Wall Height Adjustment		-4.08	Area	8653 Sq. Ft.	Physical Depreciation %	15
Base Price		49.40	SubTotal	446,150.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		49.40			True Value	386,400.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

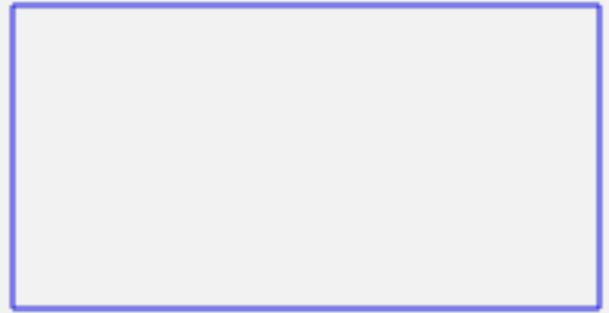
Linda Oda
Recorder

Parcel ID	0414252098	Current Owner	GLOBAL TECHNOLOGIES LLC.	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0530980	Property Address	465 N MAIN ST SPRINGBORO (465-475) 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 1.801 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$522,000	Bedrooms	0
Last Sale Date	04/22/2021	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	1966	Total Living Area	0 sq. ft.

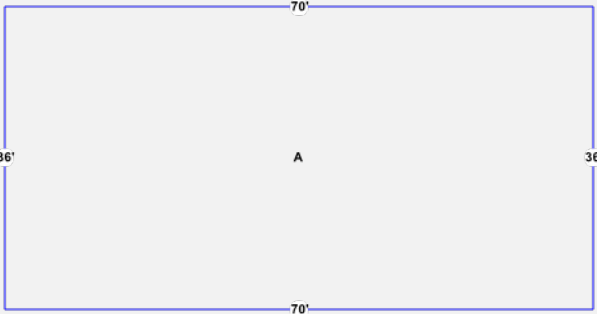
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$225,130	\$78,800
BUILDING	\$240,200	\$84,070
TOTAL	\$465,330	\$162,870
CAUV	\$0	-

Parcel ID	0414252098	Current Owner	GLOBAL TECHNOLOGIES LLC.	Account Number	0530980
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	2520
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Building Detail			
Occupancy Code	GCM	Remodel Year	1983
Building ID	COMM	Grade	C
Perimeter	212 Feet	Condition	AVERAGE
Year Built	1966		

Pricing Ladder									
Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	3,600.00			
1st Floor	14 ft	39.33	Interior Finish	0.00	Features	0.00			
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	106,470.00			
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	100			
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0			
Remaining Floors		0.00	Sprinkler	0.00	Design %	0			
Frame Adjustment		0.00	Square Foot Price	40.82	Replacement Value	106,470.00			
Wall Height Adjustment		1.49	Area	2520 Sq. Ft.	Physical Depreciation %	45			
Base Price		40.82	SubTotal	102,870.00	Obsolescence Dep. %	0			
BPA %		100			Influence %	300			
Sub Total		40.82			True Value	234,200.00			

Special Features												
Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												



WARREN COUNTY

Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

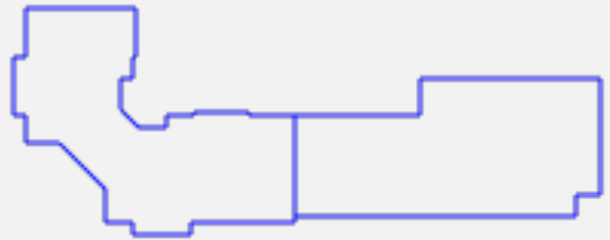
Linda Oda
Recorder

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0536016	Property Address	505 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5-2-14 1.492 ACRES	State Use Code	0499 - OTHER COMMERCIAL STRUCTURES	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	048009	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$1,100,000	Bedrooms	0
Last Sale Date	07/26/2017	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	0	Total Living Area	0 sq. ft.

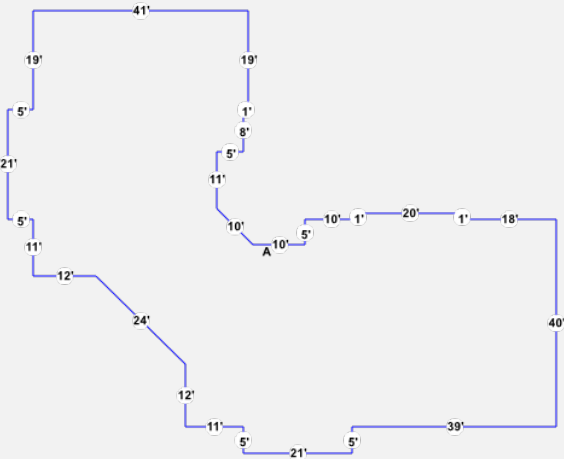
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$186,500	\$65,280
BUILDING	\$913,500	\$319,730
TOTAL	\$1,100,000	\$385,010
CAUV	\$0	-

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Account Number	0536016
Parcel Seq	0				

Commercial Building Details
Building 1 of 2

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	5027
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Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	DAY ACAD	Grade	C
Perimeter	390 Feet	Condition	AVERAGE
Year Built	1995		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	13,200.00
1st Floor	10 ft	64.51	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	317,230.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	100
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	60.48	Replacement Value	317,230.00
Wall Height Adjustment		-1.73	Area	5027 Sq. Ft.	Physical Depreciation %	15
Base Price		60.48	SubTotal	304,030.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		60.48			True Value	269,700.00

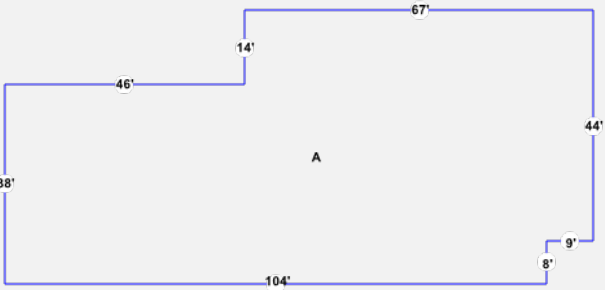
Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												

Parcel ID	0414253044	Current Owner	RAINBOW RASCALS	Account Number	0536016
Parcel Seq	0				

Commercial Building Details
Building 2 of 2

Building Sketch



Sketch Details

A	FR. & MASONRY	1 STORY	5160
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Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	DAY ACAD	Grade	C
Perimeter	330 Feet	Condition	AVERAGE
Year Built	1999		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	12,000.00
1st Floor	10 ft	60.70	Interior Finish	0.00	Features	0.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	307,410.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	100
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	57.25	Replacement Value	307,410.00
Wall Height Adjustment		-1.15	Area	5160 Sq. Ft.	Physical Depreciation %	15
Base Price		57.25	SubTotal	295,410.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		57.25			True Value	261,300.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
NO SPECIAL FEATURES FOUND												

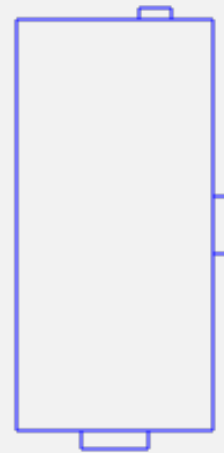


Parcel ID	0414253049	Current Owner	COLLEEN BOSSI CO. LLC	Value As Of	01-01-2020
Parcel Seq	0				
Account Number	0518336	Property Address	535 N MAIN ST SPRINGBORO 45066	Ownership As Of	08-13-2021
				Tax Data As Of	08-13-2021
Legal Description	5 -2-14 1.68 ACRES	State Use Code	0447 - OFFICE BLDG. 1 OR 2 STORY	Census Tract	305.00
Tax District	05 CLEARCREEK TWP SPRINGBORO CORP	Neighborhood ID	049001	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Residential Building and Last Sale Summary

Last Sale Amount	\$426,000	Bedrooms	0
Last Sale Date	05/23/2006	Exterior	
Owner Occupied	N	Above Grade Living Area	0 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	0 sq. ft.
Year Built	2006	Total Living Area	0 sq. ft.

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$210,000	\$73,500
BUILDING	\$539,100	\$188,690
TOTAL	\$749,100	\$262,190
CAUV	\$0	-

Parcel ID	0414253049	Current Owner	COLLEEN BOSSI CO. LLC	Account Number	0518336
Parcel Seq	0				

Commercial Building Details
Building 1 of 1

Building Sketch

126' 54' 13' 18' 21' 21' 13' 18'

Sketch Details

A	BRICK	1 STORY	7686
B	FRAME	CANOPY	126
C	FRAME	CANOPY	108
D	FRAME	CANOPY	40

Building Detail

Occupancy Code	GCM	Remodel Year	0
Building ID	OFFICE	Grade	B
Perimeter	374 Feet	Condition	GOOD
Year Built	2006		

Pricing Ladder

Basement	0 ft	0.00	Unit Finish	0.00	Plumbing	13,200.00
1st Floor	12 ft	61.92	Interior Finish	0.00	Features	3,020.00
2nd Floor	0 ft	0.00	Divided Walls	0.00	Total Base	474,460.00
3rd Floor	0 ft	0.00	Lighting	0.00	Grade %	122
4th Floor	0 ft	0.00	Heat/Cooling	0.00	Cost %	0
Remaining Floors		0.00	Sprinkler	0.00	Design %	0
Frame Adjustment		-2.30	Square Foot Price	59.62	Replacement Value	578,840.00
Wall Height Adjustment		0.00	Area	7686 Sq. Ft.	Physical Depreciation %	10
Base Price		59.62	SubTotal	458,240.00	Obsolescence Dep. %	0
BPA %		100			Influence %	0
Sub Total		59.62			True Value	521,000.00

Special Features

Code	Description	Type	Use	W	L	Area	Qty	Hgt	Grd	Features	Rate	Sound Value
99	CAN ADDN 6X21			0	0	126	0	0	00		11	0
99	CAN ADDN 6X18			0	0	108	0	0	00		11	0
99	CAN ADDN 4X10			0	0	40	0	0	00		11	0

EXHIBIT 41

Statement of Objections re: Beehive Homes Phase 2

August 5, 2021

As a resident of Woodland Greens Home Association I am writing to let my objections be known regarding the construction of Phase 2 of Beehive Homes. My home shares a property line with the Beehive Homes site. The Phase 1 building is 40 feet from my bedroom window and although I have some objections to its location I am aware that the building will remain there. However, I am concerned that homes located on both Winchester and Forsgate Courts, which share a common property line with the future Phase 2 building, will have the same or similar problems.

Before Phase 1 was constructed, we had a quiet neighborhood with beautiful wild animals wandering into our yard. The removal of most of the trees on that lot has virtually eradicated wildlife from the area. More importantly, those trees also acted as an effective damper for traffic noise coming from Interstate 75, State Route 741/Main Street and Lytle Five Points Road. Now traffic sounds seem much louder than before the trees were removed and we can hear traffic noise all the way from I-75 throughout the day and into the night.

On many, many occasions I have heard car alarms going off in the night. Beehive Homes employees regularly activate their car alarms after the 11:00 PM shift change. I am not talking about a quick "locator beep" but rather a full on car alarm. The alarm honks for a while before the worker can get it turned off. I am usually sound asleep before 11:00 PM so the alarm wakes me and since it is an alarm, I am so startled that I have a hard time falling back to sleep. Maybe it is not intentional but they must be pretty clumsy and inconsiderate to so frequently grab for their keys in such a haphazard way that they accidentally activate their car alarm and wake up the neighbors.

My concern for the construction of Phase 2 is that our neighbors will experience the same reduction in wildlife and the same increase in traffic noise. Perhaps the workers who staff that building will also mindlessly activate their car alarms. Since Phase 2 residents will require a higher level of care there is also the risk of hearing ambulances arrive and depart at odd hours of the night. According to the plans presented at the July 2021 Planning Commission meeting some of the forest buffer next to one neighbor on West Tamarron Court will be removed. A retaining wall will be installed which will likely kill some of the remaining trees due to root disturbance. The whole situation is frustrating to think about.

I do not object to a nursing home being built right next to my house. Office Residential zoning states that buildings are supposed to be small in design/scale and residential in nature. These two buildings, at 16,000 and 31,000 square feet, are not small in scale OR residential in nature. The enormous size of the buildings and the related impact of increased noise from the complex, increased traffic into/out of the site, increased light pollution and the vast reduction of the remaining green space that are of concern.

Jane Van Maldeghem
1860 West Tamarron Court

Springboro, Ohio

George and Elizabeth Coppock
1800 Westchester Ct
Springboro, OH 45066

August 5, 2021

Thank you for representing Woodland Greens Homes Association.

My wife and I make this statement of our own free will and hereby express our strong objection to the proposed Phase 2 Beehive Homes development.

First of all, as a new resident and property owner in Woodland Greens, it came as quite a surprise to my family to hear that Beehive Homes was planning a new development. Our primary attraction to Woodland Greens was the close proximity to the city but country feel with the existing wooded areas.

The fragile characteristic of this area is already being stressed with the rapid expansion and development of the City of Springboro.

The proposed development would be in our immediate back yard and would be a severe disruption to the natural environment.

The natural environment is home to a variety of wildlife that takes shelter in an area already suffering from natural deforestation. We estimate that approximately 20 feet of the existing tree lines would have to be removed to accommodate the proposed development.

Considering the loss of this wooded area and proposed development my wife and I have significant concerns and strongly object to the proposed development. Specifically, the loss of the natural environment will produce a significant increase in noise and light pollution, an increase in traffic on an already congested road, and the loss of property value.

We hope the City of Springboro favorably considers our object, and the objection of others and takes this opportunity for preservation.

Preserving the natural environment will continue to promote this area as a well-balanced residential and commercial area with a small town feel. Furthermore, preserving the natural environment will help maintain property values and provide natural noise and light pollution barriers. Finally, allowing the development to continue would forever alter the characteristics of the Woodland Greens neighborhood.

Sincerely,

A handwritten signature in black ink, appearing to read "Elizabeth Coppock", written in a cursive style.

Dear Springboro Council
Members,

August 5, 2021

I am writing this letter to make a formal complaint and express my strong opposition to allowing Phase 2 of the Beehive Homes development near the Woodland Greens neighborhood.

First of all, as a new resident and property owner in Woodland Greens, it came as quite a surprise to my family to hear that Beehive Homes was planning a new development. Our primary attraction to Woodland Greens neighborhood was the close proximity to the city but country feel with the existing wooded areas.

The fragile characteristic of this area is already being stressed with the rapid expansion and development of the City of Springboro.

The proposed development would be in our immediate back yard and would be a severe disruption to the natural environment.

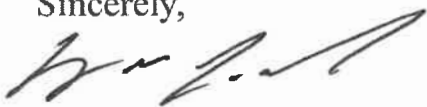
The natural environment that is home to a variety of wildlife that takes shelter in an area already suffering from natural deforestation.

We estimate that approximately 20 feet of the existing tree lines would have to be removed to accommodate the proposed development. The loss of this wooded area and development brings to mind significant concerns; to include increased noise pollution, light pollution and decreased property value.

According to the National Wildlife Foundation's Trees for Wildlife Program, "economic analysis have found that the value of homes near trees is 9 to 15 percent higher than homes without". The program also goes on to state "a belt of trees 100 feet wide and 50 feet tall can reduce noise by up to 10 decibels, reduce the sound volume by half and also block unsightly views".

In closing, we ask the City of Springboro look at this as an opportunity for preservation. Preserving the natural environment will continue to promote this area as a well-balanced residential and commercial area with a small town feel. Furthermore, preserving the natural environment will help maintain property values and provide natural noise and light pollution barriers. Finally, allowing the development to continue would forever alter the characteristics of the Woodland Greens neighborhood.

Sincerely,



George Coppock
1800 Westchester Ct.