

Agenda
City of Springboro Planning Commission Meeting
Wednesday, November 10, 2021, 6:00 p.m.
Council Chambers, Springboro City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. October 13, 2021 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building
 - B. Final Approval, Record Plan, 95 West Central Avenue (SR 73), Reilich Development Plan, dedication of right of way
 - C. Final Approval, Rezoning, 110 East Mill, M-2, Heavy Manufacturing, to CBD, Central Business District
 - D. Final Approval, Rezoning, 1360 South Main (SR 741), PUD-R, Planned Unit Development-Residential, to R-1, Estate-Type Residential District
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information, Staff Comments & Recommendations
City of Springboro Planning Commission Meeting
Wednesday, November 10, 2021, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Final Development Plan, Advanced Drive PUD, Planned Unit Development, commercial building

Background Information

This agenda item is a request for final approval of a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park. The subject property is located approximately 600 feet northeast of the terminus of Advance Drive. The proposal was submitted by Cincinnati Commercial Contracting, property owner and developer.

This item was reviewed on a preliminary basis at the October 13, 2021 Planning Commission meeting at which time the Planning Commission authorized this item to be placed on a future meeting agenda for formal action.

The applicant is proposing to construct a one-story, 20,000-square foot flexible space commercial building for a future user. The plan for the site provides for expansion at a future date and subject to Planning Commission review. No address has been assigned for the property at this point in time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building will be located on 2.64 acres of undeveloped land; the property owner plans to develop their remaining 12.685 acres of undeveloped land as soon as practicable.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stoltz Industrial Park are occupied by the following businesses: to the north Hanover Products at 125 Advanced Drive, to the northeast Alfonse Haar at 130 Advanced Drive, to the east and southeast Advanced Interiors at 240-250 Advanced Drive, and to the south A-1 Mechanical at 235 Advanced Drive. The subject property also borders to the west undeveloped property in Franklin Township with frontage and access provided from Sharts Road to the west.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west in Franklin Township is zoned Franklin Township R-1, Rural Residence District.

Staff Recommendation

City staff recommends approval of the site plan for the proposed has the following comments:

1. Parking supply may need to be adjusted when end user is identified.

2. Revise landscaping plan to address the following:
 - a. Indicate all existing vegetation 4 inches DBH or larger to remain on site for credit against requirements of Chapter of the Planning and Zoning Code. This may reduce the number of plantings required as described below.
 - b. For landscaped buffer required on north, provide 3 additional trees (9 provided, 12 required); for landscape buffer to south provide 4 additional trees (8 provided, 12 required).
 - c. Indicate long-range plans for the west end of the property in light of buffering requirements and credit that may be provided by existing vegetation.
 - d. Provide 38 trees for site coverage requirement based on estimated 2.64-acre site. See also (a) above.
3. Revise lighting plan to address photometric analysis which exceeds 10:1 maximum to minimum ratio. Average to minimum ration is now compliant as is revised photometric analysis complies with City standards.
4. Construction requirements within the existing pipeline easement area to be worked out with pipeline companies.
5. Adjust dumpster location or proposed property line to south to provide 15-foot separation from property line.
6. Remove the offsite water line lateral alternative.
7. Remove random text on the bottom left side of Sheet C-3.1.
8. Identify Benchmark.
9. Final revised and approved site plan shall be submitted to include all comments by staff and planning commission, and to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
10. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
11. Please be aware that the Clearcreek Fire District utilizes the provisions from the Ohio Fire Code and the Ohio Building Code and that all fire hydrant components shall meet those of the City of Springboro Water works.
12. All test of safety Fire and Life safety systems shall be scheduled through the Springboro Building Department 48 hours prior to testing. The Building department will contact the Clearcreek Fire District and advise us of date and time for testing. A Clearcreek Fire District representative will witness all testing.
13. The Clearcreek Fire District will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
14. A fire extinguisher plan must be submitted to the fire district. Placement and installation must be done prior to final building inspection.

B. Final Approval

Record Plan, 95 West Central Avenue (SR 73), Reilich Development Plat, dedication of right-of-way

Background Information

This agenda item was filed on behalf of the owners of the Foreign Exchange vehicle repair facility currently under development at 95 West Central Avenue (SR 73). The proposed record plan was a condition of the site plan review approval by Planning Commission at their September 8, 2021 meeting. As a part of the approval, a record plan is required to dedicate right of way along West Central Avenue/SR 73, along with a 10-foot utility easement. The total acreage of the site is approximately

1.9307 of which approximately 0.1012 acres are in the right of way. Following review by the Planning Commission, approval of the record plan by City Council is required.

Staff Recommendation

City Staff recommends Planning Commission to approve a recommendation to City Council to approve the record plan for the Reilich Development Plan with the following conditions:

1. Warren County is reviewing the plat; revise accordingly if there are any comments.

C. Final Approval

Rezoning, 110 East Mill Street, from M-2, Heavy Manufacturing District, to CBD, Central Business District

Background Information

This agenda item is a request filed by Rodney & Jennie Charlton, property owners, to rezone approximately 0.575 acres of land located at 110 East Mill Street. The property houses the Charlton's business, Charlton Taxidermy.

This small property is located in two zoning districts. The western portion of the property, a 50-foot by 150-foot lot, 0.172 acres in area, is zoned CBD, Central Business District, a zoning designation that includes most of the Springboro Historic District including all of South Main Street and East Mill Street to the midpoint of the Charlton property. The east portion of the property is zoned M-2, Heavy Manufacturing District, a zoning category that extends to the north and east to include lands occupied by Mound Steel, High Concrete, the City of Springboro Service Department garage, and other businesses. The eastern edge of the property is proximate to Richards Run. Please see the enclosed zoning and aerial vicinity maps in the meeting materials.

The fact that the property lies within two zoning districts came to light this summer. It appears that the eastern portion of the property was zoned to M-2 upon annexation sometime before 1992; the north-south division line between CBD and M-2 was the Springboro corporation line according to the 1962 zoning map. County records indicate that the existing building on the site was built in 1976. The zoning of the 0.575-acre eastern portion of the property created an orphan zoning designation that did not reflect the existence of a body of water, Richards Run. Given M-2 development standards, this portion of the property cannot be developed legally under this designation.

Multiple zoning designations on a property is permitted, however in this case the multiple designations potentially limit the use potential of the property, in particular the east half, in the event the property is sold. Charlton Taxidermy may continue as a business on the entire property, even with another owner; and on the eastern portion of the property as a nonconforming use with limitations since the use is not permitted in the M-2. Those limitations include a prohibition on expansion and rebuilding after a catastrophic loss. The rezoning request is preemptive to the potential sale of the property in the near future.

Adjacent land uses include an apartment building to the west. Beyond that single-family residential uses can be found to the northwest in the Springboro Historic District. To the east and northeast is the Mound Steel operation on the east side of Richards Run. To the south on the south side of East Mill Street is Springboro Baptist Church and a Duke Energy transformer station.

The 2009 Springboro Land Use Plan makes recommendations for the future development of the community and is used by City Council, the Planning Commission, and City staff to make zoning decisions. It includes recommendations within 16 policy areas that are based on proximity, development characteristics including land use and the age of construction or development. In this case the CBD/M-2 boundary also coincides with the boundary of Policy Area #13, Historic Core to west, and Policy Area #14, South Richards Run Corridor to the east. Policy Area #13 recommends development that is consistent with the requested rezoning, however Policy Area #14 does not. It can be reasonably argued that the requested zoning change is a logical extension of the existing retail-residential-office-community use development pattern of South Main Street and East Mill Street within Policy Area #13, and not that of Policy Area #14.

Staff Recommendation

City staff recommends approval of a recommendation to Springboro City Council to amend the Official Zoning Map of the City of Springboro and rezone the eastern 0.575-acre portion of the property from M-2, Heavy Manufacturing District, to CBD, Central Business District.

City staff will also recommend to the steering committee developing the update to the land use plan that the boundary of Policy Areas #13 and #14 be moved to the east to follow the east property line of this property.

D. Final Approval

Rezoning, 1360 South Main Street (SR 741), from PUD-R, Planned Unit Development-Residential, to R-1, Estate-Type Residential District

Background Information

This agenda item is based on an application filed by Nathan Arndts, property owner, seeking approval to rezone the 2.53-acre parcel located at 1360 South Main Street (SR 741) from the existing PUD-R, Planned Unit Development-Residential, to R-1, Estate-Type Residential District. The property includes a single-family residence and an out building. The property was acquired by Mr. Arndts and his family earlier this month.

The property was the subject of rezoning in 2017-2018 to the current PUD-R. PUD rezoning also includes approval of a general plan, and in this case the rezoning and general plan together allowed for the development of a 7-lot residential subdivision. The former property owner was unable to execute the general plan in the form of an approved final development plan, the second step in the three-step PUD development process, within the one-year timeframe required by code. Two six-month extensions were applied for and approved by the Planning Commission, however the general plan expired in 2019 when the final development plan was not applied for. As a result the site is zoned PUD without benefit of a general plan.

City staff was contacted by Mr. Arndts in October about the existing zoning, his family's plans for the property, and their options under Planning and Zoning Code. They had no interest in redevelopment of the property and filed an application to rezone the property back to the R-1 District. The R-1 District allows for residential development at the rate of two dwelling units per acre on lots no less than 20,000 square feet. The R-1 District also allows as permitted uses churches, schools, golf courses, bed and breakfasts, and accessory uses and buildings.

Adjacent land uses include single-family residential to the west, north and south and to the east the Heatherwoode Golf Course (10th tee). The residential portions of Heatherwoode were developed at a density of 2 units per acre (215 lots on 104.4 acres) and 56 percent open space including the portion of Heatherwoode Golf Course east of SR 741. The volume of open space is higher considering the part of the golf course west of SR 741 and smaller open spaces within the residential part of the development. Adjacent zoning includes PUD to the north, east and west corresponding the Heatherwoode golf course and adjoining residential development and R-1 District to the west. Please see the enclosed zoning and aerial vicinity maps in the meeting materials.

The 2009 Springboro Land Use Plan makes recommendations for the future development of the community and is used by City Council, the Planning Commission, and City staff to make zoning decisions. It includes recommendations within 16 policy areas that are based on proximity, development characteristics including land use and the age of construction or development. This property is included in Policy Area #16, Heatherwoode. The policy area recommends residential development up to 6 dwelling units per acre when large areas of open space are provided, as well as parks, public uses such as schools, and semi-public uses such as churches.

Staff Recommendation

City staff recommends approval of a recommendation to Springboro City Council to amend the Official Zoning Map of the City of Springboro and rezone 1360 South Main Street/SR 741 from PUD-R, Planned Unit Development-Residential, to R-1, Estate-Type Residential District.

The information contained in this report is based on material provided to the City of Springboro as of Wednesday, November 3, 2021 at 12:00 p.m.

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☒ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: CHRISTIAN STONE

Address 4779 REDBANK EXPRESSWAY
CINCINNATI, OH 45227

Telephone No. (513) 561-6633x107

Fax No. ()

Email Address CSTONE@CINCIGROUP.COM

PROPERTY OWNER NAME (IF OTHER): SPRINGBORO ADVANCE LLC

Address: 4779 REDBANK EXPRESSWAY

CINCINNATI, OH 45227

Telephone No. (513) 561-6633x107

Property Address or General Location: WEST OFADVANCED DRIVE

Parcel Number(s): 04191760040 Acreage: 3.55 AC

PUD Category: ☐ Residential ☐ Retail ☐ Office ☒ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category:

For Residential Proposed Density Number of Residential Units

Proposed Use:

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

10/27/2021
(Date)

CHRISTIAN STONE

Printed Name

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGRI.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706.05 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

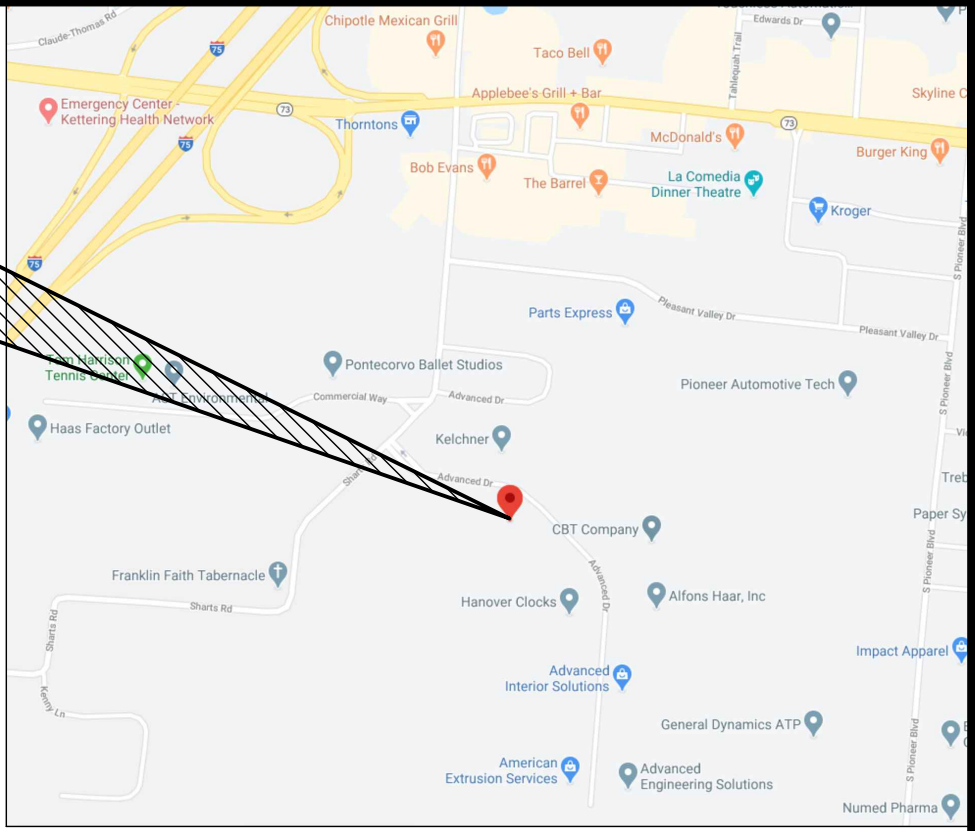
DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

ADVANCE DR. SPEC. #3

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO
AUG., 2021

PROPOSED SITE



LOCATION MAP

DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD.
HARRISON, OH 45030
(513)-202-0525
DANNY BINZ, P.S.

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-5 STORMWATER POLLUTION PREVENTION PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-19-2019) CATCH BASINS NOS 2-2A, B & C
- CB 1.2 (1-15-2016) CATCH BASINS NOS 2-3 & 2-4
- CB 2.2 (7-20-2018) CATCH BASIN NO. 3A
- MH 1.2 (1-15-2016) MANHOLE NO. 3
- BP-7.1 (7-20-2018) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
- INSTALL STORMWATER MANAGEMENT SYSTEMS.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



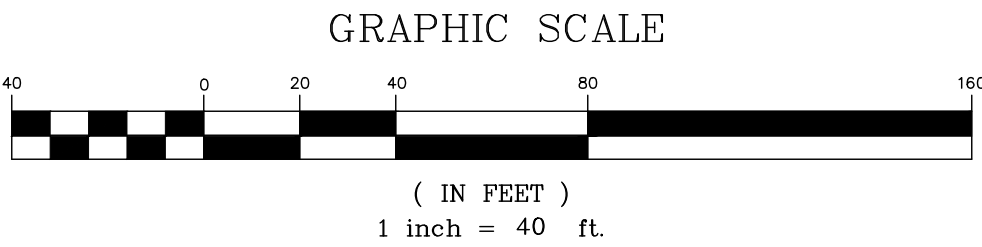
ADVANCE DR. SPEC. #3
TITLE SHEET & GENERAL
NOTES
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

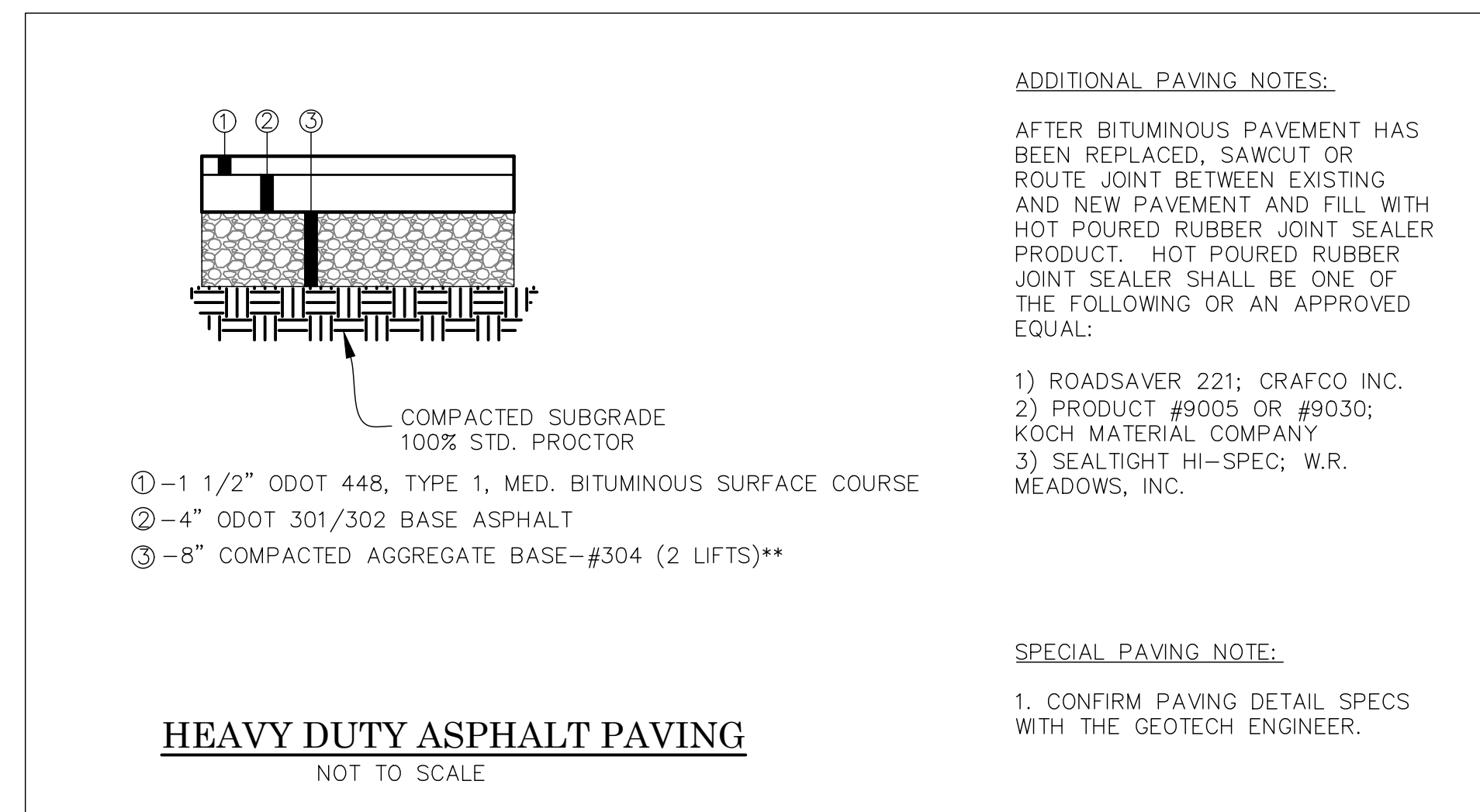
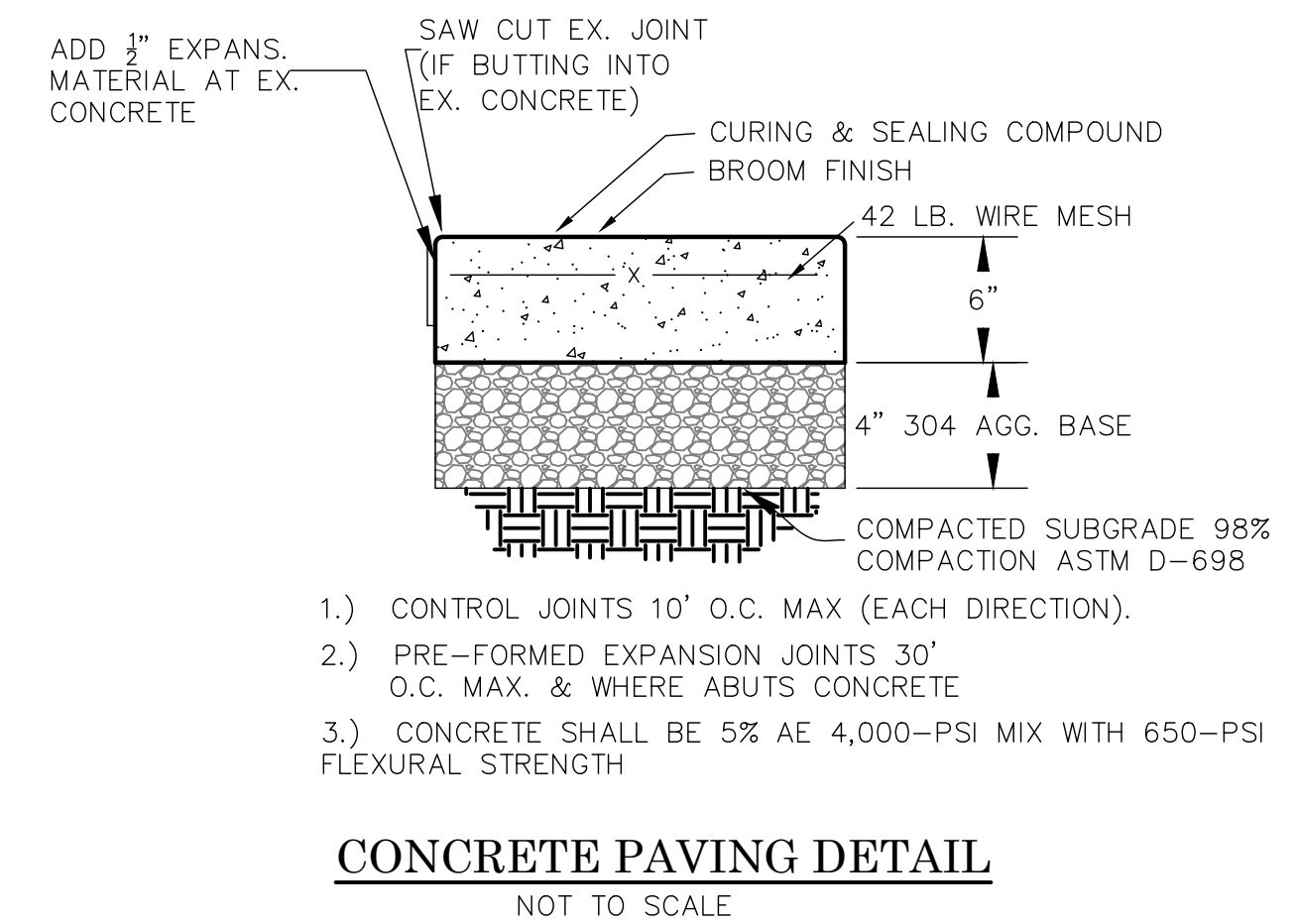
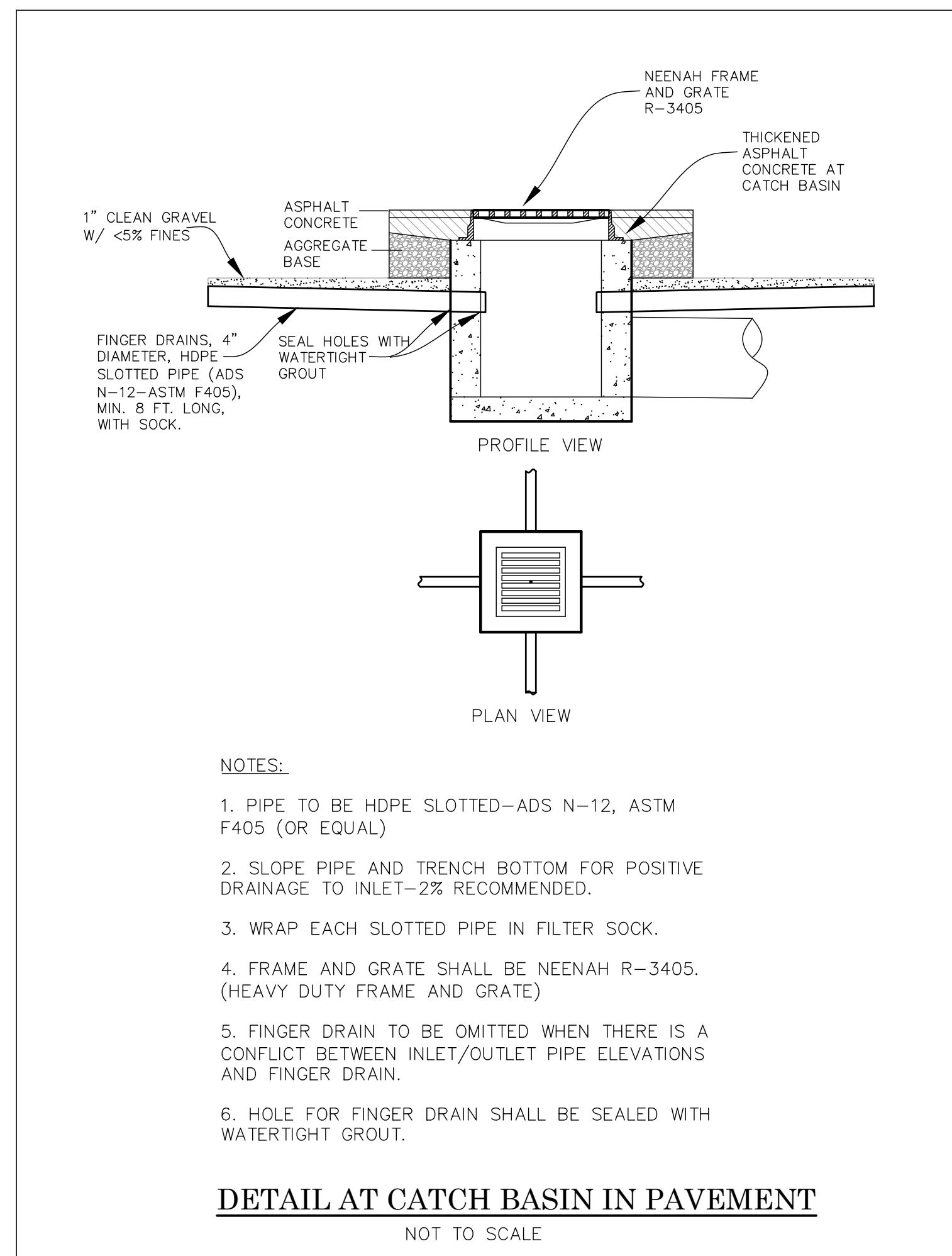
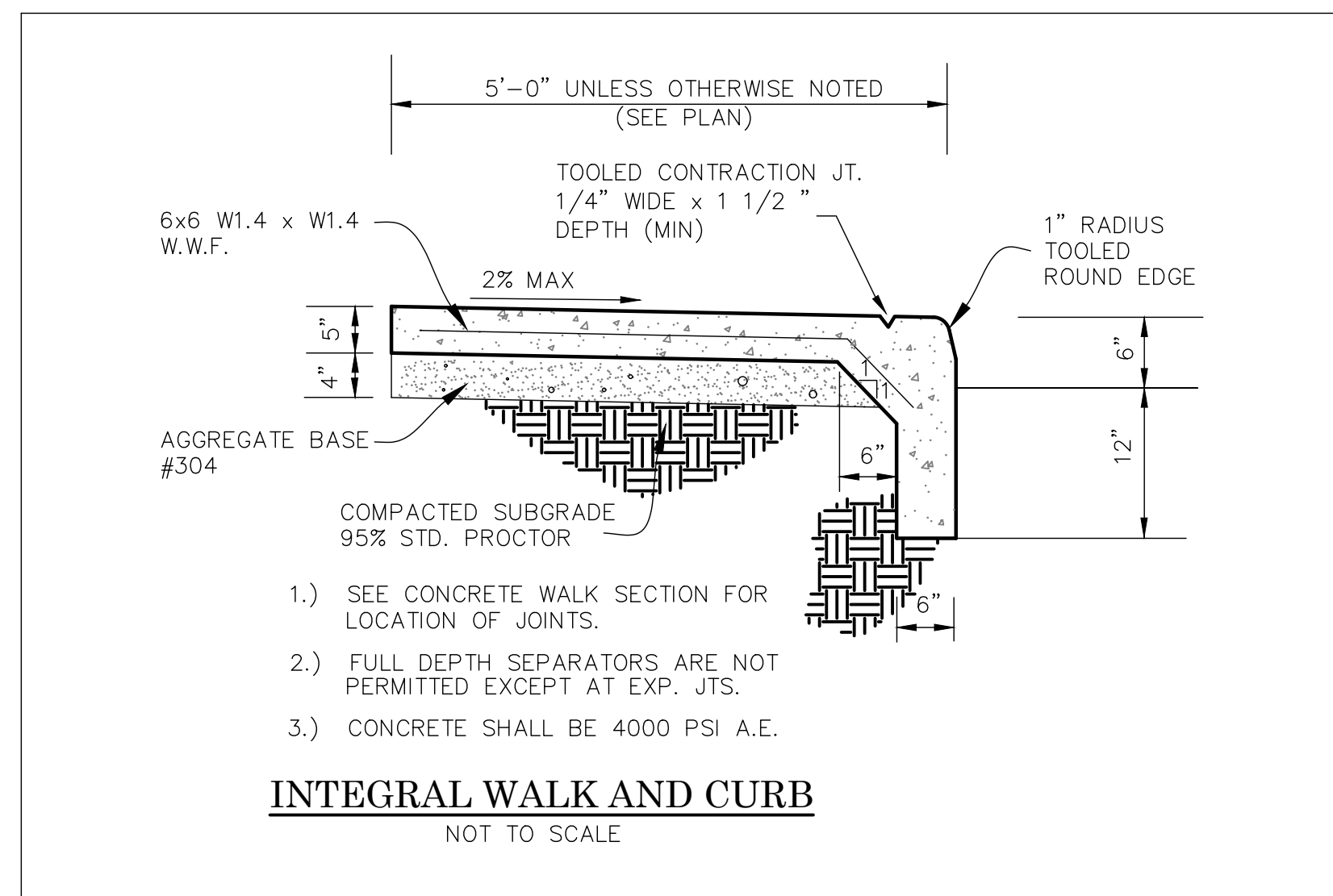
SCALE: HORIZ. VERT.
1"=30' N/A

JOB NO. 20-140
DATE Oct. 22, 2021

SHEET NO.

C-1





PRELIMINARY
NOT FOR CONSTRUCTION

[illegible]

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

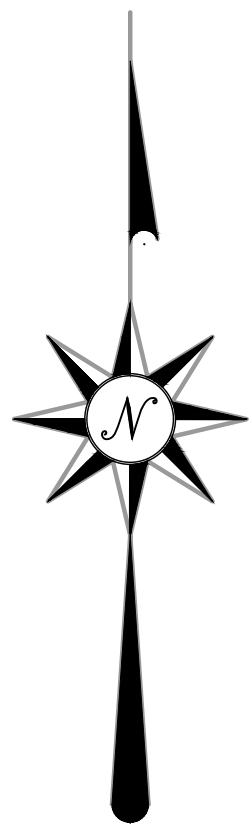


ADVANCE DR. SPEC. #3
**SITE CONSTRUCTION
 DETAILS**
 ADVANCED DR.,
 CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	N/A	N/A
JOB. NO.	20-140	
DATE	Oct. 22, 2021	

SHEET NO.

C-1.1



NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "PUD". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF SPRINGBORO ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0017E EFFECTIVE 12/17/2010, THE SUBJECT PROPERTY IS A NON-PRINTED MAP, LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

Utility Notes

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, GAS, ELECTRIC, STORM SEWER, TELEPHONE, AND WATER LINES AND/OR SERVICE IS AVAILABLE FOR THE SUBJECT PROPERTY WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS AS SHOWN.

Legend of Symbols & Abbreviations

- | | | |
|---|--------------------------|------------------------|
| * LIGHT POLE | ▲ SIGN | DS ○ DOWNSPOUT |
| FH ▲ FIRE HYDRANT | GV ○ GAS VALVE | GM ○ GAS METER |
| ☒ HEATING, VENTILATION
AIR CONDITIONING UNIT | CO ○ CLEANOUT | —○ GUY WIRE |
| CONCRETE | CB ■ CATCH BASIN | —○ OVERHEAD
UTILITY |
| CM ○ COMMUNICATION MANHOLE | — OLD WIRE FENCE | WM ○ WATER METER |
| MH ○ MANHOLE | — HANDICAP PARKING SPACE | — PARKING
STOPPERS |
| SV ○ SPRINKLER VALVE | — GUARDRAIL | |
| WV ○ WATER VALVE | | |
| UP ○ UTILITY POLE | EB ■ ELECTRIC BOX | EM ■ ELECTRIC METER |
| — WATER FAUCET | • BALLARD | — ENTRANCE DOOR |
| — UNDERGROUND UTILITY | | |

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION
BY	
DATE	

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



EXISTING CONDITIONS &
DEMO PLAN

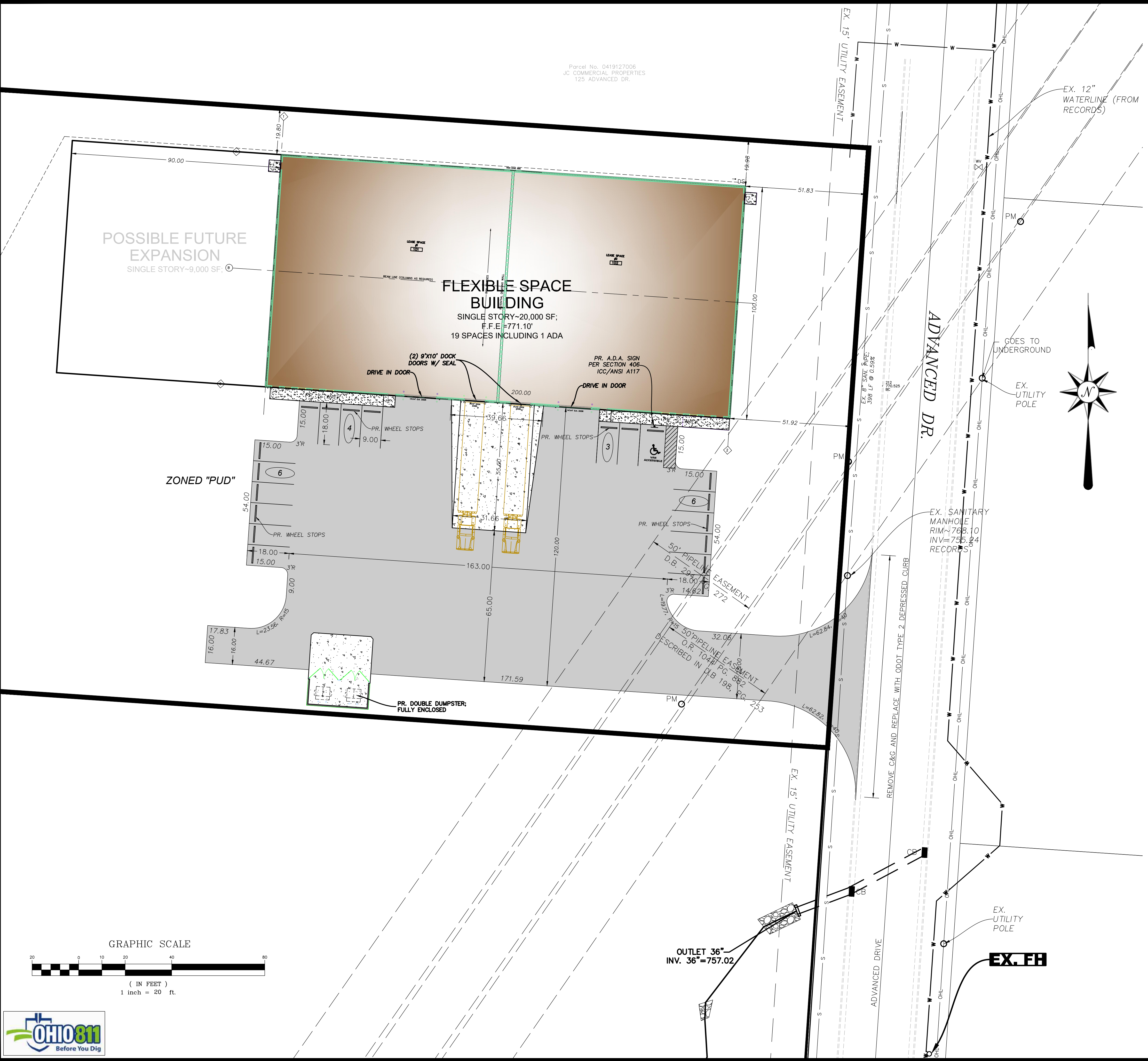
ADVANCE DR. SPEC. #3

ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	20-140	
DATE	Oct. 22, 2021	

SHEET NO.

C-2



LEGEND-PROP. FEATURES

- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
- PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

PARKING TABLE:

PROPOSED PARKING=	18
ADA ACCESSIBLE =	1
TOTAL PARKING	19 SPACES (MIN. 9'X18')

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CINCINNATI, OHIO 45226

(513) 321-2168

ADVANCE DR. SPEC. #3

SITE DIMENSION PLAN

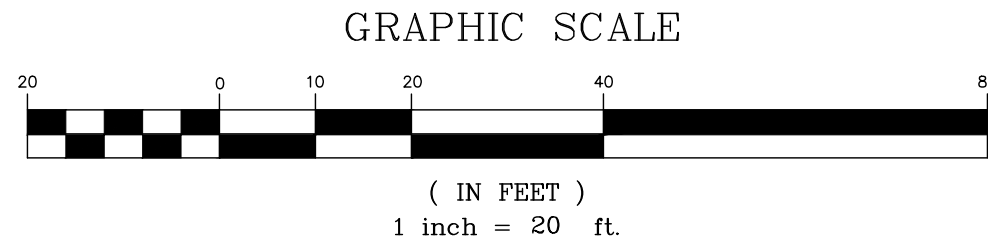
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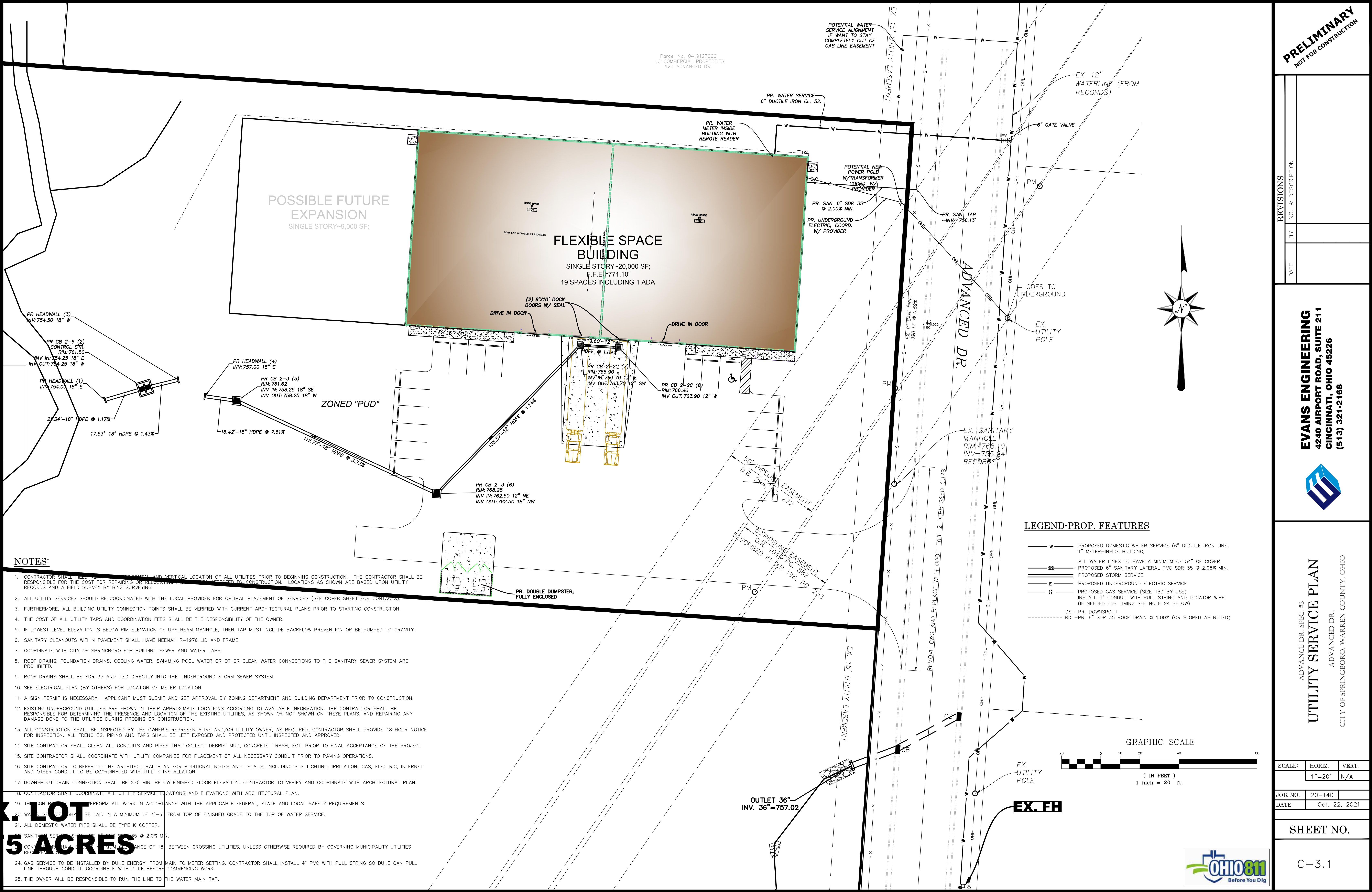
CITY OF STRINGBORO, WARREN COUNTY, OHIO

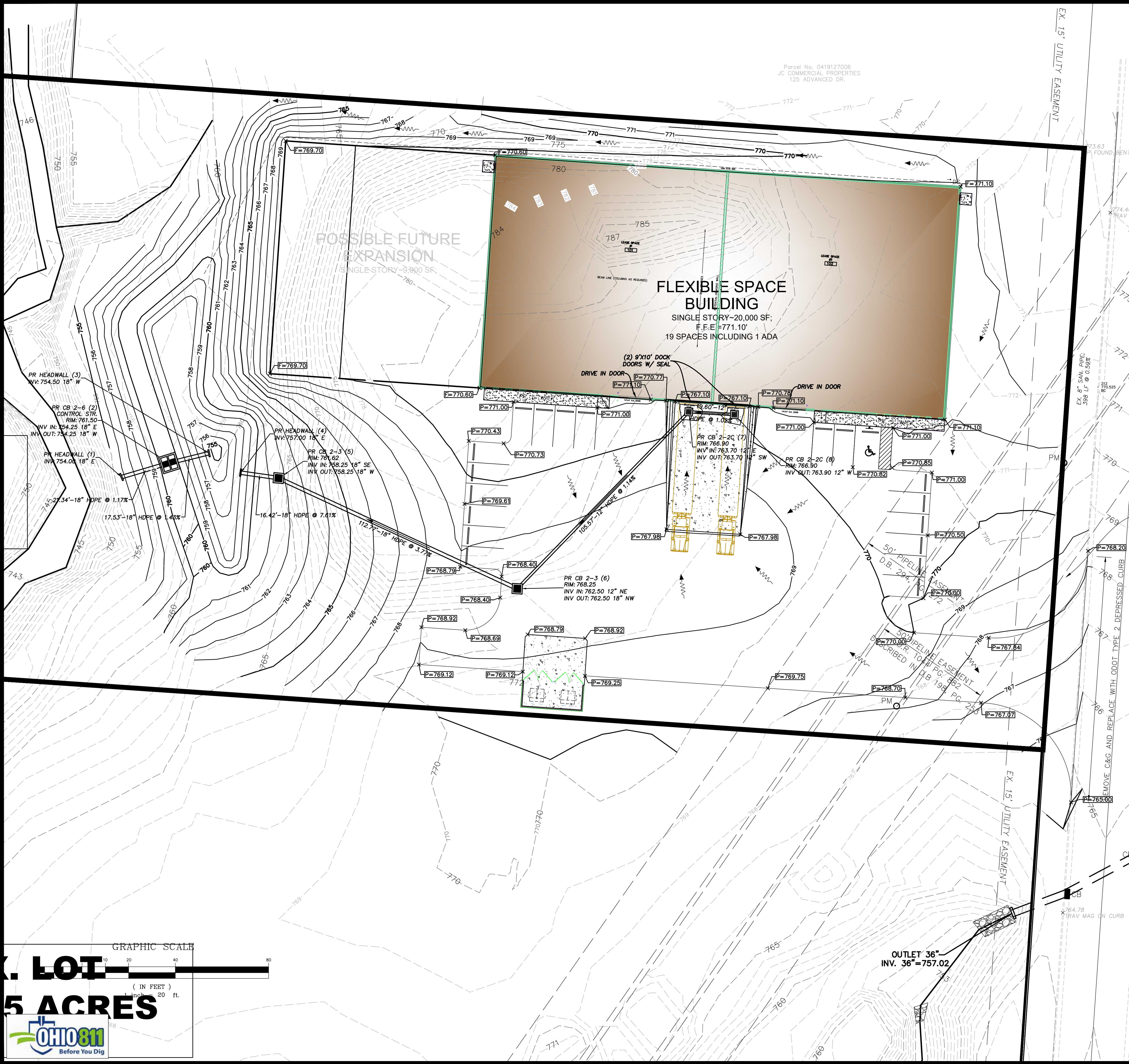
SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB. NO.	20-140	
DATE	Oct. 22, 2021	

SHEET NO.

C-3







- A. MAINTENANCE PLANS FOR THE STORM WATER MANAGEMENT PRACTICES**
- 1.The Owner agrees to maintain in perpetuity the storm water management practices in accordance with approved Maintenance Plans listed in #2 below and in a manner that will permit the storm water management practices to perform the purposes for which they were designed and constructed, and in accordance with the standards by which they were designed and constructed, all as shown and described in the approved Comprehensive Storm Water Management Plan. This includes all pipes and channels built to convey storm water to the storm water management practices, as well as structures, improvements, and vegetation provided to control the quantity and quality of the storm water.
- 2.The Owner shall provide a Maintenance Plan for each storm water management practice. The Maintenance Plans shall include a schedule for monthly and annual maintenance. The Owner shall maintain, update, and store the maintenance records for the storm water management practices. The specific Maintenance Plans for each storm water management practice are as follows:
- (a) Stormwater Pond Maintenance. To be completed MONTHLY.
 - (1) Remove floating debris.
 - (2) Remove woody vegetative growth from pond area including embankments.
 - (3) Remove trash and/or accumulated sediment.
 - (4) Remove obstructions in orifices and/or outlets.
 - (b) Stormwater Pond Maintenance. To be completed ANNUALLY.
 - (1) Repair erosion to outfall or spillway.
 - (2) Repair and/or replace damaged structures, such as catch basins, risers, pipes, and headwalls.
 - (3) Repair animal burrows and/or other leaks in the dam structures.
 - (4) Remove debris from overflow spillway and grates.
 - (5) Mow embankments and remove woody vegetation on embankments.
 - (6) Inspect and remove invasive plants.
 - (7) Dredge pond on a 3-7 year cycle or as necessary to retain design capacity.
- 3.The Owner shall perform all maintenance in accordance with the above Maintenance Plan and shall complete all repairs identified through regular inspections.,

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL
B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

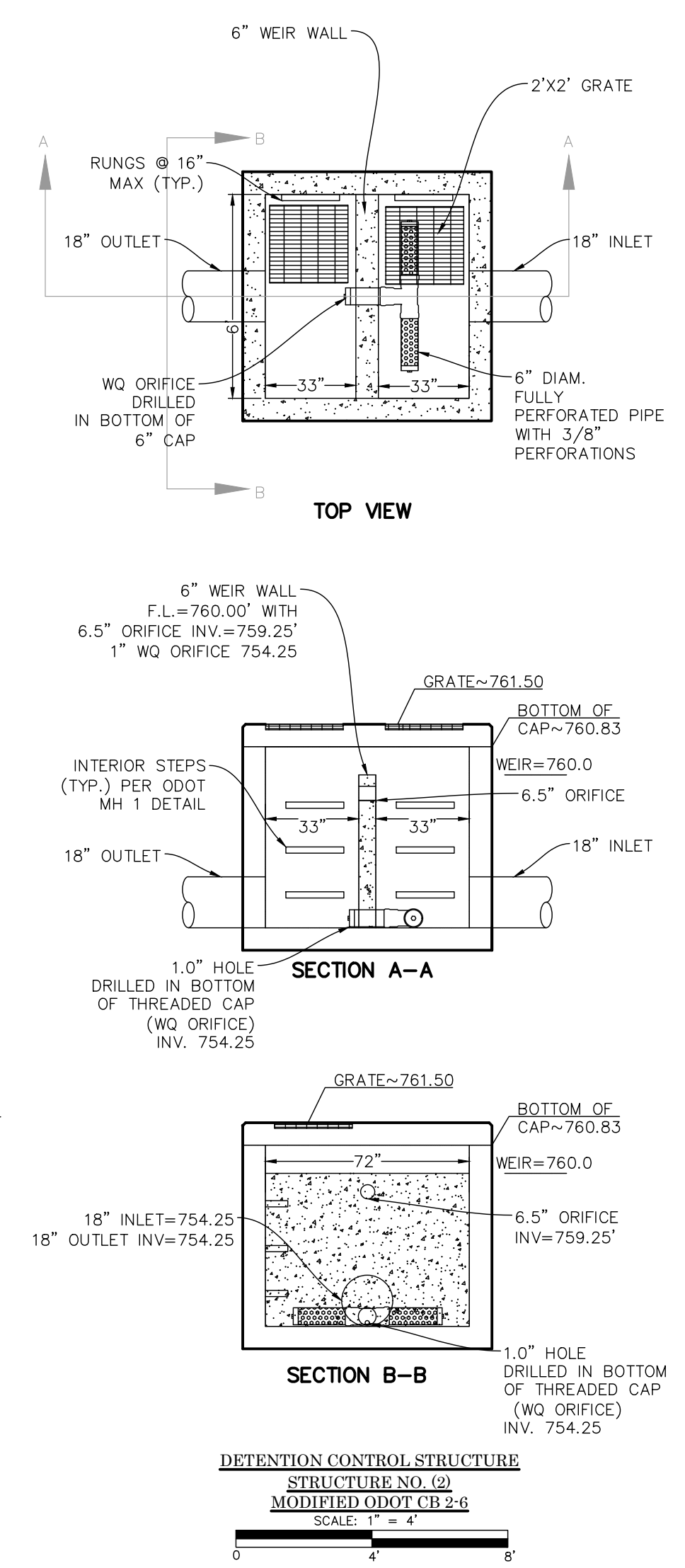
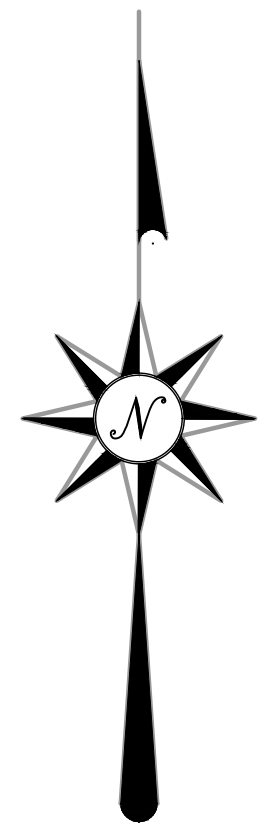
CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

CONTOUR LEGEND:

--- EX. CONTOURS
--- PR. CONTOURS (MAJOR)
--- PR. CONTOURS (MINOR)



LOT 5 ACRES

GRAPHIC SCALE

(IN FEET)

1" = 20' ft.

OHIO811
Before You Dig

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EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

GRADING PLAN

ADVANCE DR. SPEC. #3
ADVANCED DR.,
CITY OF STRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB NO.	20-140
DATE	Oct. 22, 2021

SHEET NO.

C-4

EROSION AND SEDIMENT CONTROL NOTES:

PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. THE REQUIRED PRE-CONSTRUCTION MEETING
- B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
- C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE
- D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
- E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE MADE UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE GRADE TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AND EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.

17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.

18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.

31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

OTHER:

32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.

33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.

34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROWING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.

36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.

37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OH0C00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."

CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SOIL STOCKPILED MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.

SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.

ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

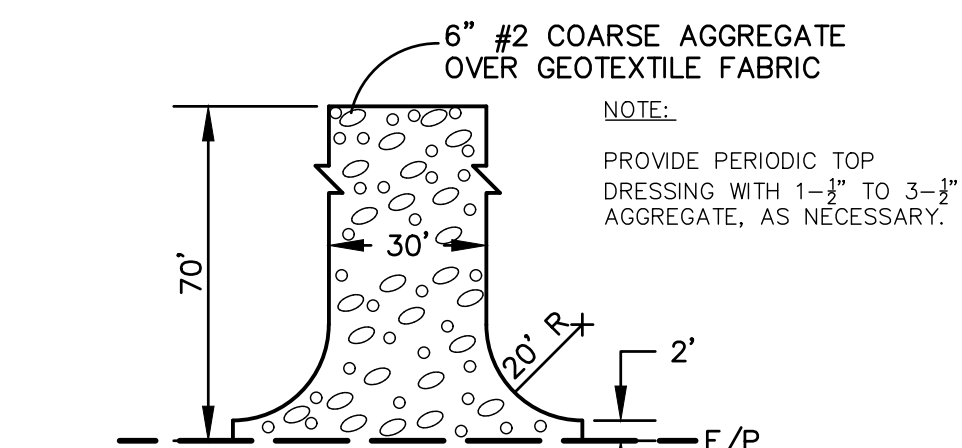
SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.

2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.

3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.

4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



STABILIZED CONSTRUCTION ENTRANCE (ONLY IF NECESSARY) NO SCALE

TEMPORARY AND PERMANENT SEEDING:

1.1 SEEDBED PREPARATION

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

1.2 SEEDING

1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING AND SUMMER	1. OATS	3 LBS
	2. PEREN. RYEGRASS	1 LBS
	3. TALL FESCUE	1 LBS
FALL	1. PEREN. RYEGRASS	1 LBS
	2. RYE	3 LBS
	3. WHEAT	3 LBS
	4. TALL FESCUE	1 LBS

2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE	0.5 LBS
	2. DOMESTIC RYEGRASS	0.25 LBS
	3. KENTUCKY BLUEGRASS	0.25 LBS
	4. TALL FESCUE	1 LBS
2-1 SEEDING FOR STEEP BANKS OR CUTS	1. TALL FESCUE	1 LBS
	2. CROWNVEITCH	0.25 LBS
	3. TALL FESCUE	0.50 LBS
2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES	1. TALL FESCUE	1 LBS
	2. TALL FESCUE	0.50 LBS

2-1 SEEDING FOR STEEP BANKS OR CUTS

SPRING, SUMMER, AND FALL	1. TALL FESCUE	1 LBS
	2. CROWNVEITCH	0.25 LBS
	3. TALL FESCUE	0.50 LBS
	4. TALL FESCUE	0.50 LBS

2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SPRING, SUMMER AND FALL	1. TALL FESCUE	1 LBS
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B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) OF AN INCH.

TEMPORARY AND PERMANENT SEEDING(CONT.)

C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.

D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.

E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

2. DORMANT SEEDING

A. TEMPORARY SEEDING-AFTER NOVEMBER 1, USE MULCH ONLY.

B. PERMANENT SEEDING- SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING":

1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

3. MULCHING

A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.

B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.

C. MULCH ANCHORING METHODS:

- 1. MECHANICAL- USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.
- 2. ASPHALT EMULSION-APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
- 3. MULCH NETTING-USE ACCORDING TO THE MANUF. RECOMMENDATIONS.

4. IRRIGATION

SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

STABILIZATION:

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

PERMANENT STABILIZATION

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of surface water of the state and at final grade	Within two days of reaching final grade
All other areas at final grade	Within seven days of reaching final grade within that area

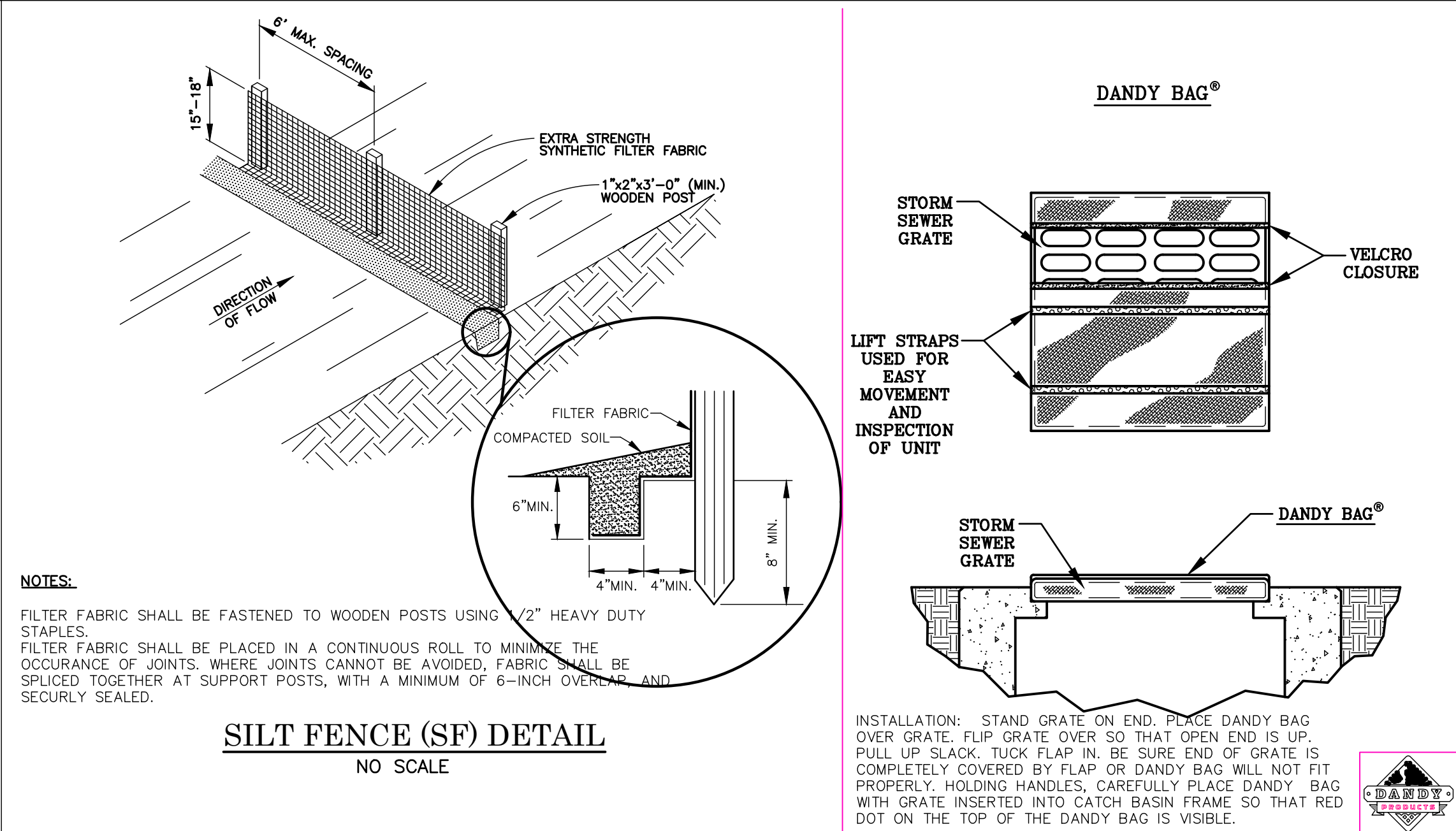
TEMPORARY STABILIZATION

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will lie dormant for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will lie idle over winter	Prior to the onset of winter weather

CONSTRUCTION SEQUENCE:

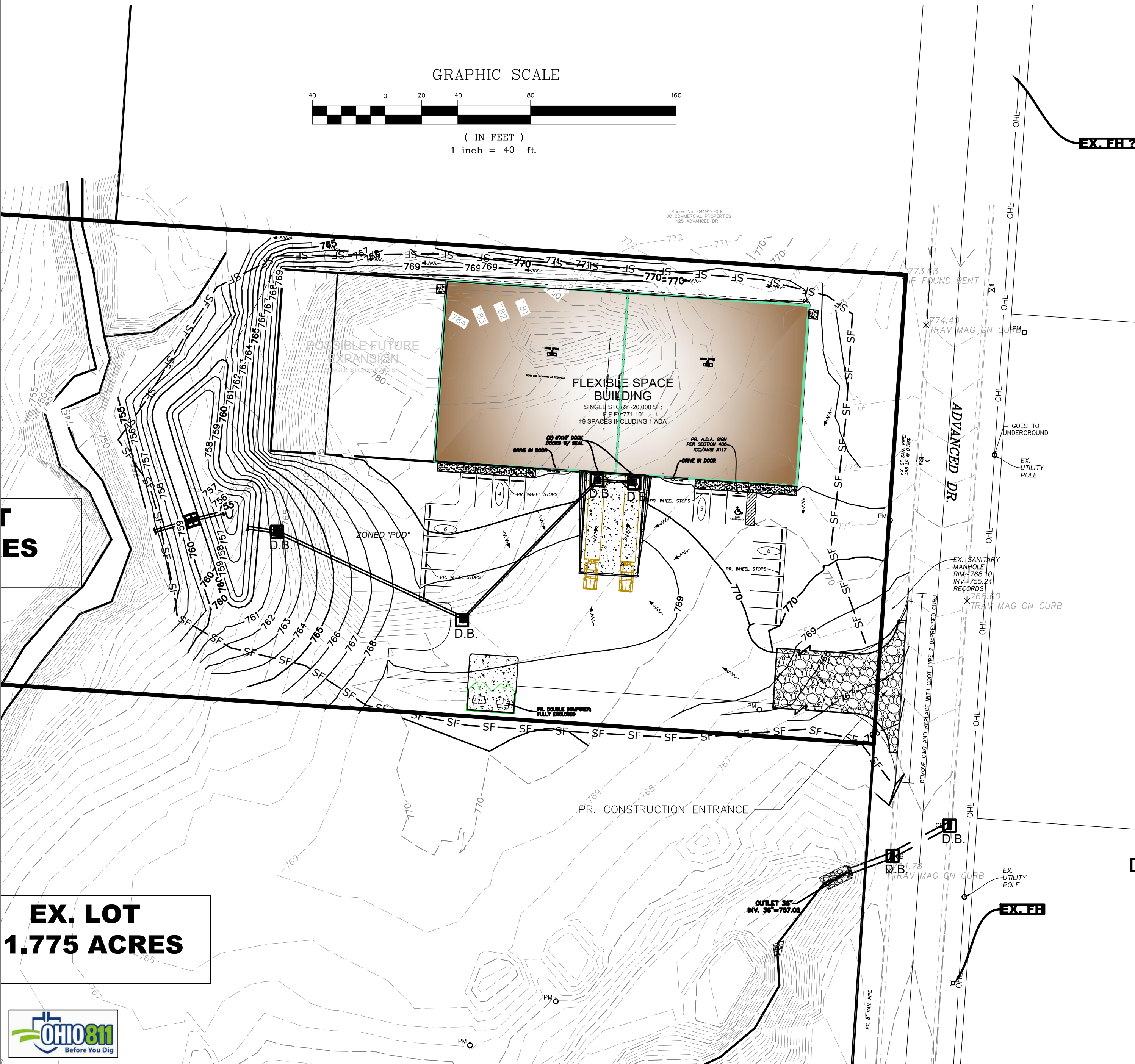
THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
5. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
6. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
7. INSTALLATION OF ALL UTILITIES.
8. SITE CONSTRUCTION.
9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



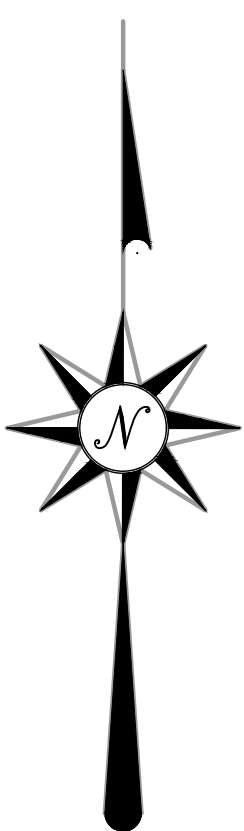
SILT FENCE (SF) DETAIL NO SCALE

DETAIL OF INLET SEDIMENT CONTROL DEVICE DANDY BAG (DB)



EROSION CONTROL LEGEND

- SF SILT FENCE
- D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
- CONSTRUCTION ENTRANCE



PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



STORMWATER POLLUTION PREVENTION PLAN

ADVANCE DR. SPEC. #3

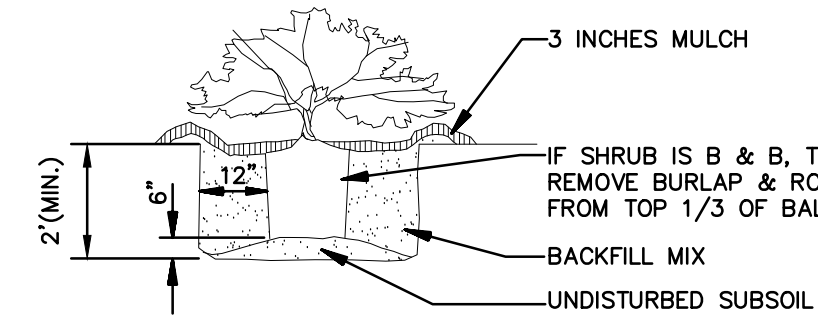
ADVANCED DR.

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=40'	N/A

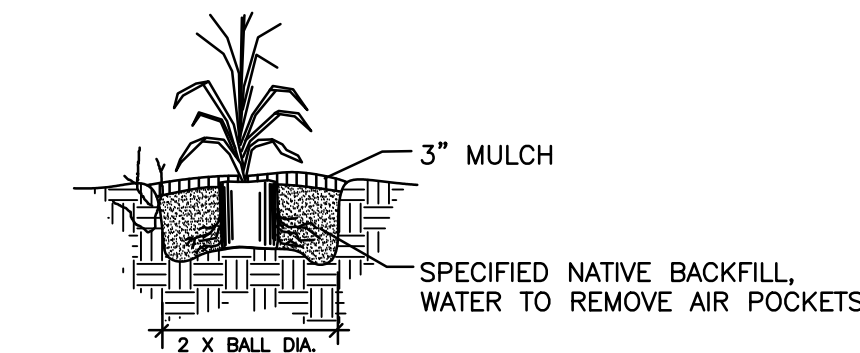
JOB NO.	20-140
DATE	Oct. 22, 2021

SHEET NO.



SHRUB PLANTING

NOT TO SCALE



PERENNIAL PLANTING DETAIL

NOT TO SCALE

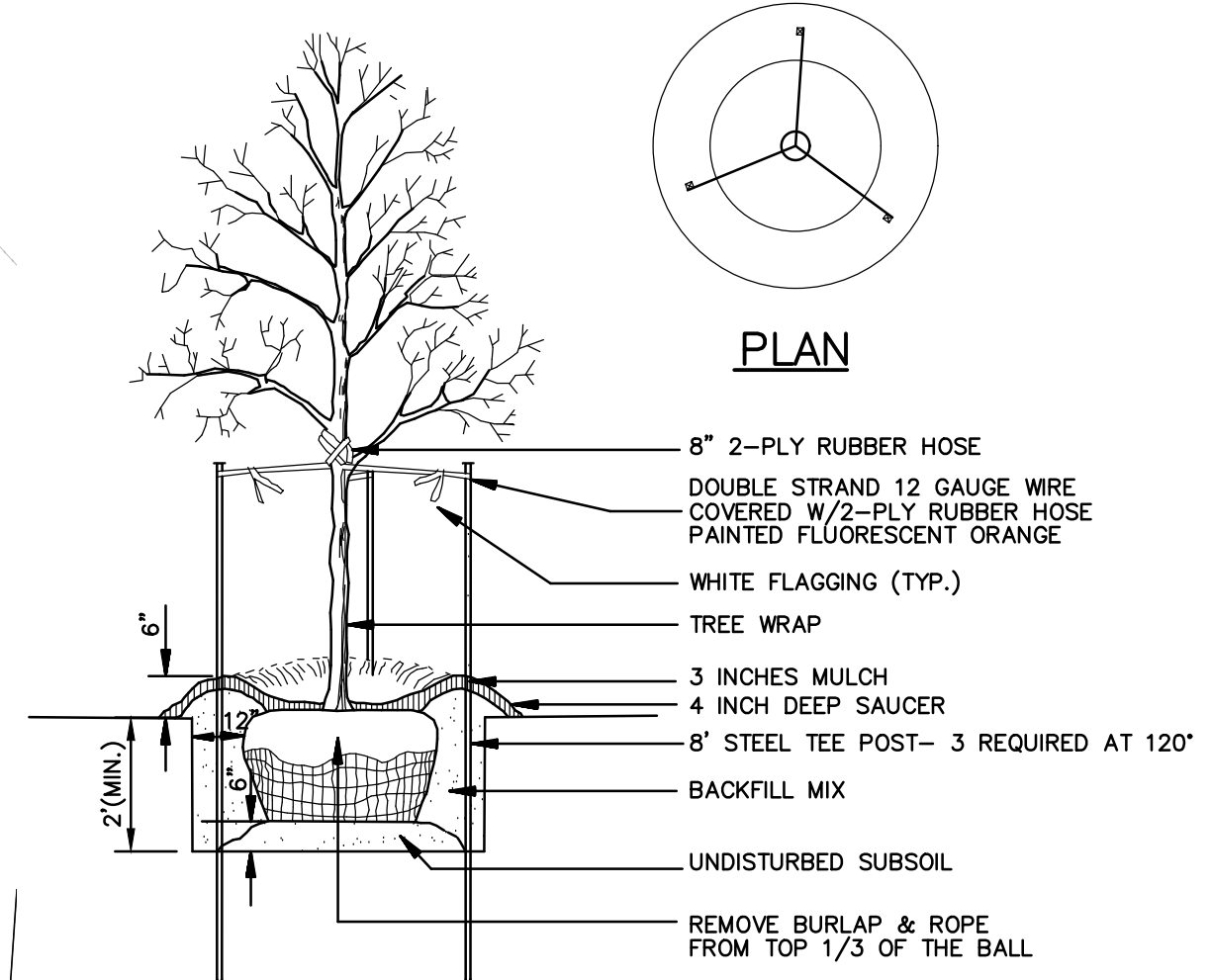
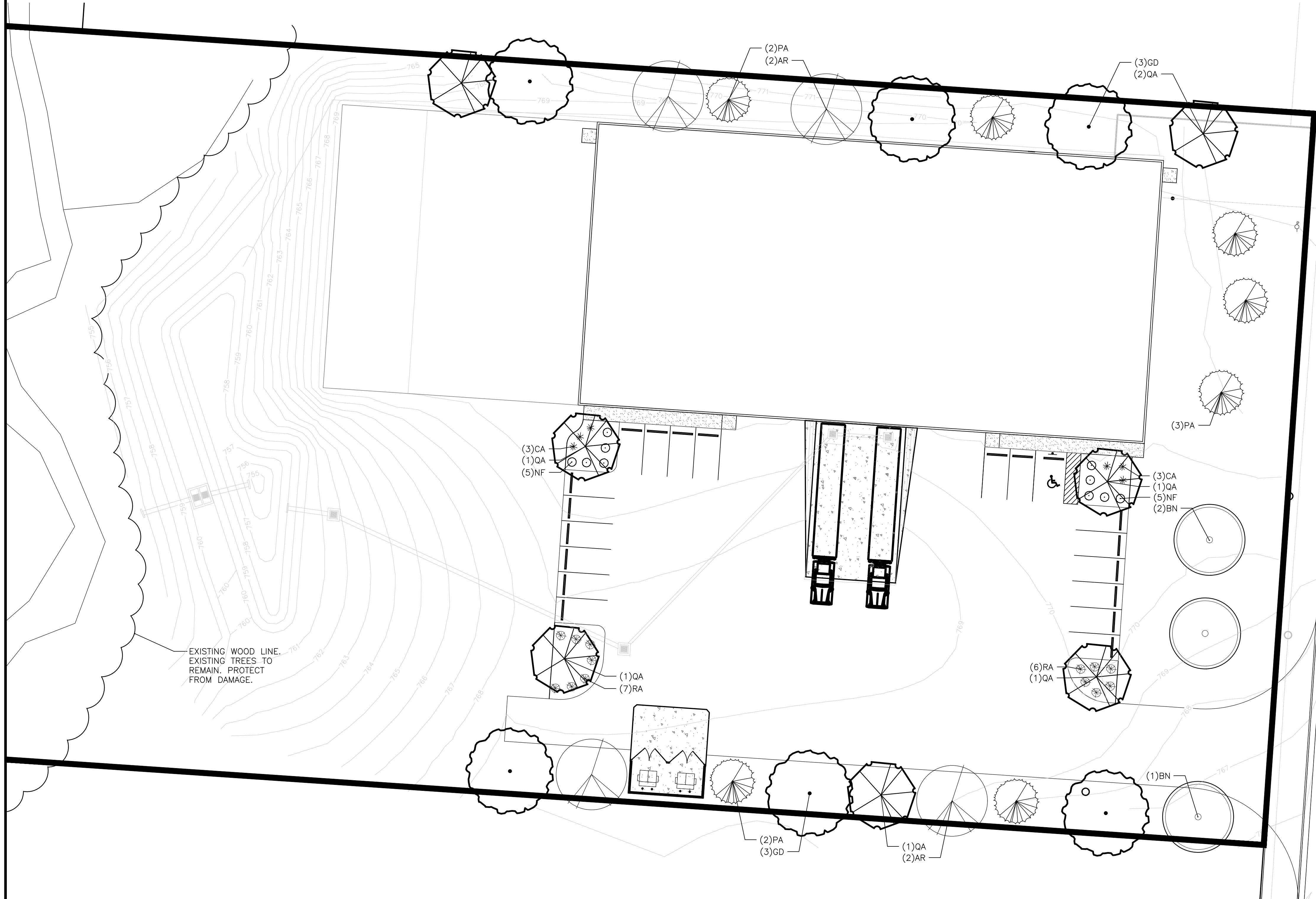
- ① LOOSEN SOIL IN ROOT BALL AND SPREAD ROOTS PRIOR TO PLACING IN PIT.

PERMANENT SEEDING

- (1) ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- (2) TILLED AREAS TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- (3) PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEEDED AREAS.

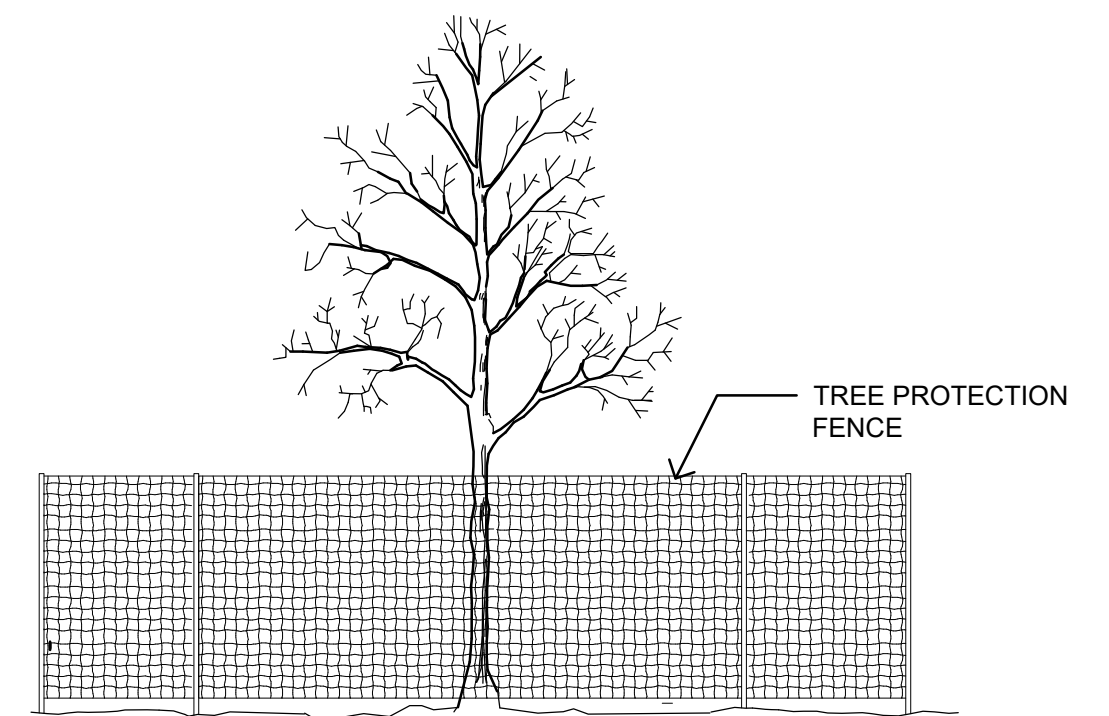
LANDSCAPE NOTES:

1. ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED.
11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
12. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
13. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.
14. ALL EXISTING TREES SHOWN ON THE PLAN TO BE PRESERVED AND PROTECTED.



TREE PLANTING

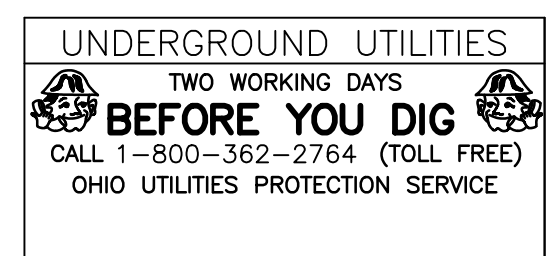
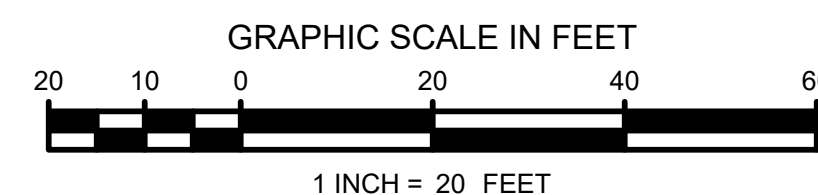
NOT TO SCALE



TREE PROTECTION

NOT TO SCALE

- ① TREE PROTECTION FENCE MUST BE A MINIMUM OF 5' TALL AND CONSTRUCTED OF DURABLE MATERIAL. MOUNTED ON DURABLE POSTS APPROXIMATELY 8'-0" O.C. MAX.
- ② TREE PROTECTION FENCING SHALL BE ERECTED AT DRIP LINE OR BEYOND PRIOR TO START OF CONSTRUCTION.



KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
ORNAMENTAL/CANOPY TREES						
AR	4	Acer rubrum 'October Glory'	October Glory Maple	2.5" cal.	B&B	Straight Central Leader
BN	3	Betula Nigra	River Birch	8' ht.	B&B	
GD	6	Gymnocladus dioica	Kentucky Coffee Tree	2.5" cal.	B&B	
PA	7	Picea abies	Norway Spruce	6' ht.	B&B	
QA	7	Quercus alba	White Oak	2.5" cal.	B&B	Straight Central Leader
SHRUBS/PERENNIALS						
CA	6	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass		#2 cont.	
RA	13	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac		#3 cont.	
NF	10	Nepeta x faassenii 'Walker's Low'	Walker's Low		#1 cont.	

REVISION NUMBER	DATE	REMARKS
1	10.22.21	CITY COMMENTS

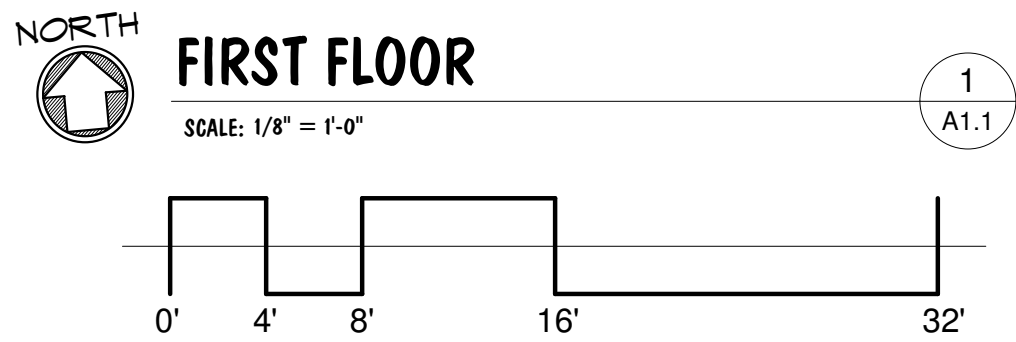
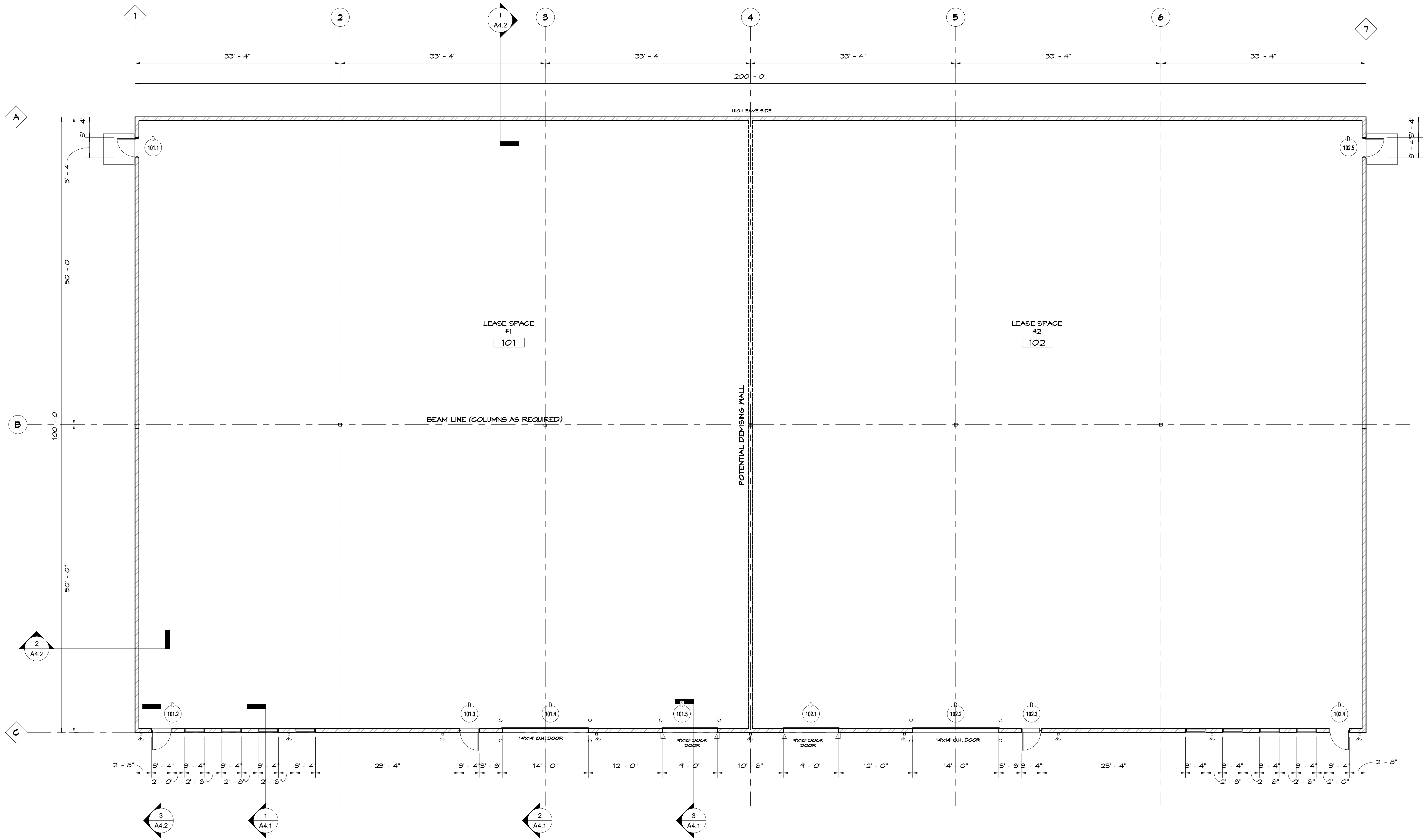
2K Landscape Architecture, LLC
3234 Harvest Ave.
Cincinnati, Ohio 45213
513.228.8572
www.2KlandscapeArchitecture.com

LANDSCAPE PLAN
ADVANCED DRIVE
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

OWNER:
PROJECT NO.: 2021-23

DATE: AUGUST 18, 2021
DRAWN BY: KTC
CHECKED BY: KTC
SCALE: 1" = 20'

SHEET:
L-1



Proposed Building For:
Spec Building - Lot 3
Advanced Drive
Springboro, Ohio 45066

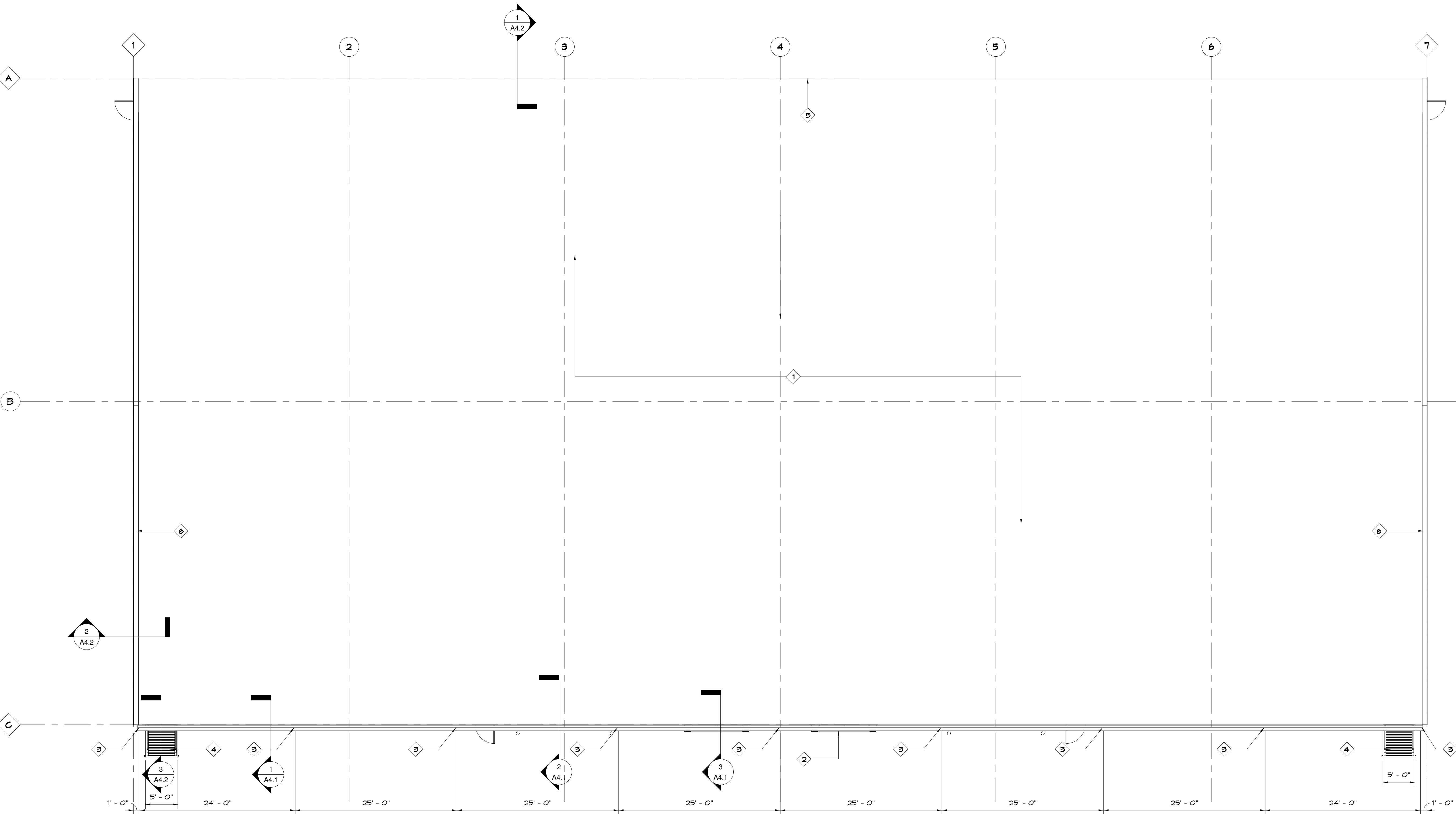
REV. DATE CK'D

Drawn By: WNS Checked By: WNS

**Preliminary
Not For
Construction**

Date: 09.09.21 Job No: 21.128

A1.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

1
A1.2

GENERAL NOTES

- COORDINATE ALL CURB EQUIPMENT & ROOF PENETRATION LOCATIONS W/APPROPRIATE ENGINEERING DRAWINGS. PROVIDE POSITIVE DRAINAGE TO GUTTER AROUND CURBS & PENETRATIONS
- SEE STRUCTURAL DRAWINGS FOR ROOF SLOPE. SLOPES SHALL PROVIDE POSITIVE DRAINAGE TO GUTTERS @ 1/4" per FT MIN.



KEY NOTES

- MECHANICALLY FASTENED, SINGLE-PLY MEMBRANE ROOFING ON (2) LAYERS OF RIGID ROOF INSULATION (R= 25 MIN.)
- PRE-FINISHED METAL GUTTER (6"x6" MIN.)
- PRE-FINISHED METAL DOWNSPOUT (4"x4" MIN.)
- PRE-FINISHED METAL CANOPY WITH INTEGRAL GUTTER. OUTLET SHALL BE NEAR BUILDING LINE. CENTER ON DOOR OPENING
- PRE-FINISHED METAL TRIM
- PRE-FINISHED METAL COPING

Proposed Building For:
Spec Building - Lot 3
Advanced Drive
Springboro, Ohio 45066

REV. DATE

CK'D

Drawn By: WNS Checked By: WNS

Preliminary
Not For
Construction

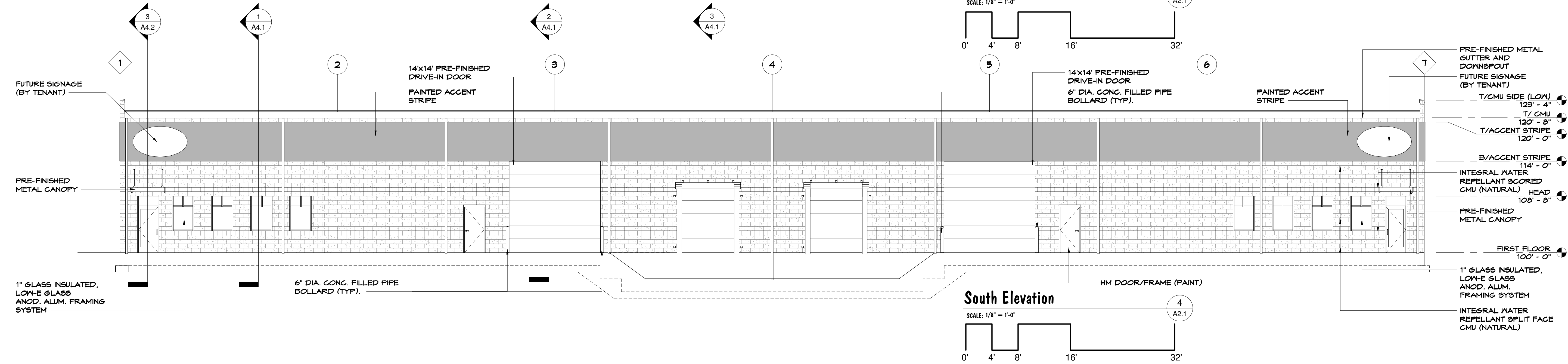
Date: 09.09.21 Job No: 21.128

A1.2



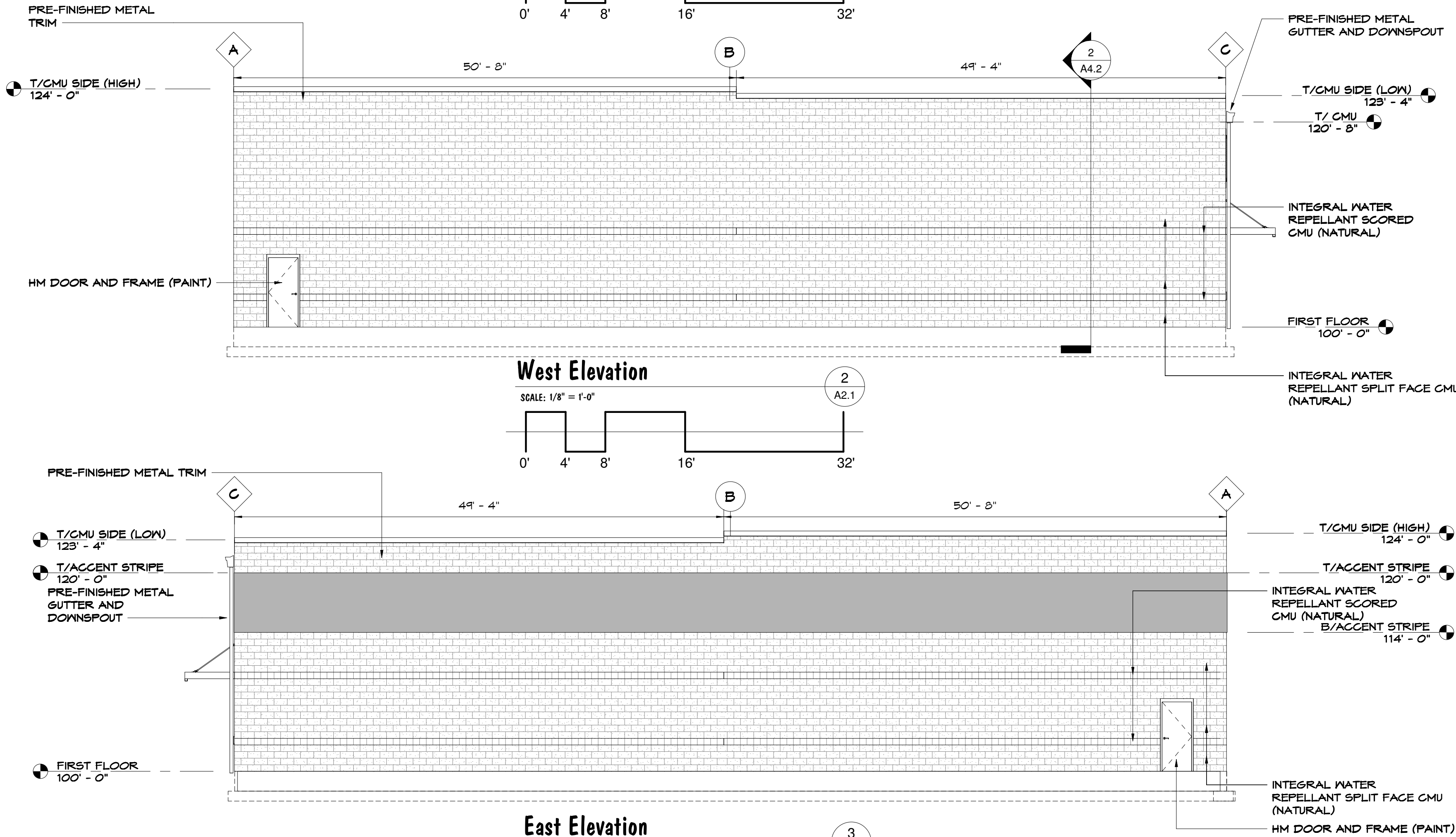
PERSPECTIVE
SCALE: 12" = 1'-0"

5
A2.1



South Elevation
SCALE: 1/8" = 1'-0"

4
A2.1



West Elevation
SCALE: 1/8" = 1'-0"

2
A2.1

North Elevation
SCALE: 1/8" = 1'-0"

1
A2.1

Proposed Building For:

Spec Building - Lot 3

Advanced Drive
Springboro, Ohio 45066

REV. DATE CK'D

Drawn By: Author Checked By: WNS

**Preliminary
Not For
Construction**

Date: 09.23.21 Job No: 21.128

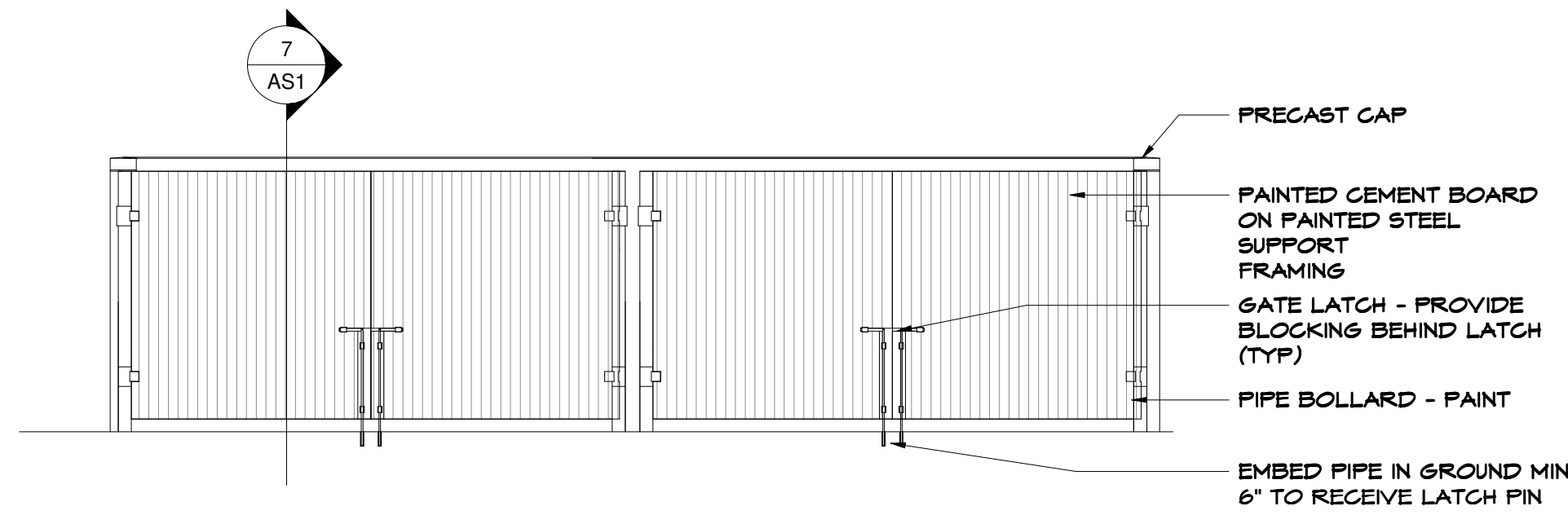
A2.1

K|B|A
K B A Incorporated **ARCHITECTS**
CINCINNATI OHAMA

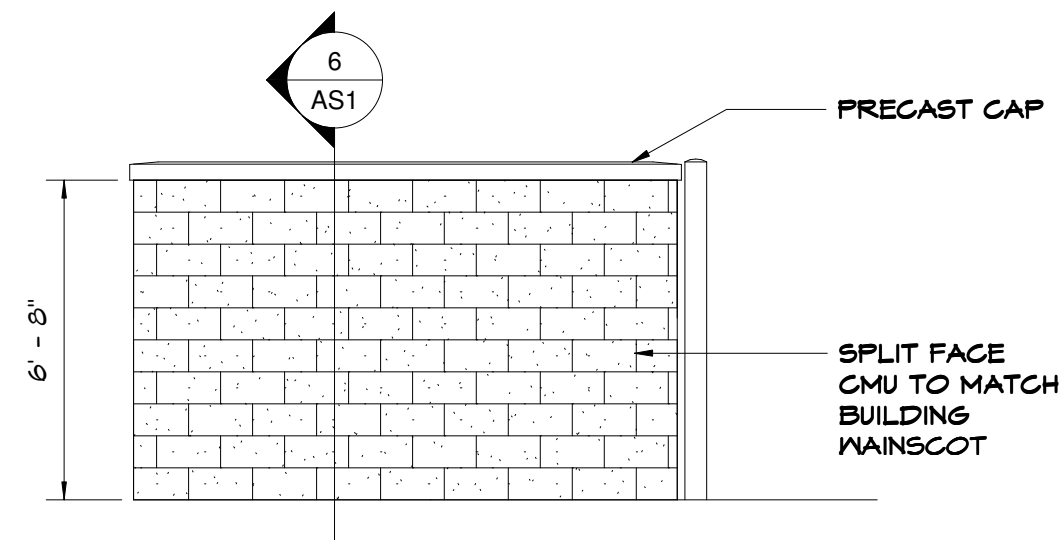
29 HIGH STREET
Milford, Ohio 45150
513.752.7800
Fax: 513.752.7833
www.KBAinc.com

SHEET CONTENTS:
ELEVATIONS

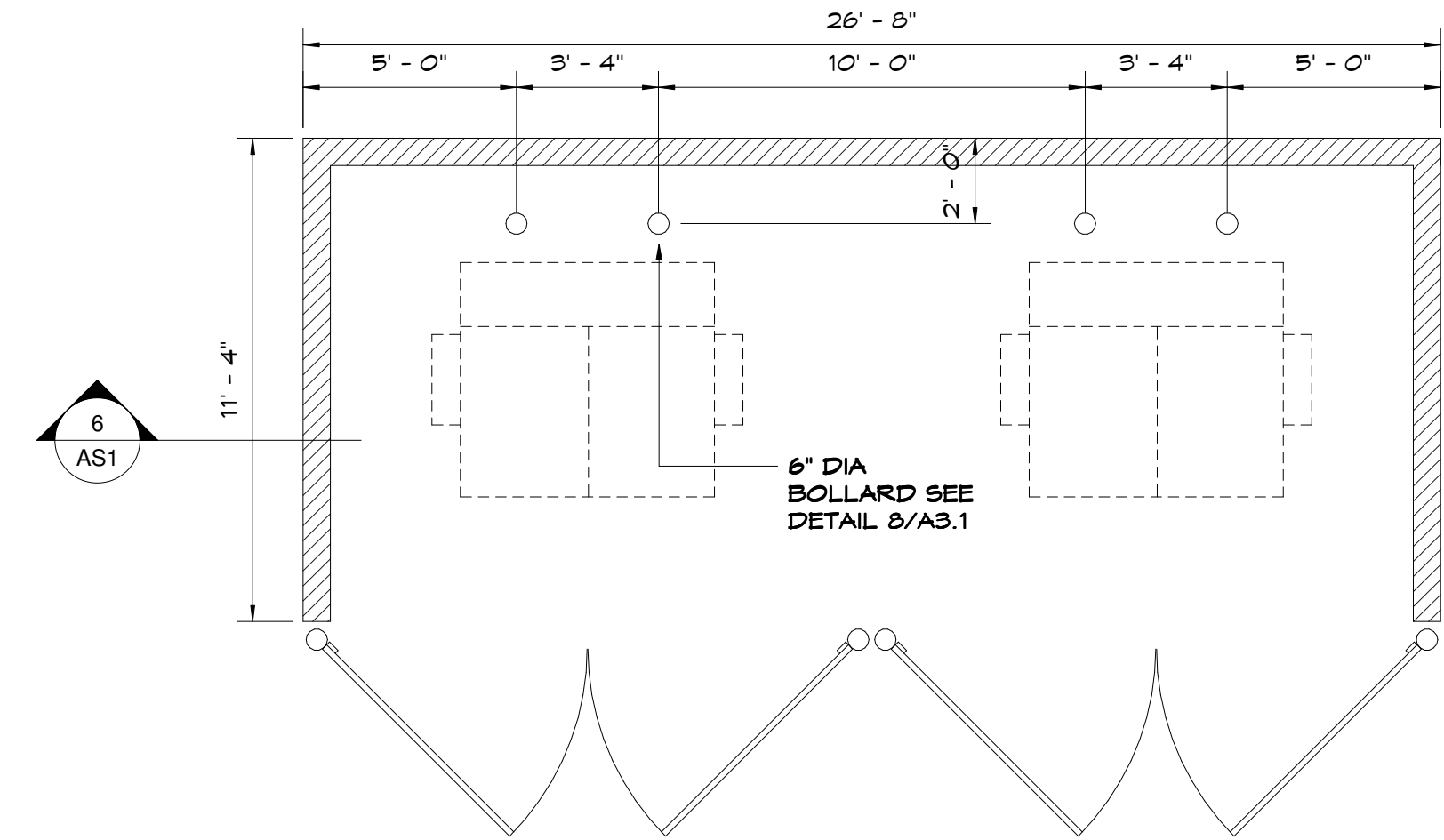
CC CINCINNATI
COMMERCIAL
CONTRACTING
Your Choice for Quality
4779 Red Bank Expressway Cincinnati, Ohio 45227
phone (513) 561-6633 fax (513) 561-3554



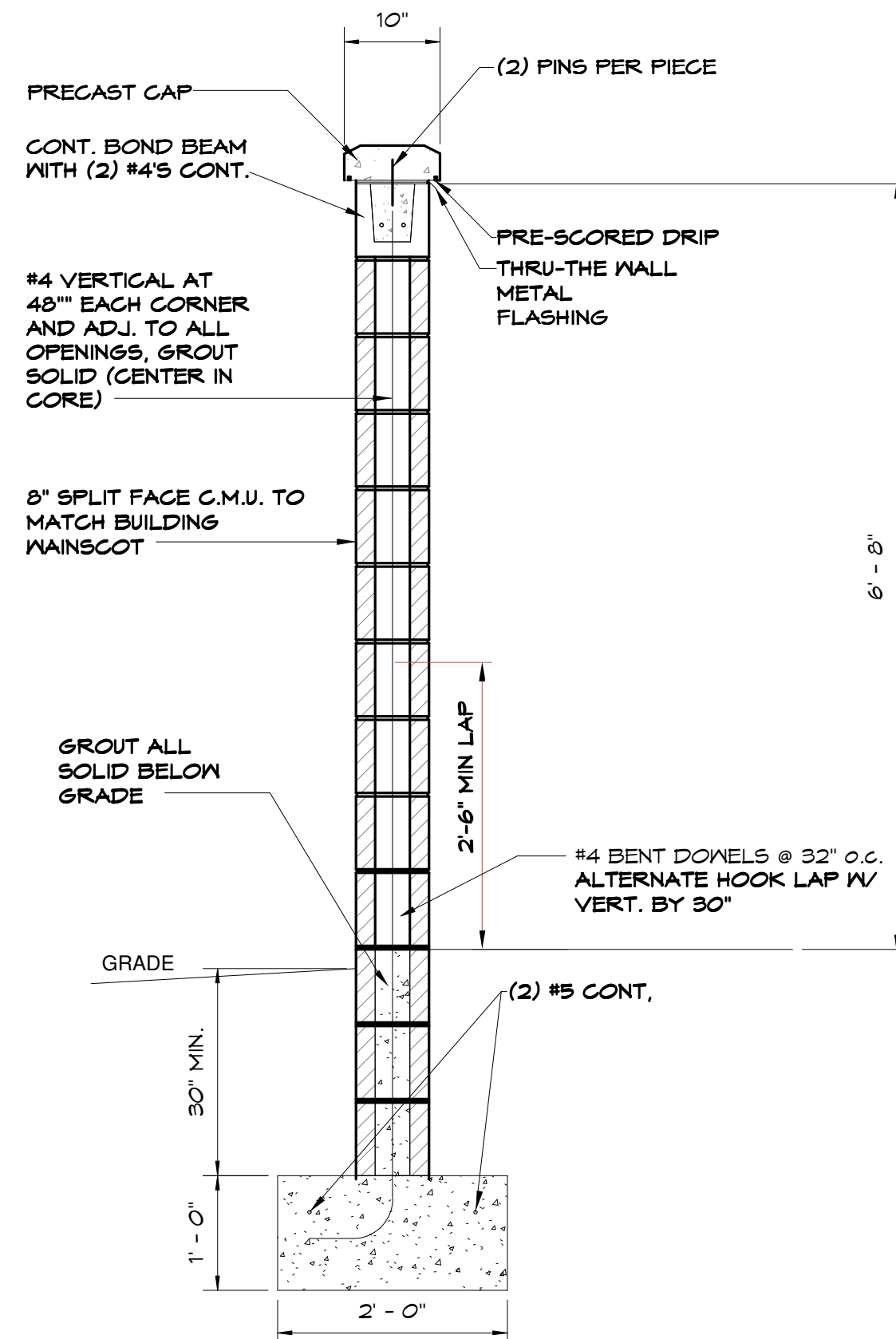
DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



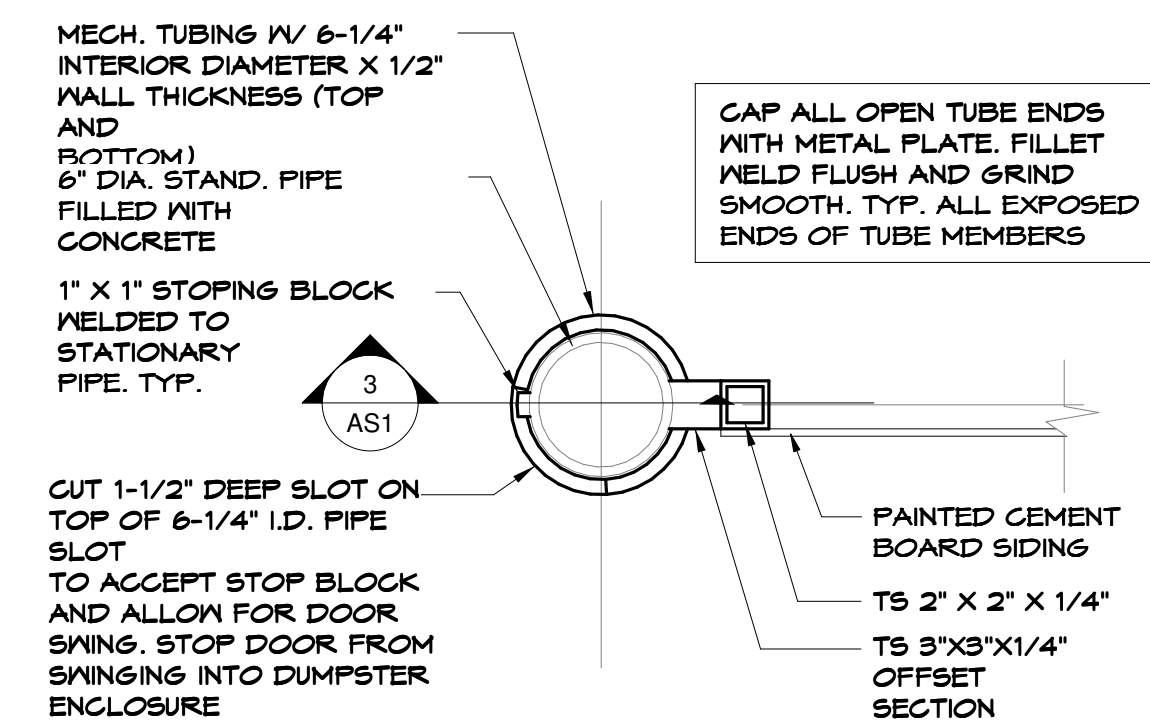
DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



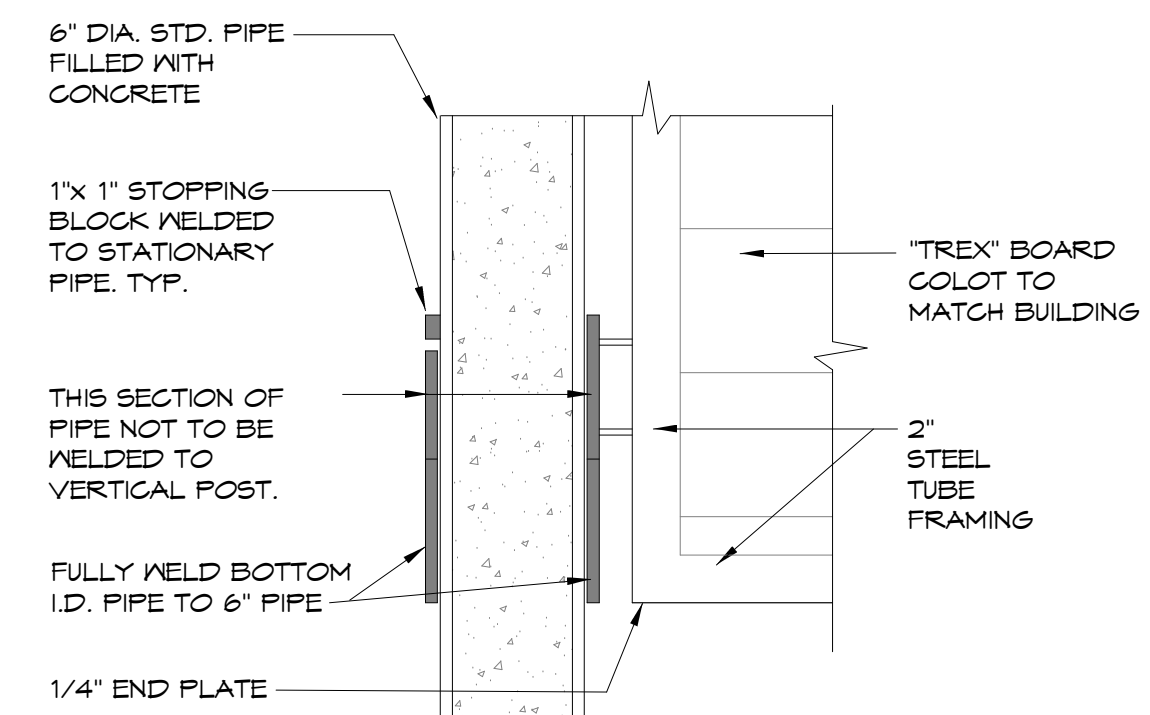
DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



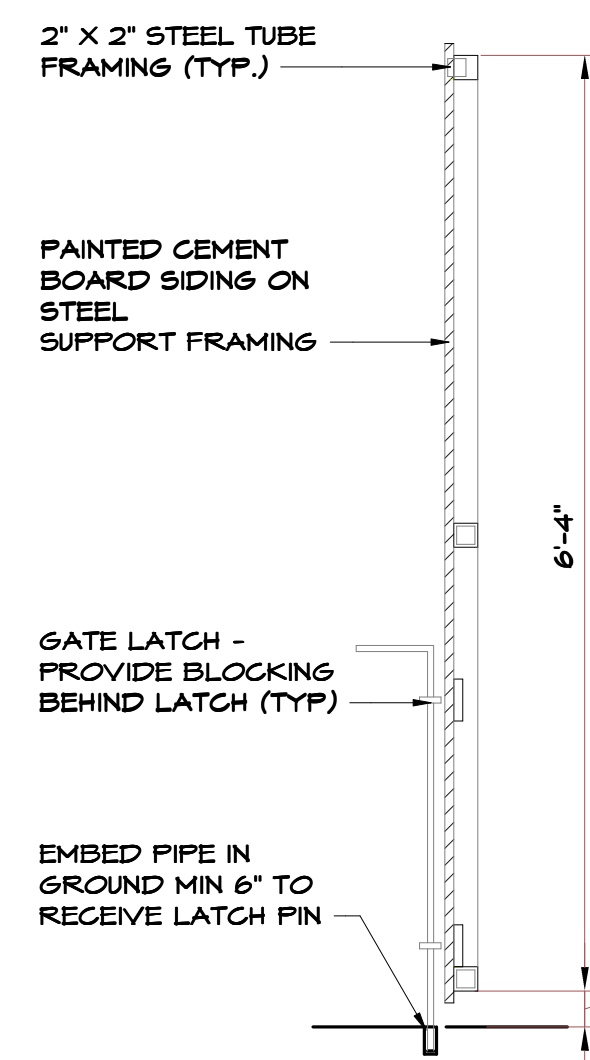
DUMPSTER SECTION
SCALE: 3/4" = 1'-0"



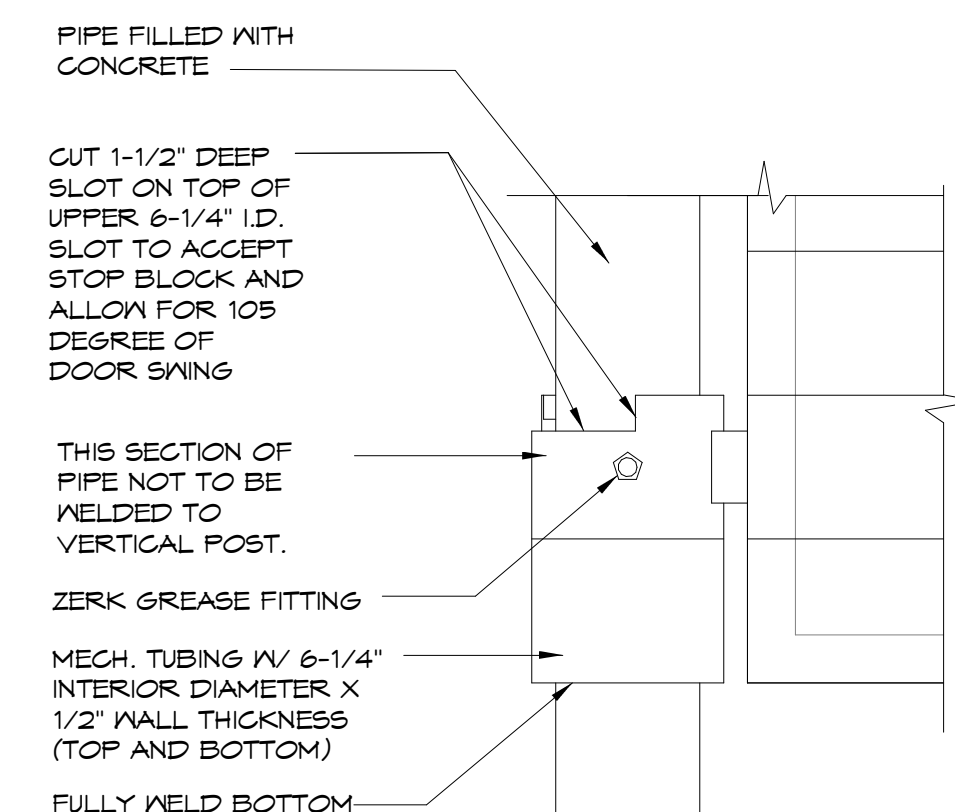
DUMPSTER GATE HINGE PLAN
SCALE: 1 1/2" = 1'-0"



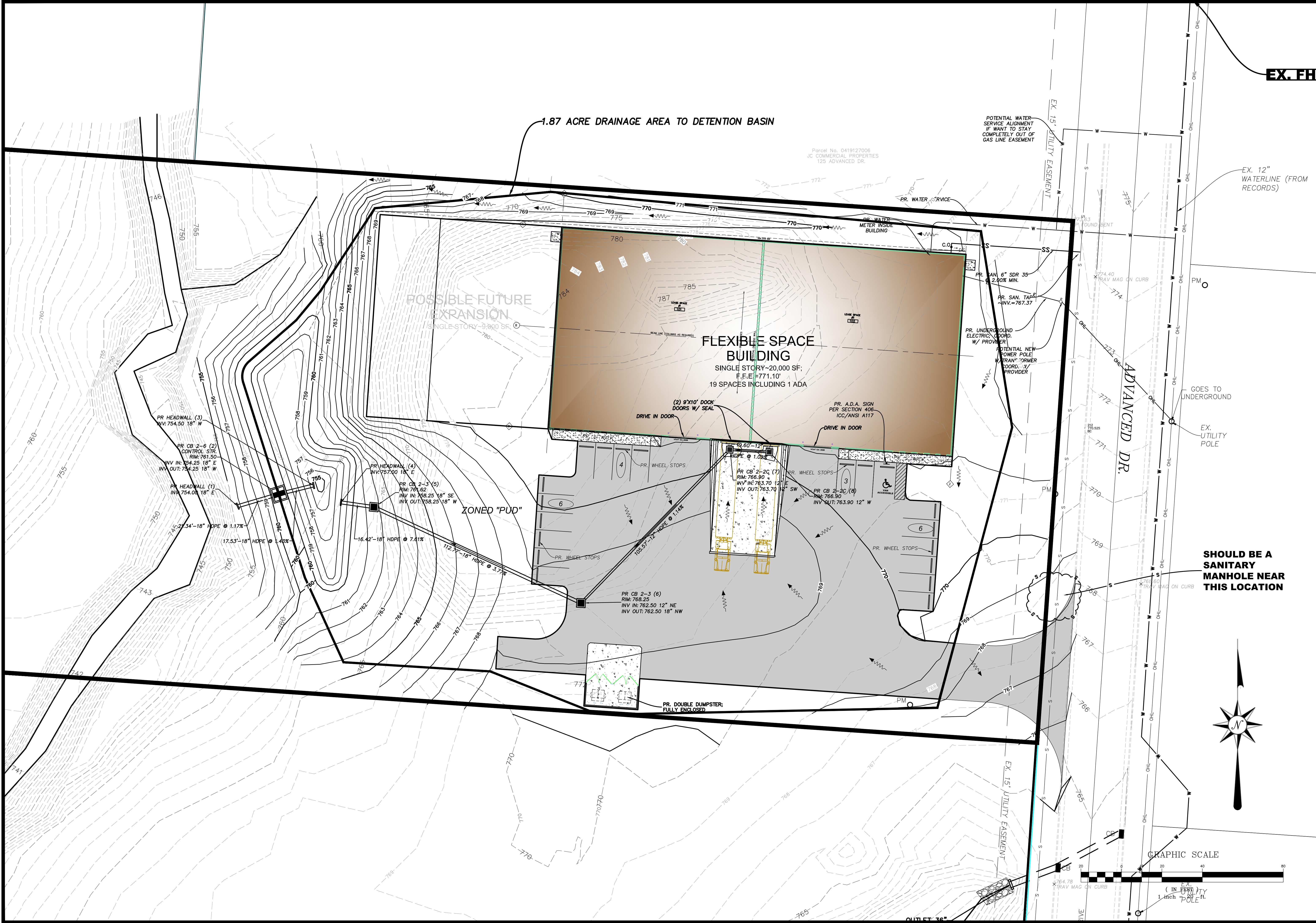
DUMPSTER GATE HINGE SECTION
SCALE: 1 1/2" = 1'-0"



DUMPSTER GATE SECTION
SCALE: 3/4" = 1'-0"



DUMPSTER GATE HINGE ELEVATION
SCALE: 1 1/2" = 1'-0"



EX. FH

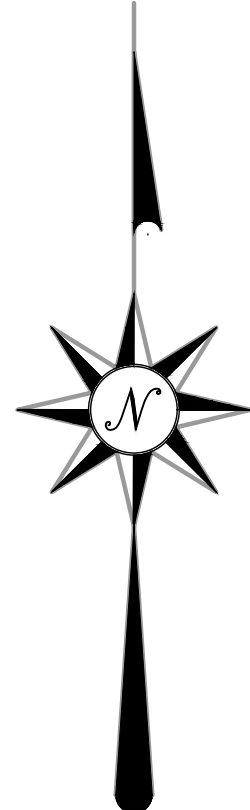
POTENTIAL WATER SERVICE ALIGNMENT IF WANT TO STAY COMPLETELY OUT OF GAS LINE EASEMENT

EX. 12" WATERLINE (FROM RECORDS)

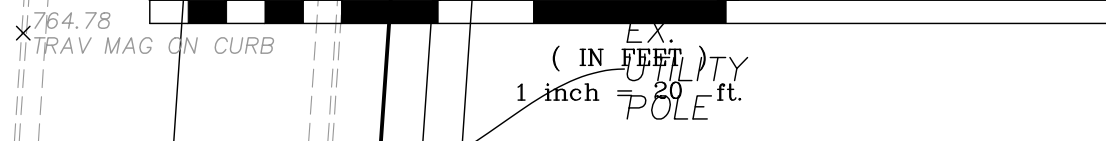
EX. 15' UTILITY EASEMENT

ADVANCED DR.

SHOULD BE A SANITARY MANHOLE NEAR THIS LOCATION



GRAPHIC SCALE

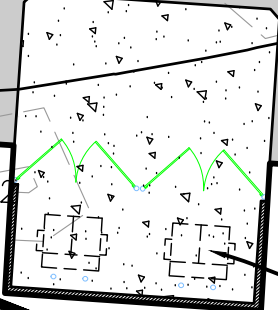


Parcel No. 0419127006
JC COMMERCIAL PROPERTIES
125 ADVANCED DR.

POSSIBLE FUTURE EXPANSION
SINGLE STORY - 9,000 SF

FLEXIBLE SPACE BUILDING
SINGLE STORY - 20,000 SF;
F.F.E. = 771.10'
19 SPACES INCLUDING 1 ADA

ZONED "PUD"



REVISIONS		
NO.	BY	DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



ADVANCE DR. SPEC. #3
DRAINAGE MAP
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	20-140	
DATE	Sep. 17, 2021	

SHEET NO.

C-DR



Color: Bronze

Weight: 34.8 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.46A
208V	0.27A
240V	0.23A
277V	0.20A
Input Watts	54.81W

LED Info

Watts	50W
Color Temp	3000K (Warm)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	7,127
Efficacy	130 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations as a downlight

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.
DLC Product Code: PKY4PVJR

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

IP Rating:

Ingress protection rating of IP66 for dust and water

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Technical Specifications (continued)

Construction

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:

6.1% at 120V, 9.4% at 277V

Power Factor:

99.6% at 120V, 96% at 277V

Surge Protection:

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other

Patents:

The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Equivalency:

Equivalent to 250W Metal Halide

Buy American Act Compliance:

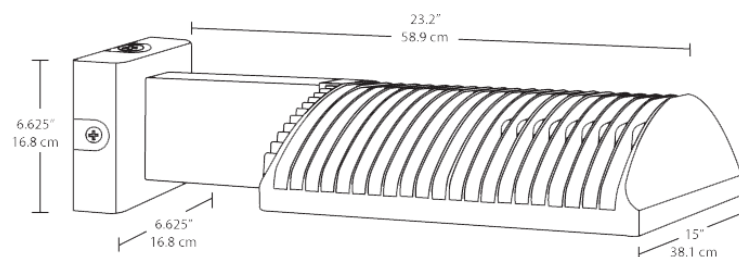
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B0 U0 G1

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	4T	50	Y				
	4T = Type IV 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Arm FX = Flat Mount	W = White Blank = Bronze	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS = Multi-Level Motion Sensor /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud® Controller



Specification grade area lights available in IES Type IV distributions. Best-in-class 5-G vibration rating. 5-year, limited warranty.

Color: Bronze

Weight: 20.9 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.55A
208V	0.33A
240V	0.29A
277V	0.25A
Input Watts	65.4W

LED Info

Watts	65W
Color Temp	3000K (Warm)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	6,300
Efficacy	96.3 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: PTFWA65X

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) produces a semicircular distribute, and is especially suited for mounting on sides of buildings or walls and perimeter of parking areas

Effective Projected Area:

EPA = 0.8

Vibration Rating:

Industry-leading 5G vibration rating per ANSI C136.31

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Precision die-cast aluminum housing

Mounting:

Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adaptor is used.

Lens:

Clear acrylic lens with integrated optics

IP Rating:

Ingress protection rating of IP66 for dust and water

Technical Specifications (continued)

Construction

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 120V: 0.55A, 208V: 0.33A, 240V: 0.29A, 277V: 0.25A

THD:

7.2% at 120, 10.6% at 277V

Power Factor:

99.6% at 120V, 95.4% at 277V

Surge Protection:

L-N 4kV; L-L, L-GND 6kV

Other

5 Yr Limited Warranty:

Fixture operation and paint finish are covered for a period of 5-years. [See our full warranty here.](#)

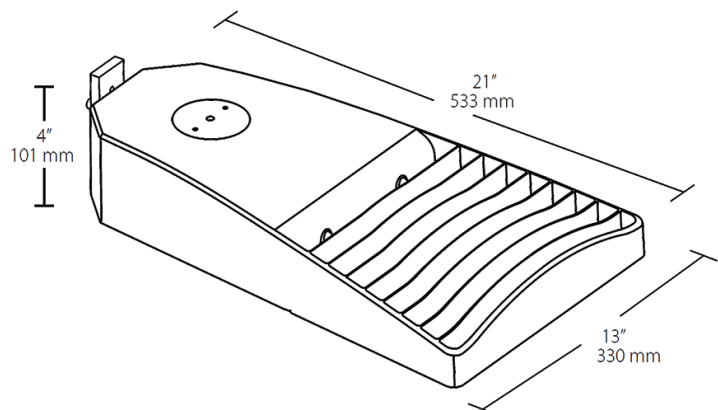
Equivalency:

Equivalent to 150W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

100,000-hour LED lifespan

Type IV distribution

Ordering Matrix

Family	IES Type	Wattage	Color Temp	Finish	Driver Options	Mounting	Sensor Options	Accessories	Other Options
LOT	4T	65	Y		/D10				
	5T = Type V 4T = Type IV 3T = Type III 2T = Type II	65 = 65W 110 = 110W 160 = 160W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze W = White	/D10 = 120-277V, 0-10V Dimming (standard) /480/D10 = 480V, 0-10V Dimming	Blank = Mounts to RAB square poles /UPA = Universal Pole Adaptor	Blank = None /PCT = 120-277V Twistlock PC /PCT4 = 480V Twistlock PC /WS2 = Wattstopper Sensor + 20ft lens, 120-277V /WS4 = Wattstopper Sensor + 40ft lens, 120-277V /5PR = 5-Pin Receptacle, no PCT /7PR = 7-Pin Receptacle, no PCT /BL = Bi-Level Dimming, 120-277V	Blank = None /HS = 2 House-Side- Shields ¹	Blank = Standard USA = BAA Compliant

¹ Available for Types II, III and IV only



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

20 FT

Weight:

137 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Technical Specifications (continued)

Construction

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

70MPH 10.7 ft./360 lb.
80MPH 7.0 ft./350 lb.
90MPH 4.3 ft./350 lb.
100MPH 2.5 ft./350 lb.
110MPH 1.1 ft./350 lb.
120MPH 0.1 ft./340lb

Other

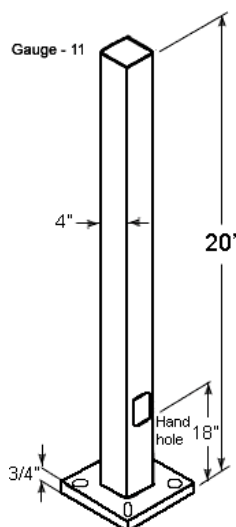
Terms of Sale:

Pole Terms of Sale is available [online](#).

Buy American Act Compliance:

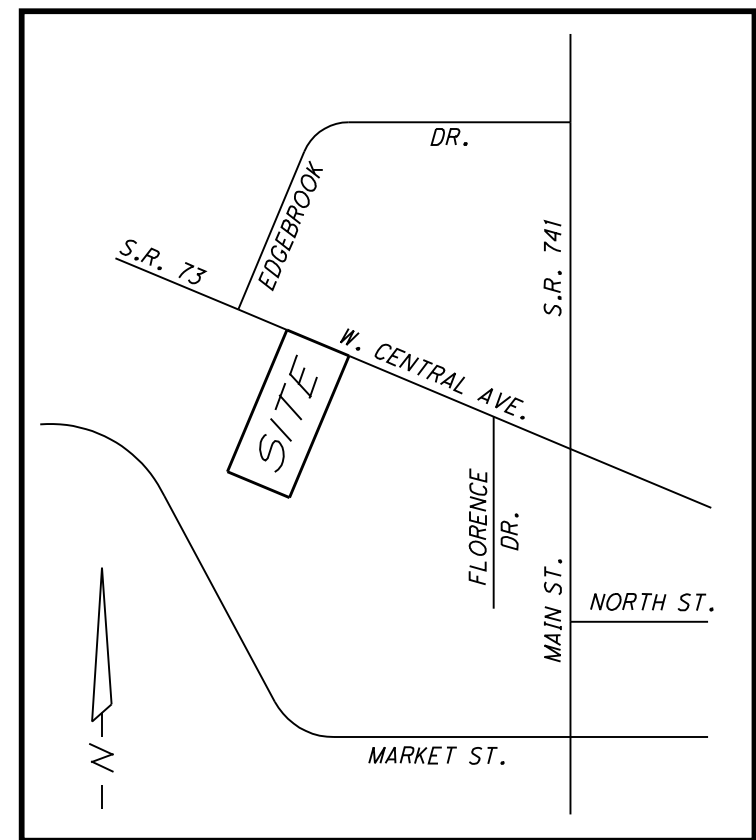
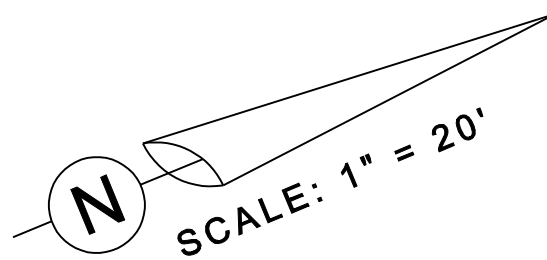
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application



VICINITY MAP
NOT TO SCALE

LILLIAN F. PRESTON, TR.
1R 2014-029559
2.21 Ac.

N 22°34'36"E 425.57'
402.72'

LOT 1
1.8295 Ac.

RICK'S FOREIGN EXCHANGE, LLC
2021-029559
2.18 Ac.

402.55'
S 22°34'36"W 422.25'

MUSIC LIMITED PARTNERSHIP
OR 4131, PAGE 803
1.00 Ac.

OCCUPATION STATEMENT:

EXISTING FENCE GENERALLY ALONG SOUTH PROPERTY LINE AND MONUMENTATION SHOWN.

BASIS OF BEARING:

BEARINGS ARE BASED UPON THE NORTH PROPERTY LINE OF THE 0.1637 ACRE PARCEL AS CONVEYED TO THE CITY OF SPRINGBORO (PARCEL 2ND) AS RECORDED IN I.R. 2016-035006 BEING SOUTH 67° 15'35" EAST AS SHOWN ON THE "RIGHT OF WAY LEGEND SHEET WAR-73/741-5.88-15.67" RECORDED IN SURVEY RECORD 143, PAGE 35 OF THE WARREN COUNTY ENGINEER'S RECORD OF LAND SURVEYS.

NOTES:

- ALL MONUMENTS FOUND IN GOOD CONDITION UNLESS NOTED
- RIGHT-OF-WAYS SHOWN ARE FROM WAR-73/741-5.88-15.67 PLANS

RECORD PLAN

REILICH DEVELOPMENT PLAT

SECTION 13, TOWN 2, RANGE 5, M.R.s.

CLEARCREEK TOWNSHIP

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

CONTAINING: 1.9307 Ac.

AUGUST 2021

1.8295 Ac. (LOT)
0.1012 (R/W DEDICATION)

1.9307 (TOTAL)

DEED REFERENCE:

SITUATED IN SECTION 13, TOWN 2, RANGE 5, M.R.s., CITY OF SPRINGBORO, WARREN COUNTY, OHIO, AND BEING PART OF A 2.18 ACRE PARCEL AS CONVEYED TO RICK'S FOREIGN EXCHANGE, LLC BY DEED RECORDED IN I.R. 2021-029559 OF THE DEED RECORDS OF WARREN COUNTY, OHIO.

DEDICATION:

WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIEN HOLDERS OF THE LANDS HEREIN PLATTED DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID RECORD PLAN, DEDICATE THE STREETS AND EASEMENTS TO THE PUBLIC USE FOREVER. THE EASEMENTS SHOWN ON THIS RECORD PLAN, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, STORM WATER DISPOSAL, AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD, THE DEDICATED PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY SERVICE PROVIDERS INCLUDING, BUT NOT LIMITED TO, THE CITY OF SPRINGBORO, CINCINNATI GAS AND ELECTRIC, AMERITECH, CATV, AND ANY OTHER PUBLIC UTILITY.

OWNER: RICK'S FOREIGN EXCHANGE, LLC

RICHARD H. REILICH, PRESIDENT, WITNESS, PRINT NAME, WITNESS, PRINT NAME

BE IT REMEMBERED, THAT ON THIS DAY OF 2021, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC FOR THE SAID COUNTY AND STATE, PERSONALLY CAME RICK'S FOREIGN EXCHANGE, LLC BY RICHARD H. REILICH, ITS PRESIDENT, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE THEIR VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND, AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY, MY COMMISSION EXPIRES:

LEINHOLDER: FARMERS AND MERCHANTS BANK

BY: WITNESS, WITNESS, ITS: PRINT NAME, PRINT NAME

BE IT REMEMBERED, THAT ON THIS DAY OF 2021, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC FOR THE SAID COUNTY AND STATE, PERSONALLY CAME FARMERS AND MERCHANTS BANK BY ITS, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE THEIR VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND, AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY, MY COMMISSION EXPIRES:

CITY COUNCIL:

APPROVED BY COUNCIL AND THE MUNICIPALITY OF SPRINGBORO THIS DAY OF 2021.

LORI MARTIN, CLERK OF COUNCIL

JOHN AGENBROAD, MAYOR

CHAD DIXON, CITY ENGINEER

COUNTY AUDITOR:

TRANSFERED ON THIS DAY OF 2021.

DEPUTY, AUDITOR

COUNTY RECORDER:

RECORDED IN WARREN COUNTY RECORDER'S OFFICE

RECEIVED ON THIS DAY OF 2021 AT .M.

RECORDED IN PLAT BOOK, PAGE

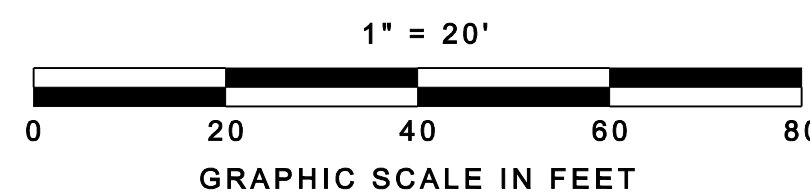
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BY: DEPUTY, RECORDER

933 COTTONWOOD ROAD
DAYTON, OHIO 45419
Phone 937-293-0166
Fax 937-294-1522
www.BuckeyeSurveyingGroup.com

RECORD PLAN
REILICH DEVELOPMENT PLAT
1.9307 Acres
Section 13, Town 2, Range 5, M.R.s.
Clearcreek Township
City of Springboro
Warren County, Ohio

SCALE: 1" = 20'	DATE: AUG. 2021
PROJ. No. 21-0627	SHEET No. 1 of 1



APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME:

Rodney and Jennie Charlton

Address

110 East Mill Street

Springboro, Ohio 45066

Telephone No.

(937) 748-2606

Fax No.

()

Email Address

54charlton@gmail.com

PROPERTY OWNER NAME (IF OTHER):

Address:

same

Telephone No. ()

Property Address or General Location:

Parcel Number(s):

04073030150

Existing Zoning District:

CBD, M-2

Proposed Zoning District:

CBD

Proposed Use:

Continue use of entire property for retail use, half currently zoned M-2. Possible sale complicated by zoning splitting property into two.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Rodney Charlton

Jennie Charlton
(Signature of Applicant and/or Agent)

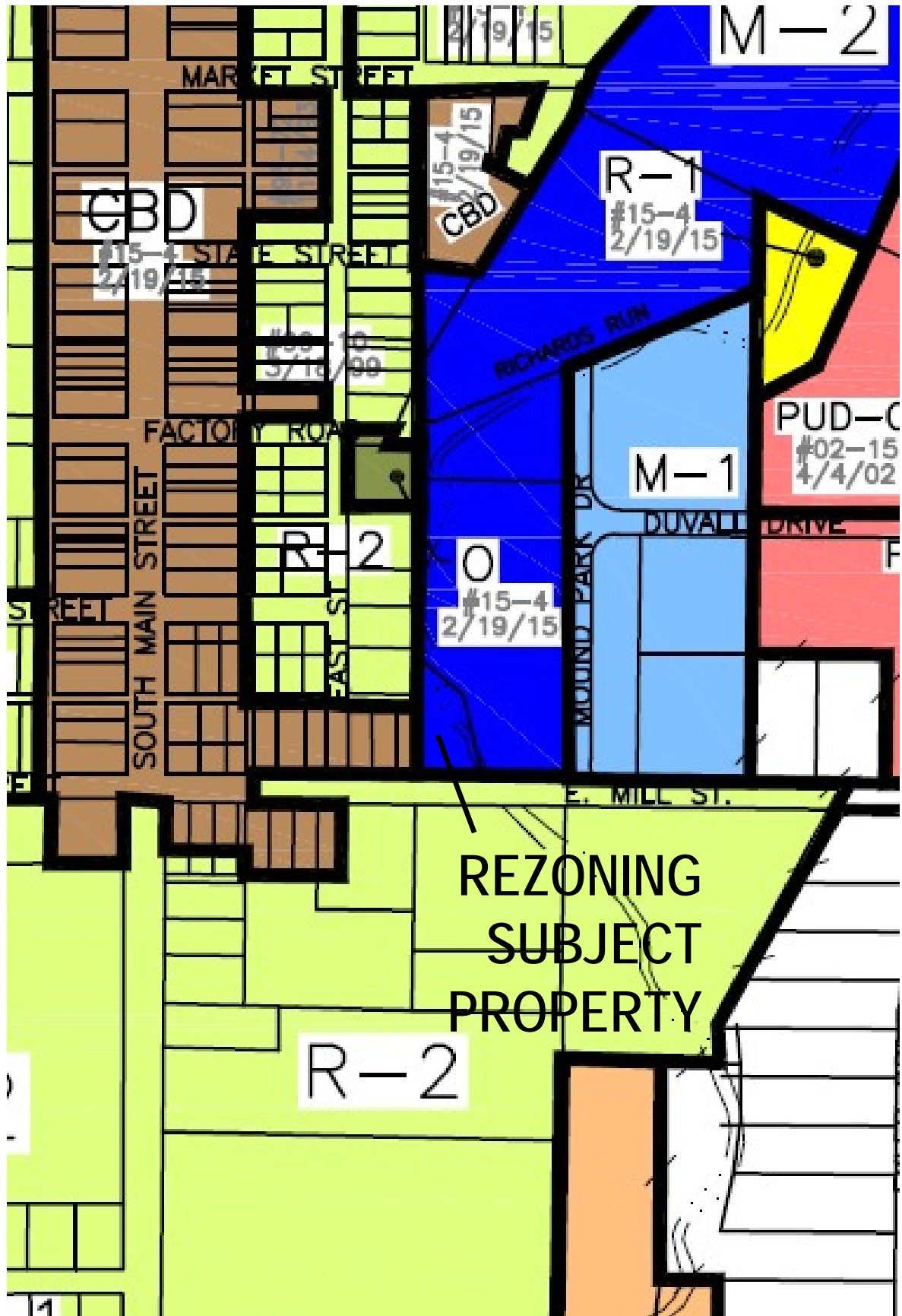
9/23/21

(Date)

Jennie Charlton

Printed Name

M-2 to CBD Rezoning Vicinity Map



M-2 to CBD Rezoning Request Vicinity Map



APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Nathan Arndts

Address: 1360 S. Main St Springboro, OH 45066

Telephone No. (937) 286-9797

Fax No. ()

Email Address: nathan@willowcreekbuilds.com

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

Telephone No. () _____

Property Address or General Location: 1360 S. Main St, Springboro, OH 45066

Parcel Number(s): 08-12-100-015 Existing Zoning District: PUD/R

Proposed Zoning District: R 1

Proposed Use: Single Family Dwelling

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Nathan Arndts

(Signature of Applicant and/or Agent)

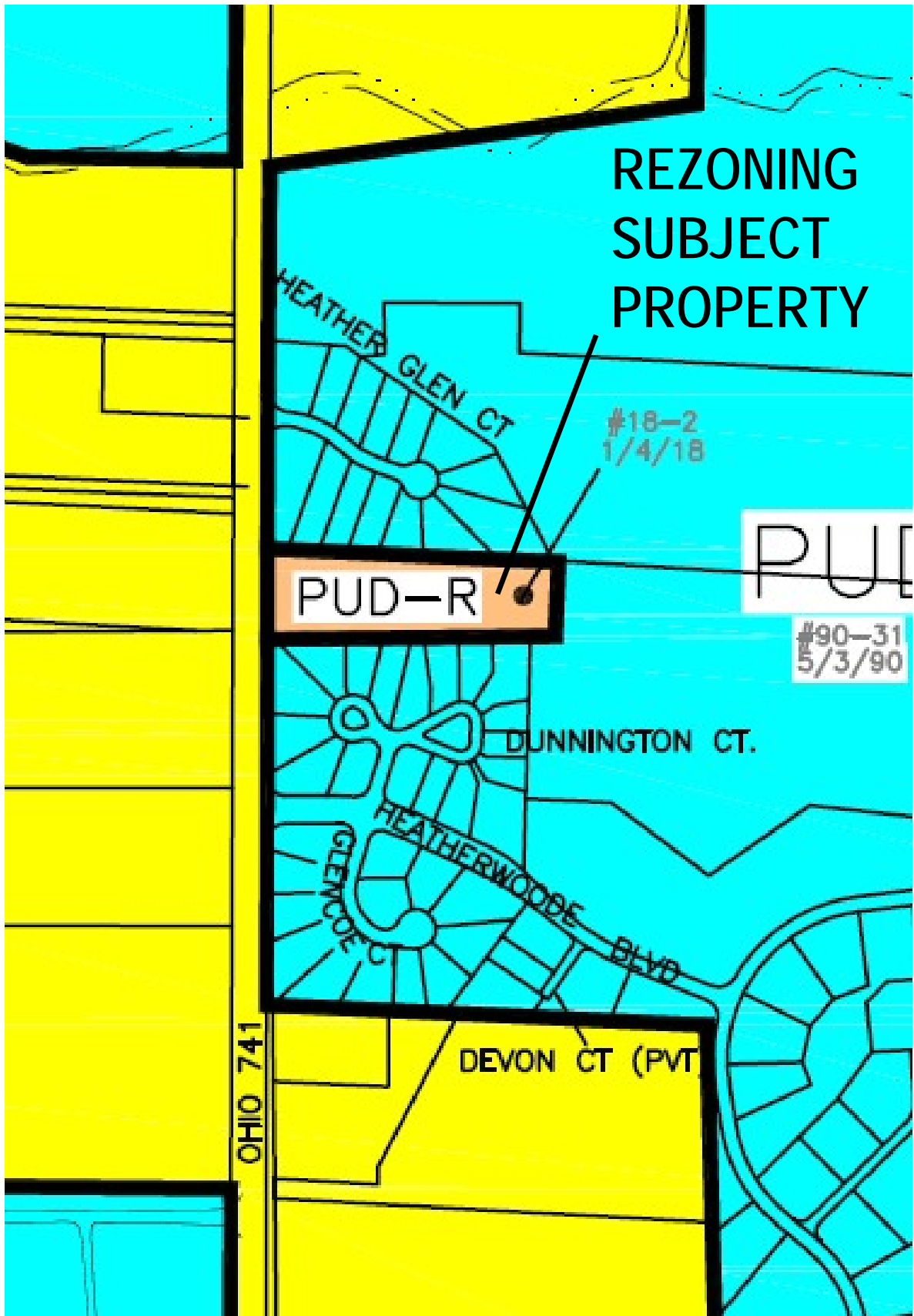
Nathan Arndts

Printed Name

10/20/2021

(Date)

PUD-R to R-1 Rezoning Vicinity Map



PUD-R to R-1 Rezoning Request Vicinity Map



City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, October 13, 2021

I. Call to Order

Vice-Chair Chris Pearson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Chris Pearson, Vice-Chair, Robert Dimmitt, Steve Harding, Mike Thompson and John Sillies. Absent, Mark Davis and Becky Iverson

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director; Chad Dixon, City Engineer, Ann Burns, Planning Commission Secretary.

Mr. Harding motioned to excuse Mr. Davis and Ms. Iverson. Mr. Dimmitt seconded the motion.

Vote: Harding, yes; Sillies, yes; Dimmitt, yes; Pearson, yes; Thompson, yes (5-0)

II. Approval of Minutes

A. September 9, 2021 Planning Commission Minutes

Mr. Pearson asked for corrections or additions to the minutes. There were none

Mr. Harding motioned to approve the September 9, 2021 Planning Commission minutes. . Mr. Dimmitt seconded the motion.

Vote: Harding, yes; Sillies, yes; Dimmitt, yes; Pearson, yes; Thompson, yes (5-0)

III. Agenda Items

A. Final Approval, Site Plan Review, 1345 Lytle-Five Points Road, The Ravine at Settlerspointe assisted living facility

Background Information

This agenda item is a request for site plan review approval, filed by James Alt, representing Seva Group LLC, property owner, seeking approval to construct a 32,770-square foot, 48-bed assisted living facility on property located at 1345 Lytle-Five Points Road. The proposed assisted living facility is proposed immediately to the south of the existing BeeHive Homes facility. That facility was reviewed and approved by the Planning Commission in 2017 with construction completed in 2018. The subject property is zoned O-R, Office Residential District, a zoning designation that allows assisted living facilities as a permitted use. The proposed building is permitted under the O-R District provisions. The O-R District places no limitations on the maximum size of buildings. The proposed site plan is consistent with all design and development standards including but not limited to setbacks, building heights, and lot coverage.

The proposed Ravine at Settlerspointe assisted living facility will use the same access drive to Lytle-Five Points Road as the existing one to the north. That drive terminates with a turnaround at the northwest corner of The Ravine property.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both located within the Woodland Greens subdivision. The property at the western terminus of Westchester Court, and immediately abutting the southeast corner of the subject property, is a detention pond owned by the City of Springboro. To the south is undeveloped land, to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road (Keybank, Settlers Station shopping center) as well as a vacant parcel fronting Lytle-Five Points Road. To the north is the existing BeeHive facility.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland Greens subdivision. To the south is O-R District, and to the west, is O-R District and LBD, Local Business District corresponding to the Settlers Station shopping center and adjacent development.

This item was reviewed on a preliminary basis at the July 14, 2021 Planning Commission meeting at which time this item was approved to be placed on a future agenda for formal approval.

This agenda item appeared as BeeHive Homes in the meeting materials for the July 14, 2021 Planning Commission with an address of 1325 Lytle-Five Points Road.

The Planning Commission's review of this site plan is to following the provisions of Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses that is included here:

1284.08 Site Plan Review Criteria Applicable To All Land Uses.

The Planning Commission shall review the site plan and the reports of City staff at a meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning (see Figure 10 at the end of this chapter). At the preliminary review, the Planning Commission shall determine if formal review of the site plan is appropriate at its next meeting if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

- (a) The application shall be fully and accurately completed;
- (b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;
- (c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;
- (d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;
- (e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;
- (f) The plan shall provide adequate utility, waste disposal or sanitary services;
- (g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;

- (h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development;
- (i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;
- (j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance;
- (k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community;
- (l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan; and
- (m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities. (Ord. 0-15-4. Passed 2-19-15.)

The City is in receipt of an objection from representatives of the Woodland Greens Homeowners Association regarding the July 14, 2021 review of this agenda item. That documentation is included in the meeting materials.

Staff Recommendations

City staff recommends APPROVAL of the site plan for The Ravine at Settlerspointe located at 1345 Lytle-Five Points Road subject to compliance with the following comments:

1. Verify rear and side setbacks comply with 40-foot minimum at the overhang.
2. Update sheet A102A so that it matches the stated scale (1/8 inch equals 1 foot), and so that exterior color key matches elevations.
3. Indicate plans for screening of dumpster facilities. Also indicate if other screening matches that of the adjacent BeeHive facility at 1325 Lytle-Five Points Road in terms of color, materials, and appearance.
4. City staff recommends permitting up to 36 parking spaces on the site plan, consistent with ITE Parking Generation, 5th Edition, that requires a minimum of 1 parking space for each 2 rooms/occupancy. City code allows a maximum of 150% of that figure. The site plan shows 38 spaces.
5. Signage for the proposed use subject to review by the City of Springboro Zoning Inspector.
6. For proposed landscaping plan on sheet L-1, the following comments apply:
 - a. Shade trees to be a minimum 2.5 inches DBH, ornamental trees to be 2 inches DBH, and evergreens 6 feet in height per Chapter 1280, Landscaping, of Planning and Zoning Code.
 - b. City staff recommends accepting preservation of existing trees on site for use on south property line adjacent to undeveloped O-R lot, and site landscaping requirements.
7. Revise lighting plan accordingly for compliance with Chapter 1273, Exterior Lighting:
 - a. Use only fixtures with color-temperature of 3500° Kelvin or less (4500° indicated on plans).
 - b. Photometric analysis exceeds 4:1 average to minimum and 10:1 maximum to average ratios.
 - c. Include lighting specifications for wall pack and under-canopy lighting, if applicable, and include in photometric analysis.
 - d. Verify no light trespass onto adjoining detention pond, residential area to east.
8. Provide information verifying that the existing detention facility is designed for the proposed site.

9. Add note stating 6" sanitary sewer lateral to be SDR 35 or SCH 40 material.
10. Add note stating 6" water main to be class 52 ductile iron pipe.
11. Water meter to be located inside building with remote reader.
12. On grading plan, bold the proposed grading lines to stand out from existing grades.
13. Provide temporary stone construction entrance as noted on plans.
14. Dimension the parking lot setback to north property line to verify the required minimum 9 foot setback.
15. Identify benchmark.
16. Final revised and approved site plan shall be submitted to include all comments by staff and planning commission to have signature of the owner or duly authorized officer and stamped certified by a professional engineer.
17. An "As Built" drawing showing as built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
18. Be advised that the Clearcreek Fire District utilizes the provisions from the Ohio Fire Code and the Ohio Building Code and that all fire hydrant components shall meet those of the City of Springboro Water works.
19. All test of systems shall be scheduled through the Springboro Building Department 48 hours prior to testing. The Building Department will contact the fire department and advise us of date and testing. A fire department representative will witness all testing.
20. We will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
21. Fire Department connections for all sprinkled buildings shall be with-in 75 feet of a fire hydrant on the public water system. All Fire Department connections must have a 5" Stortz connection with a 30 degree downturn and includes a cap attached by a cable or chain. Fire Department connections must be visible and unobstructed at all times.
22. A fire extinguisher plan must be submitted to the fire department. Placement and installation must be done prior to final building inspection.
23. All monitored fire systems shall have a remote annunciator panel at the main entrance to the building for fire department use.

Discussion:

Mr. James Alt and Mr. Steve Butler from Alt Architecture were present to discuss their application. Mr. Alt explained that they have reviewed all 23 staff comments, and only need to ask for consideration on item #4 regarding parking spaces. Mr. Alt requested consideration for 2 extra parking spaces, which would be a total of 38.

Mr. Harding noted there could be additional caretakers at the facility throughout the day, and did not feel that 2 extra spaces was unreasonable.

Mr. Alt noted that with a greater number of people seeking this level of care, there is a need to provide some parking for residents as well as daytime visitors.

Mr. Dimmitt asked if the site plan will still meet landscape requirements with the 2 additional spaces.

Mr. Alt assured him that it would.

Mr. Sillies asked if there have been any more problems with noise from cars and horns beeping.

Ms. Angi Sharp, Administrator from The Beehive, explained they have instructed staff to keep this at a minimum, and she has not observed any excessing noise from cars.

Mr. Boron noted comments #18-22 from the fire department due to the nature of the facility.

Mr. Alt explained that all of his consultants have no problem complying with these comments and the facility is highly regulated.

Mr. Harding wanted to confirm that all the landscape requirements have been met.

Mr. Boron explained that they were approved for The Beehive back in 2018 during the first phase, and staff has confirmed that all existing landscape requirements have been met at the time of installation and the trees are still on the site.

Mr. Alt reviewed plans that are similar to the first phase which includes minimal disturbance to the existing tree line as well as additional trees that exceed the minimum requirements.

Mr. Dimmitt expressed concerns that a 32,000 square foot building in addition to the existing building may be too large for the area.

Mr. Harding noted that the original plan included three separate building which has been reduced to just these two buildings. He asked for clarification that the current O-R District does not have any size limitations for the buildings, rather it is determined by the size of the lot.

Mr. Boron confirmed that was correct and further explained that a combination of the size of the building, storm water management, and parking also sets size limitations for site development.

Mr. Dimmitt noted that this will be a very large building in the middle of a residential area.

Mr. Pearson does not see any issues with the size if it meets the code requirements. He also asked if this is also regulated by the Master Plan.

Mr. Boron explained that the O-R District provides setbacks and minimum standards and all of these have been met.

Mr. Sillies asked what percentage of the property will be covered with the building.

Mr. Butler stated that the actual percentage of lot coverage by building, parking, and other incidentals is 52.2%, which is well under the maximum 75% for the O-R District.

Guest Comments:

Mr. Pat Janis, attorney representing the Woodland Greens Homeowners Association (HOA), shared concerns of the HOA that the size of the building is too large. He stated that even the first Beehive facility has already increased the noise, congestion and traffic in the area. Mr. Janis stated that this additional building will increase these problems even further. He referred to the packet that was submitted which included a state of objections to this proposed addition, noting that it would be detrimental to the community and it is not appropriate for the O-R District. Mr. Janis requested that the Commission vote to deny this application.

Ms. Jan Van Maldeghem, 1860 West Tamarron Court expressed her concerns about this addition as well. She agreed that this was not an appropriate building for this neighborhood, noting that it will result in increased noise and traffic.

Mr. Paul Van Maldeghem, 1860 West Tamarron Court, also expressed his opposition to this proposed building. He stated there were trees that were never put back after completion of the first building, there will be additional reduction to the landscape and there would be a negative impact to the neighborhood.

Mr. Boron noted that the handout provided by the HOA's attorney did not include the size of a building in the O-R District, 630 North Main Street, occupied by Cardinal Health, which is 24,000 square feet. There have been other buildings that were approved in the O-R District that are in the same size range including at 245. This proposed building is a permitted use within the O-R District and has been since 2015.

Mr. Pearson asked for a motion to approve the Site Plan for 1345 Lytle Five Points Rd., the Ravine at Settlers Pointe, assisted living facility

Mr. Thompson motioned to approve. Mr. Sillies seconded the motion.

Vote: Harding, yes; Sillies, yes; Dimmitt, no; Pearson, yes; Thompson, yes (4-1)

Members of Planning Commission left the dais and reconvened at the round table in Council Chambers and continued the meeting.

B. Preliminary Review, Final Development Plan, Advance Drive PUD, Planned Unit Development, commercial building

Background Information

This agenda item is a request for preliminary review of a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park. The subject property is located approximately 600 feet northeast of the terminus of Advance Drive. The proposal was submitted by Cincinnati Commercial Contracting, property owner and developer.

The applicant is proposing to construct a one-story, 20,000-square foot flexible space commercial building for a future user. The plan for the site provides for expansion at a future date and subject to Planning Commission review. No address has been assigned for the property at this point in time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building will be located on 3.55 acres of undeveloped land; the property owner plans to develop their remaining 11.775 acres of undeveloped land as soon as practicable.

The subject property has frontage on Advanced Drive. Adjacent land includes other properties in the Stolz Industrial Park are occupied by the following businesses: to the north Hanover Products at 125 Advanced Drive, to the northeast Alfonse Haar at 130 Advanced Drive, to the east and southeast Advanced Interiors at 240-250 Advanced Drive, and to the south A-1 Mechanical at 235 Advanced Drive. The subject property also borders to the west undeveloped property in Franklin Township with frontage and access provided from Sharts Road to the west.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west in Franklin Township is zoned Franklin Township R-1, Rural Residence District.

Staff Comments

City staff has the following comments regarding this agenda item.

1. Indicate number of employees projected at maximum shift for the purposes of determining the off-street parking requirement for the proposed building/site.
2. Indicate proposed exterior building materials proposed for building.
3. For final review of landscaping plan address the following:
 - a. Indicate all existing vegetation 4 inches DBH or larger to remain on site for credit against requirements of Chapter of the Planning and Zoning Code. This may reduce the number of plantings required as described below.
 - b. A total of 6 trees, including 3 evergreens, to be provided on Advanced Drive frontage.
 - c. Landscaped buffer required on north and south property lines at rate of 1 tree per 40 feet of frontage within a 10-foot buffer area.
 - d. Indicate long-range plans for the west end of the property in light of buffering requirements and credit that may be provided by existing vegetation.
4. For final review of lighting plan address the following:
 - a. Verify with City staff proposed lighting locations on photometric analysis sheet.
 - b. Provide average to minimum and maximum to minimum ratios for photometric analysis sheet.
 - c. Photometric analysis indicates 16.0 foot-candle reading. A maximum foot-candle level of 6.0 is permitted for such installations.
5. Add 6" gate valve at the 6" x 12" water tap on the existing main.
6. Construction requirements within the pipeline easement area to be worked out with pipeline company.
7. Locate existing sanitary manhole on sheet C-3.1.
8. Add note stating 6" water main to be class 52 ductile iron pipe.
9. Water meter to be located inside building with remote reader.
10. Add note stating existing curb and gutter to be removed and replaced by depressed ODOT Type 2 curb and gutter and provide details.
11. Identify benchmark.
12. Detention calculations are currently under review.
13. The Clearcreek Fire District has no comments at this time.

Discussion:

Mr. John Westheimer and Mr. Christian Stone, Cincinnati Commercial Contracting, were present to discuss their application.

Mr. Boron referred to the background information reviewing details of the 2 parcels of land located on the west side Advanced Drive in the Stolz Industrial Park. This is the third spec building brought to us by Cincinnati Commercial Contracting, the first being the Matrix5 at 105 Advanced Drive, Atlantic Emergency at 260 Advanced Drive. He noted that an address will be assigned later as the project progresses. He explained that the majority of the necessary information was provided for this preliminary review, and he is confident any other issues can be worked out with staff.

Mr. Pearson asked if there are plans for doing a lot split for this 11-acre parcel.

Mr. Westheimer explained they plan to keep it as one lot at this time.

Mr. Dudas noted that if they do decide to split it in the future, the right-of-way is already established, so a record plan is not necessary.

Mr. Stone stated that they have no problems with any of the staff comments and plan to meet all the necessary requirements, including landscaping. He also asked for clarification on a few other comments regarding the photometric analysis and fixtures and specification of building materials.

Mr. Sillies asked about access to the building if they would split the lot in the future.

Mr. Westheimer explained that there are easements that should be fairly easy to deal with and can cross them with a driveway.

Mr. Pearson stated that the plan seems fairly straightforward.

Mr. Boron explained that this can be submitted for formal approval of the November 10th meeting.

IV. Guest Comments

None.

V. Planning Commission and Staff Comments

Mr. Boron stated that next Planning Commission meeting is scheduled for November 10th and the deadline is Friday, October 22, 2021.

Adjournment

Mr. Harding motioned to adjourn the October 13, 2021 Planning Commission Meeting at 7:00 pm
Mr. Dimmitt seconded the motion.

Vote: Dimmitt, yes; Iverson, yes; Pearson, yes; Harding, yes; Thompson, yes; Davis, yes. (6-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary