

Agenda
City of Springboro Planning Commission Meeting
Wednesday, May 11, 2022, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. April 13, 2022 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Final Development Plan/Site Plan Review, 125 Park Lane, addition to Springboro Branch, Franklin-Springboro Public Library
 - B. Discussion, Planning and Zoning Code Text Amendment, solar energy systems
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendation
City of Springboro Planning Commission Meeting
Wednesday, May 11, 2022, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Final Development Plan/Site Plan Review, 125 Park Lane, Springboro Branch of Franklin-Springboro Public Library, building addition

Background Information

This agenda item was filed by Conger Construction, Lebanon, contractor, seeking final development approval to allow the construction of an addition to the Springboro Branch of the Franklin-Springboro Public Library located at 125 Park Lane. The project includes the construction of a 6,000-square foot addition on the west/rear side of the building to accommodate a new community room, a conference and small group meeting rooms, as well as new restrooms, mechanical areas, and storage space. Existing offices would be relocated to the current community room, freeing up space for staff work areas.

The original library construction was approved by Planning Commission in 1988, and a large addition was added on the north side of the library, following Planning Commission approval, in 1998. The existing building is 9,227 square feet. The property occupied by the library and the proposed area for the addition is zoned LBD, Local Business District, and PUD, Planned Unit Development, leading to the parallel final development plan (for PUDs) and site plan review (for conventional zoning districts like the LBD).

Adjacent land uses include the single-family residential from the northwest to east, a detention pond serving the library and residential areas to the southeast, and further south the Point Shopping Center, the Springboro City Building to the south, and an undeveloped parcel owned by to the west. Adjacent zoning includes PUD to the northwest, R-2, Low-Density Residential District to the north and east, LBD to the southeast (Point Shopping Center) and south (City Building), and PUD to the southwest (City Building) and west (undeveloped parcels).

Staff Recommendation—Revision to Final Development Plan/Site Plan

City staff recommends APPROVAL of the final development plan/site plan for 125 Park Lane subject to compliance with the following comments:

1. Provide exterior lighting plans for proposed addition and outdoor areas as applicable. Lighting to comply with Chapter 1273, Exterior Lighting, of Planning and Zoning Code.
2. Provide landscaping or other screening for mechanical equipment per Chapter 1280 of Planning and Zoning Code.
3. Signage proposed, if applicable, to comply with Chapter 1281, Signs, of Planning and Zoning Code for review by Zoning Inspector.
4. Provide dimensions for proposed addition and existing structure to property lines.
5. Plans to be signed by the owner/developed at the final approval stage of the general plan review process.

6. Engineering details to be worked out with City staff.
7. Clearcreek Fire District comments have been forwarded to the applicant.

B. Discussion

Planning & Zoning Code Text Amendment, solar energy systems

City staff will make a presentation at the May 11th meeting on Chapter 1276, Solar Energy Systems, of the Planning and Zoning Code including issues with the current regulations and a survey of similar regulations in the Miami Valley.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, May 6, 2022 at 9:00 a.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner APPLICANT NAME: BOB RIGGS CONGER CONSTRUCTION GROUP
 Agent
 Lessee Address 2020 MCKINLEY BLVD
 Signed Purchase Contract P.O. Box 1069, LEBANON, OHIO 45036

Telephone No. (513) 907.4130

Fax No. ()

Email Address briggs@congerbuilt.com

PROPERTY OWNER NAME (IF OTHER): FRANKLIN SPRINGBORO PUBLIC LIBRARY

Address: 125 PARK LN

SPRINGBORO, OH 45066

Telephone No. (937) 748.3200

Property Address or General Location: 125 PARK LN

Parcel Number(s): 0414457004 Zoning District: _____

Proposed Use: NEW 6,000 SF ADDITION FOR NEW
COMMUNITY ROOM SPACE + RENOVATION OF
EXISTING LIBRARY.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Bob Riggs
(Signature of Applicant and/or Agent)

4.22.22
(Date)

Bob Riggs
Printed Name



April 28, 2022

Planning Commission
City of Springboro
320 West Central Ave.
Springboro, OH 45066

Dear Planning Commission:

Conger Construction Group is authorized to act on the Library's behalf for the building addition through the Planning Commission's review of the final development plan.

Respectfully,

A handwritten signature in blue ink that reads "Martha Bush".

Martha Bush
Library Director



Franklin-Springboro Public Library

Springboro Branch Library Expansion

125 Park Lane
Springboro, Ohio

PROGRESS SET for PLANNING COMMISSION

KZF DESIGN

Architecture | Engineering | Interiors | Planning



DRAWING INDEX

NO	TITLE	CURRENT ISSUE
GENERAL G-000	COVER SHEET	
LIFE SAFETY LS101	FIRST FLOOR LIFE SAFETY PLAN	
CIVIL 1 2 3 4 5 6 7 8	CIVIL SERVICES PROVIDED DIRECTLY FOR CONGER CONSTRUCTION - NOT BY KZF GENERAL NOTES GENERAL DETAILS GENERAL DETAILS DEMOLITION PLAN DIMENSIONING AND PAVEMENT PLAN UTILITY PLAN GRADING AND EROSION CONTROL PLAN	

ARCHITECTURE	
A-001	SYMBOLS AND ABBREVIATIONS

AD101	DEMOLITION FLOOR PLAN
A-101	FIRST FLOOR PLAN
A-110	ROOF PLAN
A-111	FIRST FLOOR CEILING PLAN

A-201	BUILDING ELEVATIONS
-------	---------------------

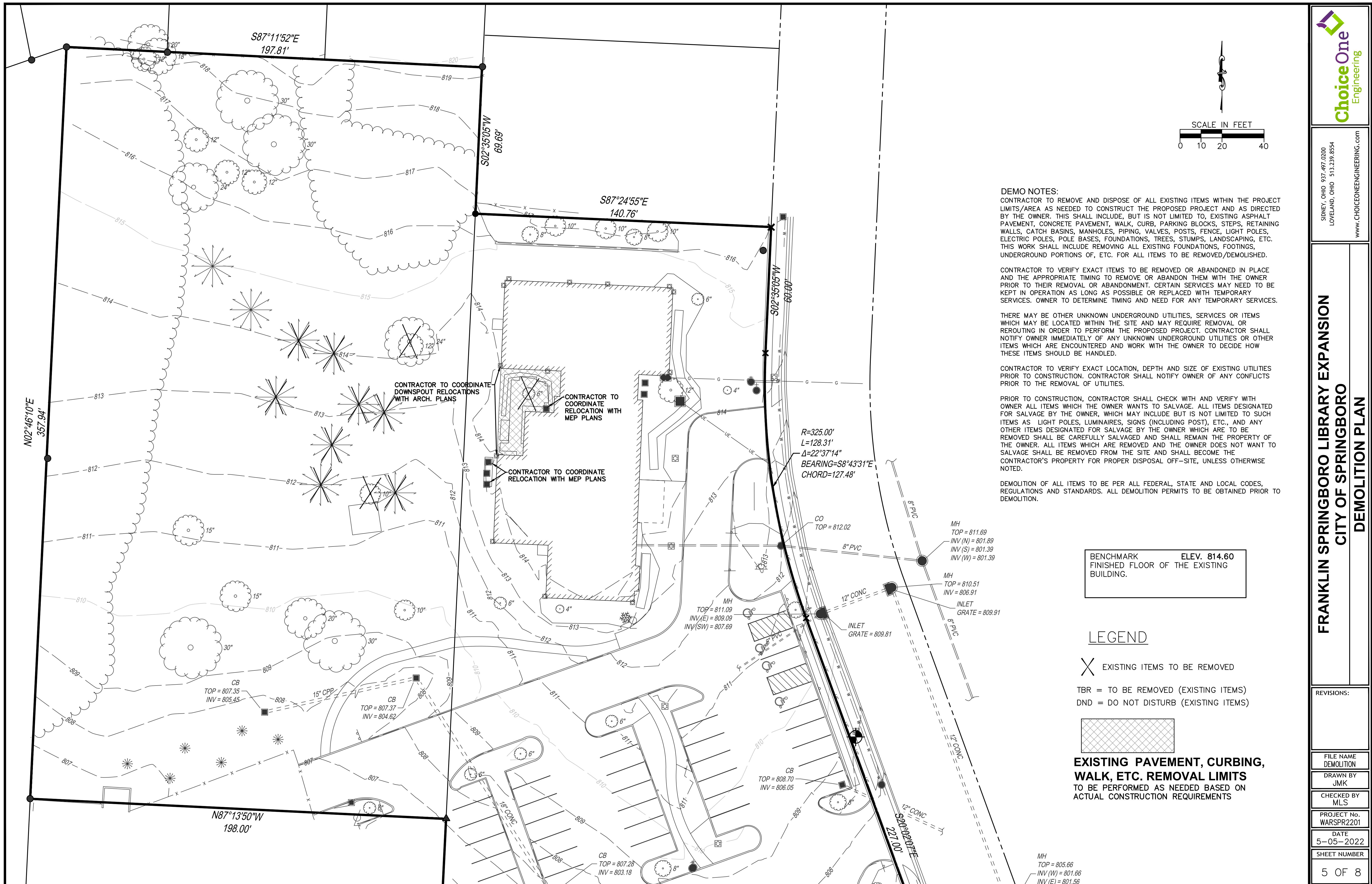
NO. DATE DESCRIPTION

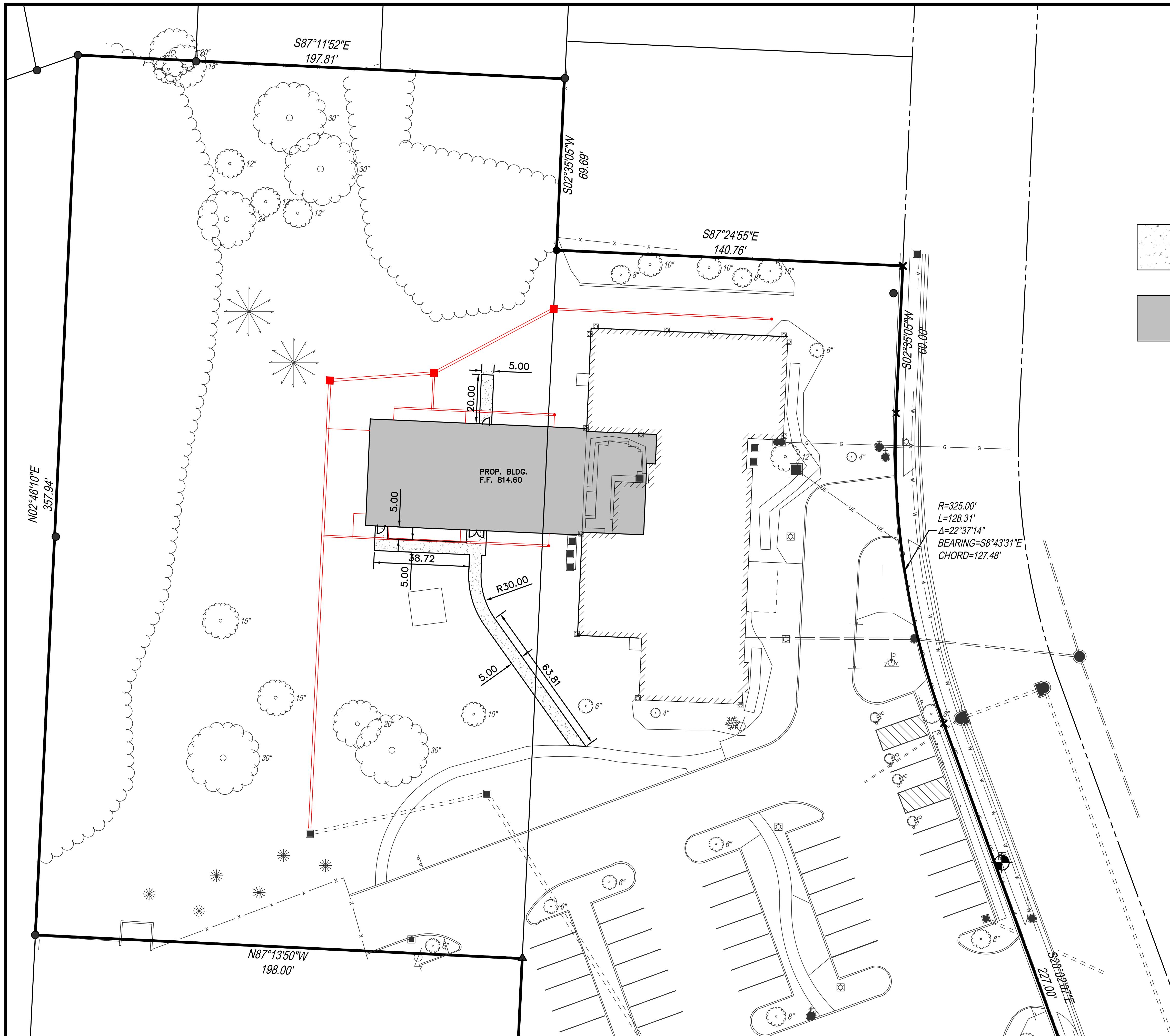
Franklin-Springboro Public Library
Springboro Branch Library Expansion
125 Park Lane
Springboro, Ohio

2020 McKinley Blvd.
Lebanon, OH 45036
513.228.4831
congerbuilt.com

KZF DESIGN
Designing Better Futures
KZF DESIGN INC.
700 Broadway Street
Cincinnati, OH 45202
main 513.621.6211
kzf.com

DESIGNED BY COMM. NO.
SCHMITZ 8081.00
DRAWN BY DATE
SCHMITZ MM-DD-YYYY
CHECKED BY PROJ. MGR.
SCHMITZ SCHULTZ
COVER SHEET
DRAWING NUMBER ISSUE
G-000
NOT FOR CONSTRUCTION





CONCRETE SIDEWALK
ITEM 608 - 4" CONCRETE SIDEWALK (ODOT QC-1P) ON
ITEM 411 - 4" STABILIZED AGGREGATE BASE



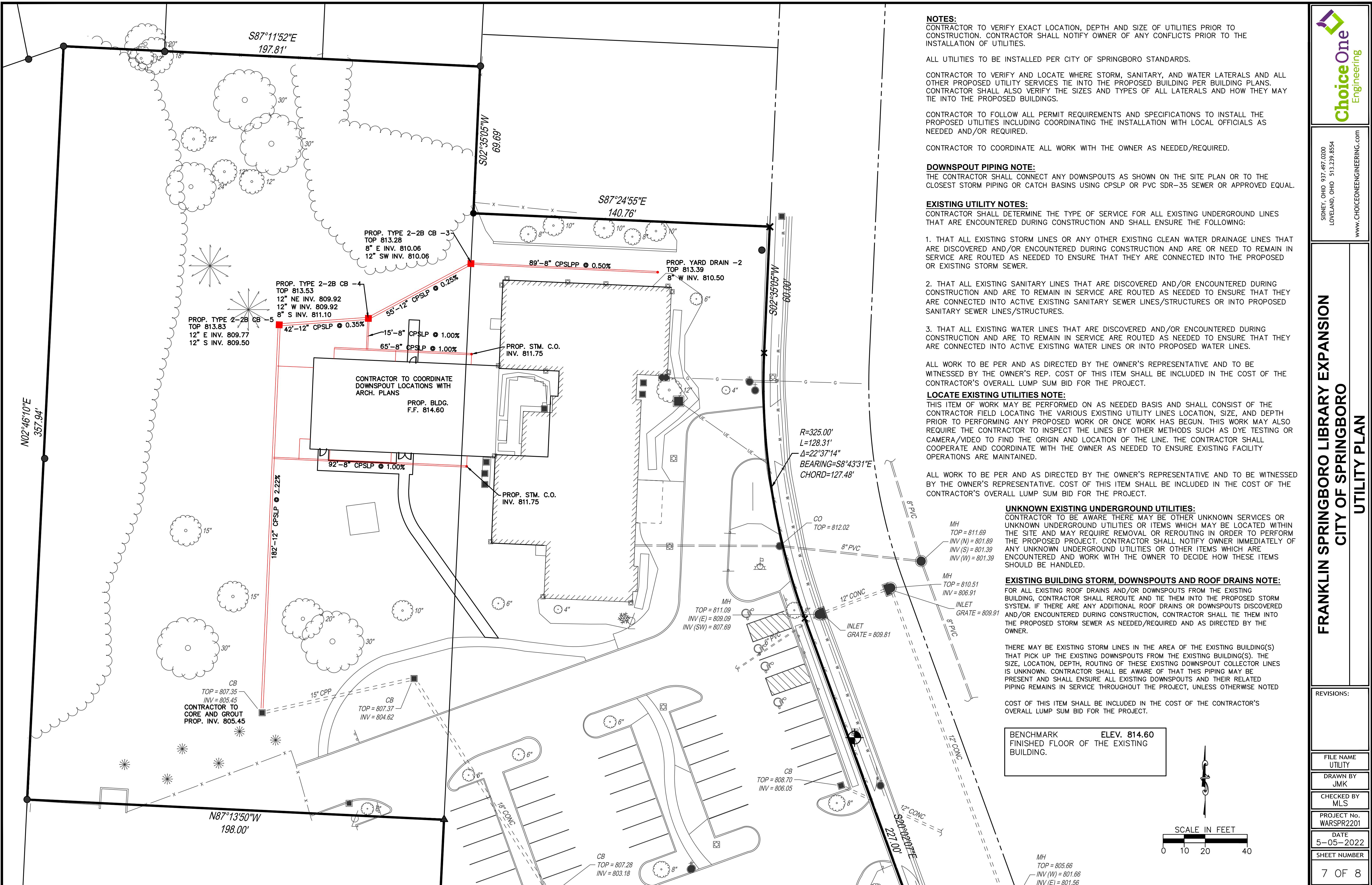
PROPOSED BUILDING

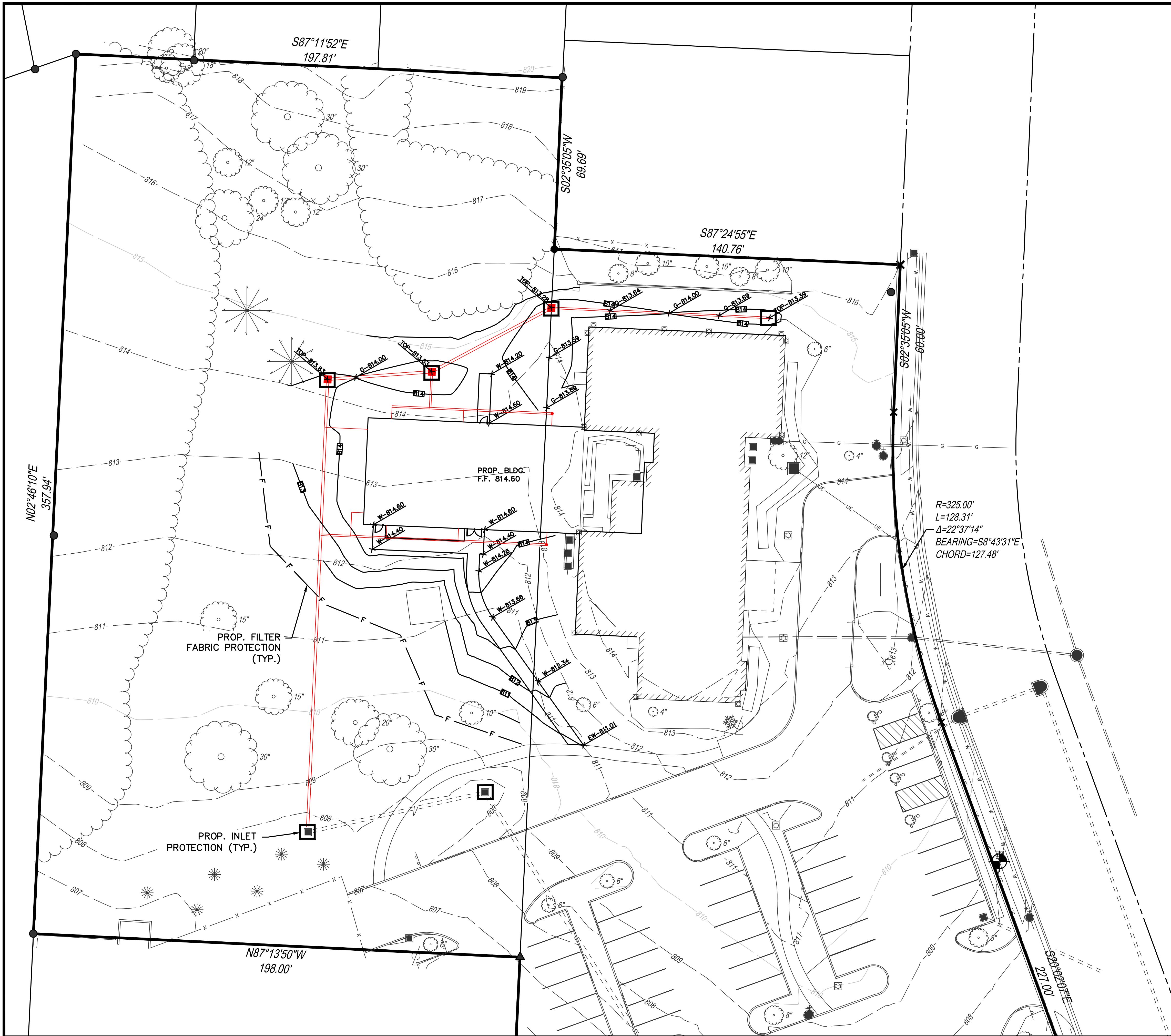
NOTES:

- 1) ALL DIMENSIONS INVOLVING CURBING ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 2) CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.
- 3) CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED DEVELOPMENT INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.
- 4) CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

**FRANKLIN SPRINGBORO LIBRARY EXPANSION
CITY OF SPRINGBORO
DIMENSIONING AND PAVEMENT PLAN**

REVISIONS:
FILE NAME
dimension
DRAWN BY
JMK
CHECKED BY
MLS
PROJECT No.
WARSPr2001
DATE
5-05-2022
SHEET NUMBER
6 OF 8





SCALE IN FEET
0 10 20 40

**Franklin-Springboro Public Library
Springboro Branch Library Expansion
125 Park Lane
Springboro, Ohio**



KZF DESIGN
Designing Better Futures

KZF DESIGN INC.
700 Broadway Street
Cincinnati, OH 45202

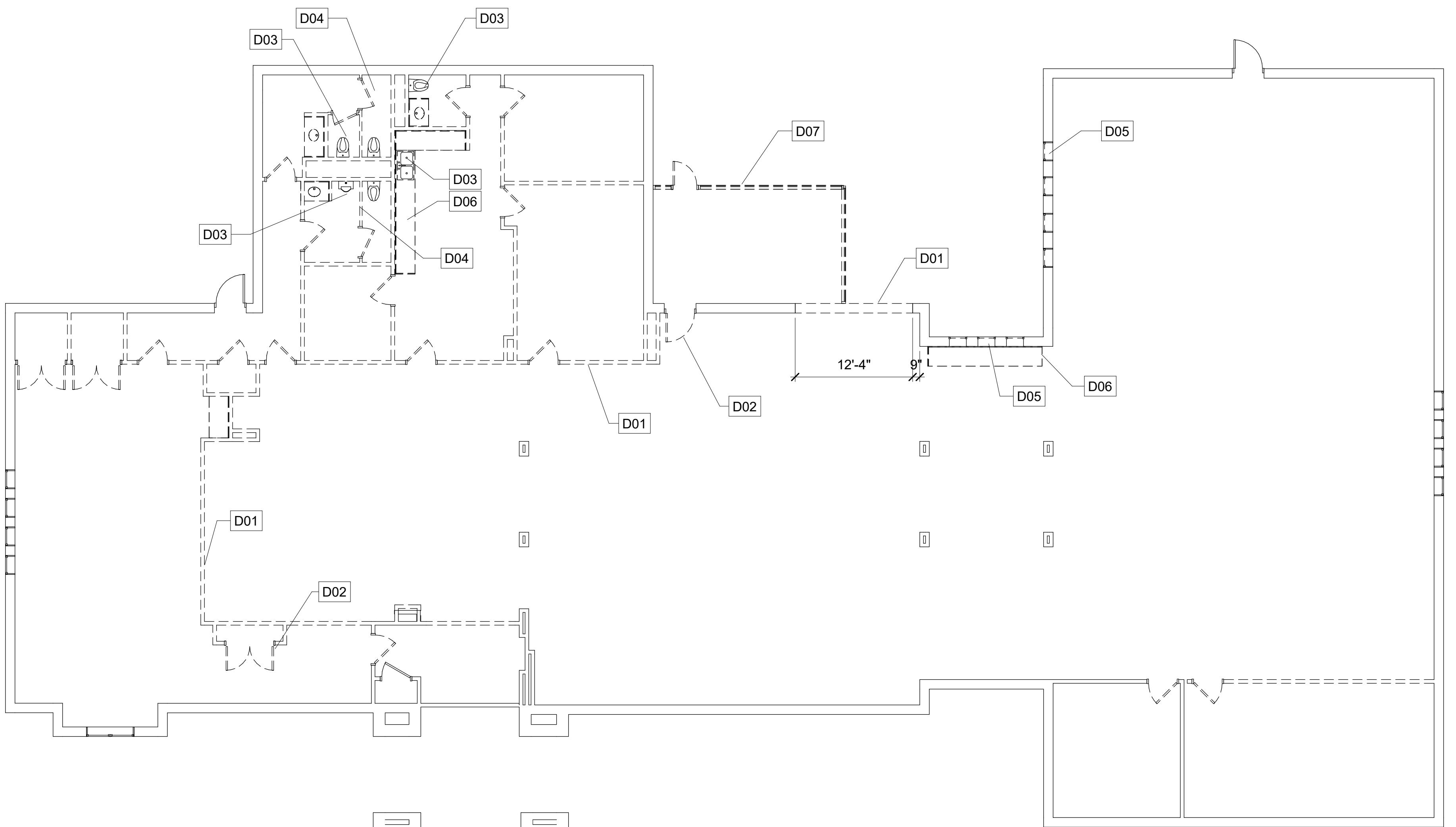
main 513.621.6211
kzf.com

GENERAL NOTES

- A ALL WORK SHOWN ON THESE DRAWINGS IS TO BE BY THE CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR TO VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- B CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ALL INQUIRIES AND/OR DISCREPANCIES SHALL BE DIRECTED TO THE ARCHITECT
- C COORDINATE ALL DEMOLITION WORK WITH NEW WORK PLANS
- D DO NOT COMMENCE DEMOLITION WORK IN ANY AREA UNTIL ALL UTILITIES HAVE BEEN CAPPED, PLUGGED, DISCONNECTED, OR OTHERWISE MADE SAFE FOR WORK TO PROCEED
- E DO NOT CUT OR DRILL EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL ELEMENTS, UNLESS SPECIFICALLY INDICATED ON STRUCTURAL DRAWINGS. VERIFY ALL STRUCTURE LOCATIONS PRIOR TO COMMENCEMENT OF WORK
- F CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL SURFACES AFFECTED BY DEMOLITION OR NEW WORK CARRIED OUT BY ALL TRADES. REFER MECHANICAL-PLUMBING-FIRE PROTECTION-ELECTRICAL DRAWINGS TO VERIFY ALL LOCATIONS WHERE WORK OCCURRS. REFER ALSO GENERAL NOTES ON G.XXX. CONTRACTOR IS TO PAINT ALL WALL SURFACES AFFECTED BY DEMOLITION OR NEW WORK UNLESS OTHER FINISH IS INDICATED: REPAINT-REFINISH IS TO RUN FROM CORNER-TO-CORNER OF AFFECTED WALL UNLESS OTHER LIMIT FOR REFINISH IS SHOWN.
- G REPAIR, MAKE SMOOTH, MATCH ADJACENT SURFACES AND PREP FOR NEW FINISH TREATMENT AT ALL LOCATIONS WHERE DEMOLITION HAS OCCURRED.
- H PROTECT ALL EXISTING FINISHES, FURNITURE AND FURNISHINGS TO REMAIN FROM DAMAGE BY DEMOLITION AND NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONSTRUCTION
- I INSPECT ALL SALVAGED MATERIALS PRIOR TO STORAGE OR REINSTALLATION. REMOVE HEAVILY DAMAGED MATERIAL. MINOR DAMAGE REQUIRING PAINT TOUCH-UP TO BE COMPLETED BEFORE REINSTALLATION. SALVAGED MATERIALS NOT REINSTALLED ARE TO BE HANDED OVER TO OWNER.
- J DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS. DO NOT CLOSE OR BLOCK EGRESS TO ANY EXIT, AND PROVIDE TEMPORARY SIGNAGE FOR EXIT AND BUILDING EGRESS
- K PROVIDE FIRE STOPPING INSULATION, CAULKING, OR FIRESTOP SYSTEM AS REQUIRED TO MAINTAIN EXISTING FIRE RATINGS OF HORIZONTAL OR VERTICAL ASSEMBLIES.
- L ALL WORK AREAS SHALL BE CLEANED DAILY, AND CONSTRUCTION MATERIALS SCHEDULED FOR DEMOLITION & NOT INDICATED TO BE SALVAGED OR REUSED SHALL BE PROMPTLY REMOVED FROM PREMISES
- M ALL CONTRACTORS ARE RESPONSIBLE FOR FOLLOWING OWNER'S REGULATIONS FOR USE OF THE SITE AND BUILDING ACCESS. CONTRACTORS ARE TO COORDINATE WITH OWNER'S CONSTRUCTION MANAGER FOR WORK SCHEDULING AND AREAS OF THE SITE THAT MAY BE OCCUPIED BY OWNER DURING CONSTRUCTION.
- O SALVAGE FIRE ALARM AND SAFETY DEVICES, BUILDING TECHNOLOGY OR SECURITY DEVICES, WALL-MOUNTED FURNISHINGS, FIRE EXTINGUISHERS, SIGNAGE, OR ANY OTHER WALL/CEILING EQUIPMENT OR FURNISHINGS ON SURFACES AFFECTED BY WORK AND CLEAN, STORE FOR REINSTALLATION OR HAND OVER TO OWNER.

DRAWING NOTES

- D01 REMOVE EXISTING WALLS
- D02 REMOVE EXISTING DOOR FRAME AND HARDWARE
- D03 REMOVE EXISTING PLUMBING FIXTURES
- D04 REMOVE EXISTING TOILET PARTITIONS
- D05 REMOVE EXISTING WINDOWS
- D06 REMOVE EXISTING MILLWORK
- D07 REMOVE EXISTING SOLARIUM



01
DEMOLITION PLAN
AD101 1/8" = 1'-0"

DESIGNED BY: SCHMITZ COMM. NO. 8081.00
DRAWN BY: SCHMITZ DATE 06/09/21
CHECKED BY: SCHMITZ PROJ. MGR. SCHULTZ
NOT FOR CONSTRUCTION

DEMOLITION FLOOR PLAN
N
0 4' 8' 16'
SCALE: 1/8"=1'-0"
DRAWING NUMBER ISSUE AD101
NOT FOR CONSTRUCTION

0 4' 8' 16'
SCALE: 1/8"=1'-0"

DRAWING NUMBER ISSUE AD101

**Franklin-Springboro Public Library
Springboro Branch Library Expansion
125 Park Lane
Springboro, Ohio**



KZF DESIGN

Designing Better Futures

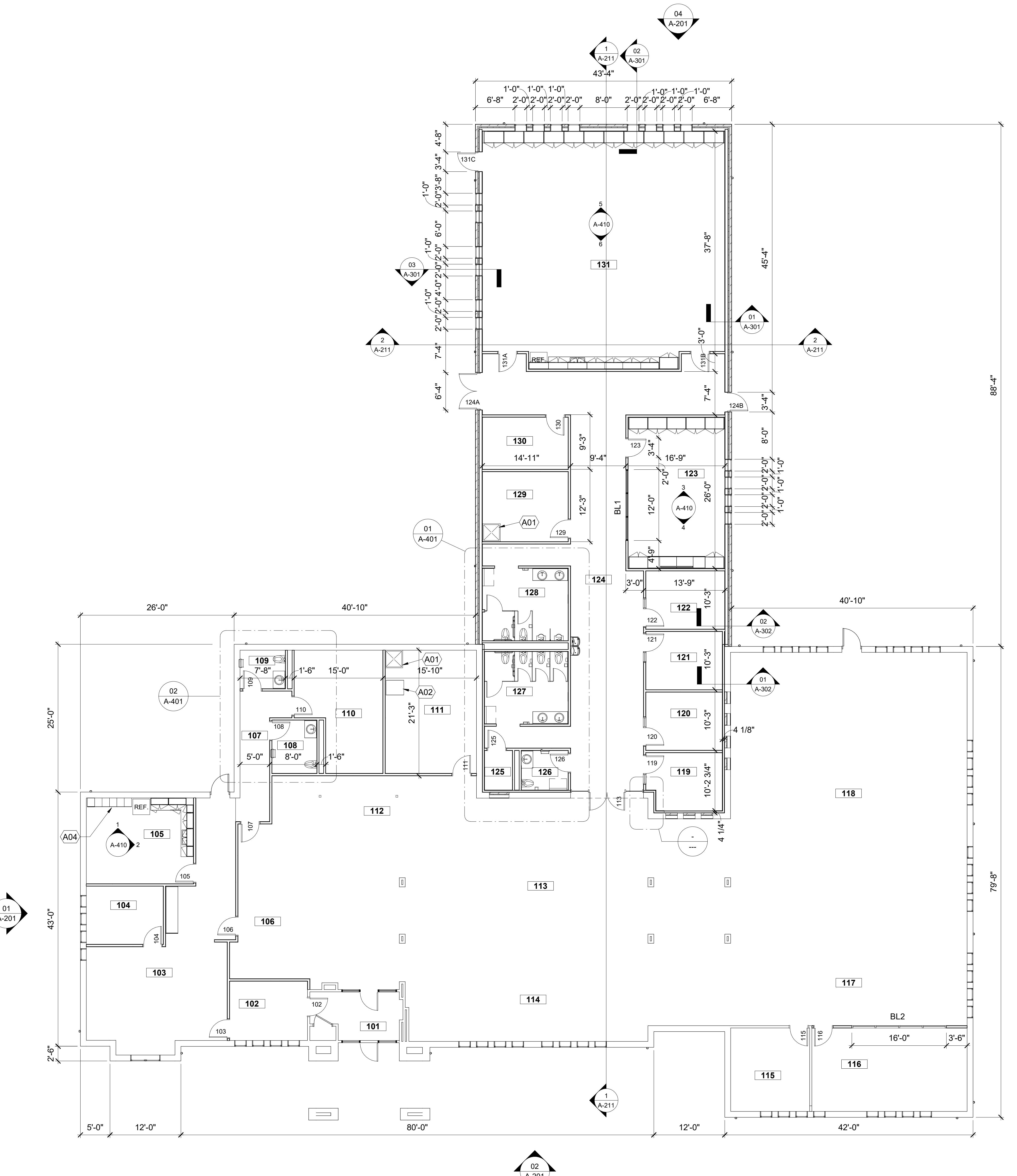
KZF DESIGN INC.
700 Broadway Street
Cincinnati, OH 45202

main 513.621.6211
kzf.com

DESIGNED COMM. NO.
SCHMITZ 8081.00
DRAWN DATE
SCHMITZ DD/MM/YY
CHECKED PROJ. MGR.
SCHMITZ SCHULTZ

**FIRST FLOOR
PLAN**

NOT FOR CONSTRUCTION



FLOOR PLAN
1/8" = 1'-0"

ROOM SCHEDULE	
NO.	ROOM NAME
101	VESTIBULE
102	MGR. OFFICE
103	OPEN WORK
104	OFFICE
105	BREAK ROOM
106	CIRCULATION DESK
107	CORRIDOR
108	STAFF RESTROOM
109	STAFF RESTROOM
110	TECH WORKROOM
111	MECHANICAL
112	MULTI-MEDIA COLLECTION
113	ADULT BOOKS
114	PUBLIC ACCESS COMPUTERS
115	MECHANICAL
116	MAKERSPACE
117	TEEN BOOKS
118	CHILDREN BOOKS
119	SMALL GROUP
120	SMALL GROUP
121	SMALL GROUP
122	SMALL GROUP
123	CONFERENCE
124	CORRIDOR
125	CLOSET
126	FAMILY RESTROOM
127	WOMEN RESTROOM
128	MEN RESTROOM
129	MECHANICAL
130	STORAGE
131	MEETING ROOM

GENERAL NOTES

- A ALL INTERIOR PARTITIONS ARE TYPE XXX UNLESS INDICATED OTHERWISE. SEE SHEET A-501 FOR PARTITION TYPES
- B ROOM NUMBERS ARE FOR CONSTRUCTION PURPOSES ONLY.
- C ALL DIMENSIONS ARE FROM FACE TO FACE OF FINISH CONSTRUCTION UNLESS INDICATED OTHERWISE.
- D USE ONLY WRITTEN DIMENSIONS - DO NOT SCALE DRAWINGS
- E CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE SITE PRIOR TO COMMENCING WORK. ALL INQUIRIES AND DISCREPANCIES SHALL BE DIRECTED TO THE ARCHITECT
- F ALL WORK SHOWN ON THESE DRAWINGS IS TO BE THE CONTRACTOR UNLESS OTHERWISE INDICATED.
- G ALL BLOCKING SHALL BE AS FOLLOWS: (1) BLOCKING INCLUDES WOOD AND METAL REINFORCEMENT INSTALLED DURING CONSTRUCTION TO SUPPORT WALL HUNG ITEMS. PROVIDE BLOCKING FOR MILLWORK, MARKERBOARDS, TACKBOARDS, DISPLAY CASES, OR OTHER ITEMS AS INDICATED ON INTERIOR DRAWINGS. (2) BLOCKING SHOWN OR DETAILED IN THESE DOCUMENTS IS TO ILLUSTRATE CONCEPT AND IS NOT INTENDED TO LIMIT THE CONTRACTOR'S REQUIREMENT TO PROVIDE A COMPLETE AND SOUND INSTALLATION. (3) ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED.
- H ALL NEW STANDARD DOORS IN METAL STUD PARTITIONS TO BE LOCATED 4" FROM FACE OF PERPENDICULAR WALL ON THE HINGE SIDE UNLESS INDICATED OTHERWISE.
- I ALL NEW STANDARD DOORS IN CMU PARTITIONS TO BE LOCATED 8" FROM FACE OF PERPENDICULAR WALL ON THE HINGE SIDE UNLESS INDICATED OTHERWISE.
- J PROVIDE BULLNOSE MASONRY UNITS AT ALL EXPOSED OUTSIDE CORNER LOCATIONS UNLESS SCHEDULED TO RECEIVE TILE, CORNER GUARD, OR INDICATED OTHERWISE.
- K REFERENCE ELEVATION XXX.AXXX FOR TYPICAL DEVICE LOCATIONS AT DOORS.
- L ALL AUDIO VISUAL (AV.) EQUIPMENT, BY OTHERS IS TO BE COORDINATED WITH THE ARCHITECT, GENERAL CONTRACTOR (GC), AND AV CONTRACTOR PRIOR TO ANY RELATED CONSTRUCTION.
- M GC AND AV CONTRACTOR TO COORDINATE ALL STRUCTURAL REINFORCING STRAPPING NECESSARY FOR THE SUPPORT OF ALL AV EQUIPMENT TO FACILITATE INSTALLATION OF ALL AV EQUIPMENT. NOTIFY ARCHITECT IF THE EXACT LOCATION OF EXPOSED EQUIPMENT VARIES FROM THAT INDICATED ON THE DRAWINGS.
- N

DRAWING NOTES

- A01 PROVIDE CORNER MOUNTED MOP/UTILITY SINK
- A02 STACKED WASHER AND DRYER LOCATED ON THIS WALL
- A04 LOCKERS TO BE SCRANTON TUFTEC RECREATIONAL HDPE LOCKERS. UNITS TO BE 3-TIER UNITS, 15'W X 18'D X 72", TOPS TO BE SLOPED FOR CLEANING. TOTAL OF 18 LOCKERS.

0 4' 8' 16'
SCALE: 1/8"=1'-0"

DRAWING NUMBER ISSUE
A-101

0 4' 8' 16'
NOT FOR CONSTRUCTION

04/20/2022 PROGRESS SET

**Franklin-Springboro Public Library
Springboro Branch Library Expansion**
125 Park Lane
Springboro, Ohio



KZF DESIGN

Designing Better Futures

KZF DESIGN INC.
700 Broadway Street
Cincinnati, OH 45202

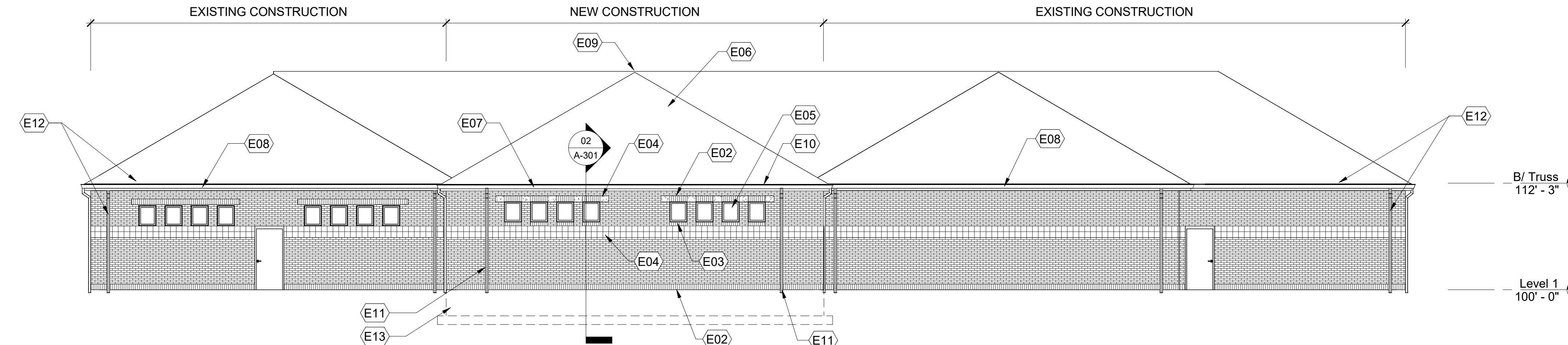
main 513.621.6211
kzf.com

DESIGNED BY: SCHMITZ COMM. NO. 8081.00
DRAWN BY: SCHMITZ DATE MM-DD-YYYY
CHECKED BY: SCHMITZ PROJ. MGR. SCHULTZ
BUILDING ELEVATIONS

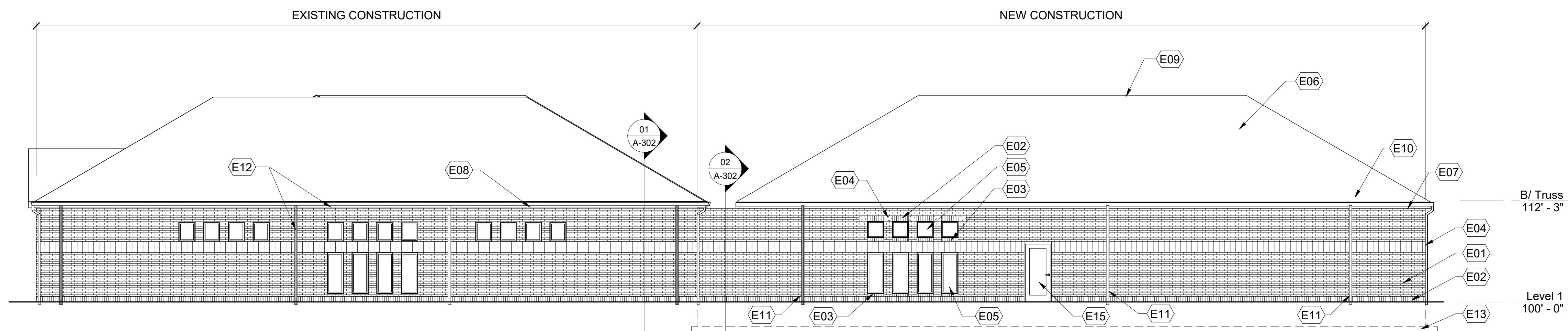
NOT FOR CONSTRUCTION
DRAWING NUMBER ISSUE A-201

0 4' 8' 16'
SCALE: 1/8" = 1'-0"

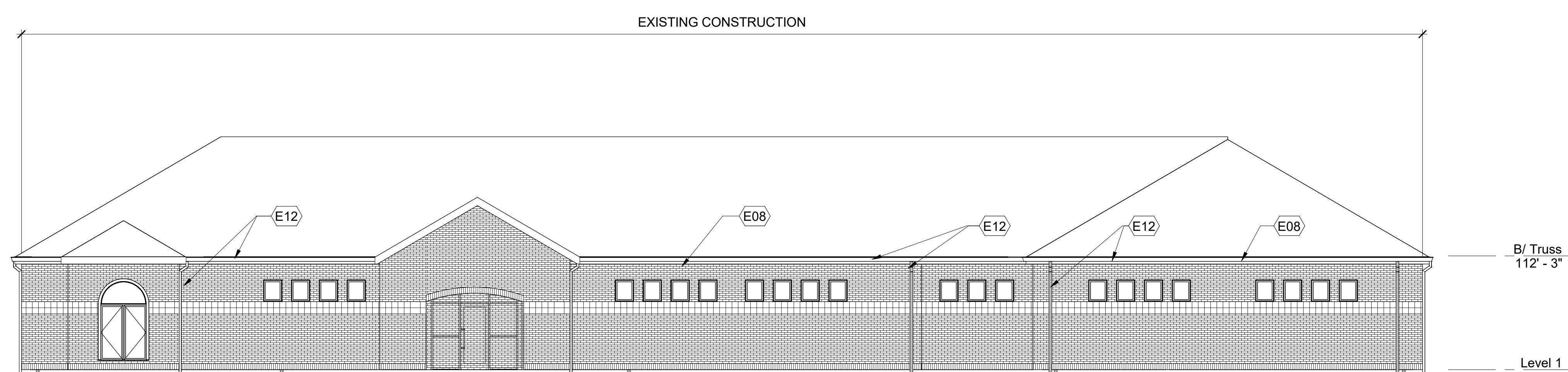
04/20/2022 PROGRESS SET



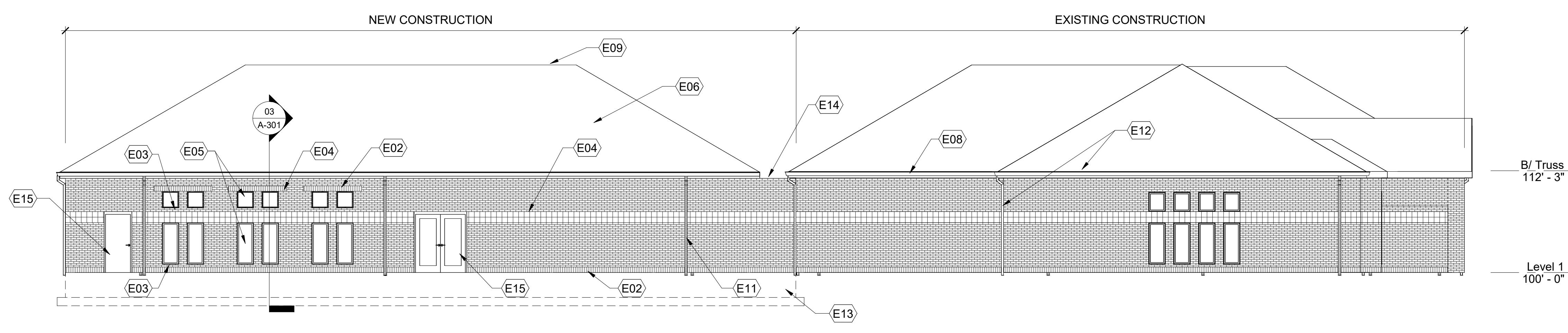
04 WEST ELEVATION
A-201 1/8" = 1'-0"



03 NORTH ELEVATION
A-201 1/8" = 1'-0"



02 EAST ELEVATION
A-201 1/8" = 1'-0"



01 SOUTH ELEVATION
A-201 1/8" = 1'-0"

DRAWING NOTES

NO.	DESCRIPTION
E01	BRICK VENEER
E02	SOLDIER COURSE
E03	BRICK ROWLOCK SILL
E04	SPLIT FACE CMU
E05	ALUMINUM CLAD WOOD WINDOW
E06	ASPHALT SHINGLE ROOFING
E07	ALUMINUM WRAPPED FASCIA
E08	WRAP EXISTING WOOD FASCIA WITH ALUMINUM TO MATCH NEW WORK
E09	RIDGE VENT
E10	6" W X 5" H ALUMINUM GUTTER
E11	3" X 4" DOWNSPOUT - CONNECT TO STORM DRAINAGE SYSTEM
E12	REPLACE EXISTING GUTTER AND DOWNSPOUTS TO MATCH NEW WORK
E13	CONCRETE FOUNDATION - REFER STRUCTURAL DRAWINGS
E14	ALUMINUM COPING
E15	HOLLOW METAL DOOR AND FRAME

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, April 13, 2022

I. Call to Order

Vice-Chair Pearson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Chris Pearson, Vice Chair, Mark Davis, Robert Dimmitt, Mike Thompson and John Sillies. Absent were Becky Iverson, Chair, and Steve Harding.

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director, Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary.

Mr. Davis motioned to excuse Mr. Harding and Ms. Iverson. Mr. Dimmitt seconded the motion.

Vote: Thompson, yes; Dimmitt, yes; Sillies, yes; Pearson, yes; Davis, Yes (5-0)

II. Approval of Minutes

A. March 9, 2022 Planning Commission Minutes

Mr. Pearson asked for corrections or additions to the minutes. There were none

Mr. Thompson motioned to approve the March 9, 2022 Planning Commission minutes. Mr. Pearson seconded the motion.

Vote: Thompson, yes; Dimmitt, yes; Sillies, yes; Pearson, yes; Davis, Yes (5-0)

III. Agenda Items

A. Final Approval, Record Plan, 5-15 West Mill Street, Springboro United Church of Christ, lot consolidation and dedication of right-of-way

Background Information

The enclosed record plan is for the Springboro United Church of Christ located at the southwest corner of South Main Street (SR 73) and West Mill Street, address listed as 5-15 West Mill Street. The plan consolidates two lots into one and dedicates the right-of-way along South Main Street. It contains approximately 1.26 acres, of which 0.1 acres are in the right of way. Upon Planning Commission approval, it will proceed to City Council for final review and approval.

Staff Recommendation

Staff recommends approval of the record plan for 5-15 West Mill Street subject to compliance with the following comments:

1. Revise the Title Block with the word "Record Plan" on the first line, and then "Springboro United Church of Christ" below it on the second line.
2. Submit to Warren County for their review and comments. Revise accordingly

Discussion:

Mr. Doug Gabriel was in attendance to discuss his request for a lot split and record plan.

Mr. Dudas referred to the comments, explaining how the plan consolidates two lots into one and dedicates the right-of-way along South Main Street, noting that this was a condition of construction of the new addition back in 2019. Upon approval by the Planning Commission, it will be forwarded to Council.

Mr. Pearson asked for clarification on the address, which stated 5-15 West Mill Street, and the address listed with Warren County is 615 South Main Street for one of the lots.

Mr. Dudas explained this had no bearing, and it can be adjusted later.

Mr. Gabriel also asked if the formal address will be 615 South Main Street or 5 West Mill Street, which is the most used church address.

Mr. Dudas stated the record plan was not affected by this, and can be looked into further, but has no problem using the 5 West Mill Street address.

Mr. Pearson called for a motion to approve the Record Plan for 5-5 W. Mill Street, Springboro United Church of Christ, dedication of right-of-way.

Mr. Thompson motioned to approve. Mr. Davis seconded the motion.

Vote: Thompson, yes; Dimmitt, yes; Sillies, yes; Pearson, yes; Davis, Yes (5-0)

- A. Final Approval, Revision to Final Development Plan, 765 West Central Avenue (SR 73), PUD, Planned Unit Development, LaComedia Dinner Theater, construction of accessory structure
- B. Final Approval, Record Plan, 765 West Central Avenue (SR 73), PUD, Planned Unit Development, LaComedia Dinner Theater, dedication of right-of-way

Background Information—Revision to Final Development Plan

This agenda item was filed by App Architecture, Englewood, on behalf of LaComedia Dinner Theater, property and business owner, located at 765 West Central Avenue (SR 73). The final development plan in its current form appeared on the February 9th meeting agenda as a preliminary review item. The applicants are proposing a 32,150-square foot, two-story accessory building on the southeast corner of the site. The building will be used to house costumes in a climate controlled environment and provide for other theater storage. An earlier version of the accessory structure proposed a 16,200-square foot building on the site.

The dinner theater has been in operation since 1975. There is no record of the theater's original approval; that predated the City's incorporation in 1987 and our present Building Department (plans were reviewed by Warren County prior to that date). The property was rezoned to PUD, Planned Unit Development, in September 1997 to provide flexibility to the property owner to develop the property in light of setbacks and other development standards. No record of the setback has been found by City staff. In 1999 the Planning

Commission approved plans for the expansion of the theater building, and later that year the construction of a dormitory.

The proposed accessory building will be located in the vicinity of two accessory buildings that will be removed. The proposed building will be as close as 6 feet from the east property line and 16 feet from the south property line. These figures are similar to other buildings on the site including the main theater building relative to the east property line (less than 5 feet), and the dormitory relative to the south property line (15 feet).

Adjacent land uses include the recently redeveloped McDonald's at 775 West Central Avenue to the northwest; on the north side of West Central Avenue the two shopping centers owned by the now-closed Edwards Furniture on either side of Tahlequah Trail, the shopping center at 625-725 West Central Avenue that includes the former and newly renovated Kroger; and to the south, fronting and with access from Pleasant Valley Drive, a number of commercial and light industrial buildings including VST (650 Pleasant Valley Drive).

Staff Recommendation—Revision to Final Development Plan

City staff recommends approval of the revised final development plan for 765 West Central Avenue (SR 73) subject to compliance with the following comments:

1. New lighting fixtures proposed as a result of the building and site work to be consistent with Chapter 1273 (Exterior Lighting) of Planning & Zoning Code.
2. Provide water and sewer lateral information. Water to be minimum 1" K copper with remote reader inside of building and sanitary sewer lateral to be min 6" SDR 35 or SCH 40 material at 2% slope minimum.
3. Provide the pervious/impervious change on the site due to the new building and associated construction. Storm water on the additional impervious areas to be detained.
4. Name sheet C4 "Stormwater Pollution Prevention Plan".
5. Verify that the proposed storm sewer outlet will not create ponding due to elevations. Provide proposed contours at this location and throughout the site.
6. Fire Department connections for all sprinkled buildings shall be within 75 feet of a fire hydrant on the public water system. All fire department connections must have a 5" Storz connection with a 30 degree downturn and includes a cap attached by a cable or chain. Fire Department connections must be visible and unobstructed at all times.
7. We will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
8. All monitored fire alarm systems shall have a remote annunciator panel at the main entrance to the building for fire district use.
9. A fire extinguisher plan must be submitted to the fire district. Placement and installation must be completed prior to final building inspection.
10. A scaled floor is required at or before the time of final building inspection on all buildings showing the location of all exits, electrical and all gas shut off. Fire department connections and other applicable information as may be useful in conducting pre incident preparation by the fire district. The acceptable size for this plan 8.5 inches by 11 inches.
11. All test of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791 48 hours prior to testing. The building department will contact the fire district and advise of date and time of testing. The Fire Marshal or district representative will witness all testing.

Background Information—Record Plan

The enclosed record plan is for the La Comedia site and contains approximately 5 acres, of which approximately 0.4 acres are in the right-of-way of West Central Avenue (SR 73). It also includes a sanitary sewer easement for the existing sewer main located in the rear and side yard. Upon Planning Commission approval, it will proceed to City Council for final review and approval.

The record plan involves the dedication of right-of-way along West Central Avenue (SR 73).

Staff Recommendation—Record Plan

Staff recommends approval of the record plan for 765 West Central Avenue (SR 73) subject to compliance with the following staff comments:

1. Revise the Title Block with the word "Record Plan" on the first line, and then "La Comedia" below it on the second line.
2. Provide standard signature block for city signatures.
3. Submit to Warren County for their review and comments. Revise accordingly.

Discussion:

Mr. Tim Bement, App Architecture, and Mr. Dave Gabert, M & M Construction, were present to discuss their application for an accessory structure at LaComedia Theatre.

Mr. Boron referred to the comments and background explaining that this plan is similar to the one reviewed at the February 9th meeting, the size of the proposed structure is 32,150 square feet. Staff has been working with the applicant, and providing all of the staff recommendations are met, they recommend approval of the structure.

Mr. Thompson clarified the max occupancy was 107.

Mr. Bement explained that since the primary use of the structure will be storage, that maximum occupancy was more than sufficient and could even be reduced. He also noted that they have no problems complying with all the comments, and comment #6 was resolved with the fire department.

Mr. Pearson called for a motion to approve the Final Development Plan, 765 West Central Avenue, PUD, LaComedia Dinner Theatre, construction of an accessory structure.

Mr. Sillies motioned to approve. Mr. Davis seconded the motion.

Vote: Thompson, yes; Dimmitt, yes; Sillies, yes; Pearson, yes; Davis, Yes (5-0)

Mr. Pearson called for a motion to approve the Record Plan 765 West Central Avenue, PUD, LaComedia Dinner Theatre, dedication of right-of-way.

Mr. Dimmit motioned to approve. Mr. Davis seconded the motion.

Vote: Sillies, yes; Dimmitt, yes; Thompson, yes; Pearson, yes; Davis, Yes (5-0)

D. Final Approval, Minor Revision to Approved General Plan, The Springs PUD, Planned Unit Development, revision to apartment component

Background Information

This agenda item is a request for formal approval of a minor revision to an approved general plan for a portion of the apartment component of The Springs PUD, Planned Unit Development. The application was submitted by PLK Communities, Cincinnati. The property is owned by The Siebenthaler Company. This item was reviewed on a preliminary basis at the March 9th Planning Commission meeting at which time the Planning Commission authorized the general plan revision to be placed on a future agenda item for formal review and approval.

As indicated in the submitted materials, the applicant is proposing to construct 168 apartment units on a 16.05-acre site located on the northeast portion of The Springs PUD. The site is situated between The Falls apartment complex on the east, and the Waterside condominiums to the west. Both The Falls and Waterside condominiums are also in The Springs PUD. The property has frontage on Springs Boulevard; access is also proposed from the east through The Falls apartments to Yankee Road as well as to the west through the Waterside condominiums. The northern property line for the site coincides with the Warren-Montgomery county border. Lands to the north are within Washington Township.

The 16.05-acre site was approved for apartment development as part of the general plan for what is now The Springs PUD in early 2002. A total of 305 apartments were approved at that time consisting of 30 10-unit buildings and a 5-unit building including the management office, clubhouse and pool. Later, two phases of apartment development were approved by the Planning Commission, one each in 2002 and 2003, based on an application filed by the developer, Coffman Development, both as The Falls apartments. The northern tier of the apartments were reviewed and approved first, consisting of 15 apartment buildings and the clubhouse, with 15 additional buildings on the southern tier. The phases were oriented east to west, with both phases crossing the utility lines that bisect the 16.05-acre site and access across a set of underground utility lines. Coffman Development developed just the eastern portion of each phase along the Yankee Road side of the property beginning in 2005. Development of this portion of the site continued until 2010/2011 when the current 135 apartment units—13 ten-unit buildings and one 5-unit building with clubhouse—configuration was arrived at. The Siebenthaler property was later split from the built portion of The Falls apartments. The 2002/2003 Planning Commission approval to construct 170 apartment units on the site remains in effect. A copy of the plans for the apartment component of The Springs PUD as proposed is included in the meeting materials.

PLK Communities is proposing to construct 168 apartment units on the site. The proposal includes 10 16-unit apartment buildings, an 8-unit apartment building, a clubhouse facility, and a number of stand-alone garages and dumpster enclosures. Access will be provided with a driveway connecting to Springs Boulevard. The revised plans indicate five additional potential access points: two to The Falls and in turn Yankee Road, and three to Waterside.

The City's PUD ordinance defines three types of revisions to approved general plans: major, minor, and administrative. Major revisions include proposals that change the list of permitted uses within a PUD or any increase of 15% or greater in the number of residential units for a site, and require the approval of the Planning Commission and City Council. Minor revisions involve no change in permitted uses within a PUD and involve density increases between 5 and 15%, and require the approval of Planning Commission. Administrative revisions include revisions involving 5% increases in development density or less, and are approvable by City staff. The PLK Communities proposal represents a minor revision to the approved general plan for the apartment component.

Following Planning Commission's approval of the requested general plan revision review and approval of a final development plan by Planning Commission may commence, first in preliminary format, then final approval at a subsequent meeting. PLK Communities has indicated their intention to develop the 16.05-acre site in one section.

Existing zoning in the vicinity of the site is PUD to the east, south, and west, all part of The Springs PUD. Zoning to the north is zoned PD-T, Planned Development Transition District, under the Washington Township Zoning Resolution, a district whose purpose is "...to allow for orderly growth and development Washington Township and abutting municipalities." Existing land uses in the vicinity of the site include The Falls apartments to the east, St. Mary's church to the southeast, the single-family residential component of The Springs to the south, to the west the Waterside condominiums component of The Springs, and to the north in Washington Township, Montgomery County, and the Yankee Terrace single-family residential subdivision.

Staff Recommendation

City staff recommends approval of the revision to the general plan subject to compliance with the following comments:

1. Revise plans to indicate this stage of the approval process as general plan approval. The second stage of the approval process is final development plan, not site plan review.
2. Provide architectural details for a typical residential building on the site including materials, color, and scale, to be included in the general plan revision record.
3. Landscaping Plan not required until second stage of approval process, final development plan. Plans to comply with Chapter 1280. The following general comments are made to the landscaping plans indicated on sheets L100-L200 of the general plan:
 - a. Buffer to north requires trees at rate of 1 tree/20 feet or 19 trees. Staff recommends additional landscaping in this area in lieu of 30-foot landscape buffer requirement (see also comment 4f below).
 - b. West buffer standard appears to meet code requirements however detailed review would occur concurrent to final development plan. East buffer exemption request is acceptable from City staff however approval by Planning Commission required.
 - c. Street frontage landscaping proposed appears to be correct; detailed review would occur during final development plan process.
 - d. For final development plan stage review of landscaping for parking lots, provide landscaping island calculations as indicated under Section 1280.04(e).
 - e. Dumpster and mechanical equipment screening to be reviewed under final development plan stage of review process, however notations on L200 appear to be correct.
 - f. Site development landscaping is required at the rate of 1 tree/3,000 square feet for developed portions of the site, and does not include required parking lot landscaping, buffers to adjacent uses, and landscaping along road frontages. Lands above the utility transmission lines is exempt from this requirement. In addition to landscaping proposed for the amenity areas, City staff recommends the site landscaping may be used along the north and edges of the development site.
4. Lighting plan consistent with Chapter 1273 of Planning and Zoning Code to be developed, including a foot-candle analysis, that meets color-temperature, intensity, and cut-off lighting requirements for review during final development plan stage of approval process. Manufacturer information for the Lithonia RSX1 lighting is consistent with Chapter 1273 excluding non-horizontal installation included in materials. Note that architectural lighting, signage lighting, etc., if proposed, also to be reviewed concurrent to final development plan review process.

5. Applicant to develop signage plan for review by City staff outside of the PUD review and approval process. Plans have been forwarded to the Zoning Inspector for preliminary review.
6. Plans to be signed by the owner/developed at the final approval stage of the general plan review process.
7. Provide complete site design and development standards for building placement and ancillary facilities.
8. Provide all aspects of infrastructure design with the final development plan submittal following approval of the general plan.
9. At least two access connections shall be provided for the site. Provide approved access connections on the final development plan with documentation (e.g., a signed agreement).
10. Show the access to Springs Boulevard through to the street.
11. Provide central mailbox unit, which is to be reviewed and approved by the Springboro Post Office.
12. Fire Department connections for all sprinkled buildings shall be within 75 feet of a fire hydrant on the public water system. All fire department connections must have a 5" Storz connection with a 30 degree downturn and includes a cap attached by a cable or chain. Fire Department connections must be visible and unobstructed at all times.
13. We will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
14. A scaled floor plan is required at or before the time of final building inspection on all buildings showing the location of all exits, electrical and gas shut offs, fire department connections and other applicable information as may be useful in conducting pre incident preparation by the fire district. The acceptable size for this plan is 8.5 inches by 11 inches.
15. One additional fire apparatus access road is required by the fire district due to the density and the potential for impairment of a single road into this complex.
16. All test of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791 48 hours prior to testing. The building department will contact the fire district and advise us of date and time of testing. The Fire Marshal or district representative will witness all testing.

Discussion:

In attendance to discuss their application were Nick Lingenfelter, PLK Communities, and Tyler Amicon, Viox & Viox.

Mr. Boron referred to the background and staff comments explaining that this item was discussed at length at the March meeting where the revisions from the 2002/2003 general plan, Springs PUD, were presented. He noted it was staff's recommendation to move forward with the development of the apartment buildings, subject to the list of staff comments.

Mr. Ligenfelter stated they are confident they can work with staff to resolve all staff recommendations and they are currently working on the two access points.

Mr. Pearson asked if they were losing some garages with the latest revisions to the buffer zone.

Mr. Lingenfelter noted they did modify the layout and shrunk one building, but maintained the same number of units.

Mr. Pearson called for a motion to approve the revision to Approved General Plan, the Springs PUD, revision to approved apartment component.

Mr. Davis motioned to approve. Mr. Thompson seconded the motion.

Vote: Dimmitt, yes; Sillies, yes; Thompson, yes; Pearson, yes; Davis, Yes (5-0)

VI. Planning Commission and Staff Comments

Mr. Boron reported that the next meeting is scheduled for May 11, with a submittal deadline of April 22.

VII. Adjournment

*Mr. Thompson motioned to adjourn the April 13, 2022 Planning Commission Meeting at 6:17 pm
Mr. Sillies seconded the motion.*

Vote: Thompson, yes; Dimmitt, yes; Sillies, yes; Pearson, yes; Davis, Yes (5-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary