

Agenda
City of Springboro Planning Commission Meeting
Wednesday, March 8, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. February 8, 2023 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Record Plan, The Manor of Settlers Walk Section Three-A, lot reconfiguration
 - B. Final Approval, Rezoning, R-2, Low-Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street
 - C. Final Approval, Site Plan Review, 800 West Central Avenue (SR 73), proposed Sheetz fuel center, convenience store, and restaurant
 - D. Preliminary Review, Site Plan Review, 25 West Central Avenue (SR 73), new River Valley Credit Union branch
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

**Background Information Staff Comments/Recommendation
City of Springboro Planning Commission Meeting
Wednesday, March 8, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue**

III. Agenda Items

**A. Final Approval
Record Plan, The Manor Section Three-A, lot reconfiguration**

Background Information

This agenda item is a request for record plan approval for a new section in The Manor neighborhood of Settlers Walk, specifically on the west end of Trevor Lane. At the request of the property owners of lot 67, the rear yard line is being re-platted to increase the size of the lot from approximately 0.294 acres to approximately 0.3711 acres, possibly for landscaping purposes, removing land from those owned by the Settlers Walk Homeowners Association (HOA). Following review by the Planning Commission, the record plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan for The Manor Section Three-A subject to compliance with the following comments:

1. Add original notes as shown on title sheet from the recorded record plan of the Manor Section Three at Settlers Walk.
2. Change a part of the title from "3A" to Three – A", on all sheets.

**B. Final Approval
Rezoning, R-2, Low-Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street**

Background Information

This agenda item is based on a request filed on behalf of High Concrete Technology, LLC, (hereafter High Concrete) to rezone property, approximately 0.8653 acres in total, located at or in the vicinity of the east termini of East Market Street and East State Street. The rezoning proposal, which is itemized below, would accommodate the sale of property including a vacant office building, located at 105 East State Street, and High Concrete's training and meeting space, located at 145 East Market Street, by provided a single zoning category for the lands: CBD, Central Business District. One lot would be created for the vacant office and training/meeting space described above. Currently the proposed lot sits on portions of three parcels.

A second, non-buildable lot would be created immediately to the east of 145 East Market Street. This is the site of a cemetery and currently is includes two parcels. The zoning of that property would also be CBD.

Lands further to the east, at the bottom of the hillside that separates the Historic District and East Street from High Concrete, would be rezoned to accommodate High Concrete's continued operation. That zoning is consistent with the current use of the site. Those lands would be consolidated into the High Concrete property. Currently this land sits on portions of three parcels.

The building/property at 145 East Mill Street were rezoned to B-3, Central Business District, in 2006 to accommodate the use of the building/property by High Concrete as a training center and meeting room. In 2015 that zoning was changed to the existing CBD as part of the large scale text revision to the Planning and Zoning Code and Official Zoning Map.

The proposed rezoning involves the following items as documented in the submitted materials:

- Rezone survey parcel A, 0.0836 acres in area, from R-2, Low-Density Residential District, to CBD, Central Business District. This property is vacant and would be joined to the cemetery property. It is located immediately to the
- Rezone survey parcel B, 0.333 acres in area, from R-2 District to M-2, Heavy Manufacturing District. The property was formerly the site of a home but is presently the site of a detention pond for High Concrete.
- Rezone survey parcel D, 0.1426 acres in area, from CBD to M-2 District. This property includes a portion of the High Concrete detention pond.
- Rezone survey parcel G, 0.1248 acres in area, from CBD to M-2 District. This property is vacant.
- Rezone survey parcel H, 0.1813 acres in area, from M-2 District to CBD. This property includes a home that was converted into an office for use by High Concrete but is now vacant.

The building located at 145 East Market Street was originally constructed as an Orthodox Quaker meeting house, and was later used as a creamery, school, a residence, a church, then a training center and meeting room for High Concrete. While the building is historic, it was built sometime after 1828, it is not a protected property under the terms of the City of Springboro Historic Preservation Code. The historic district's east boundary ends at the alley that defines the property's west edge. A cemetery tied to the Orthodox Quaker congregation is located to the east of the building.

Adjacent land uses include residential to the north and west on properties fronting East Market Street and East Street. Lands to the east and south are used for manufacturing and are part of the main High Concrete facility. Adjacent zoning includes R-2 District to the west and north, and M-2 District to the east and south with the exception of a small parcel, zoned R-2 District, immediately to the east of 145 East Market Street.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area 13, Historic Code, includes the subject area. The policy area recommends a mix of uses to ensure a lively interactive district including residential, service, and retail.

This item was reviewed on a preliminary basis at the February 8th Planning Commission meeting at which time the Planning Commission authorized this item to be placed on a future Planning

Commission regular meeting agenda for formal approval. Council action is required to approve the rezoning.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the January 18th Planning Commission meeting when preliminary review was initially scheduled. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Recommendation

City staff recommends approval of the rezoning as requested.

C. Final Approval

Site Plan Review, 800 West Central Avenue (SR 73), proposed Sheetz fuel center, convenience store/restaurant

Background Information

This agenda item is based on an application filed by Skilken Gold Real Estate, Columbus, Ohio, representing Sheetz, seeking preliminary review through the site plan review process to construct a Sheetz fuel center, convenience store/restaurant at 800 West Central Avenue (SR 73). The proposed site is approximately 2.38 acres in area and has frontage on both West Central Avenue and Tahlequah Trail. The site is the former location of Edwards Furniture. Two businesses, Printing for Less and the Jeanie Moreland dance studio, continue to operate in the building on the Tahlequah Trail side of the property.

The proposed Sheetz will be 6,138 square feet in area and as proposed includes a drive-through on the west side of the building and fuel pumps on the south/West Central Avenue side of the property. Access to the proposed building/site will be with two curb cuts on Tahlequah Trail, and an entrance on West Central Avenue. The site plan also includes the dedication of right-of-way on the north side of the property to accommodate an east-west road connecting Tahlequah Trail west to Greenway Lane. That road's installation will occur at a later date.

The subject property is zoned HBD, Highway Business District, a zoning district that permits the proposed use. The site plan as proposed meets all setback and building height requirements of the HBD.

Existing land uses in the vicinity of the subject property includes to the north the former site of Integrity Interiors (100 Tahlequah Trail) and Thaler Machine (216 Tahlequah Trail) on the northeast corner of Tahlequah Trail and Edwards Drive. To the east are two multi-tenant retail/office buildings on the east side of Tahlequah Trail, the larger building facing West Central Avenue. To the south on the south side of West Central Avenue are LaComedia Dinner Theater (765 West Central Avenue), McDonald's (775 West Central Avenue) and Long John Silver's (785 West Central Avenue). To the west is a 13-acre vacant parcel; further west is the KFC and Taco Bell (850 and 860 West Central Avenue, respectively). Zoning in the vicinity of the subject property is HBD to the east, south on the south side of West Central Avenue, and west. To the north including the former Integrity Interiors site and Thaler Machine is ED, Employment Center District.

This item was reviewed on a preliminary basis at the October 12th and November 16th Planning Commission meetings. The Planning Commission authorized this item to be placed on a future Planning Commission regular meeting agenda at the November 16th meeting in consideration of staff and other comments discussed at that meeting. No action is needed on the part of City Council on the site plan itself, however any dedication of right-of-way would need to be subject to a record plan reviewed and approved by Planning Commission and City Council.

Staff Recommendation

City staff recommends approval of the site plan for 800 West Central Avenue for the proposed subject to the following conditions:

1. For proposed lighting plan, address the following:
 - a. Provide a clearer depiction of the lighting readings in the vicinity of the proposed c-store/restaurant.
 - b. Lighting levels exceed the maximum 4.0 foot-candle standard for walks on all sides of the building except for the west.
 - c. Indicate if lighting levels include architectural lighting. Note that a maximum of 5.0 foot-candles is permitted.
 - d. Lighting intensity exceeds maximum 6.0 foot-candle levels adjacent to canopy.
 - e. Verify all lighting is 3500k or less.
 - f. Aside from OSQ lighting proposed, fixtures are not International Dark Sky compliant. While not required, such lighting is consistent with Chapter 1273 standards for color temperature, glare reduction, etc.
 - g. Average to maximum (4:1 permitted) and minimum to maximum (10:1) ratio are exceeded on the photometric analysis. Revise plan accordingly.
2. For proposed landscaping plan (sheets L1.0-1.1) address the following:
 - a. Additional landscape treatments needed to lessen impact of fueling center portion of proposal on West Central Avenue frontage in the form of mounding, screen wall or fencing as discussed at October 12th Planning Commission meeting. See also Tahlequah Trail landscaping comment.
 - b. Provide a total of 5 shade trees on West Central Avenue frontage (5 required, 2 indicated in notes, 3 shown on plans).
 - c. Adjust landscape arrangement on Tahlequah Trail frontage to include shade trees on southwest corner of site. Also, proposed cherry trees are not acceptable as shade trees for this application (may be used to satisfy ornamental and other tree requirements).
 - d. Indicate parking lot landscape areas noted on sheet L1.0 and location of 11 proposed trees.
 - e. Are no landscaped areas proposed on the south side of the c-store/restaurant?
 - f. Indicate location of proposed 35 trees meeting site landscaping requirement. Staff recommends using part of this requirement on the southwest corner of site for screening purposes.
3. Signage to be consistent with Chapter 1281 of Planning & Zoning Code, Signs. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
4. Provide bicycle parking consistent with (f) of Off-Street Parking Chapter 1279 of Planning and Zoning Code. Coordinate with City staff on acceptable design and clear zones.
5. Water main minimum cover is 54". Provide existing water main location along West Central Avenue and Tahlequah Trail. Show the location of the proposed water lateral tap to the existing water main along Tahlequah Trail, along with curb box located behind sidewalk. Meter pits are not permitted; water meter with remote reader to be located inside building,

remove details on sheet C7.4 accordingly and revise coded note 1 on sheet C5.0. A 2" plastic water main to be installed, being HDPE tubing (SDR 9, 250 PSI), with #14 AWG blue tracer wire. Provide pavement saw cut and pavement replacement details for water/sewer lateral taps. Delete coded note 2 on sheet C5.0.

6. Update the TIS submitted on 10/13/2022 with comments from 11/4/2022 incorporated. In particular, update Table 11 showing the calculated queue lengths. This is needed to confirm the length of the SB right turn lane shown on the concept plans is adequate as a 2-lane approach on Tahlequah Trail. Aisle width of 35 feet could be reduced to 24 feet if SB right turn lane is extended further north.
7. If a north/south road were constructed along the west property line, the right in/right out on West Central will be removed and the access will be off of this future road.
8. Relocate mailbox in the NE quadrant outside of the public right of way and away from bypass lane.
9. Widen pavement limits for Tahlequah Trail to provide two southbound 11 foot lanes (not including curb and gutter) – provide additional right of way if necessary. (Note: the gutter plate is not a travel lane but to convey water.)
10. Stripe northbound two eleven foot lanes with dashed lines on Tahlequah Trail
11. Concrete apron shall to extend past proposed curb and gutter of Tahlequah Trail.
12. Provide signage at the Right In/Right Out access on West Central to prevent left turns into and from the site, such as no left turn and do not enter.
13. No curb to extend adjacent to parking stalls on the east side along the bypass lane; this will become an object that is hit if extending into the street.
14. Relocate watch valve for fire hydrant outside of proposed curb for the turn lane on SR 73.
15. Signage is not approved as shown, and shall be a separate submittal to the city building/zoning office.
16. Provide ODOT Type 2 curb and gutter along Tahlequah Trail and SR 73 in the right of way, not barrier curb.
17. Provide record plan dedicating right of way along West Central Avenue and along the rear property line to accommodate a future 45 foot radius (mirror Edwards Drive).
18. Provide detention calculations and operation/maintenance of detention structure on the SWPPP.
19. Provide public sidewalk easement and appropriate pavement markings along Tahlequah Trail.
20. Extend depressed ODOT Type 2 curb & gutter through both curb cuts on Tahlequah Trail and add trench drains at west side of concrete drive aprons.
21. Provide sewer lateral tap elevation. Revise minimum sanitary sewer lateral to be 2%. Remove cleanout at sewer tap location in Tahlequah Trail.
22. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.
23. Plans to be signed by the owner.
24. The Clearcreek Fire District will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
25. A scaled floor plan is required at or before time of final building inspection showing occupant load, location of exits, electrical and gas shut offs, fire department connections and other applicable information as may be useful in conducting pre-incident preparation by the fire district. The acceptable size of this plan is 8.5 inches by 11 inches.
26. A fire extinguisher plan must be submitted to the fire district. Placement and installation must be done prior to final building inspection.
27. Building requires a minimum 4" contrasting address numbers near main entrance. Must be visible from the road.

28. All test of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791 48 hours prior to testing. The Fire Marshal or district representative will witness all testing.

D. Preliminary Review

Site Plan Review, 25 West Central Avenue (SR 73), new bank branch for River Valley Credit Union

Background

This agenda item is a preliminary site plan review, based on an application submitted by Berardi+Partners, Columbus, Ohio on behalf of the property owners, proposing the construction a new River Valley Credit Union branch at 25 West Central Avenue (SR 73). The site is currently occupied by a River Valley Credit Union branch that includes a drive through. Under this proposal, the applicants propose to (1) construct of a new stand-alone drive-through facility to maintain operation on the property during redevelopment, (2) demolish the existing branch building, and (3) construct a new 2,490-square foot branch location as indicated in the submitted materials.

The subject property is located at the southwest corner of West Central Avenue (SR 73) and Florence Drive. Access is provided to the site from both streets in the existing and proposed plans, however the number of curb cuts on the Florence Drive frontage has been significantly revised in the proposed site plan.

The subject property is zoned UVD, Urban Village District. While the applicant has been advised that the proposed use is permitted, the redevelopment of the site and any other in the UVD will need to comply with the design and development standards of the UVD in addition to the standard site plan review requirements.

Existing land uses include to the east include a vacant City-owned parcel at the southwest corner of South Main Street (SR 741) and West Central Avenue (SR 73), and a multi-tenant building located at 20 South Main Street. To the south is the former site of Jonathan Wright Elementary School, to the west is Republic Mortgage at 55 West Central Avenue, and to the north on the north side of West Central Avenue (SR 73) is the developing Wright Station mixed-use area.

Existing zoning in the vicinity of the subject property is UVD to the east, west, and north, and R-2, Low-Density Residential District, on the former site of Jonathan Wright Elementary School.

Staff Comments

City staff has the following comments on this agenda item:

1. Provide pre- and post-development impermeable surface calculations. Also why is so much impermeable area proposed in the vicinity of the building that would potentially impact the need for on-site detention?
2. Provide building population information to determine parking demand for property.
3. The building setback on the SR 73 frontage to be 0 feet; suggest moving the proposed building closer to the street and relocating the proposed picnic area to another area of the site.
4. Revise plans to depict accurately property line configuration and provide setback dimensions.

5. Provide dimensions to property line for proposed sign and accessory structure on Florence Drive frontage.
6. Revise east (Florence Drive) and south elevations to meet four-sided architecture requirement. See UVD Section 1267.08(a)(1) (typical citation through comment #13), and orientation to street requirements. Section 1267.08(a)(2).
7. Windows on east elevation to meet vertical orientation requirement. Section 1267.08(a)(3). Also verify all glass to meet material requirements. Section 1267.08(a)(4).
8. Indicate proposed building materials on concept elevations, including accessory structures, screening walls, and sign structures, for compliance with Section 1267.08(a)(5) and Section 1267.08(a)(7).
9. North (West Central Avenue) and east (Florence Drive) elevations to meet 65% opacity requirement. Section 1267.08(a)(10).
10. Landscaping to be reviewed following preliminary review of site plan in light of Section 1267.09 and Chapter 1279, Landscaping.
11. Provide lighting plan following preliminary review consistent with Chapter 1273, Exterior Lighting, and Section 1267.10 including photometric analysis, color temperatures not to exceed 3500k, cut-off fixtures, and more. Lighting plan should also consider architectural, security, and pathway lighting.
12. Signage plan to be reviewed by Zoning Inspector for compliance with Chapter 1281, Signs.
13. Screen all ground- and building-mounted ancillary facilities. Section 1267.14.
14. Extend curb and gutter to south property line, with storm sewer and add public sidewalk easement.
15. Provide new water lateral and sewer lateral details. Other engineering comments reserved until the submission of engineered design drawings.
16. We will require the purchase and installation of a Knox Box to be installed and located at the front entrance of the facility.
17. A fire extinguisher plan must be submitted to the Clearcreek Fire District. Placement and installation must be completed prior to final building inspection.
18. A scaled floor plan is required at or before time of final building inspection showing occupant load, location of exits, electrical and gas shut off, fire department connections and other applicable information as may be useful in conducting pre-incident preparation by the Clearcreek Fire District. The acceptable size of the plan is 8.5 inches by 11 inches.
19. Building requires a minimum 4" contrasting address numbers near main entrance. Must be visible from the road.
20. All testing of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791. All test shall be scheduled 48 hours in advance of testing. The Fire Marshal or Fire District representative will witness all testing.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, February 28, 2023 at 12:00 p.m.

COVENANTS AND RESTRICTIONS - SETTLERS WALK

WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIEN HOLDERS OF THE LAND HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND HEREBY DEDICATE THE STREETS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

OWNER / REPRESENTATIVE
SETTLERS WALK HOME OWNERS ASSOCIATION
325 NORTH MAIN STREET
SUITE 204
SPRINGBORO, OHIO 45066

DATE

OWNER / REPRESENTATIVE
KEVIN R. STARKEY
190 TREVOR LANE
SPRINGBORO, OHIO 45066

DATE

OWNER / REPRESENTATIVE
NICOLE Y. STARKEY
190 TREVOR LANE
SPRINGBORO, OHIO 45066

DATE

ACKNOWLEDGEMENT

STATE OF OHIO

COUNTY OF

BE IT REMEMBERED THAT ON THIS DAY OF , 2022
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
PERSONALLY CAME , OF SETTLERS WALK HOME OWNERS
ASSOCIATION, WHO THEN AND THERE DID ACKNOWLEDGE THE SIGNING OF THE FOREGOING
INSTRUMENT, AND THE SAME IS HER FREE ACT AND DEED FOR THE USES AND PURPOSES THEREIN
MENTIONED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL OF NOTARY ON
THE DAY , MONTH AND YEAR AFORESAID.

NOTARY PUBLIC

COMMISSION EXPIRY:

ACKNOWLEDGEMENT

STATE OF OHIO

COUNTY OF

BE IT REMEMBERED THAT ON THIS DAY OF , 2022
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
PERSONALLY CAME AND
WHO THEN AND THERE DID ACKNOWLEDGE THE SIGNING OF THE FOREGOING
INSTRUMENT, AND THE SAME IS HER FREE ACT AND DEED FOR THE USES AND PURPOSES THEREIN
MENTIONED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL OF NOTARY ON
THE DAY , MONTH AND YEAR AFORESAID.

NOTARY PUBLIC

COMMISSION EXPIRY:

COVENANTS AND RESTRICTIONS - SETTLERS WALK

THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND
RESTRICTIONS FOR SETTLERS WALK HOMEOWNERS ASSOCIATION, WHICH IS RECORDED IN THE
DEED RECORDS OF WARREN COUNTY, OHIO COMMENCING WITH OFFICIAL RECORD VOLUME
1187, PAGES 352-413, AND THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR
THE ASSOCIATION .

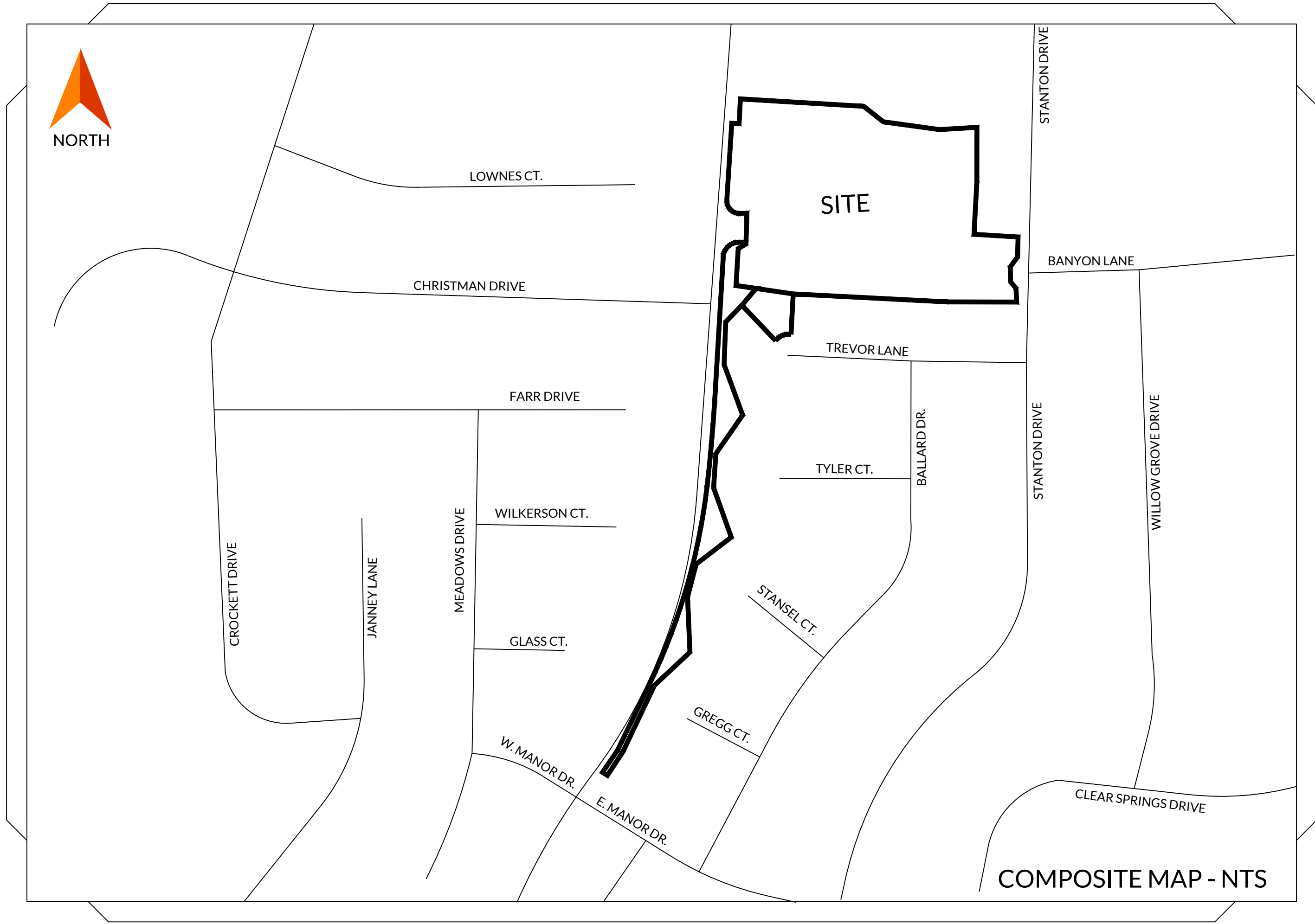
NO PRIVATE IMPROVEMENTS OF ANY KIND SHALL BE MADE ON ANY SAID RIGHT-OF-WAY OR
EASEMENT WHICH WOULD INTERFERE WITH ACCESS TO ANY PROPOSED STREET, UTILITY, OR
OTHER SERVICE IMPROVEMENT, PRESENT OR FUTURE, AND THE CITY OF SPRINGBORO SHALL
NOT BE RESPONSIBLE TO ANY PRESENT OR FUTURE OWNERS OF THE PROPERTY INDICATED
ON THIS PLAT FROM ANY DAMAGE DONE ON SAID RIGHT-OF-WAY, OR EASEMENTS TO SOD,
SHRUBBERY, TREES, DRIVEWAYS OR OTHER IMPROVEMENTS EITHER NATURAL OR ARTIFICIAL
BY REASON OF ENTERING FOR CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR,
REPLACEMENT OR REMOVAL OF SAID IMPROVEMENTS.

THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATIONS TO MAINTAIN OR REPAIR ANY
OPEN DRAINAGE CHANNELS, DETENTION BASINS, OR EASEMENT AREA OF ANY LOT AND NO
STRUCTURES CUL VER TS, PLANTING, FENCING, FILLING OR OTHER MATERIAL SHALL BE PLACED
OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW THROUGH
SAID WATERCOURSE.

RECORD PLAN
THE MANOR SECTION 3A AT
SETTLERS WALK

BEING A REPLAT OF OF LOT 67 OF THE MANOR SECTION 3
AT SETTLERS WALK, AS RECORDED IN PB 48, PAGES 18-20
AND LOT 55 O/S OF THE RECORD PLAN OF GLENVIEW
SECTION 4 AT SETTLERS WALK AND LOT 12 OF SETTLERS
WALK BOULEVARD AT SETTLERS WALK, AS RECORDED IN
PB 33, PG 47-51

SECTION 9, TOWN 2, RANGE 5 M.Rs.
CLEARCREEK TWP., CITY OF SPRINGBORO
WARREN COUNTY, OHIO
JANUARY 2023
9.7608 TOTAL ACRES



VESTING DEEDS / RECORD PLATS

LOT 67 - THE MANOR SECTION THREE AT SETTLERS WALK
PB 48, PGS 18-20
KEVIN R. AND NICOLE Y. STARKEY
DN 2021-038638

LOT 55 O/S - GLENVIEW SECTION 4 AT SETTLERS WALK
PB 91, PG 31
SETTLERS WALK, HOME OWNERS ASSOCIATION AS RECORDED IN
OR 5934, PAGE 259 AND OR 1192, PAGE 51

LOT 12 - SETTLERS WALK BOULEVARD AT SETTLERS WALK
PB 33, PGS 47-51
SETTLERS WALK, HOME OWNERS ASSOCIATION AS RECORDED IN
OR 1192, PAGE 51 AND OR 1348, PAGE 935

DEED REFERENCE

SITUATE IN SECTION 9, TOWN 2, RANGE 5 M.Rs., CLEARCREEK
TOWNSHIP, CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND
BEING A TOTAL OF 9.7608 ACRES OF LAND BEING ALL OF LOT 67 -
THE MANOR SECTION THREE AT SETTLERS WALK
PB 48, PGS 18-20 OF THE LANDS OF KEVIN R. AND NICOLE Y.
STARKEY DN 2021-038638 AND ALL OF LOT 55 O/S - GLENVIEW
SECTION 4 AT SETTLERS WALK, PB 91, PG 31 OF THE LANDS OF
SETTLERS WALK, HOME OWNERS ASSOCIATION AS RECORDED IN
OR 5934, PAGE 259, OR 1192, PAGE 51 AND ALL OF LOT 12 -
SETTLERS WALK BOULEVARD AT SETTLERS WALK, PB 33, PGS
47-51 OF THE LANDS OF SETTLERS WALK, HOME OWNERS
ASSOCIATION AS RECORDED IN OR 1192, PAGE 51 AND OR 1348,
PAGE 935

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL FIELD
SURVEY MADE BY ME OR UNDER MY JURISDICTION AND IS
PREPARED ACCORDING TO O.A.C. 4733-37 AND ORC 711.01

J. BRYANT ABT, PS #8593 11/17/22
DATE

CLIENT / OWNER

KEVIN AND NICOLE
STARKEY
190 TREVOR LANE
SPRINGBORO, OH
45066

CLIENT / OWNER

SETTLERS WALK HOME OWNERS
ASSOCIATION
6450 CENTERVILLE-BUSINESS
PARKWAY
CENTERVILLE, OH 45459

SURVEYOR

J. BRYANT ABT, PS
OHIO P.S. # 8593
BALAND PROFESSIONALS, LLC
8534 YANKEE STREET
DAYTON, OH 45458
937.535.0855
WWW.BALANDPROFESSIONALS.COM
INFO@BALANDPROFESSIONALS.COM

CITY OF SPRINGBORO APPROVALS

APPROVED THIS DAY OF
OF 2022 AND APPROVED BY:

CITY MANAGER DATE

WARREN COUNTY OHIO AUDITOR

RECEIVED THIS DAY OF , 2022 @

WARREN COUNTY AUDITOR

DEPUTY AUDITOR

WARREN COUNTY OHIO RECORDER

RECEIVED THIS DAY OF , 2022 @

RECORDED THIS DAY OF , 2015 @

PLAT BOOK , PAGE

FILE NUMBER , FEE OF \$

RECORDER

DEPUTY RECORDER

REVISIONS		
NO.	DATE	DESCRIPTION
1	1/8/2023	COUNTY COMMENTS

RECORD PLAN			
THE MANOR SECTION 3A AT SETTLERS WALK			
190 TREVOR LANE CITY OF SPRINGBORO, CLEARCREEK TWP.		SECTION 9, TOWN 2 RANGE 5, M.Rs. WARREN COUNTY, OHIO	
SCALE: VARIES		DATE: 08/24/22 REV 11/17/22	
DESIGN: JBA	BA LAND PROFESSIONALS	JOB NO.: 22-0161	
DRAWN: JBA		SHEET NO.: 1 OF 2	
CHECKED: DPB			

APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: LUIS G. RIANCHO & ASSOC., INC.

Address 140 W. WENGER RD.

ENGLEWOOD, OH 45322

Telephone No. (937) 836-1585

Fax No. (937) 836-9974

Email Address lgriancho@woh.rr.com

PROPERTY OWNER NAME (IF OTHER): HIGH CONCRETE TECHNOLOGY, LLC
NKA HIGH CONCRETE GROUP, LLC

Address: 95 MOUND PARK DR

SPRINGBORO, OH 45066

Telephone No. (717) 917-1549 CONTACT: JEFFREY GOOD

Property Address or General Location: 95 MOUND PARK DR & 145 MARKET ST

Parcel Number(s): PT. 0407156026, PT. 0407157023, 0407157009

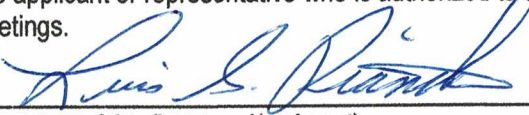
Existing Zoning District: M-2 & CBD, CBD, R-2

Proposed Zoning District: CBD, M-2

Proposed Use: PT. 04071560260 with existing brick house to be used as consistent with "CBD" zoning allowable uses.

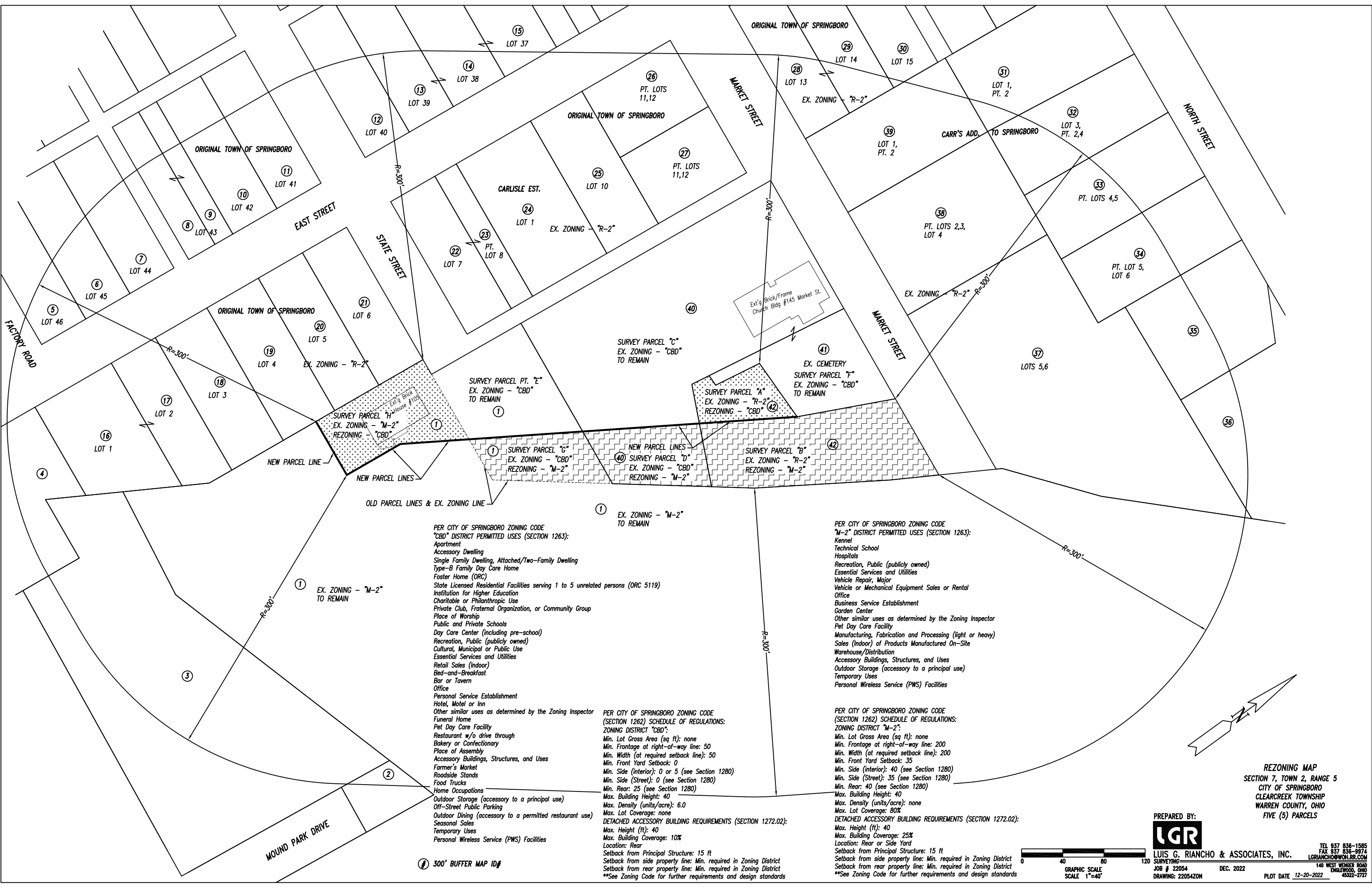
PT. 04071560260, currently vacant "CBD" zoned northeast of existing brick house, to be used consistent with existing "M-2" use of parent parcel. PT. 04071570230, currently vacant southeasterly part being split, shall be attached to adjacent parcel 04071560260 to be used consistent with the adjacent current "M-2" use. Parcel 04071570090 is being split and each part shall be attached to the adjacent parcels 04071570230 & 04071560260 to be used consistent with the adjacent parcels "CBD" & "M-2" uses respectively. See attached Statement of Intent, Plat of Survey & Rezoning Map.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

12/20/2022
(Date)

Luis G. Riancho
Printed Name



PER CITY OF SPRINGBORO ZONING CODE
"CBD" DISTRICT PERMITTED USES (SECTION 1263):
Apartment
Accessory Dwelling
Single Family Dwelling, Attached/Two-Family Dwelling
Type-B Family Day Care Home
Foster Home (ORC)
State Licensed Residential Facilities serving 1 to 5 unrelated persons (ORC 5119)
Institution for Higher Education
Charitable or Philanthropic Use
Private Club, Fraternal Organization, or Community Group
Place of Worship
Public and Private Schools
Day Care Center (including pre-school)
Recreation, Public (publicly owned)
Cultural, Municipal or Public Use
Essential Services and Utilities
Retail Sales (Indoor)
Bed-and-Breakfast
Bar or Tavern
Office
Personal Service Establishment
Hotel, Motel or Inn
Other similar uses as determined by the Zoning Inspector
Funeral Home
Pet Day Care Facility
Restaurant w/o drive through
Bakery or Confectionary
Place of Assembly
Accessory Buildings, Structures, and Uses
Farmer's Market
Roadside Stands
Food Trucks
Home Occupations
Outdoor Storage (accessory to a principal use)
Off-Street Public Parking
Outdoor Dining (accessory to a permitted restaurant use)
Seasonal Sales
Temporary Uses
Personal Wireless Service (PWS) Facilities

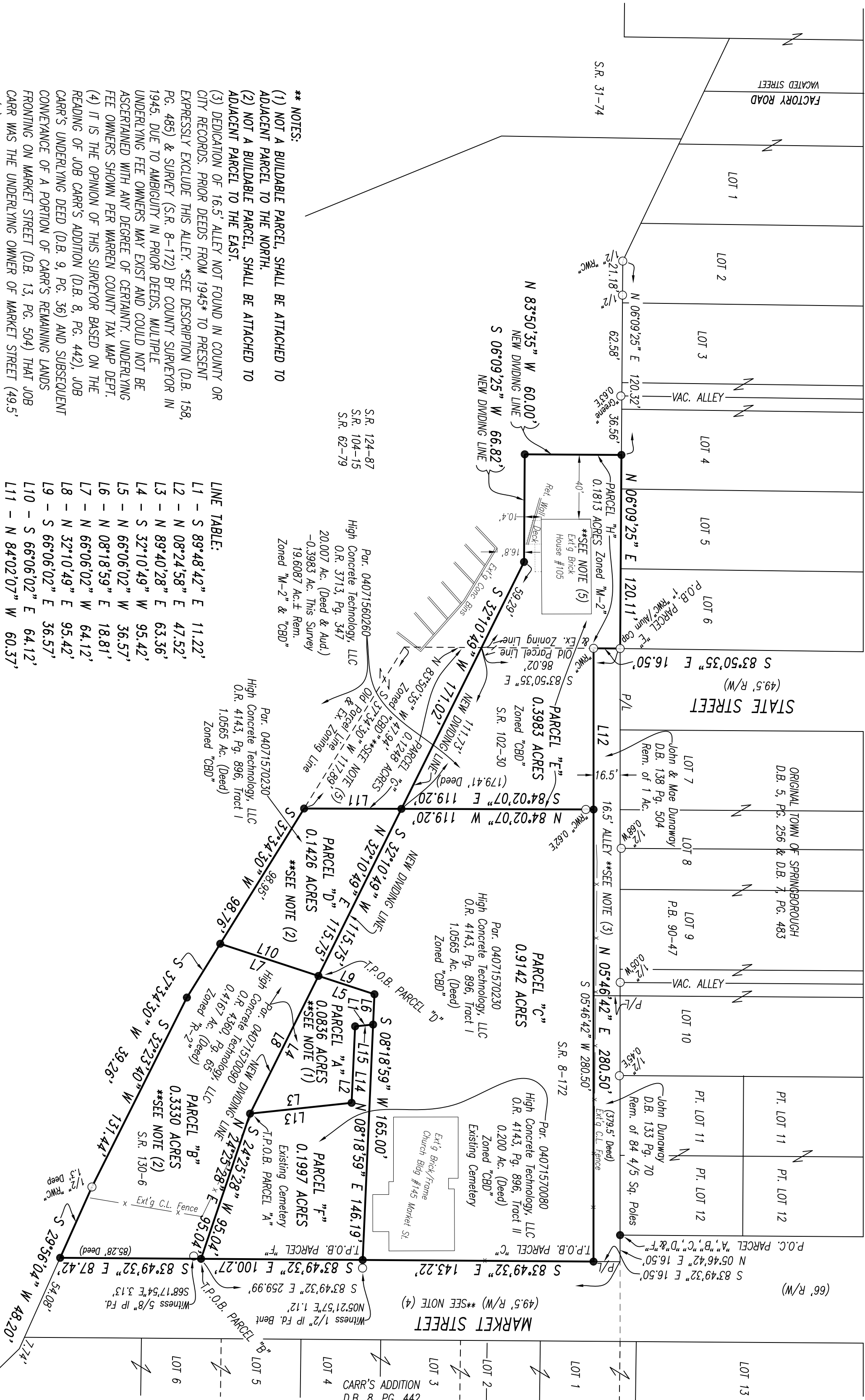
PER CITY OF SPRINGBORO ZONING CODE
(SECTION 1262) SCHEDULE OF REGULATIONS:
ZONING DISTRICT "CBD":
Min. Lot Gross Area (sq ft): none
Min. Frontage at right-of-way line: 50
Min. Width (at required setback line): 50
Min. Front Yard Setback: 0
Min. Side (interior): 0 or 5 (see Section 1280)
Min. Side (Street): 0 (see Section 1280)
Min. Rear: 25 (see Section 1280)
Max. Building Height: 40
Max. Density (units/acre): 6.0
Max. Lot Coverage: none
DETACHED ACCESSORY BUILDING REQUIREMENTS (SECTION 1272.02):
Max. Height (ft): 40
Max. Building Coverage: 10%
Location: Rear
Setback from Principal Structure: 15 ft
Setback from side property line: Min. required in Zoning District
Setback from rear property line: Min. required in Zoning District
**See Zoning Code for further requirements and design standards

PER CITY OF SPRINGBORO ZONING CODE
"M-2" DISTRICT PERMITTED USES (SECTION 1263):
Kennel
Technical School
Hospitals
Recreation, Public (publicly owned)
Essential Services and Utilities
Vehicle Repair, Major
Vehicle or Mechanical Equipment Sales or Rental
Office
Business Service Establishment
Garden Center
Other similar uses as determined by the Zoning Inspector
Pet Day Care Facility
Manufacturing, Fabrication and Processing (light or heavy)
Sales (Indoor) of Products Manufactured On-Site
Warehouse/Distribution
Accessory Buildings, Structures, and Uses
Outdoor Storage (accessory to a principal use)
Temporary Uses
Personal Wireless Service (PWS) Facilities

PER CITY OF SPRINGBORO ZONING CODE
(SECTION 1262) SCHEDULE OF REGULATIONS:
ZONING DISTRICT "M-2":
Min. Lot Gross Area (sq ft): none
Min. Frontage at right-of-way line: 200
Min. Width (at required setback line): 200
Min. Front Yard Setback: 35
Min. Side (interior): 40 (see Section 1280)
Min. Side (Street): 35 (see Section 1280)
Min. Rear: 40 (see Section 1280)
Max. Building Height: 40
Max. Density (units/acre): none
Max. Lot Coverage: 80%
DETACHED ACCESSORY BUILDING REQUIREMENTS (SECTION 1272.02):
Max. Height (ft): 40
Max. Building Coverage: 25%
Location: Rear or Side Yard
Setback from Principal Structure: 15 ft
Setback from side property line: Min. required in Zoning District
Setback from rear property line: Min. required in Zoning District
**See Zoning Code for further requirements and design standards

PLAT OF SURVEY
SECTION 7, TOWN 2, RANGE 5
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
2.1962 ACRES TOTAL SURVEY

EAST STREET
(49.5' R/W)



ACREAGE TABULATION:

0.0836 AC. PARCEL "A"	REFERENCE ALSO WARREN COUNTY SURVEY VOLUME 157, PAGE 59.
0.3330 AC. PARCEL "B"	
0.9142 AC. PARCEL "C"	
0.1426 AC. PARCEL "D"	
0.3983 AC. PARCEL "E" (INCLUDES "H")	
0.1997 AC. PARCEL "F"	SURVEY FOR REZONING PURPOSES ONLY)
0.1248 AC. PARCEL "G"	
2.1962 AC. TOTAL SURVEY	

MONUMENTATION LEGEND		
SYMBOL	DESCRIPTION	ABBREVIATION
○	IRON PIN FOUND	IP FD
⊗	IRON PIPE FOUND	I PIPE FD
⊙	R.R. SPIKE FOUND	RR SPK FD
⊠	CROSS FOUND	X FD
△	STONE FOUND	STN FD
◇	MAG OR PK NAIL FOUND	MAG OR PK FD
□	MONUMENT FOUND	MON FD
⊞	IRON PIN & CAP SET	IP & CAP SET
⊠	R.R. SPIKE SET	RR SPK SET
⊞	CROSS SET	X SET
⊞	MAG NAIL SET	MAG SET
⊞	MONUMENT SET	MON SET
⊞	3/4" IP SET W/2" CAP	IP & CAP SET

NOTE: ALL FOUND IRON PINS ARE #5 REBARS IN GOOD CONDITION UNLESS NOTED.

NOTE: ALL FOUND IRON PIPES ARE 3/4" I.D. IN GOOD CONDITION UNLESS NOTED.

NOTE: ALL SET IRON PINS ARE #5 REBAR WITH A PLASTIC CAP STAMPED "IGR & ASSOC ENGLEWOOD OH" UNLESS NOTED.

PERTINENT DOCUMENTS:

DEEDS/PLATS/SURVEYS AS SHOWN ON THIS PLAT OF SURVEY AND:

ROAD DINGS:

OCCUPATION STATEMENT:

OCCUPATION GENERALLY FITS SURVEYED LINES UNLESS SHOWN OTHERWISE HEREON.

NOTES:

1. DISTANCE IN () INDICATES A DEED CALL DISTANCE WHERE IT DIFFERS FROM MEASURED.

2. THIS SURVEY PREPARED WITHOUT BENEFIT OF A TITLE SEARCH REPORT OR COMMITMENT.

ABBREVIATIONS:

d. - DEPTH BELOW GRADE
P.O.C. - POINT OF COMMENCEMENT
T.P.O.B. - TRUE POINT OF BEGINNING
C/L - CENTERLINE
R/W - RIGHT-OF-WAY
"RWC" - RW Consultants
S/L - SECTION LINE
P/L - PROPERTY LINE

CLIENT: HIGH CONCRETE TECHNOLOGY, LLC
DATE OF SURVEY: JULY 2022

PREPARED BY:

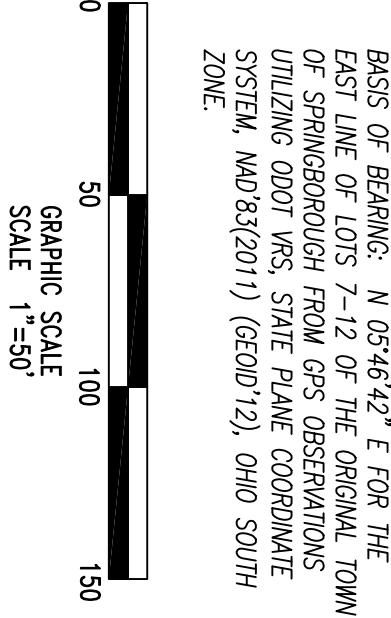
IGR
LUIS G. RIANCHO & ASSOCIATES, INC.
SURVEYING
JULY 2022
PLOT DATE 12-20-2022
140 WEST WINGER ROAD
ENGLEWOOD, OHIO 45322-2127
TEL 937 836-1585
FAX 937 836-9974
LORIANCHO@WCH.IGR.COM

CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY OR PLAT OF SURVEY WAS PREPARED IN ACCORDANCE WITH OHIO ADMINISTRATIVE CODE CHAPTER 4733-37 STANDARDS FOR BOUNDARY SURVEYS.

ALL MONUMENTATION IS OR WILL BE SET AS SHOWN.

BY: *Luis G. Riancho* 12-20-2022
LUIS G. RIANCHO DATE
REGISTERED SURVEYOR OF OHIO NO. 5287



- ** NOTES:**
- (1) NOT A BUILDABLE PARCEL, SHALL BE ATTACHED TO ADJACENT PARCEL TO THE NORTH.
 - (2) NOT A BUILDABLE PARCEL, SHALL BE ATTACHED TO ADJACENT PARCEL TO THE EAST.
 - (3) DEDICATION OF 16.5' ALLEY NOT FOUND IN COUNTY OR CITY RECORDS. PRIOR DEEDS FROM 1945* TO PRESENT EXPRESSLY EXCLUDE THIS ALLEY. *SEE DESCRIPTION (D.B. 158, PG. 485) & SURVEY (S.R. 8-172) BY COUNTY SURVEYOR IN 1945. DUE TO AMBIGUITY IN PRIOR DEEDS, MULTIPLE UNDERLYING FEE OWNERS MAY EXIST AND COULD NOT BE ASCERTAINED WITH ANY DEGREE OF CERTAINTY. UNDERLYING FEE OWNERS SHOWN PER WARREN COUNTY TAX MAP DEPT. (4) IT IS THE OPINION OF THIS SURVEYOR BASED ON THE READING OF JOB CARR'S ADDITION (D.B. 8, PG. 442), JOB CARR'S UNDERLYING DEED (D.B. 9, PG. 36) AND SUBSEQUENT CONVEYANCE OF A PORTION OF CARR'S REMAINING LANDS FRONTING ON MARKET STREET (D.B. 13, PG. 504) THAT JOB CARR WAS THE UNDERLYING OWNER OF MARKET STREET (49.5' R/W) EAST OF THE TOWN OF SPRINGBOROUGH AND DEDICATED ITS ENTIRETY TO THE PUBLIC USE WITH THE PLATTING OF SAID CARR'S ADDITION. A SIMPLE SCRIVENER'S ERROR, SWAPPING SOUTH FOR NORTH FOR THE BEGINNING POINT OF CARR'S DEED COULD PRODUCE A QUESTION OF OWNERSHIP/DEDICATION OF SAID MARKET STREET. HOWEVER, UPON EXAMINATION OF RECORD DISTANCES ALONG THE EAST LINE OF THE ORIGINAL PLAT OF THE TOWN OF SPRINGBOROUGH FROM THE NORTH LINE OF MARKET STREET TO THE NORTHEAST CORNER OF LOT 132 IN FRANKLIN PIKE (AKA S.R. 73) YIELDS A DISTANCE OF 676.5' WHILE CARR'S WEST LINE ALONG SAID EAST LINE OF THE TOWN FROM THE FRANKLIN PIKE CALLS FOR 726' (44a), BEING THE DIFFERENCE OF 49.5' FOR MARKET STREET EAST OF THE TOWN.
 - (5) PARCELS "G" & "H" SHOWN FOR REZONING PURPOSES ONLY AND ARE NOT EXISTING SEPARATE PARCELS.

REZONING VICINITY SKETCH FOR HIGH CONCRETE TECHNOLOGY PARCELS



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Warren County GIS

Warren County Map

The provider makes no warranty or representation with respect to this information, its quality or suitability for a particular purpose. This information is provided AS IS, and the requester assumes the entire risk as to its quality and suitability. The provider will not be liable for direct, indirect, incidental, or consequential damages resulting from any defect in the information. The provider shall have no liability for any other information, programs or data used with or combined with the requested information, including the cost of recovering information, programs or data.

Date: 12/20/2022

Subject: High Concrete Group Authorization
From: "Good, Jeff" <JGood@high.net>
Date: 9/9/2022, 1:28 PM
To: "elmer@cityofspringboro.com" <elmer@cityofspringboro.com>
CC: "Luis G. Riancho & Assoc., Inc." <lgriancho@woh.rr.com>

Good afternoon, Elmer,

Per the discussion you had with Luis Riancho, this email is to authorize Luis Riancho & Associates to work on the behalf of High Concrete Group LLC (formerly High Concrete Technology) for completion of the rezoning on multiple parcels of property.

Let me know if you have any questions.

Thanks

Jeff

JEFFREY GOOD

Director of Purchasing
High Concrete Group
M. 717.917.1549 | jgood@high.net

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☐ Agent
☐ Lessee
☒ Signed Purchase Contract

APPLICANT NAME: Skilken Gold Real Estate Development

Address: 4270 Morse Road Columbus, OH 43230

Telephone No. 614-418-3100

Fax No. () _____

Email Address apurdon@skilkengold.com

PROPERTY OWNER NAME (IF OTHER): Edwards Furniture Inc.

Address: 800 W Central Ave Springboro, OH 45066

Telephone No. () _____

Property Address or General Location: 800 W Central Ave Springboro, OH 45066

Parcel Number(s): 0420401001 Zoning District: HBD

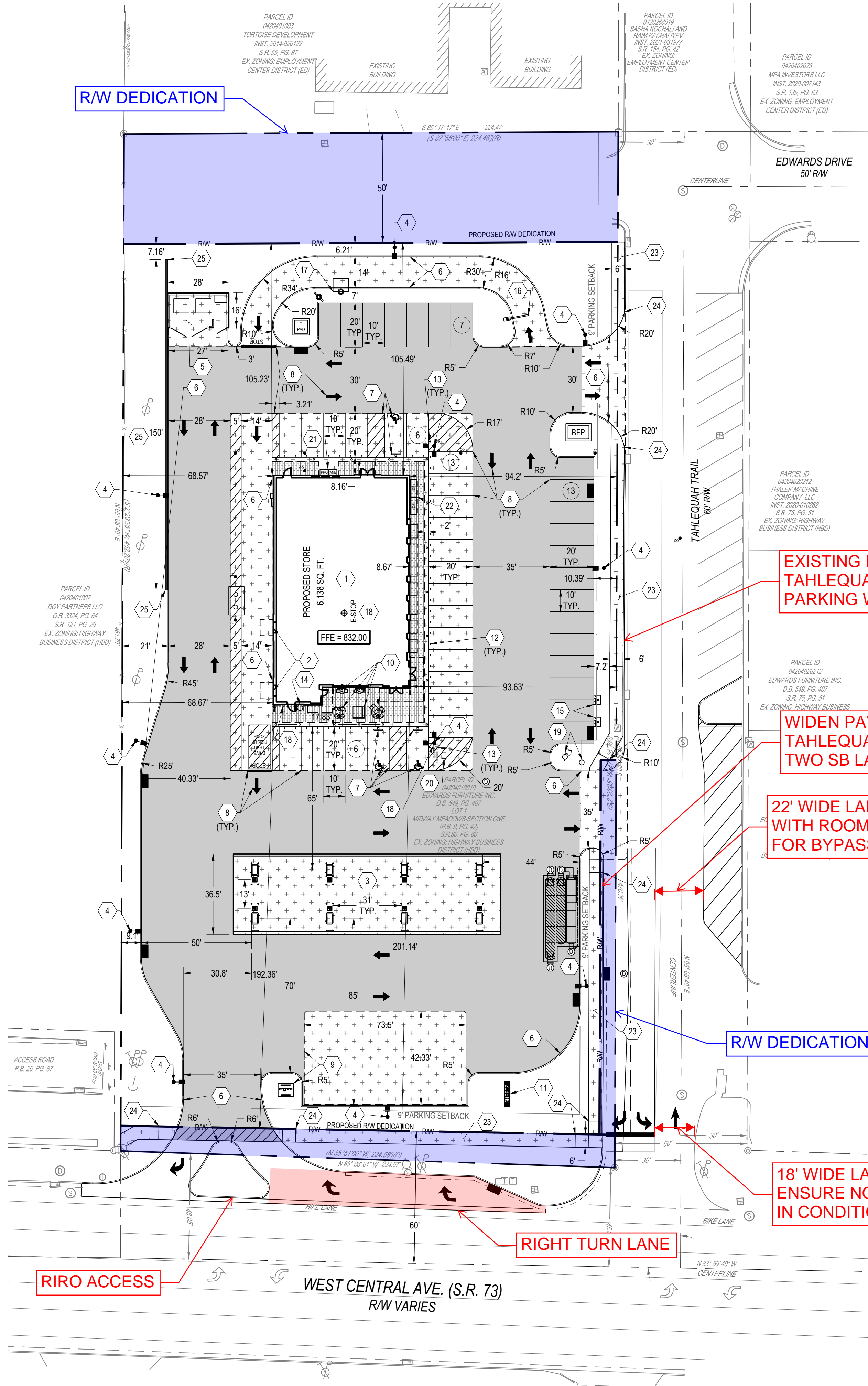
Proposed Use: Convenience Store, Restaurant, Fueling

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

09/22/2022
(Date)

ERIC M. ELIZONDO
Printed Name



NOTE:
FOR PROPOSED PUBLIC IMPROVEMENTS, REFER TO SHEET R1.0.

PARKING COUNT:	47 SPACES (3 ADA, 2 VAN)
----------------	--------------------------

 CODED NOTES:

1. PROPOSED 6,138 SF STORE. REFER TO ARCHITECTURAL PLANS.
 2. PROPOSED DRIVE-THRU WINDOW.
 3. PROPOSED EIGHT (8) DISPENSER FUEL CANOPY. REFER TO ARCHITECTURAL PLANS.
 4. PROPOSED LIGHT POLE. SEE DETAIL ON SHEET C8.1.
 5. PROPOSED DUMPSTER ENCLOSURE AND PAD. SEE DETAIL ON SHEET C7.1.
 6. PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C7.2.

PAVEMENT LIMITS FOR TRAIL, REMOVE PAVEMENT MARKINGS SHALL BE YELLOW.

 9. PROPOSED UNDERGROUND FUEL TANK PAD AND VENT PAD. SEE DETAIL ON SHEET C7.0 FOR VENT PAD DETAIL.
 10. PROPOSED PATIO SEATING. REFER TO ARCHITECTURAL PLANS.
 11. PROPOSED SHEETZ MONUMENT SIGN. REFER TO SIGNAGE PLAN.
 12. PROPOSED 4" X 4" STOREFRONT BUMPER POST. SEE DETAIL ON SHEET C7.0.

PAVEMENT LIMITS FOR TRAIL TO PROVIDE VENT AT INTERSECTION

SEE SHEET C7.0.

SEE LUMBINING PLANS.

SEE IN SHEET C7.0.

 16. PROPOSED DRIVE-THRU CANTILEVERED CLEARANCE BAR. REFER TO SIGNAGE PLAN.
 17. PROPOSED DRIVE-THRU TOUCH-SCREEN MENUBOARD. REFER TO SIGNAGE PLAN.
 18. EMERGENCY STOP BUTTON FOR GASOLINE DISPENSERS. SEE DETAIL ON SHEET C7.1.
 19. PROPOSED FLAG POLE AND SPOTLIGHT. SEE DETAILS ON SHEET C7.1.
 20. PROPOSED BIKE RACK. SEE DETAIL ON SHEET C7.0.
 21. PROPOSED PROPANE LOCKER. SEE DETAIL ON SHEET C7.1.
 22. PROPOSED ICE MERCHANDISER LOCATION.
 23. PROPOSED SIDEWALK. SEE DETAIL ON SHEET C7.2.
 24. PROPOSED ADA RAMP. SEE DETAIL ON SHEET C7.2.
 25. PROPOSED RETAINING WALL. REFER TO STRUCTURAL PLANS FOR DETAILS. REFER TO GRADING PLAN FOR ELEVATIONS.

EXISTING PAVEMENT LIMITS FOR
TAHLEQUAH TRAIL, REMOVE
PARKING WITHHIN ROAD

WIDEN PAVEMENT LIMITS FOR TAHLEQUAH TRAIL TO PROVIDE TWO SB LANES AT INTERSECTION

22' WIDE LANE
WITH ROOM
FOR BYPASS

R/W DEDICATION

18' WIDE LANE TO
ENSURE NO CHANGE
IN CONDITION

RIGHT TURN LANE

RIRO ACCESS

SITE LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED

PROPOSED BRICK PAVERS
(REFER TO ARCHITECTURAL PLANS)

PROPOSED ASPHALT PAVEMENT
(SEE DETAIL ON SHEET C7.0)

PROPOSED CONCRETE PAVEMENT
(SEE DETAIL ON SHEET C7.0)

BUILDING

RETAINING WAL

CONCRETE CURB

EDGE OF PAVEMENT / WALK

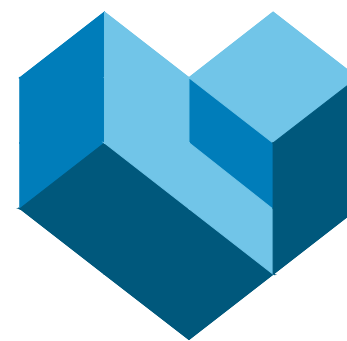
PAVEMENT TRANSITION

PARKING SPACE COUNT

SIGN

STORM MANHOLE

100 90 80 70 60 50 40 30 20 10 0



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO. OH

800 W. CENTRAL AVE
SPRINGBORO OHIO 45066

Revisions / Submissions

ID	Description	Date
----	-------------	------

© 2023 CESO, INC.

Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

Checked By: _____

Date: 02/17/2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:

SITE PLAN

C3.0

Project Summary

Date: February 17, 2023

Project: Sheetz Springboro, OH

Submittal: Major Site Plan Application (Final)

This project proposes to develop a Sheetz convenience store and restaurant. The project proposes to have fuel services on site and a drive through for food pick up. The site is the northwest corner of West Central Avenue and Tahlequah Trail. The proposed building is 6,138 SF. The parcel is zoned HBD. The site proposes 47 parking spaces.

As part of the collaborative development approach by Sheetz, a 50' wide R/W dedication will be provided for the future Edwards Road on the north side of the site. Additionally, R/W dedication will be provided along the frontage of the site along Central Avenue and a portion of Tahlequah Trail.

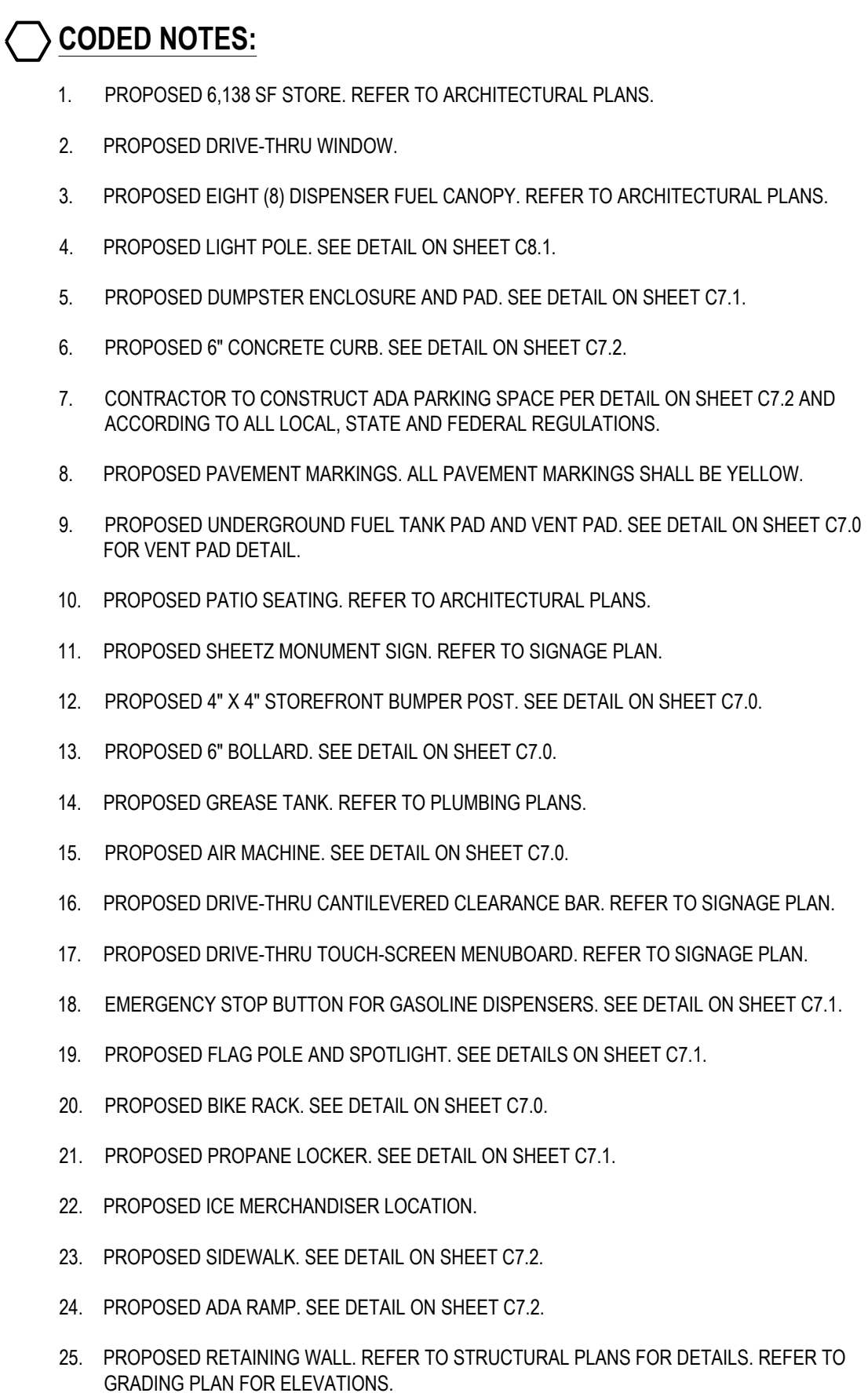
A traffic study has been completed for this project. From that study and multiple discussions and meetings with city staff the following improvements are required for this project:

- Westbound right turn lane on Central Avenue
- Access point to Central Avenue restricted to right-in & right-out movement only
- Sidewalk along both frontages will be provided
- Tahlequah Trail widening, resurfacing, & striping
 - To remove existing parking and provide (2) SB lanes at the intersection
 - To provide pavement width for cars to bypass NB traffic as needed on Tahlequah Trail

The current site plan does not detail the electric vehicle parking spaces, but the development team anticipates coordination with the city to identify the number and location of spaces to provide.

The roadway improvements are designed and shown on the final site plan application. The Sheetz development team intends to refine and provide additional detail to the public improvement plans before final construction documents are produced.

The project proposes to maintain the impervious are on site in the existing conditions. The stormwater design is to accommodate the water quality measures set by the Ohio EPA. The water quantity design is per the City of Springboro design standards. A stormwater report is included in the submittal package.



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43221
Phone: 614.794.7080 Fax: 888.208.4826

SKILKEN | GOLD
 REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH
 800 W. CENTRAL AVE
 SPRINGBORO, OHIO 45066

Revisions / Submissions	
ID	Description
Date	
© 2023 CESO, INC.	
Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue: NOT FOR CONSTRUCTION	

Drawing Title:

SITE PLAN

C3.0

W:\PROJECTS\SKILKEN GOLD\760645-01 Skilken Gold - C-Store - 094 Springboro, OH\05-CIVIL\PLAN\CONSTRUCTION\760643_C10-TITLE.dwg - 2/17/2023 - Michael Talanico

CITY OF SPRINGBORO, MONTGOMERY COUNTY, OHIO
PRIVATE SITE IMPROVEMENTS
FOR
SHEETZ #094
W CENTRAL AVE & TAHLEQUAH TRAIL
SPRINGBORO, OHIO



DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORSE ROAD
COLUMBUS, OH 43230
PHONE: (380) 900-7837
CONTACT: ALISON PURDON
EMAIL: APURDON@SKILKENGOLD.COM

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR, SUITE 400
COLUMBUS, OH 43231
PHONE: (380) 799-5227
CONTACT: JOSH LONG
EMAIL: JOSH.LONG@CESOINC.COM

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
PHONE: 937-748-6184
CONTACT: CHAD DIXON
EMAIL: CHAD.DIXON@CITYOFSPRINGBORO.COM

GAS SERVICE:
DUKE ENERGY
PHONE: 513-439-3886

WATER:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
PHONE: 937-748-6184
CONTACT: CHAD DIXON
EMAIL: CHAD.DIXON@CITYOFSPRINGBORO.COM

COMMUNICATIONS:
SPECTRUM
CONTACT: SHANE DUNCAN
PHONE: 888-406-7063
EMAIL: SHANE.DUNCAN@CHARTER.COM

STORMWATER:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
PHONE: 937-748-6184
CONTACT: CHAD DIXON
EMAIL: CHAD.DIXON@CITYOFSPRINGBORO.COM

ELECTRIC:
DUKE ENERGY
CONTACT: GREG FINLEY
PHONE: 800-544-6900

ZONING:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
CONTACT: DAN BORON
PHONE: 937-748-6183
EMAIL: DANB@CITYOFSPRINGBORO.COM

LEGEND

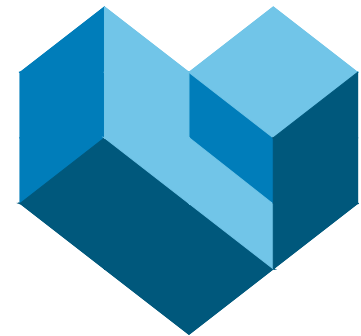
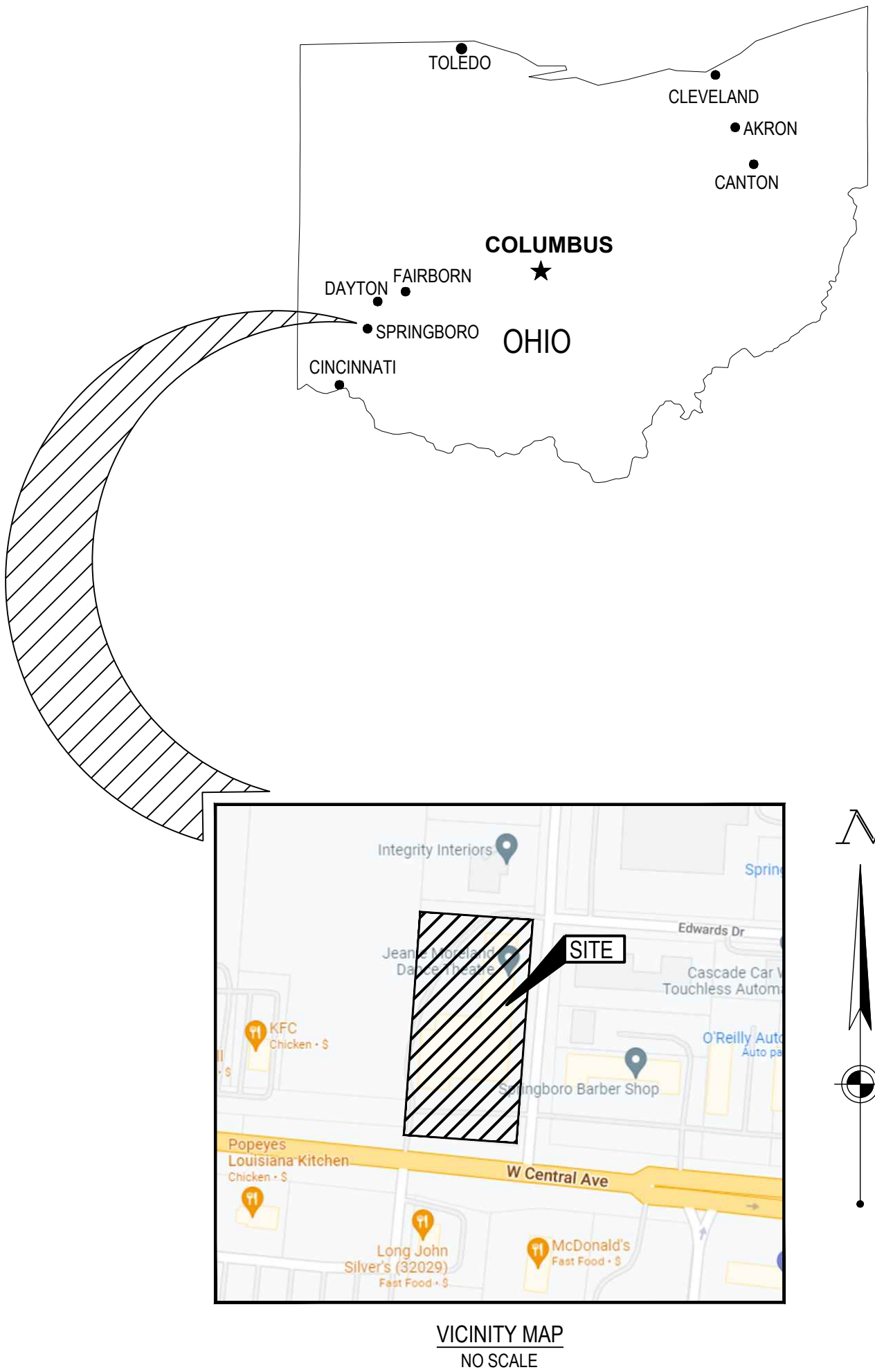
EXISTING FEATURES LEGEND
APPLIES TO ALL CIVIL SHEETS

	RW	RIGHT OF WAY LINE		BENCHMARK
		PARCEL LINE		SET 5/8" x 30" IRON REBAR WITH YELLOW CAP STAMPED "CESO"
		SUBJECT PROPERTY BOUNDARY LINE		SANITARY MANHOLE
		EASEMENT LINE		TELEPHONE BOX
		CURB		CLEANOUT
		EDGE OF PAVEMENT		GUY WIRE ANCHOR
		EDGE OF WALK		CATCH BASIN
		PAVEMENT MARKINGS		CURB INLET
	STM	STORM SEWER		LIGHT POLE
	SAN	SANITARY SEWER		POWER POLE
	W	WATER LINE		ELECTRIC METER
	G	GAS LINE		GAS METER
	OHE	OVHD ELECTRIC LINE		SIGN
	UGE	UGND ELECTRIC LINE		ELECTRIC BOX
	UGT	UGND TELECOMM LINE		TRAFFIC BOX
	100'	MAJOR CONTOUR		WATER VALVE
	102'	MINOR CONTOUR		FIRE HYDRANT
				SIGNAL POLE

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C1.2	GENERAL NOTES
C1.3	ALTA
C2.0	EX. CONDITIONS & DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	AUTOTURN EXHIBIT
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	SWPPP
C6.1	SWPPP DETAILS
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
C7.3	UTILITY DETAILS
C7.4	UTILITY DETAILS
C7.5	STORM DETAILS
C7.6	STORM DETAILS
C7.7	STORM DETAILS
C8.0	PHOTOMETRIC PLAN
C8.1	PHOTOMETRIC DETAILS
R1.0	ROADWAY SITE PLAN
R2.0	ROADWAY GRADING PLAN
L1.0	PLANTING PLAN
L1.1	PLANTING DETAILS

BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472416.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546RE
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344RE

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS



WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
TITLE SHEET

C1.0



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO
COMMENCE. THE CONTRACTORS SHALL NOTIFY
THE FOLLOWING AGENCIES: OHIO UTILITIES
PROTECTION SERVICE AT 811 OR 1 (800) 362-2764
AND ALL OTHER AGENCIES WHICH MIGHT HAVE
UNDERGROUND UTILITIES INVOLVING THIS
PROJECT AND ARE NONMEMBERS OF OHIO
UTILITIES PROTECTION SERVICE

W:\PROJECTS\SKILKEN GOLD\760645-J1 Skilken Gold - C-Store - 094 Springboro, OH\05-CIVIL\PLAN\CONSTRUCTION\760645_C10-TITLE.dwg - 2/17/2023 - Michael Talanico

GENERAL NOTES

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES. OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS, FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT OR FACE OF BUILDING, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). ALL PAVEMENT MARKINGS SHALL BE YELLOW.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION/RECOMMENDATIONS AND PAVEMENT SECTIONS.
- REFER TO ORIGINAL SURVEY PROVIDED BY CESO, INC.
- ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ADA ACCESSIBLE PARKING SPACED AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
- MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
- COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
- ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
- ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
- ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

- ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
- ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND ODOT STANDARDS.
- ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
- WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
- IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURE FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET.
- ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO CONSTRUCTION STANDARDS AND STATE REGULATIONS.
- INSTALL ALL WATER LINES WITH A MINIMUM COVER OF [4'-0"].
- ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
HIGH-DENSITY POLY-ETHYLENE (HDPE TUBING)	SDR 9 P.C. = 250 PSI	ASTM D2239 AWWA C901 ASTM F714	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, < 3" DIA.
COPPER 1"-3"	TYPE "K"	ASTM B88	AWWA C800	AWWA C800	DOMESTIC WATERLINES 1"-3"
PE 4710 POLY-ETHYLENE PLASTIC (PE)	SDR 11 P.C. = 200 PSI	ASTM D3035 AWWA C901	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 2" TO 3" DIA.
P.V.C. POLY VINYL CHLORIDE 4"- 8" C900	C900	AWWA C901 (RATED DR 14)	ASTM F-477 ASTM D3139	AWWA C900 C851	ON SITE, 4"-8" WATER LINES & FIRE LINES INSTALL W/ TRACER & TAPE #12 COPPER
DUCTILE IRON PIPE 4"-12"	CLASS 52 P.C. = 350PSI	AWWA C104, C110, C151, C500	AWWA C111	AWWA C600, C851	6" FIRE HYDRANT LEADS
PE 4710 POLY-ETHYLENE PLASTIC (DIPS)	SDR 9 P.C. = 250 PSI	ASTM D2239 ASTM F714 AWWA C906	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 4" DIA. AND LARGER

- ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., LESS THAN 8.5' OF COVER
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D3212	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., GREATER THAN OR EQUAL TO 8.5' OF COVER

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



Josh Long

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date

Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
GENERAL NOTES

C1.1

DEMOLITION NOTES:

- GRADING NOTES:**

- STORMWATER MANAGEMENT NOTES:**

- UTILITY NOTES:**

- ### LAYOUT NOTES:

- 2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

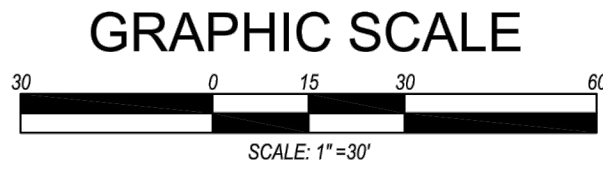
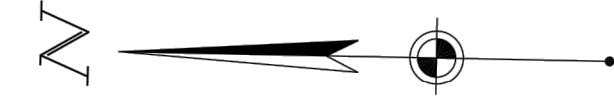
Revisions / Submissions		
ID	Description	Date

Project Number:	76064
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:

GENERAL NOTES

C1.2



NORTH & BEARING SYSTEM
BASED UPON THE
OHIO STATE PLANE
SOUTH ZONE (NAD83)

EXHIBIT "A" LEGAL DESCRIPTION

FROM TITLE COMMITMENT #1641810 PROVIDED BY STEWART TITLE GUARANTY COMPANY
COMMITMENT DATE: APRIL 8, 2022

PARCEL # 0420401001:

SITUATED IN THE CITY OF SPRINGBORO, SECTION 20, TOWN 2 EAST, RANGE 5 NORTH, FRANKLIN TOWNSHIP, WARREN COUNTY, OHIO AND BEING ENTIRE LOT #1 AS THE SAME IS KNOWN AND DESIGNATED ON THE RECORDED PLAT OF MIDWAY MEADOWS - SECTION ONE OF RECORD IN PLAT BOOK 9 PAGE 42, RECORDERS OFFICE, WARREN COUNTY, OHIO.

SCHEDULE B PART II EXCEPTIONS

FROM TITLE COMMITMENT #1641810 PROVIDED BY STEWART TITLE GUARANTY COMPANY.
EXCEPTIONS 1-8 AND 19-20 ARE NOT SURVEY RELATED

- BUILDING LINES, EASEMENTS AND RESTRICTIONS SHOWN ON THE RECORDED PLAT/MAP OF MIDWAY MEADOWS - SECTION ONE AS PLAT BOOK 9 PAGE 42.
EASEMENT ON SURVEYED PROPERTY AND SHOWN HEREON
- EASEMENT GRANTED TO THE CINCINNATI GAS & ELECTRIC COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS DEED BOOK 180 PAGE 493.
LOCATION COULD NOT BE DETERMINED FROM RECORD DOCUMENT
- EASEMENT GRANTED TO THE CINCINNATI GAS & ELECTRIC COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS DEED BOOK 323 PAGE 175.
EASEMENT ON SURVEYED PROPERTY AND SHOWN HEREON
- EASEMENT GRANTED TO THE CINCINNATI GAS & ELECTRIC COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS DEED BOOK 415 PAGE 41.
EASEMENT ON SURVEYED PROPERTY AND SHOWN HEREON
- EASEMENT GRANTED TO THE CINCINNATI GAS & ELECTRIC COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS DEED BOOK 421 PAGE 461.
EASEMENT NOT ON SURVEYED PROPERTY AND NOT SHOWN HEREON
- EASEMENT GRANTED TO THE CINCINNATI GAS & ELECTRIC COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS OFFICIAL RECORD 277 PAGE 520.
EASEMENT NOT ON SURVEYED PROPERTY AND NOT SHOWN HEREON
- EASEMENT FOR HIGHWAY PURPOSES GRANTED TO THE STATE OF OHIO, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS DEED BOOK 402 PAGE 330.
EASEMENT ADJACENT TO SURVEYED PROPERTY AND SHOWN HEREON
- INTENTIONALLY DELETED
- PERMANENT SIDEWALK EASEMENT GRANTED TO THE CITY OF SPRINGBORO, OHIO, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS INSTRUMENT 2015-030899.
EASEMENT ON SURVEYED PROPERTY AND SHOWN HEREON
- PERMANENT STORM SEWER EASEMENT GRANTED TO THE CITY OF SPRINGBORO, OHIO, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS INSTRUMENT 2015-030899.
EASEMENT ON SURVEYED PROPERTY AND SHOWN HEREON

SURVEYOR'S NOTES

- NORTH BEARING SYSTEM BASED UPON THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM NAD83 AND SCALED TO GROUND AT LAT 39°33'47.79067", LONG 84°15'34.48504" @ A HEIGHT OF 719.381' WITH A GROUND SCALE FACTOR OF 1.0000936369369.
- VERTICAL DATUM = NAVD83 AND FURTHER BASED ON OBSERVATIONS BY CESO INC. IN APRIL OF 2022, USING A TRIMBLE R8 RECEIVER, USING THE O.D.O.T. REAL TIME NETWORK (RTN).
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE PARCEL SHOWN HEREON WE OBTAINED THROUGH A CERTIFIED TITLE COMMITMENT CONDUCTED BY STEWART TITLE GUARANTY COMPANY. COMMITMENT NO. 1641810 WITH AN EFFECTIVE DATE OF APRIL 8, 2022.
- ALL DATA SOURCES, DOCUMENTS AND RECORDS SHOWN HEREON ARE ON FILE AT THE WARREN COUNTY RECORDERS OFFICE LOCATED IN LEBANON, OHIO.
- ALL MONUMENTATION SHOWN HEREON IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- THE SUBJECT PARCEL CAN BE ACCESSED ALONG TAHLEQUAH TRAIL & WEST CENTRAL AVENUE (S.R. 73), BOTH BEING PUBLIC RIGHT-OF-WAYS.

MONUMENT LEGEND:

- MONUMENT FOUND AS NOTED
- 5/8"X30" IRON PIN WITH "CESO" CAP SET
- FOUND MAG NAIL

LEGEND:

- BENCHMARK
- RECORD DATA
- EXISTING DECIDUOUS
- EXISTING SIGN
- EXISTING CATCH BASIN / CURB INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER / WATER VALVE
- EXISTING POWER TELEPHONE POLE
- EXISTING UTILITY POLE
- EXISTING ELECTRIC BOX
- ADA SYMBOL
- GUY WIRE
- FLAG POLE
- ELECTRIC BOX
- CLEANOUT
- AIR CONDITIONER
- FIRE HYDRANT
- CURB INLET NO GRATE

FLOOD ZONE STATEMENT:

BY INFORMATION PROVIDED BY FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39165C0008, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 17, 2010.

UTILITY DISCLAIMER:

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

ADJOINER BOUNDARY LINE	— — — — —
CENTER OF RIGHT-OF-WAY	— — — — —
EASEMENT LINE	— — — — —
EXISTING FENCE LINE	— — — — —
EXISTING MAJOR CONTOUR	— — — — —
EXISTING MINOR CONTOUR	— — — — —
EXISTING TREE LINE	— — — — —
EXISTING STORM SEWER	— — — — —
EXISTING SANITARY SEWER	— — — — —
EXISTING UNDERGROUND WATER	— — — — —
EXISTING UNDERGROUND GAS	— — — — —
EXISTING OVERHEAD ELECTRIC	— — — — —
EXISTING OVERHEAD LINES	— — — — —
RECORD BEARING AND DISTANCE	— — — — —

SURVEYORS CERTIFICATION

TO: STEWART TITLE GUARANTY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (a), 6 (b), 8, 11 (a), 11 (b), 12, 13, 14, 16, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN APRIL OF 2022.

DATE OF PLAT OR MAP: APRIL 22, 2022

PRELIMINARY

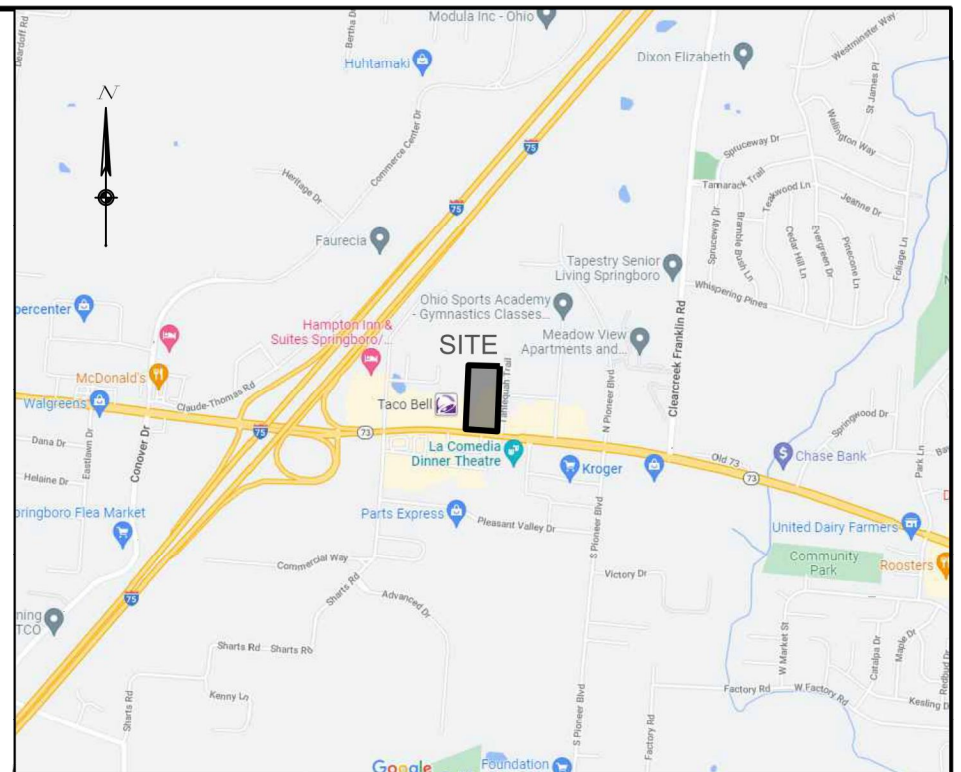
SEAN BROOKS
OHIO P.S. #8828

4-22-2022

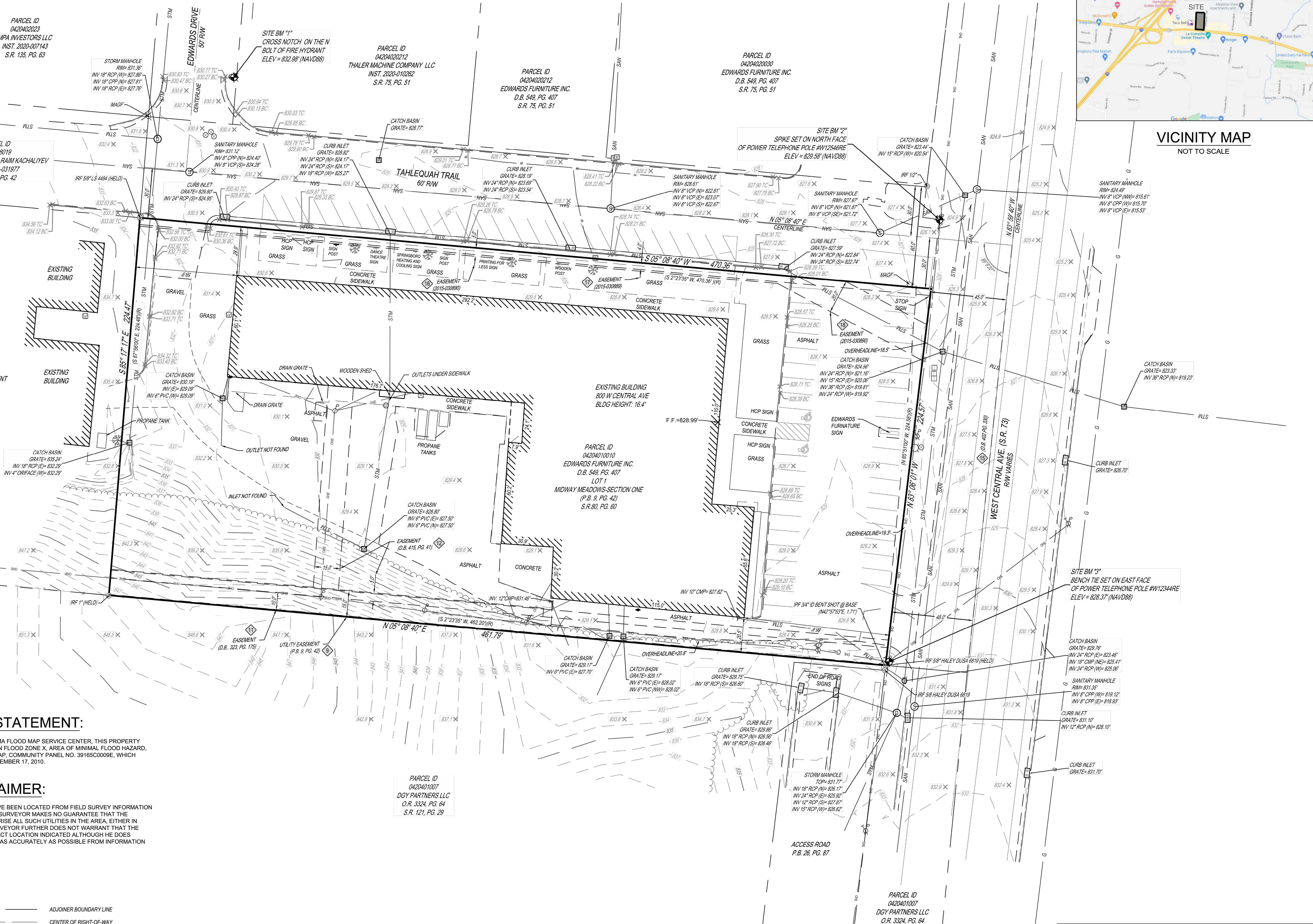
DATE

ALTA / NSPS LAND TITLE SURVEY

800 WEST CENTRAL AVENUE
SECTION 20, TOWNSHIP 2E, RANGE 5N, M.Rs.
CITY OF SPRINGBORO
WARREN COUNTY OHIO



VICINITY MAP
NOT TO SCALE



REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		

ALTA / NSPS LAND TITLE SURVEY

800 WEST CENTRAL AVENUE

800 WEST CENTRAL AVE
CITY OF SPRINGBORO

SEC 20, T2E, R5N M.Rs.
WARREN COUNTY, OHIO

SCALE: 1" = 30'

DATE: 4/21/2022

DESIGN:

N/A

DRAWN:

TBC

CHECKED:

STB

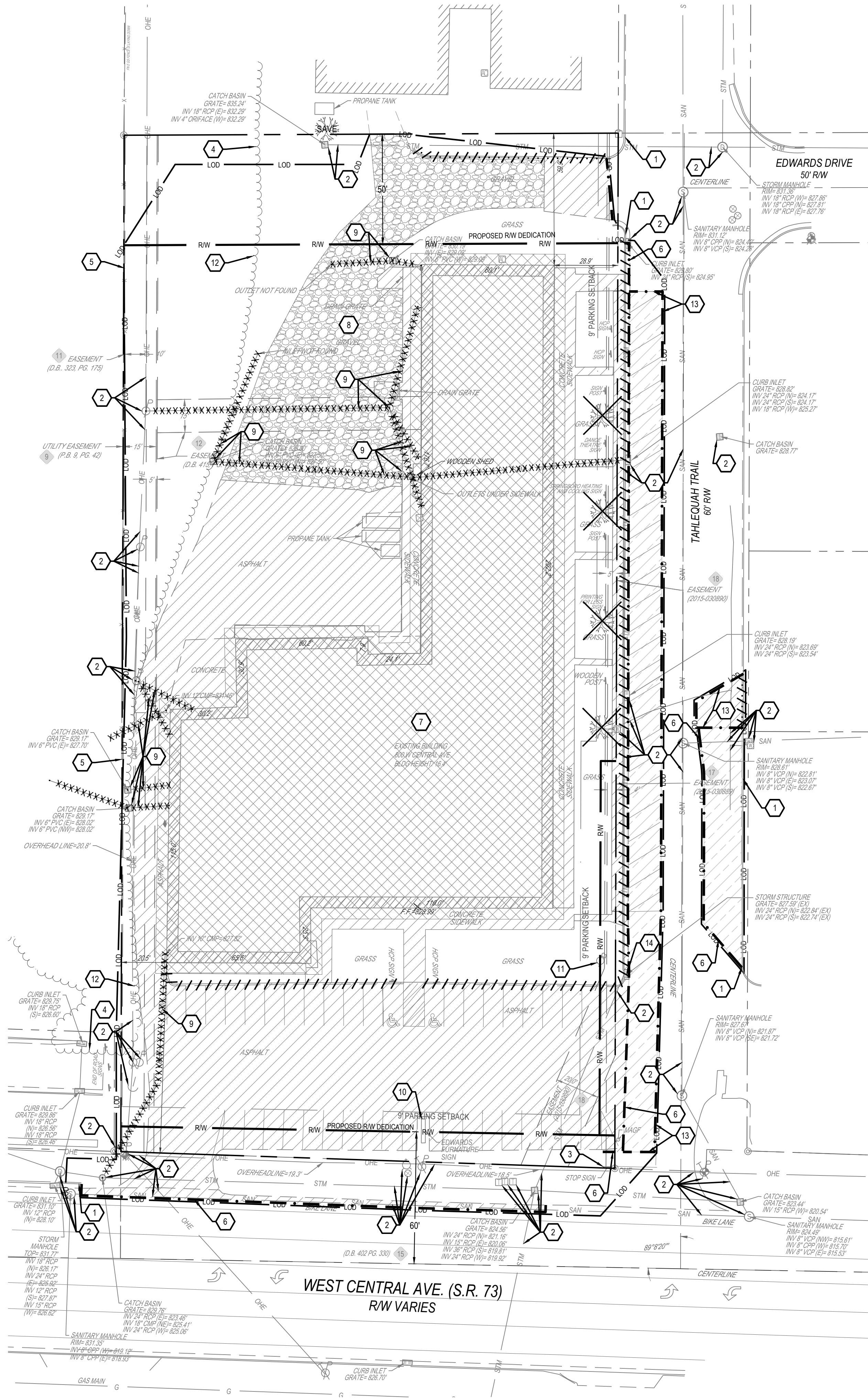


JOB NO.:

760843-01

SHEET NO.:

1 OF 1



CONTRACTOR NOTE:

1. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.

CODED NOTES:

1. PROTECT EXISTING CURB.
2. PROTECT EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR TO PROTECT IN PLACE.
3. PROTECT EXISTING SIGN.
4. PROTECT ALL EXISTING TREES OUTSIDE OF THE LIMITS OF DISTURBANCE. TREES SHALL BE PROTECTED IN PLACE.
5. PROTECT EXISTING FENCE.
6. SAW-CUT SIDEWALK, CURB OR PAVEMENT TO FULL DEPTH.
7. REMOVE AND LEGALLY DISPOSE OF EXISTING BUILDING AND ALL FEATURES WITHIN 5' OF EXTERIOR WALL, INCLUDING BUT NOT LIMITED TO FLOOR SURFACES, FOUNDATIONS, CONTENTS, EQUIPMENT, SUBSURFACE PIPING, AND ASSOCIATED MATERIALS.
8. REMOVE EXISTING PAVEMENT/GRAVEL.
9. REMOVE EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
10. REMOVE EXISTING SIGN AND BASE.
11. REMOVE EXISTING SITE FIXTURE.
12. REMOVE EXISTING TREES WITHIN LIMITS OF DISTURBANCE. REFER TO LANDSCAPE PLAN FOR PROPOSED TREE LINE.
13. SAW-CUT PAVEMENT TO MINIMAL DEPTH FOR PROPOSED MILL AND OVERLAY.
14. REPLACE EXISTING CURB INLET RIM AND GRATE WITH PROPOSED CLOSED-LID MANHOLE RIM AND GRATE. REFER TO GRADING PLAN, SHEET C4.0.

BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472416.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546RE
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344RE

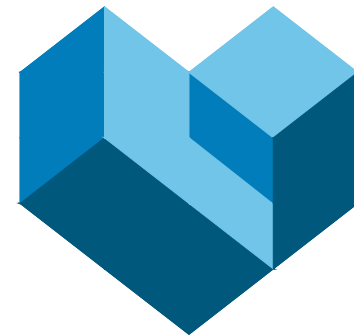
* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS

DEMOLITION LEGEND

EXISTING	
REFER TO C1.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	REMOVE EXISTING BUILDING
	REMOVE EXISTING GRAVEL PAVEMENT
	REMOVE EXISTING PAVEMENT
	PROPOSED MILL & OVERLAY
	SAWCUT LINE
	LIMIT OF DISTURBANCE
	UTILITY LINE TO BE REMOVED / RELOCATED
	REMOVE EXISTING CURB & GUTTER
	REMOVE AND DISPOSE OF EXISTING TREE
	PROTECT EXISTING TREE TO REMAIN

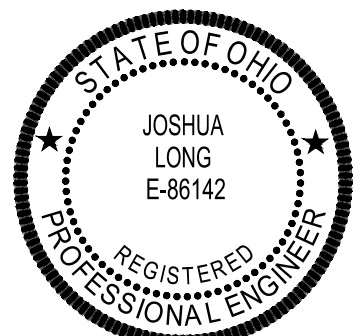


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

ID	Description	Date
----	-------------	------

Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

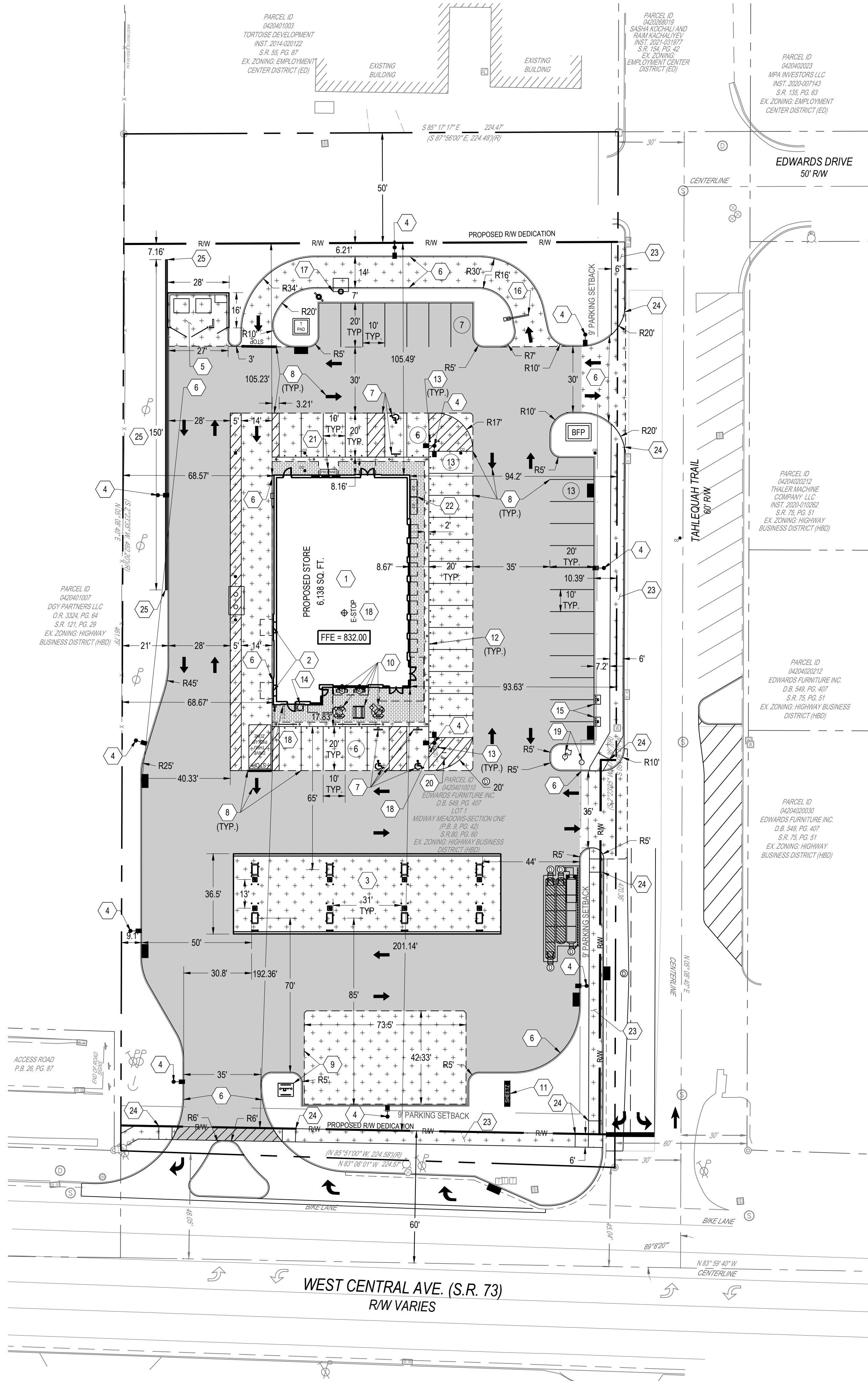
Date: 02.17.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:

EX. CONDITIONS & DEMOLITION PLAN

C2.0



NOTE:
FOR PROPOSED PUBLIC IMPROVEMENTS, REFER TO SHEET R1.0.

PARKING COUNT: 47 SPACES (3 ADA, 2 VAN)

CODED NOTES:

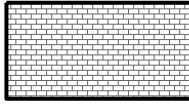
1. PROPOSED 6,138 SF STORE. REFER TO ARCHITECTURAL PLANS.
2. PROPOSED DRIVE-THRU WINDOW.
3. PROPOSED EIGHT (8) DISPENSER FUEL CANOPY. REFER TO ARCHITECTURAL PLANS.
4. PROPOSED LIGHT POLE. SEE DETAIL ON SHEET C8.1.
5. PROPOSED DUMPSTER ENCLOSURE AND PAD. SEE DETAIL ON SHEET C7.1.
6. PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C7.2.
7. CONTRACTOR TO CONSTRUCT ADA PARKING SPACE PER DETAIL ON SHEET C7.2 AND ACCORDING TO ALL LOCAL, STATE AND FEDERAL REGULATIONS.
8. PROPOSED PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE YELLOW.
9. PROPOSED UNDERGROUND FUEL TANK PAD AND VENT PAD. SEE DETAIL ON SHEET C7.0 FOR VENT PAD DETAIL.
10. PROPOSED PATIO SEATING. REFER TO ARCHITECTURAL PLANS.
11. PROPOSED SHEETZ MONUMENT SIGN. REFER TO SIGNAGE PLAN.
12. PROPOSED 4" X 4" STOREFRONT BUMPER POST. SEE DETAIL ON SHEET C7.0.
13. PROPOSED 6" BOLLARD. SEE DETAIL ON SHEET C7.0.
14. PROPOSED GREASE TANK. REFER TO PLUMBING PLANS.
15. PROPOSED AIR MACHINE. SEE DETAIL ON SHEET C7.0.
16. PROPOSED DRIVE-THRU CANTILEVERED CLEARANCE BAR. REFER TO SIGNAGE PLAN.
17. PROPOSED DRIVE-THRU TOUCH-SCREEN MENUBOARD. REFER TO SIGNAGE PLAN.
18. EMERGENCY STOP BUTTON FOR GASOLINE DISPENSERS. SEE DETAIL ON SHEET C7.1.
19. PROPOSED FLAG POLE AND SPOTLIGHT. SEE DETAILS ON SHEET C7.1.
20. PROPOSED BIKE RACK. SEE DETAIL ON SHEET C7.0.
21. PROPOSED PROPANE LOCKER. SEE DETAIL ON SHEET C7.1.
22. PROPOSED ICE MERCHANDISER LOCATION.
23. PROPOSED SIDEWALK. SEE DETAIL ON SHEET C7.2.
24. PROPOSED ADA RAMP. SEE DETAIL ON SHEET C7.2.
25. PROPOSED RETAINING WALL. REFER TO STRUCTURAL PLANS FOR DETAILS. REFER TO GRADING PLAN FOR ELEVATIONS.

SITE LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

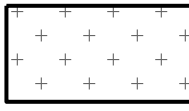
PROPOSED



PROPOSED BRICK PAVERS
(REFER TO ARCHITECTURAL PLANS)



PROPOSED ASPHALT PAVEMENT
(SEE DETAIL ON SHEET C7.0)



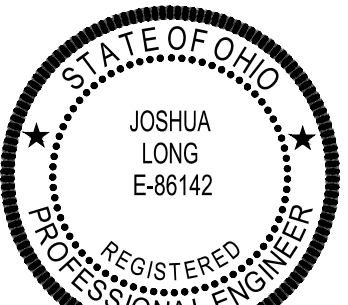
PROPOSED CONCRETE PAVEMENT
(SEE DETAIL ON SHEET C7.0)

- BUILDING
- RETAINING WALL
- CONCRETE CURB
- EDGE OF PAVEMENT / WALK
- PAVEMENT TRANSITION
- PARKING SPACE COUNT
- SIGN
- CURB INLET
- STORM MANHOLE



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



Josh Long

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

ID	Description	Date
----	-------------	------

© 2023 CESO, INC.

Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

Date: 02.17.2023

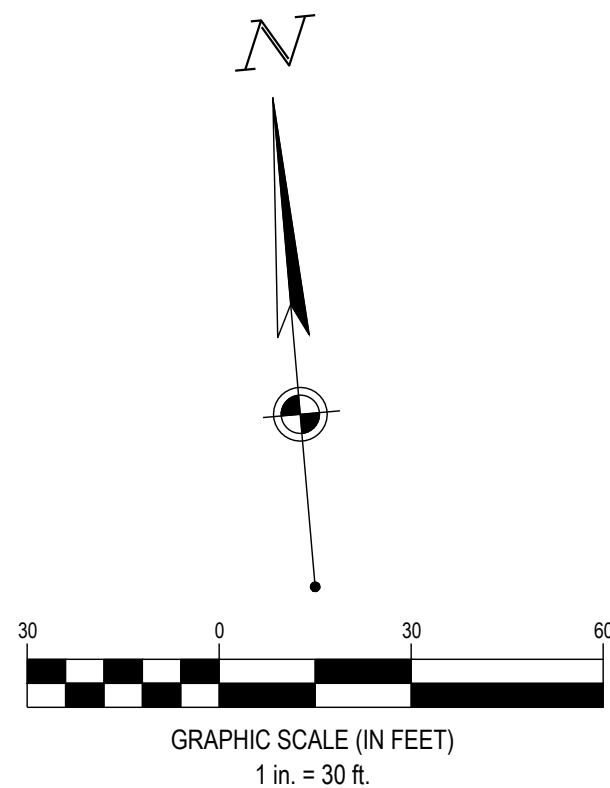
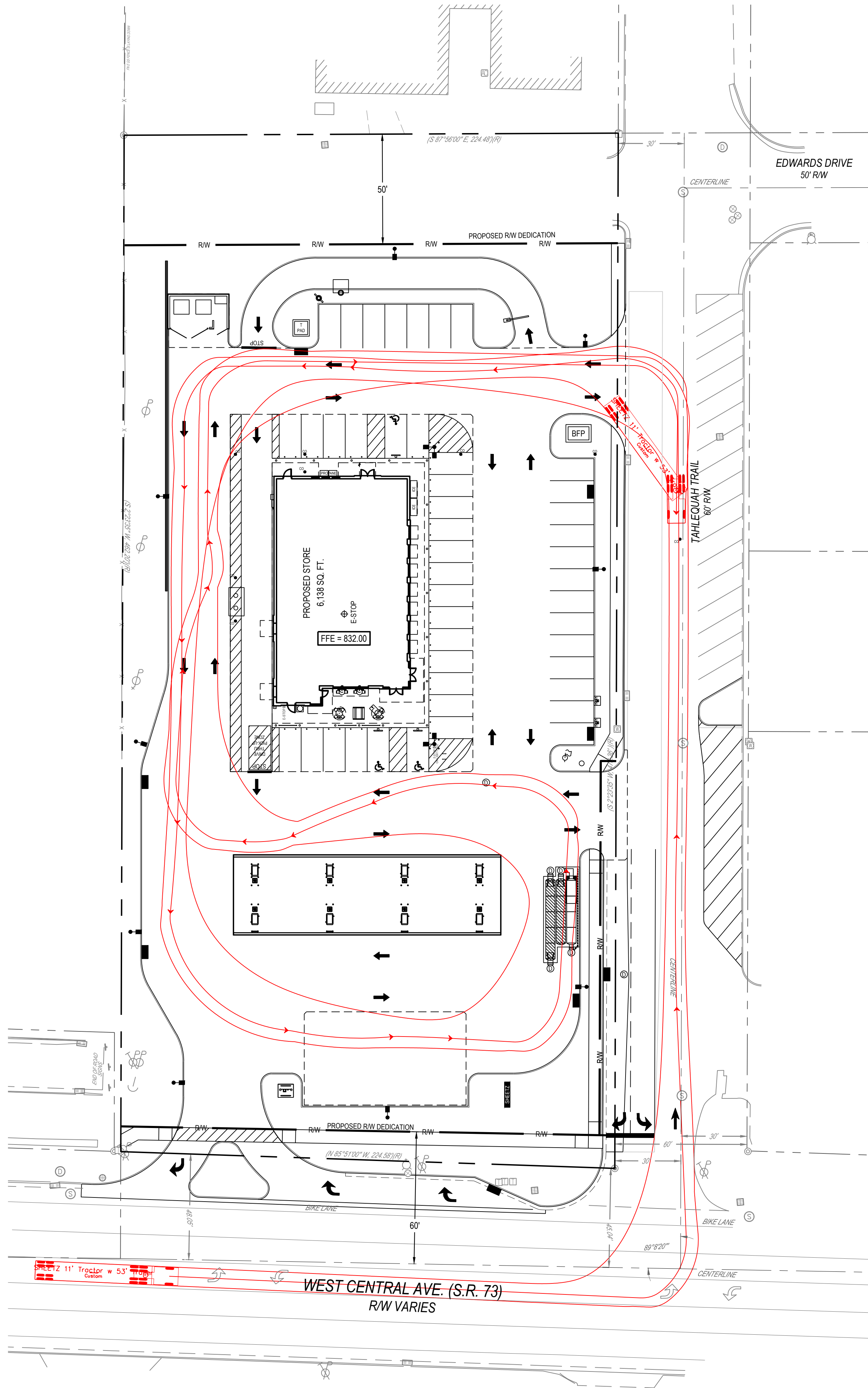
Issue: NOT FOR CONSTRUCTION

Drawing Title:

SITE PLAN

C3.0

W:\PROJECTS\SKILKEN GOLD\760645-01 Skilken Gold - C-Store - 094 Springboro, OH\03-CIVIL\PLAN\CONSTRUCTION\760643_C30-SITE.dwg - 2/17/2023 - Michael Talirico



SITE LEGEND	
EXISTING	
REFER TO C1.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	RETAINING WALL
	CONCRETE CURB
	EDGE OF PAVEMENT / WALK
	PAVEMENT TRANSITION
	SIGN



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

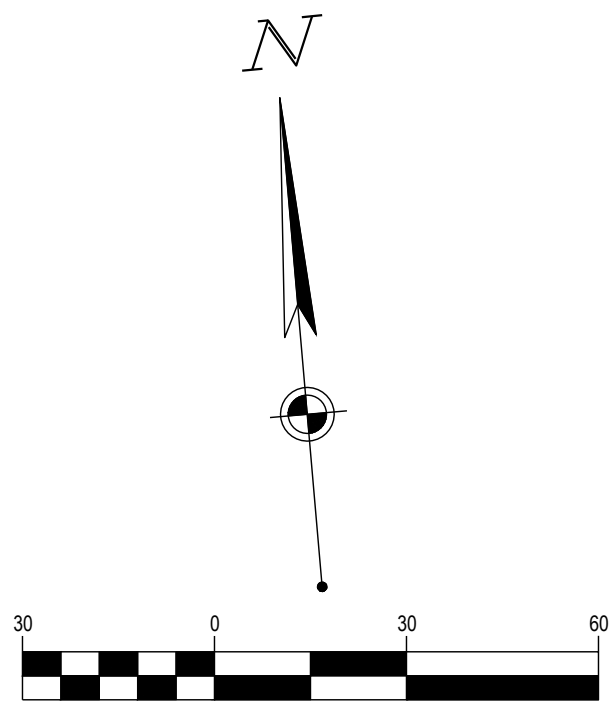
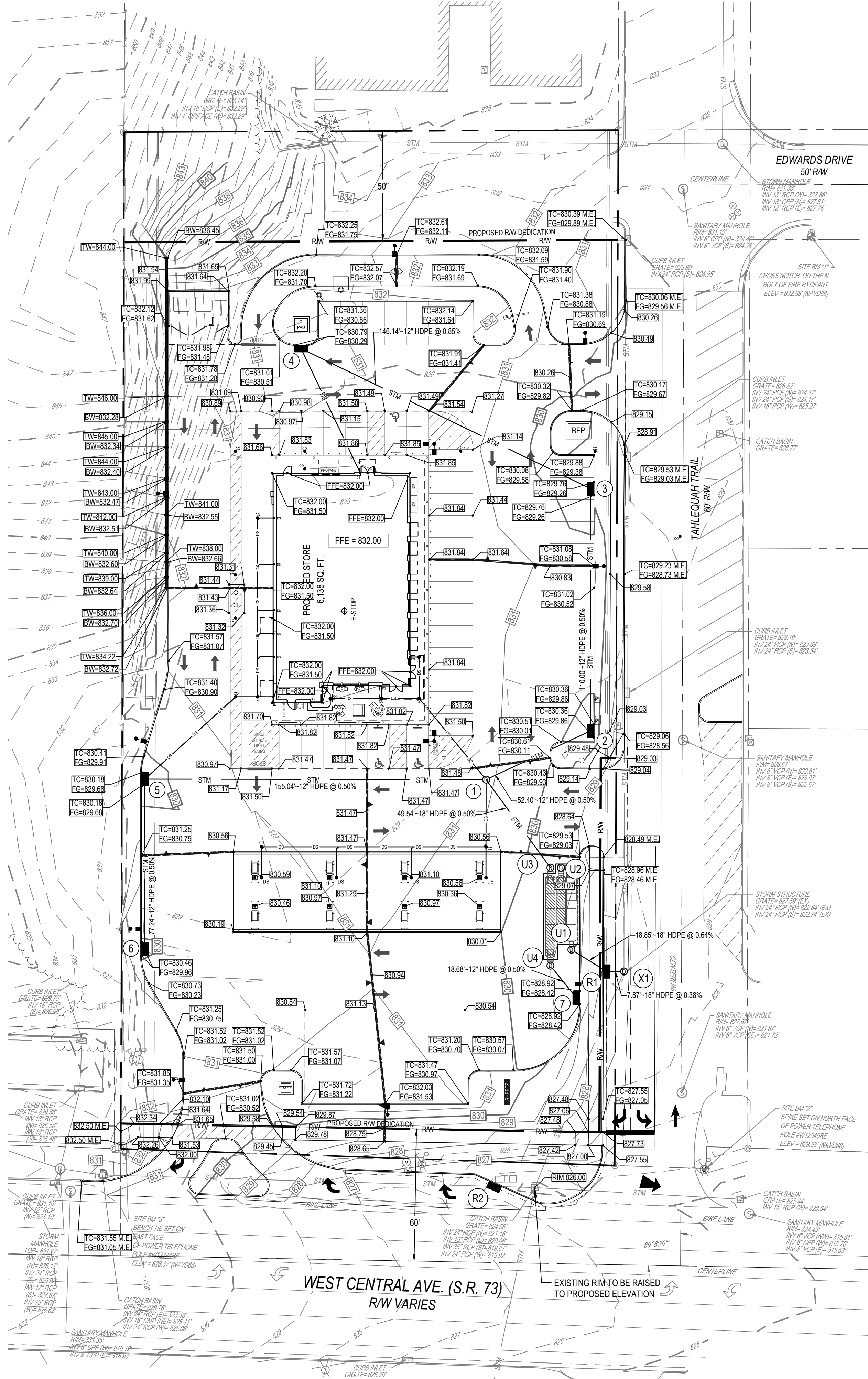
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date

© 2023 CESO, INC.	
Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
AUTOTURN EXHIBIT

C3.1



NOTE:
FOR PROPOSED PUBLIC IMPROVEMENTS, REFER TO SHEET R2.0.

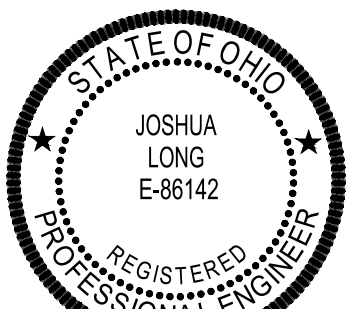
# STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
R2	PRECAST CURB INLET W/ DOGHOUSE STRUCTURE & BASE	825.66	820.25 (24") W 820.25 (24") E
R1	PRECAST CURB INLET	827.52	822.88 (18") NW 822.88 (18") E
X1	EX. CURB INLET W/ PROPOSED CLOSED-LID MH RIM REPLACEMENT	827.59	822.85 (18") W 822.84 (24") N 822.74 (24") SW
U1	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	828.74	823.00 (18") N 823.00 (6") NE 823.00 (18") SE
U4	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.02	823.90 (12") SE 823.76 (18") N
U2	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.31	824.17 (18") E 823.76 (18") S
U3	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.51	823.90 (18") NW 823.76 (18") S
1	PRECAST MANHOLE	831.16	824.65 (12") E 824.65 (12") W 825.15 (6") NW 826.60 (6") S 824.15 (18") SE
2	PRECAST CURB INLET	829.86	824.91 (12") N 824.91 (12") W
3	PRECAST CURB INLET	829.26	825.46 (12") NW 825.46 (12") S
4	PRECAST CURB INLET	830.25	826.10 (6") S 826.70 (12") SE
5	PRECAST CURB INLET	829.68	825.42 (12") S 825.92 (6") NE 825.42 (12") E
6	PRECAST CURB INLET	829.97	825.81 (12") N
7	PRECAST CURB INLET	828.48	823.99 (12") NW

GRADING LEGEND	
EXISTING	
REFER TO C1.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	RETAINING WALL
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAK
	STRUCTURE NUMBER
	STORM MANHOLE
	CURB INLET
	CLEANOUT
	DOWNSPOUT
	FINISHED GRADE ELEVATION
	TOP OF CURB ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	FINISHED GRADE ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	BUILDING FINISHED FLOOR ELEVATION
	STORM STRUCTURE RIM ELEVATION
	FLOOD ROUTE



WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



Josh Long 2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OH 45066

Revisions / Submissions		
ID	Description	Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
GRADING PLAN

C4.0

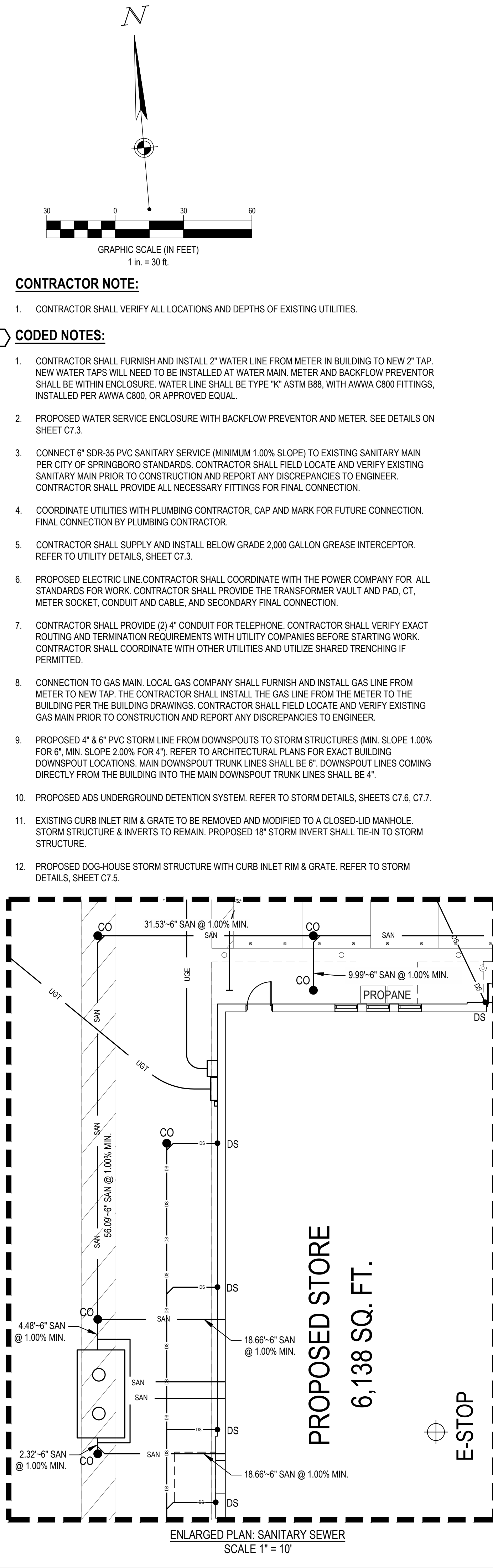
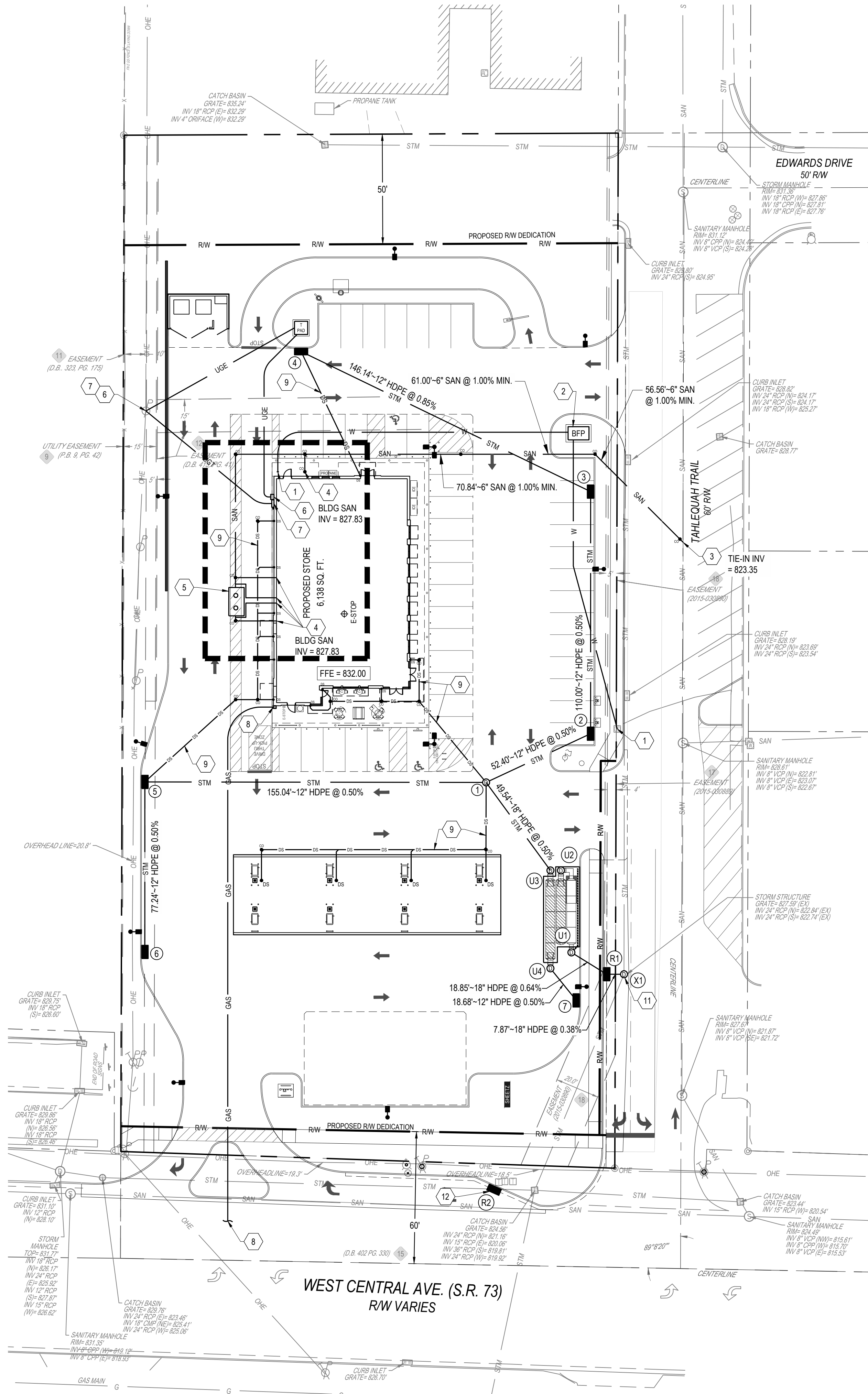
BENCHMARKS

	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472416.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546RE
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344RE

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE



CONTRACTOR NOTE:

- CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.

CODED NOTES:

- CONTRACTOR SHALL FURNISH AND INSTALL 2" WATER LINE FROM METER IN BUILDING TO NEW 2" TAP. NEW WATER TAPS WILL NEED TO BE INSTALLED AT WATER MAIN. METER AND BACKFLOW PREVENTOR SHALL BE WITHIN ENCLOSURE. WATER LINE SHALL BE TYPE "K" ASTM B88, WITH AWWA C800 FITTINGS, INSTALLED PER AWWA C800, OR APPROVED EQUAL.
- PROPOSED WATER SERVICE ENCLOSURE WITH BACKFLOW PREVENTOR AND METER. SEE DETAILS ON SHEET C7.3.
- CONNECT 6" SDR-35 PVC SANITARY SERVICE (MINIMUM 1.00% SLOPE) TO EXISTING SANITARY MAIN PER CITY OF SPRINGBORO STANDARDS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING SANITARY MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS FOR FINAL CONNECTION.
- COORDINATE UTILITIES WITH PLUMBING CONTRACTOR, CAP AND MARK FOR FUTURE CONNECTION. FINAL CONNECTION BY PLUMBING CONTRACTOR.
- CONTRACTOR SHALL SUPPLY AND INSTALL BELOW GRADE 2,000 GALLON GREASE INTERCEPTOR. REFER TO UTILITY DETAILS, SHEET C7.3.
- PROPOSED ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY FOR ALL STANDARDS FOR WORK. CONTRACTOR SHALL PROVIDE THE TRANSFORMER VAULT AND PAD, CT, METER SOCKET, CONDUIT AND CABLE, AND SECONDARY FINAL CONNECTION.
- CONTRACTOR SHALL PROVIDE (2) 4" CONDUIT FOR TELEPHONE. CONTRACTOR SHALL VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH UTILITY COMPANIES BEFORE STARTING WORK. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES AND UTILIZE SHARED TRENCHING IF PERMITTED.
- CONNECTION TO GAS MAIN. LOCAL GAS COMPANY SHALL FURNISH AND INSTALL GAS LINE FROM METER TO NEW TAP. THE CONTRACTOR SHALL INSTALL THE GAS LINE FROM THE METER TO THE BUILDING PER THE BUILDING DRAWINGS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING GAS MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
- PROPOSED 4" & 6" PVC STORM LINE FROM DOWNSPOUTS TO STORM STRUCTURES (MIN. SLOPE 1.00% FOR 6", MIN. SLOPE 2.00% FOR 4"). REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DOWNSPOUT LOCATIONS. MAIN DOWNSPOUT TRUNK LINES SHALL BE 6". DOWNSPOUT LINES COMING DIRECTLY FROM THE BUILDING INTO THE MAIN DOWNSPOUT TRUNK LINES SHALL BE 4".
- PROPOSED ADS UNDERGROUND DETENTION SYSTEM. REFER TO STORM DETAILS, SHEETS C7.6, C7.7.
- EXISTING CURB INLET RIM & GRATE TO BE REMOVED AND MODIFIED TO A CLOSED-LID MANHOLE. STORM STRUCTURE & INVERTS TO REMAIN. PROPOSED 18" STORM INVERT SHALL TIE-IN TO STORM STRUCTURE.
- PROPOSED DOG-HOUSE STORM STRUCTURE WITH CURB INLET RIM & GRATE. REFER TO STORM DETAILS, SHEET C7.5.

# STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
R2	PRECAST CURB INLET W/ DOGHOUSE STRUCTURE & BASE	825.66	820.25 (24") W* 820.25 (24") E* *EXISTING INVERT
R1	PRECAST CURB INLET	827.52	822.88 (18") NW 822.88 (18") E
X1	EX. CURB INLET W/ PROPOSED CLOSED-LID MH RIM REPLACEMENT	827.59	822.85 (18") W 822.84 (24") N* 822.74 (24") SW* *EXISTING INVERT
U1	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	828.74	823.00 (18") N 823.00 (6") E 823.00 (18") SE
U4	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.02	823.90 (12") SE 823.76 (18") N
U2	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.31	824.17 (18") E 823.76 (18") S
U3	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.51	823.90 (18") NW 823.76 (18") S
1	PRECAST MANHOLE	831.16	824.65 (12") E 824.65 (12") W 825.15 (6") NW 826.60 (6") S 824.15 (18") SE
2	PRECAST CURB INLET	829.86	824.91 (12") N 824.91 (12") W
3	PRECAST CURB INLET	829.26	825.46 (12") NW 825.46 (12") S
4	PRECAST CURB INLET	830.25	826.10 (6") S 826.70 (12") SE
5	PRECAST CURB INLET	829.68	825.42 (12") S 825.92 (6") NE 825.42 (12") E
6	PRECAST CURB INLET	829.97	825.81 (12") N
7	PRECAST CURB INLET	828.48	823.99 (12") NW



FORTY EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

UTILITY LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

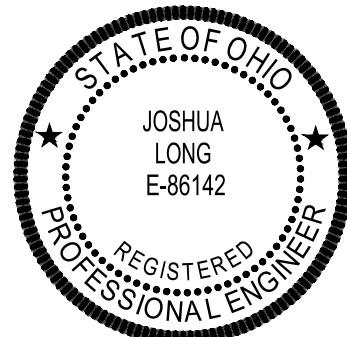
PROPOSED

	BUILDING
	RETAINING WALL
	SEE ENLARGED PLAN, THIS SHEET
	STORM SEWER LINE
	STORM DOWNSPOUT LINE
	SANITARY SEWER LINE
	DOMESTIC WATER LINE
	GAS SERVICE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	STORM SEWER
	CURB INLET
	CLEANOUT
	DOWNSPOUT
	ELECTRICAL TRANSFORMER PAD
	GAS METER



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

ID	Description	Date
----	-------------	------

© 2023 CESO, INC.

Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

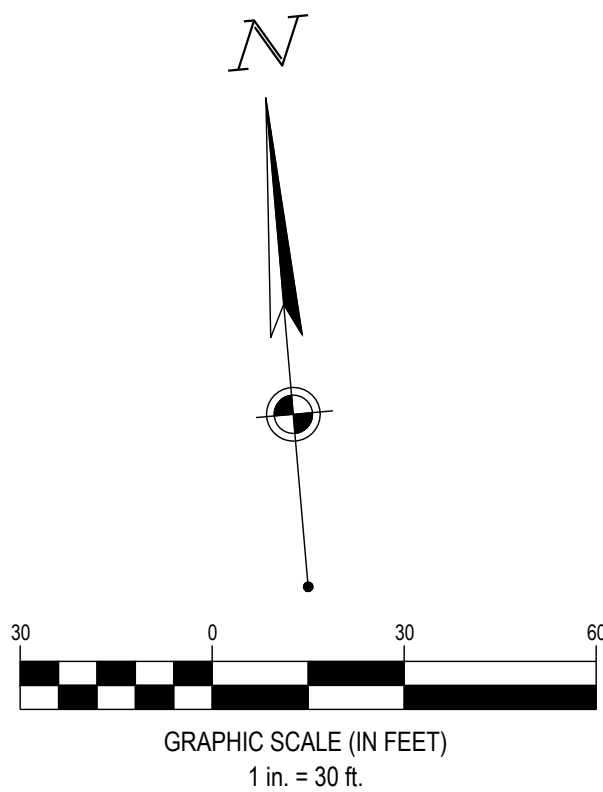
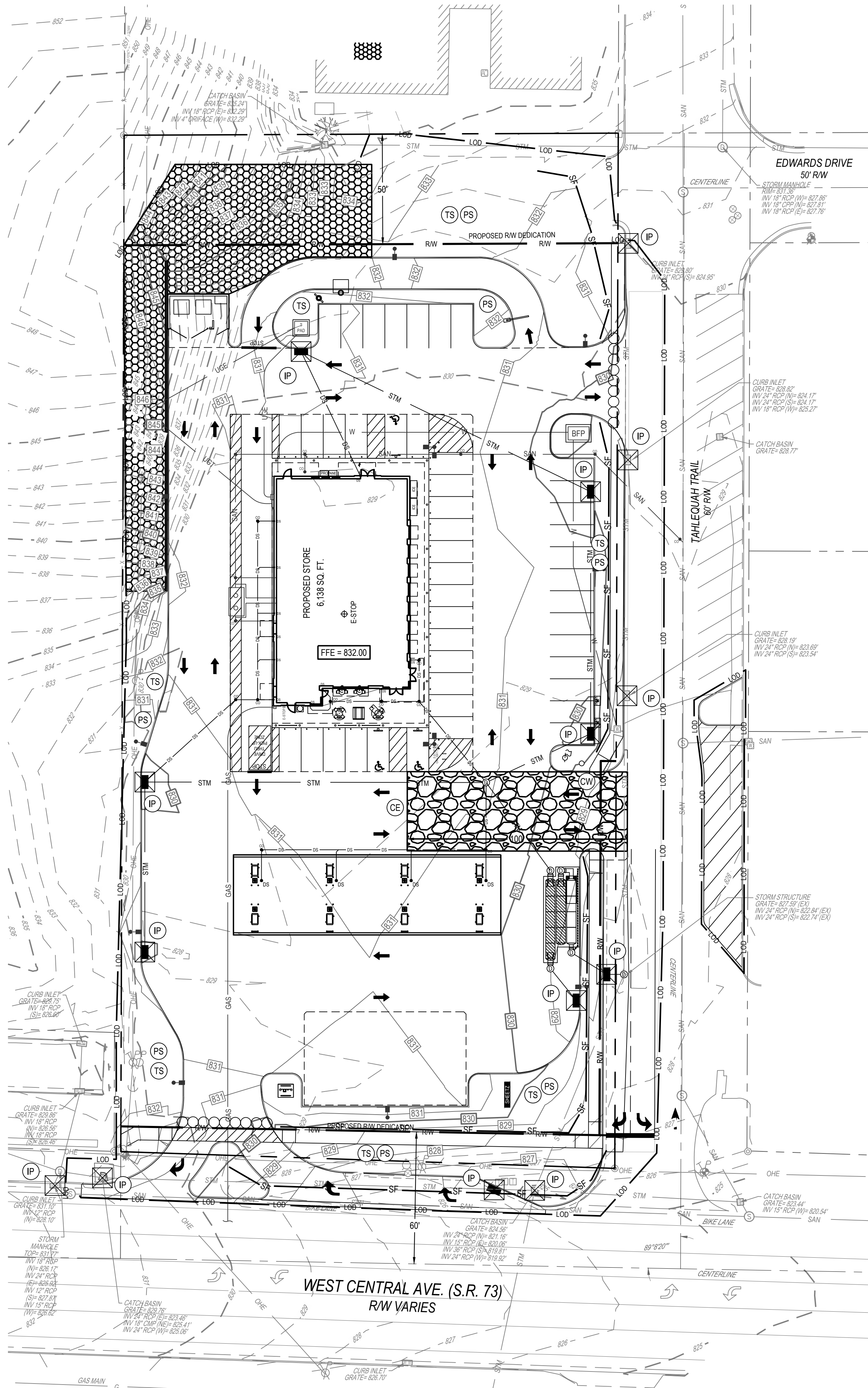
Date: 02.17.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:

UTILITY PLAN

C5.0



DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORSE ROAD
COLUMBUS, OH 43230
PHONE: (380) 800-7837
CONTACT: APURDON@SKILKENGOLD.COM

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR, SUITE 400
COLUMBUS, OH 43231
PHONE: (380) 799-5227
CONTACT: JOSH LONG
EMAIL: JOSH.LONG@CESOINC.COM

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

THE PROPOSED PROJECT IS THE CONSTRUCTION OF GAS STATION AND CONVENIENCE STORE. THE SUBJECT PARCEL IS 2.40 ACRES. THE TOTAL DISTURBED AREA IS 2.73 ACRES.

THE ENTIRE SITE DRAINS TO THE PROPOSED STORM SYSTEM THAT COLLECTS IN AN UNDERGROUND DETENTION SYSTEM IN THE SOUTHEAST CORNER OF THE SITE. THE SYSTEM ULTIMATELY DRAINS TO THE EXISTING CURB INLET IN THE SOUTHEAST CORNER OF THE SITE ALONG TAHLEQUAH TRAIL.

ON-SITE SOILS: RUSSELL-MIMIAN SILT LOAMS (RvB2) 80.9%
WYNN SILT LOAMS (Wyc2) 19.1%

HYDROLOGIC SOIL GROUPS: RvB2 - C
Wyc2 - C

EXISTING ON-SITE CONDITIONS: THE EXISTING SITE IS A MULTI-USE COMMERCIAL BUILDING WITH A PARKING LOT AND SEVERAL ACCESS DRIVES.

SEQUENCE OF CONSTRUCTION

1. NOTIFY CITY OF SPRINGBORO ADMINISTRATOR BEFORE WORK IS TO BEGIN.
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT.
3. SITE DEMOLITION AND CLEARING.
4. ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
5. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
6. BUILDING PAD.
7. CURB CONSTRUCTION.
8. FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
9. ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
10. FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.

SWPPP GENERAL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS. ACCORDING TO THE LATEST EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
2. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT.
4. SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED.
5. PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
6. TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN TWENTY ONE (21) DAYS, BUT LESS THAN ONE (1) YEAR.
 - PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
7. TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:

SEEDING: ANNUAL RYEGRASS AT 2.02 POUNDS PER 1,000 S.F.

MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.

FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER CDDT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.

8. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEED, AND CURB/BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.

9. NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.

10. IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

12. DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.

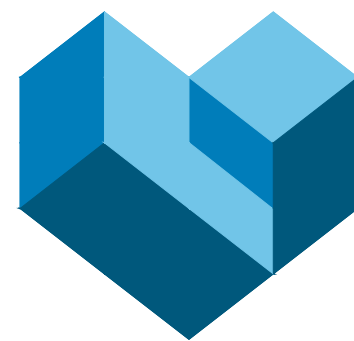
13. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM SILT FENCE TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
14. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
15. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
16. THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY. IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION, THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY, THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
17. ALL DEWATERING ACTIVITIES SUCH AS PUMPING DOWN OF FLOODED FOUNDATION AND UTILITY TRENCHES MUST PASS THROUGH THE RETROFITTED DETENTION BASIN OR A SEDIMENT CONTROL PRACTICE PRIOR TO LEAVING THE SITE.
18. SILT FENCE AND OTHER PERIMETER EROSION CONTROL MEASURES SHOWN OFF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE PERIMETER EROSION CONTROL MEASURES ARE PLACED AT THE LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

SWPPP MAINTENANCE NOTES

1. ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
2. INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION. INLET PROTECTION DEVICES SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
4. MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES, THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
7. STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
8. ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
9. CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
10. BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
11. CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.

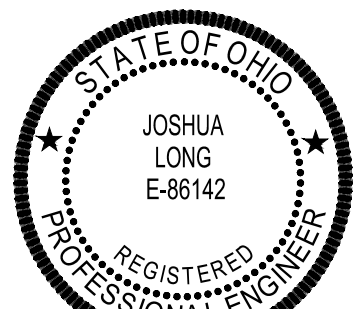
SWPPP LEGEND

EXISTING	
REFER TO C1.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	RETAINING WALL
	MAJOR CONTOUR
	MINOR CONTOUR
	PAVEMENT/WALK
	STORM SEWER
	SILT FENCE
	STRAW WATTLE
	LIMITS OF DISTURBANCE
	PERMANENT EROSION CONTROL BLANKET ON ALL 3:1 SLOPES OR STEEPER
	STABILIZED CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT / STORAGE AREA
	BASIN SEDIMENT FILTER
	STORM MANHOLE
	CATCH BASIN
	CURB INLET
	STABILIZED CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	TEMPORARY SEEDING
	PERMANENT SOD



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date
© 2023 CESO, INC.		
Project Number:		760643
Scale:		AS SHOWN
Drawn By:		MST
Checked By:		BP
Date:		02.17.2023
Issue:		NOT FOR CONSTRUCTION

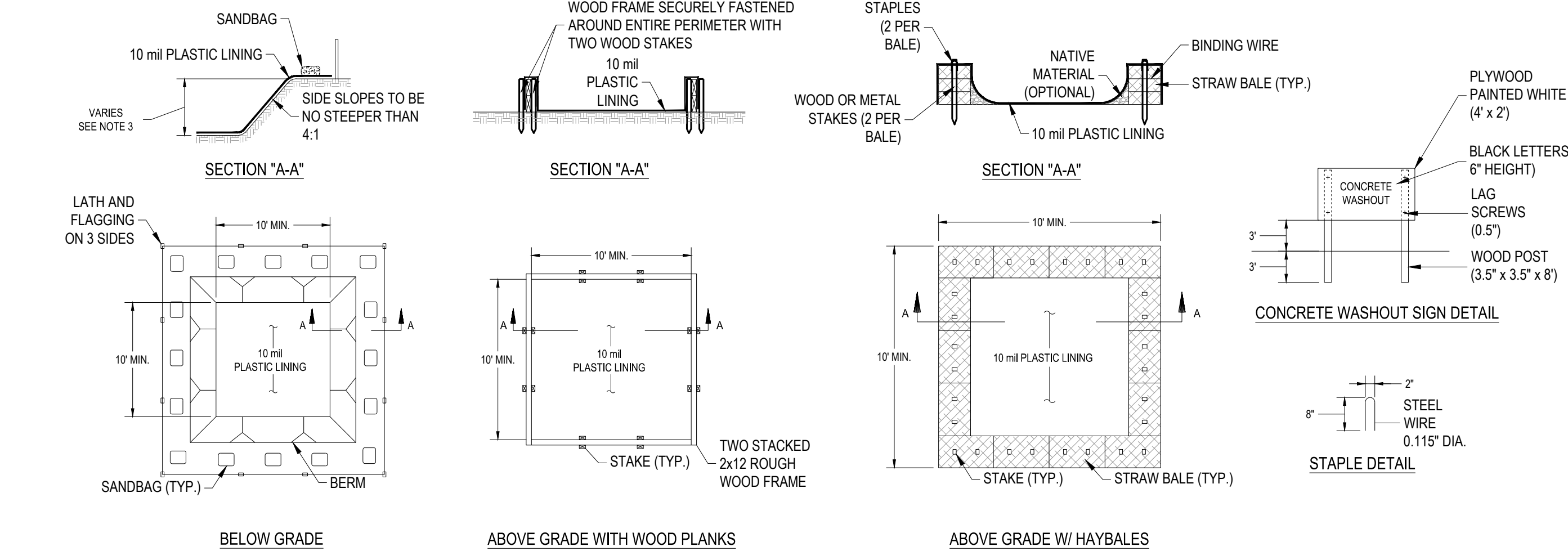
Drawing Title:
SWPPP



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

C6.0

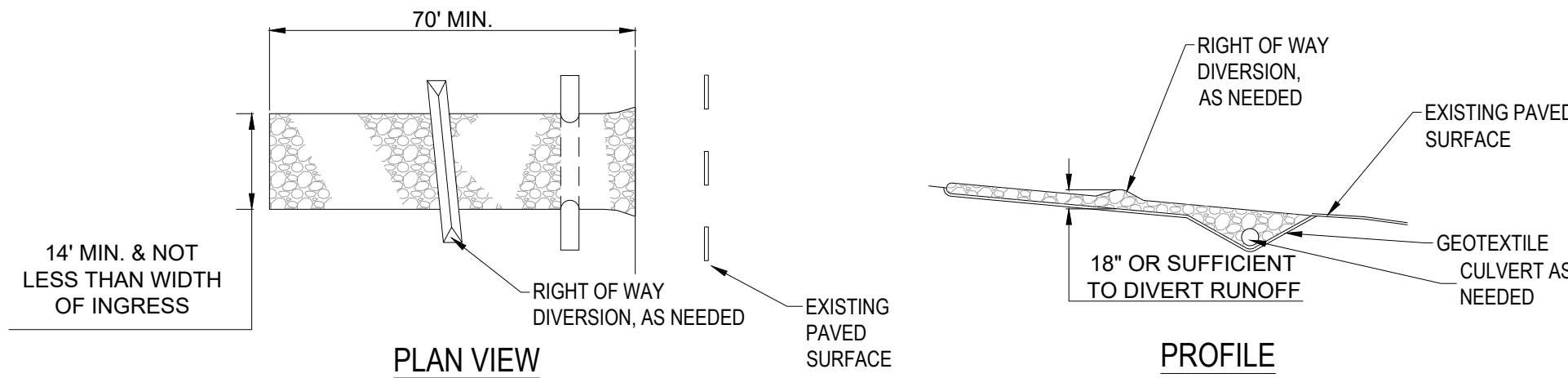
W:\PROJECTS\SKILKEN GOLD\1760645-D1 Skilken Gold - C-Store - 094 Springfield, OH\05-CIVIL\PLAN\CONSTRUCTION\1760643_C60-ESC.dwg - 2/17/2023 - Michael Talarico



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.

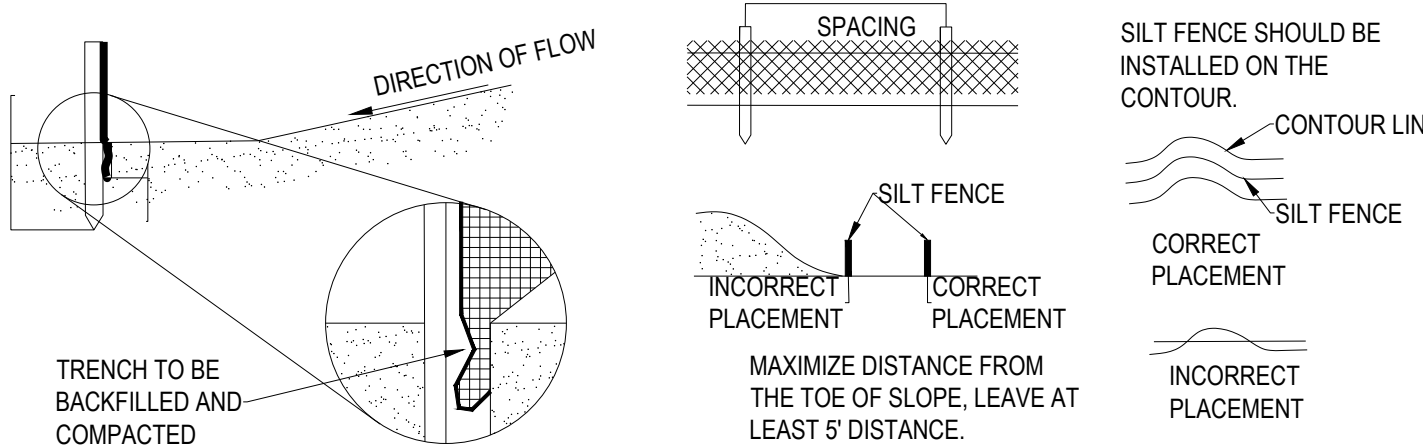
CONCRETE WASHOUT

NTS



- NOTES:
1. STONE SIZE - (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS.
 3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
 4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE, IT SHALL BE COMPOSED OF 10. STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
 6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICAL BEFORE MAJOR GRADING ACTIVITIES.

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 lbs.
MINIMUM PUNCTURE STRENGTH	80 psi.
MINIMUM TEAR STRENGTH	50 lbs.
MINIMUM BURST STRENGTH	320 psi.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS < 0.6 mm.
PERMITTIVITY	1x10-3 cm/sec.



- NOTES:
1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
 2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
 3. TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
 4. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
 5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE ESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
 6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.

7. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM F 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICES WHICH WILL ENSURE ADEQUATE UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT THE 8 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
10. MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONLY OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE:
 - 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED,
 - 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR
 - 3) OTHER PRACTICES SHALL BE INSTALLED.

SILT FENCE DETAIL

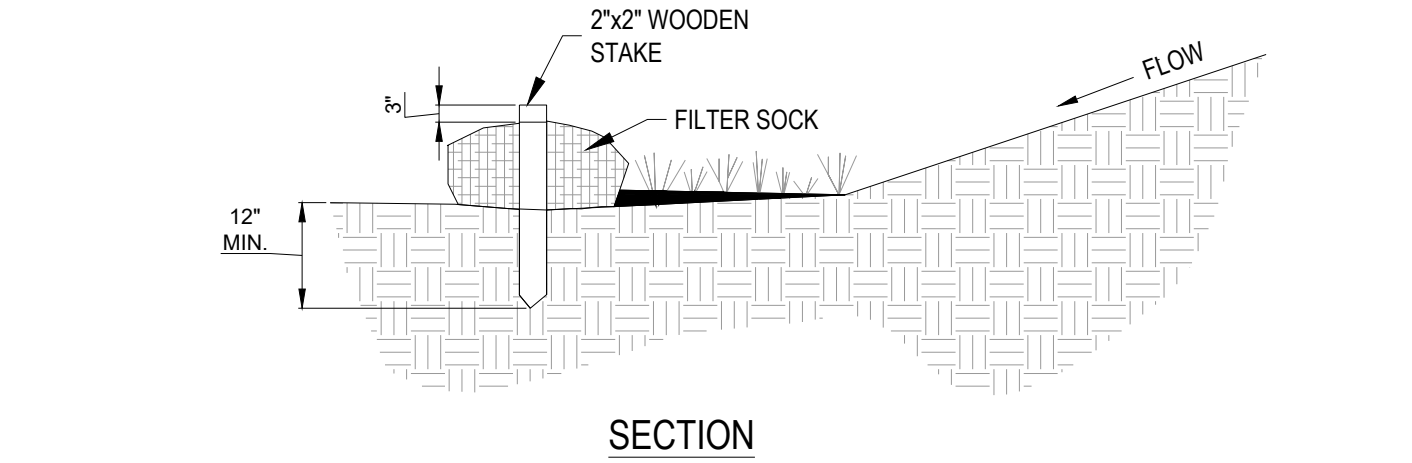
NTS

SPECIFICATIONS FOR SILT FENCE

FABRIC PROPERTIES	VALUES	TEST METHODS
GRAB TENSILE STRENGTH	90 LB. MINIMUM	ASTM D-1682
MULEN BURST STRENGTH	190 PSI MINIMUM	ASTM D-3786
SLURRY FLOW RATE	0.3 GAL/MIN/FT. MAX.	
EQUIVALENT OPENING SIZE	40-80	US STD. SIEVE CW 02215
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM	ASTM - G 26

CRITERIA FOR SILT FENCE MATERIALS

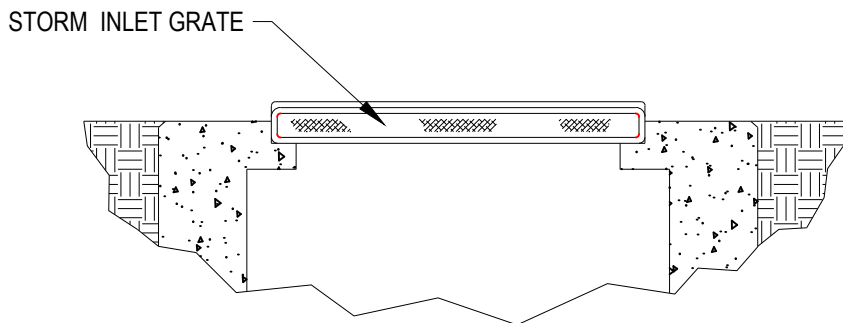
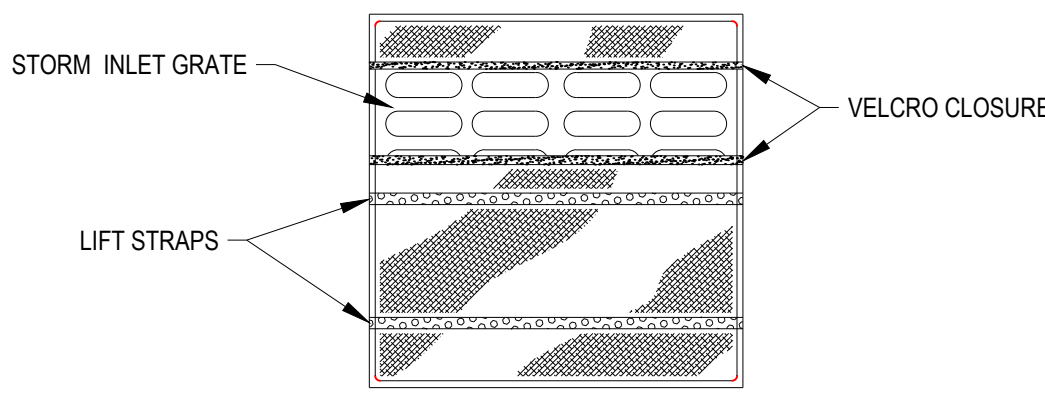
1. FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 IN. X 2 IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
2. SILT FENCE FABRIC (SEE CHART BELOW)



- NOTES:
1. MATERIALS - COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLES RANGING FROM 3/8" TO 2".
 2. FILTER SOCKS SHALL BE 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
 3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MIDSLOPE.
 4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- INSTALLATION:
3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MIDSLOPE.
 4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:
6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.
 8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
 9. REMOVAL - FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH AS WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

FILTER SOCK

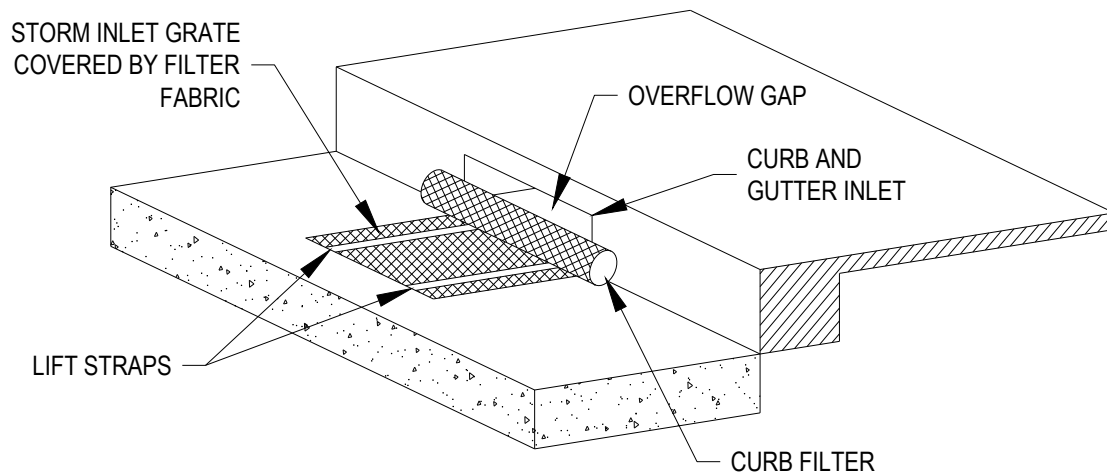
NTS



- NOTE:
- INLET PROTECTION SHALL BE DANDY BAG OR APPROVED OTHER.

INLET PROTECTION

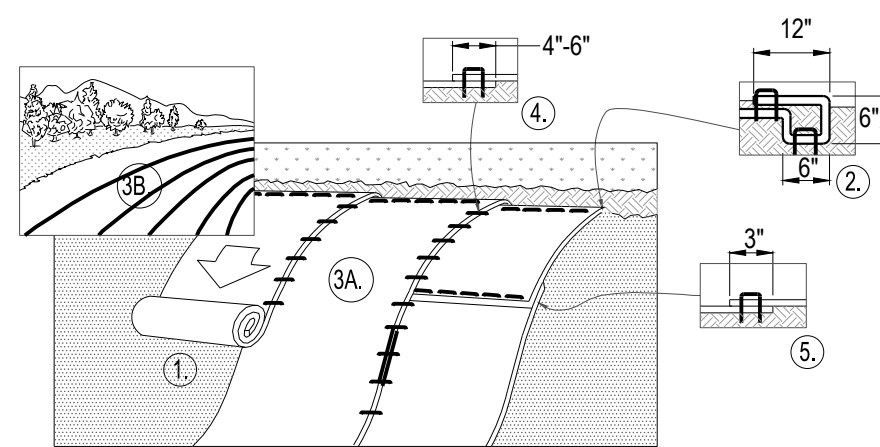
NTS



- NOTE:
- INLET PROTECTION SHALL BE DANDY CURB BAG OR APPROVED OTHER.

CURB INLET PROTECTION

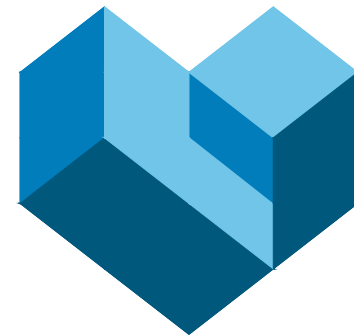
NTS



- NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

EROSION CONTROL BLANKET

NTS



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

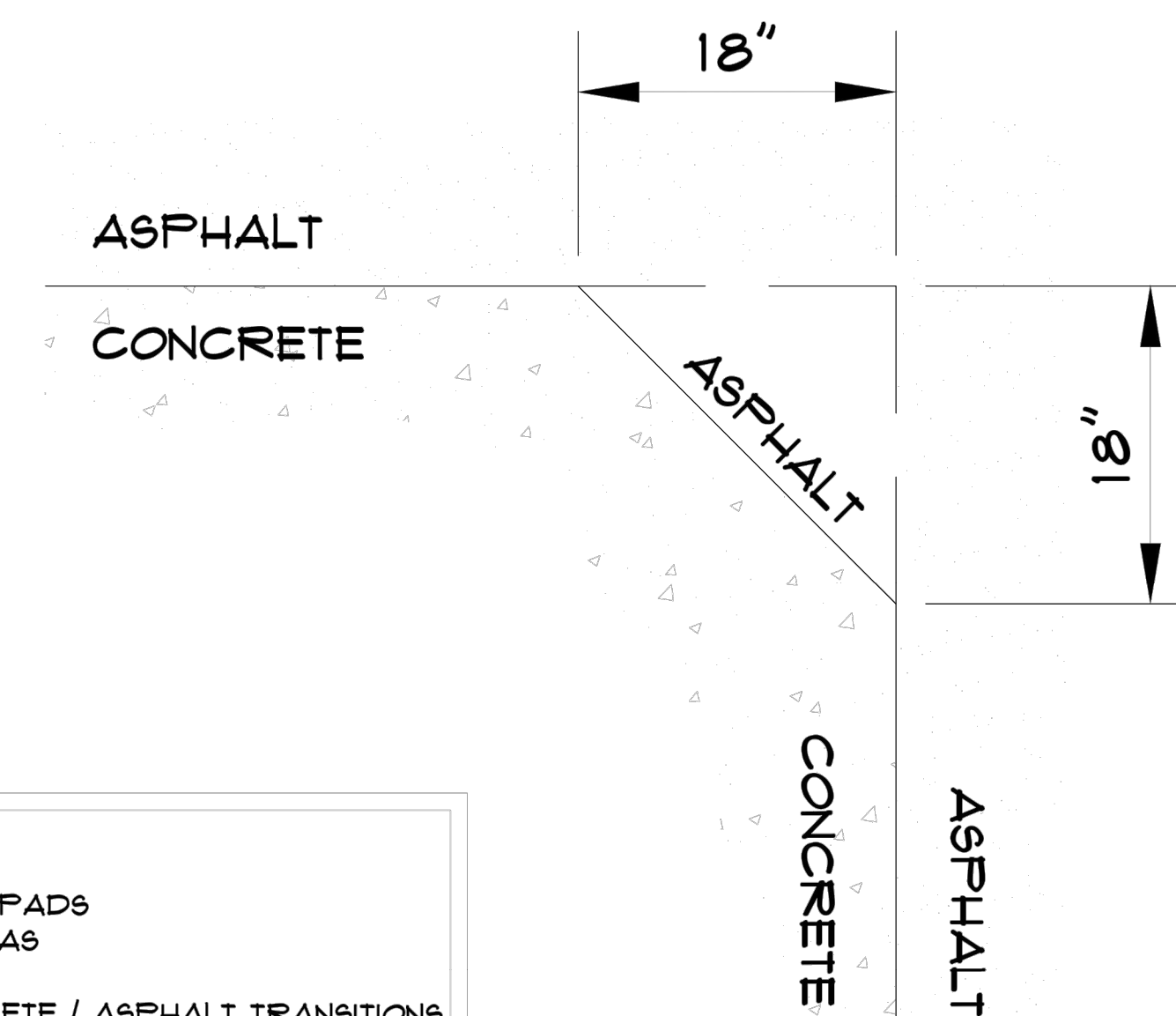
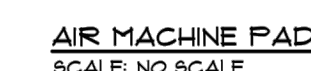
SHEETZ - SPRINGBORO, OH
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date

Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
SWPPP DETAILS

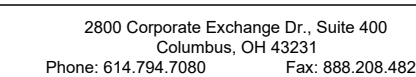
C6.1

[illegible]

CONCRETE / ASPHALT TRANSITION
SCALE: NO SCALE



6" OR 8" DIAMETER PIPE BOLLARD
SCALE: NO SCALE



SHEETZ - SPRINGBORO, OH

300 W. CENTRAL AVE
SPRINGBORO OHIO 45066

SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

REAL ESTATE DEVELOPMENT

Revisions / Submissions

ID	Description	Date
----	-------------	------

Project Number: 760642

Scale: AS SHOWN

Drawn By: MST

Checked By: BF

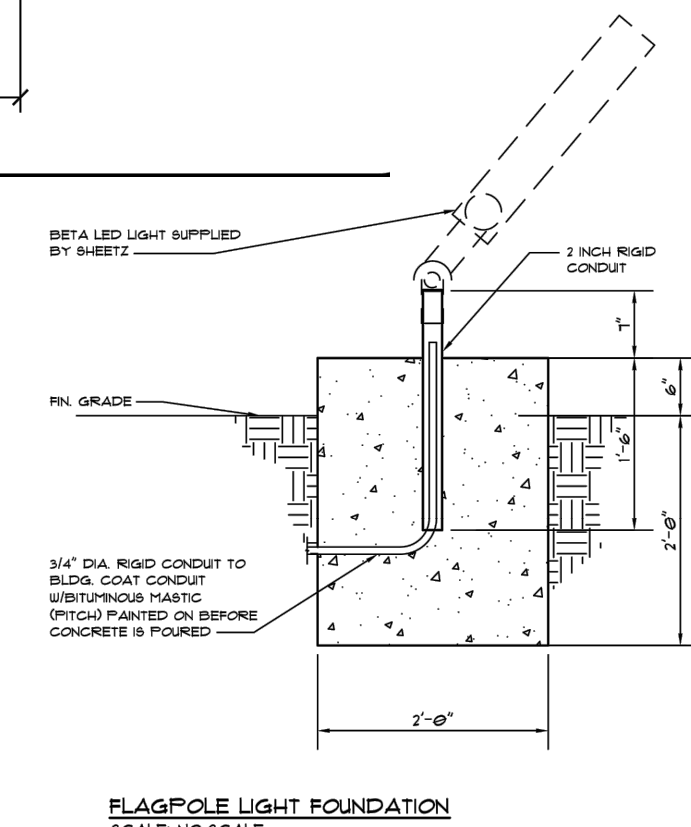
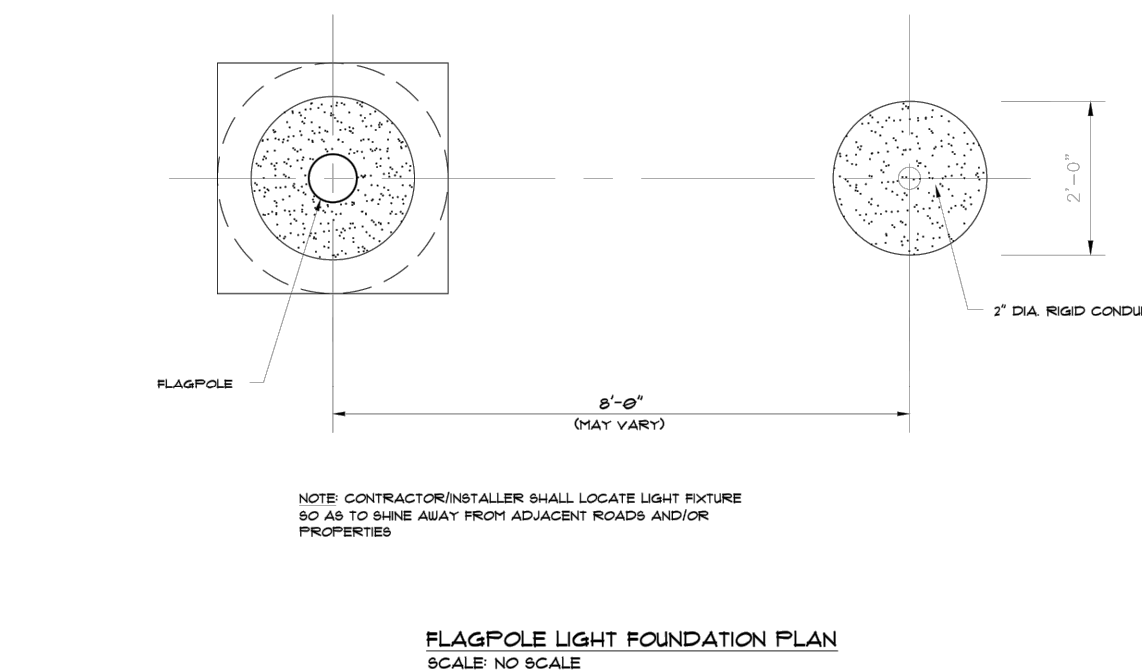
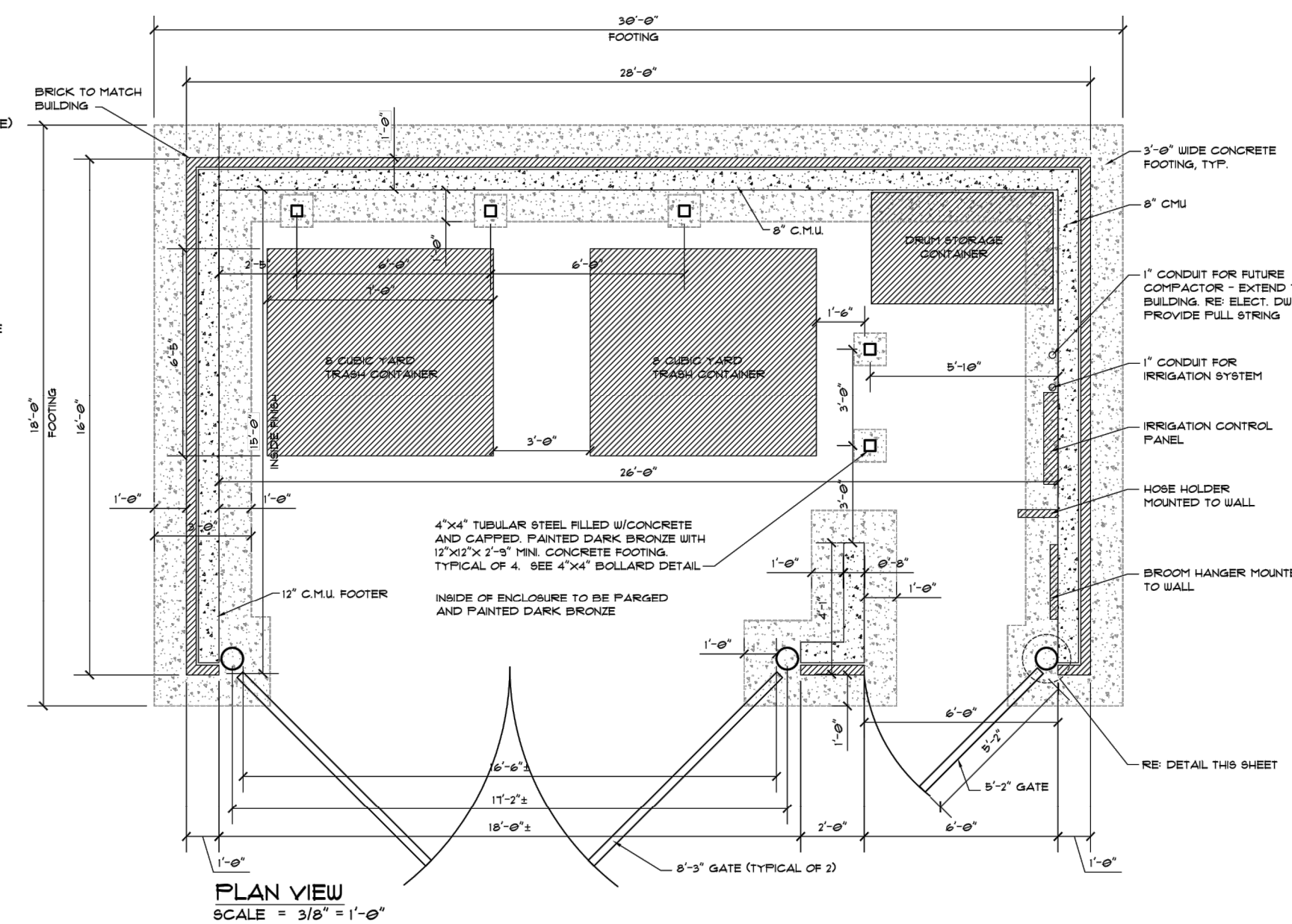
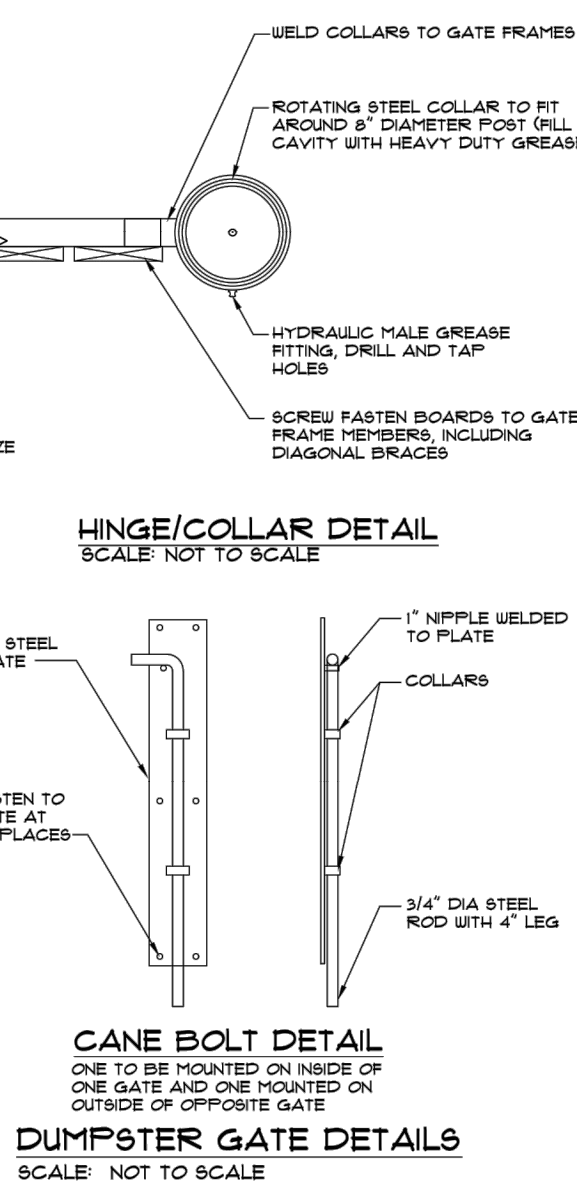
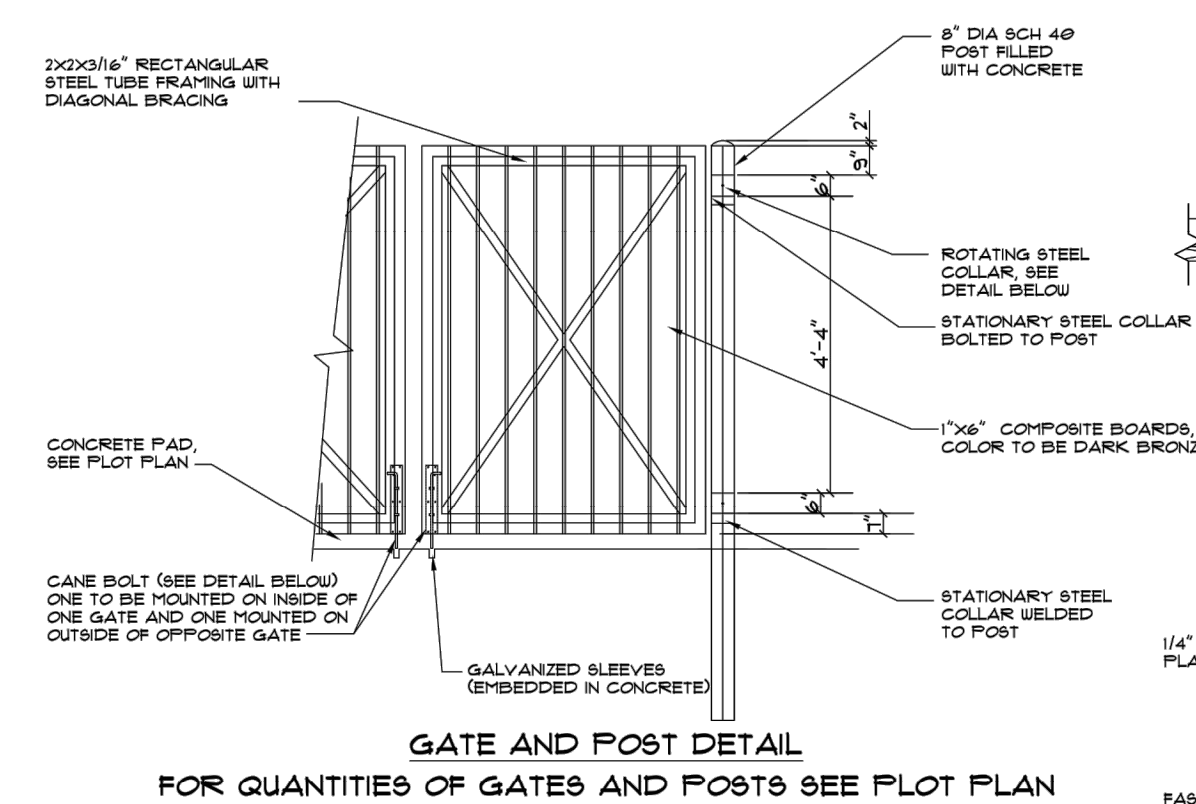
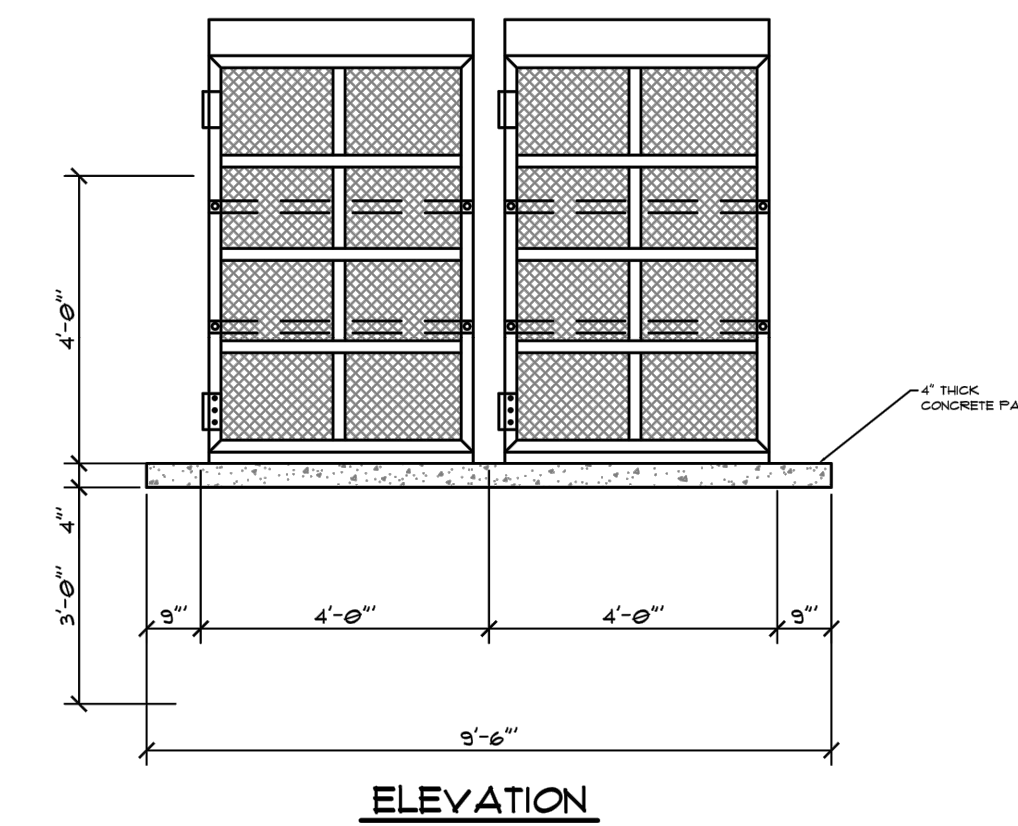
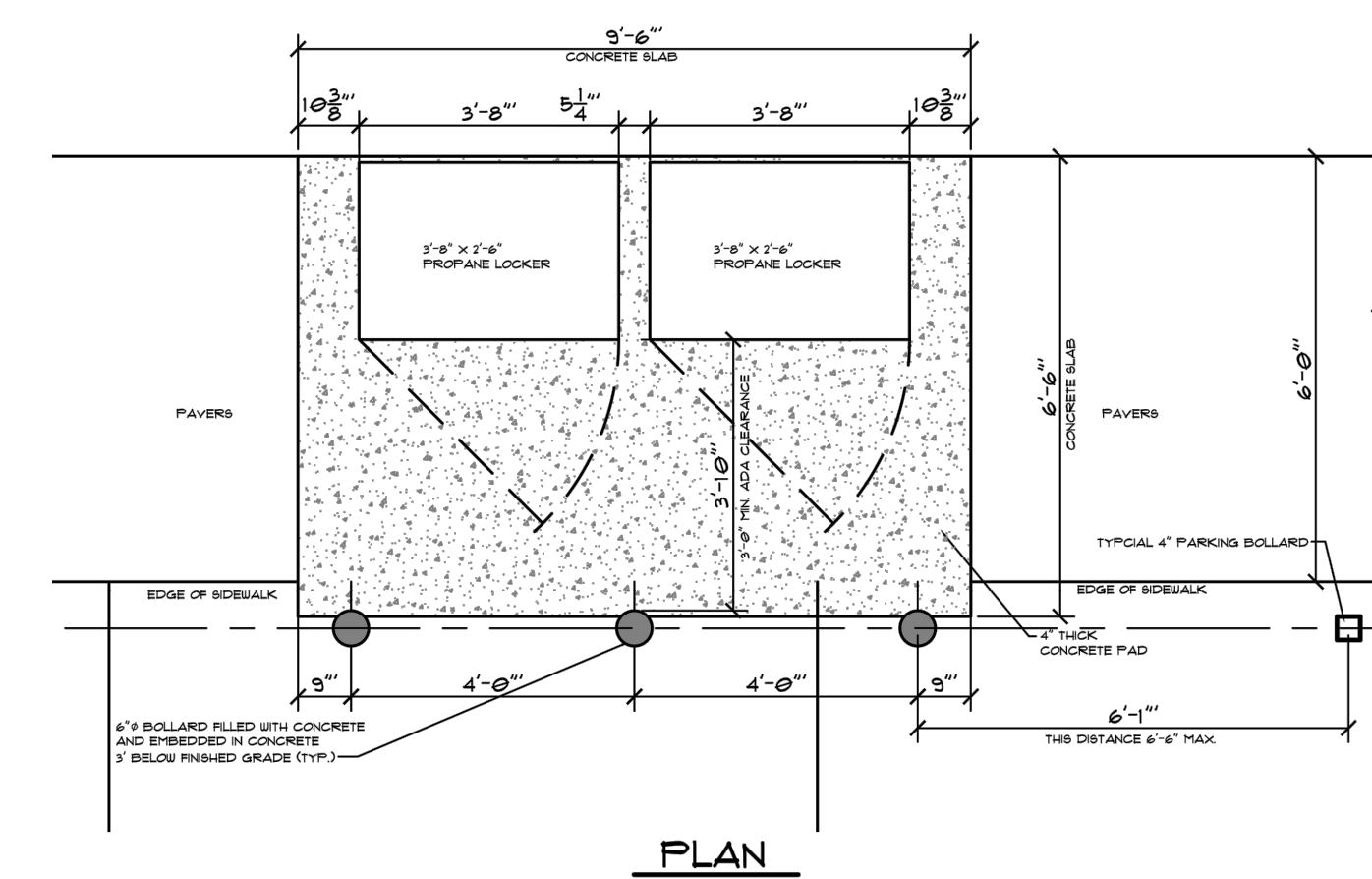
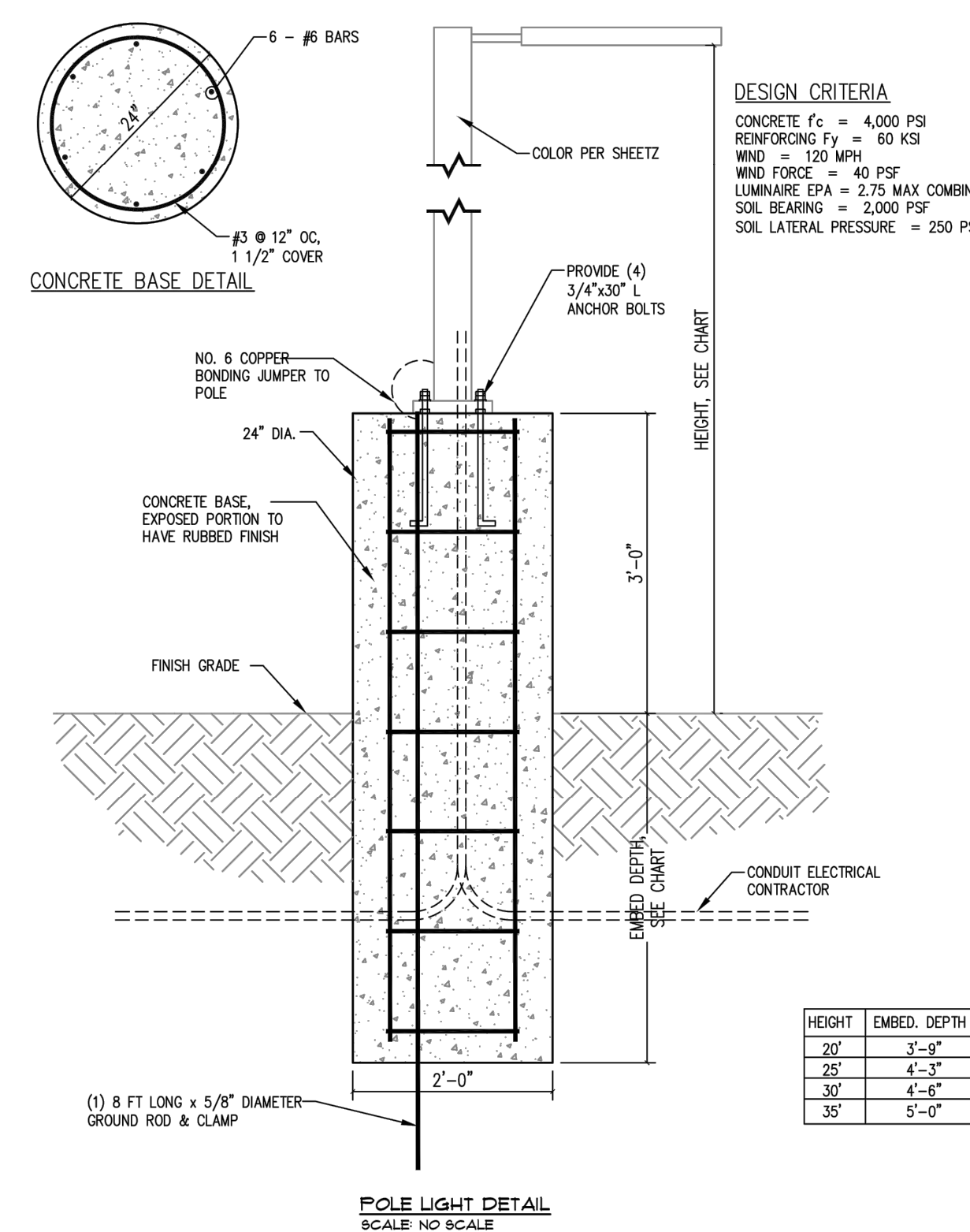
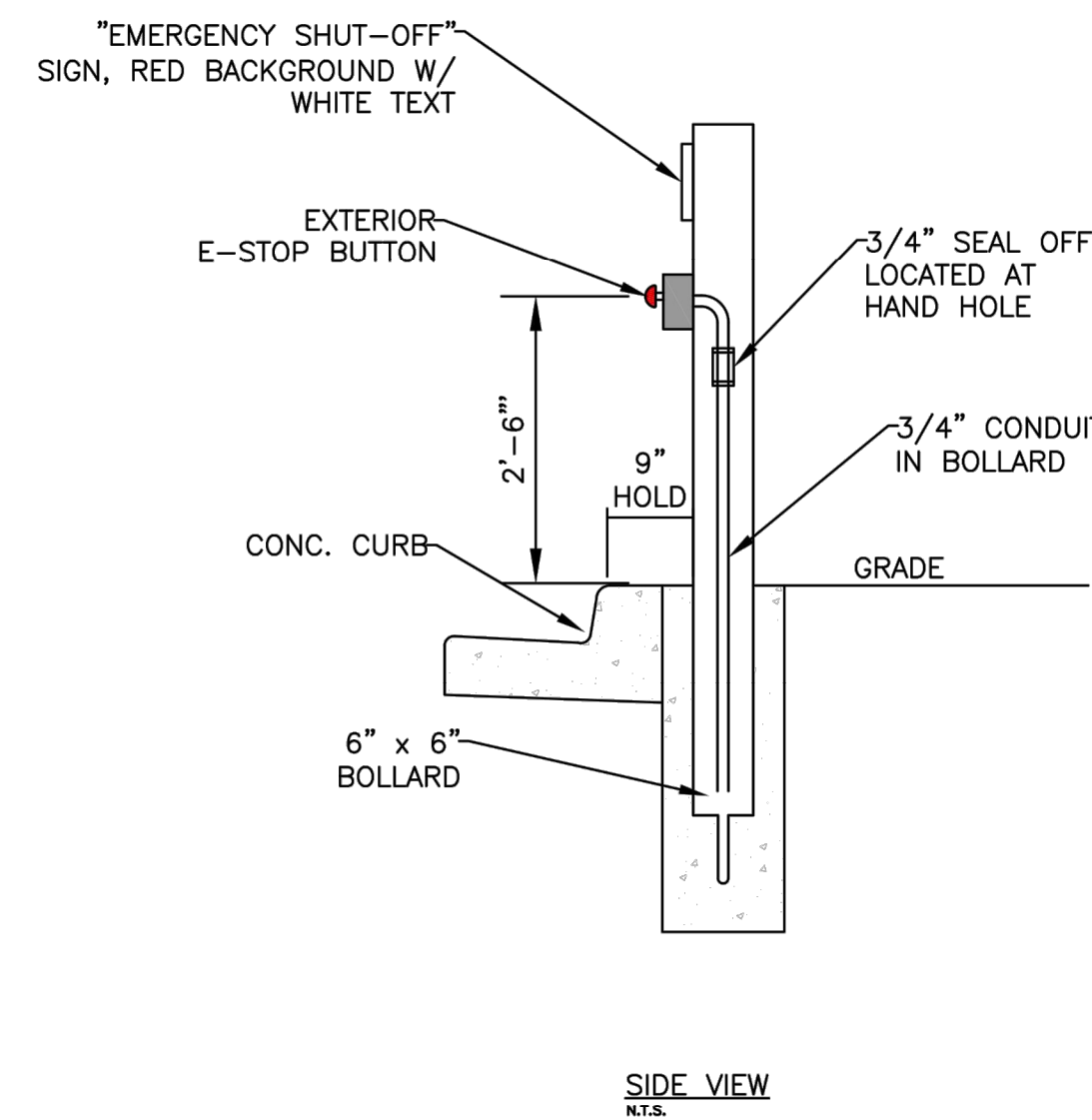
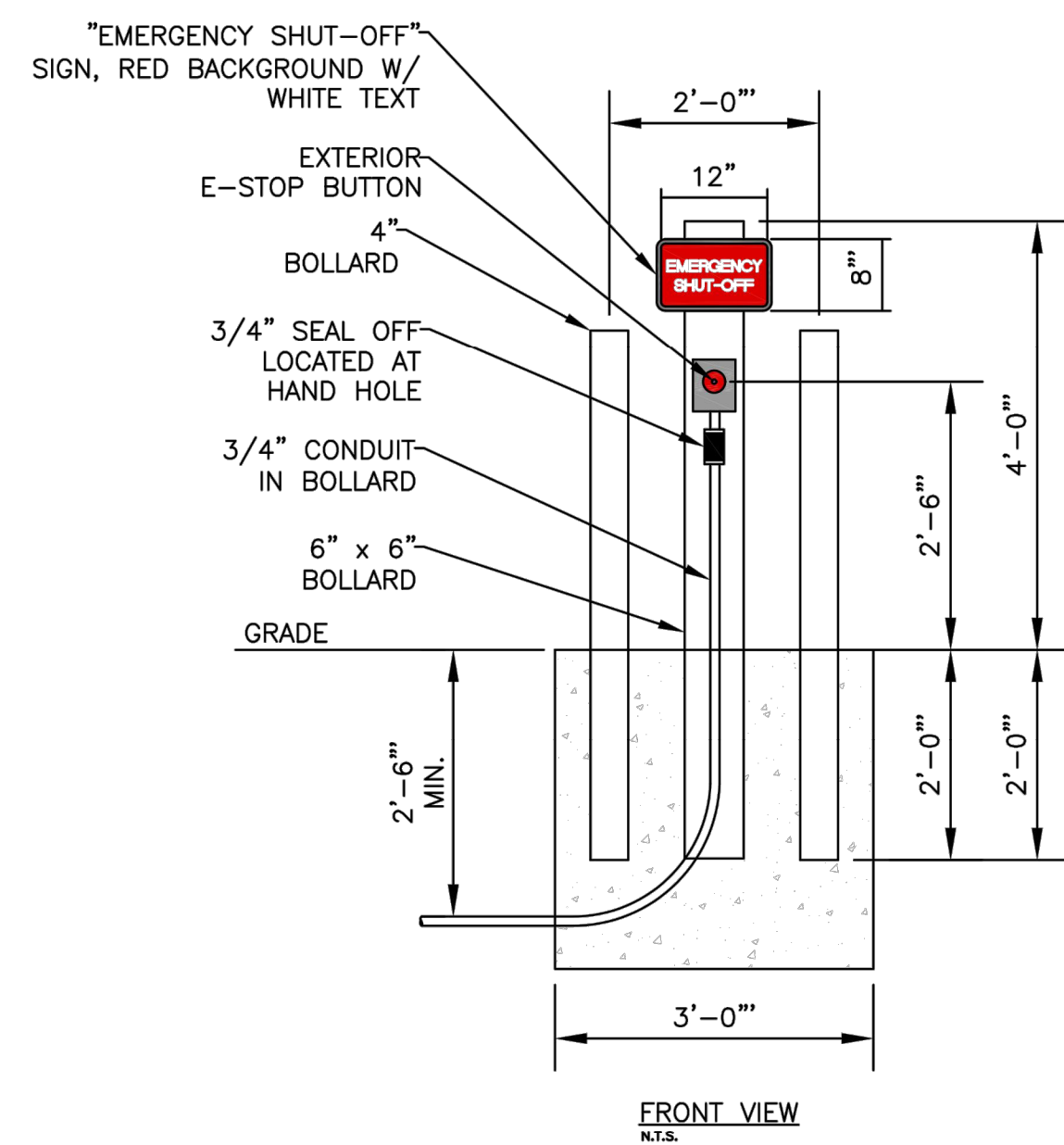
Date: 02.17.2023

Issue: NOT FOR CONSTRUCTION

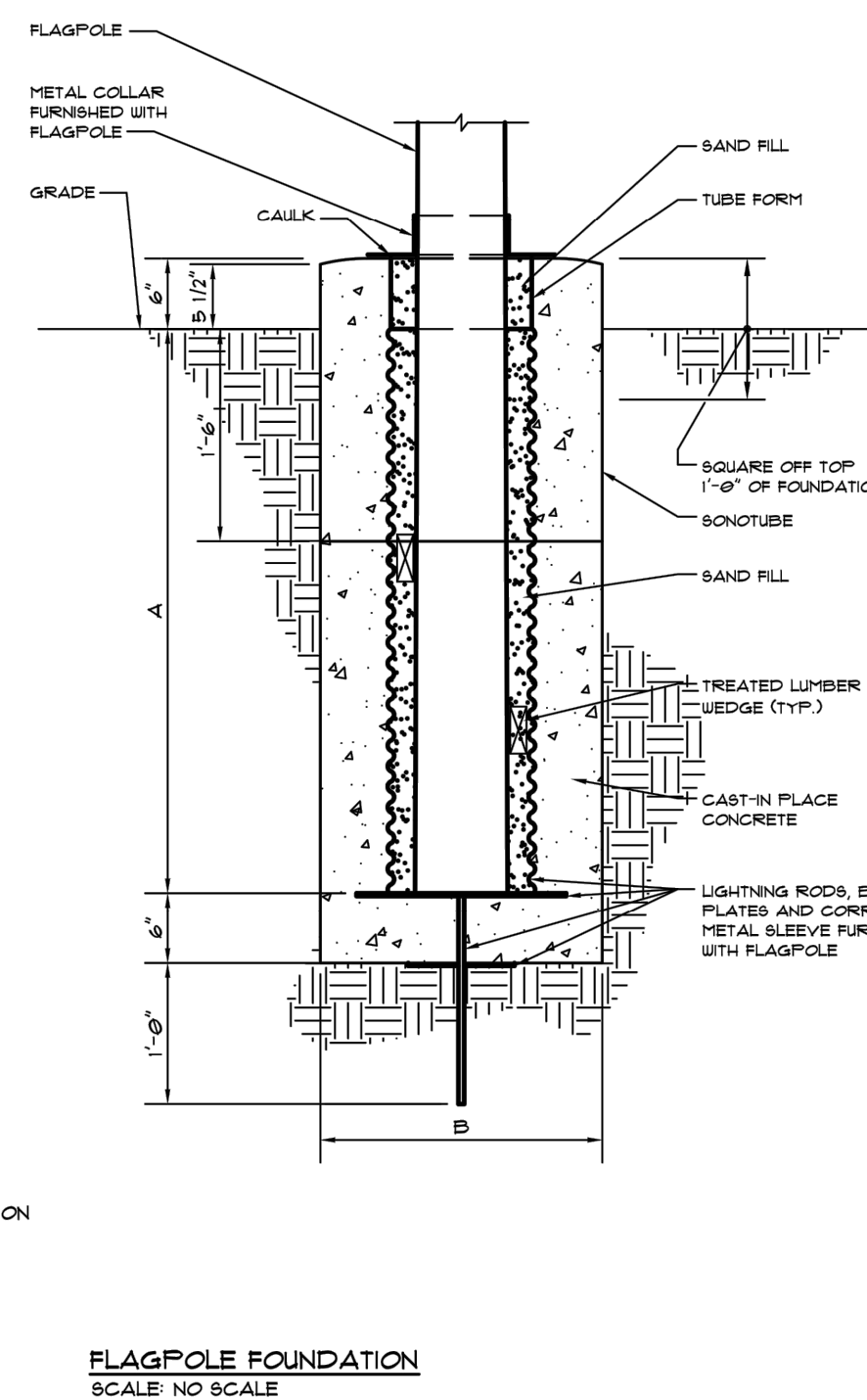
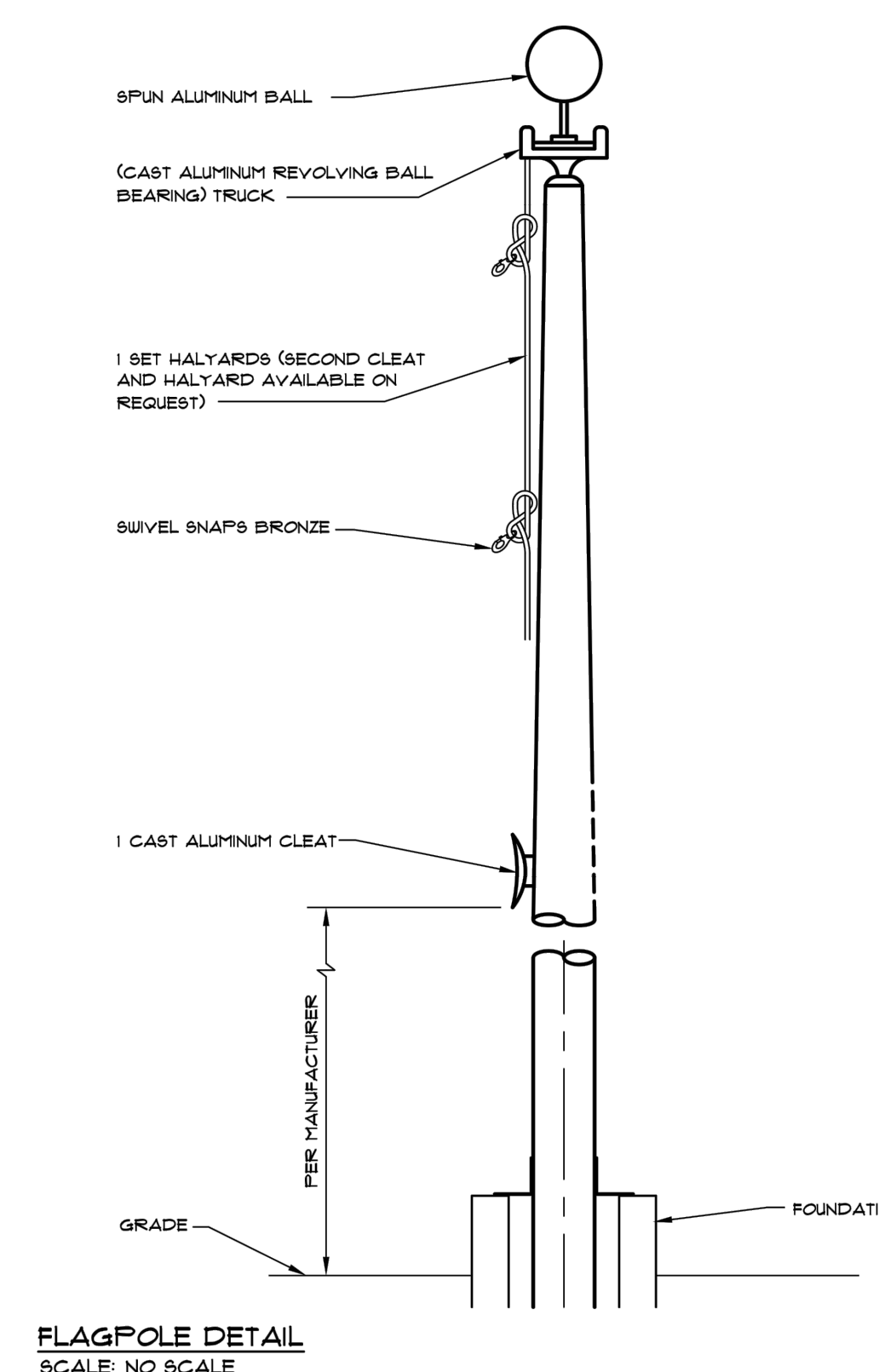
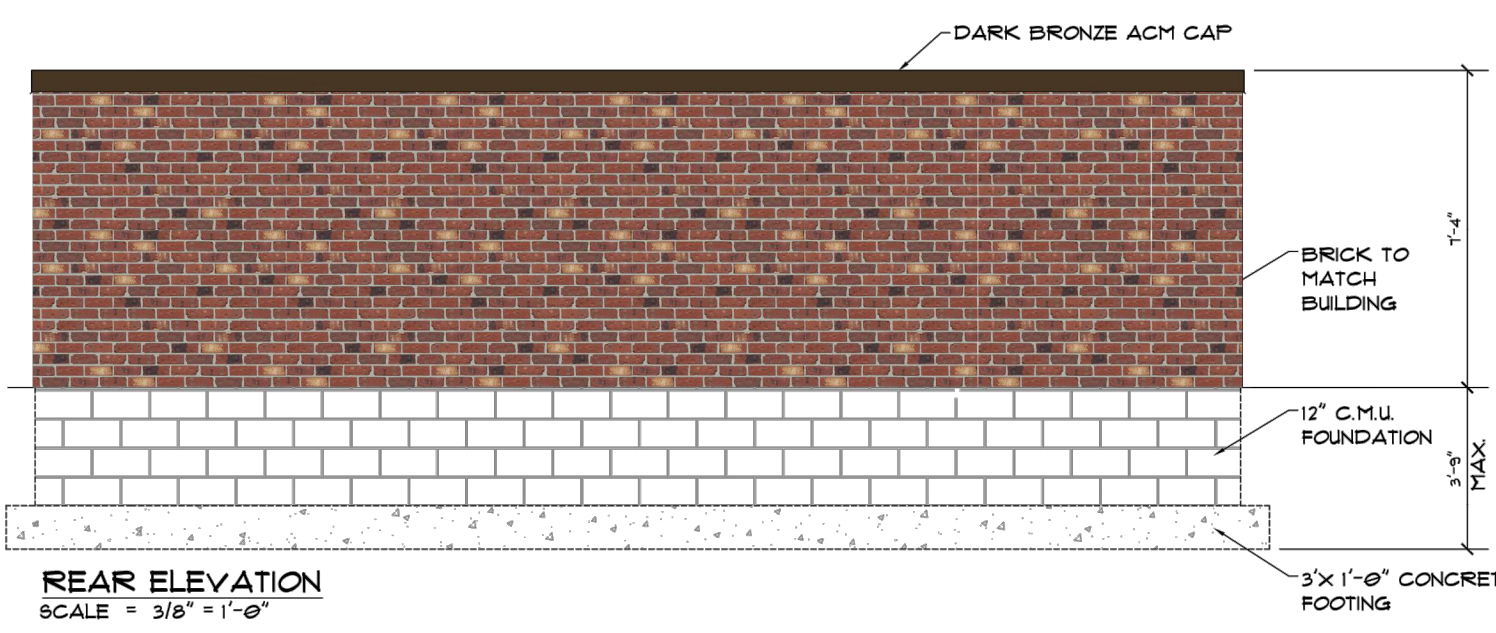
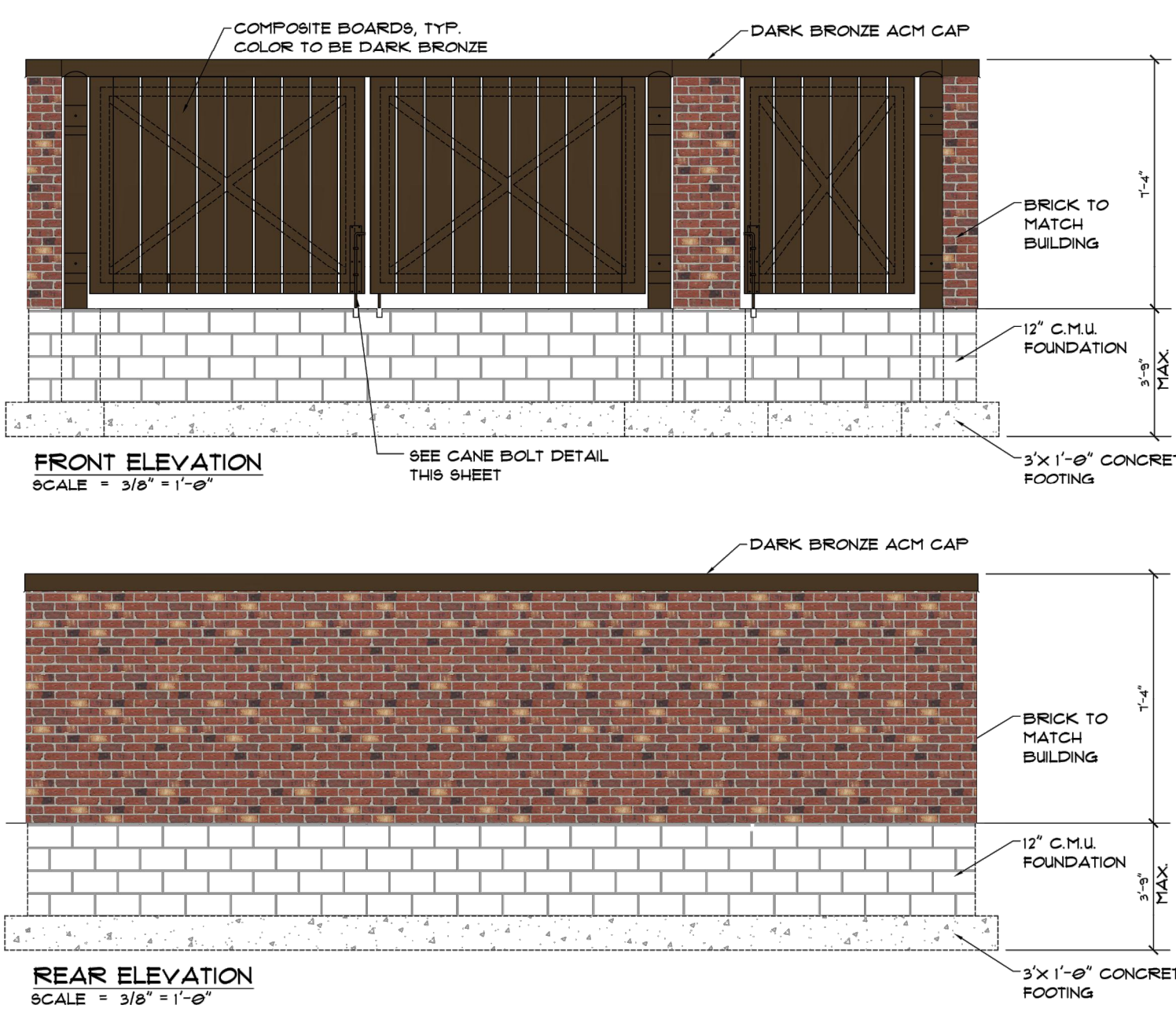
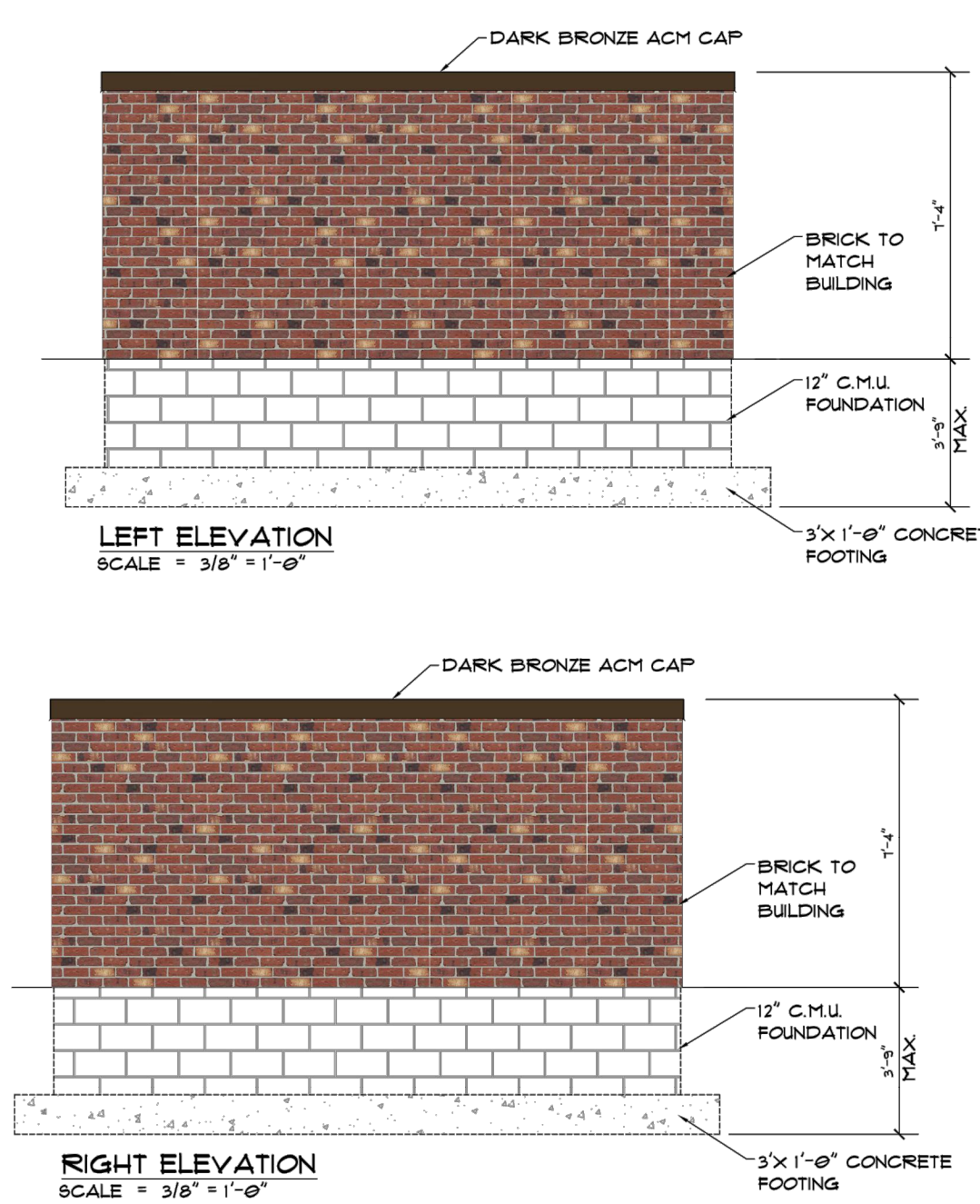
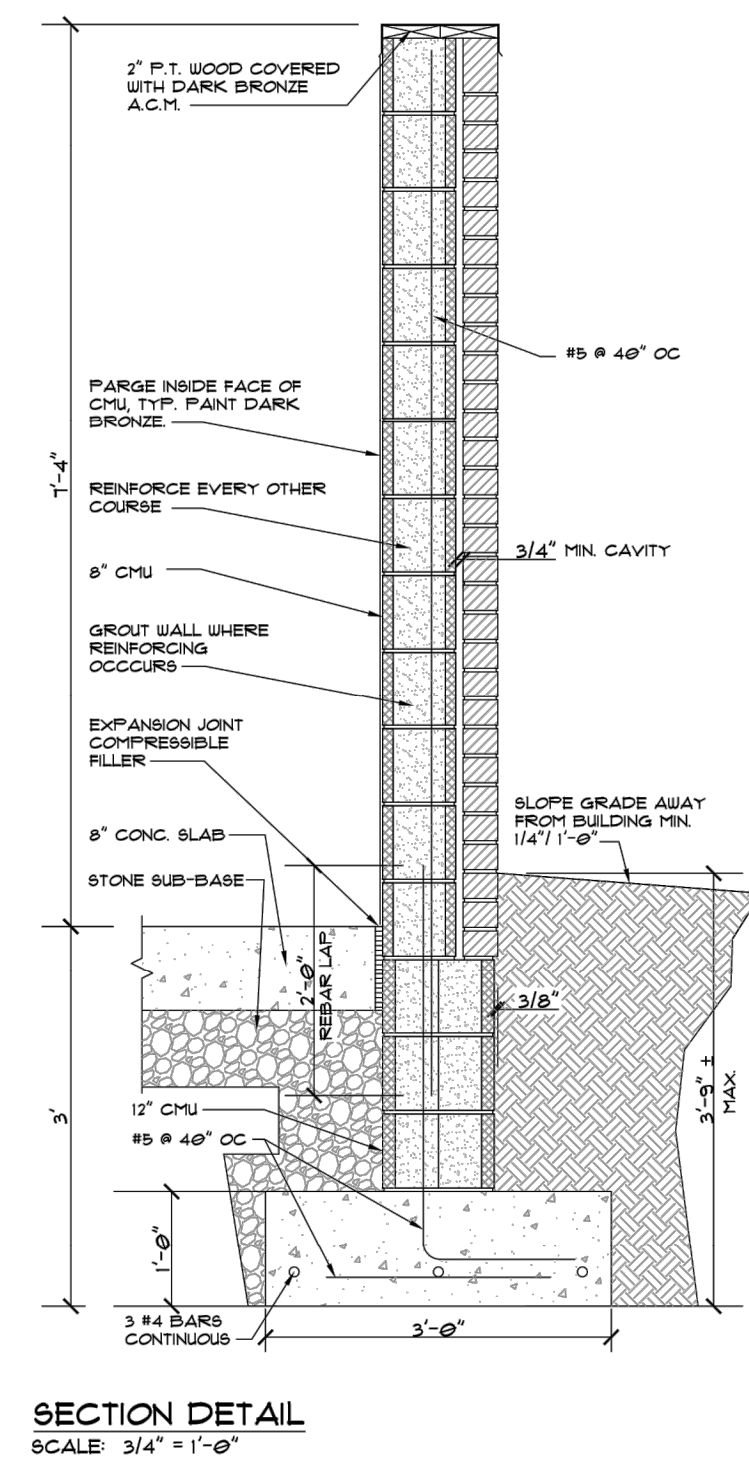
Drawing Title:

CONSTRUCTION DETAILS

C7.0

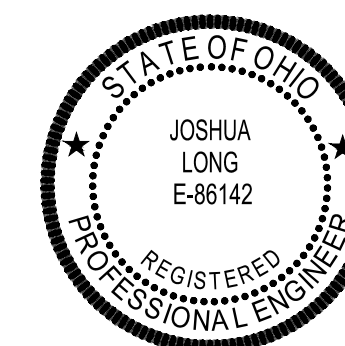


LEGEND				
POLE HEIGHT	SLEEVE SIZE	A	B	COLL. BAR SIZE
40'	12" DIA.	48"	24" DIA.	16" DIA.
35'	10" DIA.	42"	22" DIA.	12" DIA.



CESCO
WWW.CESCOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.206.48



John L.

2023-02-17



SKILKEN | GOLD

SHEETZ - SPRINGBORO. OH

300 W. CENTRAL AVE
SPRINGBORO OHIO 45066

Revisions / Submissions

ID	Description	Date
----	-------------	------

Project Number: 76064

Scale: AS SHOWN

Drawn By: MS

Drawn By: MS
Checked By: BI

Date: 02.17.2023

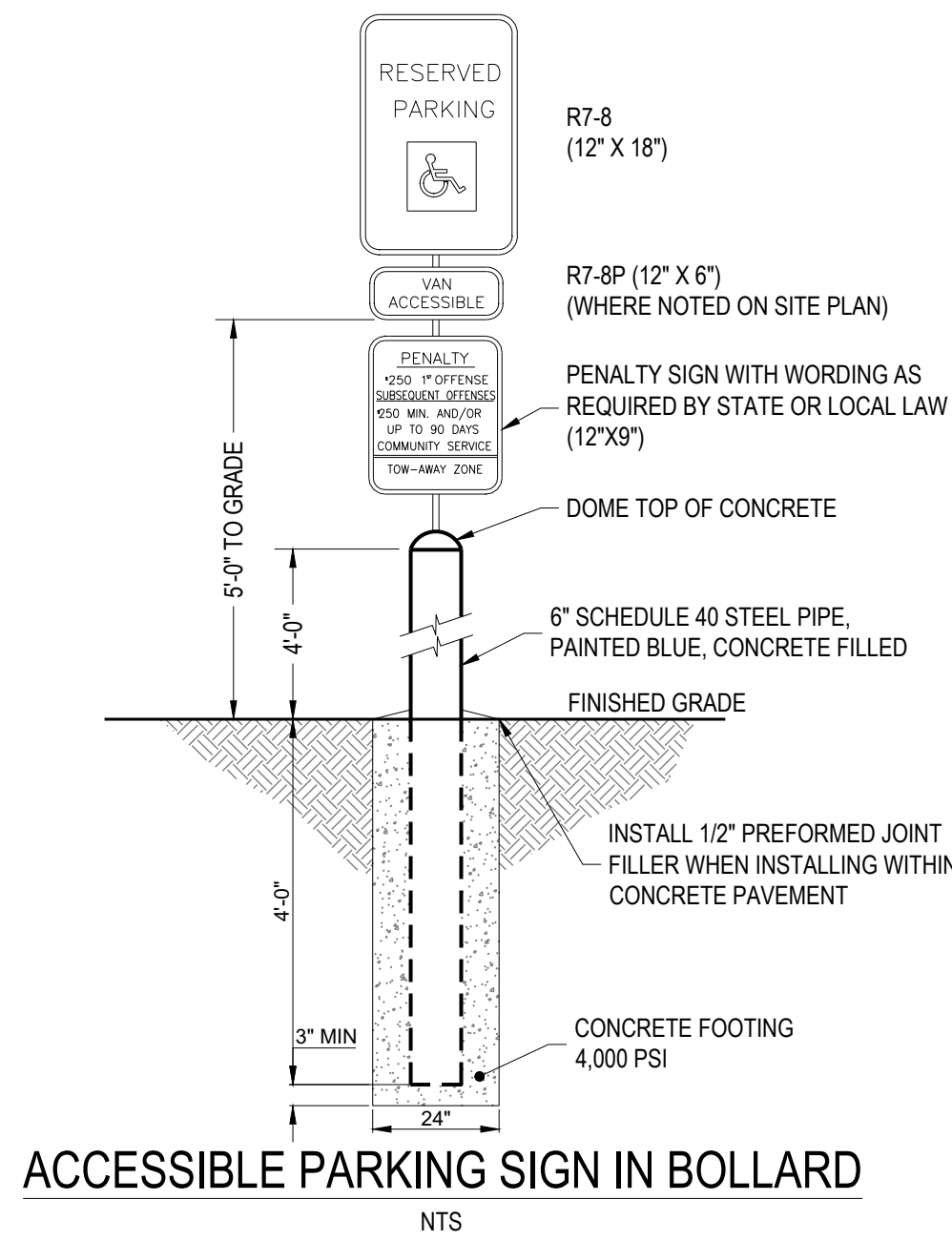
Date: 02.17.202

Issue: NOT FOR CONSTRUCTION

Drawing Title:

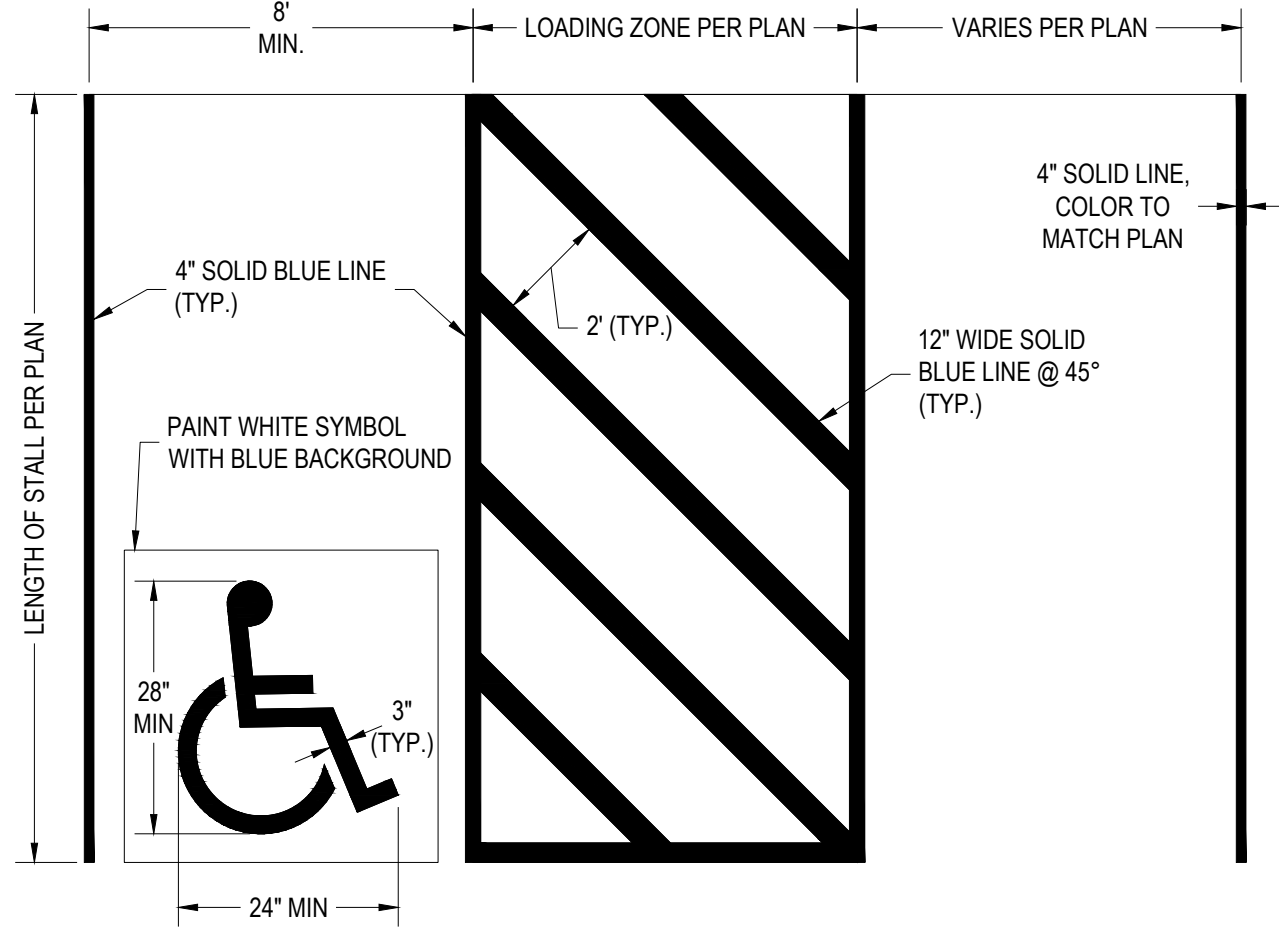
CONSTRUCTION DETAILS

C7.1



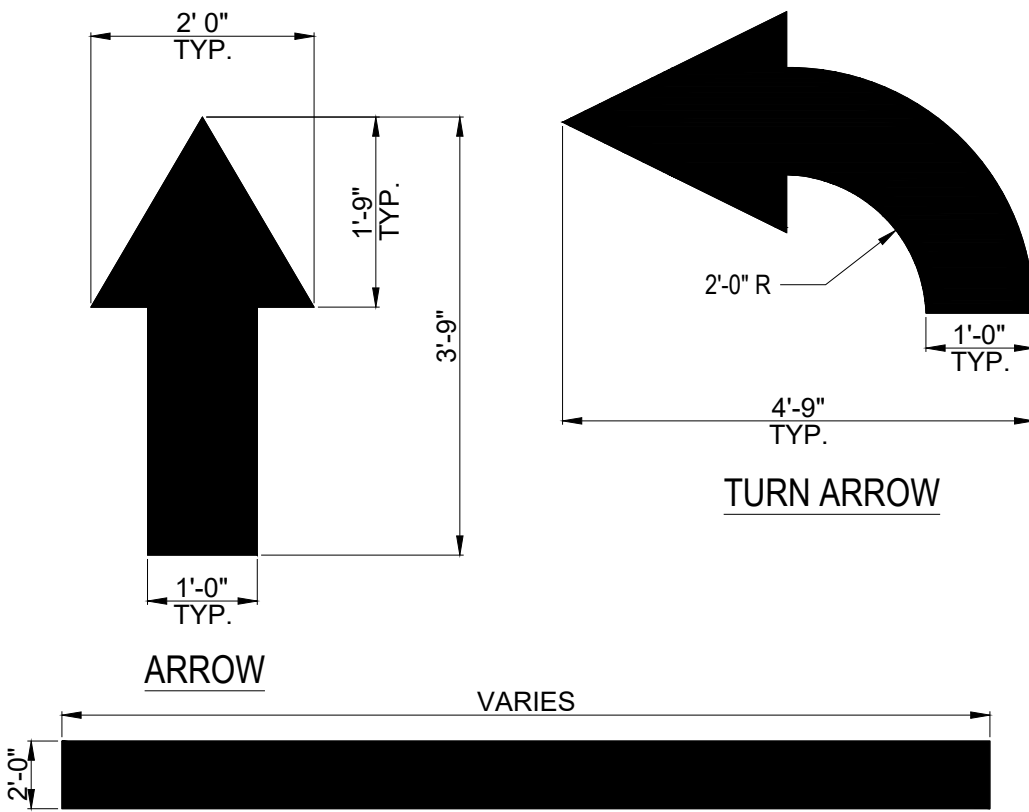
ACCESSIBLE PARKING SIGN IN BOLLARD

NTS



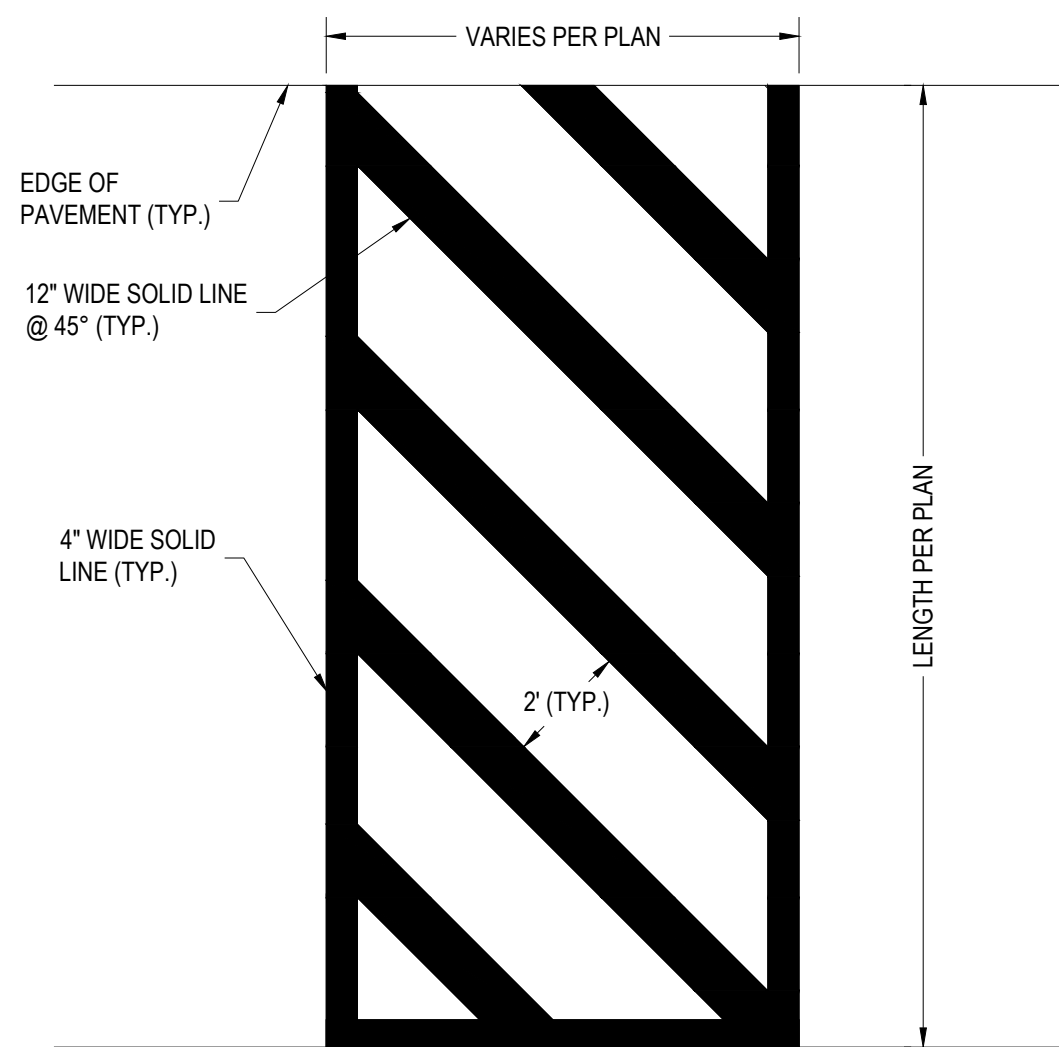
ACCESSIBLE PARKING SPACE STRIPING

NTS



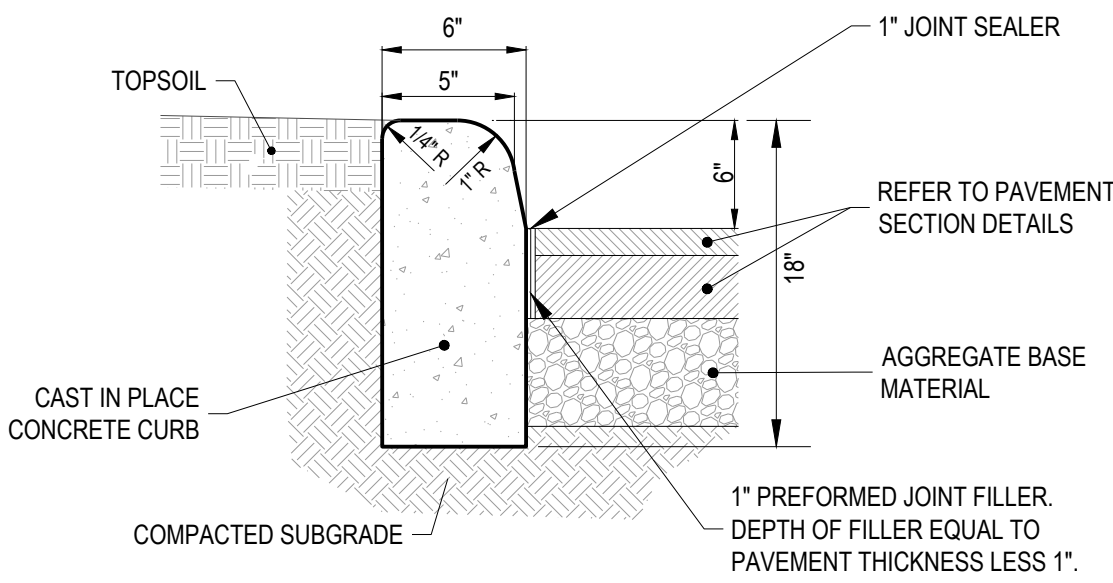
PAVEMENT MARKINGS

NTS



PAINTED ISLAND

NTS

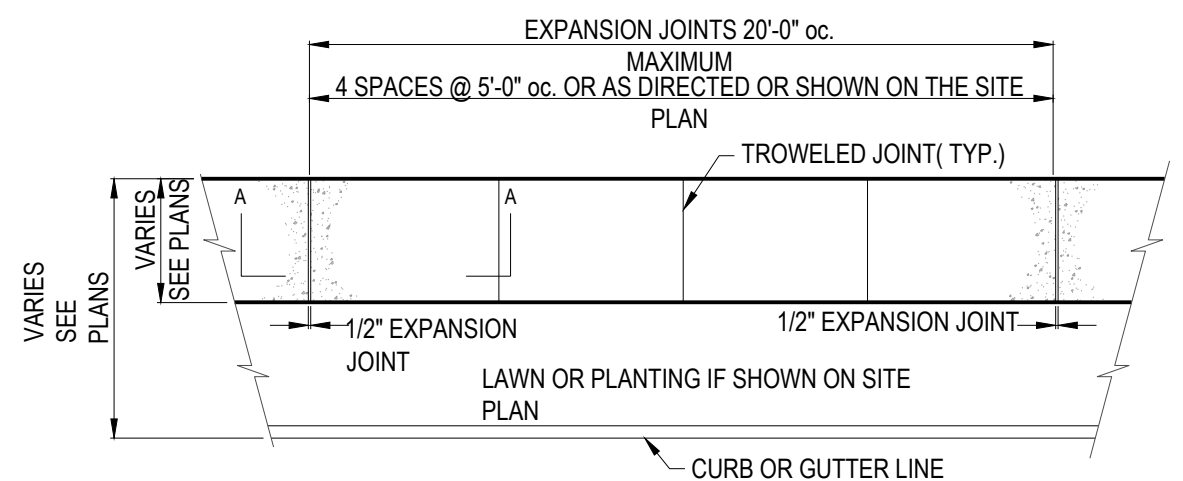


CONCRETE CURB

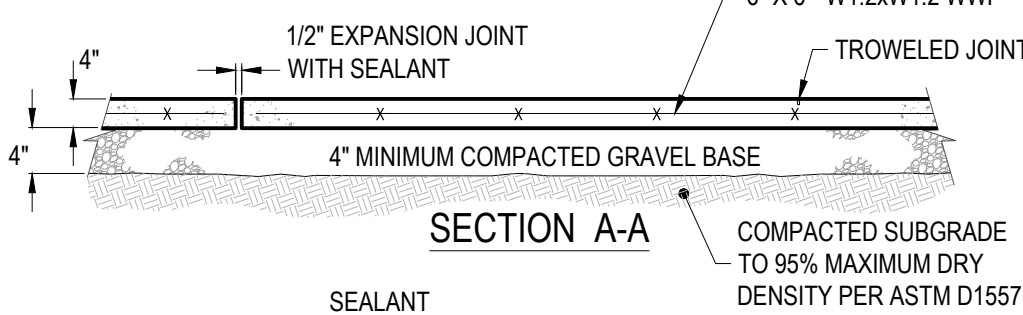
NTS

NOTES:

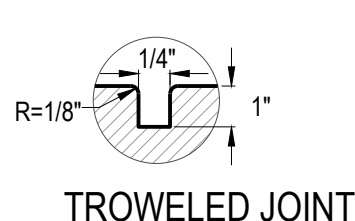
1. ALL CONCRETE CURBS TO BE 4,000 P.S.I. CONCRETE AT 28 DAYS.
2. TRANSVERSE EXPANSION JOINTS, 1/2" WIDE, SHALL BE INSTALLED IN THE CURB 20'-0" APART MAXIMUM.
3. EXPANSION JOINTS SHALL BE FILLED WITH 1/2" PREFORMED JOINT FILLER, RECESSED 1/4" FROM TOP AND FACE OF CURB.
4. MAXIMUM HEIGHT OF CURB TO PAVING IS 6".



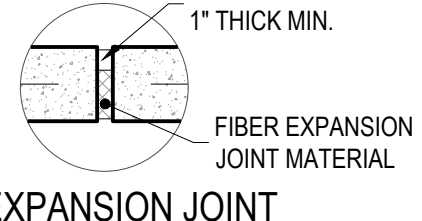
PLAN VIEW



SECTION A-A



TROWELED JOINT



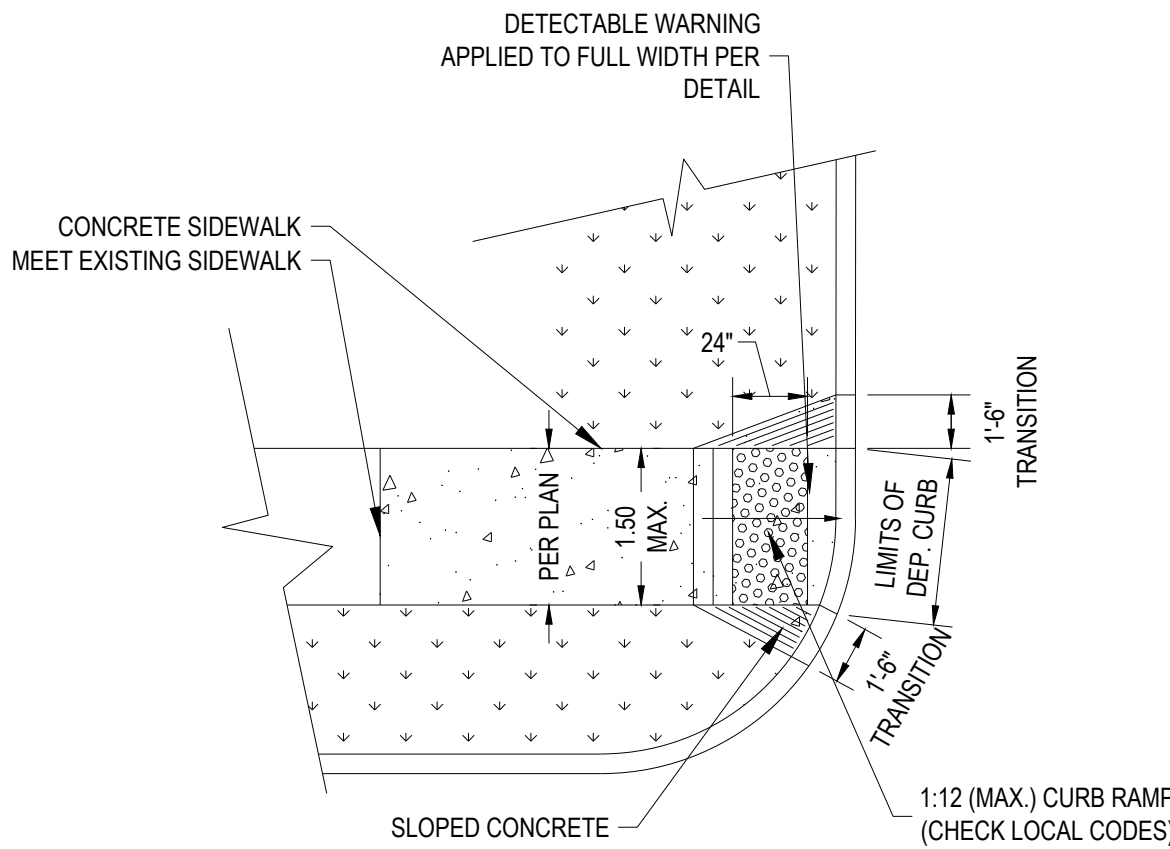
EXPANSION JOINT

NOTES:

1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4000 P.S.I. CONCRETE.
2. SIDEWALK TO BE SLOPED 2% MAX. AWAY FROM BUILDING.
3. ALL SIDEWALKS SHALL BE BROOM FINISHED.

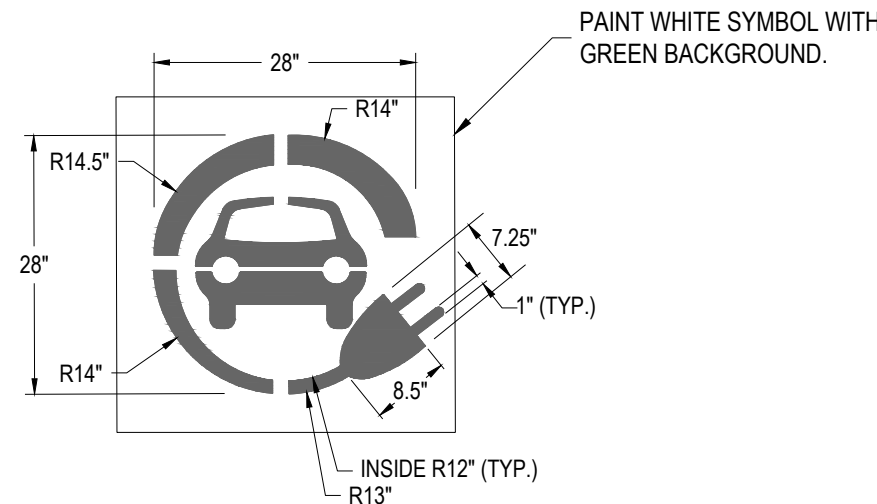
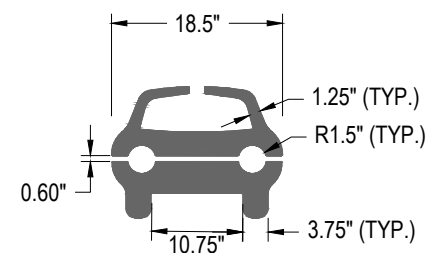
CONCRETE SIDEWALK

NTS



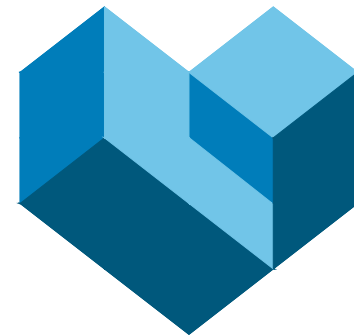
ACCESSIBLE CURB RAMP (TYPE II)

NTS



EV CHARGING PARKING SPACE MARKING

NTS



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



Josh Long

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

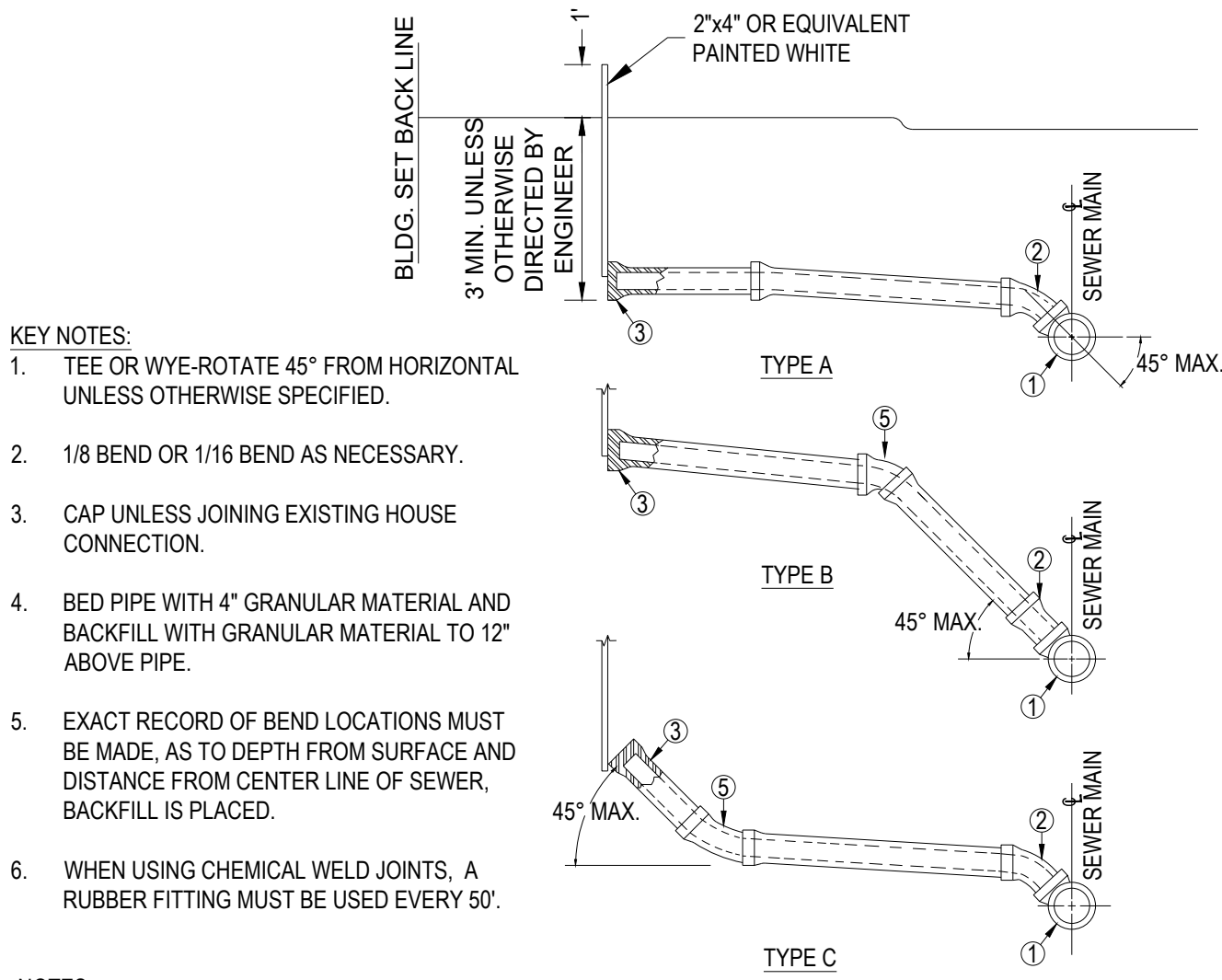
ID	Description	Date
----	-------------	------

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:

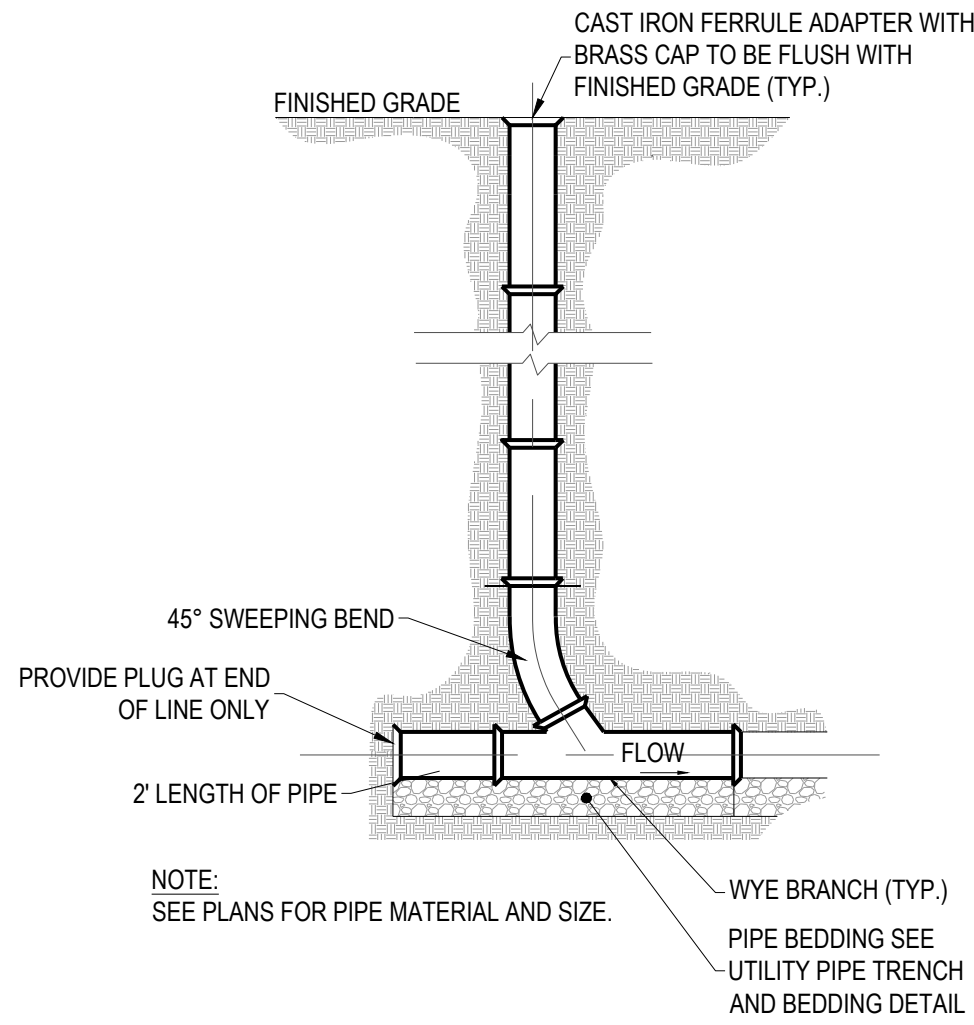
CONSTRUCTION
DETAILS

C7.2



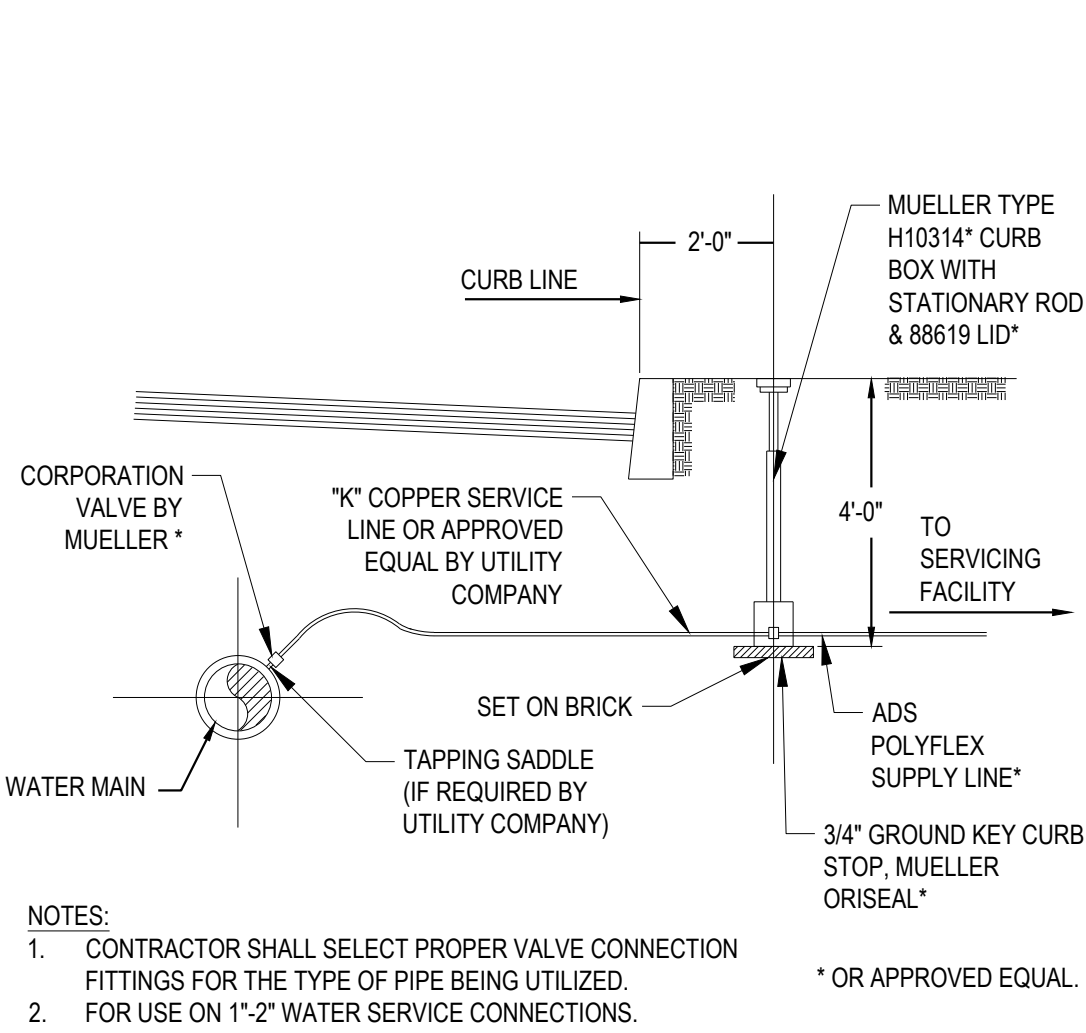
SANITARY LATERAL CONNECTIONS

NTS



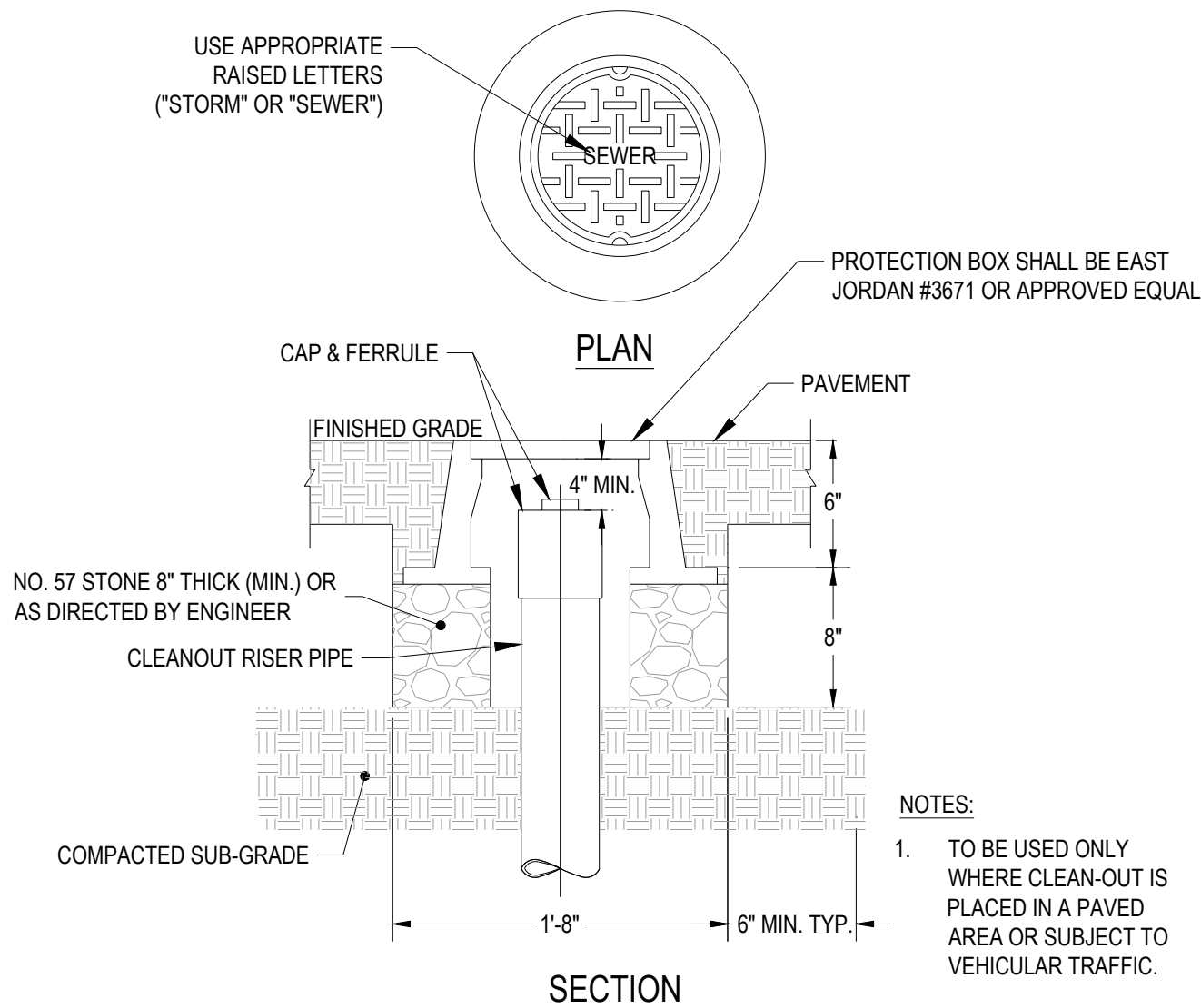
CLEAN OUT

NTS



WATER SERVICE CONNECTION

NTS



CLEANOUT PROTECTION BOX

NTS

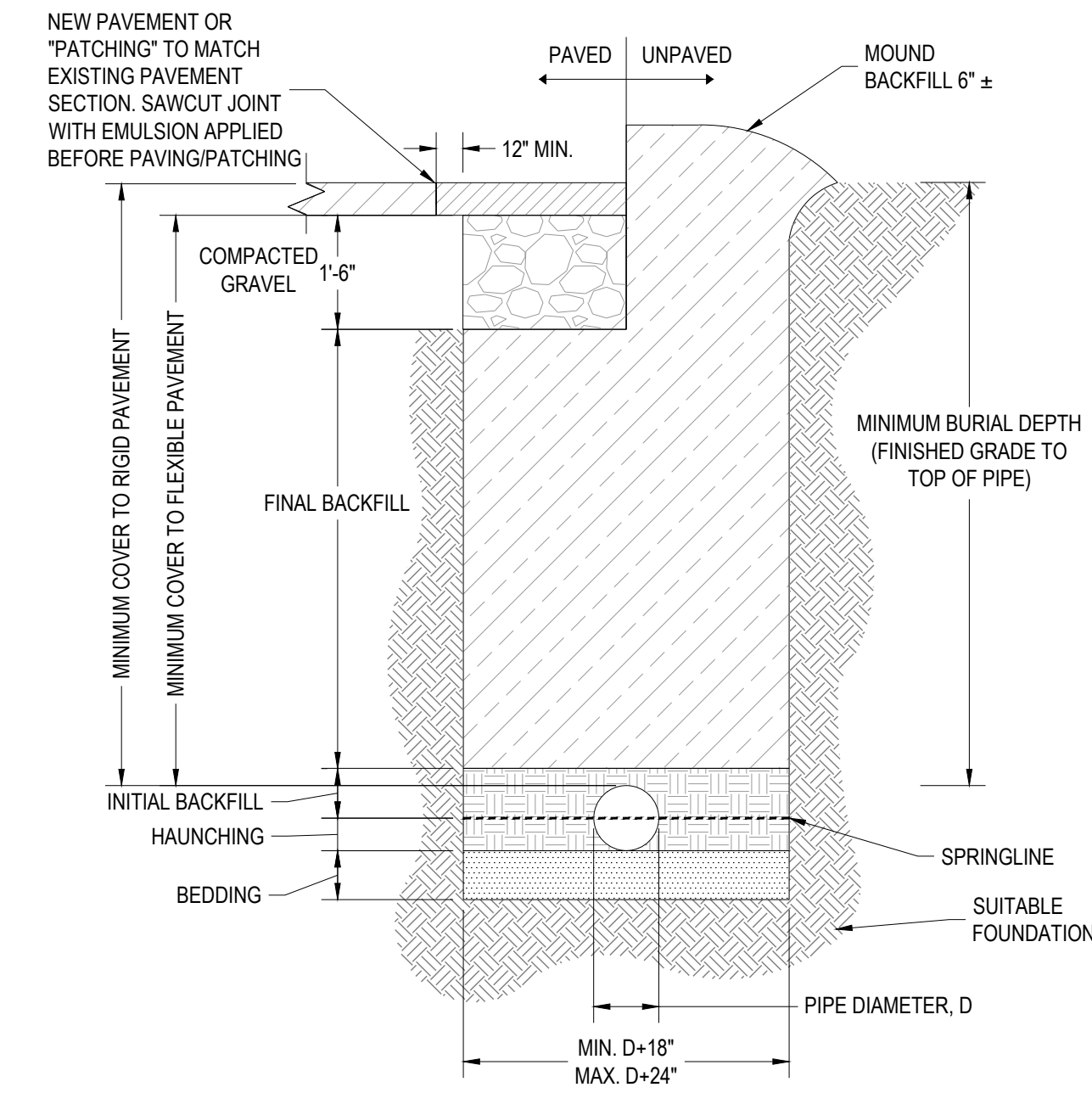


TABLE 1: BACKFILL AND EMBEDMENT MATERIALS

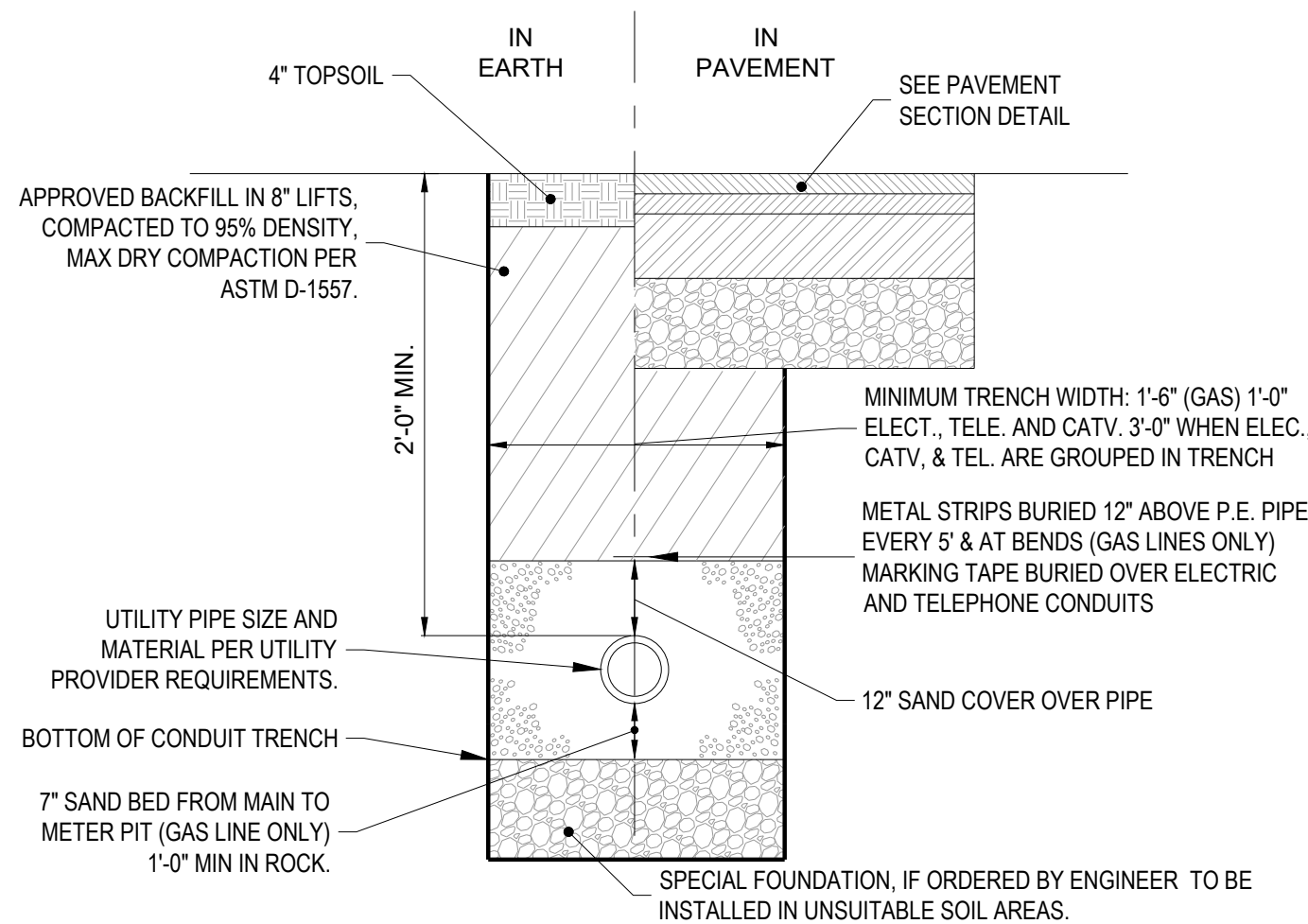
SOIL CLASSIFICATIONS (AS DEFINED IN ASTM D2487 AND D2321)	
CLASS I	CRUSHED ROCK ANGULAR (CLEAN).
CLASS II	GRAVEL AND/OR SANDS, WITH LITTLE OR NO FINES.
CLASS III	SAND/SILT AND SAND/CLAY MIXTURES.
CLASS IV	INORGANIC CLAYS
CLASS V	ORGANIC SILTS, CLAYS, AND PEATS.
SOIL CLASSIFICATIONS (AS DEFINED IN ASCE 15-98)	
CATEGORY I	GRAVELLY SAND
CATEGORY II	SANDY SILT
CATEGORY III	SILTY CLAY

NOTES:

- IN THE CASE OF TRENCH BOTTOM BEING UNSTABLE, THE CONTRACTOR SHALL REPLACE FOUNDATION WITH SUITABLE MATERIAL AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- COMPACTION PERCENTAGES SPECIFIED REFER TO STANDARD PROCTOR PERCENT COMPACTION.
- CONTRACTOR TO MANDATE DEWATERING IN TRENCHES DURING CONSTRUCTION.
- TRENCHING OPERATIONS SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- FOR HDPE AND PVC WATERLINES AND LONG SEWER LATERALS, INSTALL METALLIC LOCATOR TAPE 12" (MIN) AND 18" (MAX) BELOW FINISHED SUBGRADE ELEVATION. INSTALL TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.

UTILITY PIPE TRENCH AND BEDDING

NTS



NOTES:

- CONTRACTOR TO VERIFY SPECIFIC REQUIREMENTS WITH UTILITY PROVIDERS PRIOR TO BEGINNING CONSTRUCTION.

DRY UTILITY TRENCH

NTS

PVC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS I-V*
INITIAL BACKFILL	MINIMUM DEPTH = D/2 (12" COMMON)** CLASS I, II, AND III*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III COMPACTED*
BEDDING	DEPTH = 4-6" CLASS I, II, AND III COMPACTED*

NOTE: HAUNCHING ZONE MUST BE COMPACTED PRIOR TO PLACEMENT AND COMPACTION OF INITIAL AND FINAL BACKFILLS TO PREVENT PIPE DEFLECTION.

HDPE PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	MINIMUM COVER UNPAVED AREAS = 12" MINIMUM COVER PAVED AREAS (D <= 48") = 12"*** CLASS I, II, AND III (COMPACTED 90% SPD) AND CLASS III (COMPACTED 95% SPD)*
INITIAL BACKFILL	MINIMUM DEPTH = D/2 (CAN EXTEND TO THE CROWN OF THE PIPE)** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*
BEDDING	DEPTH (D <= 24") = 4"*** DEPTH (D > 24") = 6"*** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*

NOTE: THE MIDDLE 1/3 BENEATH THE PIPE INVERT IN THE BEDDING ZONE SHALL BE LOOSELY PLACED

RC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CATEGORY I, II, III*
INITIAL BACKFILL	DEPTH = D/2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*
HAUNCHING	DEPTH = D/2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*
BEDDING	MINIMUM DEPTH = D/24 (NOT LESS THAN 3")** IF ROCK FOUNDATION, MINIMUM DEPTH = D/12 (NOT LESS THAN 6")** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*

NOTE: FOR ELLIPTICAL AND ARCH PIPE, D SHALL REPRESENT HORIZONTAL SPAN OF PIPE.

DI PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS I-V*
INITIAL BACKFILL	DEPTH = D/2** CLASS I, II, AND III (APPROX. 90% STANDARD PROCTOR PER AASHTO T-99)*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III*
BEDDING	MINIMUM DEPTH = 4" CLASS I, II, AND III*

*SEE TABLE 1 FOR SPECIFICATIONS ON SOIL MATERIALS

** D = PIPE DIAMETER

*** MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



Josh Long

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

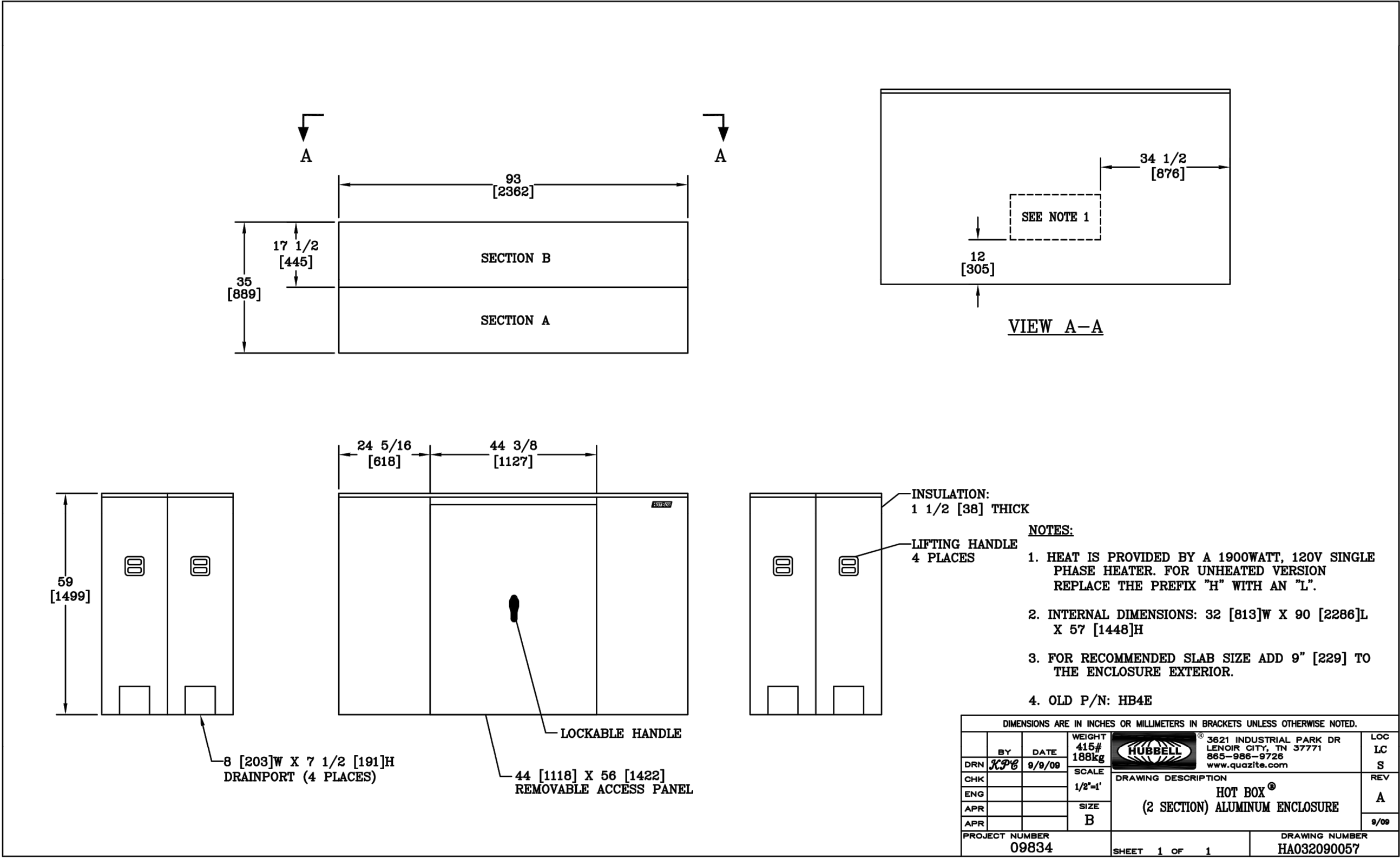
Revisions / Submissions		
ID	Description	Date

Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
UTILITY DETAILS

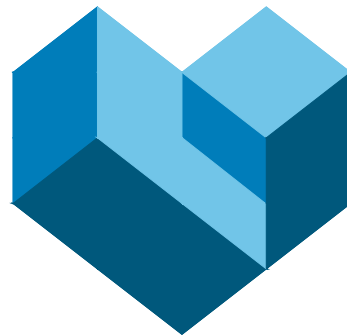
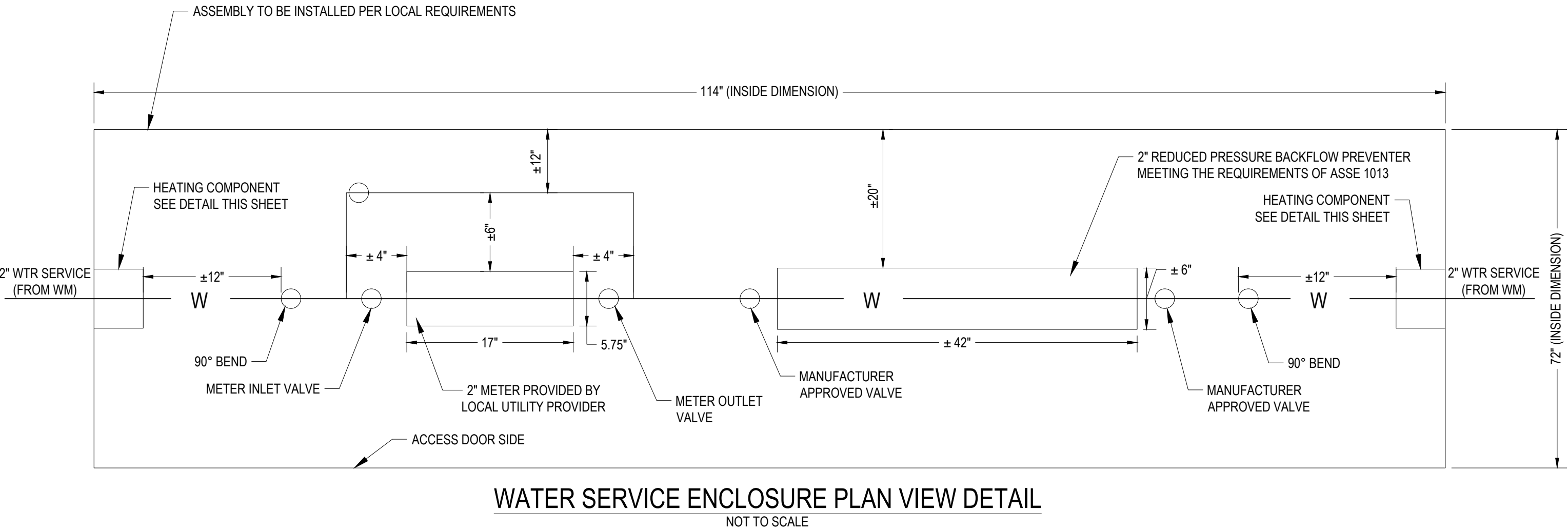
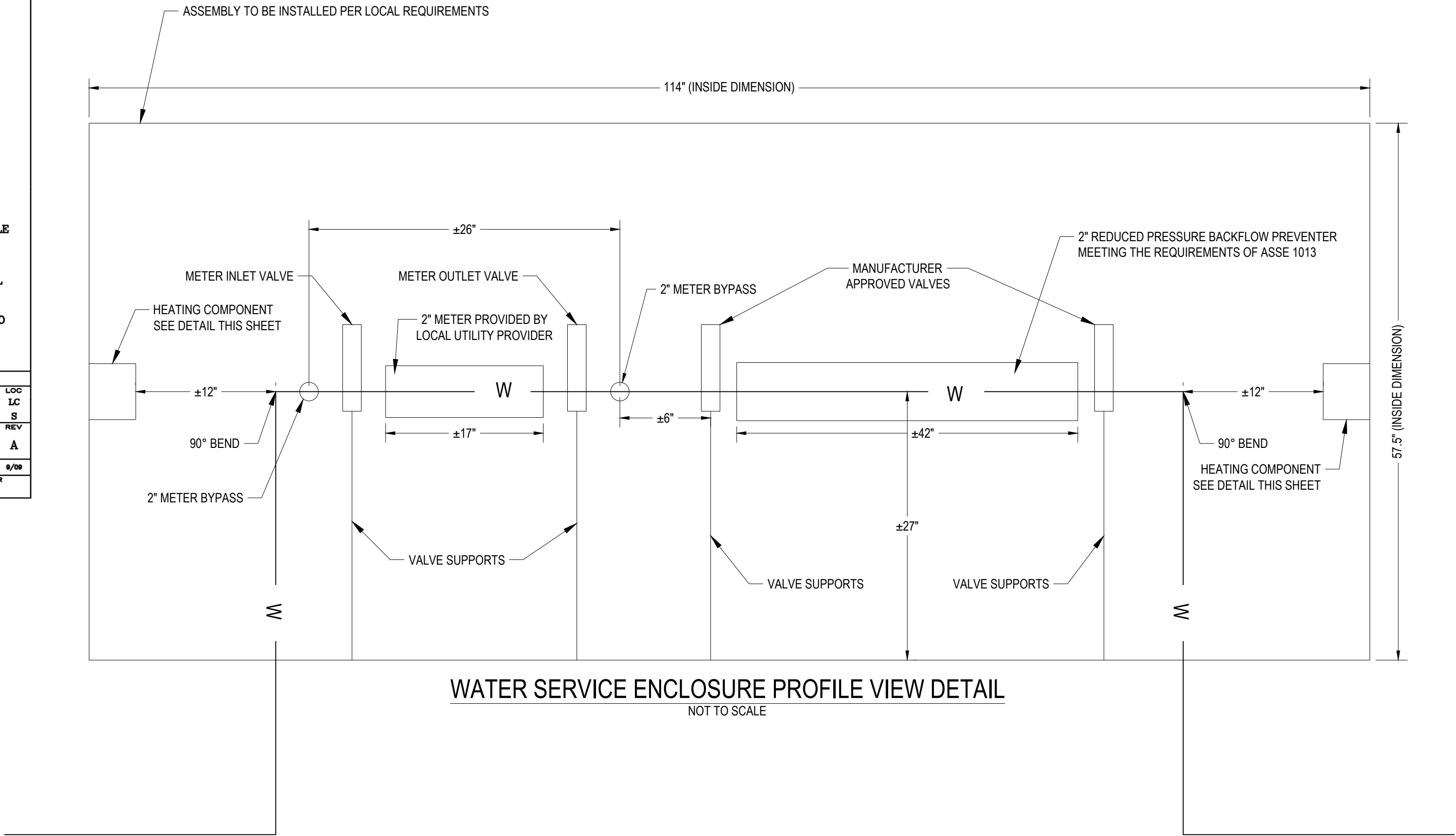
C7.3

W:\PROJECTS\SKILKEN GOLD\760643-Jr Skilken Gold - C-Store - 094 Springboro, OH\05-CIVIL\PLANCONSTRUCTION\760643_C70-DTALS.dwg - 2/17/2023 - Michael Talarico



NOTE:

HUBBELL LOW-POWER/NO-POWER ALARM TO BE INSTALLED WITH ENCLOSURE. MODEL C002350 (OR APPROVED EQUAL)



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



Josh Long

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

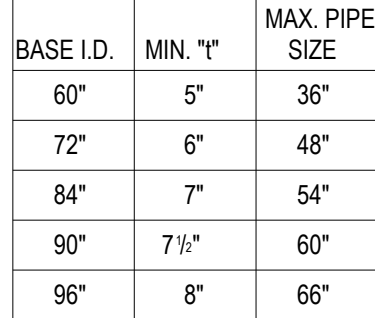
ID	Description	Date
----	-------------	------

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
UTILITY DETAILS

C7.4

1.	SECTIONS OF THE PRECAST MANHOLE SHALL BE CAST AND ASSEMBLED WITH EITHER ALL TONGUE OR ALL GROOVE ENDS UP. LIFT HOLES MAY BE PROVIDED IN EACH SECTION FOR HANDLING.	5.	JOINT SEAL BETWEEN PRECAST MANHOLE SECTIONS AND PIPES SHALL BE RESILIENT AND FLEXIBLE GASKET JOINTS PER ASTM C-923 OR LATEST EDITION.
2.	TOP AND TRANSITION (OR REDUCER) SECTIONS MAY BE EITHER ECCENTRIC CONE, CONCENTRIC CONE, OR FLAT SLAB.	6.	0-RING JOINT, BETWEEN MANHOLE SECTIONS SHALL BE FLEXIBLE BUTYL RUBBER SEAL PER ASTM C-990.
3.	BASES FOR MANHOLES ARE SHOWN WITH MONOLITHIC FLOOR AND RISER WHICH MAY BE CAST IN ONE OR TWO OPERATIONS. A PERMISSIBLE ALTERNATE IS TO CAST AND SHIP THE FLOOR AND BARREL SEPARATELY. OPENINGS FOR INLET AND OUTLET PIPE SHALL BE PROVIDED EITHER WHEN THE UNIT IS CAST OR LATER, TO MEET PROJECT REQUIREMENTS. BOTTOM CHANNELS MAY BE FORMED OF CONCRETE PRECAST IN THE BASE OR BY FIELD CONSTRUCTION. BASES MAY ALSO BE POURED IN PLACE. ALL INLETS AND OUTLETS ARE TO BE IDENTIFIED.	7.	PRECAST MANHOLE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478. CONCRETE SHALL BE 4000 PSI.
4.	OPENINGS IN RISER SECTIONS FOR 18" AND SMALLER INLET PIPES SHALL BE PREFABRICATED. FLEXIBLE CONNECTIONS SHALL BE PROVIDED FOR SANITARY AND COMBINED SEWERS.	8.	SEAL LIFT HOLES WITH NON-SHRINK GROUT.
		9.	FRAME AND COVER
		9.1.	FRAME WITH SOLID COVER USE EAST JORDAN 1710A, WITH APPROPRIATE LETTERING OR APPROVED OTHER.
		9.2.	FRAME WITH GRATE USE EAST JORDAN 1710M OR APPROVED OTHER.



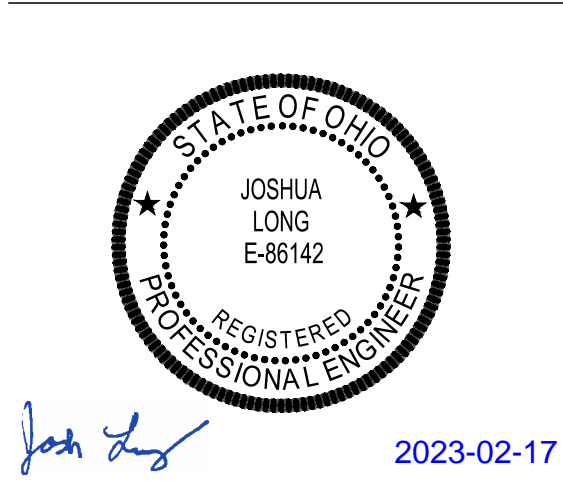
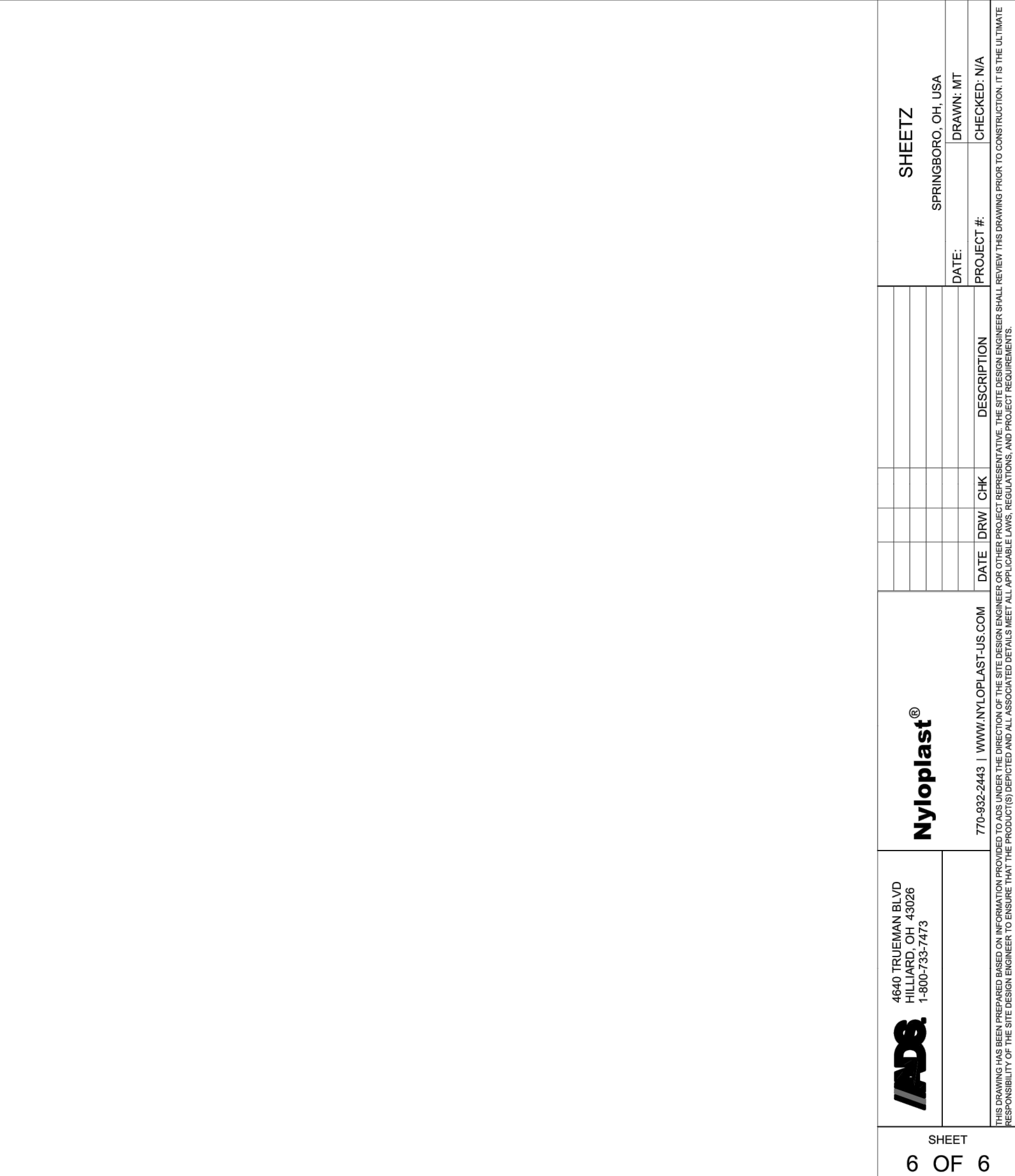
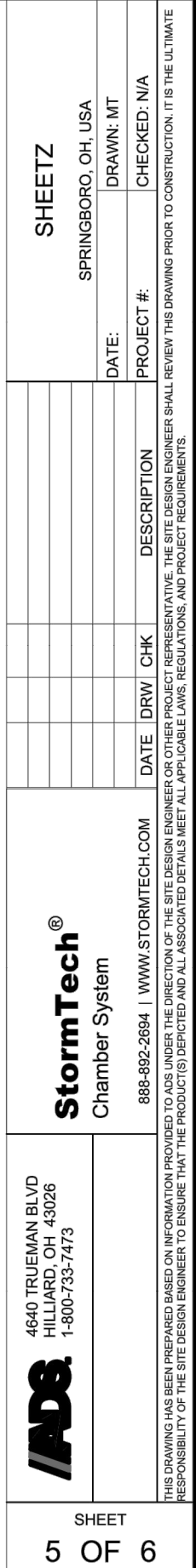
SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

Revisions / Submissions		
ID	Description	Date

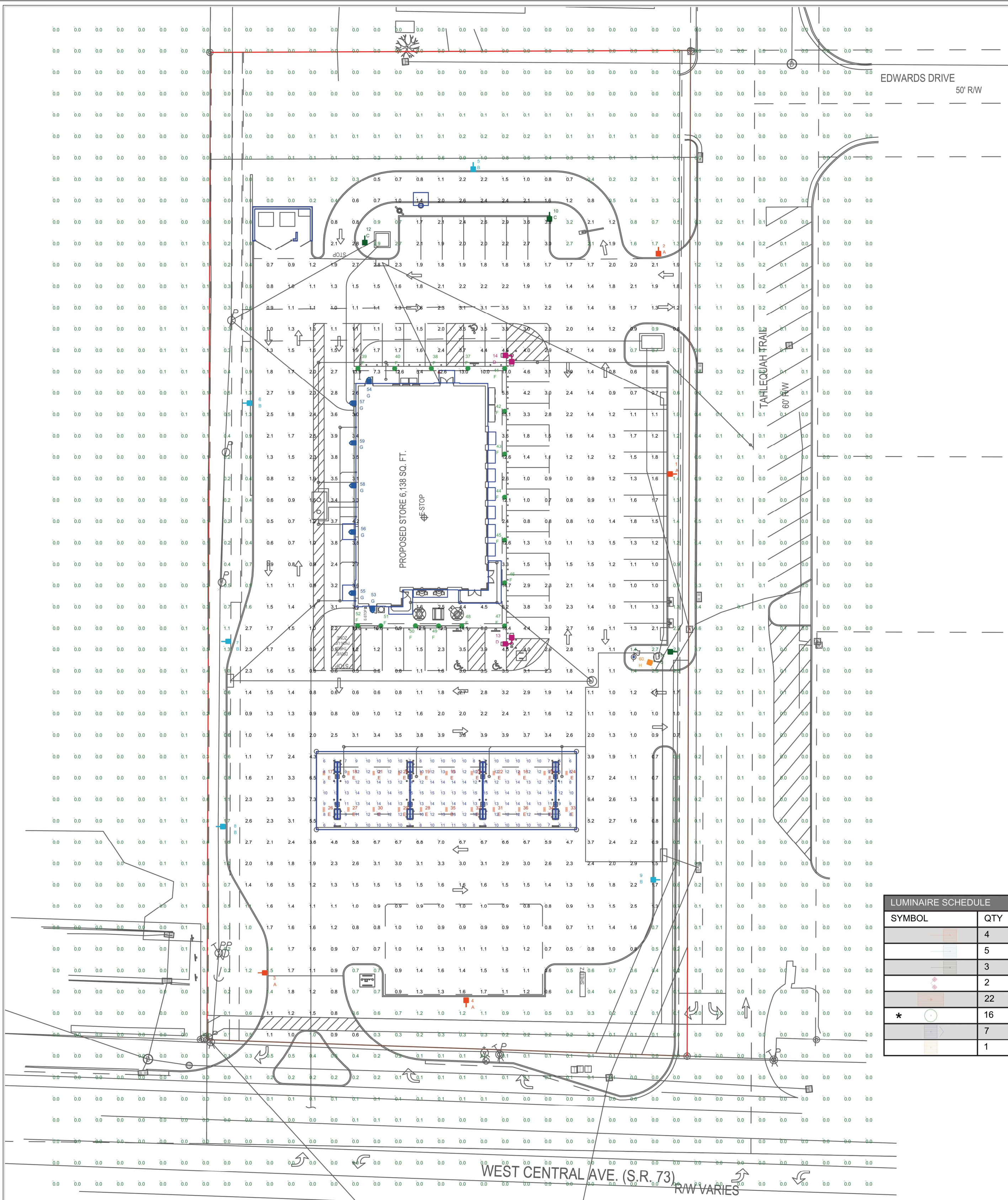
Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
STORM DETAILS

C7.5



W:\PROJECTS\SKILKEN GOLD\760645-01 Skilken Gold - C-Store - 094 Springboro, OH\05-CIVIL\PLANCONSTRUCTION\760643_C80-PHOTO.dwg - 2/17/2023 - Michael Talalico



THIS SITE IS LOCATED IN A REGION WHERE
LIGHTING IS REGULATED BY LOCAL ORDINANCES

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING
AND DOES NOT RECOMMEND THESE LEVELS FOR
SECURITY AND SAFETY REASONS

NOTE:
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE PAVED AREA	2.29	17.0	0.5	4.58	34.00
UNDEFINED	0.14	3.2	0.0	N.A.	N.A.
UNDER CANOPY	11.01	15	4	2.75	3.75

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	CATALOG LOGIC
	4	A	SINGLE	5100	1.030	B1-U0-G1	48	192	CREE, INC.
	5	B	SINGLE	5250	1.030	B1-U0-G1	48	240	CREE, INC.
	3	C	SINGLE	6650	1.030	B1-U0-G2	48	144	CREE, INC.
	2	D	2 @ 90 DEGREES	8874	1.030	B2-U0-G2	60	240	CREE, INC.
	22	E	SINGLE	3469	1.030	B2-U0-G1	36	792	BETALED, A DIVISION OF RUUD LIGHTING
	16	F	SINGLE	1441	0.845	B1-U0-G1	22	352	CREE, INC.
	7	G	SINGLE	1964	1.030	B1-U0-G1	25	175	CREE, INC.
	1	H	SINGLE	6225	1.040	B4-U0-G0	48	48	CREE, INC.

* LLF INCLUDES .82 SCALE FACTOR BASED ON 5700K MODEL TO ADJUST LUMENS PER SPECIAL 3000K VERSION

LUMINAIRE LOCATION SUMMARY			
LUM NO.	LABEL	MTG. HT.	TILT
1	A	23	0
2	A	23	0
3	A	23	0
4	A	23	0
5	B	23	0
6	B	23	0
7	B	23	0
8	B	23	0
9	B	23	0
10	C	23	0
11	C	23	0
12	C	23	0
13	D	23	0
14	D	23	0
15	E	17.6	-5
16	E	17.6	-5
17	E	17.6	-5
18	E	17.6	-5
19	E	17.6	-5
20	E	17.6	-5
21	E	17.6	-5
22	E	17.6	-5
23	E	17.6	-5
24	E	17.6	-5
25	E	17.6	-5
26	E	19.07	-5
27	E	19.07	-5
28	E	19.07	-5
29	E	19.07	-5
30	E	19.07	-5

LUMINAIRE LOCATION SUMMARY (CONTINUED)			
LUM NO.	LABEL	MTG. HT.	TILT
31	E	19.07	-5
32	E	19.07	-5
33	E	19.07	-5
34	E	19.07	-5
35	E	19.07	-5
36	E	19.07	-5
37	F	3	0
38	F	3	0
39	F	3	0
40	F	3	0
41	F	3	0
42	F	3	0
43	F	3	0
44	F	3	0
45	F	3	0
46	F	3	0
47	F	3	0
48	F	3	0
49	F	3	0
50	F	3	0
51	F	3	0
52	F	3	0
53	G	9	0
54	G	9	0
55	G	9	0
56	G	9	0
57	G	12	0
58	G	12	0
59	G	12	0
60	H	1	166



REV.	BY	DATE	DESCRIPTION
R1	JSG	11/3/22	REVISED PER UPDATED SITE PLAN. REWORK LIGHTING PER SPRINGBORO REGULATIONS
R2	DAR	2/16/23	REVISED PER CHANGES TO PAVING AND CURBS ALONG SOUTH AND EAST PROPERTY LINES, FLAG POLE RELOCATED

DISCLAIMER
ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PHOTOMETRIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RENDERINGS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDINGS, SURROUNDING AREA FOR PRODUCTS(S) SUCH AS EXISTING POLES, ANCHOR BOLTS, BASES, ARCHITECTURAL AND SIGNAGE STRUCTURES, LANDSCAPING PLANS, LIGHTING PLANS, FIXTURE SELECTIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PROJECTS IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME L. LEONARD IS STRICTLY PROHIBITED.

SCALE:
1" = 30'
DWG SIZE:
D

LAYOUT BY:
DAR
DATE:
8/19/22

PROJECT NAME:
SHEETZ
SPRINGBORO, OH
DRAWING NUMBER:
RL-8224-S1-R2



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OH 45066

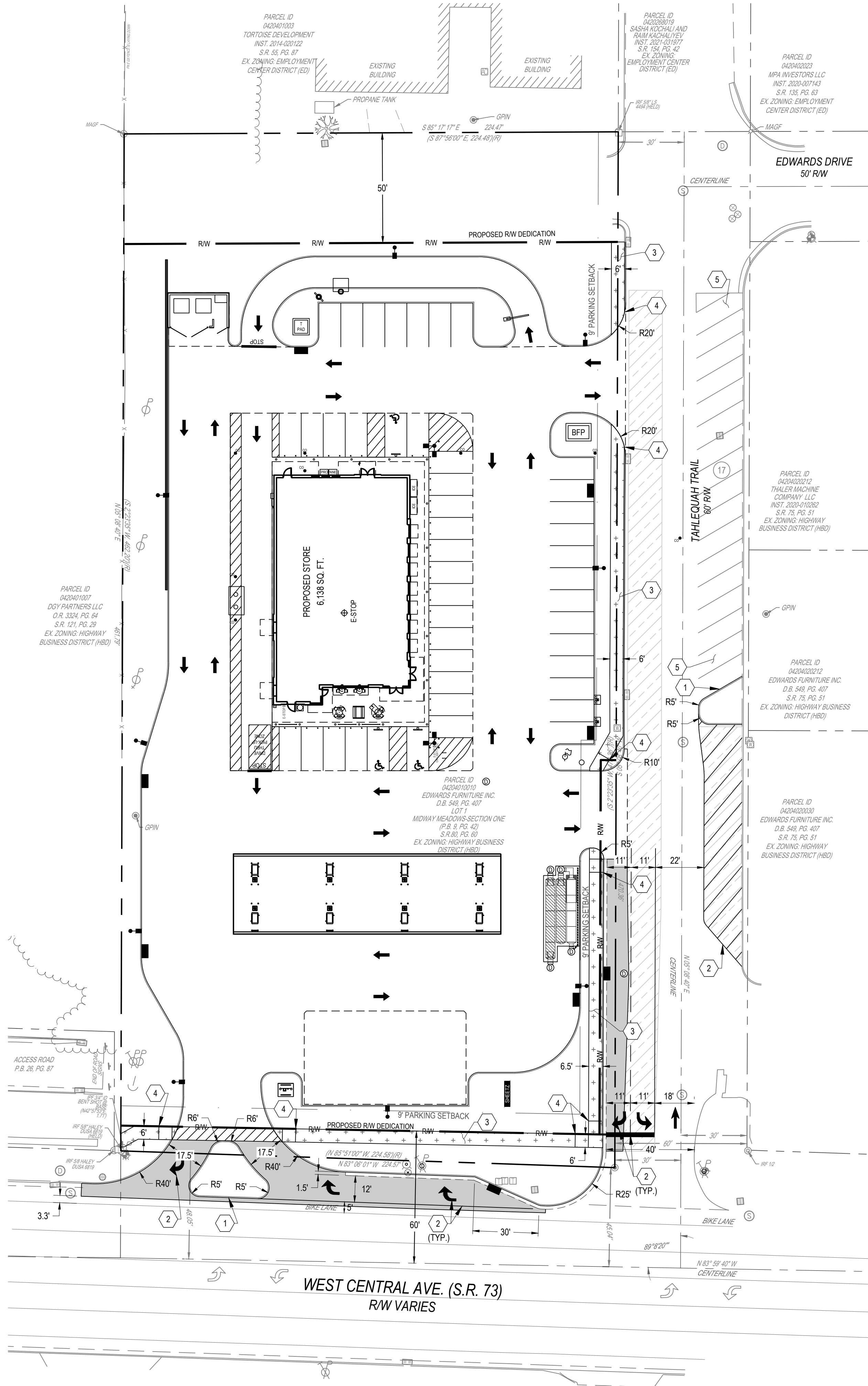
Revisions / Submissions		
ID	Description	Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
PHOTOMETRIC PLAN

C8.0

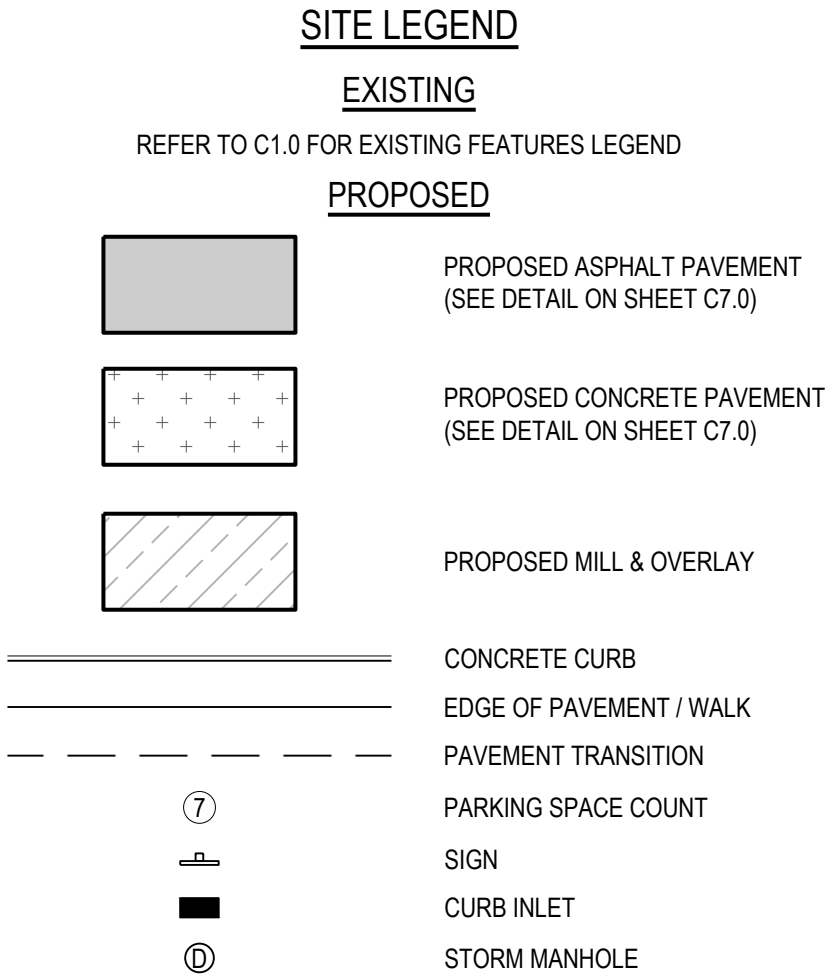
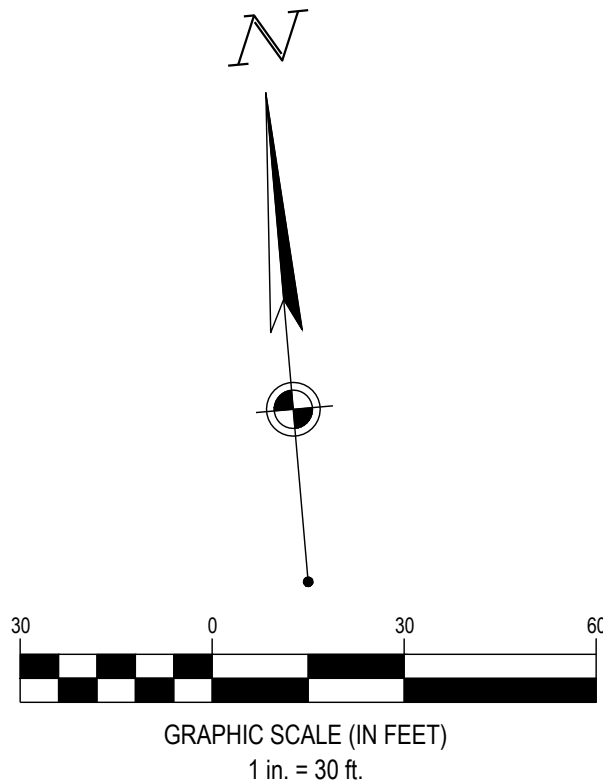
W:\PROJECTS\SKILKEN GOLD\760645-01 Skilken Gold - 084 Springboro, OH\05-CIVIL\PLAN\CONSTRUCTION\760643_R10_SITE.dwg - 2/17/2023 - Michael Talario



NOTE:
FOR PROPOSED PRIVATE IMPROVEMENTS, REFER TO SHEET C3.0.

CODED NOTES:

1. PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C7.2.
2. PROPOSED PAVEMENT MARKINGS.
3. PROPOSED SIDEWALK. SEE DETAIL ON SHEET C7.2.
4. PROPOSED ADA RAMP. SEE DETAIL ON SHEET C7.2.
5. PROTECT EXISTING PARKING SPACES TO REMAIN.



2023-02-17



REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions		
ID	Description	Date

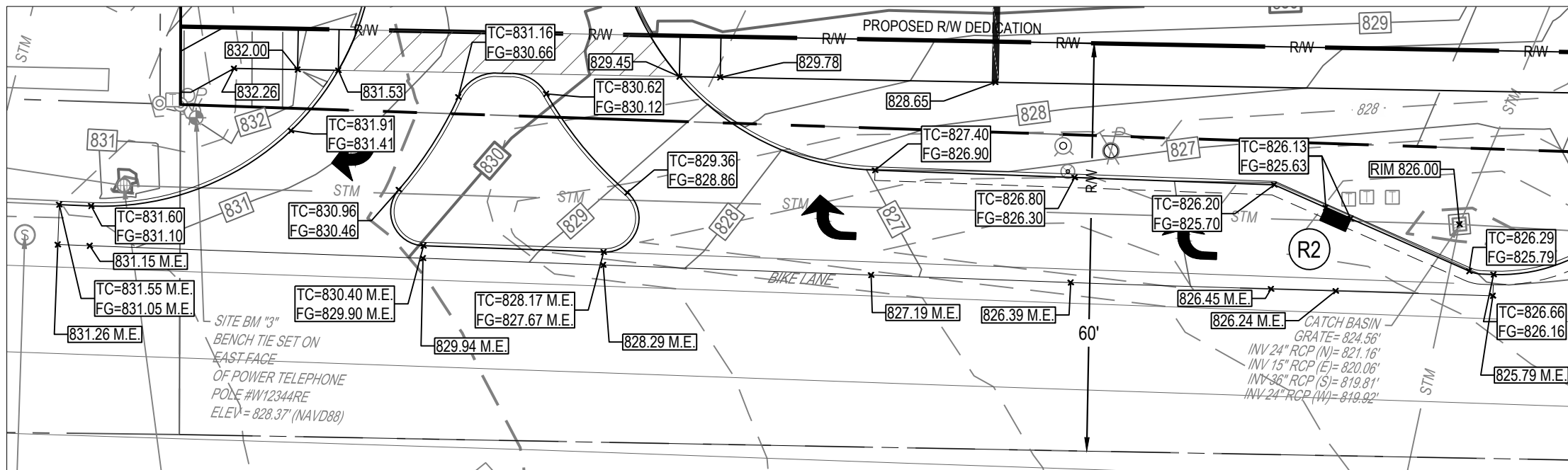
Project Number:	760643
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	02.17.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
ROADWAY SITE PLAN

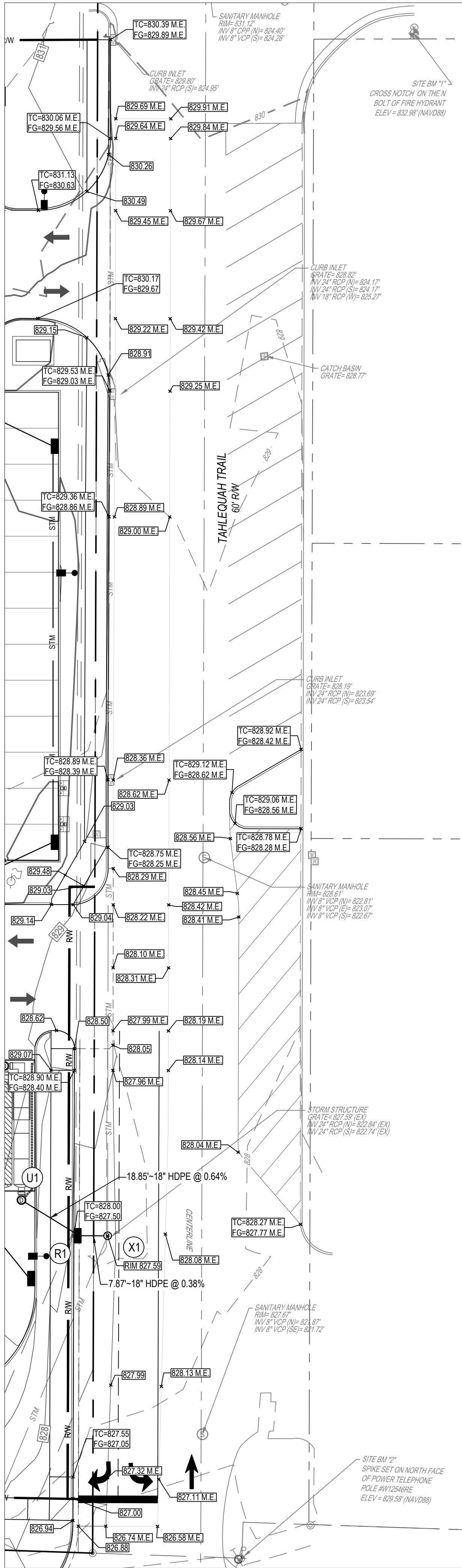
R1.0

W:\PROJECTS\SKILKEN GOLD\DWG6045-01 Skilken Gold - C-Store - 094 Springboro, OH\05-CIVIL\PLAN\CONSTRUCTION\0706043_R20- GRADING.dwg - 2/17/2023 - Michael Talarico

NOTE:
FOR PROPOSED PRIVATE IMPROVEMENTS, REFER TO SHEET C4.0.



STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
R1	PRECAST CURB INLET	827.52	822.88 (18") NW 822.88 (18") E
R2	PRECAST CURB INLET W/ DOGHOUSE STRUCTURE & BASE	825.66	820.25 (24") W 820.25 (24") E
X1	EX. CURB INLET W/ PROPOSED CLOSED-LID MH RIM REPLACEMENT	827.59	822.85 (18") W 822.84 (24") N 822.74 (24") SW



BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472416.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546RE
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344RE

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS

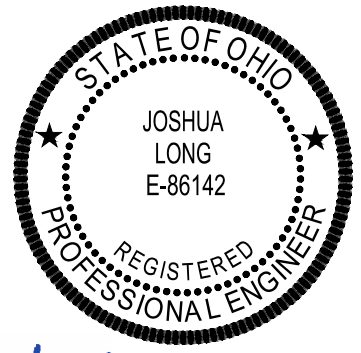


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

GRADING LEGEND	
EXISTING	PROPOSED
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAK
	STRUCTURE NUMBER
	STORM MANHOLE
	CURB INLET
	FINISHED GRADE ELEVATION
	TOP OF CURB ELEVATION
	MATCH EXISTING ELEVATION
	FINISHED GRADE ELEVATION
	STORM STRUCTURE RIM ELEVATION



2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826



2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

ID Description Date

Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

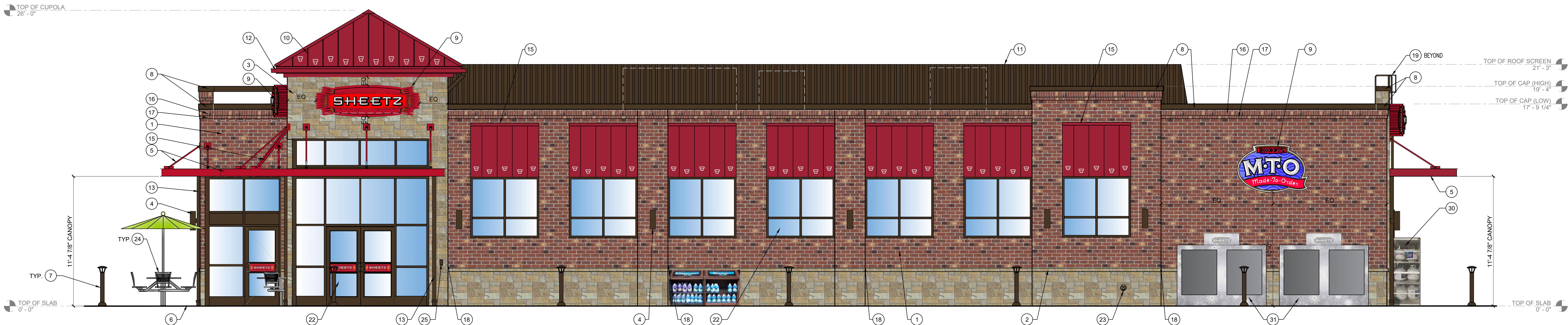
Checked By: BP

Date: 02.17.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:
ROADWAY GRADING
PLAN

R2.0



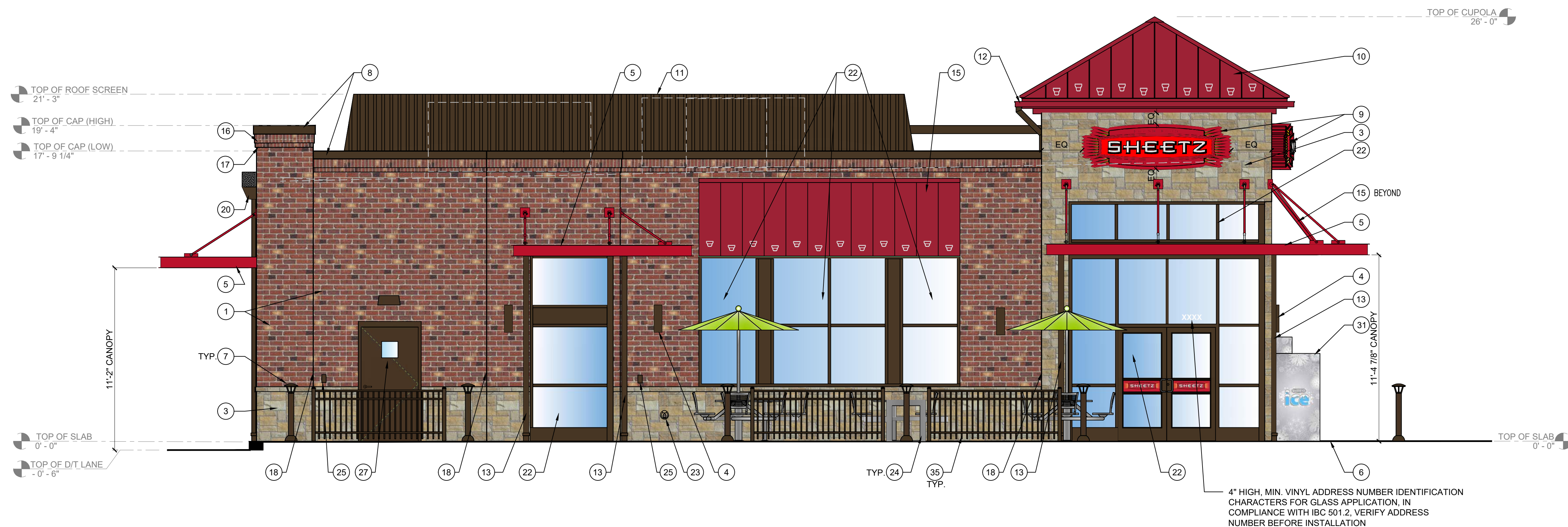
1 FRONT ELEVATION - EAST
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

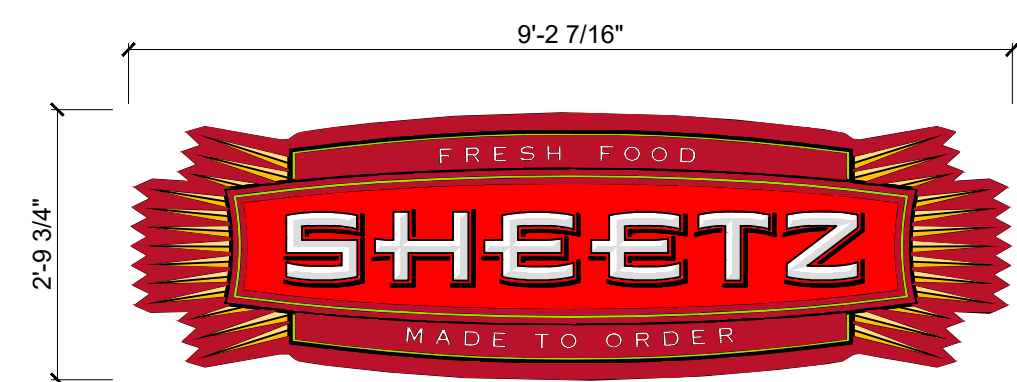
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCIA WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

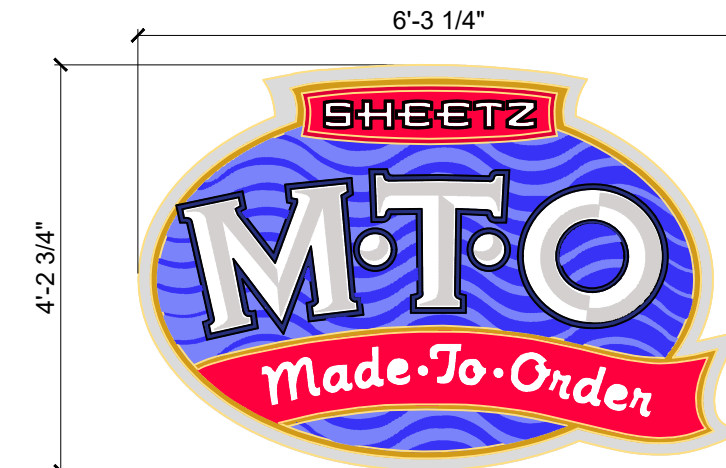
- BRICK VENEER (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CAST STONE SILL (COLOR = CRAB ORCHARD)
- ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- BRICK PAVER WALKWAY
- LIGHTED BOLLARD
- METAL COPING (COLOR = DARK BRONZE)
- WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED. SEE SHEET A200.
- STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- GUTTER (COLOR = RED)
- DOWNSPOUT (COLOR = DARK BRONZE)
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY (ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- BRICK SOLDIER COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- BRICK ROWLOCK COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM
- EXTERIOR HOSE BIB
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
- ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- HM DOOR AND FRAME (COLOR = DARK BRONZE)
- EMERGENCY WATER CONNECTION
- SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD (COLOR = DARK BRONZE)
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE



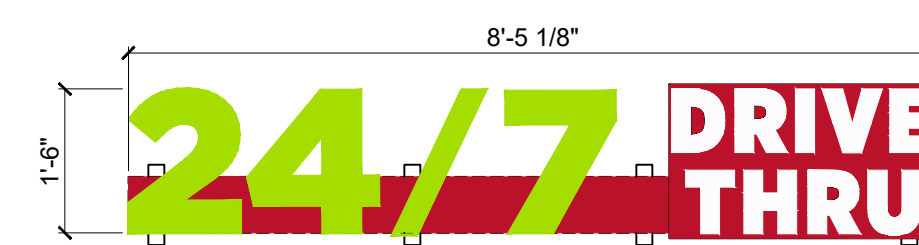
2 LEFT ELEVATION - SOUTH
1/4" = 1'-0"



A WALL MOUNTED "SHEETZ" BUILDING SIGN
1/2" = 1'-0"



B WALL MOUNTED "M.T.O." BUILDING SIGN
1/2" = 1'-0"



C WALL MOUNTED "24/7 DRIVE THRU" BUILDING SIGN
1/2" = 1'-0"

Convenience Architecture
and Design P.C.
351 Sheetz Way, Claysburg, PA 16625
phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE

SPRINGBORO

Int. of West Central Avenue
And Tahlequah Trail
Springboro, OH 45066

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

ISSUE: 09-08-2022
SITE ID NO: 214357
AUTHOR BY: RJK
REVIEW BY: NMV
VERSION: 6139_v1.2

EXTERIOR
ELEVATIONS

A200

PRELIMINARY ELEVATIONS

PROJECT NAME:
NEW SHEETZ STORE

SPRINGBORO

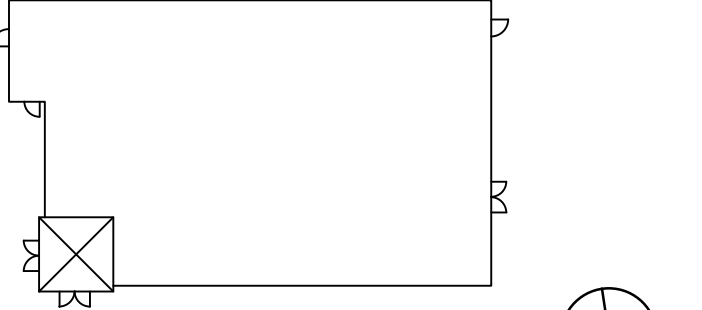
Int. of West Central Avenue
And Tahlequah Trail
Springboro, OH 45066

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL



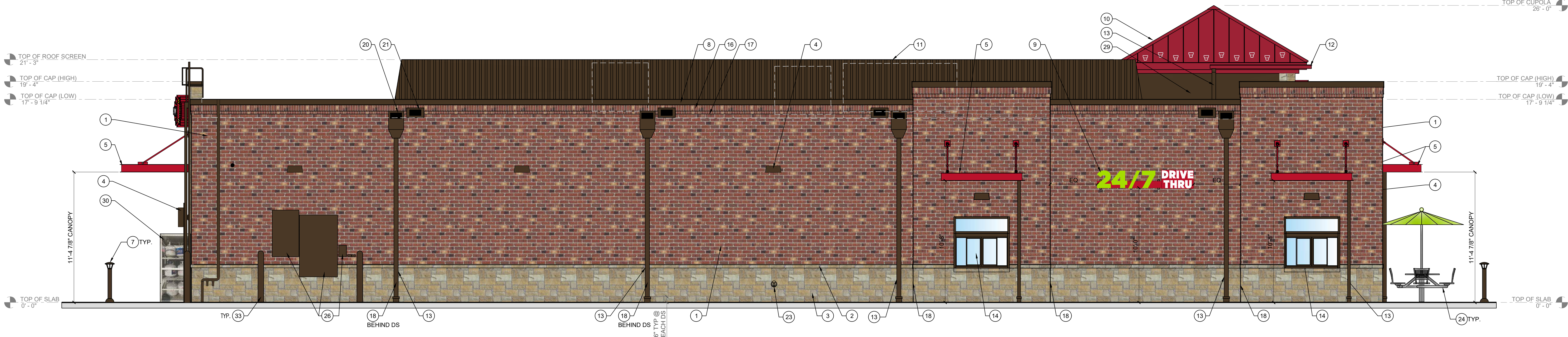
KEYPLAN

ISSUE: 09-08-2022
SITE ID NO: 214357
AUTHOR BY: RJK
REVIEW BY: NMV
VERSION: 6139_v1.2

EXTERIOR
ELEVATIONS

A201

PRELIMINARY ELEVATIONS



3 REAR ELEVATION - WEST
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

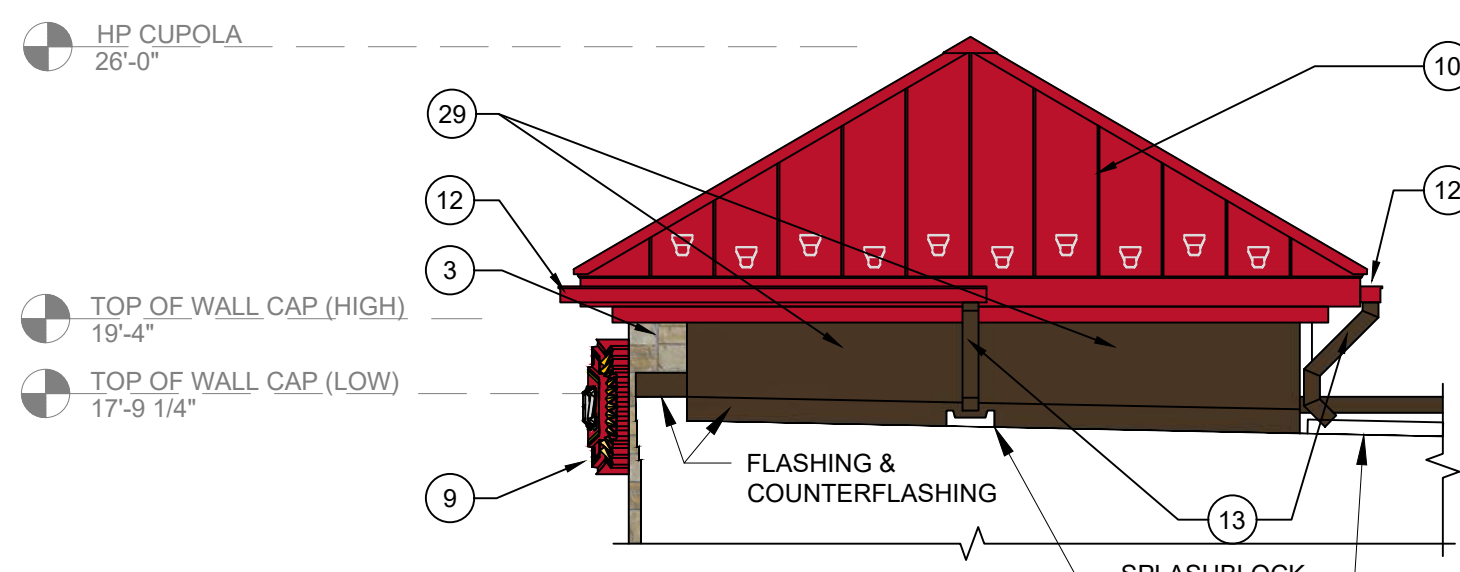
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCIAE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

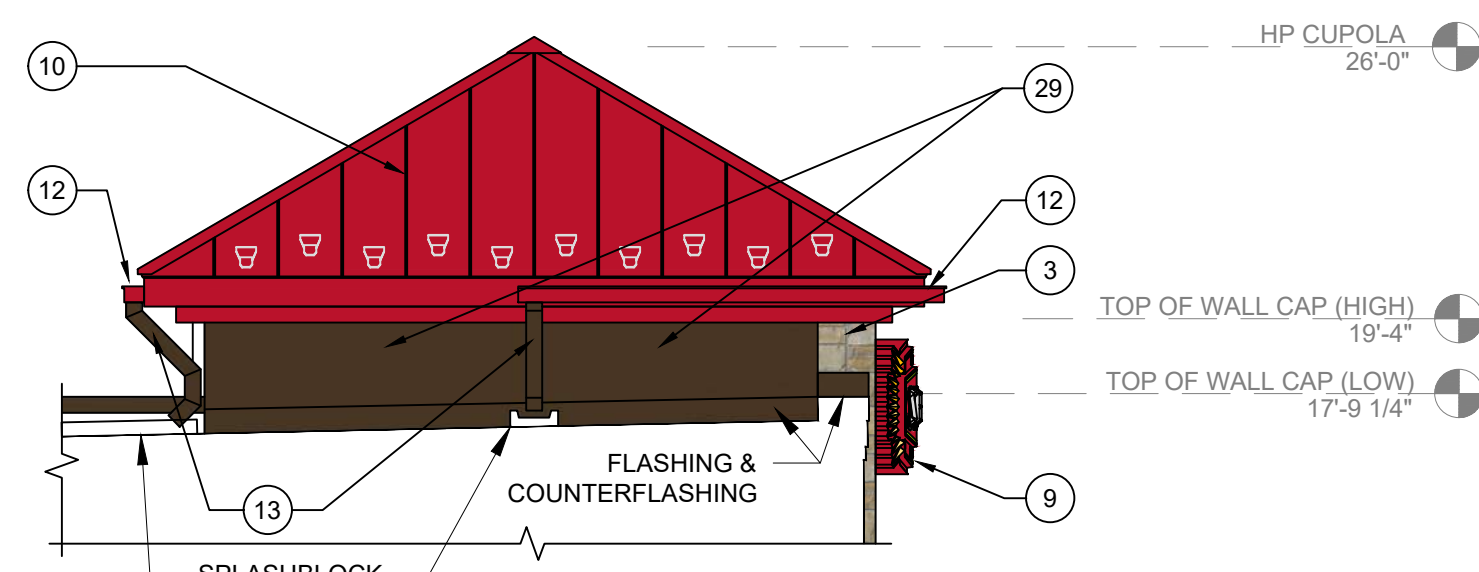
- BRICK VENEER (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CAST STONE SILL (COLOR = CRAB ORCHARD)
- ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- BRICK PAVER WALKWAY
- LIGHTED BOLLARD
- METAL COPING (COLOR = DARK BRONZE)
- WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED. SEE SHEET A200.
- STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- GUTTER (COLOR = RED)
- DOWNSPOUT (COLOR = DARK BRONZE)
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY (ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- BRICK SOLDIER COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- BRICK ROWLOCK COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM
- EXTERIOR HOSE BIB
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
- ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- HM DOOR AND FRAME (COLOR = DARK BRONZE)
- EMERGENCY WATER CONNECTION
- SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD (COLOR = DARK BRONZE)
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE



4 RIGHT ELEVATION - NORTH
1/4" = 1'-0"



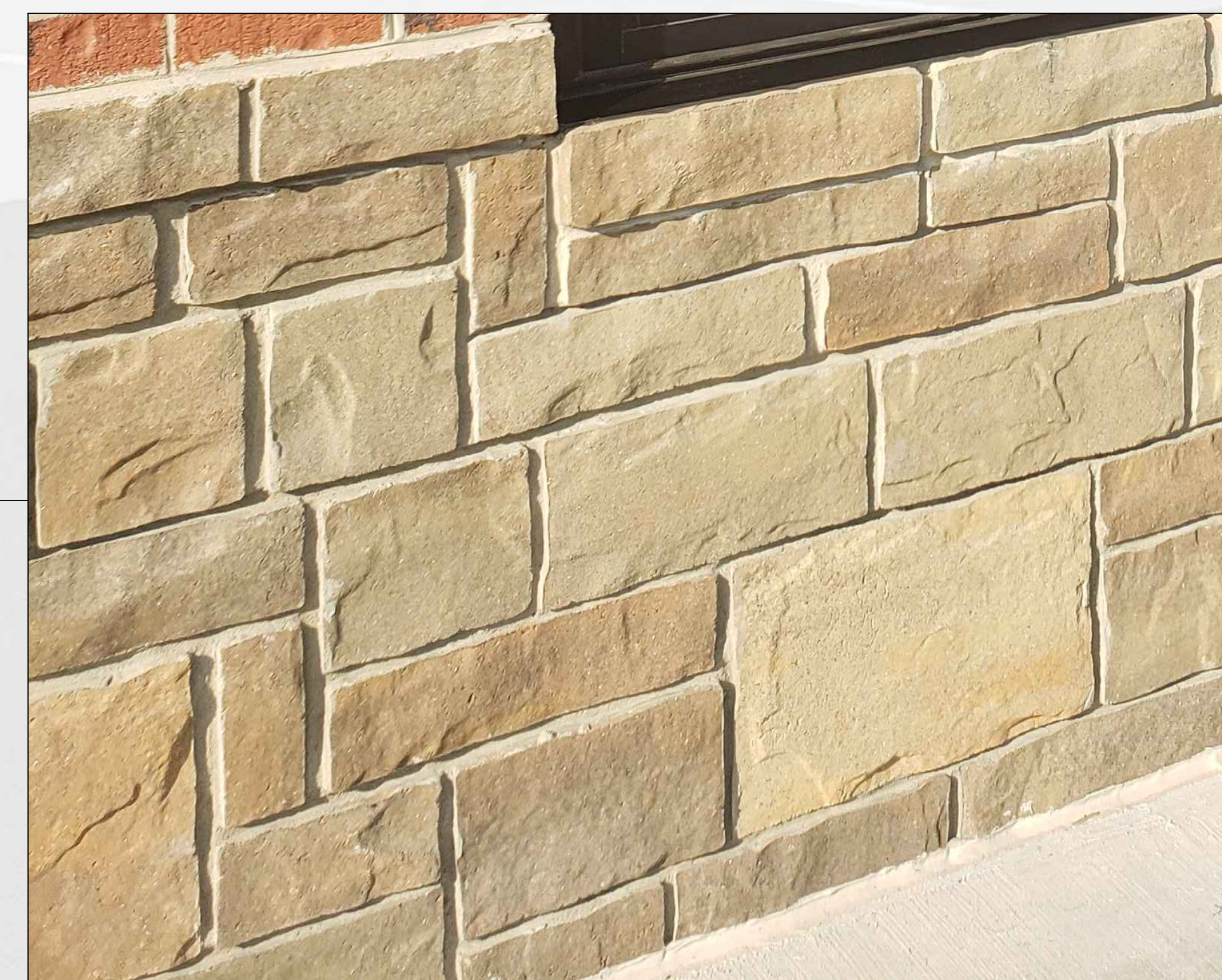
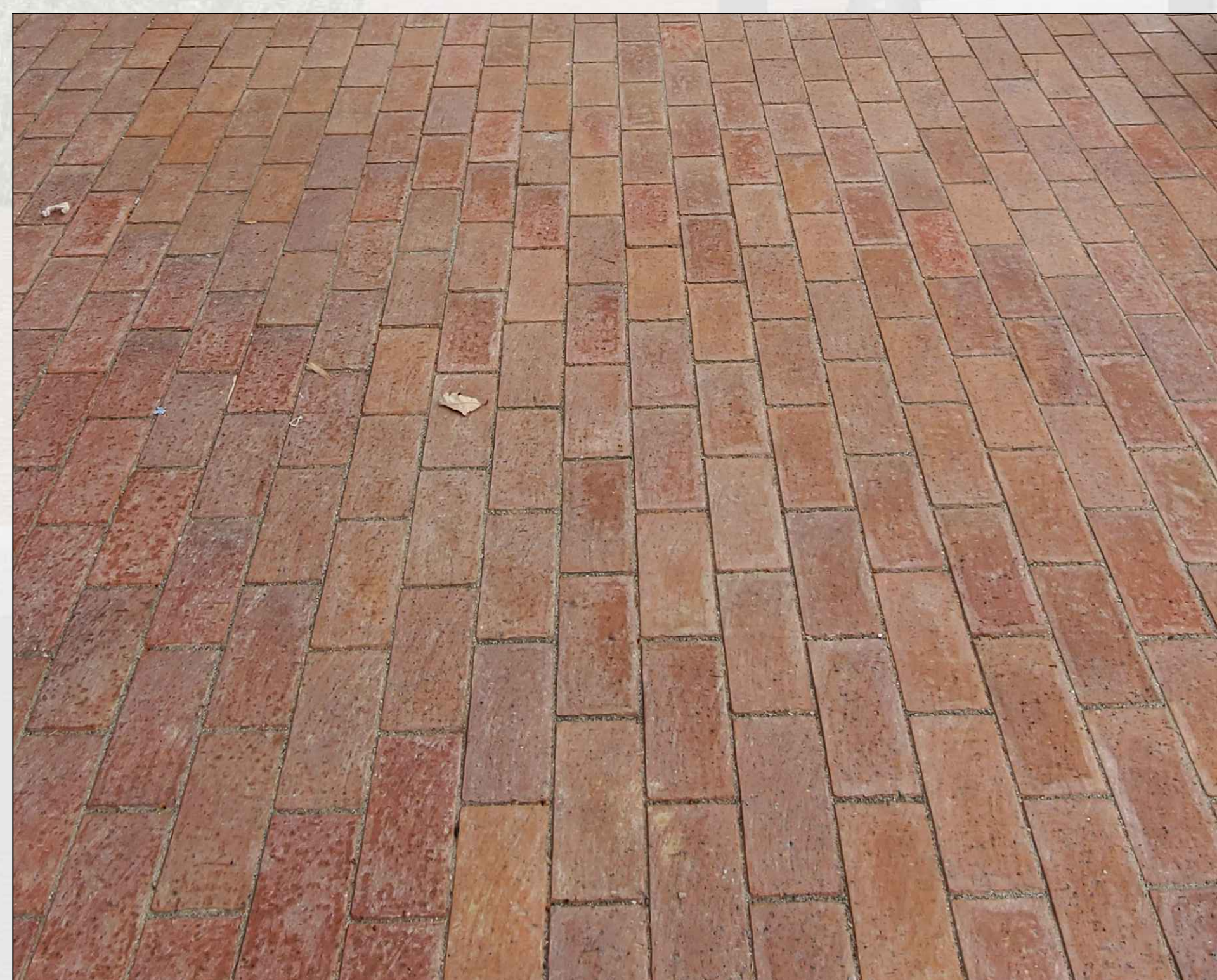
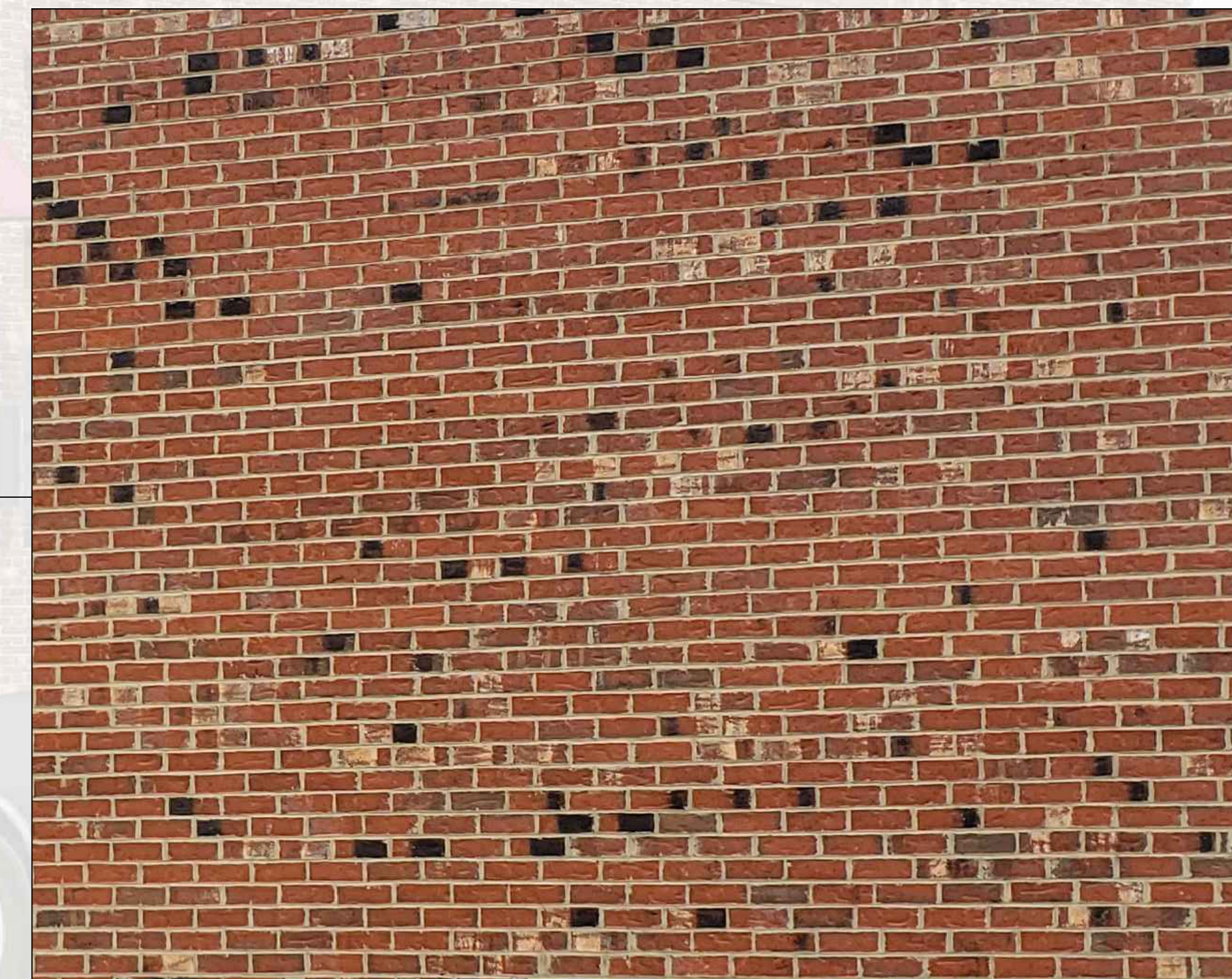
5 CUPOLA FROM ROOF
1/4" = 1'-0"



6 CUPOLA FROM ROOF
1/4" = 1'-0"



EXTERIOR FINISHES BOARD



Convenience Architecture
and *Design* P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

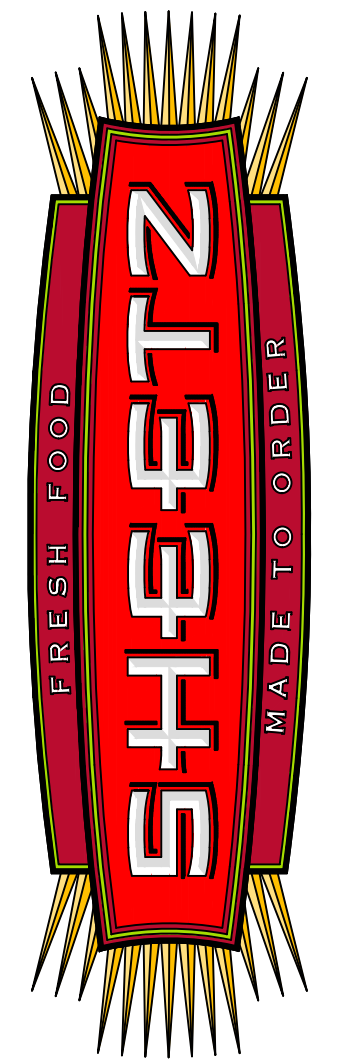
PROJECT NAME:
NEW SHEETZ STORE

STORE
NAME

Int of Drive
and Road
City, ST

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602



EXTERIOR FINISHES BOARD

[illegible]

PROJECT NAME:
**NEW SHEETZ STORE
SPRINGBORO**

Int. of Tahlequah Trail
and West Central Avenue
Warren County
Ohio

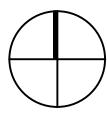
OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

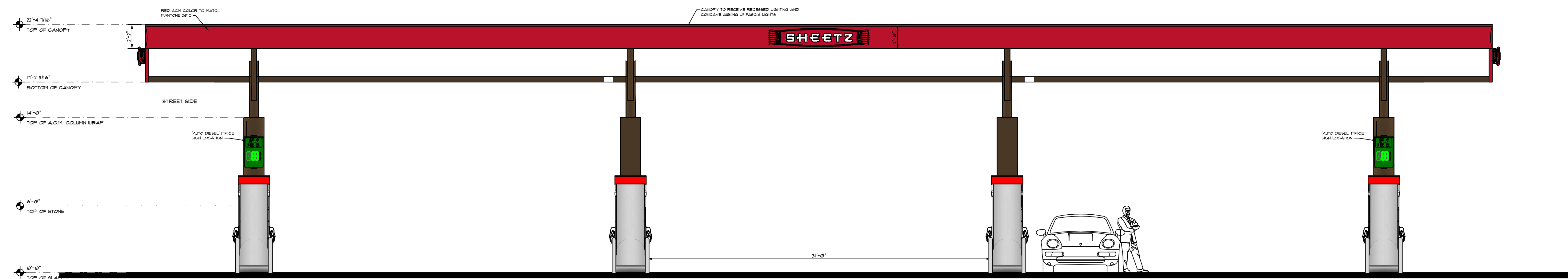
KEYPLAN



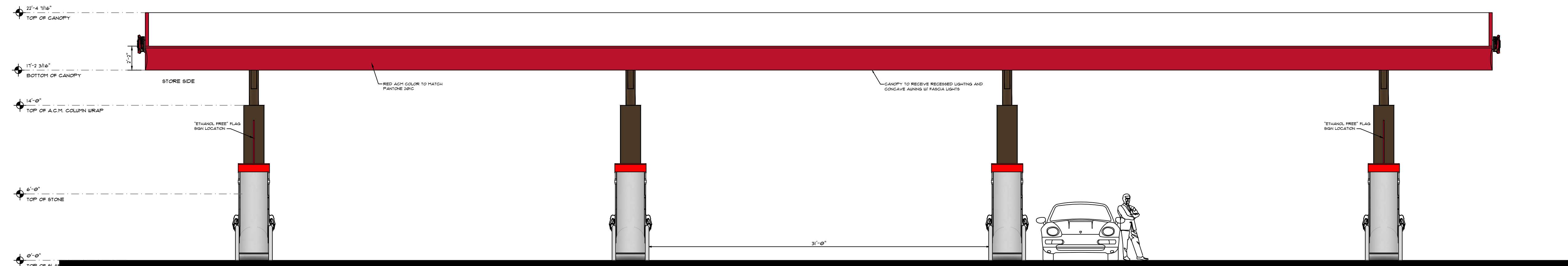
ISSUE: **09-21-22**
PROJECT NO:
AUTHOR BY: NMI
REVIEW BY:
SHEET TITLE

GAS AWNING

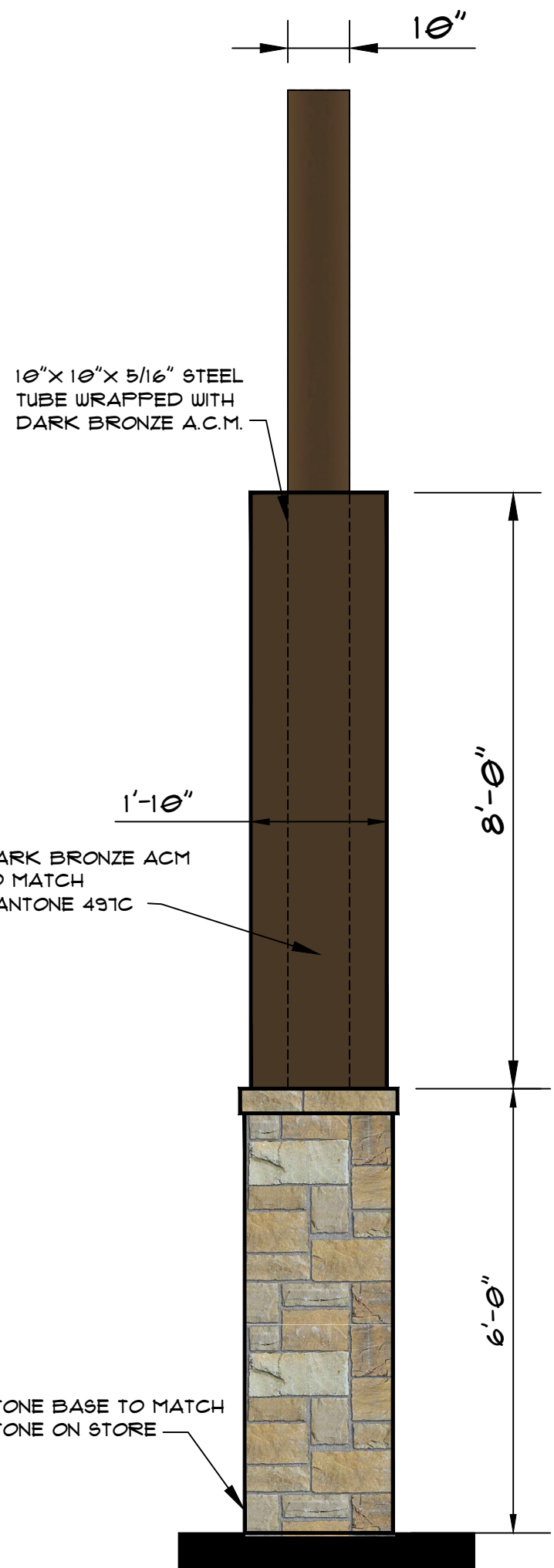
AWNING



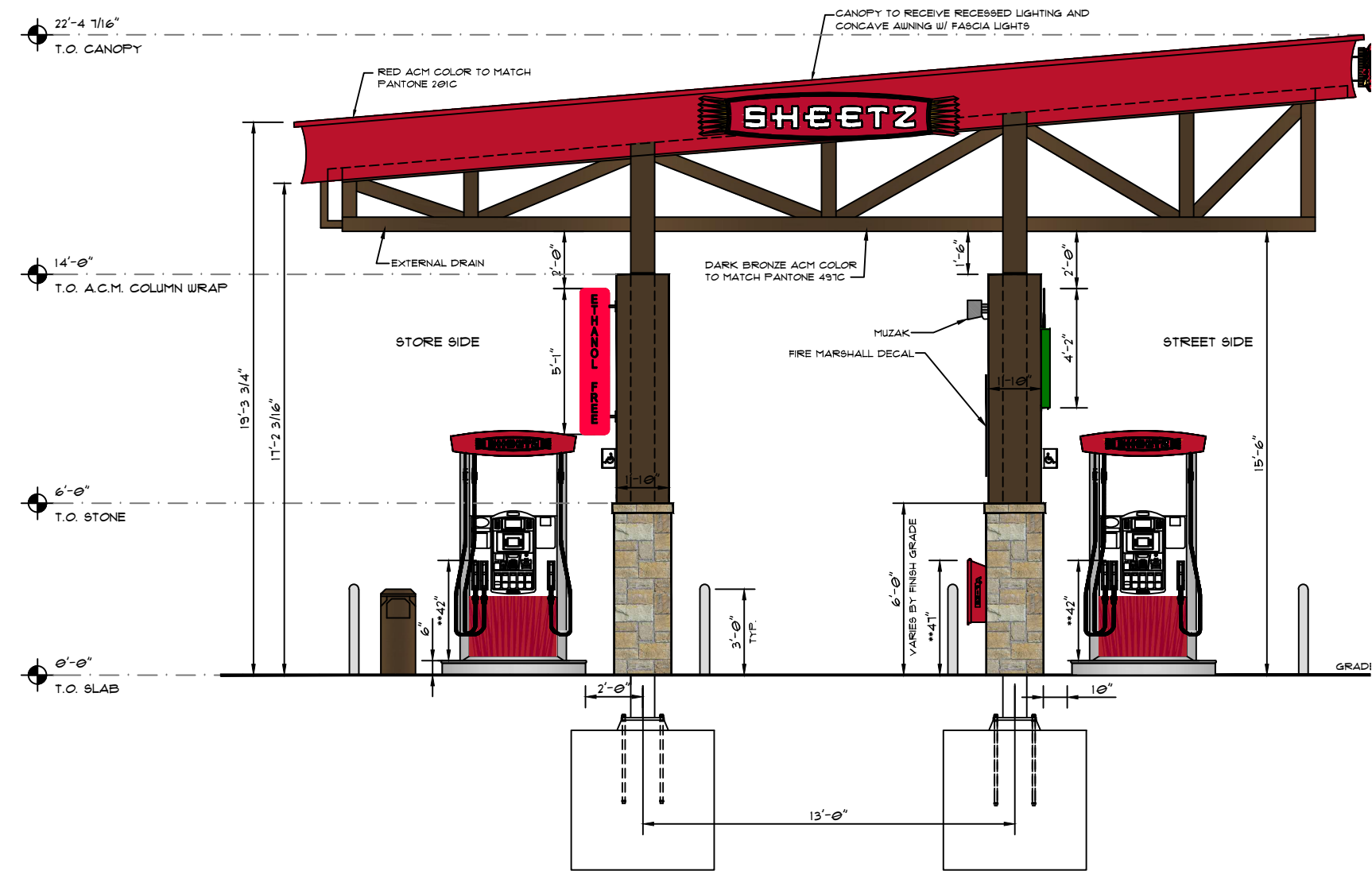
SIDE 'B' ELEVATION
SCALE: 3/16" = 1'-0"



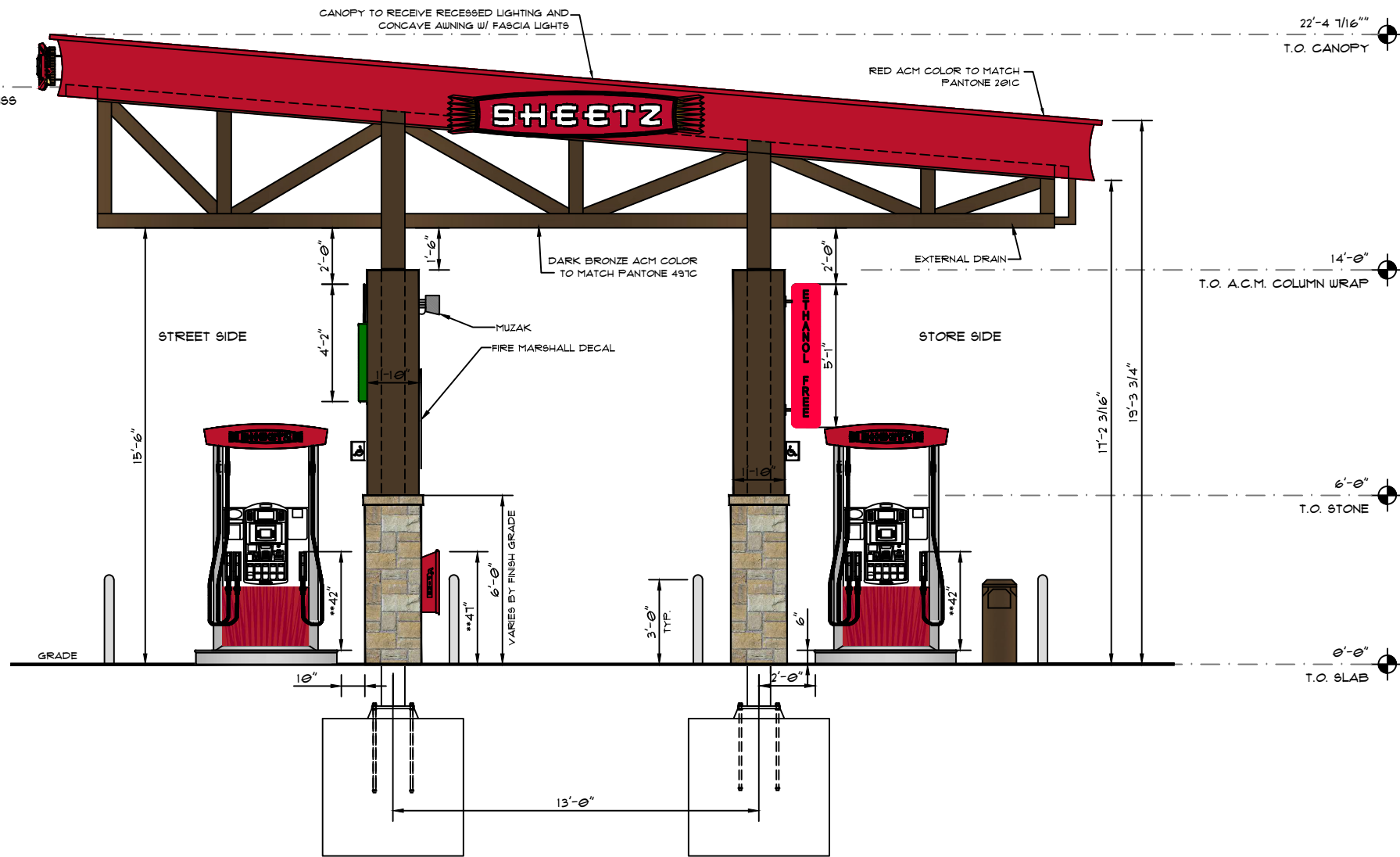
SIDE 'D' ELEVATION
SCALE: 3/16" = 1'-0"



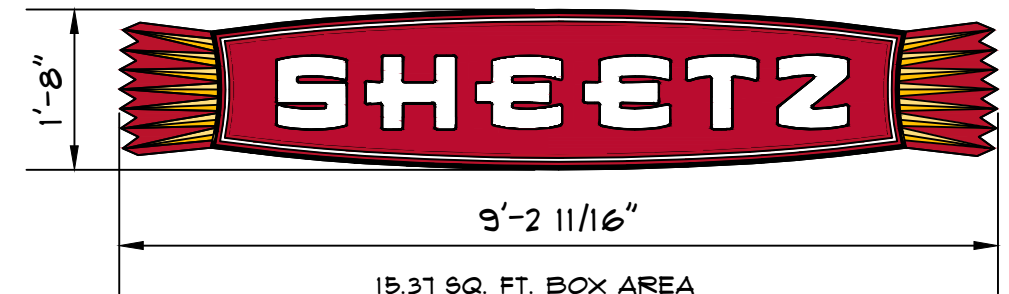
COLUMN ELEVATION
SCALE: 1/2" = 1'-0"



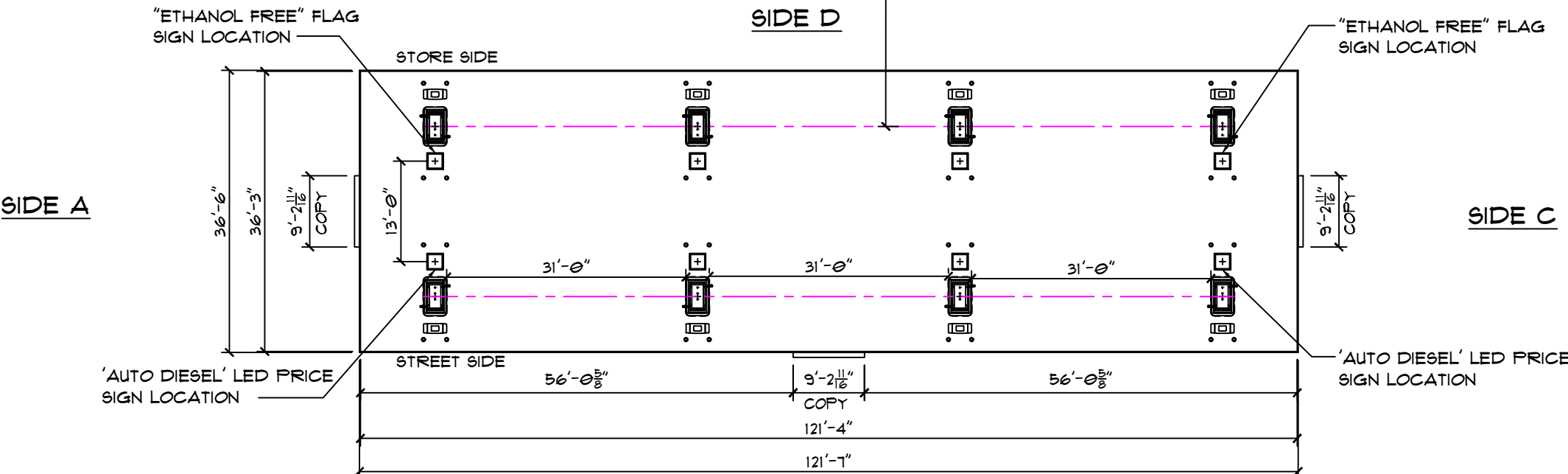
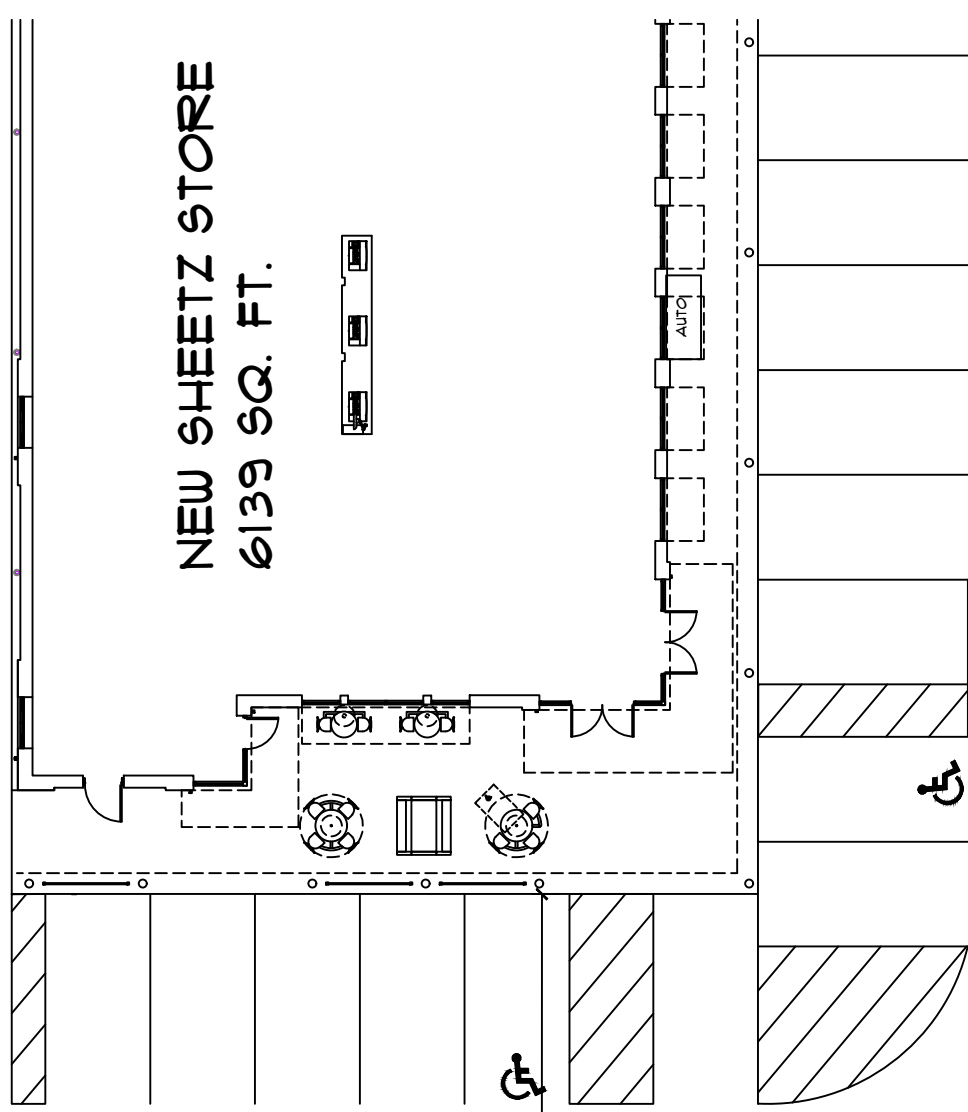
SIDE 'A' LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



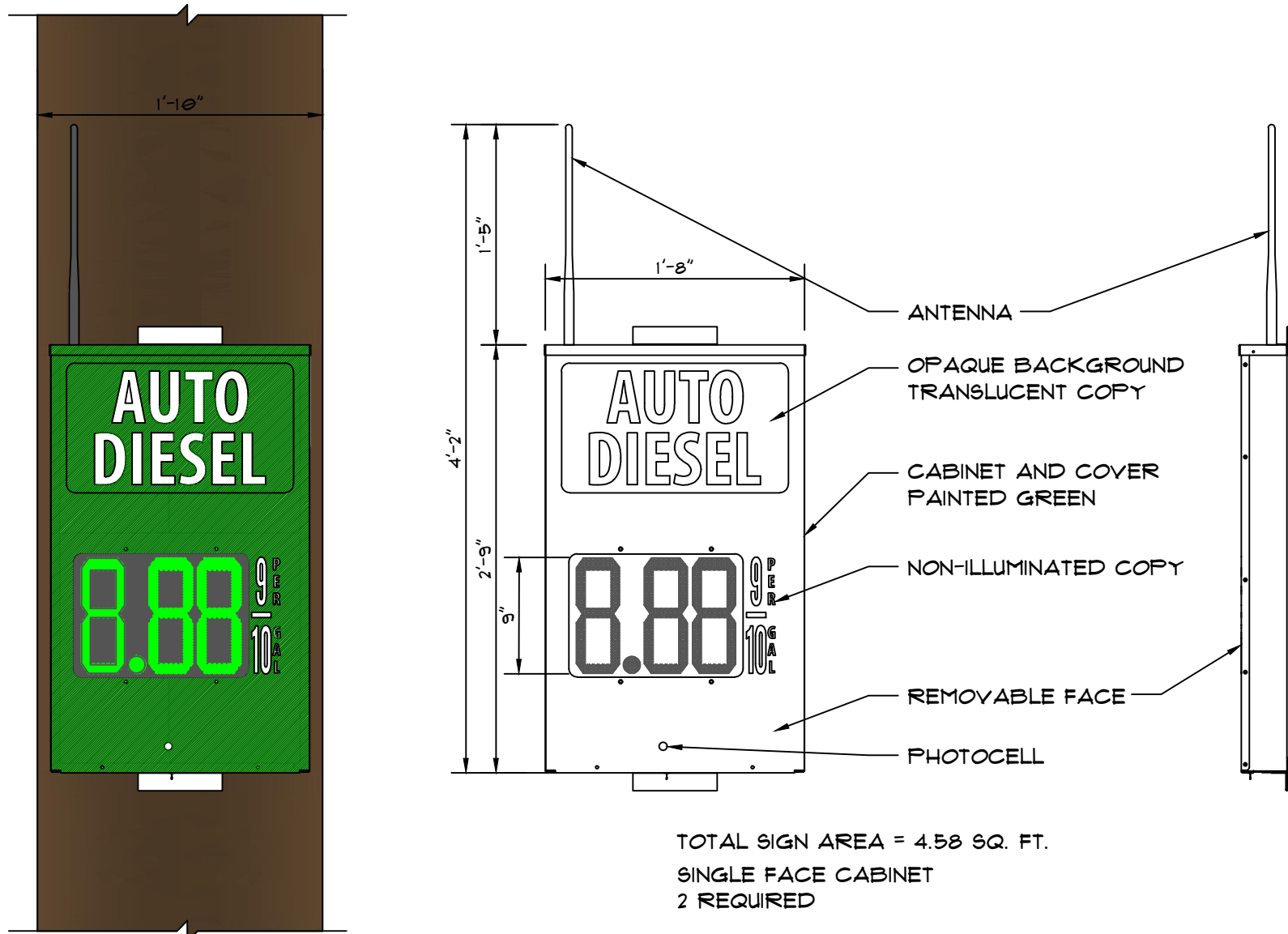
SIDE 'C' RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



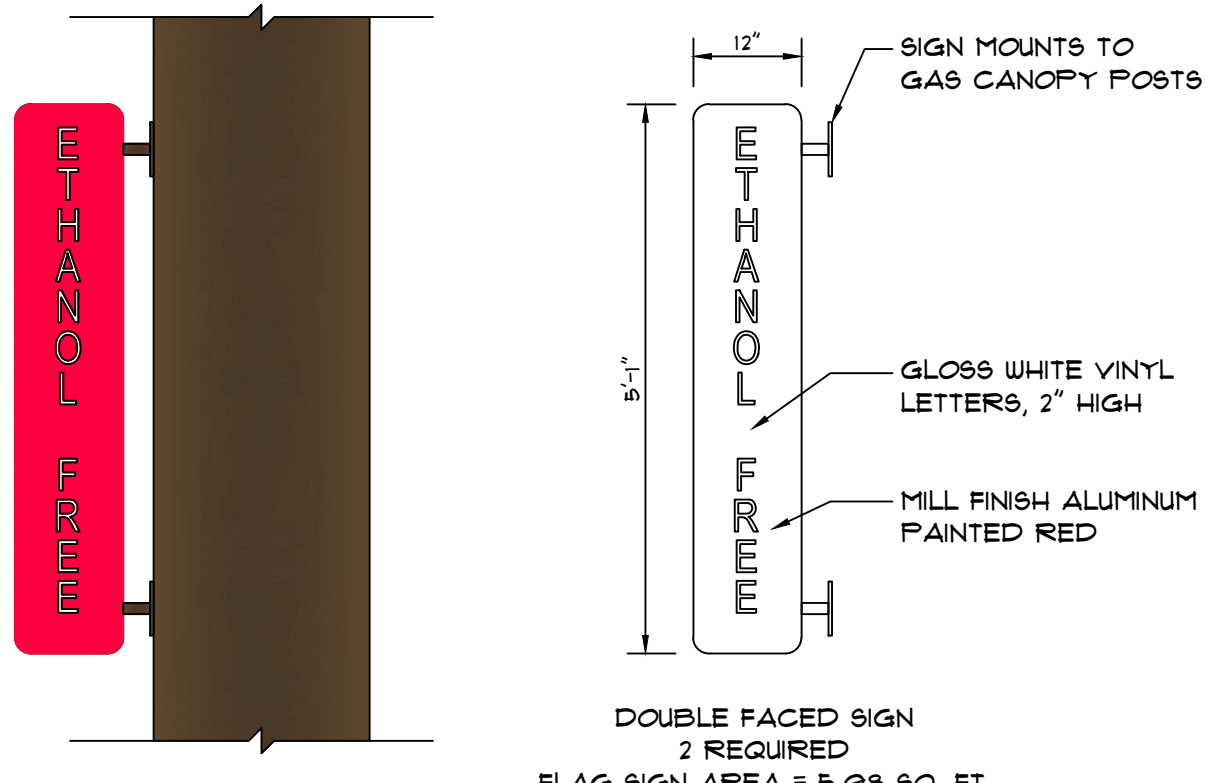
CANOPY MOUNTED SHEETZ SIGN DETAIL
SCALE: 1/2" = 1'-0"



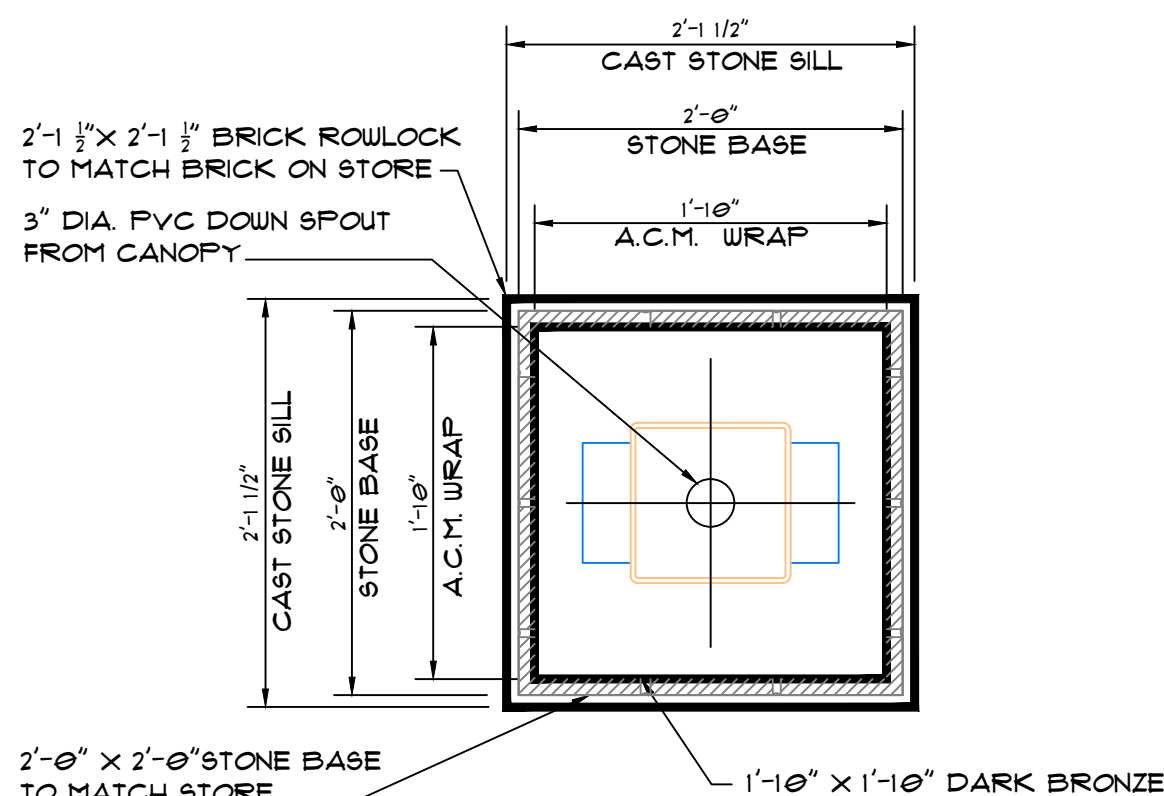
PLAN VIEW FOR LOGO LOCATIONS



"AUTO DIESEL" PRICE SIGN ELEVATION AND DETAIL
SCALE: 1/4" = 1'-0"

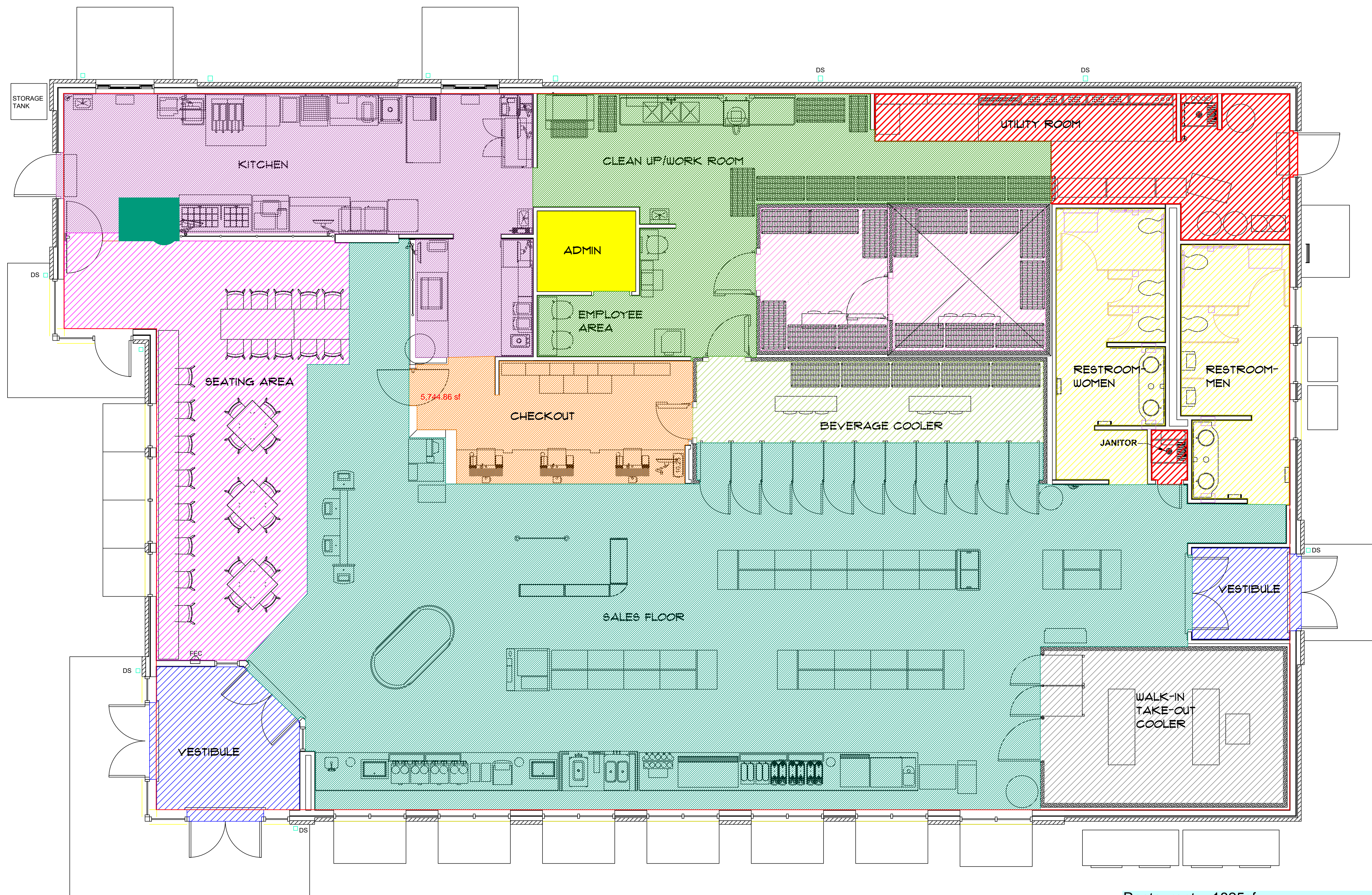


"ETHANOL FREE" FLAG SIGN ELEVATION AND DETAIL
SCALE: 1/4" = 1'-0"



STONE COLUMN BASE DETAIL
SCALE: 1/4" = 1'-0"

G:\Projects\Floor-breakdowns\6077 floor breakdown.dwg, 3/20/2020 9:05:51 AM



FLOOR AREA BREAKDOWN
SCALE: 1/4" = 1'-0"

UTILITY AREAS:	276.69 SQ. FT.
WALK IN COOLER AREA:	127.53 SQ. FT.
WALK IN FREEZER AREA:	150.89 SQ. FT.
VESTIBULE AREAS:	206.14 SQ. FT.
WALK IN TAKE OUT COOLER:	254.08 SQ. FT.
MEN'S RESTROOM AREAS:	180.50 SQ. FT.
WOMEN'S RESTROOM AREAS:	191.12 SQ. FT.
WORK ROOM AREA:	496.58 SQ. FT.
KITCHEN AREA:	532.16 SQ. FT.
SALES FLOOR AREA:	2108.86 SQ. FT.
COOLER AREA:	196.21 SQ. FT.
SEATING AREA:	515.24 SQ. FT.
CHECK STAND/CIGARETTE AREA:	211.82 SQ. FT.
ADMIN AREA:	53.42 SQ. FT.

SCALE:	
DATE:	
DRAWN BY:	
FILENAME:	
DESCRIPTION	
REVISIONS	
DATE	BY
CONVENIENCE ARCHITECTURE AND DESIGN P.C.	
351 SHEET WAY, CLAYSBURG, PA 16625	(814) 239-6013

September 21, 2022

City of Springboro
320 W. Central Avenue
Springboro, OH 45066

RE: Site Plan Application at 800 W. Central Avenue, Springboro, Ohio 45066 (the "**Property**")

To Whom it May Concern:

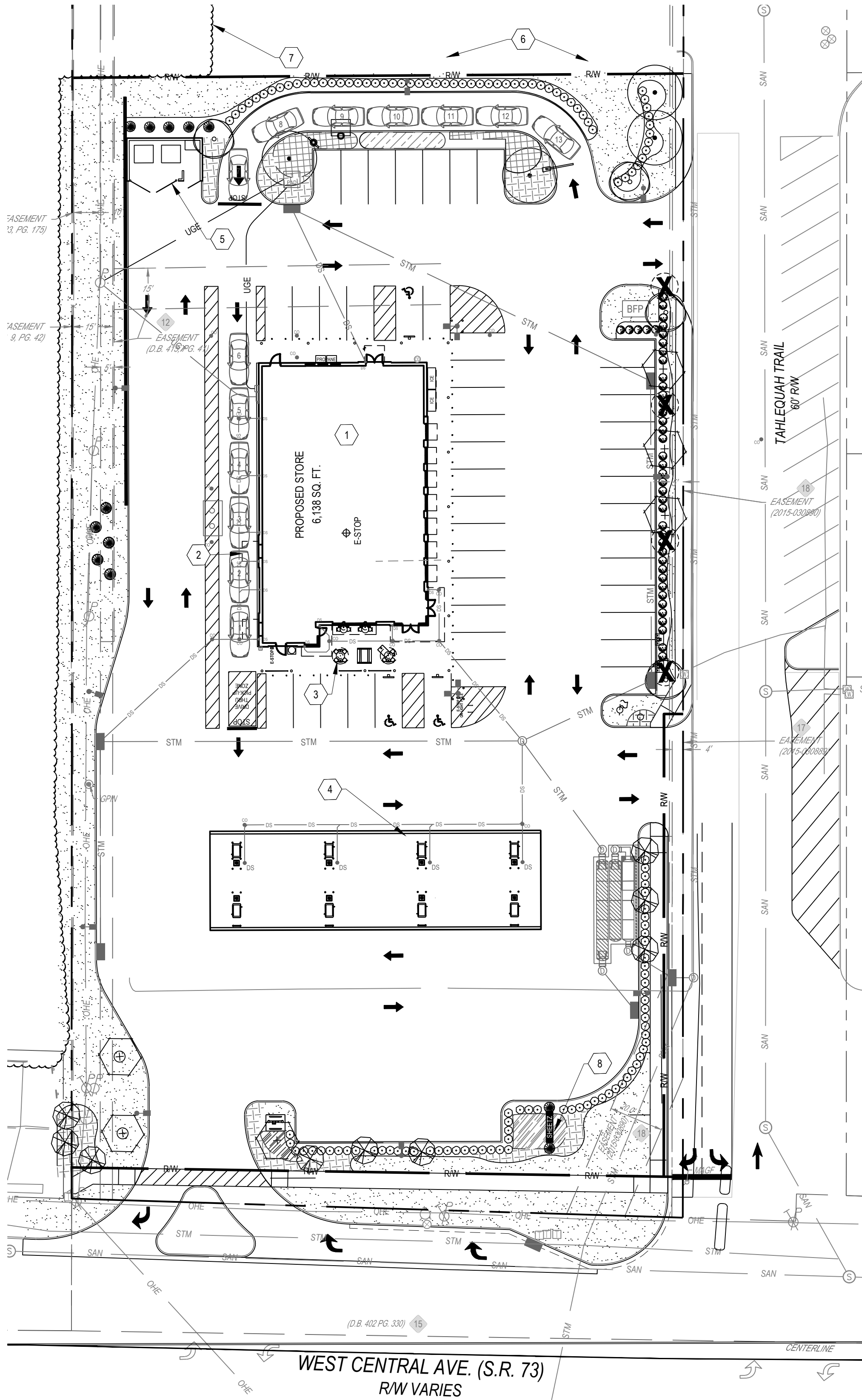
Edwards Furniture, Inc., an Ohio corporation (the "**Owner**") is the fee simple owner of the Property. The Owner is under contract with Morse Road Development, LLC (the "**Buyer**") for the purchase and sale of the Property. As part of this purchase, Buyer is seeking to present plans to the City of Springboro for site plan approval. The purpose of this letter is to provide authorization from the Owner for Buyer to present certain site plans to the City of Springboro. Accordingly, by signature to this letter, the Owner hereby provides such authorization.

Sincerely,

OWNER:

Edwards Furniture, Inc.,
an Ohio corporation

By: David Edwards
Name: DAVID EDWARDS
Its: PRESIDENT
Date: 9/22/2022



LEGEND

	RW	RIGHT OF WAY LINE
		PARCEL LINE
		PROPERTY BOUNDARY LINE
		EASEMENT LINE
		EDGE OF PAVEMENT
		PAVEMENT/WALK
		PROPOSED CONCRETE SIDEWALK OR DECK
	OHE	OVERHEAD POWER LINE
	E	POWER LINE
	STM	STORM DRAIN
	SAN	SANITARY SEWER
	W	WATER LINE
	G	GAS LINE
	UGT	UNDERGROUND TELEPHONE LINE
	UGE	UNDERGROUND ELECTRIC LINE
		EXISTING TREE CANOPY
		EXISTING TREE TO BE REMOVED
		EXISTING TREE TO REMAIN
		AIR MACHINE
		MENU BOARD
		6" BOLLARD
		ICE MERCHANDISER
		PROPANE LOCKERS

NOTE: CONTRACTOR WILL BE REQUIRED TO PERFORM MINOR CLEARING AND PRUNING APPROXIMATELY 10' INTO THE EXISTING TREE AREAS. THIS WILL INCLUDE REMOVAL OF HANGING LIMBS, DEAD LIMBS ON TREES AND ON THE GROUND AND GENERAL DEBRIS IN THE AREA. PINE NEEDLES WILL BE REQUIRED WITHIN ENTIRE EXISTING TREE AREA.

CODED NOTES:

- PROPOSED 6,138 SF STORE.
- PROPOSED DRIVE-THRU WINDOW.
- PROPOSED PATIO SEATING.
- PROPOSED EIGHT (8) DISPENSER FUEL CANOPY.
- PROPOSED DUMPSTER ENCLOSURE AND PAD.
- EXISTING TURF TO REMAIN
- EXISTING TREES TO REMAIN
- PROPOSED MONUMENT SIGN

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	9	CERCIS CANADENSIS EASTERN REDBUD	2.5" CAL	10' HT	AS SHOWN
	4	PRUNUS SERRULATA 'FIRST BLUSH' FIRST BLUSH CHERRY	2" CAL	8' HT	AS SHOWN
	4	QUERCUS SHUMARDII SHUMARD OAK	2.5" CAL	10' HT	AS SHOWN
	12	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	---	6' HT	AS SHOWN
	6	TILIA CORDATA 'CORZAM' CORZAM LITTLE LEAF LINDEN	2.5" CAL	10' HT	AS SHOWN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	43	ABELIA X 'EDWARD GOUCHER' EDWARD GOUCHER ABELIA	---	24" HT	3'-0" OC
	127	ILEX ORENATA 'HELLER' JAPANESE HOLLY	---	24" HT	3'-0" OC
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	21	PRUNUS LAUROCARASUS 'MOUNT VERNON' MOUNT VERNON ENGLISH LAUREL	---	12" HT	3'-0" OC
	153	ROSA X 'MEIGALPIO' RED DRIFT® GROUND COVER ROSE	---	12" HT / SPR	1'-6" OC
	60	SPIRAEA JAPONICA 'LIMEMOUND' JAPANESE SPIREA	---	12" HT / SPR	3'-0" OC
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	1,463 SF	LIRIOPE MUSCARI LILYTURF	1 GAL	12" HT / SPR	1'-6" OC
	15,424 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SOD		

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH
- CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

IRRIGATION

- THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

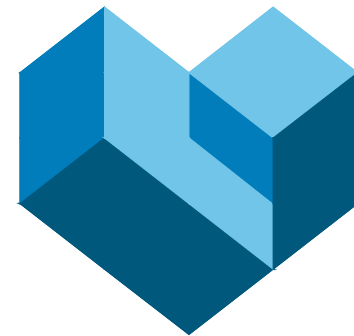
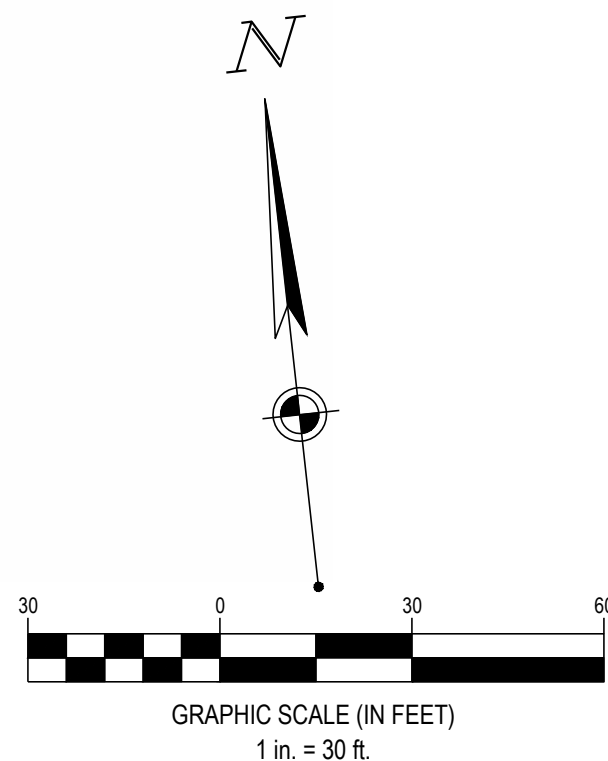
PARKING BUFFERS ALONG PUBLIC RIGHT-OF-WAY (1 SHADE TREE PER 40 LF, 1 ORNAMENTAL TREE PER 100 LF, 1 SHRUB PER 5 LF)
WEST CENTRAL AVENUE (180 LF, NOT INCLUDING DRIVES) TAHLEQUAH TRAIL (297 LF, NOT INCLUDING DRIVES)

REQUIRED CANOPY TREES: 5 CANOPY TREES	REQUIRED CANOPY TREES: 8 CANOPY TREES
PROPOSED CANOPY TREES: 2 CANOPY TREES*	PROPOSED CANOPY TREES: 8 CANOPY TREES
REQUIRED ORNAMENTAL TREES: 2 ORNAMENTAL TREES	REQUIRED ORNAMENTAL TREES: 3 ORNAMENTAL TREES
PROPOSED ORNAMENTAL TREES: 6 ORNAMENTAL TREES	PROPOSED ORNAMENTAL TREES: 3 ORNAMENTAL TREES
REQUIRED SHRUBS: 36 SHRUBS	REQUIRED SHRUBS: 60 SHRUBS
PROPOSED SHRUBS: 46 SHRUBS	PROPOSED SHRUBS: 78 SHRUBS
* ORNAMENTAL TREES SUBSTITUTED FOR CANOPY TREES UNDER POWER LINES	

PARKING LOT INTERIOR REQUIREMENTS (10 SF PER PARKING SPACE)
PROPOSED PARKING SPACES: 44 SPACES
REQUIRED: 10 SF 440 SF
PROPOSED: 68 SF 3,006 SF (68 SF PER PARKING SPACE)

REQUIRED PLANTING (1 TREE PER 300 SF INTERIOR LANDSCAPE)
TOTAL INTERIOR LANDSCAPE: 3,006 SF
REQUIRED: 11 TREES
PROPOSED: 11 TREES

SITE LANDSCAPING (1 TREE PER 3,000 SF OF LOT AREA)
TOTAL LOT AREA: 104,636 SF
REQUIRED: 35 TREES
PROPOSED: 35 TREES



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ - SPRINGBORO, OH
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

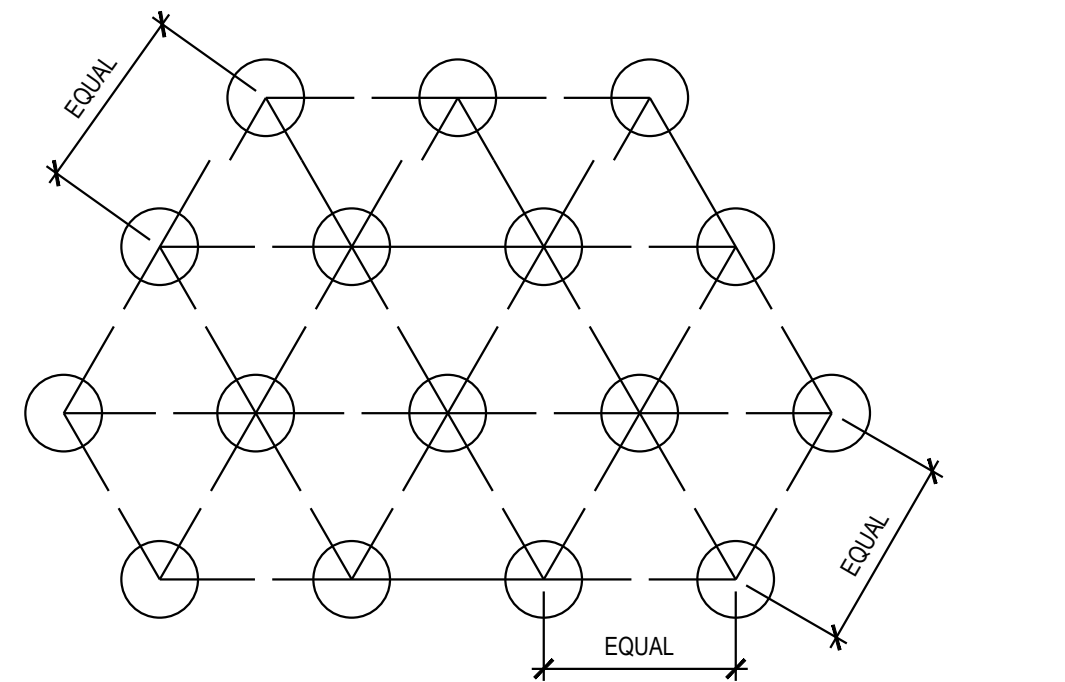
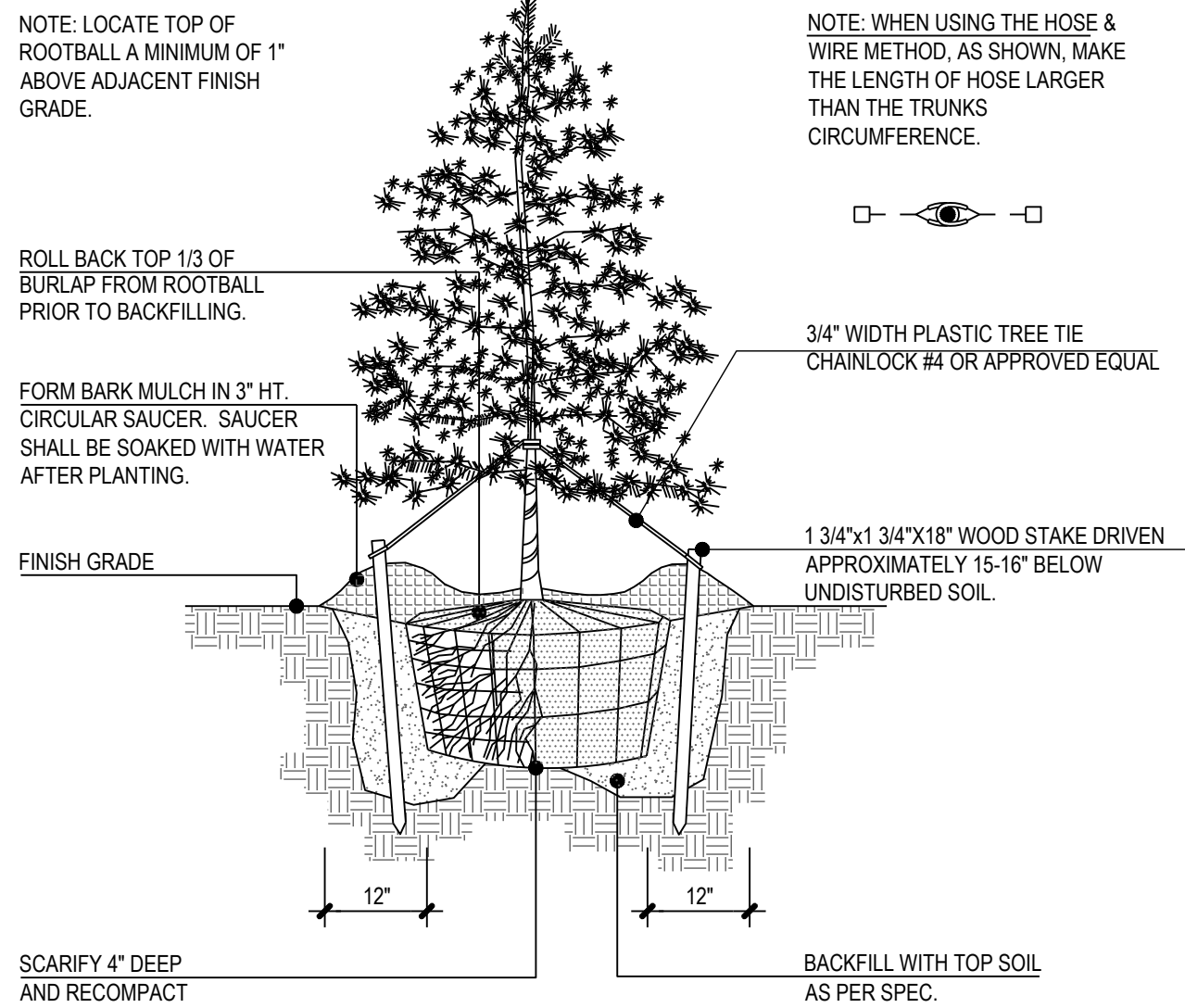
Revisions / Submissions
ID Description Date

Project Number: 760643
Scale: 1"=30'
Drawn By: TRH
Checked By: EAB
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:

PLANTING
PLAN

L1.0



ALL GROUND COVER SHALL BE PLANTED AT
EQUAL TRIANGULAR SPACING PER ON CENTER
SPACING AS SPECIFIED ON PLANTING PLAN.

LOCATE GROUND COVER ONE HALF OF SPECIFIED
SPACING DISTANCE FROM ANY CURB, SIDEWALK, OR
OTHER HARD SURFACE, UNLESS OTHERWISE NOTED

1. CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
3. REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
4. REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
5. CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
6. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
8. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
9. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
11. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
12. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.



800 W. CENTRAL AVE
SPRINGBORO OHIO 45066



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

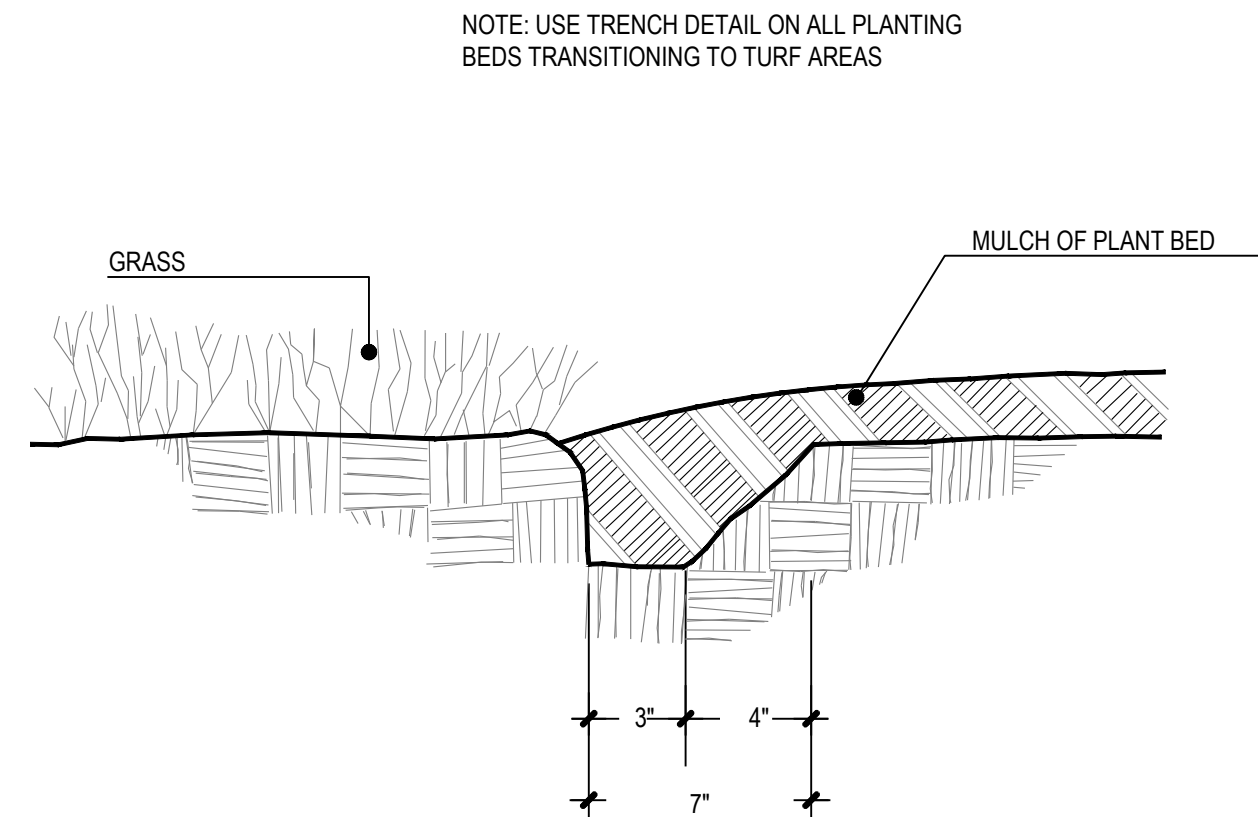
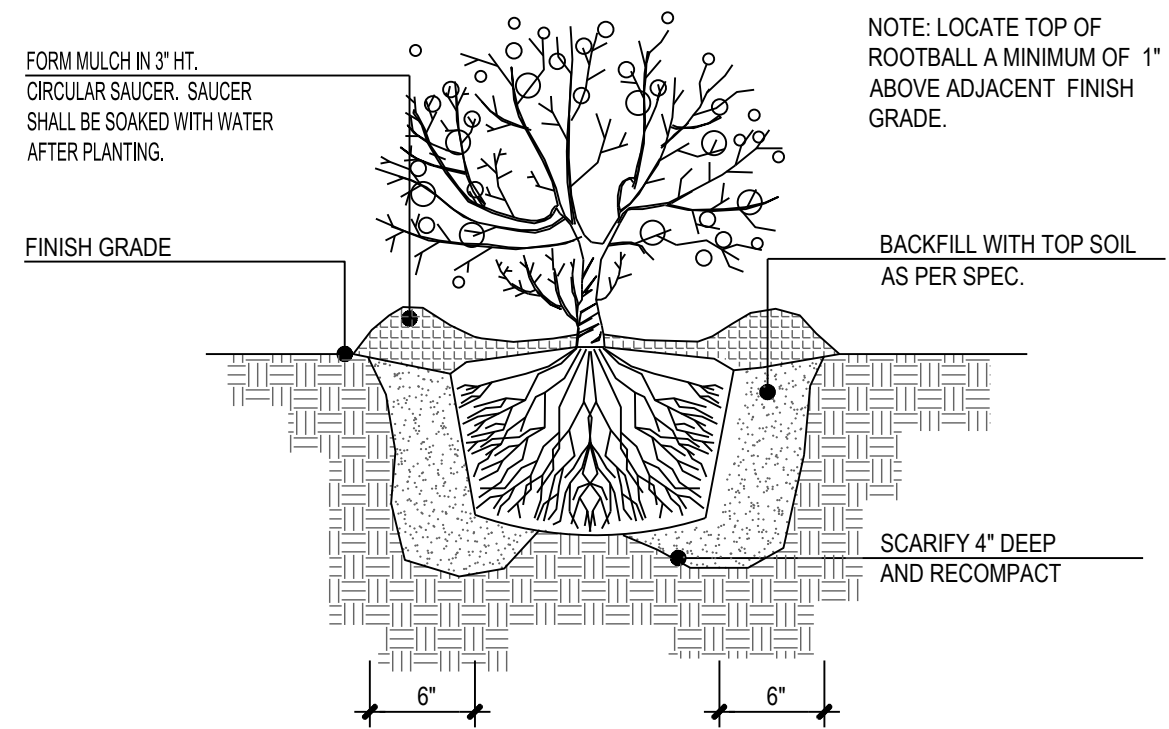
[illegible]

L1.1

N.T.S.

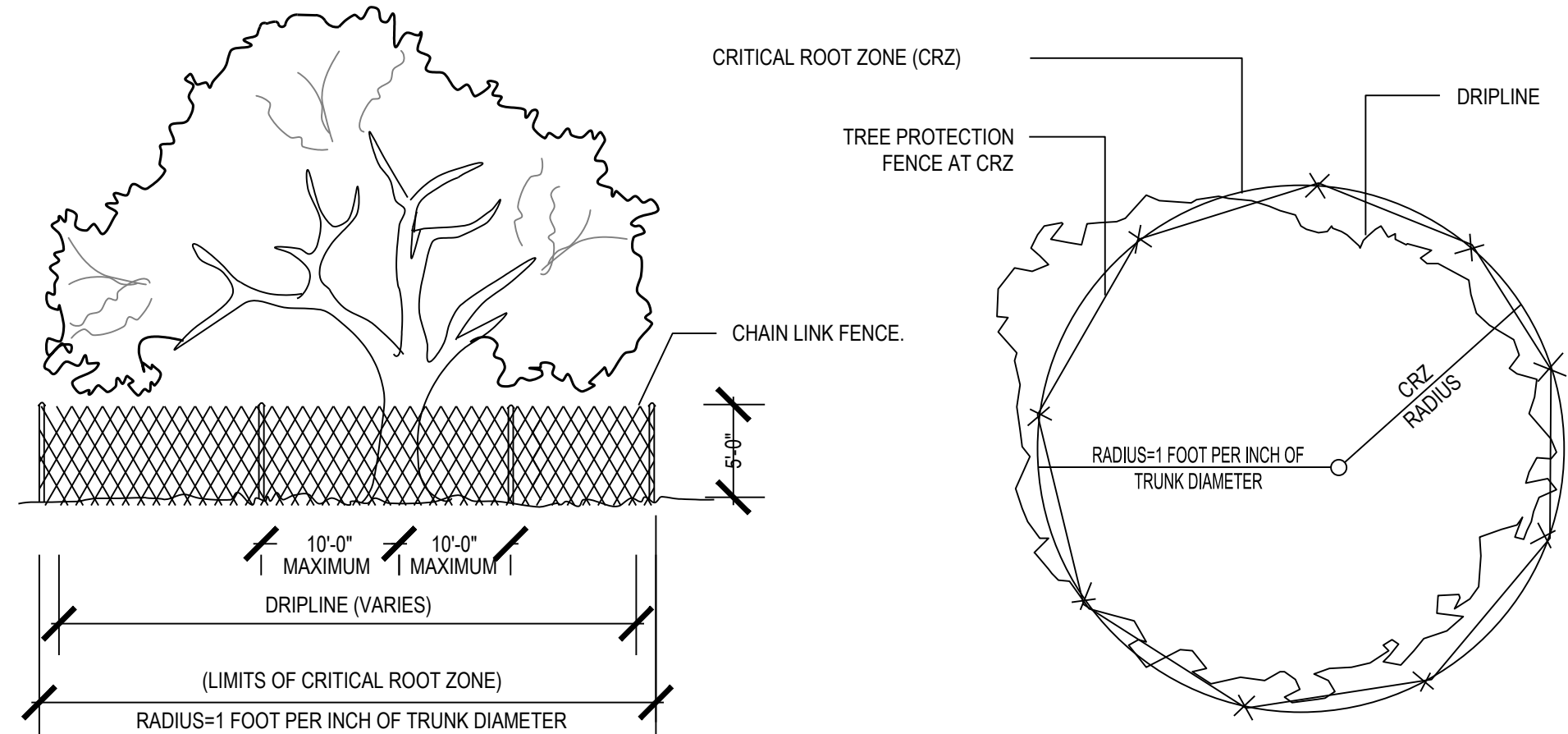
N.T.S.

NTS



N.T.S.

N.T.S



1. NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS, ONLY HAND LABOR ALLOWED.
2. NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
3. BARRIERS ARE TO IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITH-IN TREE AREA.
4. BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
5. CRITICAL ROOT ZONE: 1 INCH OF TREE AT DIAMETER BREAST HEIGHT (DBH) IS EQUAL TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

1. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN.

2. BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE: REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB, SO THAT CLOSURE CAN READILY START. ALL TRIMMING SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.

3. ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRENCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND PRUNING ROOTS WITH A PRUNING SAW, CHAIN SAW OR OTHER EQUIPMENT DESIGNED FOR TREE PRUNING. ROOTS LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF THE CRITICAL ROOT ZONE, WHICHEVER IS LESS FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE PRUNING REQUIREMENTS MAY BE WAIVED IF THE LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL BORING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.

N.T.S.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: JOE YOST BERARDI + PARTNERS

Address 1398 GOODALE BLVD

COLUMBUS, OHIO 43212

Telephone No. (614) 221-1110

Fax No. (614) 221-0831

Email Address YOST@BERARDIPARTNERS.COM

PROPERTY OWNER NAME (IF OTHER): RIVER VALLEY CREDIT UNION

Address: 505 EARL BOULEVARD

MIAMISBURG, OHIO 45342

Telephone No. (937) 741-7178

Property Address or General Location: 25 W. CENTRAL AVENUE

Parcel Number(s): _____ Zoning District: UVD

Proposed Use: NEW CREDIT UNION WITH DETACHED DRIVE THRU TO REMAIN DEMO'D EXISTING CREDIT UNION

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

[Signature]
(Signature of Applicant and/or Agent)

2/16/2023
(Date)

JOE YOST
Printed Name



February 15, 2023

City of Springboro Planning Commission
320 W Central Ave
Springboro, Ohio 45066

Subject: **River Valley Credit Union
New Member Center and Drive Thru ATM/ITM
25 W Central Ave
Springboro, Ohio 45066**

To Whom It May Concern:

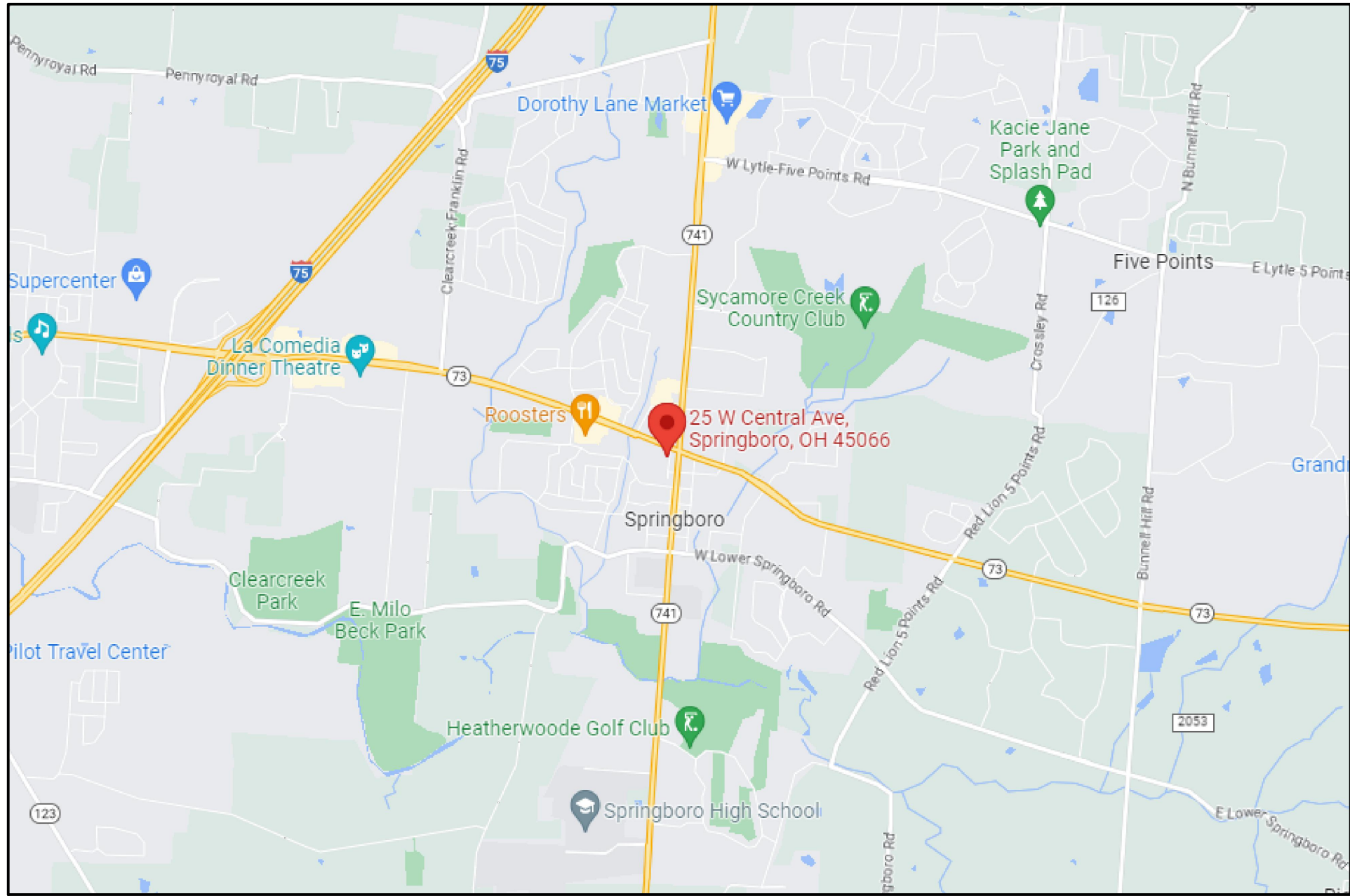
This letter is to confirm that Joe Youst from Berardi Partners is authorized to speak on our behalf at public meetings for the above referenced project.

Should you require anything else please do not hesitate to contact us.

Sincerely,

River Valley Credit Union


John E. Bowen
President/CEO



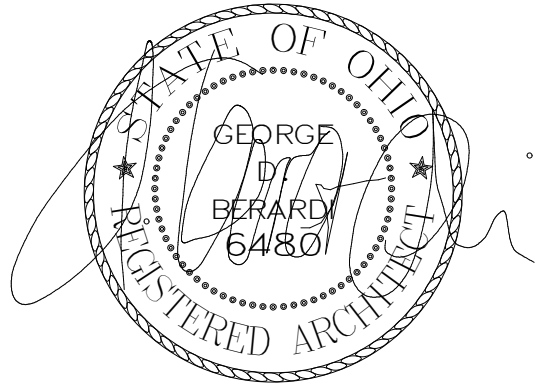
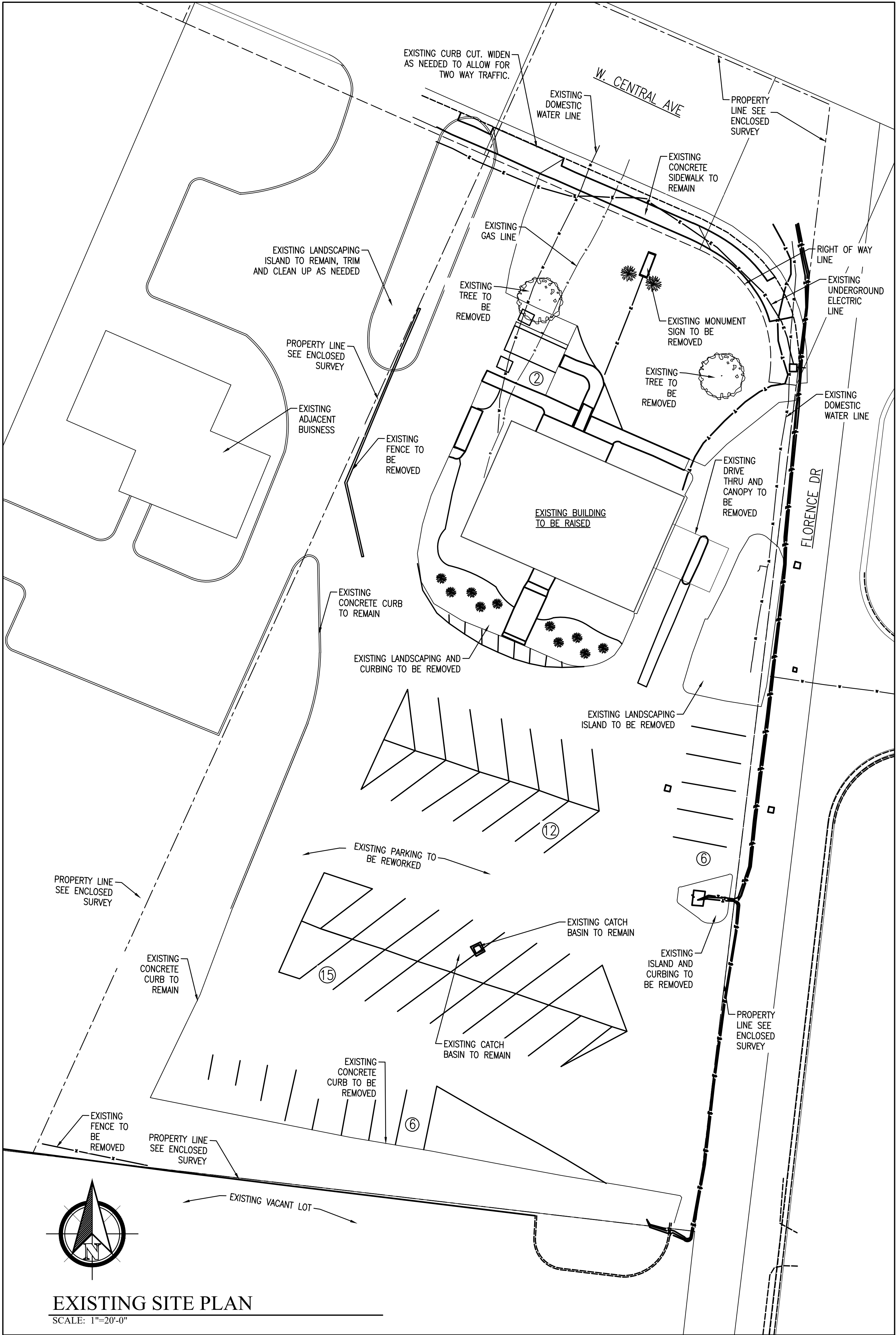
LOCATION MAP

SCALE: N.T.S.

PARKING SUMMARY

EXISTING PARKING	=	39
EXISTING ADA PARKING	=	2
TOTAL	=	41

All EXISTING PARKING SPACES WILL BE REMOVED AND PARKING LOT WILL BE RESTRIPE



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2023

River Valley Credit Union

25 W. CENTRAL AVE.
SPRINGBORO, OHIO

© 2023 BY:
BERARDI + PARTNERS, LLC
ARCHITECTS AND ENGINEERS
ALL RIGHTS RESERVED

THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF BERARDI + PARTNERS, LLC. ARCHITECTS AND ENGINEERS, AND MAY NOT BE REPRODUCED WITHOUT ITS WRITTEN PERMISSION

- NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
 2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE SHEET SPECIFICATIONS. IN THEIR ENTIRETY, THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 3. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
 4. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
 5. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGNOSTIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES. LOCATIONS OR COPIED REQUIREMENTS, THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

PLANNING COMMISSION SET

PROJECT DATE: 02.15.2023
PROJECT #: 22224

Description	Date
-------------	------

EXISTING ARCHITECTURAL SITE PLAN

AS.1



25 W. CENTRAL AVE.
SPRINGBORO, OHIO

© 2023 BY:
BERARDI + PARTNERS, LLC
ARCHITECTS AND ENGINEERS
ALL RIGHTS RESERVED

THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF BERARDI + PARTNERS, LLC, ARCHITECTS AND ENGINEERS, AND MAY NOT BE REPRODUCED WITHOUT ITS WRITTEN PERMISSION

ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERROR AND OMISSIONS SUBSEQUENTLY DISCOVERED. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE SHEET SPECIFICATION IN THEIR ENTIRETY. THE INFORMATION IN THE CONTRACT DOCUMENTS IS TO BE USED IN COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR HAS TO DO SO AT THEIR OWN RISK AND EXPENSE. THE CLIENT AUTHORIZES THE CONSULTANT TO PREPARE THE DRAWINGS AND SPECIFICATION INCLUDING THE SCHEDULES AND TO USE MEDIA AS INSTRUMENTS OF THE CONSULTANT'S PROFESSIONAL SERVICE. THE CLIENT DOES NOT RESERVE THE RIGHT TO PERMIT TO BE MADE AN ADAPTATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE ARCHITECT. THE ARCHITECT AGREES TO GRANT TO ANYONE WHO MAY HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE CONTRACT DOCUMENTS THAT THE ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN OR USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THE CONTRACT DOCUMENTS. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGNOSTIC AND MAY NOT BE INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODED REQUIREMENTS. THE USER SHALL BE RESPONSIBLE FOR THE STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND BE THE SOLE RESPONSIBILITY OF THE USER. NO INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE SUBJECT TO THE ATTENTION OF THE PROJECT ARCHITECT.

PROJECT DATE: 02.15.2022
PROJECT #: 2222

Description	Date
-------------	------

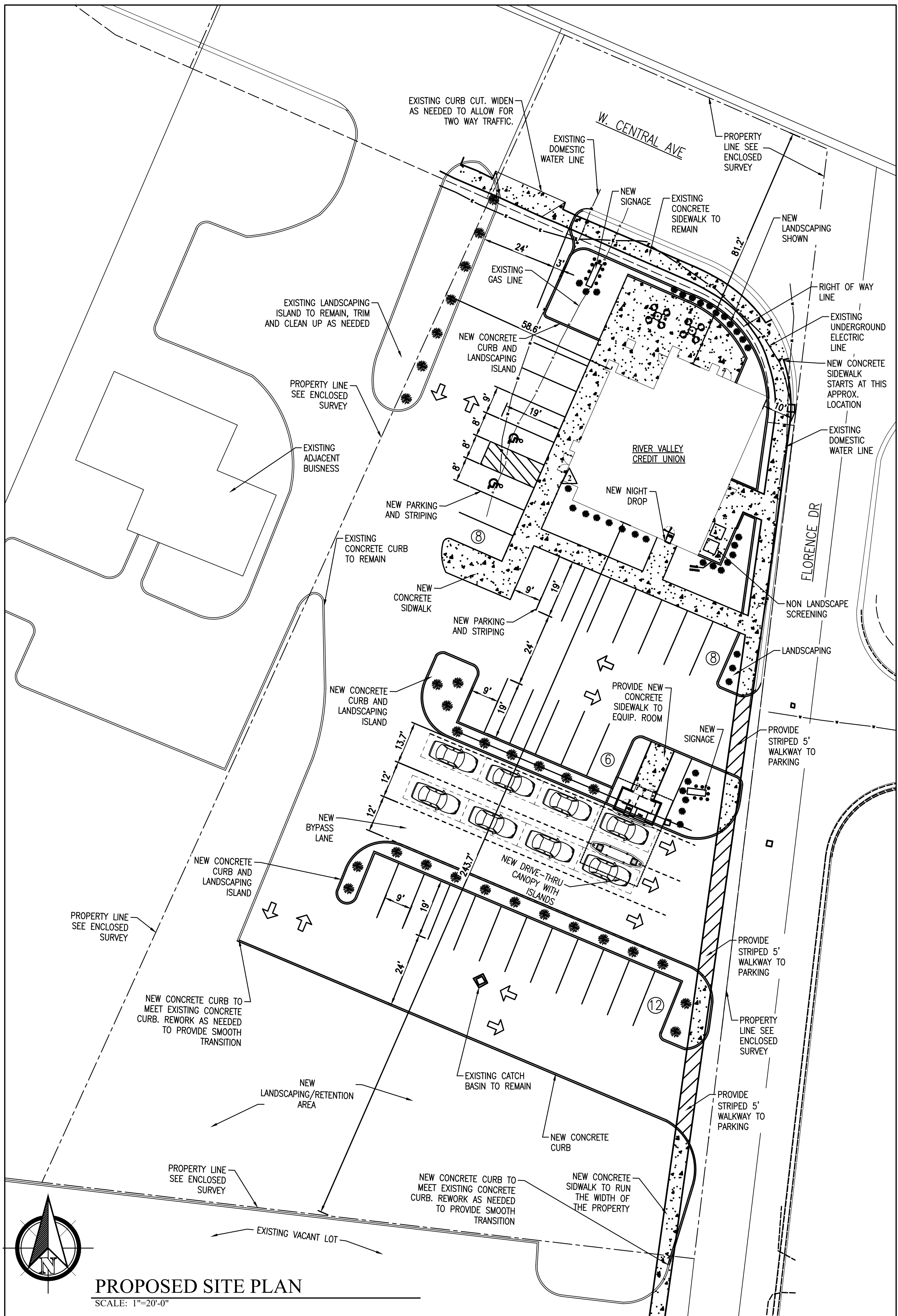
AS.2

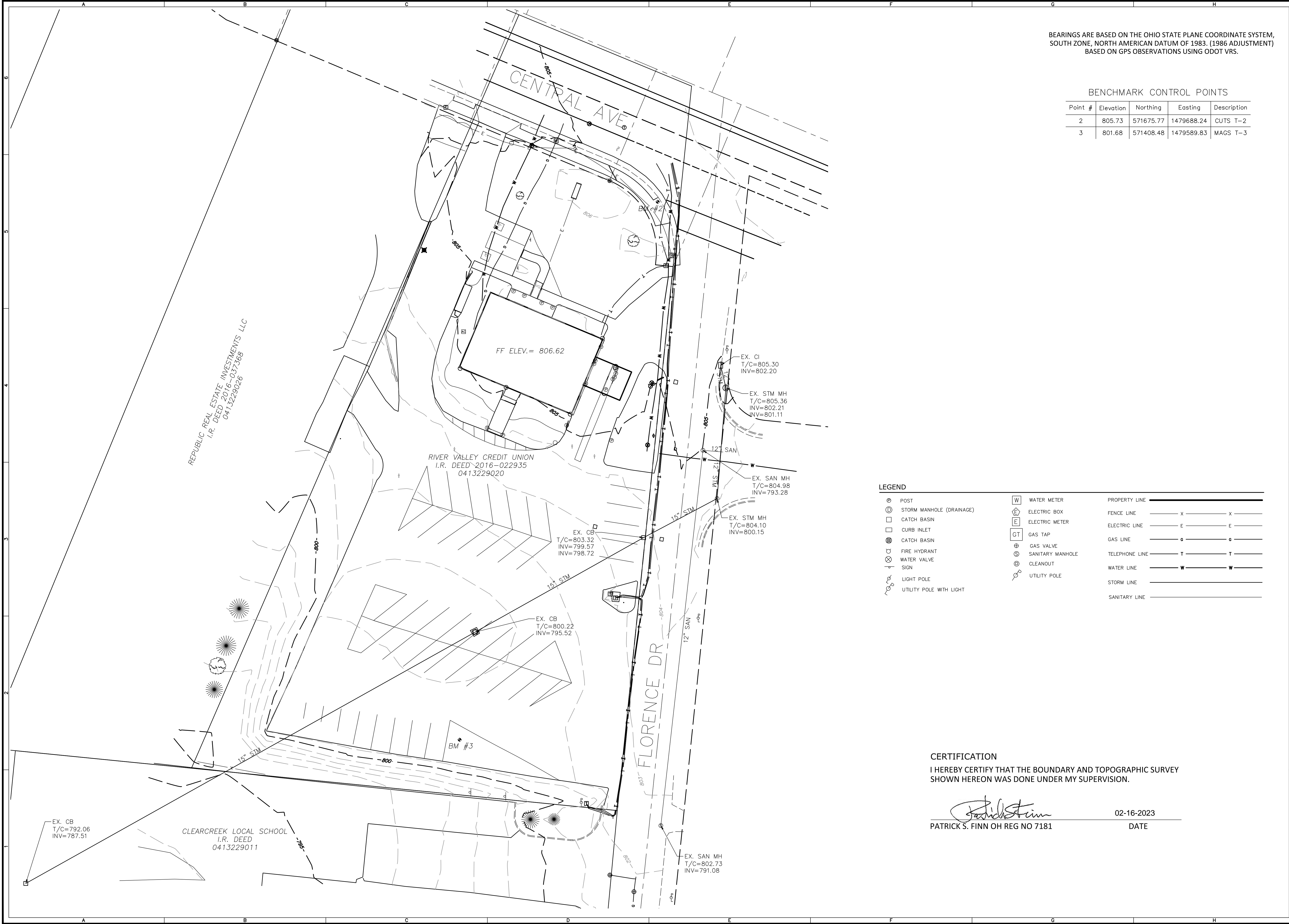
BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com



NEW PARKING	=	32
NEW ADA PARKING	=	2
<u>TOTAL</u>	=	34

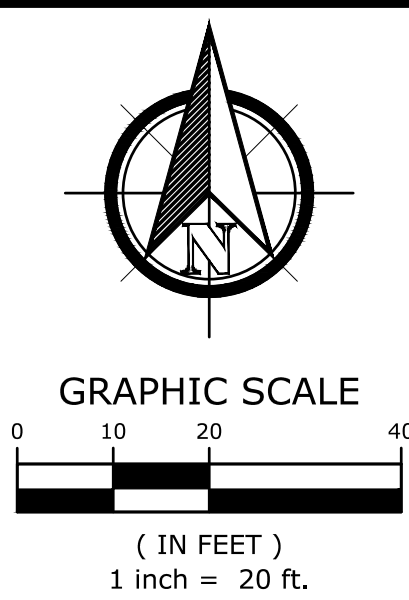




BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE, NORTH AMERICAN DATUM OF 1983. (1986 ADJUSTMENT)
BASED ON GPS OBSERVATIONS USING ODOT VRS.

BENCHMARK CONTROL POINTS

Point #	Elevation	Northing	Easting	Description
2	805.73	571675.77	1479688.24	CUTS T-2
3	801.68	571408.48	1479589.83	MAGS T-3



DEFINING THE CITIES
OF TOMORROW

23 Triangle Park Drive
Cincinnati, OH 45246
Contact: Nicholas Reed
513-942-3141 ext. 51911
Fax: 513-881-2263
www.ibigroup.com

TOPOGRAPHIC SURVEY
CITY OF SPRINGBORO,
SECTION 13, TOWN 2, RANGE 5,
WARREN COUNTY, OHIO



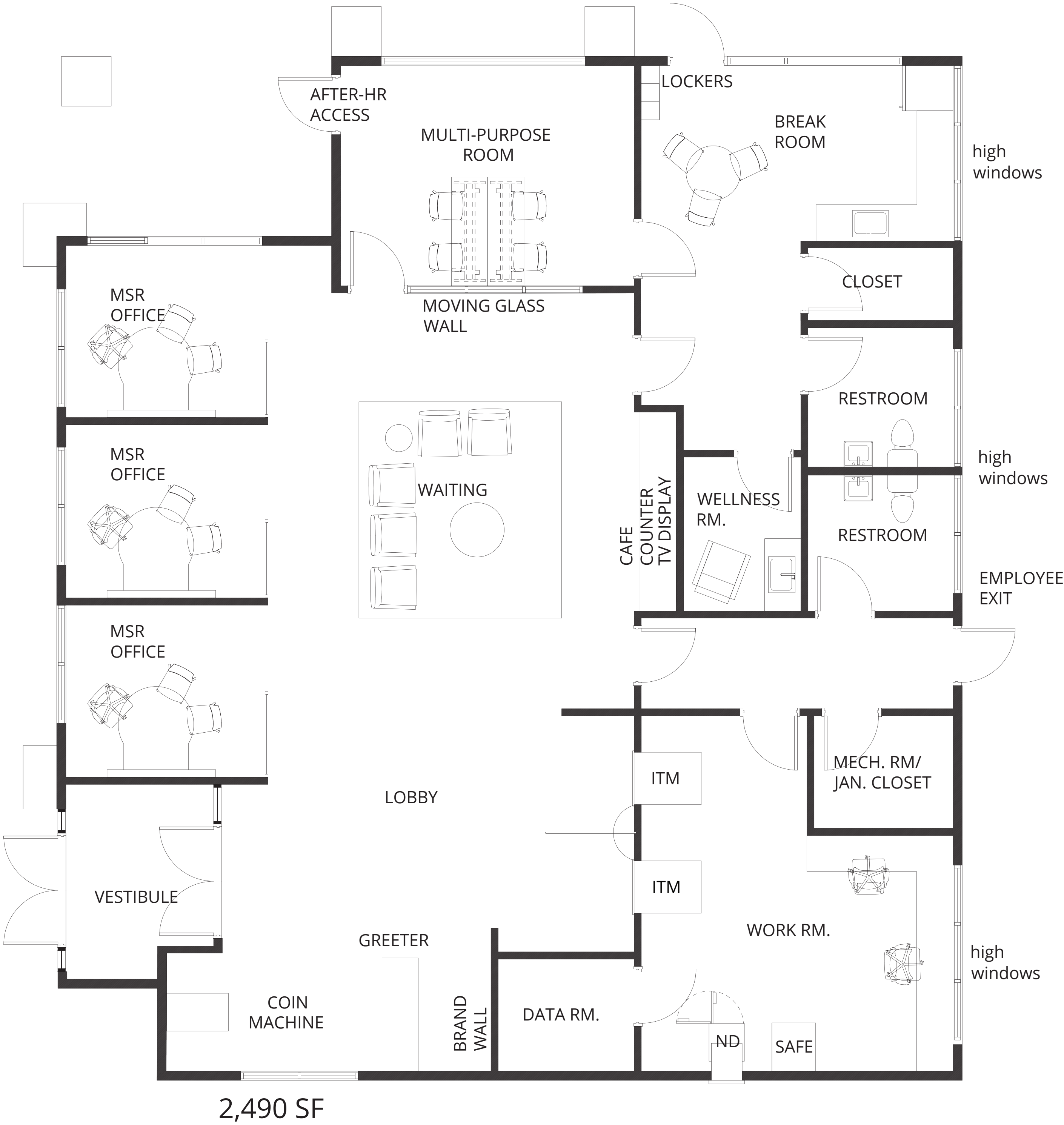
LEGEND

POST	WATER METER	PROPERTY LINE
STORM MANHOLE (DRAINAGE)	ELECTRIC BOX	FENCE LINE
CATCH BASIN	ELECTRIC METER	ELECTRIC LINE
CURB INLET	GAS TAP	GAS LINE
CATCH BASIN	GAS VALVE	TELEPHONE LINE
FIRE HYDRANT	SANITARY MANHOLE	WATER LINE
WATER VALVE	CLEANOUT	STORM LINE
SIGN	UTILITY POLE	SANITARY LINE
LIGHT POLE		
UTILITY POLE WITH LIGHT		

CERTIFICATION
I HEREBY CERTIFY THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY
SHOWN HEREON WAS DONE UNDER MY SUPERVISION.

PATRICK S. FINN OH REG NO 7181
02-16-2023
DATE

FIELD	DRAFT	CHECK
TB	NR	PF
IBI NO.:	141829	
DATE:	February, 2023	
SCALE:	1"=20'	
PRINT DATE:		
SHEET NO.:	1/1	



Concept Floor Plan

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Concept Rendering

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS

North Elevation



West Elevation



Concept Elevations

CLIENT:
PROJECT:
TITLE:

RIVER VALLEY CREDIT UNION
SPRINGBORO, OH
CONCEPT DRAWINGS

East Elevation

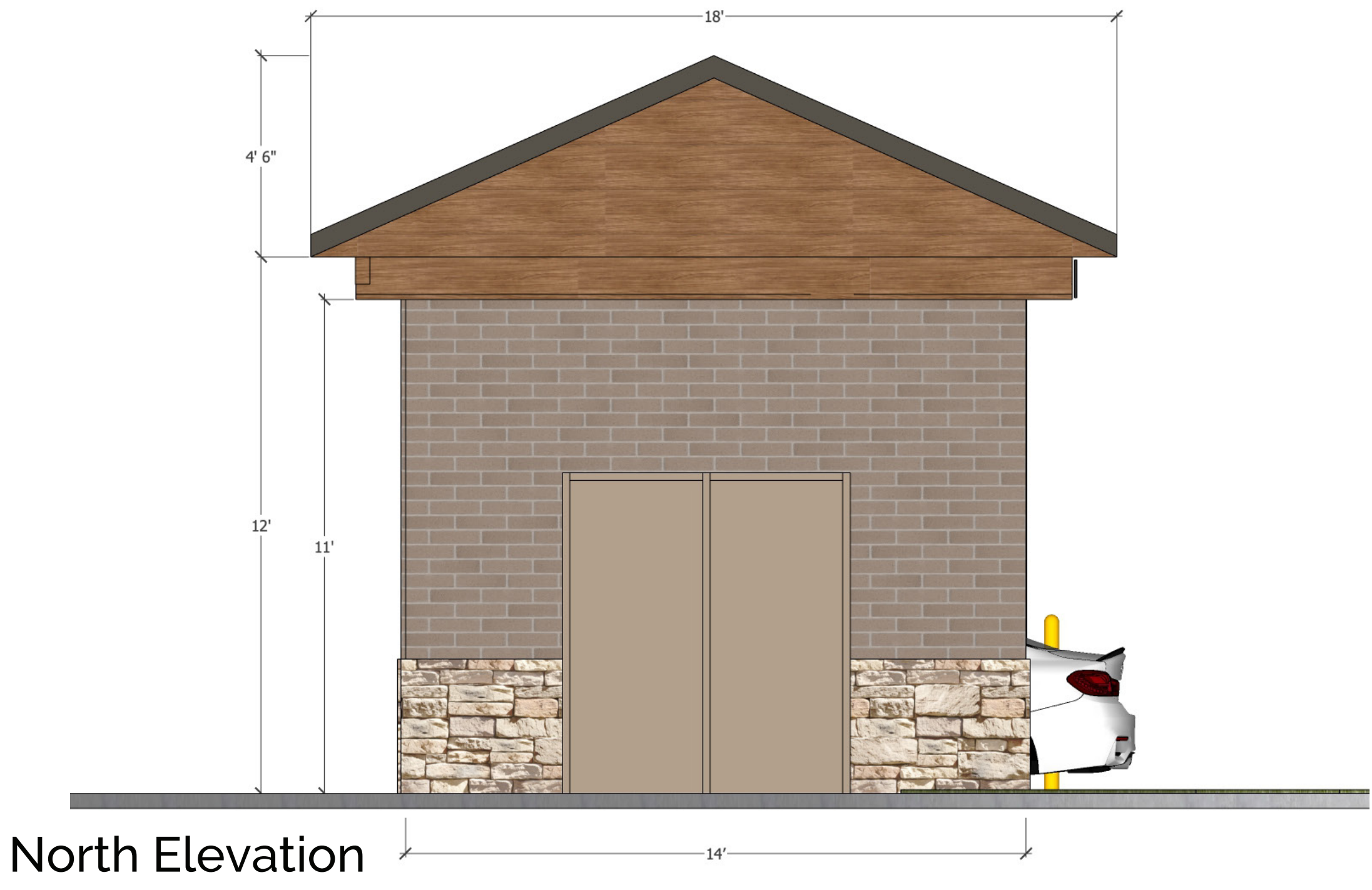
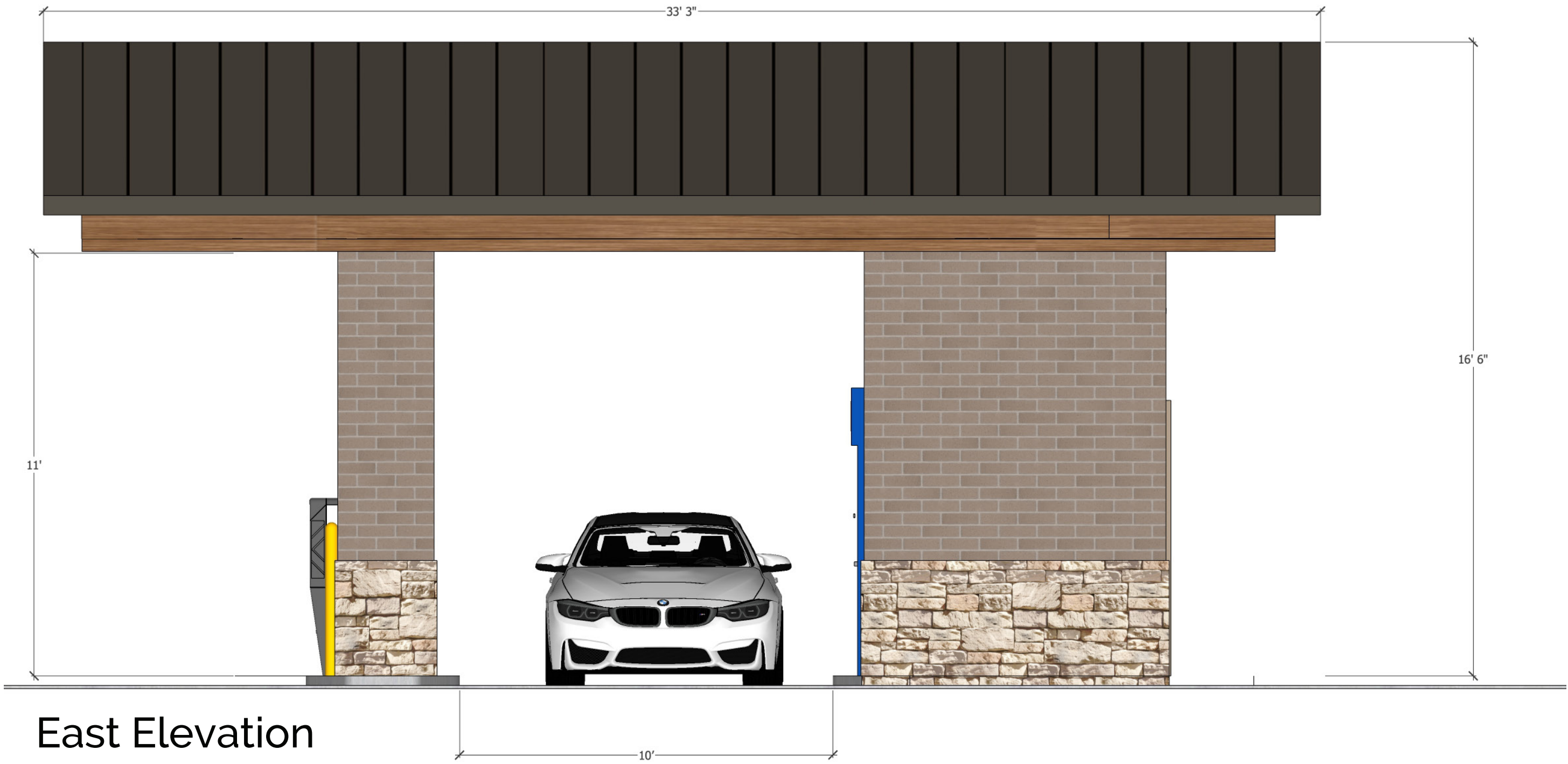


South Elevation



Concept Elevations

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Drive Thru Canopy Elevations

CLIENT: RIVER VALLEY CREDIT UNION
 PROJECT: SPRINGBORO, OH
 TITLE: CONCEPT DRAWINGS



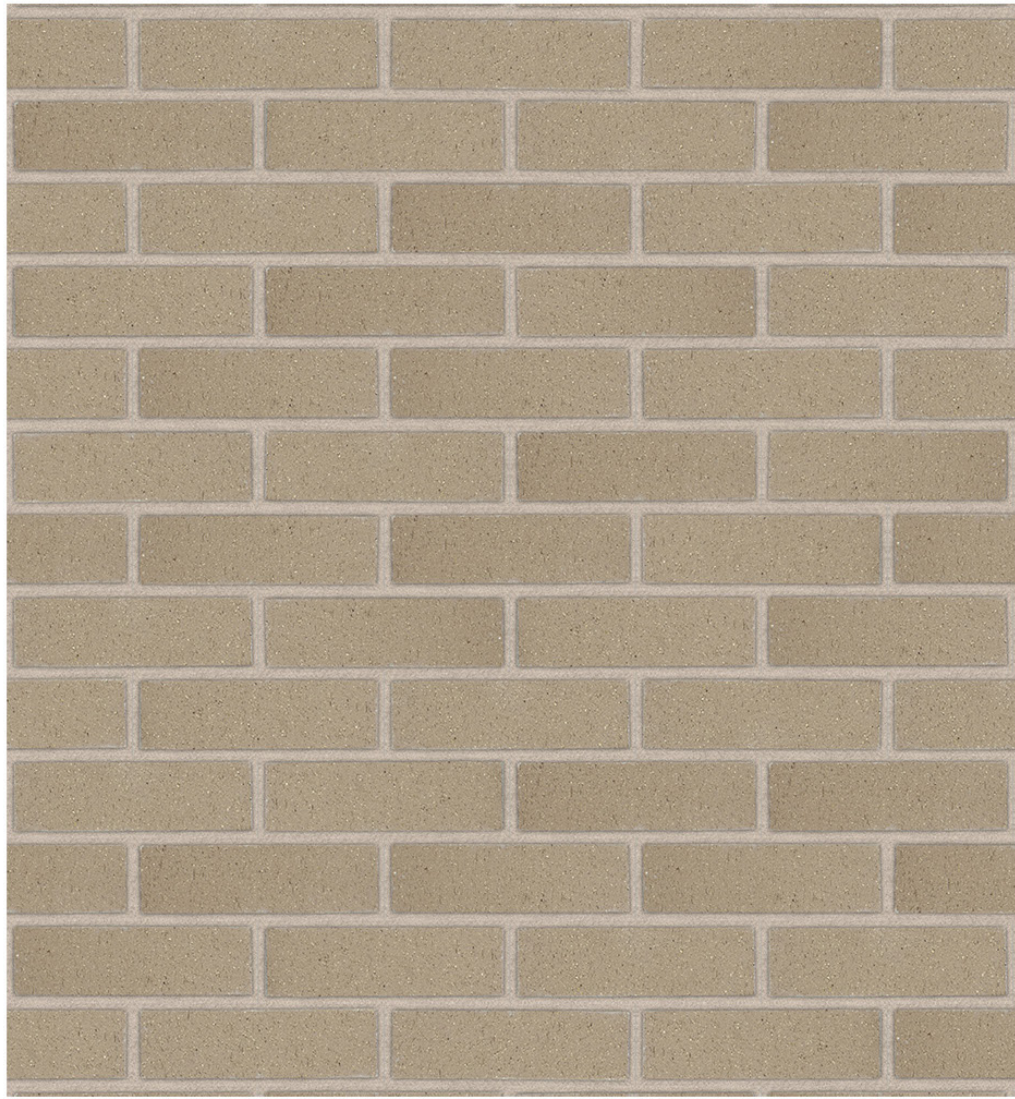
Exterior Perspective Renderings

CLIENT:
PROJECT:
TITLE:

RIVER VALLEY CREDIT UNION
SPRINGBORO, OH
CONCEPT DRAWINGS



STONE
MANUFACTURER: DUTCH QUALITY STONE
COLOR: FALLBROOK



BRICK
MANUFACTURER: GLEN GERY
COLOR: PEARL RIVER



HIGH-GRADE ALUMINUM PANELS
MANUFACTURER: LONGBOARD ARCHITECTURAL PRODUCTS
COLOR: LIGHT NATIONAL WALNUT



METAL CANOPY
MANUFACTURER: DYNACLAD
COLOR: CUSTOM BLUE



STOREFRONT
MANUFACTURER: KAWNEER OR TUBELITE
COLOR: CLEAR ANODIZED



CAST STONE
MANUFACTURER: ROCK CAST
COLOR: CHARLOTTE TAN



METAL SEAM ROOF & FLASHING
MANUFACTURER: DYNACLAD
COLOR: CLASSIC BRONZE



METAL CANOPY
MANUFACTURER: DYNACLAD
COLOR: DOVE GRAY

Exterior Material Board

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, February 08, 2023

I. Call to Order

Chair Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Mike Thompson, Steve Harding, Matt Leedy, and John Sillies

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director, Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary; September Bee, Planning Commission Secretary.

II. Approval of Minutes

A. January 18, 2023 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Pearson motioned to approve the January 18, 2023 Planning Commission minutes. Mr. Harding seconded the motion.

Vote: Dimmitt, yes; Harding, yes; Pearson, yes; Leedy, yes; Thompson, yes; Iverson, yes; Sillies, yes (7-0)

III. Agenda Items

A. Final Approval

Preliminary subdivision review, Wade-Wray property, Wadestone subdivision, 2515 West Factory Road, residential subdivision

B. Final Approval

Revision to Approved General Plan, Swope-Hills property, Wadestone subdivision, 465 West Factory Road, residential subdivision

Background Information

These agenda items are based on requests for preliminary reviews submitted by Grand Communities, LLC, Erlanger, Kentucky, seeking approval to accommodate the development of two adjacent sites on West Factory Road as the Wadestone subdivision. While related, the two reviews will proceed through the City's development review processes separately owing the existing zoning of each site: the 19.6-acre Wade-Wray property located at 2515 West Factory Road that is zoned R-1, Estate-Type Residential District, and the 28.7-acre Swope-Hills property located at 465 West Factory Road that is zoned PUD-R, Planned Unit

Development-Residential. Approval of both plans is required to provide secondary access to each development as required under the City's Planning and Zoning Code.

Adjacent uses include single-family residential to the north in the Royal Oaks and Spring Park subdivisions, to the east residential dwellings fronting West Factory Road and the Springboro Cemetery, the latter in Clearcreek Township, farmland and undeveloped land to the south also in Clearcreek Township, and to the west residential development fronting West Factory Road in Clearcreek Township. Zoning in the vicinity includes R-2, Low-Density Residential District to the north and east in the City of Springboro. In Clearcreek Township, R-1, Rural Resident District, to the east, SR-1, Suburban Residence District, to the south and southeast, and R-1 District to the west.

These items were reviewed on a preliminary basis at the October 12th Planning Commission meeting. At that time the applicant was advised to complete a traffic impact study to address concerns on impacts of the proposed developments on existing roadways in the area.

A traffic impact study was received by the City in December and reviewed by the City's traffic engineering consultant, Scott Knebel, PE, of Crawford, Murphy & Tilly, who agreed with the conclusion that there was no significant traffic impact on the surrounding road network and that no additional improvements, other than those included in City staff comments, were necessary.

Wade-Wray Property

This property is located at 2515 West Factory Road, southwest of the intersection of West Factory Road and West Market Street. The naming of this property is to help in the explanation of the review and approval process only; the name is derived from the current property owners. The site is currently used as a farm and includes one single-family residence on its southeast corner. The property is approximately 19.68 acres in area, and is zoned R-1, Estate-Type Residential District, a zoning district that permits development at the rate of 2 units per acre. The R-1 District requirement a minimum lot size of 20,000 square feet. The R-1 District is a conventional zoning district; no open space is required as part of this property's development, however approximately 2.18 acres of open space, 11.08 percent of the site's acreage, is proposed in the plan. The preliminary plan show on sheet C-400 is largely unchanged with respect to the plan details.

The applicant is proposing the development of 27 single-family residential lots on the property. Access would be provided from West Factory Road, with required secondary access to the east to the adjoining Swope-Hills Property. Since the property bears conventional zoning the plan's layout is being reviewed by the Planning Commission under the City's subdivisions regulations as a preliminary plan, the second stage in the subdivision review process, first on a preliminary review basis and the formal review at a subsequent meeting at the discretion of Planning Commission. There is no City Council review of the preliminary subdivision plan. Following Planning Commission's review, the development may move forward through construction plan review with City staff, and eventually record plan review—the laying out of streets, lots, and common areas—through Planning Commission and City Council.

Staff Comments—Wade-Wray Property

City staff has the following comments for this agenda item:

1. Provide home plan examples for determining compliance with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Provide this and other information as the review carries forward through the review and approval process.
2. Indicate plans for improvements to West Factory Road.

3. Provide landscaping plan for the subdivision consistent with provisions of Chapter 1280 of Planning and Zoning Code.
4. Lighting planned for individual home sites to be provided at a later stage of the development review process.
5. Streets to be built to city specifications, including 29 feet back to back of curb with 5 feet wide sidewalks and subdivision shall meet R-1 standards.
6. A 3" tee and plug (not 2" as noted on plans) shall be stubbed to each property for sump drains to tie into main line sump. Revise note accordingly.
7. Remove buildable home area footprint for lots 9 and 15 to be outside of the Floodway. Development is not permitted in the Floodway. Adjust the setbacks accordingly.
8. Dedicate the right of way along Factory Road, where applicable.
9. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to, water, sanitary, storm sewer, and detention basin design. The existing sanitary sewer (through the center of the property) shall be removed and relocated to the proposed sanitary sewer, if possible.
10. Homes that cannot be gravity drained by sewer shall not be permitted to have basements. Hung sewers are not permitted.
11. Move location of Central Mailbox Unit(s) to the south to be away from the main entrance; to be reviewed and approved by the Post Master. Possible traffic conflicts in this area.
12. 505.1, Address Identification. New and existing homes shall be provided with approved address identification. The address identification shall be legible and be placed in a position that is visible from the street or road fronting the property.
13. 505.2, Street or road signs. Street and Roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.
14. D103.1, Access roads with a hydrant. Where a fire hydrant is located on a fire apparatus road, the minimum road width shall be 26 feet.
15. 503.2.6, Bridges and elevated surfaces. Where a bridge or elevated surface is part of a fire apparatus road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17 as listed in rule 1301:7-7-80 of the Administrative Code. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges.

Swope-Hills Property

The Swope-Wade property is a 28.7-acre site located at 465 West Factory Road that has frontage on West Factory Road. The naming of this property is to help in the explanation of the review and approval process only; the name is derived from the former (Swope family) and current (Hills Development) property owners. The property is zoned PUD-R, Planned Unit Development-Residential. This zoning, dates to September 2003. A general plan was approved at that time, but was revised at the request of the property owner, Hills Development, in April 2006. Subsequently a final development plan was reviewed and approved by the Planning Commission, however that approval lapsed due to inactivity on the part of the development.

The 2006 revised plan allows for residential development of the property with up to 75 dwelling units and 40.4% open space. PUDs such as this parcel are required to include a minimum 25% open space. Fischer/Grand Communities is proposing a minor change to the approved general plan for the property to allow 67 dwellings, and maintain 9.2 acres, or 32% of the site, as open space. Access will be provided by a road extension including a bridge to West Factory Road south of the intersection with Catalpa Drive, and a

second entrance to the Wade-Wray property to the west. A stub street is also proposed to the south into land located in Clearcreek Township.

The proposed changes to the Swope-Hills property constitute a minor change to the approved general plan; review and approval by Planning Commission only is required. Together with rezoning, general plan review and approval is the first step in the PUD approval process. The second stage, final development plan review and approval by Planning Commission, provides more detail on the subdivision's (or a portion of it if develops in sections) plans including street design, utilities, home designs, and more. The final stage, record plan review and approval by Planning Commission and City Council allows for the creation of lots, and the dedication of right-of-way and common space as was described for the Wade-Wray property.

The proposed general plan show on sheet C-400 is largely unchanged from the October 12th submittal with respect to the plan details.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject properties the week prior to the October 12th Planning Commission meeting. As stated at the October 12th meeting, no follow-up letter were distributed.

As these agenda items remain under preliminary review, the Planning Commission will need to authorize placement of these items on a future agenda for formal approval.

Staff Comments—Swope-Hills Property

City staff has the following comments for this agenda item:

1. Provide home plan examples for determining compliance with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Provide this and other information as the review carries forward through the review and approval process.
2. Indicate plans for improvements to West Factory Road.
3. Provide landscaping plan for the subdivision consistent with provisions of Chapter 1280 of Planning and Zoning Code.
4. Streets to be built to city specifications, including 29 feet back to back of curb with 5 feet wide sidewalks.
5. Provide minimum dwelling unit square footage for both house product types. Provide the product type details.
6. Lighting planned for individual home sites to be provided at final development plan stage of development.
7. A 3" tee and plug (not 2" as noted on plans) shall be stubbed to each property for sump drains to tie into main line sump. Revise note accordingly.
8. Homes that cannot be gravity drained by sewer shall not be permitted to have basements. Hung sewers and grinder pumps are not permitted. Remove buildable home area footprint for lot 103 to be outside of the Floodway. Development is not permitted in the Floodway. Adjust the setbacks accordingly. Adjust lot lines for lots 70 to 73 to make the rear yards for lot 72 & 73 standard 25 foot rear setback lots.
9. Dedicate the right of way along Factory Road, where applicable.
10. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to, water, sanitary, storm sewer, detention basin, and bridge design.
11. Move location of Central Mailbox Unit to the southwest, adjacent to lot 51, to be outside of the floodway/floodplain, and to be farther way from the main entrance; needs approval of post master.

12. 505.1, Address Identification. New and existing homes shall be provided with approved address identification. The address identification shall be legible and be placed in a position that is visible from the street or road fronting the property.
13. 505.2, Street or road signs. Street and Roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.
14. D103.1, Access roads with a hydrant. Where a fire hydrant is located on a fire apparatus road, the minimum road width shall be 26 feet.
15. 503.2.6, Bridges and elevated surfaces. Where a bridge or elevated surface is part of a fire apparatus road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17 as listed in rule 1301:7-7-80 of the Administrative Code. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges.

Discussion:

The following representatives from Fischer Homes were present to discuss their application: Robert Hayes, Jennifer Gonzales, and Sam Reese. Also in attendance was Ed Roth with IBI.

Ms. Iverson called for the applicants for the final approvals of the Wadestone subdivision, to please come to the podium.

Robert Hayes from Fischer Homes, Erlanger, Kentucky introduced himself.

Ms. Iverson asked Mr. Boron for summation of the final approval.

Mr. Boron stated that this item was reviewed at the Planning Commission meeting on January 18th. It was previously reviewed back in September 2022. These are two separate but adjoining and interrelated subdivisions, residential subdivisions of the south side of West Factory Road.

He stated that the Wade-Wray property located at 2515 West Factory Road involves development under current zoning and the subdivision regulations, as the property is zoned currently R-1, Low-Density Residential District, there was no request for that zoning to change, so all the proposed lots meet the design and development standards in the conventional zoning that is found there, R-1 District, which allows two units per acre. Most of the development to the north and also the proposed development to the east as part of this were all developed at a density of four units an acre.

He continued that the second property, the Swope-Hills property was subject to a PUD that was approved back in 2003, and amended over time, ultimately to the current development standard of allowing the same development density and the same characteristics as what is proposed today. However, it is a PUD, so it is going through that review and approval process. This is a request for revision to the approved general plan which dates back for quite some time; actually over a decade. The properties are interrelated though because of the requirement of having multiple entrance points to any subdivision greater than 19 lots.

He commented that he and Mr. Dudas have reviewed with the applicants. Mr. Boron feels that the applicants feel that the comments are things they can comply with. Many of the comments are advisory, to be addressed at later stages of the development review process, construction plan review with respect to the Wade-Wray property and through second phase, final development plan of the Swope Hills property.

Ms. Iverson asked Mr. Hayes if there were any comments that the applicants need clarification on at this time.

Mr. Hayes replied that they do not need clarification at this time.

Mr. Harding asking for clarification of the bridge section of these properties.

Mr. Boron commented on the lot requirement that in our code, under subdivision regulations, it is stated that the 19th lot or greater requires two entrance points. This is why these properties are interrelated. This goes back to when Hills Properties brought these two projects in. As for the bridge itself it would be subject to structural and flood plain review by the Engineering Department.

Mr. Harding asked if the bridge had to be in place before the developers could start platting.

Mr. Boron replied that when the bridge has to be in place before they can plat the 20th lot on either subdivision.

Mr. Thompson asked if there was a problem with the construction of the bridge.

Mr. Boron stated not to his knowledge there are no problems but deferred to the applicants and Engineering Department.

Mr. Hayes replied that to his knowledge, there is no problem at this time for the construction of the bridge.

Mr. Harding stated that when they were considering this project many years ago the properties were not interrelated and there was a problem with the bridge at that time which caused all the delays.

Ms. Iverson stated that this was correct.

Mr. Pearson asked if there is a bridge now.

Mr. Harding stated that there is but would not recommend walking across it, that it is the old entrance.

Ms. Iverson asked if there were any other Planning Commission questions.

Mr. Sillies asked that if these agenda items are approved tonight, what would be the timing of the project moving forward.

Mr. Hayes replied that it is their intention to have home sites on the ground by the end of 2023 or early 2024.

Ms. Iverson asked Mr. Boron if when they vote, could the agenda items be combined?

Mr. Boron answered that they would need to be separate.

Mr. Harding asked if they would be approving the second item subject to the other property being approved.

Mr. Boron referred to comment number 1 in each agenda item, which ties both properties together.

Ms. Iverson addressed Mr. Hayes, if no further questions or comments from him, then they would ask for guest comments at this time.

Mr. Hayes thanked Ms. Iverson and the Planning Commission.

Ms. Iverson asked if there were guests in the audience that wish to be heard, to please come up to the podium and state their name and address for the record.

William Cook, 2715 Factory Road, stated that he had just heard of these developments about a month and a half ago. His neighbor told him that the applicants were going to buy the three houses next to Mr. Cook to put in an access road to put into these plats because of the requirement for two access roads. His neighbor said that he had not sold his house yet, but that he had been in contact with Fischer Homes to buy three houses (referred to map of site plan) and put an access road in.

Mr. Cook referred to the site display to explain which properties he was talking about. He said that the Clearcreek County Commissioner (Trustee) that he spoke with told him that they wanted the property to put in a walking trail behind those properties. Mr. Cook stated that he bought his house on this road because it's nice and quiet and does not want a road there and does not want an access walking path going right down his property. He wants to know if they are actually going to put a walking path behind his house or even an access road.

Mr. Boron stated that for the record, that area is in Clearcreek Township; the City has asked Fischer Homes to investigate the notion of providing an access easement between the subdivision and the north/south portion of West Factory Road. This is in light of concerns that the City may have in the future, for an off-road trail that has been proposed to connect E Milo Beck Park to Community Park to the north, so there is a long-range plan to develop an off-road trail along that road up to the vicinity of Victory Wholesale. This proposal, which includes an easement in the subdivision is in the event that the City has any issues with obtaining right of way along that other portion of West Factory Road, which is in Franklin Township. This is a "what if" scenario which the City is currently not planning on implementing. The City is planning to construct an off-road trail between E Milo Beck Park and the Township/City line, just south of the Mockabee property. This trail is proposed for construction is 2026.

Mr. Cook asked if we are putting a walking trail behind his property.

Boron replied no, that it would be further to the south and on the opposite side of the road.

Mr. Cook questioned why the City would put a trail there since there are no sidewalks.

Mr. Boron answered that that is why the City is putting in the trail to provide a multi-use trail connecting the two parks.

Ms. Iverson asked Mr. Boron to indicate on the map to the Planning Commission where the off-road trail would be located.

Mr. Boron deferred to Mr. Dudas who indicated the location on the provided map.

Mr. Cook asked where the trail would be; if it was going along the road.

Mr. Boron replied that it will run along the west side of the road.

Mr. Dudas added that it has not been designed yet but it will be off the road, somewhere along the west side along the tree area.

Mr. Cook asked what if that would include his property.

Mr. Boron said that Mr. Cook lives on the east side of West Factory Road in Clearcreek Township; the property that is being proposed for west side of Factory Road. Mr. Boron said that the trail has not been designed, it has only been looked at it from a feasibility standpoint; there is no proposal at this point in time to construct the trail.

Mr. Cook asked if anyone knows about this trail.

Mr. Boron replied that the Bicycle & Pedestrian Master Plan was adopted by City Council in 2020. The adoption of the Master Plan included public meetings and inviting all the public to the meetings to understand what the City's long range plans are.

Mr. Sillies asked if letters went out last year regarding this subdivision.

Mr. Boron replied that letters went out to all property owners within 300 feet of the project.

Mr. Leedy stated that those letters were sent out with regards to the subdivision, not the walking trail.

Mr. Cook wanted to clarify the walking trail or access road would not be going to follow along the east side of the road.

Mr. Boron stated that there were no active plans for that to happen.

Mr. Dudas explained the path of the trail and the backup plan location.

Ms. Iverson reiterated that this is only a "What if" scenario.

Mr. Boron confirmed it is a "What if" scenario only.

Mr. Boron stated that it was his understanding that Mr. Cook has spoken with Jeff Palmer, Clearcreek Township Planner, and offered to speak with Mr. Cook during normal business hours or some other time that would be convenient for Mr. Cook with regards to the long-range plans for this trail.

Ms. Iverson asked for further comments.

Sarah Cook, West 2715 Factory Road, stated that she was confused because she doesn't understand why their neighbors would tell them Fischer Homes had approached them about buying their property.

Ms. Iverson said that she was not familiar with the properties Ms. Cook is referring to.

Mr. Boron stated that he was not familiar with this either and said that Ms. Cook would have to ask Fischer Homes about this issue.

Ms. Iverson noted that representatives from Fischer Homes were in the audience and asked if they would care to address this purchase at the current time.

Robert Hayes stated that the property owners at 2729 West Factory Road, to his knowledge, have not been approached by Fischer Homes about purchasing their property.

Jennifer Gonzales of Fischer Homes confirmed that they have not approached this property owner for purchase of their property.

Mr. Cook was adamant that his neighbor is in negotiations for their property with Fischer Homes.

Ms. Iverson stated that the sale of private property by a developer would not be up for review with the Planning Commission.

Ms. Cook stated that she does not believe Fischer Homes is telling the truth.

Mr. Cook added that what worries him is that on SR 741, the Standifers were told the same thing, that there was just going to be a walking trail to connect to the sidewalks when actually there is an access road there now and it is 5 feet on their property.

Ms. Iverson stated that was in the Clearcreek Township and the City of Springboro does not control that road. She stated that she understood, but again, purchase of property by a developer is not something the Planning Commission controls.

Ms. Cook asked what if they don't want the walking trail behind their house. She stated nobody asked either she or her husband if they wanted a trail there.

Ms. Iverson then referred to the 2020 Bicycle & Pedestrian Master Plan for the City and they had citizen input and it was adopted.

Ms. Cook said they just found out about this and feels she is getting conflicting stories.

Mr. Boron stated that besides hearing about this issue from the Clearcreek Township Planner, this is the first time he's heard anything about the purchase of their neighbor's properties. The City has discussed with Fischer Homes the notion of having an alternative route to connect to the west on this route but nothing came out of that other than the easement on this property which is in the City of Springboro. The remainder of the property is in Clearcreek Township and the City would have to go to the Clearcreek Township trustees to have that discussion and to his knowledge, nothing has taken place.

Ms. Cook then stated that her other concern is where are all the children going to go to school. She said she works at the school system and a lot of the schools are already busting at the seams.

Ms. Iverson explained that the City of Springboro does not control the school system; the School Board controls the schools and their job is to look at growth and to plan for what's needed for the future. Everyone works together, but the Planning Commission does not have control over what the schools do. The Planning Commission cannot deny a property developer when they are following the code.

Mr. Harding stated that right now, that property is R-1 District, so the developer can already put houses there. It's already zoned for residential and they are not asking for rezoning. The other property was rezoned about ten years ago.

Ms. Cook stated that another concern of theirs is that West Factory Road is like a drag strip; she said that people go down their road at 80 mph. She has called the police and is just waiting for someone to go off the road. She asked if there was any concern about that for people who live on Factory.

Mr. Dixon explained that traffic study surveys do not involve speed, but are based on the volume of traffic. Speed is a law enforcement issue. The neighborhood itself had planned ten years ago, at the first rezoning and now this one, the amount of cars is not adding significantly to the volume of traffic to the road. He stated that it probably did not qualify for a traffic study to be warranted. In the City's case, we require one anyway just to get the numbers and he believes that the peak hour average may be an extra 60 cars at the peak hour.

Ms. Cook stated that she lives on that road and she does not believe Mr. Dixon's figures. She said that when cars come around the curve, people drop the hammer.

Mr. Dixon told Ms. Cook that this is again, a police enforcement issue.

Ms. Iverson said that Mr. and Ms. Cook's comments are on the record and that she is a citizen here too and everyone is concerned about the speed and some of the issues that they are expressing are due to multiple municipalities in a very small area, so that can get a little tricky.

Ms. Cook stated that she does not like being blindsided. She said they were blindsided by this whole proposed development.

Ms. Iverson told her that she understood. This issue was voted on over ten years ago.

Ms. Cook stated that they just bought their house three years ago and they were not aware that this had been proposed.

Ms. Iverson thanked Ms. Cook and asked for further comments from any other guests. She stated that there would be guest comments again after the third agenda item, but at this time, if no further comments from Planning Commission or staff, she needs to call for the vote for the Final Approval, preliminary subdivision review, Wade-Wray property, Wadestone subdivision, 2515 West Factory Road, residential subdivision. Ms. Iverson asked for discussion.

There was none.

Ms. Iverson called for roll call.

Mr. Thompson motioned to approve. Mr. Sillies seconded the motion.

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Ms. Iverson said that motion is carried.

Ms. Iverson called for a motion for the Final Approval, revision to the approved general plan, Swope-Hills property, Wadestone subdivision, 465 West Factory Road, residential subdivision.

Mr. Pearson motioned to approve. Mr. Dimmitt seconded the motion.

Ms. Iverson asked for discussion. There was none.

Ms. Iverson called for roll call.

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Ms. Iverson stated that the motion is carried.

Ms. Iverson asked about next steps in the development process.

Mr. Boron reviewed the next steps for both properties. There will be no City Council review until the recording of lots and the dedication of right-of-way and common areas.

Mr. Harding asked that this is coming back to Planning Commission.

Mr. Boron said that yes, final development plan review for the Hills-Swope property, and record plan review for the Wade-Wray property prior to Council action.

Ms. Iverson stated that Planning Commission is going to move to the next item and said that no votes would be taken this evening. Planning Commission then moved down the review table. Ms. Iverson called for the applicants to join them at the review table.

C. Preliminary Review

Rezoning, R-2, Low Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street

Background Information

This agenda item is based on a request filed on behalf of High Concrete Technology, LLC, (hereafter High Concrete) to rezone a number of properties located on or in the vicinity of the east termini of East Market Street and East State Street. The rezoning proposal, which is itemized below, is to accommodate the sale of property to Springboro Evangelical Church for use of a vacant office, located at 105 East State Street, and formerly used by High Concrete, and High Concrete's training and meeting space located at 145 East Market Street. The building/property at 145 East Mill Street were rezoned to B-3, Central Business District, in 2006 to accommodate the use of the building/property by High Concrete as a training center and meeting room. In 2015 that zoning was changed to CBD as part of the large scale text revision to the Planning and Zoning Code and Official Zoning Map.

The rezoning also allows for the rezoning of property on the bottom of the hillside that that separates the Historic District and East Street from High Concrete's main operation. That zoning is consistent with the current use of the site.

The proposed rezoning involves the following items as documented in the submitted materials:

- Rezone survey parcel A, 0.0836 acres in area, from R-2, Low-Density Residential District, to CBD, Central Business District. This property is vacant.

- Rezone survey parcel B, 0.333 acres in area, from R-2 District to M-2, Heavy Manufacturing District. The property was formerly the site of a home but is presently the site of a detention pond.
- Rezone survey parcel D, 0.1426 acres in area, from CBD to M-2 District. This property includes a portion of the detention pond.
- Rezone survey parcel G, 0.1248 acres in area, from CBD to M-2 District. This property is vacant.
- Rezone survey parcel H, 0.1813 acres in area, from M-2 District to CBD. This property includes a home that was converted into an office for High Concrete but is now vacant.

The building located at 145 East Market Street was originally constructed as an Orthodox Quaker meeting house, and was later used as a creamery, school, and more recently church, then training center and meeting room for High Concrete. While the building is historic it is not a protected property under the terms of the City of Springboro Historic Preservation Code. The historic district's east boundary ends at the alley that defines the property's west edge. A cemetery tied to the Orthodox Quaker congregation is located to the east of the building.

Adjacent land uses include residential to the north and west on properties fronting East Market Street and East Street. Lands to the east and south are used for manufacturing and are part of the main High Concrete facility. Adjacent zoning includes R-2 District to the west and north, and M-2 District to the east and south with the exception of a small parcel, zoned R-2 District, immediately to the east of 145 East Market Street.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics.

Policy Area 13, Historic Code, includes the subject area. The policy area recommends a mix of uses to ensure a lively interactive district including residential, service, and retail.

This item is being reviewed on a preliminary basis at the January 18th Planning Commission meeting at which time the Planning Commission may authorize this item to be placed on a future Planning Commission regular meeting agenda for formal approval.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property earlier this week. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments on this agenda item:

1. Indicate plans for the use of the properties to be rezoned to CBD. Also indicate plans for the existing buildings located at 105 East State Street and 145 East Market Street, as well as the Quaker cemetery located to the east of the building at 145 East Market Street.
2. Indicate plans for the use of the properties to be rezoned to M-2.

Discussion:

The following representatives from High Concrete were present to discuss their application: John J. Seroky, President of High Concrete, and Luis G. Riancho, surveyor.

Mr. Boron deferred to High Concrete and their team about the specifics of the re-platting of this property. He stated that his understanding of this agenda item is that High Concrete was approached by a church to purchase what has now been used as a training and education facility conference room. This building was an old church, built around 1830. The property was rezoned to allow the training/conference use when High Concrete purchased the church property and he had Planning Commission refer to an exhibit that shows the existing zoning.

Mr. Riancho pointed out the existing zoning to Planning Commission on his plans, clarifying that everything on the west side of the subject property will be CBD as proposed and most of the east side at the bottom of the hill is going to be M-2 District like the rest of the High Concrete facility.

Mr. Pearson asked if everything south is M-2 District.

Mr. Boron said that yes, everything east and south.

Mr. Boron said the property was zoned to what is now CBD when High Concrete purchased it to allow the use for High Concrete's training facility. Previously it was zoned R-2 District, which did not permit the use. Then it changed to CBD which is the zoning that you see on South Main Street primarily.

Mr. Seroky explained that his company has been trying for years to figure out how to use this property so that it best fits into the neighborhood without causing a disturbance for residents. Nothing seemed to fit, and it is now coincidental that they have someone interested in the property. There is no pending purchase and sale agreement, and through several conversations, the interested party disclosed they would like to use it as a church. If the rezoning is not approved as CBD, would High Concrete still be allowed to use the space as it currently is being used, which is office and meeting space.

Mr. Pearson asked if High Concrete owns all the parcels in question.

Mr. Seroky confirmed that they are all owned by High Concrete.

Mr. Pearson asked the reason these parcels are so choppy due to history?

Mr. Riancho confirmed that that is the case.

Mr. Boron added it is the residual effect of development over time, plus there is frontage on two streets.

Mr. Boron replied to Mr. Seroky's question of whether they could still use the building as is if it is rezoned R-2 and the answer is no, they could not use a residential building as a training or conference center, which is why it was rezoned in 2005. Mr. Boron's question is because so much of the property in the vicinity is R-2, and the church is permitted under R-2, would the church be amenable to that zoning? Typically rezoning requests are brought about by the buyer, not the seller.

Mr. Leedy asked Mr. Boron if there are any protected, historic properties on any of the parcels in question.

Mr. Boron replied no, the historic district stops at the ally. The building currently on the site dates back to around 1830 and was the old Hicksite Quaker meeting house. This building and the cemetery were not included when the district was being surveyed. It is possible it could be deemed historical in the future.

Mr. Leedy asked if the dates of 1828 – 1830 determined if that was why the building and cemetery were not included in the survey.

Mr. Boron stated that this was the period when the Quaker meeting house split off into two branches, Hicksite and Orthodox.

Mr. Dimmitt said that currently the church property is zoned CBD, which allows it to be used as a church. Is that CBD being rezoned?

Mr. Harding replied that no, it was staying as CBD.

Ms. Iverson asked what the next steps would need to be.

Mr. Boron replied that the next step would be to bring this back to the Planning Commission, if that is acceptable, for final approval.

Mr. Thompson asked if the cemetery has any protection of any sort.

Mr. Boron replied that it does not, at least by the City under the Historic Preservation Code. It would be protected under state regulations provide. Mr. Boron confirmed the cemetery is owned by High Concrete.

Ms. Iverson asked if anyone on the Planning Commission had any questions.

Mr. Pearson stated that the building did not appear dilapidated and asked Mr. Seroky if they still utilize the building.

Mr. Seroky stated they are not using it as offices currently, but with some work and a new roof, it could be used.

Mr. Boron commented that it appears Russ Hess' letter which was submitted to the Planning Commission at this meeting is referring to the building at the end of East State Street, not the meeting/conference space, however he is correct, the meeting/conference property is historic and it has been used for multiple applications, but primarily as a church, with the past fifteen years being used as a conference center.

Mr. Pearson asked if the building has any historic designation.

Mr. Boron replied that it does not and that is not uncommon in the City of Springboro. Mr. Boron gave a brief history of how the historic district and outlying designated historical properties came to be created. A comment that Mr. Boron thinks the Planning Commission would support is would the applicants accept a study to determine if this property needs to be added to the historic district. That would involve doing an inventory and looking up the history to determine its significance. In turn, this could help the buyer because of potential incentives of grants and other benefits. They would also be subject to review by the Architectural Review Board if any exterior changes are proposed to the building.

Mr. Pearson stated that this question of historical designation is not what the meeting is about tonight, it's only about zoning.

Mr. Dimmitt asked if that step of would add any cost to High Concrete. Would they have to foot the bill for any of the historical designation activities?

Mr. Boron said that if the Planning Commission and the City decided that if it was worth doing the buyer would have to take that cost on.

Ms. Iverson asked if everyone had their questions answered.

Mr. Boron said that he had spoken with Mr. Pozzuto; he is supportive of possibly following up on historic designation for this property. That would entail some work and Mr. Boron said he would be happy to work with the seller.

Mr. Seroky said that when they submitted their application for this rezoning, it was without the premise that they would actually be selling the property. It may or may not still happen.

Ms. Iverson asked realistically, how soon would this item come before the Planning Commission again for approval.

Mr. Seroky replied that they were ready.

Ms. Iverson thanked Mr. Seroky and Mr. Riancho for coming and that possibly Planning Commission could be seeing them again very soon. The next meeting is March 8th and the submittal deadline is February 17th.

Mr. Riancho added that the cemetery would remain on a separate property.

Ms. Iverson called for guest comments again, specifically from Ms. Bray.

Ms. Bray asked what will happen to the cemetery.

Mr. Riancho stated that the cemetery was part of the package.

Mr. Harding said that he was sure the State of Ohio would have to be contacted before they could disturb a cemetery.

IV. Planning Commission and Staff Comments

Ms. Iverson asked for any final Staff Comments before they adjourn.

Mr. Boron said that the rezoning of the property at the southwest corner of East Central Avenue and Red Lion-Five Points Road will be the subject of a public hearing at City Council on March 2nd. This is the Maronda Homes project approved by the Planning Commission in January.

Ms. Iverson asked for further questions. There were none.

VI. Adjournment

*Mr. Harding motioned to adjourn the February 08, 2023 Planning Commission Meeting at 6:51 pm
Mr. Pearson seconded the motion.*

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary