

Agenda
City of Springboro Planning Commission Meeting
Wednesday, March 8, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. February 8, 2023 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Record Plan, The Manor of Settlers Walk Section Three-A, lot reconfiguration
 - B. Final Approval, Rezoning, R-2, Low-Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street
 - C. Final Approval, Site Plan Review, 800 West Central Avenue (SR 73), proposed Sheetz fuel center, convenience store, and restaurant
 - D. Preliminary Review, Site Plan Review, 25 West Central Avenue (SR 73), new River Valley Credit Union branch
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information Staff Comments/Recommendation
City of Springboro Planning Commission Meeting
Wednesday, March 8, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval
Record Plan, The Manor Section Three-A, lot reconfiguration

Background Information

This agenda item is a request for record plan approval for a new section in The Manor neighborhood of Settlers Walk, specifically on the west end of Trevor Lane. At the request of the property owners of lot 67, the rear yard line is being re-platted to increase the size of the lot from approximately 0.294 acres to approximately 0.3711 acres, possibly for landscaping purposes, removing land from those owned by the Settlers Walk Homeowners Association (HOA). Following review by the Planning Commission, the record plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan for The Manor Section Three-A subject to compliance with the following comments:

1. Add original notes as shown on title sheet from the recorded record plan of the Manor Section Three at Settlers Walk.
2. Change a part of the title from "3A" to Three – A", on all sheets.

B. Final Approval

Rezoning, R-2, Low-Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street

Background Information

This agenda item is based on a request filed on behalf of High Concrete Technology, LLC, (hereafter High Concrete) to rezone property, approximately 0.8653 acres in total, located at or in the vicinity of the east termini of East Market Street and East State Street. The rezoning proposal, which is itemized below, would accommodate the sale of property including a vacant office building, located at 105 East State Street, and High Concrete's training and meeting space, located at 145 East Market Street, by provided a single zoning category for the lands: CBD, Central Business District. One lot would be created for the vacant office and training/meeting space described above. Currently the proposed lot sits on portions of three parcels.

A second, non-buildable lot would be created immediately to the east of 145 East Market Street. This is the site of a cemetery and currently is includes two parcels. The zoning of that property would also be CBD.

Lands further to the east, at the bottom of the hillside that separates the Historic District and East Street from High Concrete, would be rezoned to accommodate High Concrete's continued operation. That zoning is consistent with the current use of the site. Those lands would be consolidated into the High Concrete property. Currently this land sits on portions of three parcels.

The building/property at 145 East Mill Street were rezoned to B-3, Central Business District, in 2006 to accommodate the use of the building/property by High Concrete as a training center and meeting room. In 2015 that zoning was changed to the existing CBD as part of the large scale text revision to the Planning and Zoning Code and Official Zoning Map.

The proposed rezoning involves the following items as documented in the submitted materials:

- Rezone survey parcel A, 0.0836 acres in area, from R-2, Low-Density Residential District, to CBD, Central Business District. This property is vacant and would be joined to the cemetery property. It is located immediately to the
- Rezone survey parcel B, 0.333 acres in area, from R-2 District to M-2, Heavy Manufacturing District. The property was formerly the site of a home but is presently the site of a detention pond for High Concrete.
- Rezone survey parcel D, 0.1426 acres in area, from CBD to M-2 District. This property includes a portion of the High Concrete detention pond.
- Rezone survey parcel G, 0.1248 acres in area, from CBD to M-2 District. This property is vacant.
- Rezone survey parcel H, 0.1813 acres in area, from M-2 District to CBD. This property includes a home that was converted into an office for use by High Concrete but is now vacant.

The building located at 145 East Market Street was originally constructed as an Orthodox Quaker meeting house, and was later used as a creamery, school, a residence, a church, then a training center and meeting room for High Concrete. While the building is historic, it was built sometime after 1828, it is not a protected property under the terms if the City of Springboro Historic Preservation Code. The historic district's east boundary ends at the alley that defines the property's west edge. A cemetery tied to the Orthodox Quaker congregation is located to the east of the building.

Adjacent land uses include residential to the north and west on properties fronting East Market Street and East Street. Lands to the east and south are used for manufacturing and are part of the main High Concrete facility. Adjacent zoning includes R-2 District to the west and north, and M-2 District to the east and south with the exception of a small parcel, zoned R-2 District, immediately to the east of 145 East Market Street.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area 13, Historic Code, includes the subject area. The policy area recommends a mix of uses to ensure a lively interactive district including residential, service, and retail.

This item was reviewed on a preliminary basis at the February 8th Planning Commission meeting at which time the Planning Commission authorized this item to be placed on a future Planning

Commission regular meeting agenda for formal approval. Council action is required to approve the rezoning.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the January 18th Planning Commission meeting when preliminary review was initially scheduled. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Recommendation

City staff recommends approval of the rezoning as requested.

C. Final Approval

Site Plan Review, 800 West Central Avenue (SR 73), proposed Sheetz fuel center, convenience store/restaurant

Background Information

This agenda item is based on an application filed by Skilken Gold Real Estate, Columbus, Ohio, representing Sheetz, seeking preliminary review through the site plan review process to construct a Sheetz fuel center, convenience store/restaurant at 800 West Central Avenue (SR 73). The proposed site is approximately 2.38 acres in area and has frontage on both West Central Avenue and Tahlequah Trail. The site is the former location of Edwards Furniture. Two businesses, Printing for Less and the Jeanie Moreland dance studio, continue to operate in the building on the Tahlequah Trail side of the property.

The proposed Sheetz will be 6,138 square feet in area and as proposed includes a drive-through on the west side of the building and fuel pumps on the south/West Central Avenue side of the property. Access to the proposed building/site will be with two curb cuts on Tahlequah Trail, and an entrance on West Central Avenue. The site plan also includes the dedication of right-of-way on the north side of the property to accommodate an east-west road connecting Tahlequah Trail west to Greenway Lane. That road's installation will occur at a later date.

The subject property is zoned HBD, Highway Business District, a zoning district that permits the proposed use. The site plan as proposed meets all setback and building height requirements of the HBD.

Existing land uses in the vicinity of the subject property includes to the north the former site of Integrity Interiors (100 Tahlequah Trail) and Thaler Machine (216 Tahlequah Trail) on the northeast corner of Tahlequah Trail and Edwards Drive. To the east are two multi-tenant retail/office buildings on the east side of Tahlequah Trail, the larger building facing West Central Avenue. To the south on the south side of West Central Avenue are LaComedia Dinner Theater (765 West Central Avenue), McDonald's (775 West Central Avenue) and Long John Silver's (785 West Central Avenue). To the west is a 13-acre vacant parcel; further west is the KFC and Taco Bell (850 and 860 West Central Avenue, respectively). Zoning in the vicinity of the subject property is HBD to the east, south on the south side of West Central Avenue, and west. To the north including the former Integrity Interiors site and Thaler Machine is ED, Employment Center District.

This item was reviewed on a preliminary basis at the October 12th and November 16th Planning Commission meetings. The Planning Commission authorized this item to be placed on a future Planning Commission regular meeting agenda at the November 16th meeting in consideration of staff and other comments discussed at that meeting. No action is needed on the part of City Council on the site plan itself, however any dedication of right-of-way would need to be subject to a record plan reviewed and approved by Planning Commission and City Council.

Staff Recommendation

City staff recommends approval of the site plan for 800 West Central Avenue for the proposed subject to the following conditions:

1. For proposed lighting plan, address the following:
 - a. Provide a clearer depiction of the lighting readings in the vicinity of the proposed c-store/restaurant.
 - b. Lighting levels exceed the maximum 4.0 foot-candle standard for walks on all sides of the building except for the west.
 - c. Indicate if lighting levels include architectural lighting. Note that a maximum of 5.0 foot-candles is permitted.
 - d. Lighting intensity exceeds maximum 6.0 foot-candle levels adjacent to canopy.
 - e. Verify all lighting is 3500k or less.
 - f. Aside from OSQ lighting proposed, fixtures are not International Dark Sky compliant. While not required, such lighting is consistent with Chapter 1273 standards for color temperature, glare reduction, etc.
 - g. Average to maximum (4:1 permitted) and minimum to maximum (10:1) ratio are exceeded on the photometric analysis. Revise plan accordingly.
2. For proposed landscaping plan (sheets L1.0-1.1) address the following:
 - a. Additional landscape treatments needed to lessen impact of fueling center portion of proposal on West Central Avenue frontage in the form of mounding, screen wall or fencing as discussed at October 12th Planning Commission meeting. See also Tahlequah Trail landscaping comment.
 - b. Provide a total of 5 shade trees on West Central Avenue frontage (5 required, 2 indicated in notes, 3 shown on plans).
 - c. Adjust landscape arrangement on Tahlequah Trail frontage to include shade trees on southwest corner of site. Also, proposed cherry trees are not acceptable as shade trees for this application (may be used to satisfy ornamental and other tree requirements).
 - d. Indicate parking lot landscape areas noted on sheet L1.0 and location of 11 proposed trees.
 - e. Are no landscaped areas proposed on the south side of the c-store/restaurant?
 - f. Indicate location of proposed 35 trees meeting site landscaping requirement. Staff recommends using part of this requirement on the southwest corner of site for screening purposes.
3. Signage to be consistent with Chapter 1281 of Planning & Zoning Code, Signs. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
4. Provide bicycle parking consistent with (f) of Off-Street Parking Chapter 1279 of Planning and Zoning Code. Coordinate with City staff on acceptable design and clear zones.
5. Water main minimum cover is 54". Provide existing water main location along West Central Avenue and Tahlequah Trail. Show the location of the proposed water lateral tap to the existing water main along Tahlequah Trail, along with curb box located behind sidewalk. Meter pits are not permitted; water meter with remote reader to be located inside building,

remove details on sheet C7.4 accordingly and revise coded note 1 on sheet C5.0. A 2" plastic water main to be installed, being HDPE tubing (SDR 9, 250 PSI), with #14 AWG blue tracer wire. Provide pavement saw cut and pavement replacement details for water/sewer lateral taps. Delete coded note 2 on sheet C5.0.

6. Update the TIS submitted on 10/13/2022 with comments from 11/4/2022 incorporated. In particular, update Table 11 showing the calculated queue lengths. This is needed to confirm the length of the SB right turn lane shown on the concept plans is adequate as a 2-lane approach on Tahlequah Trail. Aisle width of 35 feet could be reduced to 24 feet if SB right turn lane is extended further north.
7. If a north/south road were constructed along the west property line, the right in/right out on West Central will be removed and the access will be off of this future road.
8. Relocate mailbox in the NE quadrant outside of the public right of way and away from bypass lane.
9. Widen pavement limits for Tahlequah Trail to provide two southbound 11 foot lanes (not including curb and gutter) – provide additional right of way if necessary. (Note: the gutter plate is not a travel lane but to convey water.)
10. Stripe northbound two eleven foot lanes with dashed lines on Tahlequah Trail
11. Concrete apron shall to extend past proposed curb and gutter of Tahlequah Trail.
12. Provide signage at the Right In/Right Out access on West Central to prevent left turns into and from the site, such as no left turn and do not enter.
13. No curb to extend adjacent to parking stalls on the east side along the bypass lane; this will become an object that is hit if extending into the street.
14. Relocate watch valve for fire hydrant outside of proposed curb for the turn lane on SR 73.
15. Signage is not approved as shown, and shall be a separate submittal to the city building/zoning office.
16. Provide ODOT Type 2 curb and gutter along Tahlequah Trail and SR 73 in the right of way, not barrier curb.
17. Provide record plan dedicating right of way along West Central Avenue and along the rear property line to accommodate a future 45 foot radius (mirror Edwards Drive).
18. Provide detention calculations and operation/maintenance of detention structure on the SWPPP.
19. Provide public sidewalk easement and appropriate pavement markings along Tahlequah Trail.
20. Extend depressed ODOT Type 2 curb & gutter through both curb cuts on Tahlequah Trail and add trench drains at west side of concrete drive aprons.
21. Provide sewer lateral tap elevation. Revise minimum sanitary sewer lateral to be 2%. Remove cleanout at sewer tap location in Tahlequah Trail.
22. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.
23. Plans to be signed by the owner.
24. The Clearcreek Fire District will require the purchase and installation of a Knox Box at the main entrance of the facility before the completion of the building.
25. A scaled floor plan is required at or before time of final building inspection showing occupant load, location of exits, electrical and gas shut offs, fire department connections and other applicable information as may be useful in conducting pre-incident preparation by the fire district. The acceptable size of this plan is 8.5 inches by 11 inches.
26. A fire extinguisher plan must be submitted to the fire district. Placement and installation must be done prior to final building inspection.
27. Building requires a minimum 4" contrasting address numbers near main entrance. Must be visible from the road.

28. All test of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791 48 hours prior to testing. The Fire Marshal or district representative will witness all testing.

D. Preliminary Review

Site Plan Review, 25 West Central Avenue (SR 73), new bank branch for River Valley Credit Union

Background

This agenda item is a preliminary site plan review, based on an application submitted by Berardi+Partners, Columbus, Ohio on behalf of the property owners, proposing the construction a new River Valley Credit Union branch at 25 West Central Avenue (SR 73). The site is currently occupied by a River Valley Credit Union branch that includes a drive through. Under this proposal, the applicants propose to (1) construct of a new stand-alone drive-through facility to maintain operation on the property during redevelopment, (2) demolish the existing branch building, and (3) construct a new 2,490-square foot branch location as indicated in the submitted materials.

The subject property is located at the southwest corner of West Central Avenue (SR 73) and Florence Drive. Access is provided to the site from both streets in the existing and proposed plans, however the number of curb cuts on the Florence Drive frontage has been significantly revised in the proposed site plan.

The subject property is zoned UVD, Urban Village District. While the applicant has been advised that the proposed use is permitted, the redevelopment of the site and any other in the UVD will need to comply with the design and development standards of the UVD in addition to the standard site plan review requirements.

Existing land uses include to the east include a vacant City-owned parcel at the southwest corner of South Main Street (SR 741) and West Central Avenue (SR 73), and a multi-tenant building located at 20 South Main Street. To the south is the former site of Jonathan Wright Elementary School, to the west is Republic Mortgage at 55 West Central Avenue, and to the north on the north side of West Central Avenue (SR 73) is the developing Wright Station mixed-use area.

Existing zoning in the vicinity of the subject property is UVD to the east, west, and north, and R-2, Low-Density Residential District, on the former site of Jonathan Wright Elementary School.

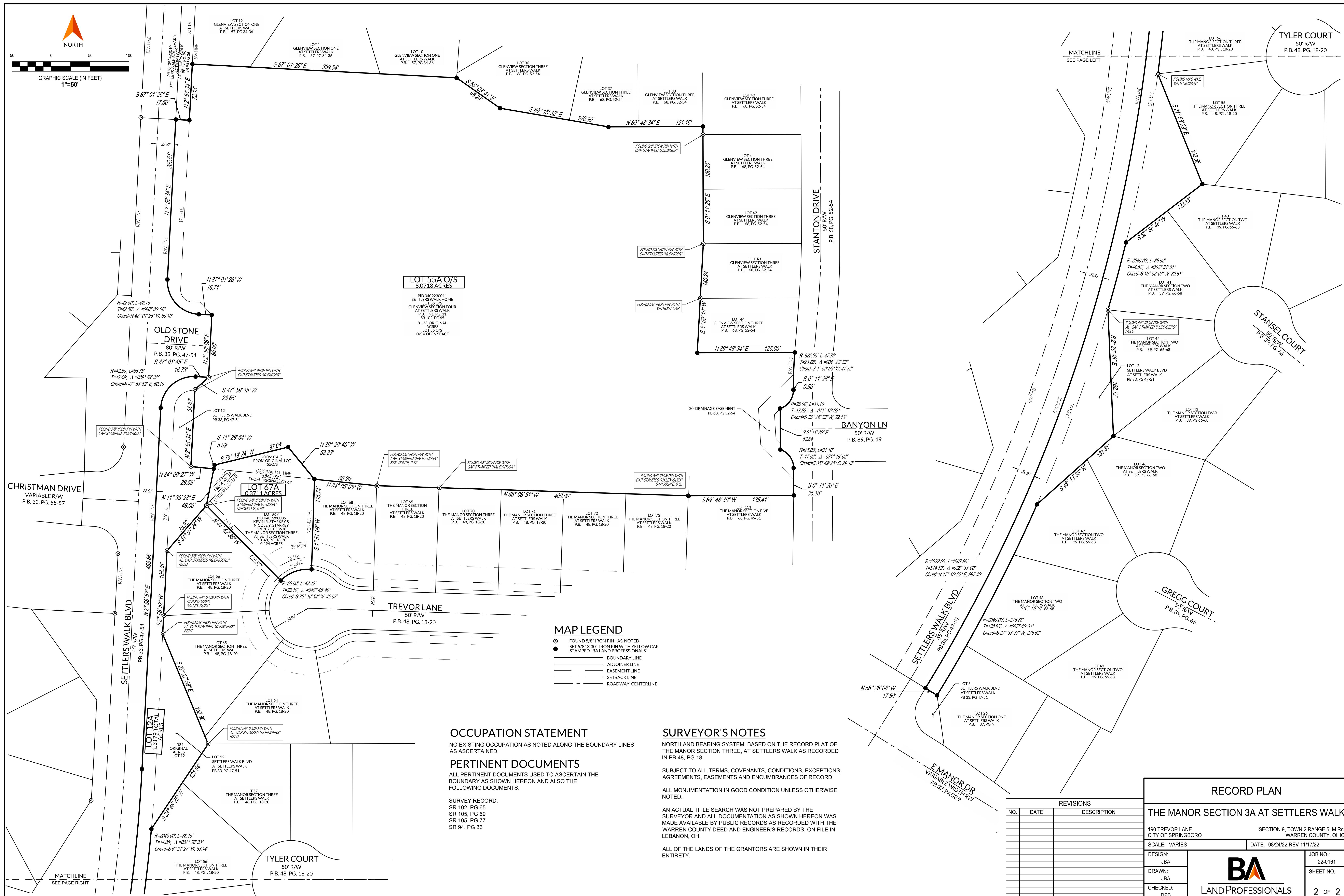
Staff Comments

City staff has the following comments on this agenda item:

1. Provide pre- and post-development impermeable surface calculations. Also why is so much impermeable area proposed in the vicinity of the building that would potentially impact the need for on-site detention?
2. Provide building population information to determine parking demand for property.
3. The building setback on the SR 73 frontage to be 0 feet; suggest moving the proposed building closer to the street and relocating the proposed picnic area to another area of the site.
4. Revise plans to depict accurately property line configuration and provide setback dimensions.

5. Provide dimensions to property line for proposed sign and accessory structure on Florence Drive frontage.
6. Revise east (Florence Drive) and south elevations to meet four-sided architecture requirement. See UVD Section 1267.08(a)(1) (typical citation through comment #13), and orientation to street requirements. Section 1267.08(a)(2).
7. Windows on east elevation to meet vertical orientation requirement. Section 1267.08(a)(3). Also verify all glass to meet material requirements. Section 1267.08(a)(4).
8. Indicate proposed building materials on concept elevations, including accessory structures, screening walls, and sign structures, for compliance with Section 1267.08(a)(5) and Section 1267.08(a)(7).
9. North (West Central Avenue) and east (Florence Drive) elevations to meet 65% opacity requirement. Section 1267.08(a)(10).
10. Landscaping to be reviewed following preliminary review of site plan in light of Section 1267.09 and Chapter 1279, Landscaping.
11. Provide lighting plan following preliminary review consistent with Chapter 1273, Exterior Lighting, and Section 1267.10 including photometric analysis, color temperatures not to exceed 3500k, cut-off fixtures, and more. Lighting plan should also consider architectural, security, and pathway lighting.
12. Signage plan to be reviewed by Zoning Inspector for compliance with Chapter 1281, Signs.
13. Screen all ground- and building-mounted ancillary facilities. Section 1267.14.
14. Extend curb and gutter to south property line, with storm sewer and add public sidewalk easement.
15. Provide new water lateral and sewer lateral details. Other engineering comments reserved until the submission of engineered design drawings.
16. We will require the purchase and installation of a Knox Box to be installed and located at the front entrance of the facility.
17. A fire extinguisher plan must be submitted to the Clearcreek Fire District. Placement and installation must be completed prior to final building inspection.
18. A scaled floor plan is required at or before time of final building inspection showing occupant load, location of exits, electrical and gas shut off, fire department connections and other applicable information as may be useful in conducting pre-incident preparation by the Clearcreek Fire District. The acceptable size of the plan is 8.5 inches by 11 inches.
19. Building requires a minimum 4" contrasting address numbers near main entrance. Must be visible from the road.
20. All testing of all systems shall be scheduled through the Springboro Building Department at (937) 748-9791. All test shall be scheduled 48 hours in advance of testing. The Fire Marshal or Fire District representative will witness all testing.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, February 28, 2023 at 12:00 p.m.



APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

<input type="checkbox"/> Owner	APPLICANT NAME:	LUIS G. RIANCHO & ASSOC., INC.
<input checked="" type="checkbox"/> Agent	Address	140 W. WENGER RD.
<input type="checkbox"/> Lessee		
<input type="checkbox"/> Signed Purchase Contract		ENGLEWOOD, OH 45322
	Telephone No.	(937) 836-1585
	Fax No.	(937) 836-9974
	Email Address	lgriancho@woh.rr.com

PROPERTY OWNER NAME (IF OTHER): HIGH CONCRETE TECHNOLOGY, LLC
NKA HIGH CONCRETE GROUP, LLC
Address: 95 MOUND PARK DR
SPRINGBORO, OH 45066

Telephone No. (717) 917-1549 CONTACT: JEFFREY GOOD

Property Address or General Location: 95 MOUND PARK DR & 145 MARKET ST

Parcel Number(s): PT. 0407156026, PT. 0407157023, 0407157009 Existing Zoning District: M-2 & CBD, CBD, R-2

Proposed Zoning District: CBD, M-2

Proposed Use: PT. 04071560260 with existing brick house to be used as consistent with "CBD" zoning allowable uses.
PT. 04071560260, currently vacant "CBD" zoned northeast of existing brick house, to be used consistent with
existing "M-2" use of parent parcel. PT. 04071570230, currently vacant southeasterly part being split, shall be attached
to adjacent parcel 04071560260 to be used consistent with the adjacent current "M-2" use. Parcel 04071570090 is being
split and each part shall be attached to the adjacent parcels 04071570230 & 04071560260 to be used consistent with the
adjacent parcels "CBD" & "M-2" uses respectively. See attached Statement of Intent, Plat of Survey & Rezoning Map.

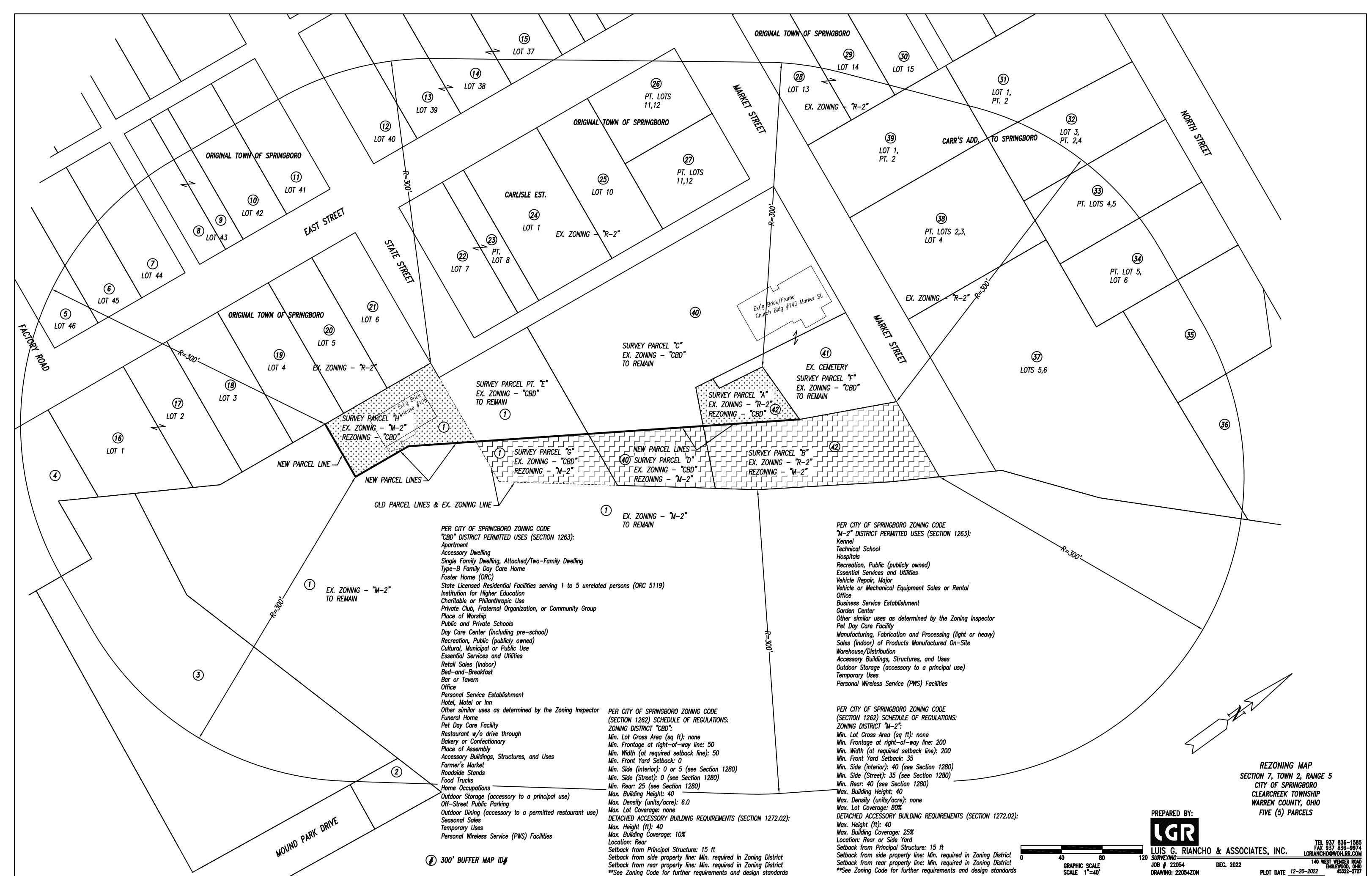
The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)


(Date)

Luis G. Riancho

Printed Name



REZONING VICINITY SKETCH FOR HIGH CONCRETE TECHNOLOGY PARCELS



Warren County Map

The provider makes no warranty or representation with respect to this information, its quality or suitability for a particular purpose. This information is provided AS IS, and the requester assumes the entire risks as to its quality and suitability. The provider will not be liable for direct, incidental or consequential damages resulting from any defect in the information. The provider shall have no liability for any other information. Programs or data used with or combined with the requested information, including the cost of recovering information, programs or data.

Subject: High Concrete Group Authorization
From: "Good, Jeff" <JGood@high.net>
Date: 9/9/2022, 1:28 PM
To: "elmer@cityofspringboro.com" <elmer@cityofspringboro.com>
CC: "Luis G. Riancho & Assoc., Inc." <lgriancho@woh.rr.com>

Good afternoon, Elmer,

Per the discussion you had with Luis Riancho, this email is to authorize Luis Riancho & Associates to work on the behalf of High Concrete Group LLC (formerly High Concrete Technology) for completion of the rezoning on multiple parcels of property.

Let me know if you have any questions.

Thanks

Jeff

JEFFREY GOOD

Director of Purchasing
High Concrete Group
M. 717.917.1549 | jgood@high.net

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

<input type="checkbox"/>	Owner	APPLICANT NAME:	Skilken Gold Real Estate Development
<input type="checkbox"/>	Agent		
<input type="checkbox"/>	Lessee	Address	4270 Morse Road Columbus, OH 43230
<input checked="" type="checkbox"/>	Signed Purchase Contract		
		Telephone No.	614-418-3100
		Fax No.	() _____
		Email Address	apurdon@skilkengold.com

PROPERTY OWNER NAME (IF OTHER): Edwards Furniture Inc.

Address: 800 W Central Ave Springboro, OH 45066

Telephone No. ()

Property Address or General Location: 800 W Central Ave Springboro, OH 45066

Parcel Number(s): 0420401001 Zoning District: HBD

Proposed Use: Convenience Store, Restaurant, Fueling

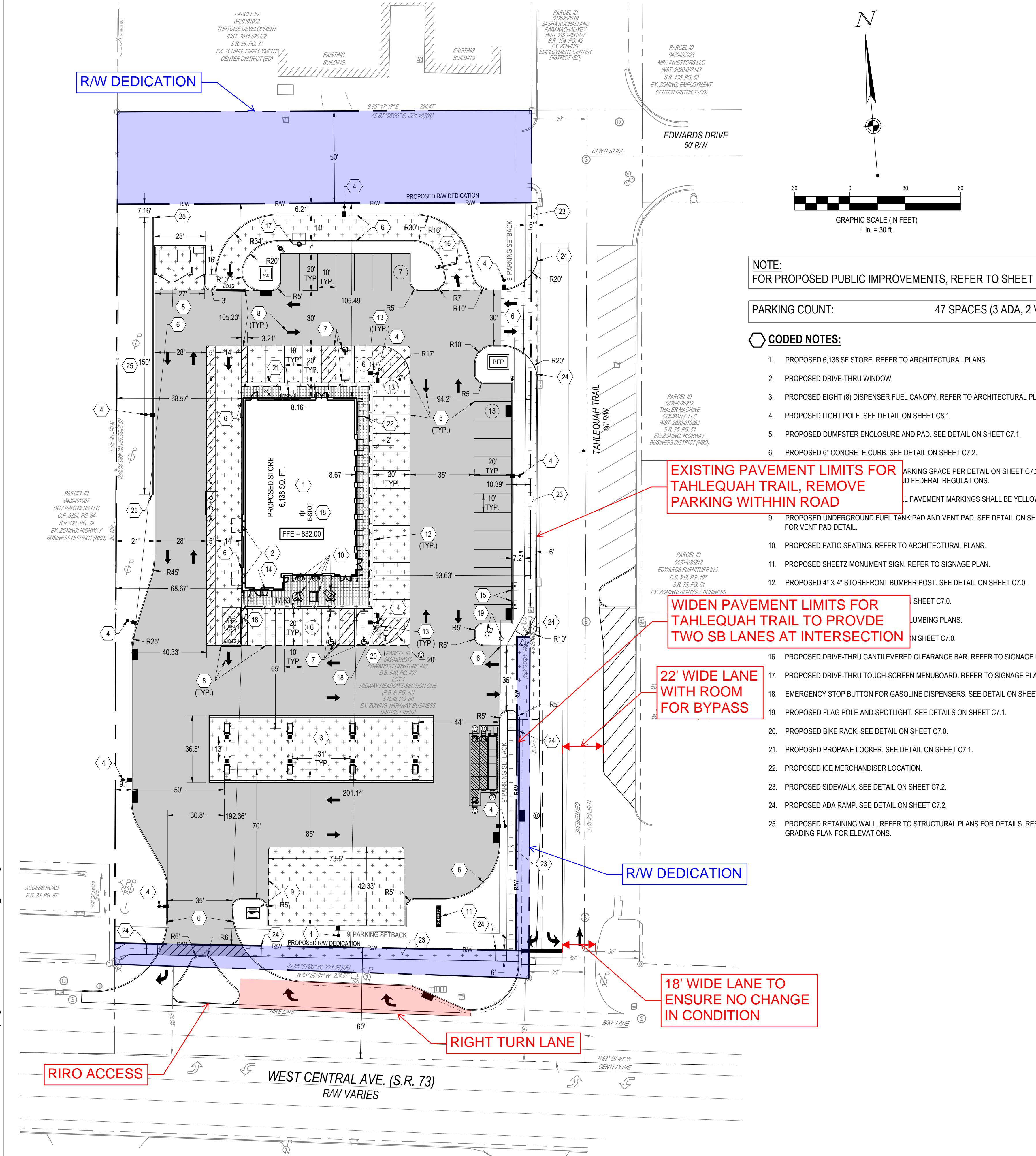
The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

meets.

(Signature of Applicant and/or Agent)

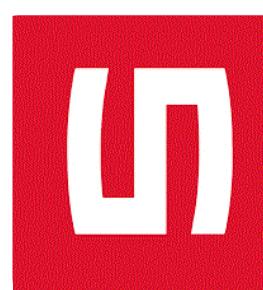
09/22/2022
(Date)

Printed Name



N
EDWARDS DRIVE
50' R/W
TAHLEQUAH TRAIL
80' R/W
WEST CENTRAL AVE. (S.R. 73)
R/W VARIES

SITE LEGEND	
EXISTING	REFER TO C1.0 FOR EXISTING FEATURES LEGEND
PROPOSED	
PROPOSED BRICK PAVERS (REFER TO ARCHITECTURAL PLANS)	
PROPOSED ASPHALT PAVEMENT (SEE DETAIL ON SHEET C7.0)	
PROPOSED CONCRETE PAVEMENT (SEE DETAIL ON SHEET C7.0)	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
EDGE OF PAVEMENT / WALK	
PAVEMENT TRANSITION	
PARKING SPACE COUNT	
SIGN	
CURB INLET	
STORM MANHOLE	



SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

Revisions / Submissions

ID Description Date

© 2023 CESO, INC.
Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title: SITE PLAN

C3.0

Project Summary

Date: February 17, 2023

Project: Sheetz Springboro, OH

Submittal: Major Site Plan Application (Final)

This project proposes to develop a Sheetz convenience store and restaurant. The project proposes to have fuel services on site and a drive through for food pick up. The site is the northwest corner of West Central Avenue and Tahlequah Trail. The proposed building is 6,138 SF. The parcel is zoned HBD. The site proposes 47 parking spaces.

As part of the collaborative development approach by Sheetz, a 50' wide R/W dedication will be provided for the future Edwards Road on the north side of the site. Additionally, R/W dedication will be provided along the frontage of the site along Central Avenue and a portion of Tahlequah Trail.

A traffic study has been completed for this project. From that study and multiple discussions and meetings with city staff the following improvements are required for this project:

- Westbound right turn lane on Central Avenue
- Access point to Central Avenue restricted to right-in & right-out movement only
- Sidewalk along both frontages will be provided
- Tahlequah Trail widening, resurfacing, & striping
 - To remove existing parking and provide (2) SB lanes at the intersection
 - To provide pavement width for cars to bypass NB traffic as needed on Tahlequah Trail

The current site plan does not detail the electric vehicle parking spaces, but the development team anticipates coordination with the city to identify the number and location of spaces to provide.

The roadway improvements are designed and shown on the final site plan application. The Sheetz development team intends to refine and provide additional detail to the public improvement plans before final construction documents are produced.

The project proposes to maintain the impervious are on site in the existing conditions. The stormwater design is to accommodate the water quality measures set by the Ohio EPA. The water quantity design is per the City of Springboro design standards. A stormwater report is included in the submittal package.

CITY OF SPRINGBORO, MONTGOMERY COUNTY, OHIO
PRIVATE SITE IMPROVEMENTS
FOR
SHEETZ #094

W CENTRAL AVE & TAHEQUAH TRAIL
SPRINGBORO, OHIO

DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORSE ROAD
COLUMBUS, OH 43230
PHONE: (800) 800-7837
CONTACT: ALISON PURDON
EMAIL: APURDON@SKILKGOLD.COM

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR, SUITE 400
COLUMBUS, OH 43231
PHONE: (800) 799-2277
CONTACT: JOSH LONG
EMAIL: JOSH.LONG@CESOINC.COM

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
PHONE: 937-748-6184
CONTACT: CHAD DIXON
EMAIL: CHAD.DIXON@CITYOFSPRINGBORO.COM

GAS SERVICE:
DUKE ENERGY
PHONE: 513-439-3886

WATER:
CITY OF SPRINGBORO
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
PHONE: 937-748-6184
CONTACT: CHAD DIXON
EMAIL: CHAD.DIXON@CITYOFSPRINGBORO.COM

COMMUNICATIONS:
SPECTRUM
CONTACT: SHANE DUNCAN
PHONE: 888-406-7063
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STORMWATER:
CITY OF SPRINGBORO
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LEGEND
EXISTING FEATURES LEGEND
APPLIES TO ALL CIVIL SHEETS

	RIGHT OF WAY LINE
	PARCEL LINE
	SUBJECT PROPERTY
	BOUNDARY LINE
	EASEMENT LINE
	CURB
	EDGE OF PAVEMENT
	EDGE OF WALK
	PAVEMENT MARKINGS
	STORM SEWER
	SANITARY SEWER
	WATER LINE
	GAS LINE
	OVHD ELECTRIC LINE
	UGND ELECTRIC LINE
	UGND TELECOMM LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	BENCHMARK SET 5/8" x 30" IRON REBAR WITH YELLOW CAP STAMPED "CESO"
	SANITARY MANHOLE
	TELEPHONE BOX
	CLEANOUT
	GUY WIRE ANCHOR
	CATCH BASIN
	CURB INLET
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	GAS METER
	SIGN
	ELECTRIC BOX
	TRAFFIC BOX
	WATER VALVE
	FIRE HYDRANT
	SIGNAL POLE

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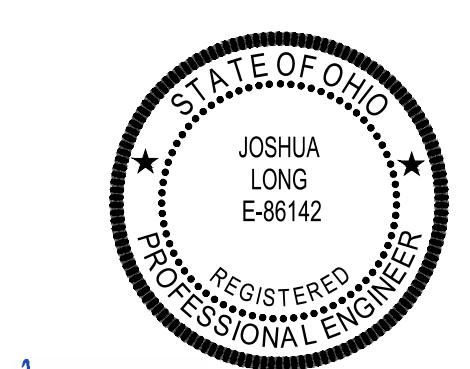
BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472146.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546E
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344E

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1(800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

C1.0



SHEETZ - SPRINGBORO, OH

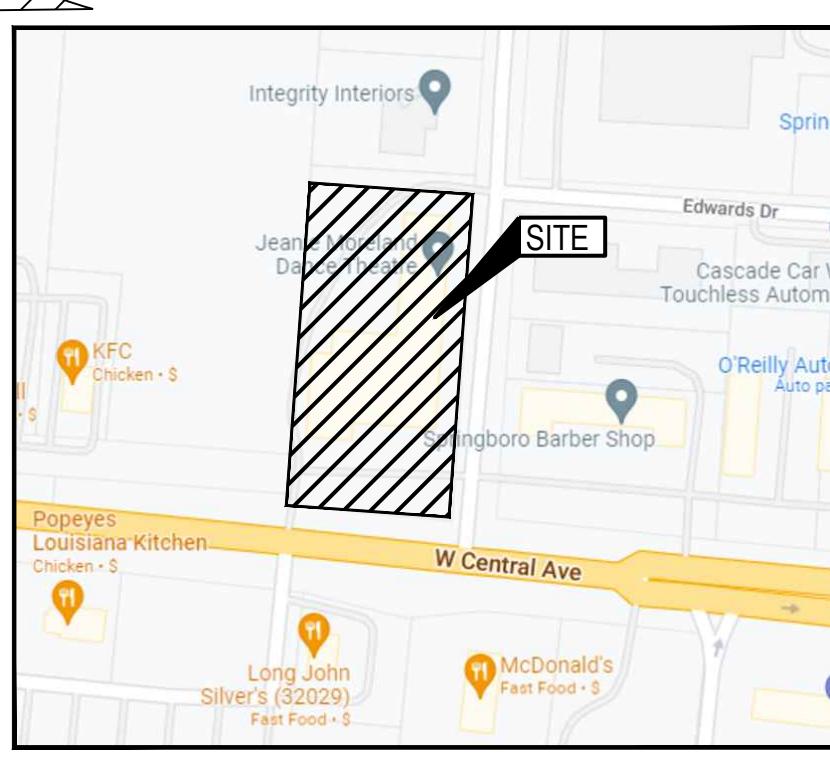
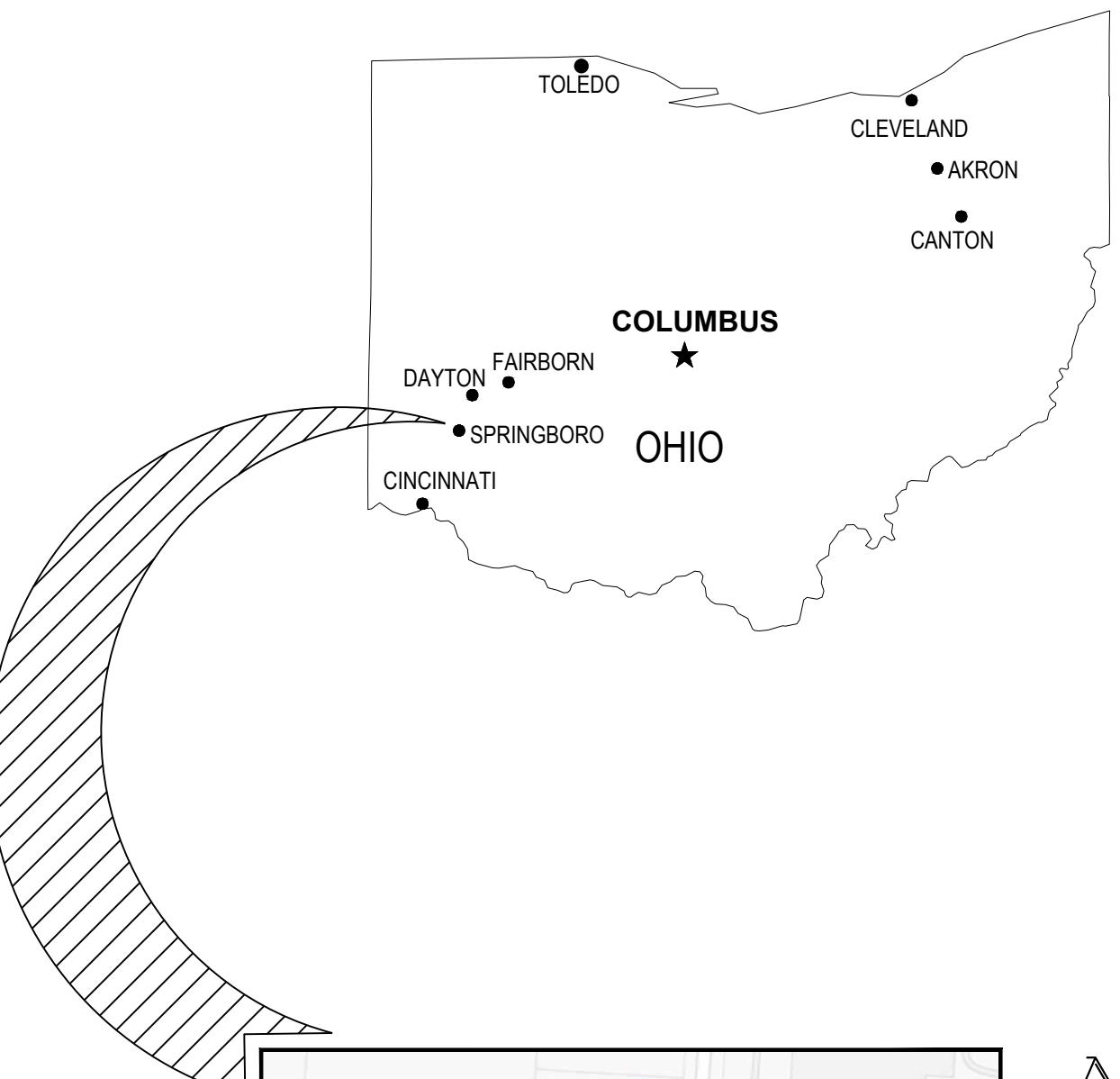
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

Revisions / Submissions

ID Description Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title: **TITLE SHEET**



VICINITY MAP
NO SCALE

C1.0

GENERAL NOTES

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPAKTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR EXTENSION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES, CUT AT EXISTING JOINTS WHERE POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT OR FACE OF BUILDING, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). ALL PAVEMENT MARKINGS SHALL BE YELLOW.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION/RECOMMENDATIONS AND PAVEMENT SECTIONS.
- REFER TO ORIGINAL SURVEY PROVIDED BY CESO, INC.
- ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ADA ACCESSIBLE PARKING SPACED AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
- MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
- COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
- ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
- ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACT, OR SOIL TREATMENT (LIMECEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
- ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

- ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
- ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND ODOT STANDARDS.
- ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
- WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCLASMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
- IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

- ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPAKTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- WATER AND SANITARY UTILITIES SHALL HAVE TEN (10) FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10) FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET.
- ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO CONSTRUCTION STANDARDS AND STATE REGULATIONS.
- INSTALL ALL WATER LINES WITH A MINIMUM COVER OF [4'-0"].
- ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:

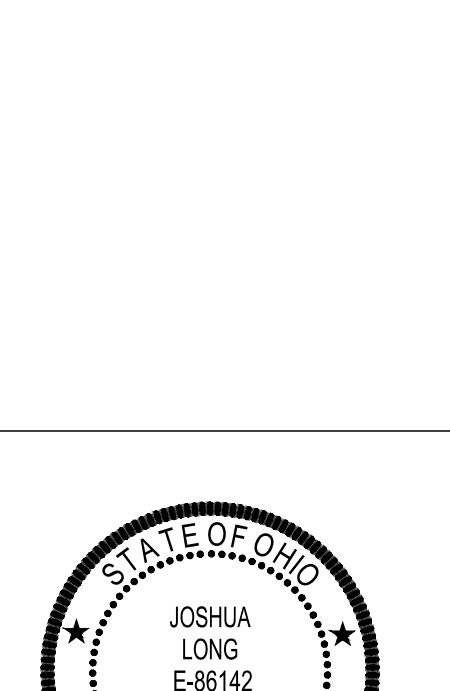
MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
HIGH-DENSITY POLY-ETHYLENE (HDPE TUBING)	SDR 9 P.C. = 250 PSI	ASTM D2239 AWWA C901 ASTM F714	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, < 3" DIA.
COPPER 1"-3"	TYPE "K"	ASTM B88	AWWA C800	AWWA C800	DOMESTIC WATERLINES 1"-3"
PE 4710 POLY-ETHYLENE PLASTIC (IPS)	SDR 11 P.C. = 200 PSI	ASTM D3035 AWWA C901	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 2" TO 3" DIA.
P.V.C. POLY VINYL CHLORIDE 4"-8" C900	C900	AWWA C901 (RATED DR 14)	ASTM F-477 ASTM D3139	AWWA C900 C651	ON SITE, 4"-8" WATER LINES & FIRE LINES INSTALL W/ TRACER & TAPE #12 COPPER
DUCTILE IRON PIPE 4"-12"	CLASS 52 P.C. = 350PSI	ASTM C104, C110, C151, C500	ASTM C111	AWWA C600, C651	6" FIRE HYDRANT LEADS
PE 4710 POLY-ETHYLENE PLASTIC (DIPS)	SDR 9 P.C. = 250 PSI	ASTM D2239 ASTM F714 ASTM C906	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 4" DIA. AND LARGER

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., LESS THAN 8.5' OF COVER

- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION
Drawing Title: GENERAL NOTES

C1.1



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT
800 W. CENTRAL AVE
SPRINGBORO, OH 45066

Revisions / Submissions
ID Description Date
Drawing Title: GENERAL NOTES

GENERAL NOTES

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. UTILITY CONTACTS ARE LISTED ON THE TITLE SHEET.
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO SWPPP FOR DETAILS.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE ODOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
14. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
15. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEETZ CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
16. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRADING NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, INC. THE CURRENT REQUIREMENTS OF THE CITY OF SPRINGBORO, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OHIO UPS AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
6. ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES GREATER THAN 3:1 TO PERMANENTLY STABILIZED WITH LANDSCAPE PLANTS.
7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
9. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL CONSULTANTS INC. PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
10. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

STORMWATER MANAGEMENT NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, INC. THE CURRENT REQUIREMENTS OF THE CITY OF SPRINGBORO, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OHIO UPS AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. CONTRACTOR SHALL COORDINATE PUMP ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH SHEETZ AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATERTIGHT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

UTILITY NOTES:

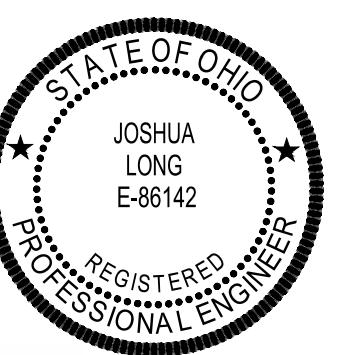
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, INC. THE CURRENT REQUIREMENTS OF THE CITY OF SPRINGBORO, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
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5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO SHEETZ STORE.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE TITLE SHEET.
11. CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
12. CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND SIZE OF THE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

LAYOUT NOTES:

1. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



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2023-02-17



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SPRINGBORO, OHIO 45066

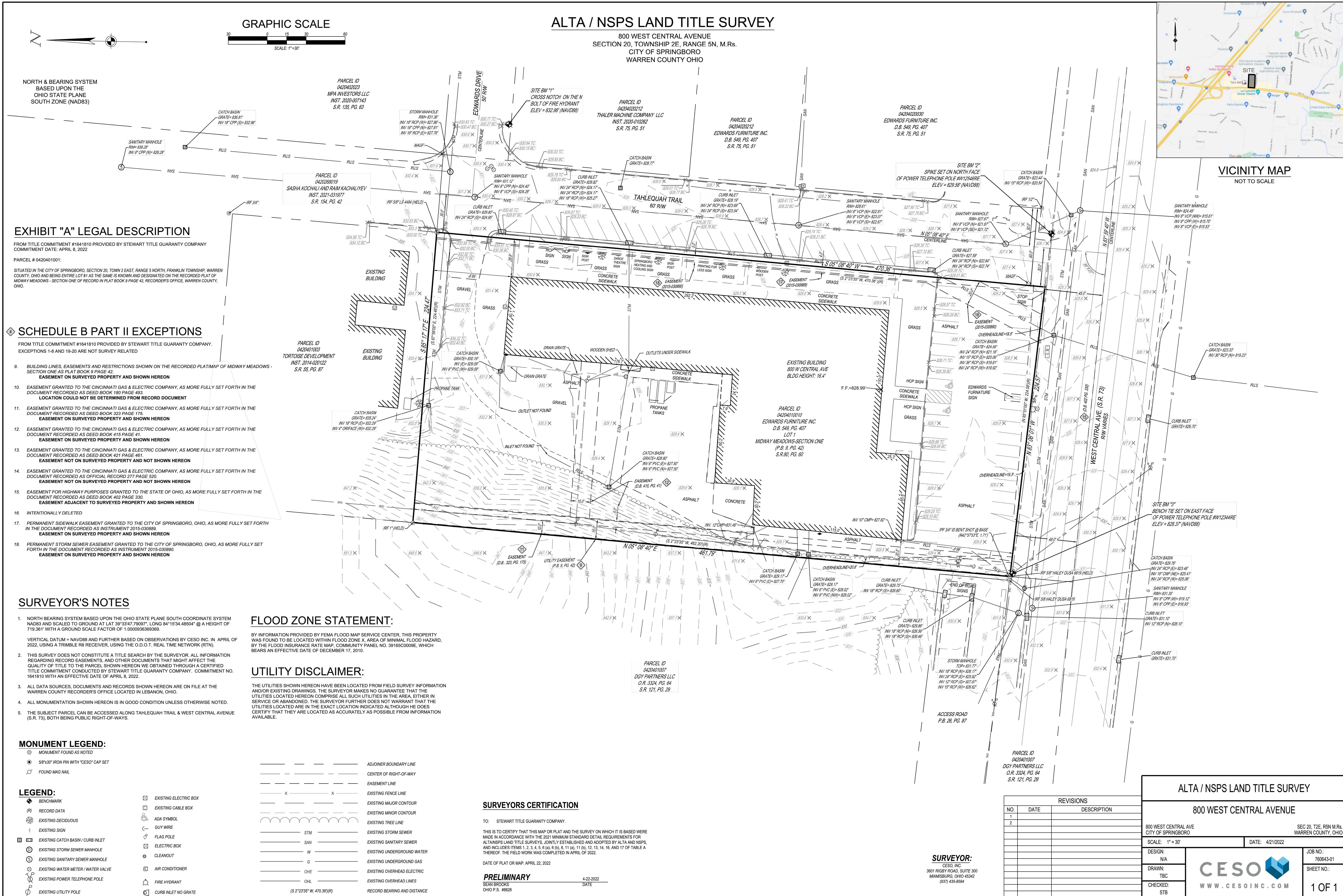
Revisions / Submissions

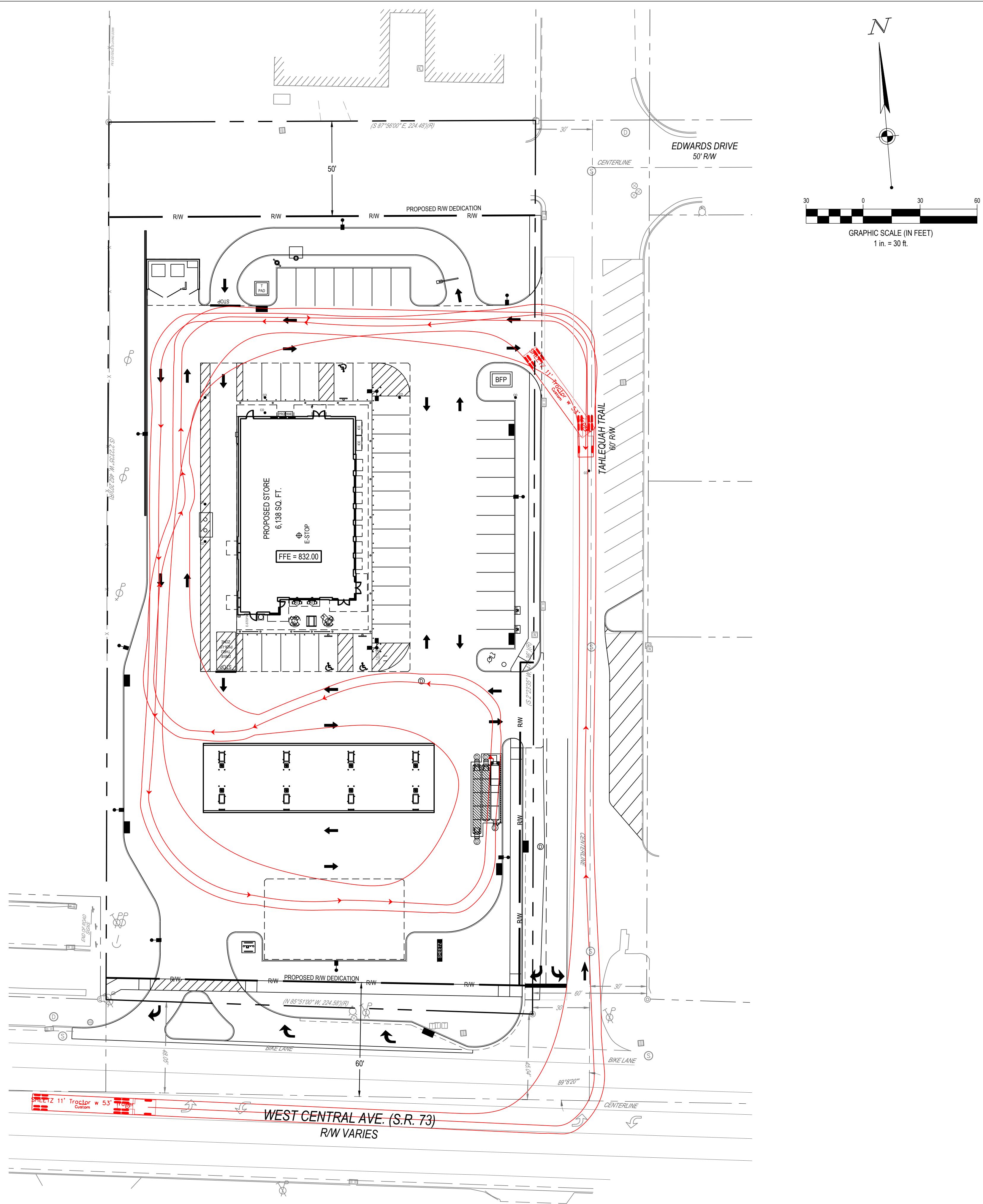
ID Description Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
GENERAL NOTES

C1.2





SITE LEGEND

EXISTING

TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED

— BUILDING

— RETAINING WALL

— CONCRETE CURB

— EDGE OF PAVEMENT

— PAVEMENT TRANSITION

— SIGN



The seal is circular with a black outer border. The words "STATE OF OHIO" are at the top, "PROFESSIONAL ENGINEER" are at the bottom, and "REGISTERED" is in the center. The center contains the name "JOSHUA LONG" and the registration number "E-86142". There are two five-pointed stars, one on each side of the center text.

3-02-17

HO₂

SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

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REAL ESTATE DEVELOPMENT

Revisions / Submissions

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Project Number: 760643

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

Date: 02.17.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:

Drawing Title: **AUTOTURN EXHIBIT**

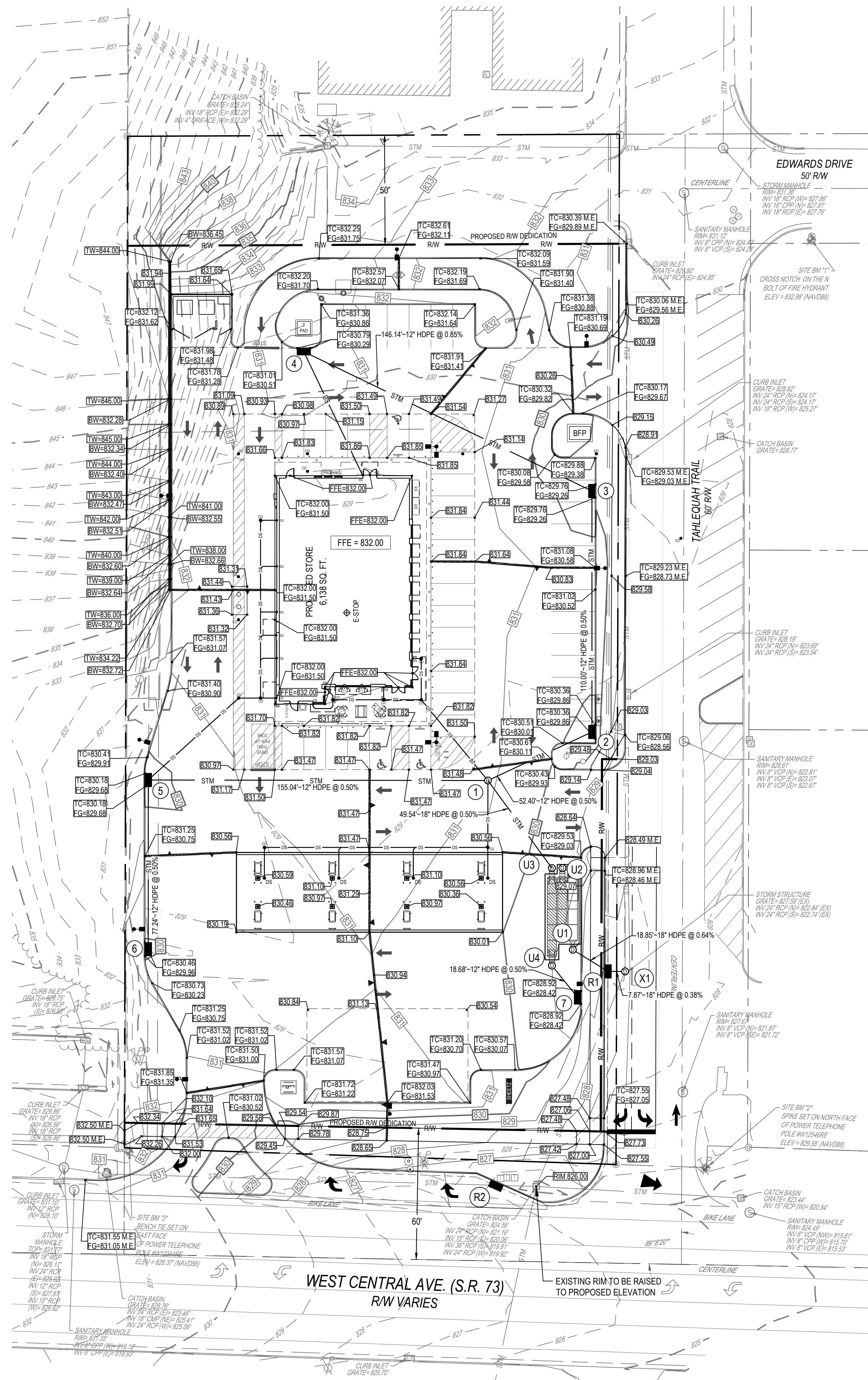
AUTOTURN EXHIBIT

631

C3.1

www.english-test.net

C3.1



NOTE:
FOR PROPOSED PUBLIC IMPROVEMENTS, REFER TO SHEET R2.0.

#1 STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
R2	PRECAST CURB INLET W/ DOGHOUSE STRUCTURE & BASE	825.66	820.25 (24") W 820.25 (24") E
R1	PRECAST CURB INLET	827.52	822.88 (18") NW 822.88 (18") E
X1	EX. CURB INLET W/ PROPOSED CLOSED-LID MH RIM REPLACEMENT	827.59	822.85 (18") W 822.84 (24") N 822.74 (24") SW
U1	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	828.74	823.00 (18") N 823.00 (6") NE 823.00 (18") SE
U4	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.02	823.90 (12") SE 823.76 (18") N
U2	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.31	824.17 (18") E 823.76 (18") S
U3	ADS 30" NYLOPLAST MANHOLE W/ SOLID RIM & 24" SUMP	829.51	823.90 (18") NW 823.76 (18") S
1	PRECAST MANHOLE	831.16	824.65 (12") E 824.65 (12") W 825.15 (6") NW 826.60 (6") S 824.15 (18") SE
2	PRECAST CURB INLET	829.86	824.91 (12") N 824.91 (12") W
3	PRECAST CURB INLET	829.26	825.46 (12") NW 825.46 (12") S
4	PRECAST CURB INLET	830.25	826.10 (6") S 826.70 (12") SE
5	PRECAST CURB INLET	829.68	825.42 (12") S 825.92 (6") NE 825.42 (12") E
6	PRECAST CURB INLET	829.97	825.81 (12") N
7	PRECAST CURB INLET	828.48	823.99 (12") NW

BENCHMARKS				
	ELEVATION*	EASTING**	NORTH**	DESCRIPTION
BM #1	832.98	1472500.75	574373.72	CROSS NOTCH ON THE N BOLT OF FIRE HYDRANT
BM #2	829.58	1472416.38	573955.75	SPIKE SET ON NORTH FACE OF POWER TELEPHONE POLE #W12546RE
BM #3	828.37	1472154.66	573985.65	BENCH TIE SET ON EAST FACE OF POWER TELEPHONE POLE #W12344RE

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

GRADING LEGEND	
EXISTING	REFER TO C1.0 FOR EXISTING FEATURES LEGEND
PROPOSED	
BUILDING	
RETAINING WALL	
MAJOR CONTOUR	
MINOR CONTOUR	
GRADE BREAK	
STRUCTURE NUMBER	
STORM MANHOLE	
CURB INLET	
CLEANOUT	
DOWNSPOUT	
FINISHED GRADE ELEVATION	
TOP OF CURB ELEVATION	
FINISHED GRADE ELEVATION	
MATCH EXISTING ELEVATION	
FINISHED GRADE ELEVATION	
TOP OF WALL ELEVATION	
BOTTOM OF WALL ELEVATION	
BUILDING FINISHED	
FLOOR ELEVATION	
STORM STRUCTURE RIM ELEVATION	
FLOOD ROUTE	

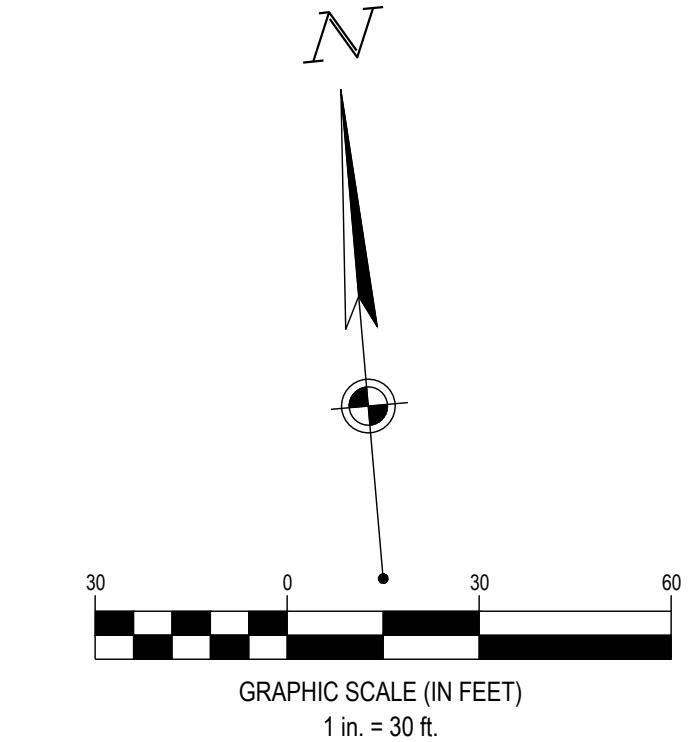
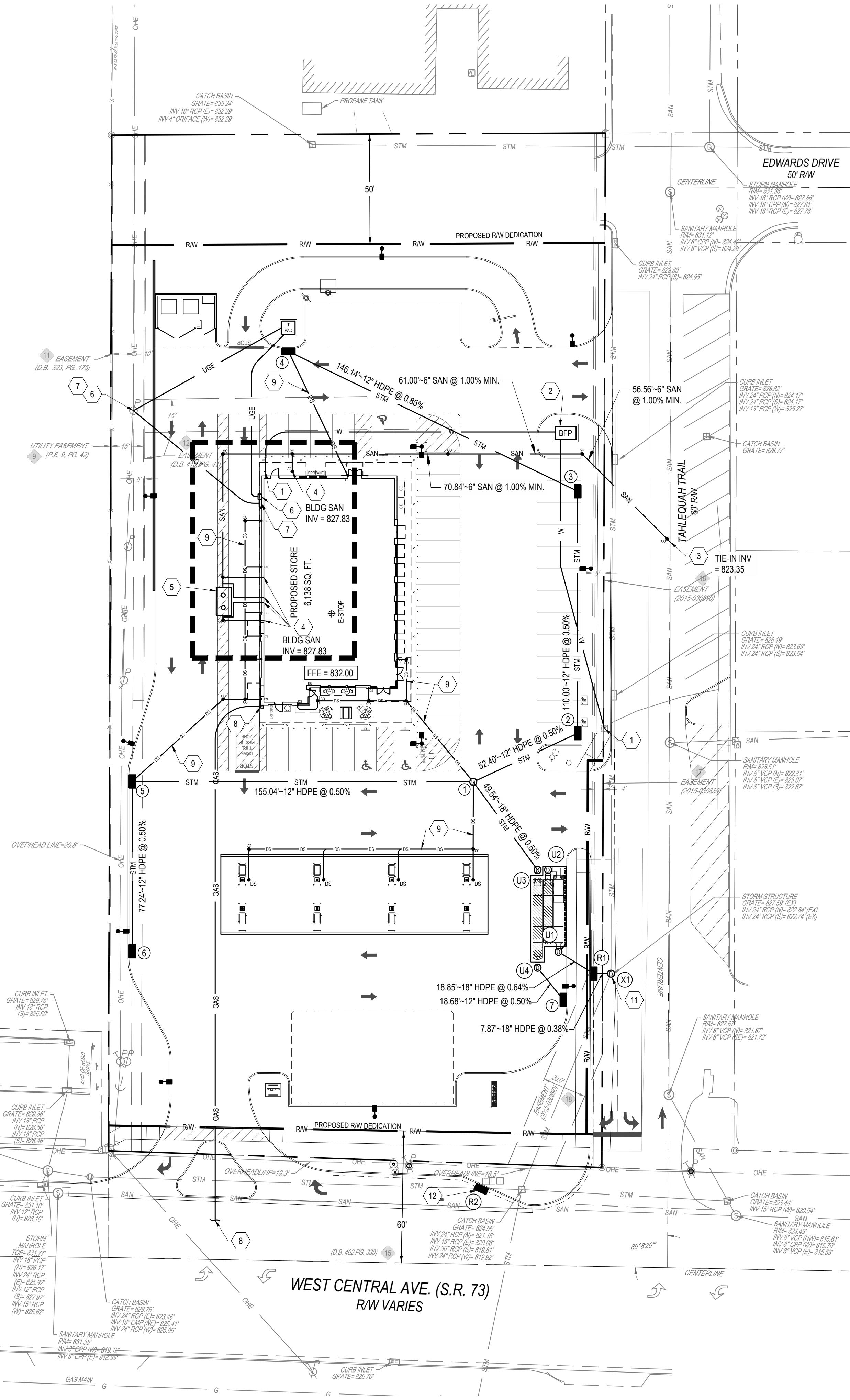
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Revisions / Submissions

ID	Description	Date

Project Number: 760643
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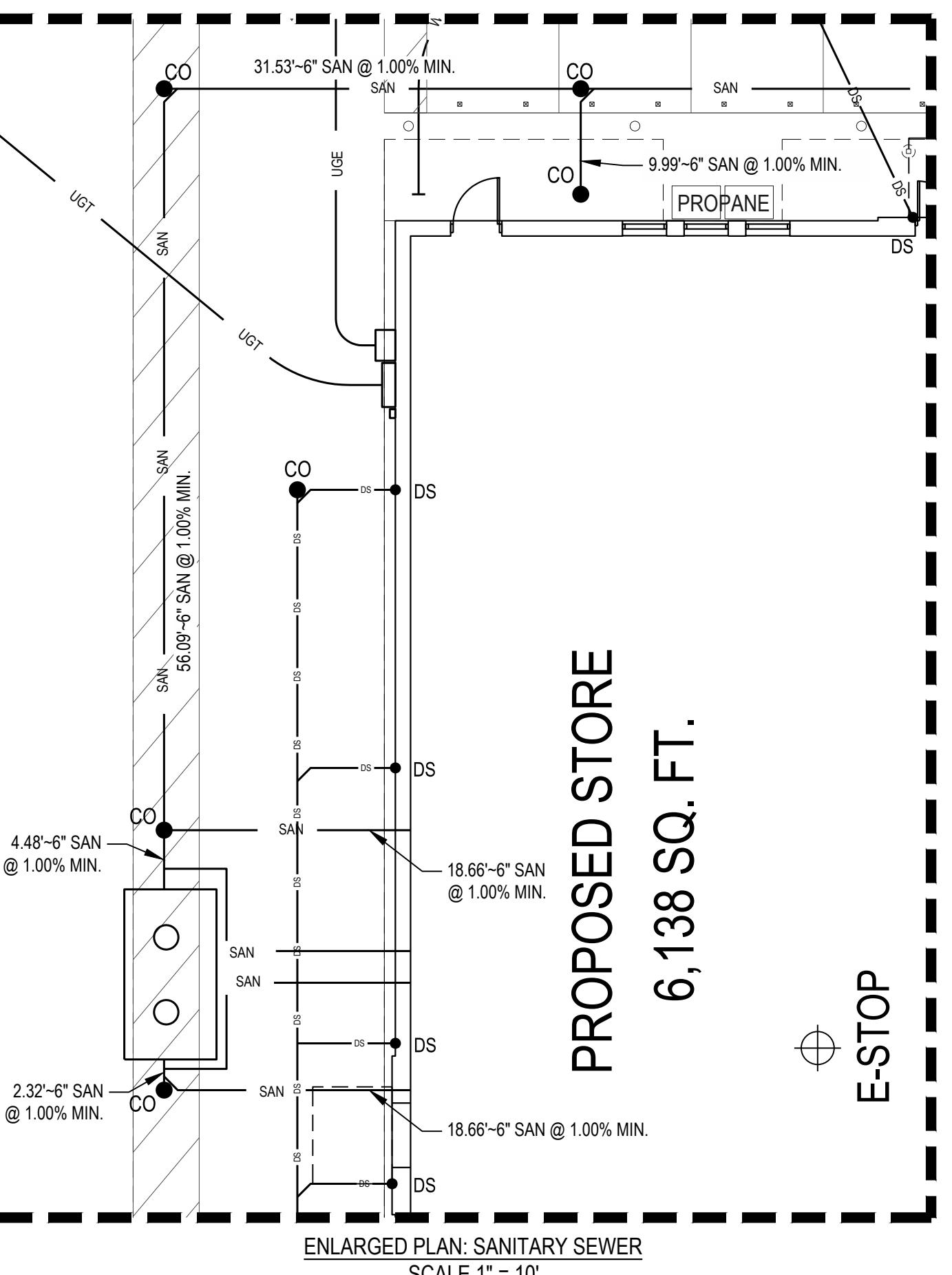


CONTRACTOR NOTE:

1. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.

CODED NOTES:

1. CONTRACTOR SHALL FURNISH AND INSTALL 2" WATER LINE FROM METER IN BUILDING TO NEW 2" TAP. NEW WATER TAPS WILL NEED TO BE INSTALLED AT WATER MAIN. METER AND BACKFLOW PREVENTOR SHALL BE WITHIN ENCLOSURE. WATER LINE SHALL BE TYPE "K" ASTM B88, WITH AWWA C800 FITTINGS, INSTALLED PER AWWA C800, OR APPROVED EQUAL.
2. PROPOSED WATER SERVICE ENCLOSURE WITH BACKFLOW PREVENTOR AND METER. SEE DETAILS ON SHEET C7.3.
3. CONNECT 6" SDR-35 PVC SANITARY SERVICE (MINIMUM 1.00% SLOPE) TO EXISTING SANITARY MAIN PER CITY OF SPRINGBORO STANDARDS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING SANITARY MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS FOR FINAL CONNECTION.
4. COORDINATE UTILITIES WITH PLUMBING CONTRACTOR, CAP AND MARK FOR FUTURE CONNECTION. FINAL CONNECTION BY PLUMBING CONTRACTOR.
5. CONTRACTOR SHALL SUPPLY AND INSTALL BELOW GRADE 2,000 GALLON GREASE INTERCEPTOR. REFER TO UTILITY DETAILS, SHEET C7.3.
6. PROPOSED ELECTRIC LINE CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY FOR ALL STANDARDS FOR WORK. CONTRACTOR SHALL PROVIDE THE TRANSFORMER VAULT AND PAD, CT, METER SOCKET, CONDUIT AND CABLE, AND SECONDARY FINAL CONNECTION.
7. CONTRACTOR SHALL PROVIDE (2) 4" CONDUIT FOR TELEPHONE. CONTRACTOR SHALL VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH UTILITY COMPANIES BEFORE STARTING WORK. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES AND UTILIZE SHARED TRENCHING IF PERMITTED.
8. CONNECTION TO GAS MAIN LOCAL GAS COMPANY SHALL FURNISH AND INSTALL GAS LINE FROM METER TO NEW TAP. THE CONTRACTOR SHALL INSTALL THE GAS LINE FROM THE METER TO THE BUILDING PER THE BUILDING DRAWINGS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING GAS MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
9. PROPOSED 4" & 6" PVC STORM LINE FROM DOWNSPOUTS TO STORM STRUCTURES (MIN. SLOPE 1.00% FOR 6", MIN. SLOPE 2.00% FOR 4"). REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DOWNSPOUT LOCATIONS. MAIN DOWNSPOUT TRUNK LINES SHALL BE 6". DOWNSPOUT LINES COMING DIRECTLY FROM THE BUILDING INTO THE MAIN DOWNSPOUT TRUNK LINES SHALL BE 4".
10. PROPOSED ADS UNDERGROUND DETENTION SYSTEM. REFER TO STORM DETAILS, SHEETS C7.6, C7.7.
11. EXISTING CURB INLET RIM & GRATE TO BE REMOVED AND MODIFIED TO A CLOSED-LID MANHOLE. STORM STRUCTURE & INVERTS TO REMAIN. PROPOSED 18" STORM INVERT SHALL TIE-IN TO STORM STRUCTURE.
12. PROPOSED DOG-HOUSE STORM STRUCTURE WITH CURB INLET RIM & GRATE. REFER TO STORM DETAILS, SHEET C7.5.



PROPOSED STORE
6,138 SQ. FT.

E-STOP

UTILITY LEGEND			
EXISTING			
REFER TO C1.0 FOR EXISTING FEATURES LEGEND			
PROPOSED			
BUILDING	RETAINING WALL	SEE ENLARGED PLAN, THIS SHEET	
STM	STM	STORM SEWER LINE	
DS	SAN	SANITARY SEWER LINE	
W	W	DOMESTIC WATER LINE	
G	G	GAS SERVICE LINE	
UGE	UGE	UNDERGROUND ELECTRIC LINE	
UGT	UGT	UNDERGROUND TELEPHONE LINE	
(I)	CO	STORM SEWER	
	DS	CURB INLET	
		CLEANOUT	
		DOWNSPOUT	
		ELECTRICAL TRANSFORMER PAD	
		GAS METER	



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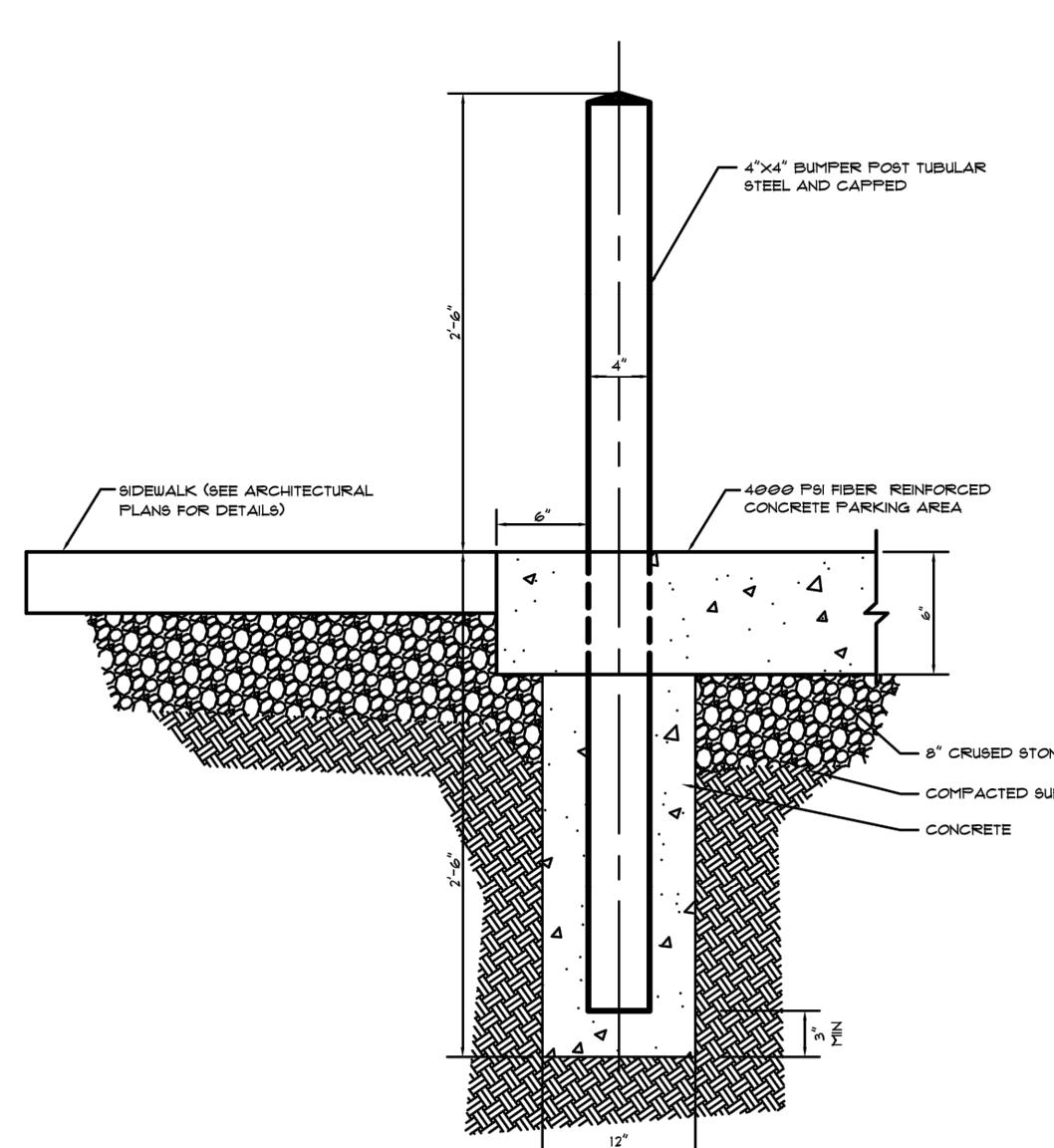
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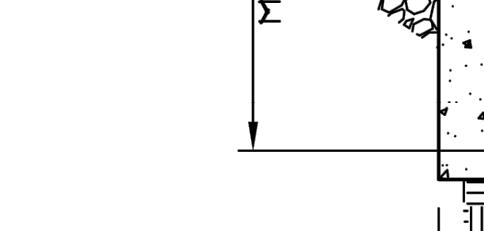
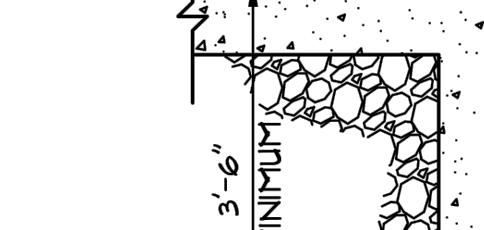
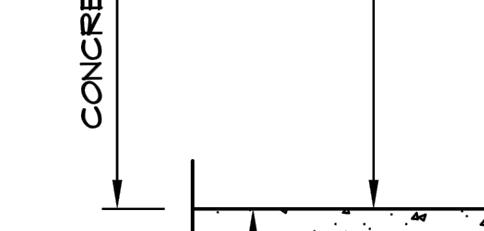
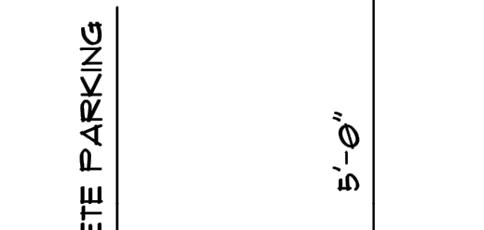
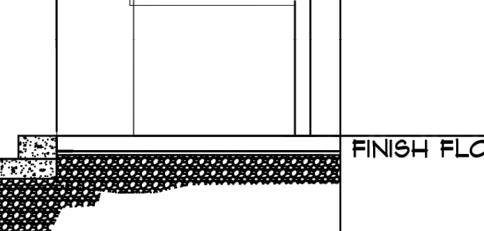
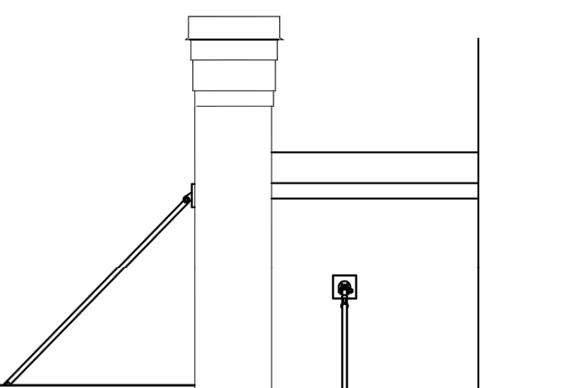
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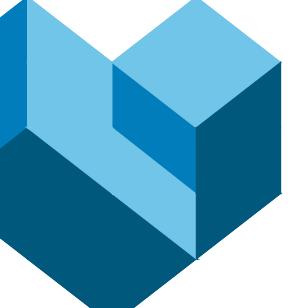
C5.0



STOREFRONT BUMPER POST FLUSH SIDEWALK
SCALE: NO SCALE

* 2'-3" FOR 9.5' WIDE PARKING SPACE
* 2'-0" FOR 9.0' WIDE PARKING SPACE
USE THIS DETAIL IF PAVEMENT IS PAVED UP TO TOP OF SIDEWALK



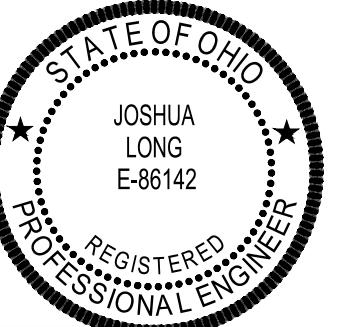


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Josh Long
E-86142

2023-02-17



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

800 W. CENTRAL AVE
SPRINGBORO, OH 45066

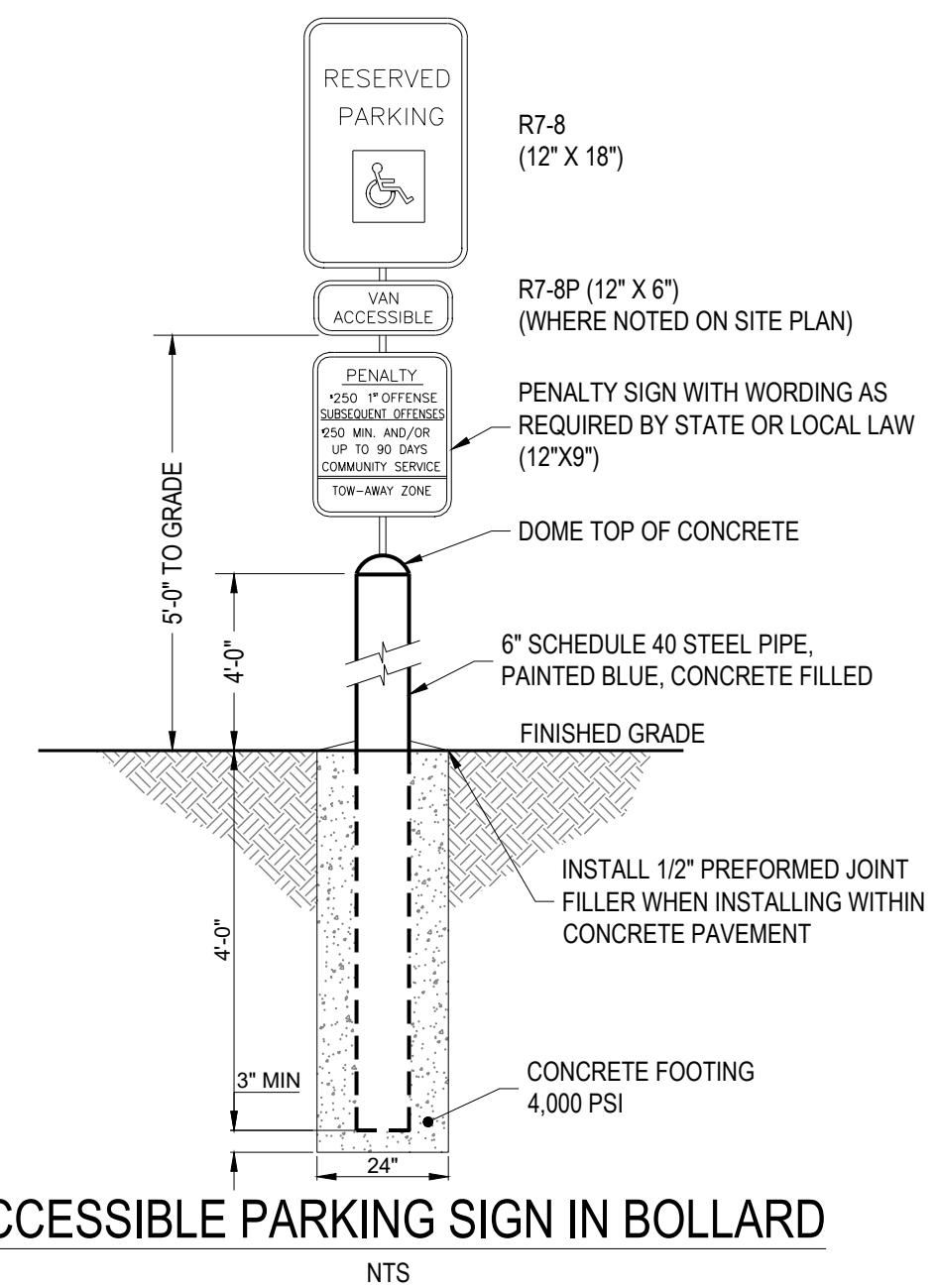
Revisions / Submissions

ID Description Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

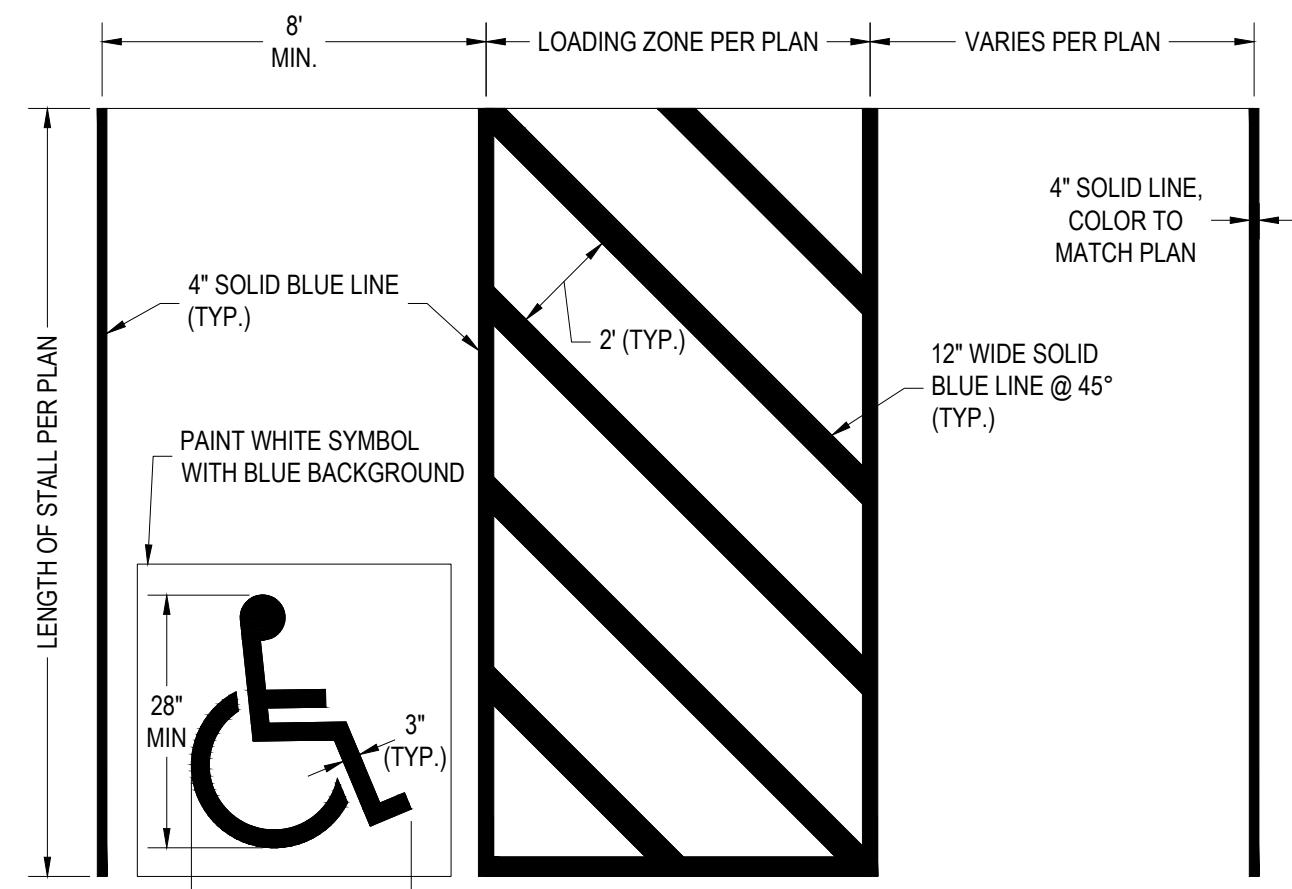
Drawing Title:
**CONSTRUCTION
DETAILS**

C7.2



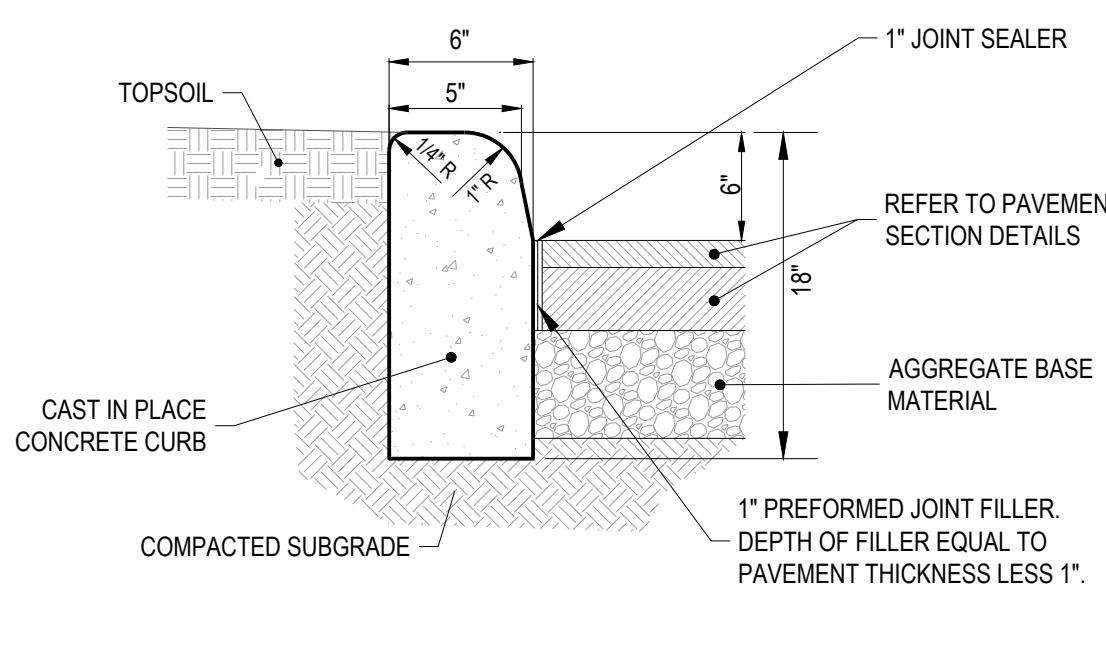
ACCESSIBLE PARKING SIGN IN BOLLARD

NTS



ACCESSIBLE PARKING SPACE STRIPING

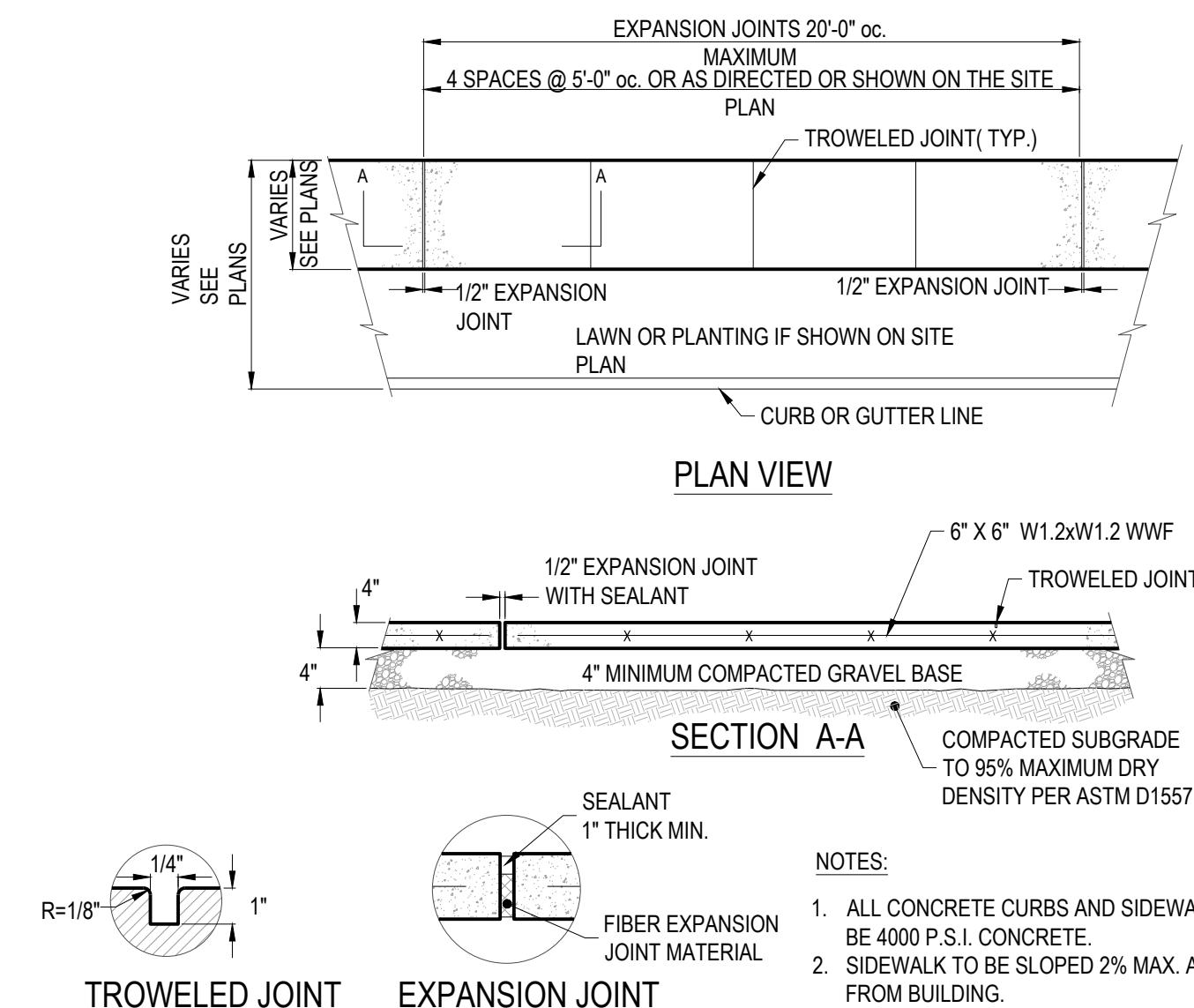
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CONCRETE CURB

NTS

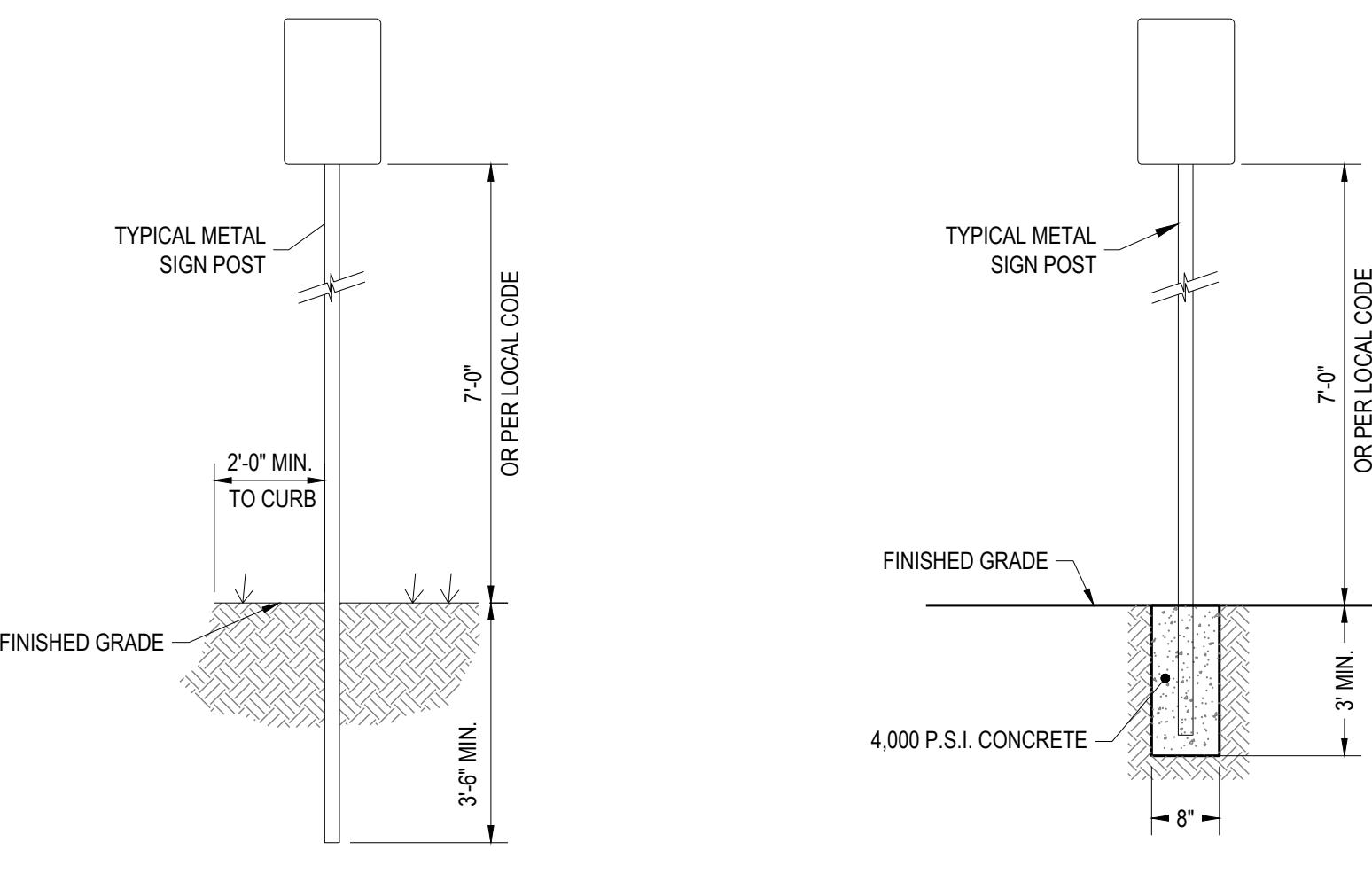
NOTES:
1. ALL CONCRETE CURBS TO BE 4.000 P.S.I. CONCRETE AT 28 DAYS.
2. TRANSVERSE EXPANSION JOINTS, 1/2" WIDE, SHALL BE INSTALLED IN THE CURB 20'-0" APART MAXIMUM.
3. EXPANSION JOINTS SHALL BE FILLED WITH 1/2" PREFORMED JOINT FILLER, RECESSED 1/4" FROM TOP AND FACE OF CURB.
4. MAXIMUM HEIGHT OF CURB TO PAVING IS 6".



CONCRETE SIDEWALK

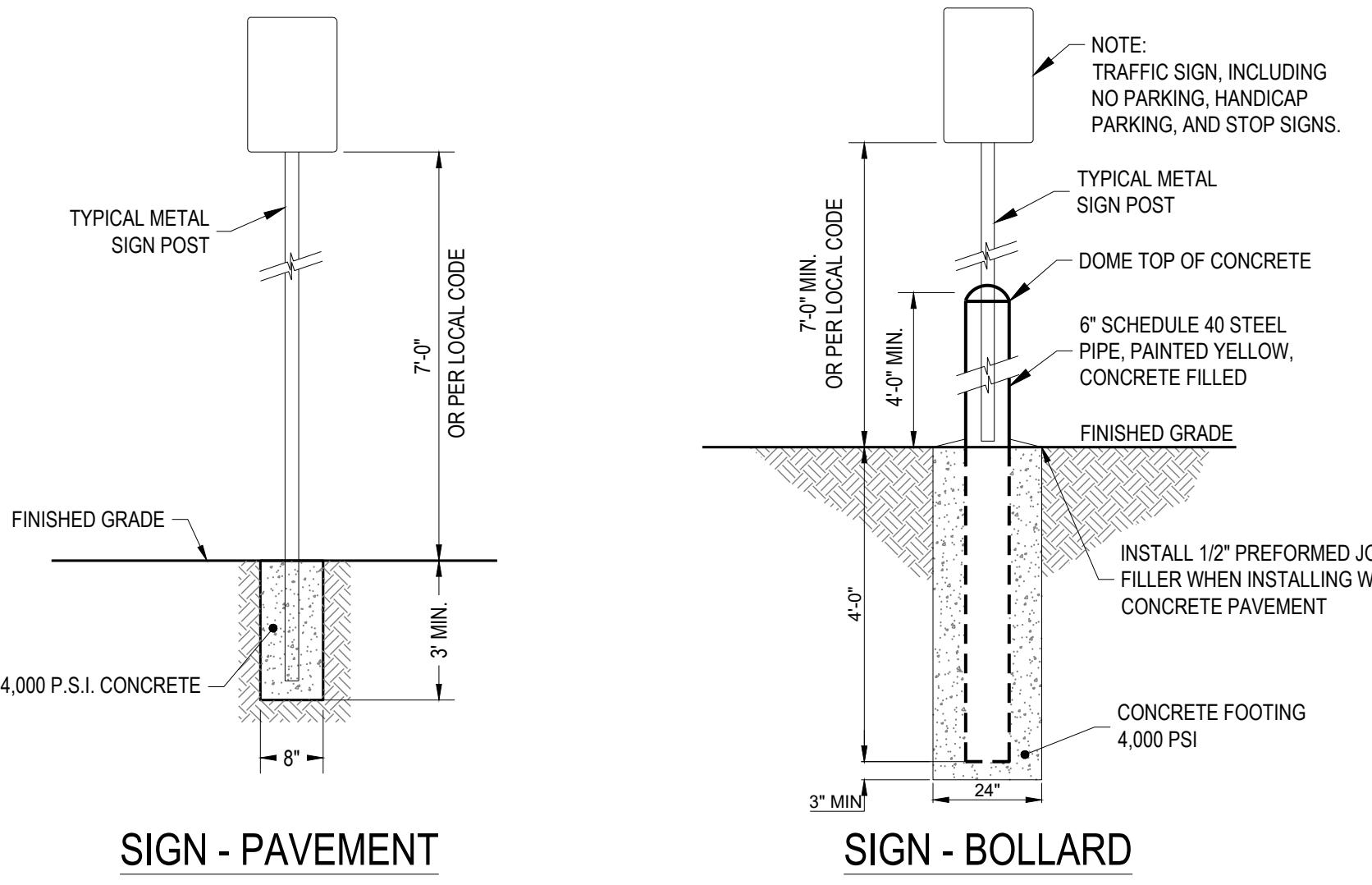
NTS

NOTES:
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE 4000 P.S.I. CONCRETE.
2. SIDEWALK TO BE SLOPED 2% MAX. AWAY FROM BUILDING.
3. ALL SIDEWALKS SHALL BE BROOM FINISHED.



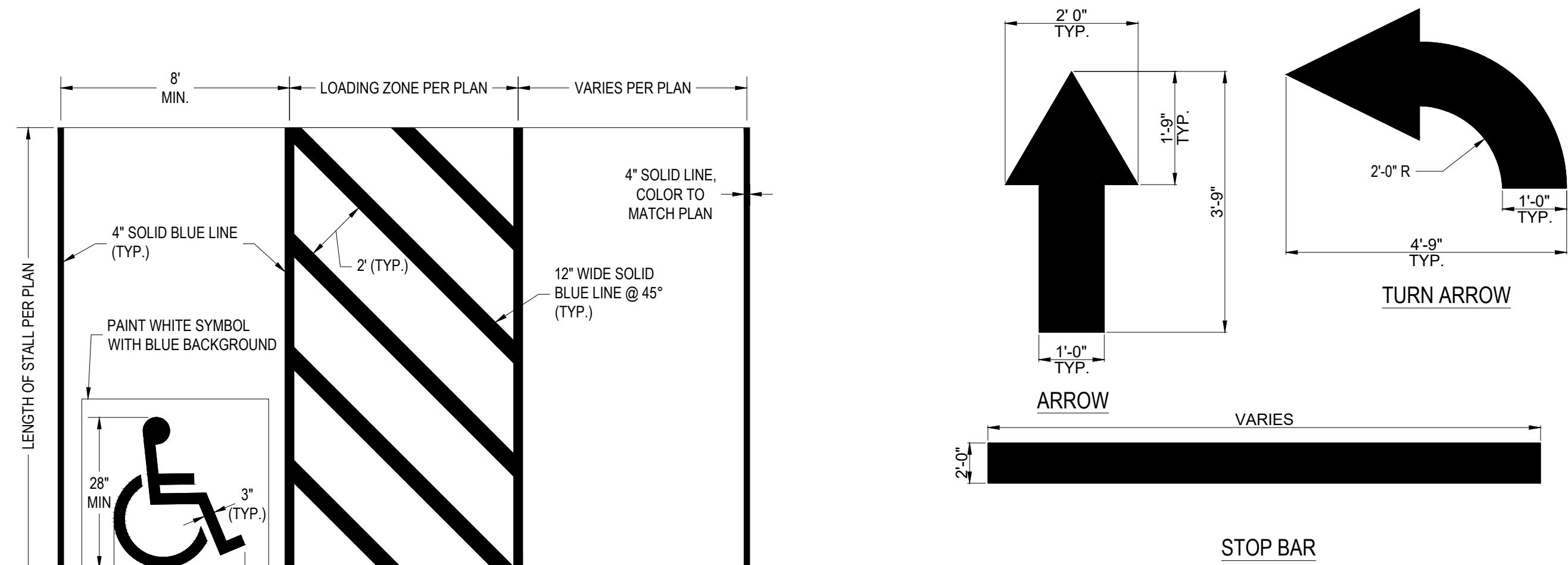
SIGN - LANDSCAPE

NTS



SIGN - PAVEMENT

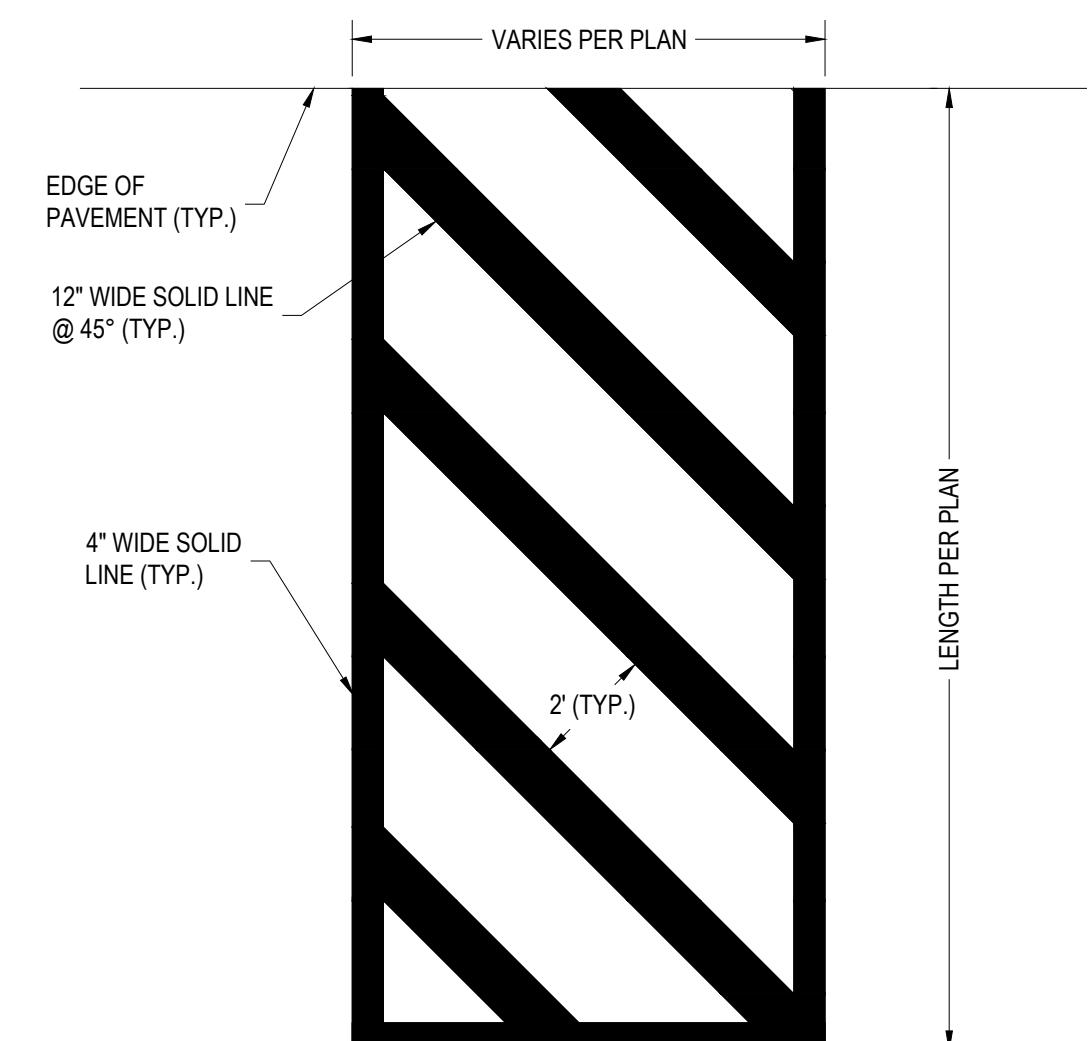
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STOP

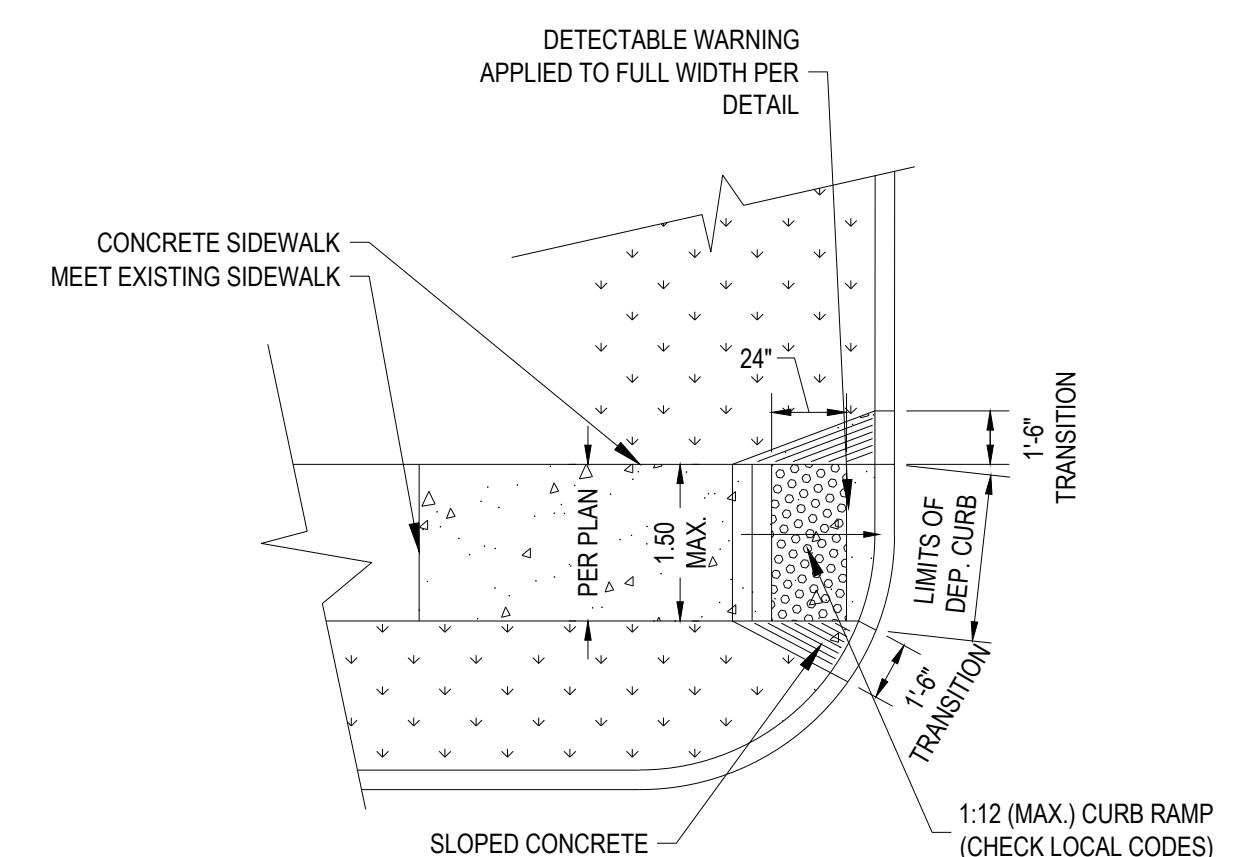
PAVEMENT MARKINGS

NTS



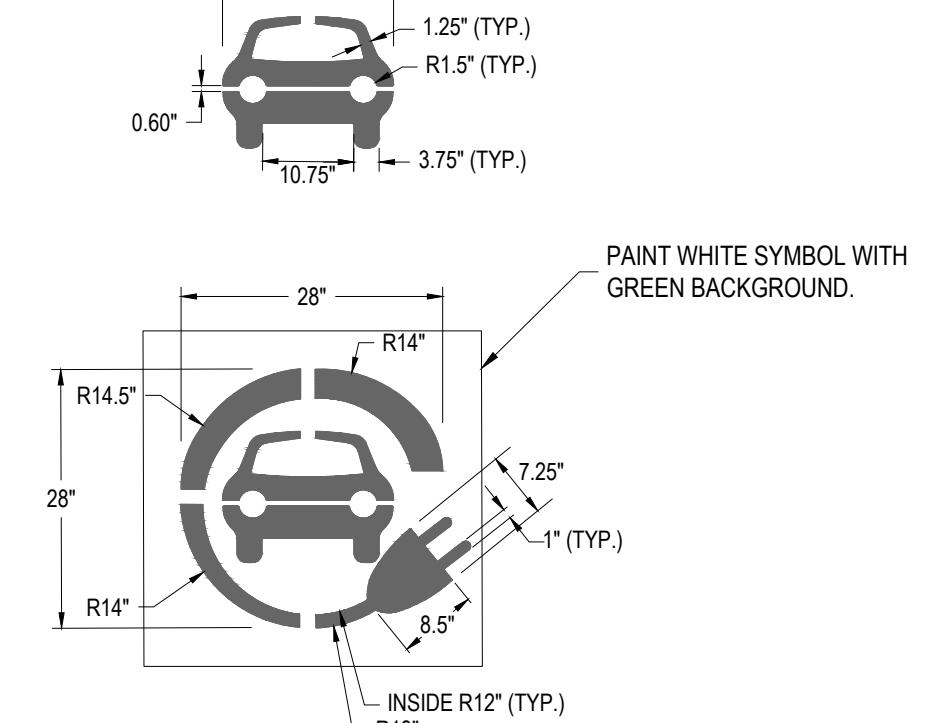
PAINTED ISLAND

NTS



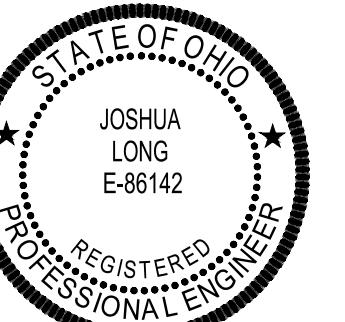
ACCESSIBLE CURB RAMP (TYPE II)

NTS

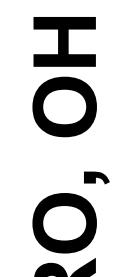


EV CHARGING PARKING SPACE MARKING

NTS



2023-02-17



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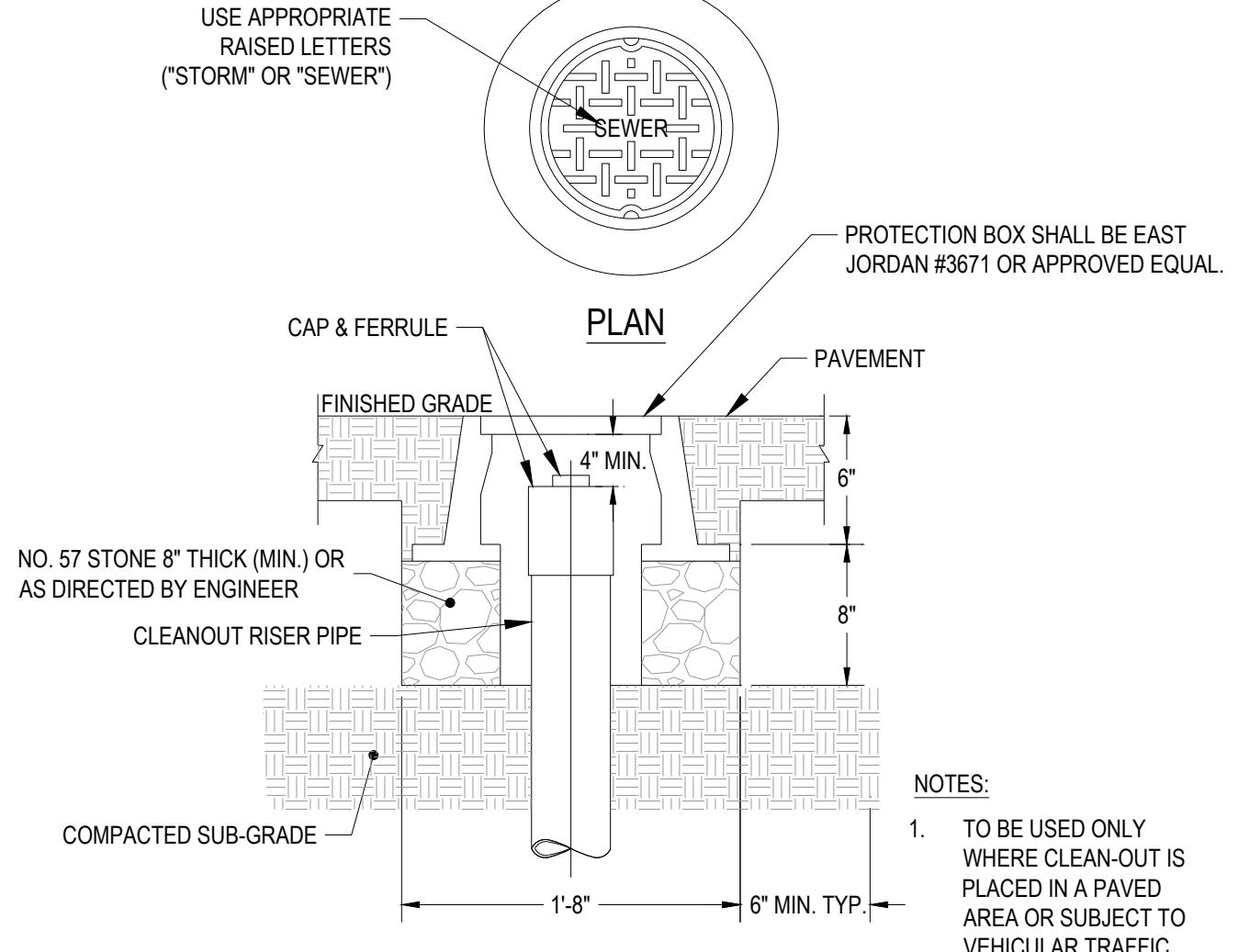
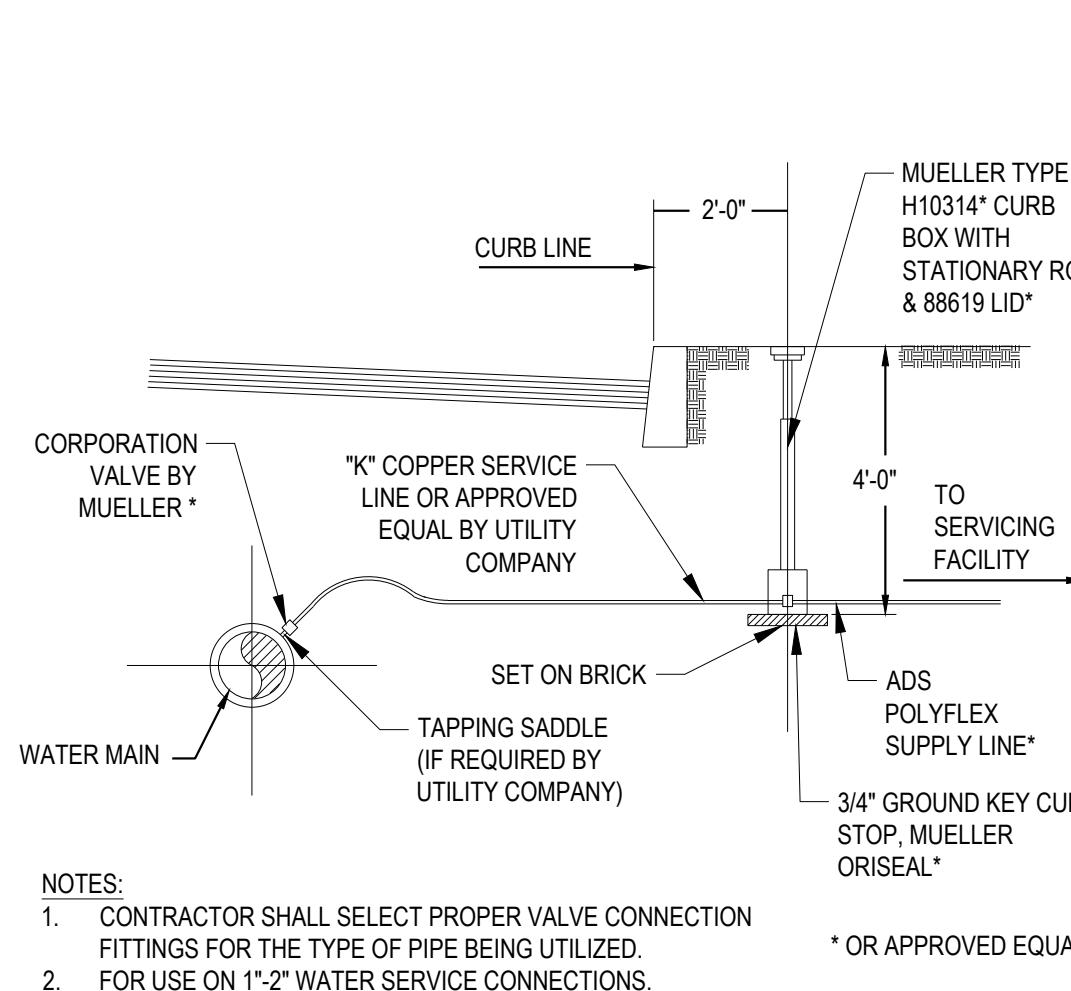
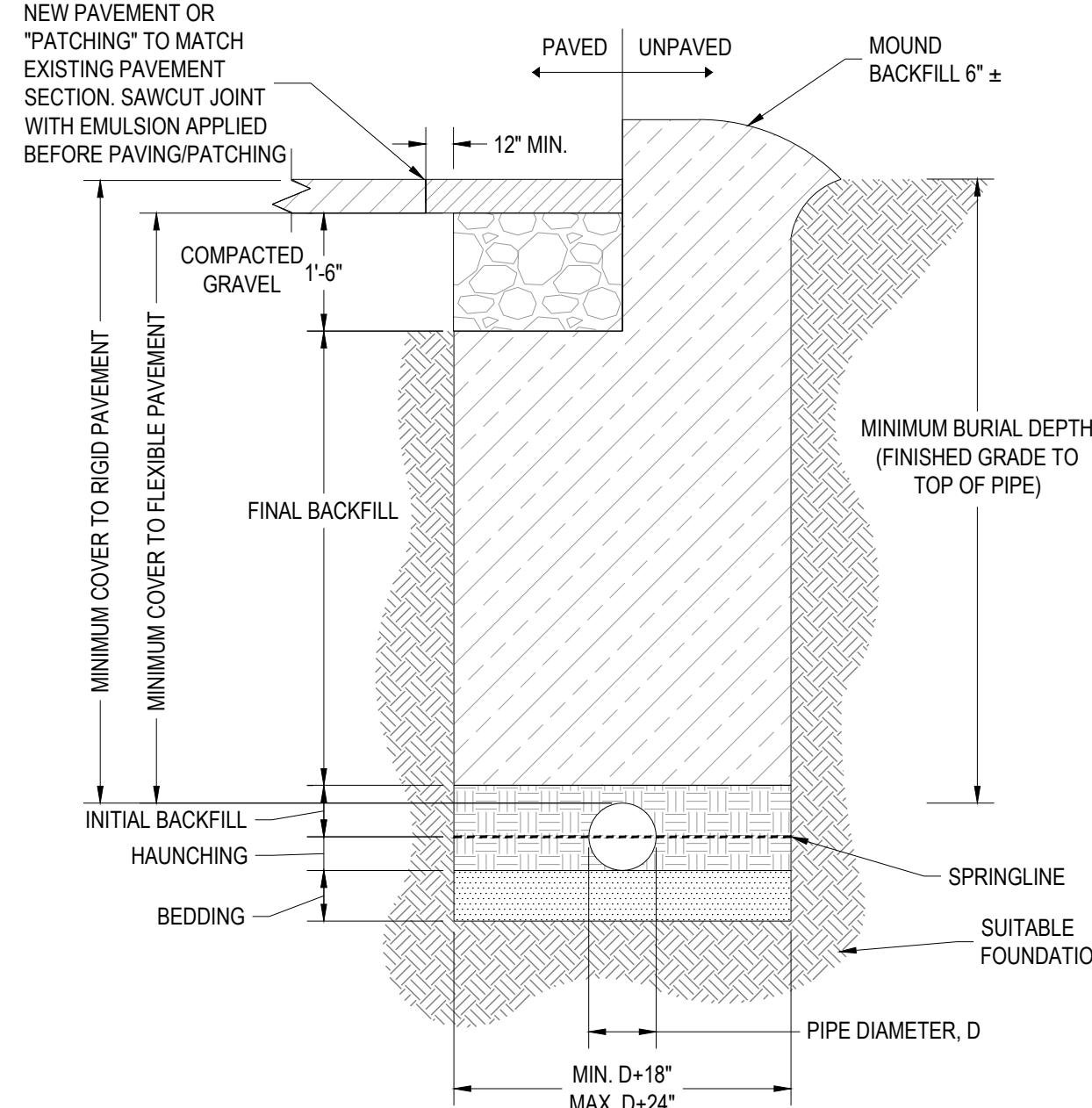
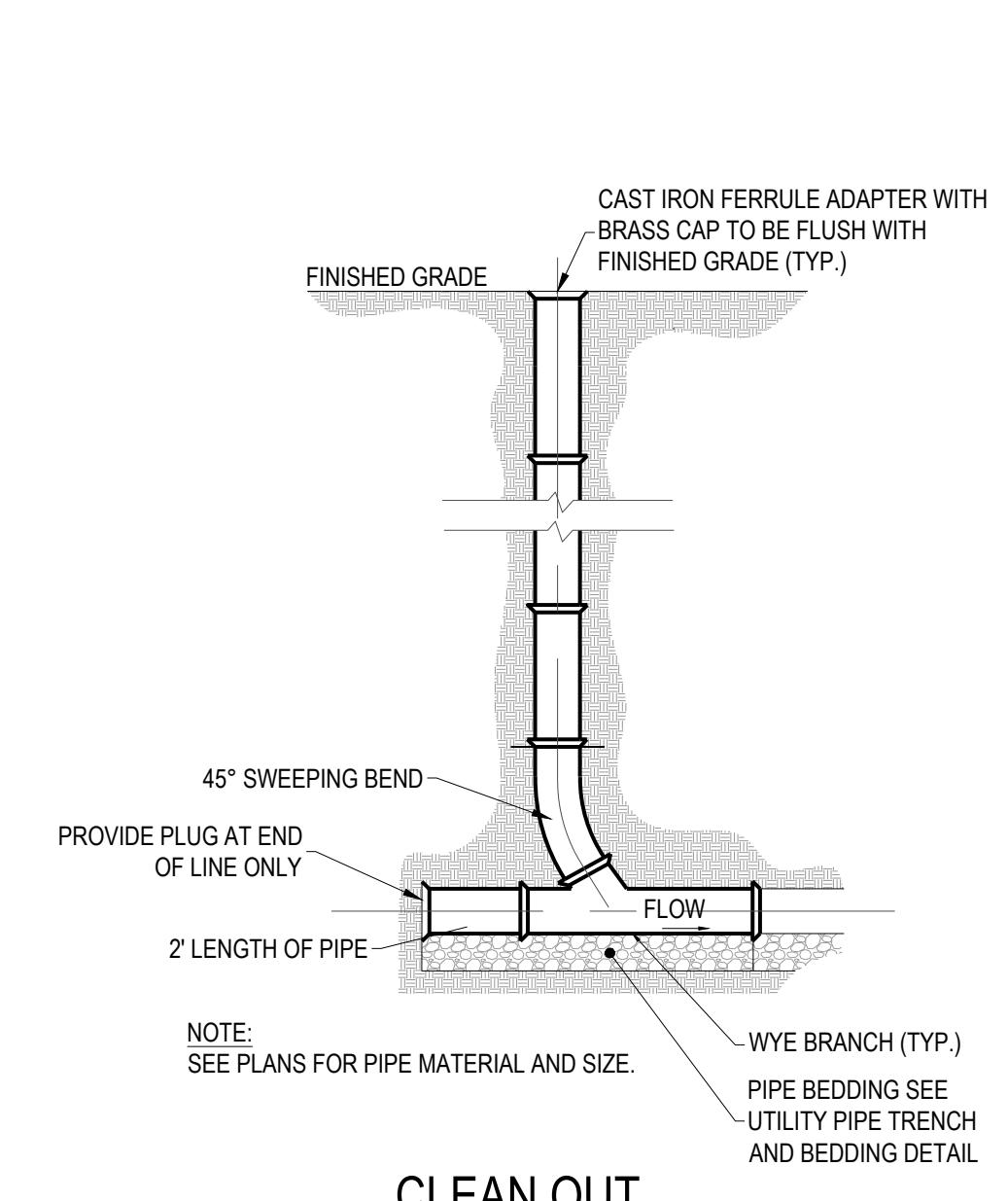
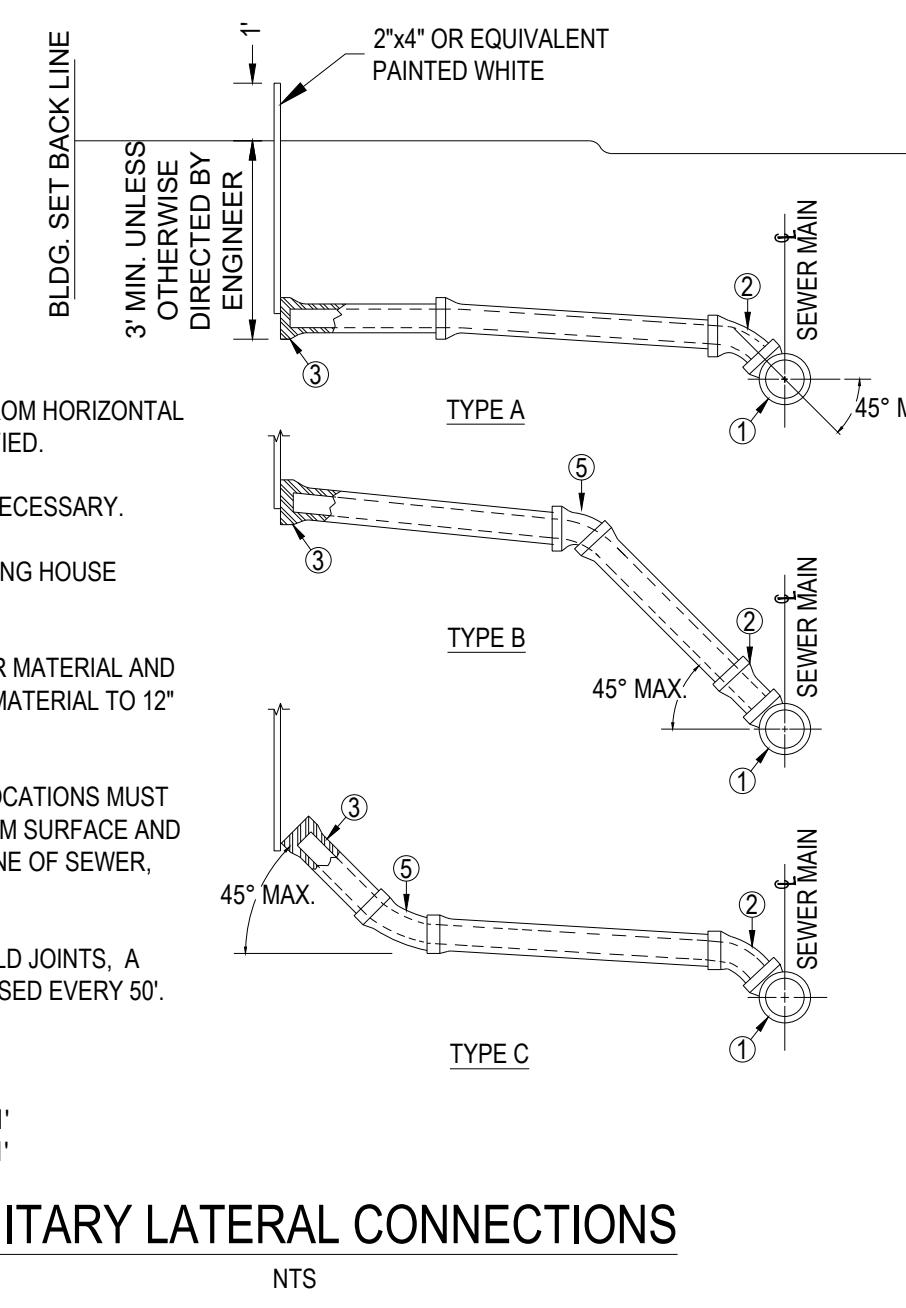
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Drawing Title: **UTILITY DETAILS**

C7.3



PVC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS I-V*
INITIAL BACKFILL	MINIMUM DEPTH = D/2 (12" COMMON)* CLASS I, II, AND III*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III COMPACTED*
BEDDING	DEPTH = 4-6" CLASS I, II, AND III COMPACTED*

NOTE: HAUNCHING ZONE MUST BE COMPACTED PRIOR TO PLACEMENT AND COMPACTION OF INITIAL AND FINAL BACKFILLS TO PREVENT PIPE DEFLECTION.

HDPE PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	MINIMUM COVER UNPAVED AREAS = 12" MINIMUM COVER PAVED AREAS (D <= 8") = 12*** MINIMUM COVER PAVED AREAS (D > 48") = 24*** CLASS I AND II (COMPACTED 90% SPD) AND CLASS III (COMPACTED 95% SPD)*
INITIAL BACKFILL	MINIMUM DEPTH = D/2 (CAN EXTEND TO THE CROWN OF THE PIPE)** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*
BEDDING	DEPTH (D <= 24") = 4** DEPTH (D > 24") = 6** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER)*

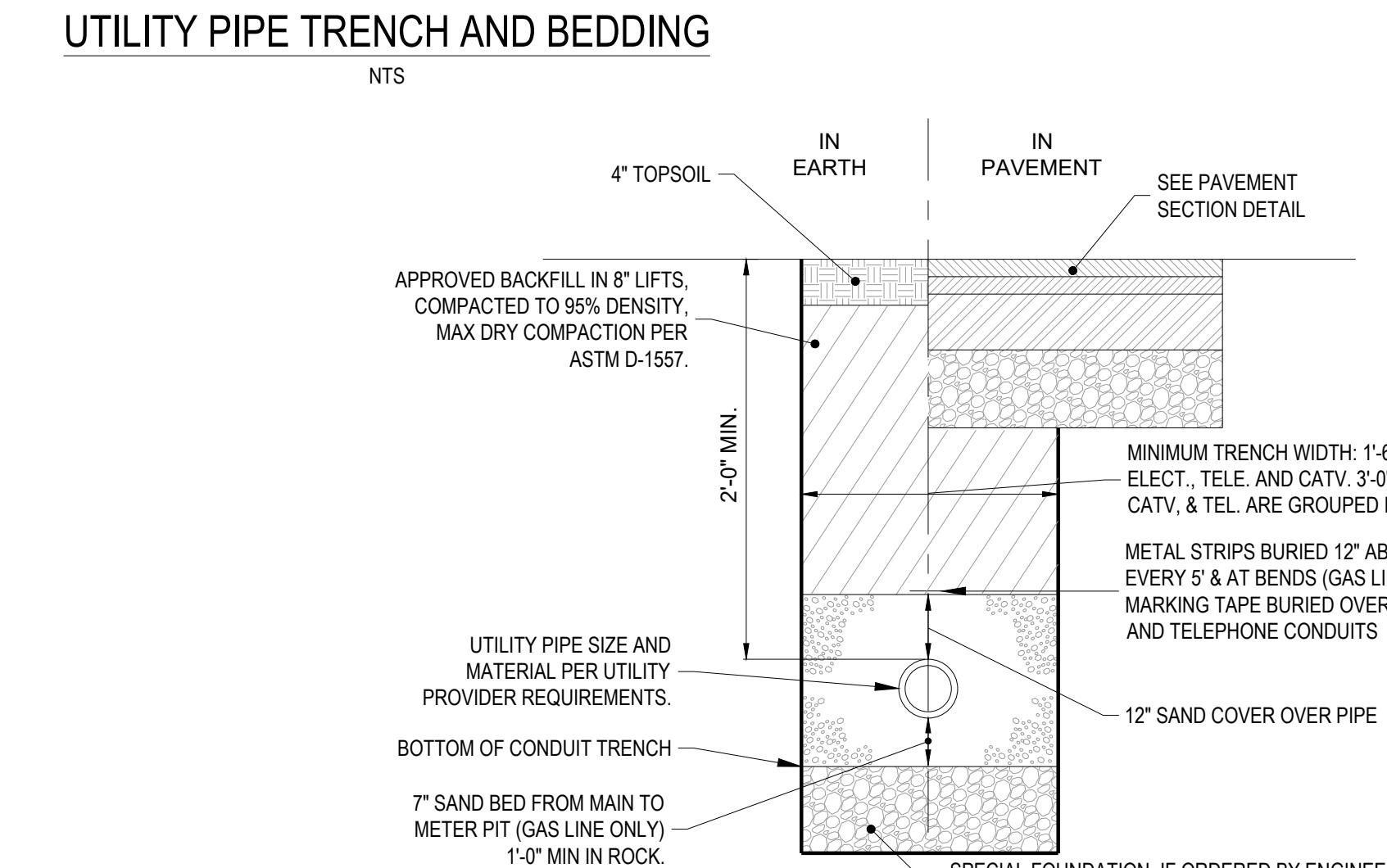
NOTE: THE MIDDLE $\frac{1}{3}$ BENEATH THE PIPE INVERT IN THE BEDDING ZONE SHALL BE LOOSELY PLACED

RC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CATEGORY I, II, III*
INITIAL BACKFILL	DEPTH = D/2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*
HAUNCHING	DEPTH = D/2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*
BEDDING	MINIMUM DEPTH = D/4 (NOT LESS THAN 3")** IF ROCK FOUNDATION, MINIMUM DEPTH = D/12 (NOT LESS THAN 6")** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)*

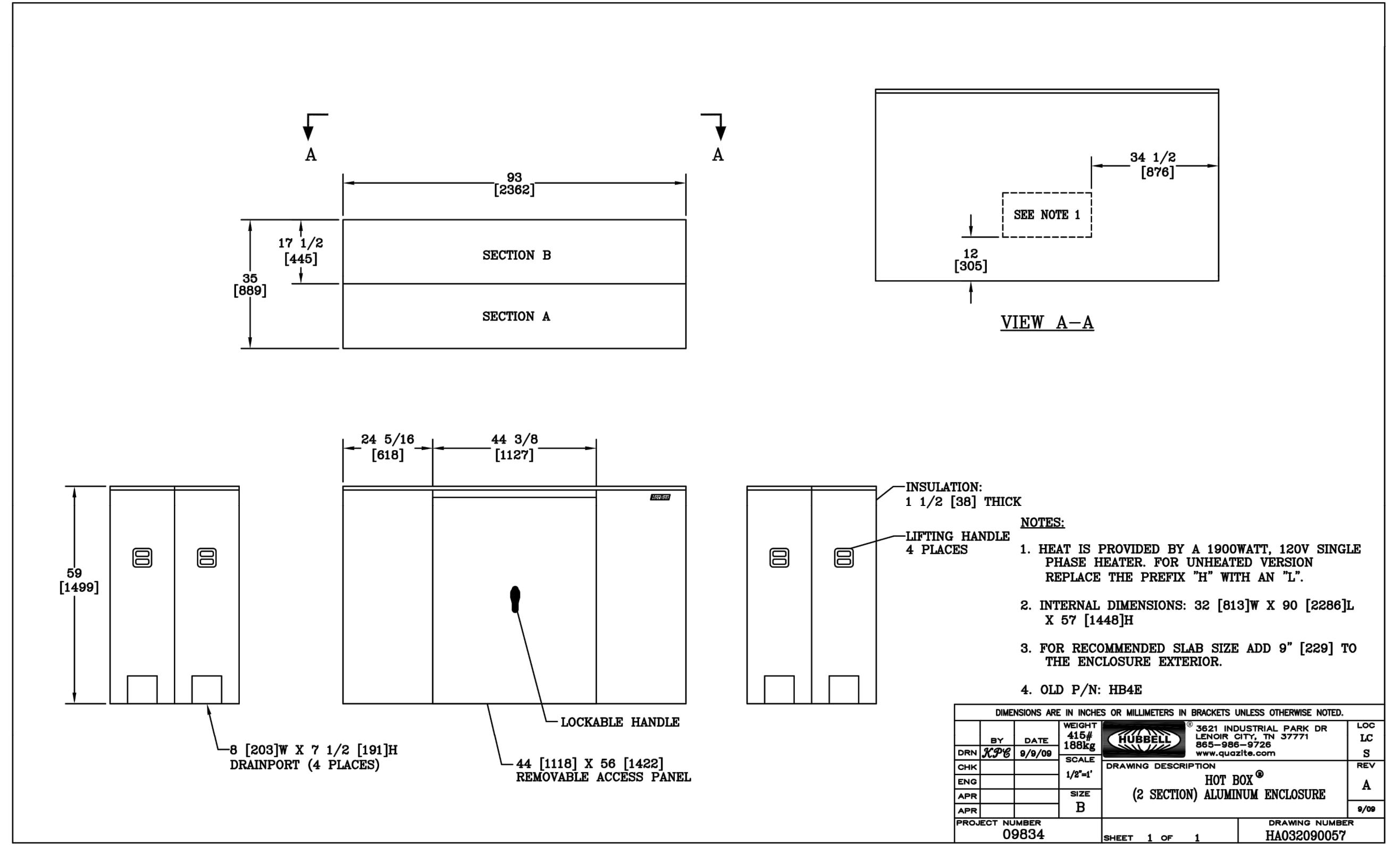
NOTE: FOR ELLIPTICAL AND ARCH PIPE, D SHALL REPRESENT HORIZONTAL SPAN OF PIPE.

DI PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS I-V*
INITIAL BACKFILL	DEPTH = D/2** CLASS I, II, AND III (APPROX. 90% STANDARD PROCTOR PER AASHTO T-99)*
HAUNCHING	DEPTH = D/2** CLASS I, II, AND III*
BEDDING	MINIMUM DEPTH = 4" CLASS I, II, AND III*

*SEE TABLE 1 FOR SPECIFICATIONS ON SOIL MATERIALS
** D = PIPE DIAMETER
*** MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

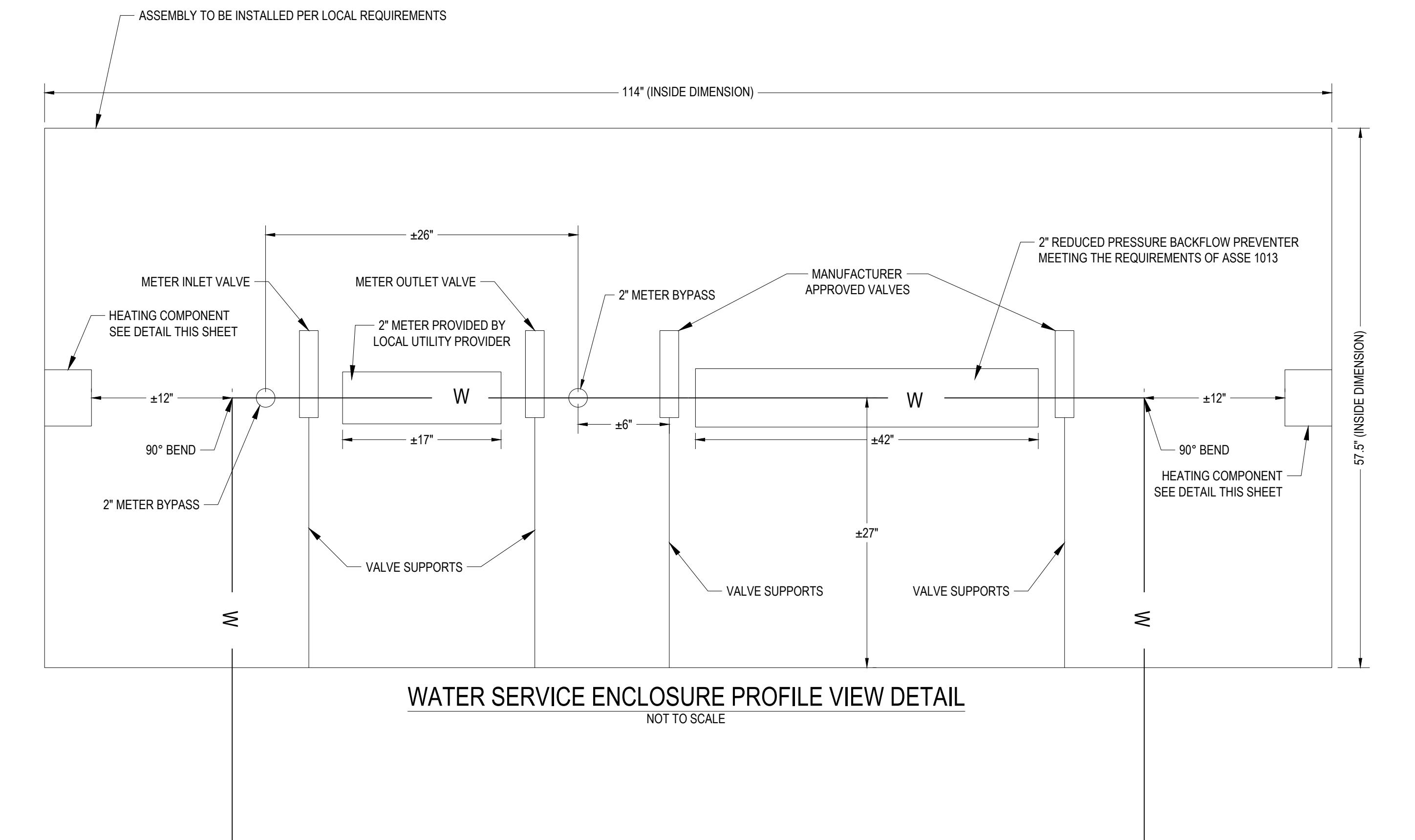


DRY UTILITY TRENCH
NTS



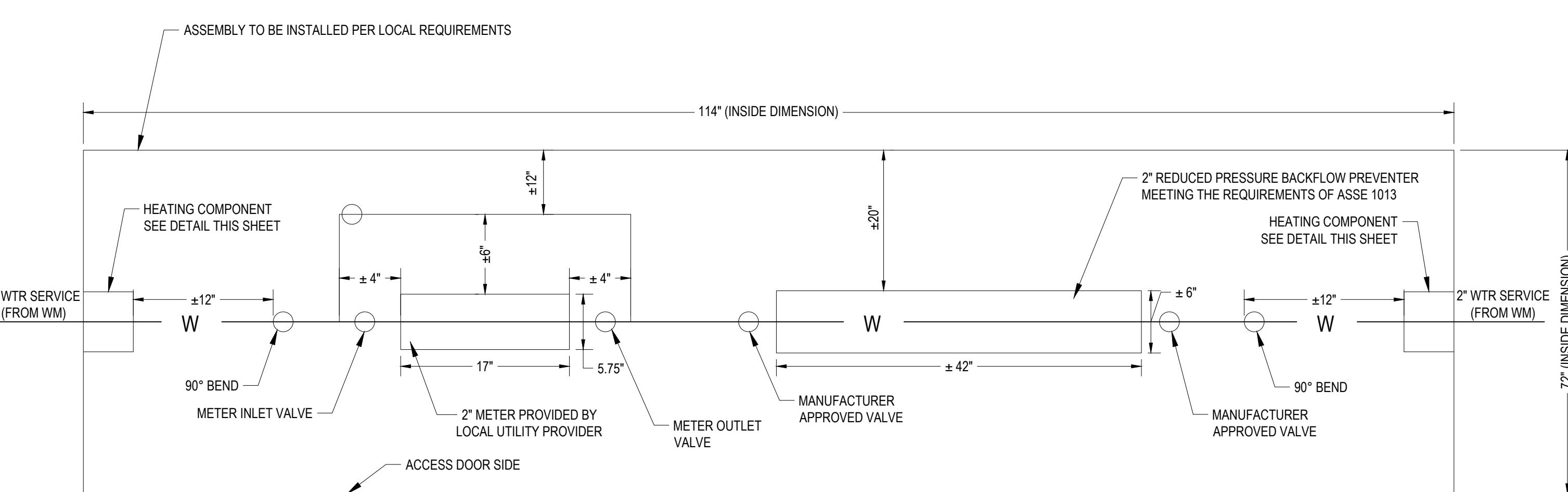
NOTE:

HUBBELL LOW-POWER/NO-POWER ALARM TO BE INSTALLED WITH ENCLOSURE. MODEL C002350 (OR APPROVED EQUAL)



WATER SERVICE ENCLOSURE PROFILE VIEW DETAIL

NOT TO SCALE



WATER SERVICE ENCLOSURE PLAN VIEW DETAIL

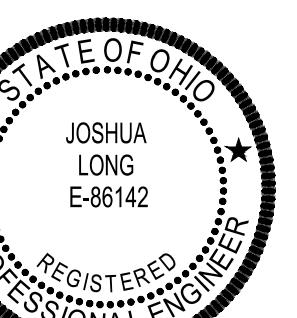
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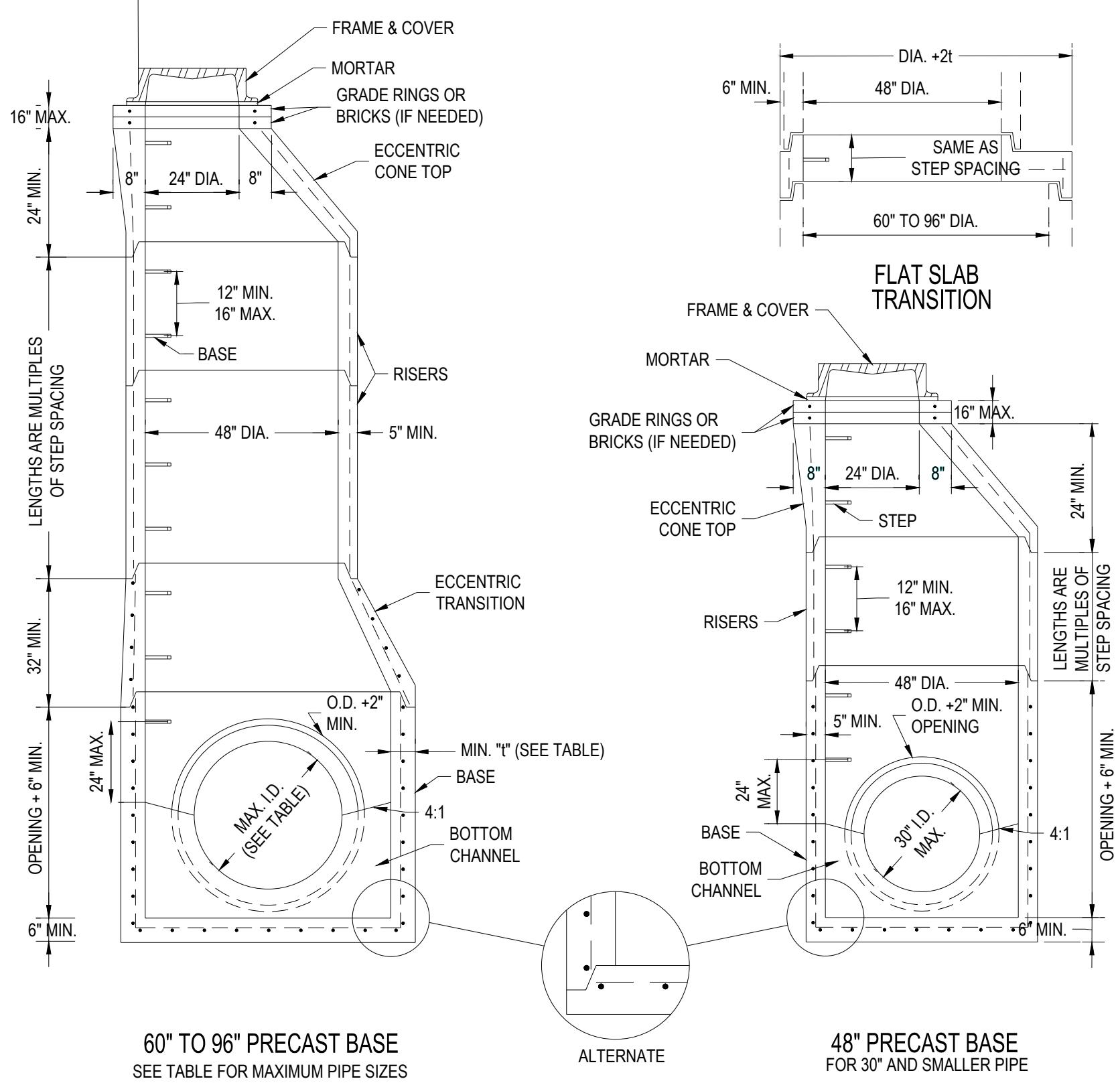
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Drawing Title: STORM DETAILS

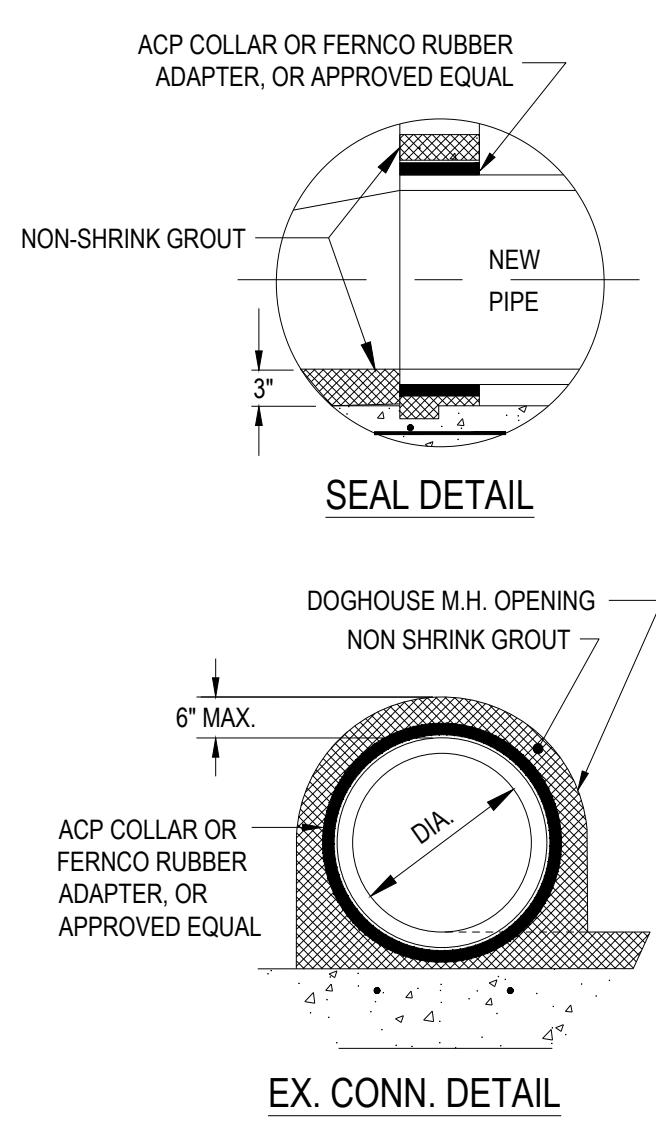
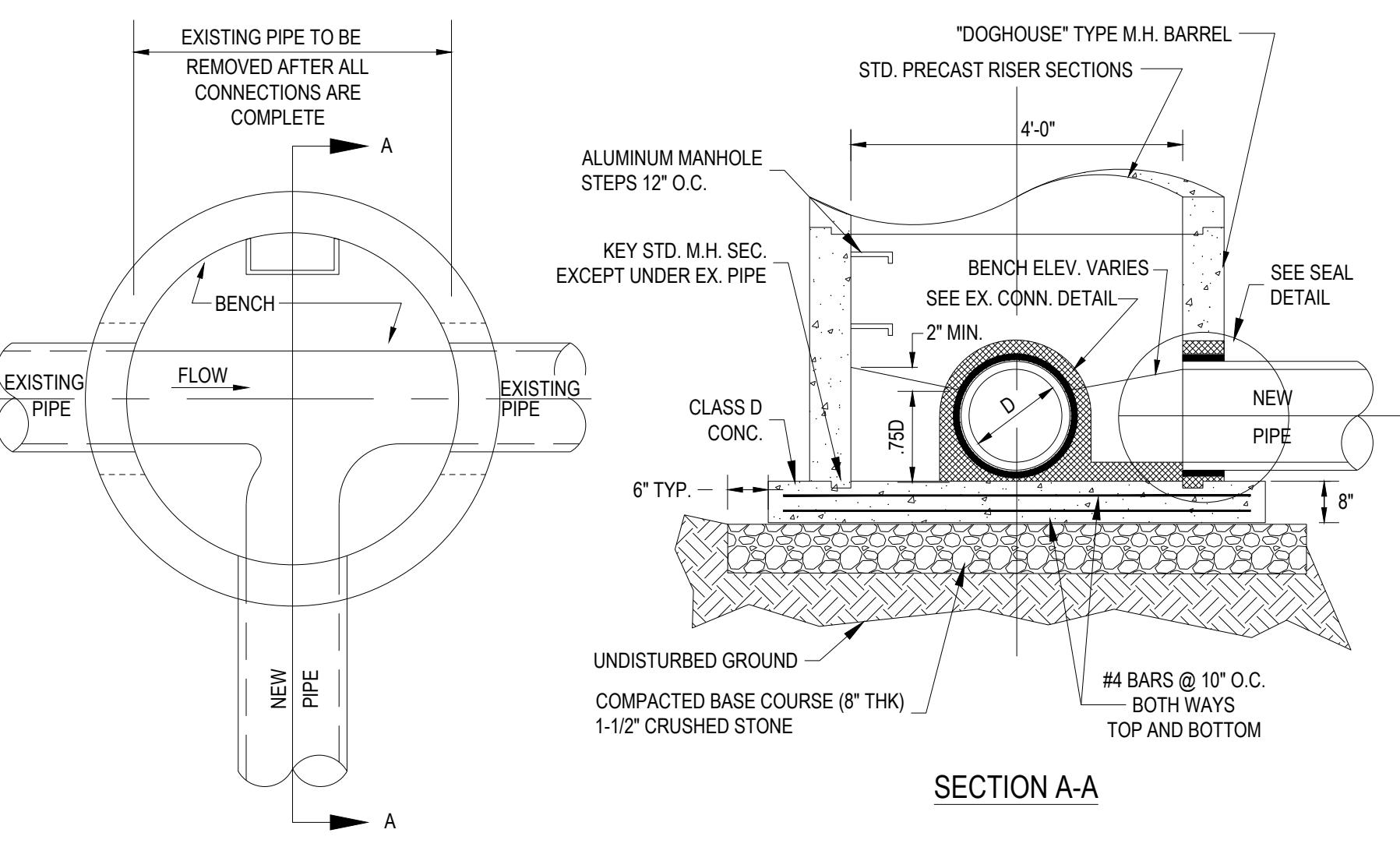
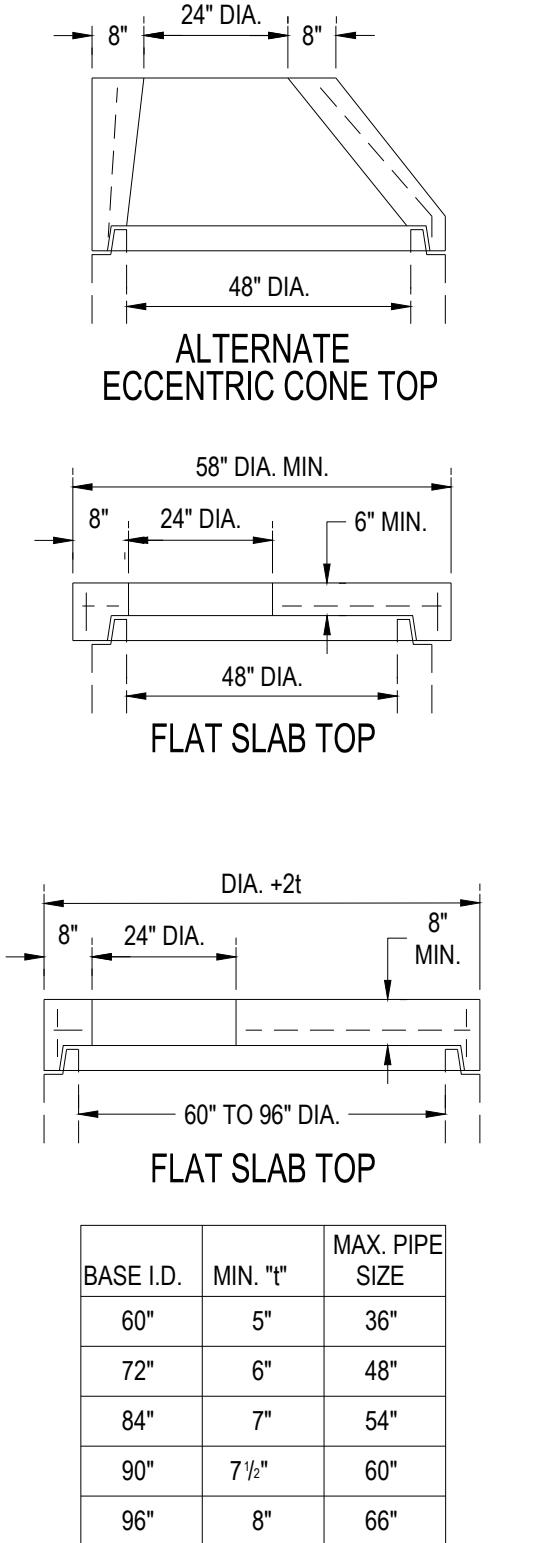
NOTES:

1. SECTIONS OF THE PRECAST MANHOLE SHALL BE CAST AND ASSEMBLED WITH EITHER ALL TONGUE OR ALL GROOVE ENDS UP. LIFT HOLES MAY BE PROVIDED IN EACH SECTION FOR HANDLING.
2. TOP AND TRANSITION (OR REDUCER) SECTIONS MAY BE EITHER ECCENTRIC CONE, CONCENTRIC CONE, OR FLAT SLAB.
3. BASES FOR MANHOLES ARE SHOWN WITH MONOLITHIC FLOOR AND RISER WHICH MAY BE CAST IN ONE OR TWO OPERATIONS. A PERMISSIBLE ALTERNATE IS TO CAST AND SHIP THE FLOOR AND BARREL SEPARATELY. OPENINGS FOR INLET AND OUTLET PIPE SHALL BE PROVIDED EITHER WHEN THE UNIT IS CAST OR LATER, TO MEET PROJECT REQUIREMENTS. BOTTOM CHANNELS MAY BE FORMED OF CONCRETE PRECAST, IF FIELD CONSTRUCTION. BASES MAY ALSO BE POURED IN PLACE. ALL INLETS AND OUTLETS ARE TO BE IDENTIFIED.
4. OPENINGS IN RISER SECTIONS FOR 18" AND SMALLER INLET PIPES SHALL BE PREFABRICATED. FLEXIBLE CONNECTIONS SHALL BE PROVIDED FOR SANITARY AND COMBINED SEWERS.

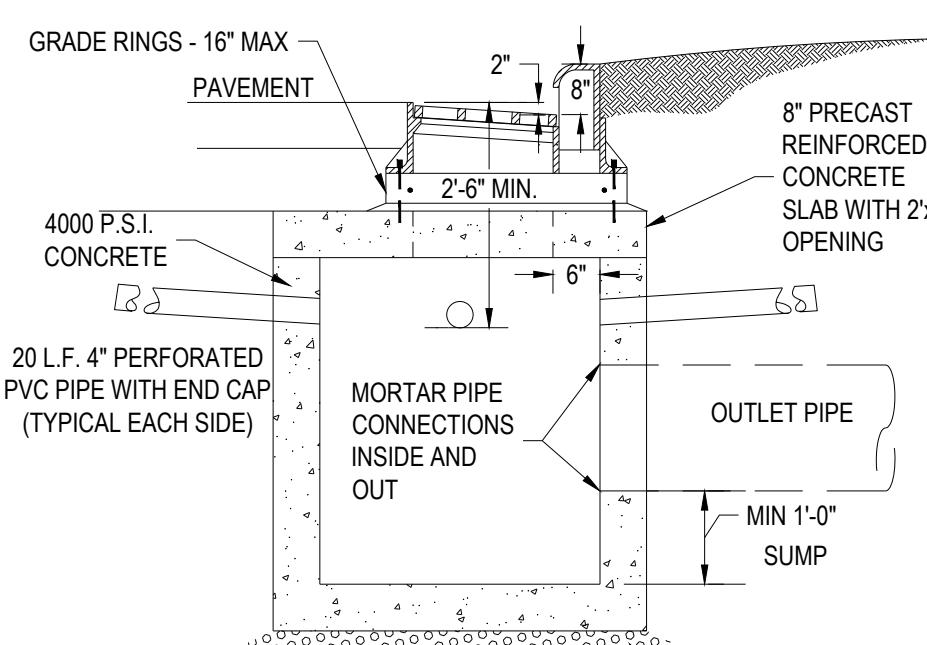
5. JOINT SEAL BETWEEN PRECAST MANHOLE SECTIONS AND PIPES SHALL BE RESILIENT AND FLEXIBLE GASKET JOINTS PER ASTM C-923 OR LATEST EDITION.
6. O-RING JOINT, BETWEEN MANHOLE SECTIONS SHALL BE FLEXIBLE BUTYL RUBBER SEAL PER ASTM C-990.
7. PRECAST MANHOLE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478. CONCRETE SHALL BE 4000 PSI.
8. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
9. FRAME AND COVER:
 - 9.1. FRAME WITH SOLID COVER USE EAST JORDAN 1710A, WITH APPROPRIATE LETTERING OR APPROVED OTHER
 - 9.2. FRAME WITH GRATE USE EAST JORDAN 1710M OR APPROVED OTHER.



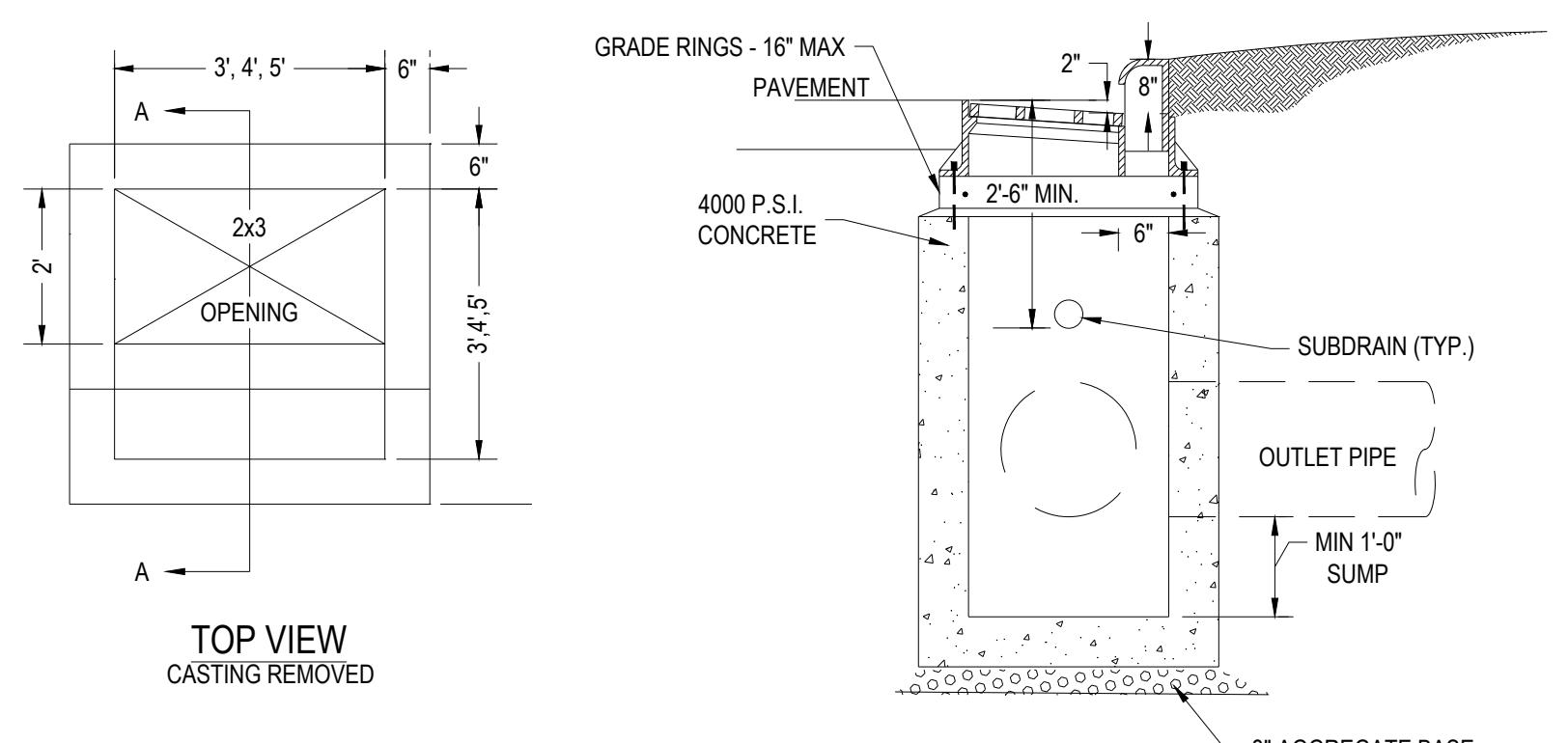
PRECAST CONCRETE MANHOLE
NTS



DOGHOUSE MANHOLE
NTS



3x3 AND 4x4 - SECTION A-A
TOP VIEW - CASTING REMOVED



2x3 - SECTION A-A
TOP VIEW - CASTING REMOVED

PRECAST CURB INLET
NTS

1. FRAME AND GRATE ASSEMBLY SHALL BE EAST JORDAN 5352M, 7080Z, 7080T OR APPROVED EQUAL. CURB PIECE SHALL BE CAST WITH "DUMP NO WASTE" AND "DRAINS TO WATERWAY".
2. JOINT SEALS BETWEEN PRECAST SECTIONS SHALL BE RESILIENT AND FLEXIBLE GASKET JOINTS PER ASTM C-990.
3. PRECAST SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478. CONCRETE SHALL BE 4000 PSI.
4. ADJUSTMENTS TO GRADES TO BE PRECAST GRADE RINGS. CASTINGS TO BE MORTARED WITH TYPE "M" MASONRY MORTAR.

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	ADS SiteAssist® FOR STORMTECH INSTALLATION INSPECTIONS VISIT OUR APP
ADS SALES REP	Advanced Drainage Systems, Inc.
PROJECT NO.	



SHEETZ SPRINGBORO, OH, USA

DC-780 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH DC-780.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG TERM DEAD LOAD AND 2) DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATION SHALL INCLUDE: 1) INSTANTANEOUS (1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEET) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBER SHALL HAVE INTEGRAL, INTERLOCKING STONE LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT%. THE ASC IS DEFINED IN SECTION 6.2.6 OF ASTM F2418, AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD/YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED, UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE SITE DESIGN ENGINEER.
- THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE ASC IS REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THE AASHTO DESIGN TRUCK.
- THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE DC-780 CHAMBER SYSTEM

- STORMTECH DC-780 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH DC-780 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED BY A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH DC-780 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER DC-780 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".

3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH STABILIZED STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT		PROPOSED ELEVATIONS		"INVERT ABOVE BASE OF CHAMBER	
13	STORMTECH DC-780 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	838.25	ITEM ON LAYOUT	
		MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	838.25	DESCRIPTION	
6	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	827.73	INVERT	MAX FLOW
9	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	827.73		
49	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	827.73		
1284	TOP OF DC-780 CHAMBER	18" BOTTOM PREFABRICATED END CAP	A		
	18" BOTTOM CONNECTION INVERT	18" TOP PREFABRICATED END CAP, PART# SC740EPE18T / TYP OF ALL 18" TOP CONNECTIONS	B	0.10"	
615	SYSTEM AREA (SF)	MANIFOLD	C	1.60"	
119.7	SYSTEM PERIMETER (ft)	18" x 18" TOP MANIFOLD ADS N-12	D	5.00"	
	24" ISOLATOR ROW PLUS INVERT	30" DIAMETER (24.00" SUMP MIN)	E		
	24" ISOLATOR ROW	30" DIAMETER (24.00" SUMP MIN)	F		
	24" ISOLATOR ROW PLUS INVERT	30" DIAMETER (24.00" SUMP MIN)	G	2.8 CFS IN	
	24" ISOLATOR ROW	30" DIAMETER (24.00" SUMP MIN)	H		
	24" ISOLATOR ROW PLUS INVERT	30" DIAMETER (24.00" SUMP MIN)	I	4.0 CFS OUT	
	BOTTOM OF DC-780 CHAMBER	NYLOPLAST (INLET W/ ISO)	J		
	UNDERDRAIN	NYLOPLAST (OUTLET)			
	BOTTOM OF STONE				

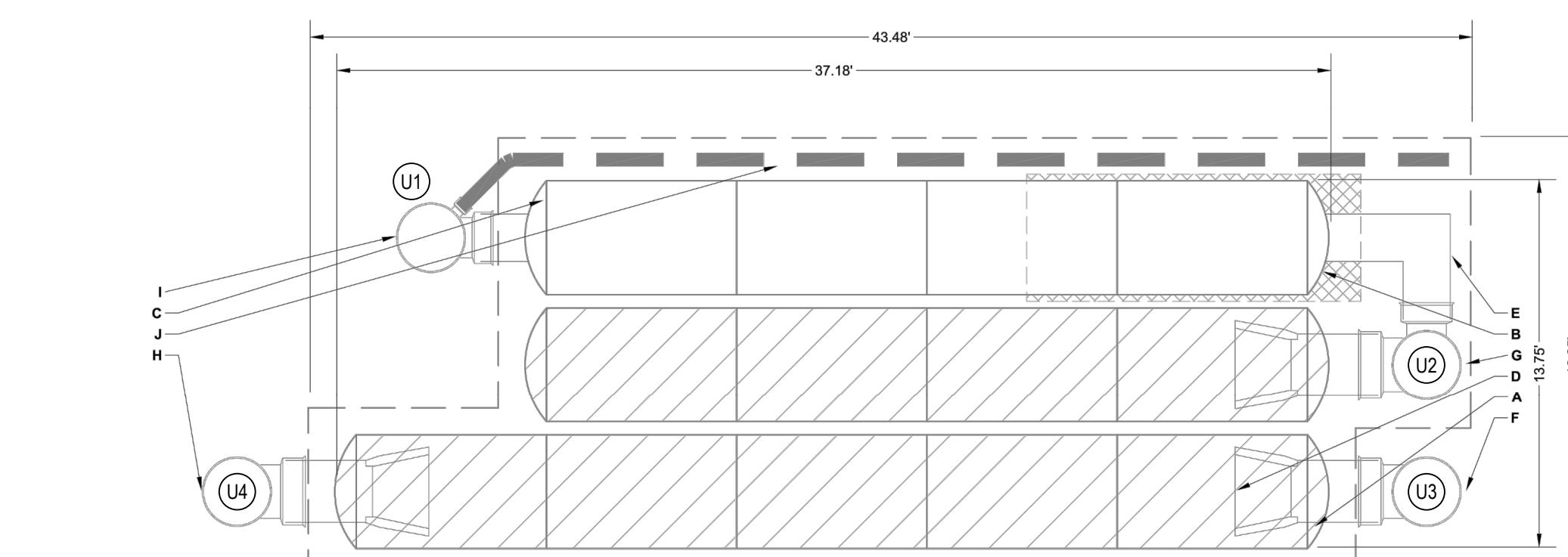
= STRUCTURE ID, REFER TO GRADING & UTILITY PLANS

SHEETZ		SPRINGBORO, OH, USA	DRAWN AT
DATE:	CHECKED N/A	THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION.	
PROJECT #:		THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION.	
DESCRIPTION		THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION.	
DATE:	DRAWN CK	THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION.	
888-892-2694 WWW.STORMTECH.COM	888-892-2694 WWW.STORMTECH.COM	THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION.	



2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4826

2023-02-17



ISOLATOR ROW PLUS (SEE DETAIL TYP 2 PLACES)
PLACE MINIMUM 12.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERLAY CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

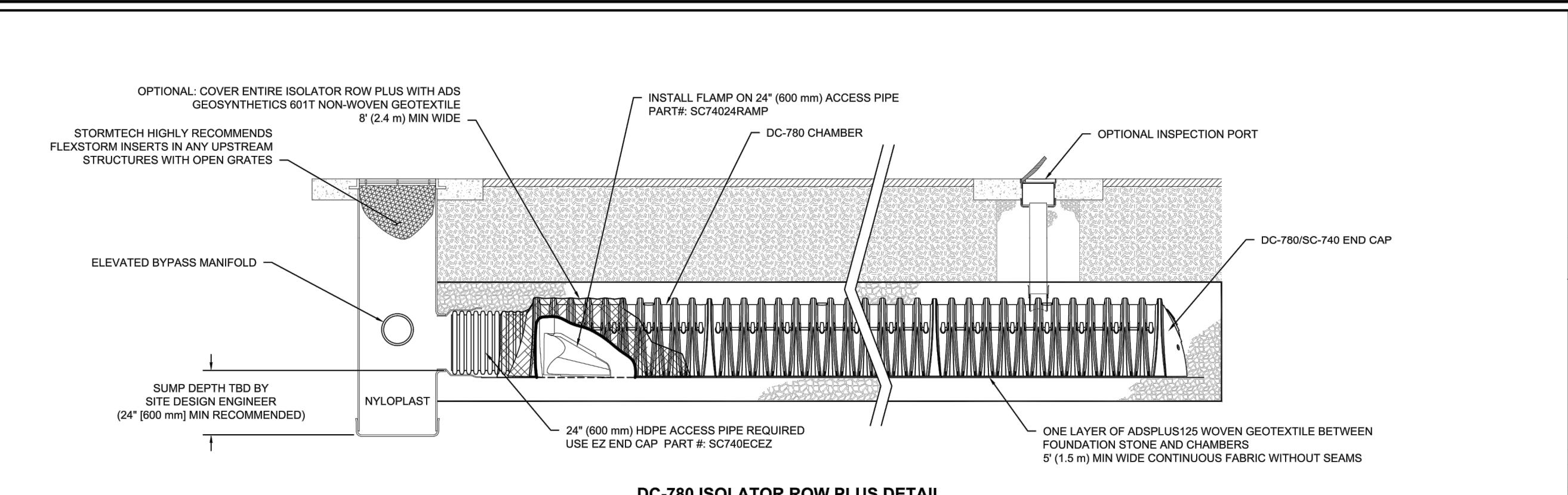
BED LIMITS

NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #632 FOR MANIFOLD SIZING GUIDANCE.
- DUUE TO THE ADAPTION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE IN SITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

SHEET

2 OF 6



DC-780 ISOLATOR ROW PLUS DETAIL

INVESTIGATION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
A. INSPECTION PORTS (IF PRESENT)
A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
A.2. REMOVE AND CLEAN NYLOPLAST FILTER IF INSTALLED
A.3. INSPECT FOR SEDIMENT ACCUMULATION AND DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
A.5. IF SEDIMENT IS AT OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. 1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
B.2. USING A FLASHLIGHT INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO VIEW A CONFINED SPACE ENTITY
ii) USE A JETVAC TO CLEAN OUT THE ISOLATOR ROW PLUS
B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT%. THE ASC IS DEFINED IN SECTION 6.2.6 OF ASTM F2418, AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD/YELLOW COLORS.

NOTES:

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THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO THE SITE DESIGN ENGINEER. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THIS DRAWING IS THE PROPERTY OF THE SITE DESIGN ENGINEER AND IS TO BE KEPT AS A TRADE SECRET.

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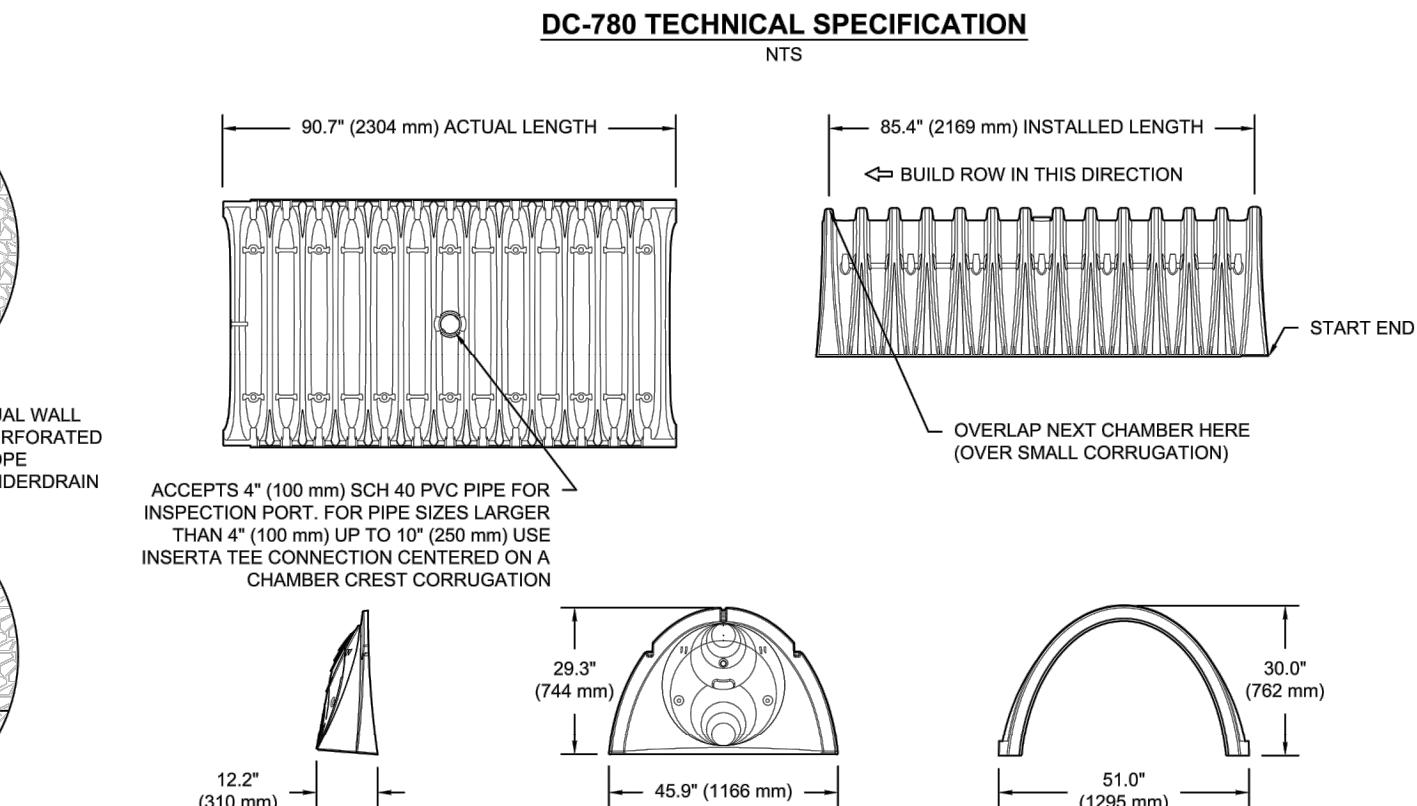
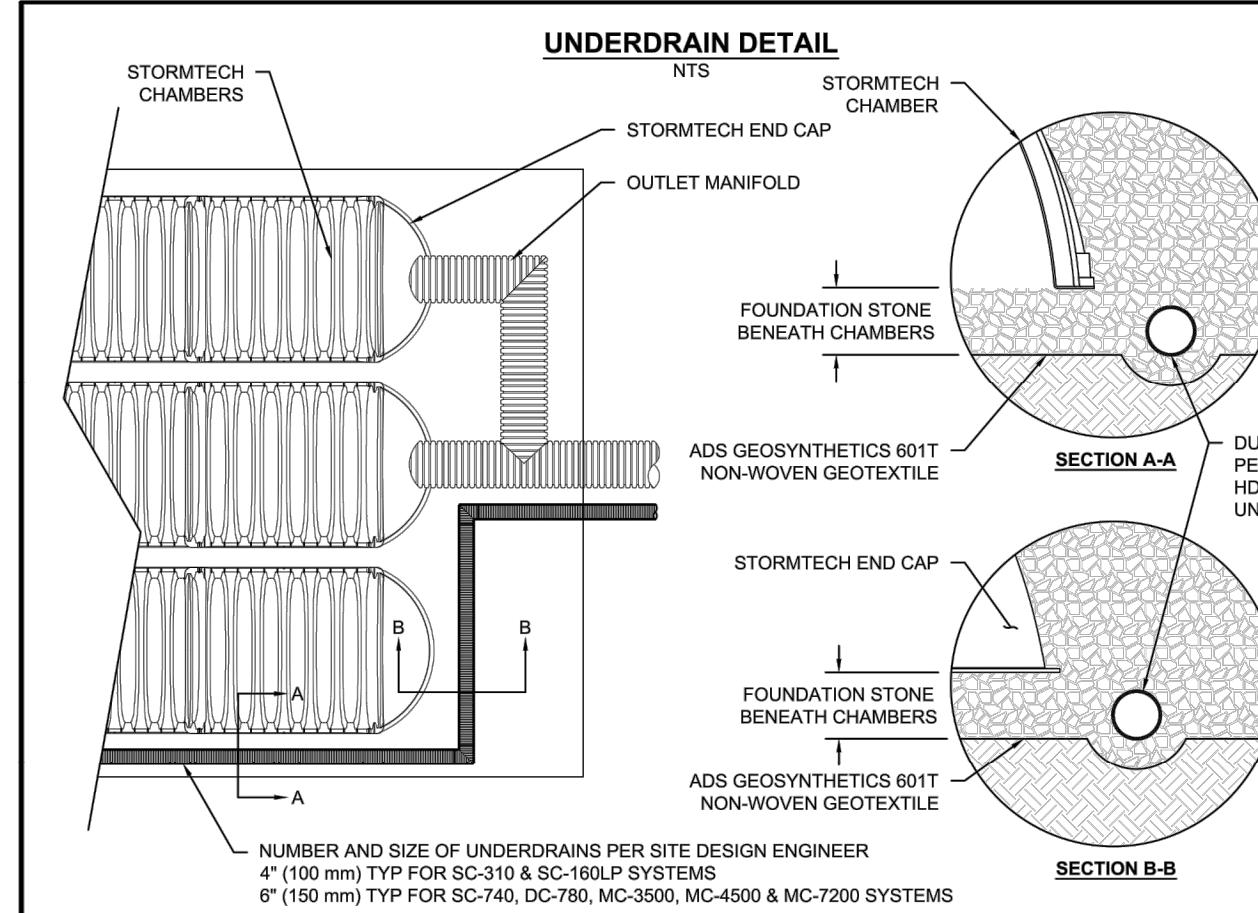
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THIS DRAWING HAS BEEN PREPARED



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X D) 51.0" X 30.0" X 85.4" (1295 mm X 762 mm X 2169 mm)
CHAMBER STONE 40" (100 mm) DIA
MINIMUM INSTALLED STORAGE* 46.2 CUBIC FEET (1.30 m³)
WEIGHT 78.4 CUBIC FEET (2.20 m³)
75.0 lbs. (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, 6" (229 mm) BELOW,
AND 6" (152 mm) BETWEEN CHAMBERS

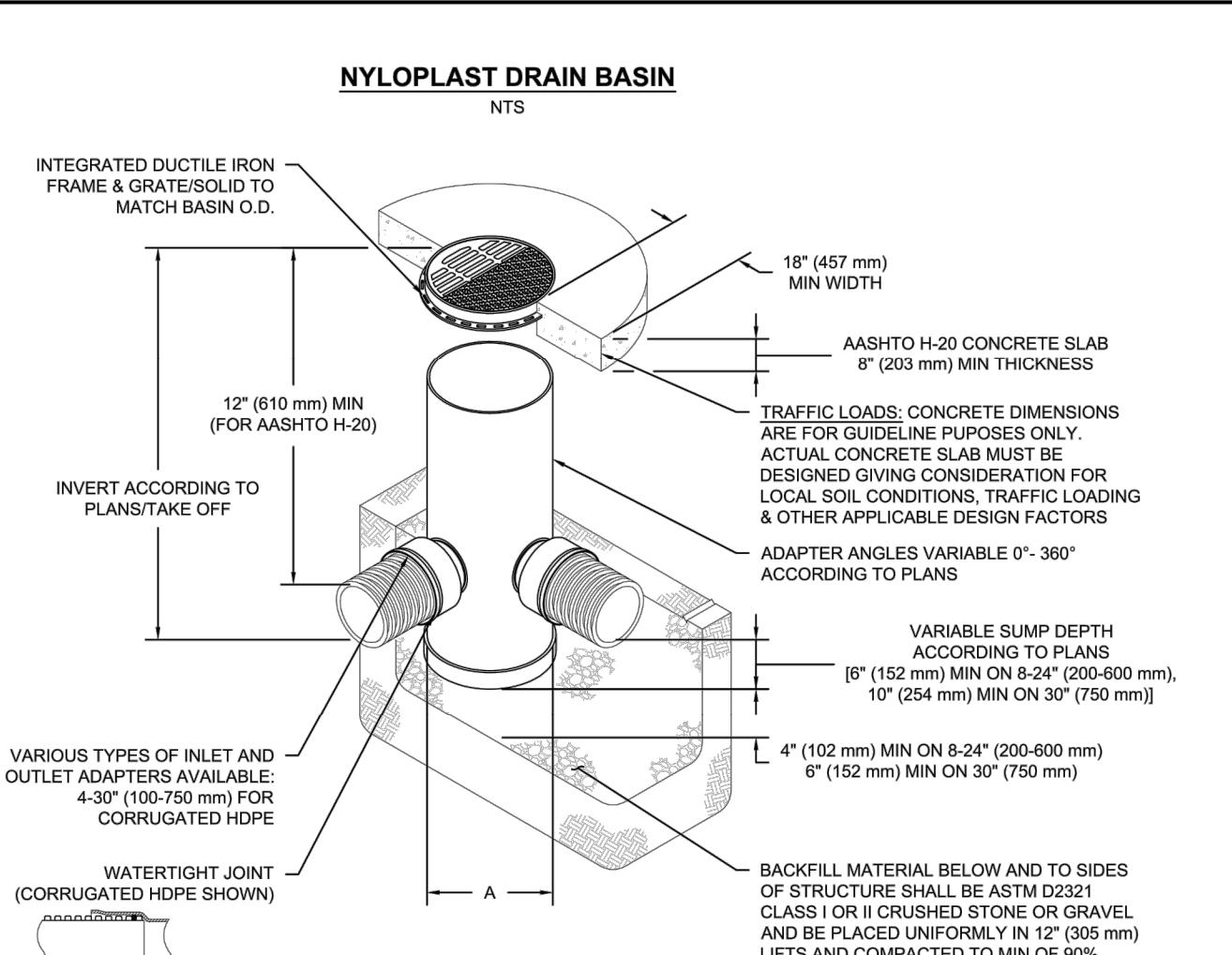
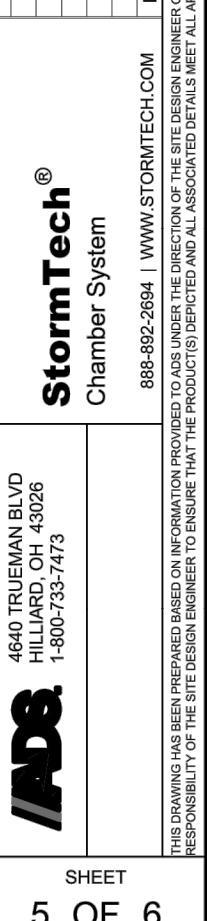
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EPE607 / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	...
SC740EPE608 / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	...	0.5" (13 mm)
SC740EPE608T / SC740EPE06TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	...
SC740EPE609 / SC740EPE08TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	...
SC740EPE609T / SC740EPE08TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE10 / SC740EPE10TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EPE12 / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.6" (41 mm)
SC740EPE18B / SC740EPE18TPC	24" (600 mm)	18.5" (464 mm)	...	1.6" (41 mm)
SC740EPE24	24" (600 mm)	18.5" (464 mm)	...	1.6" (41 mm)

ALL STUBS, EXCEPT FOR THE SC740EPEZ, ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

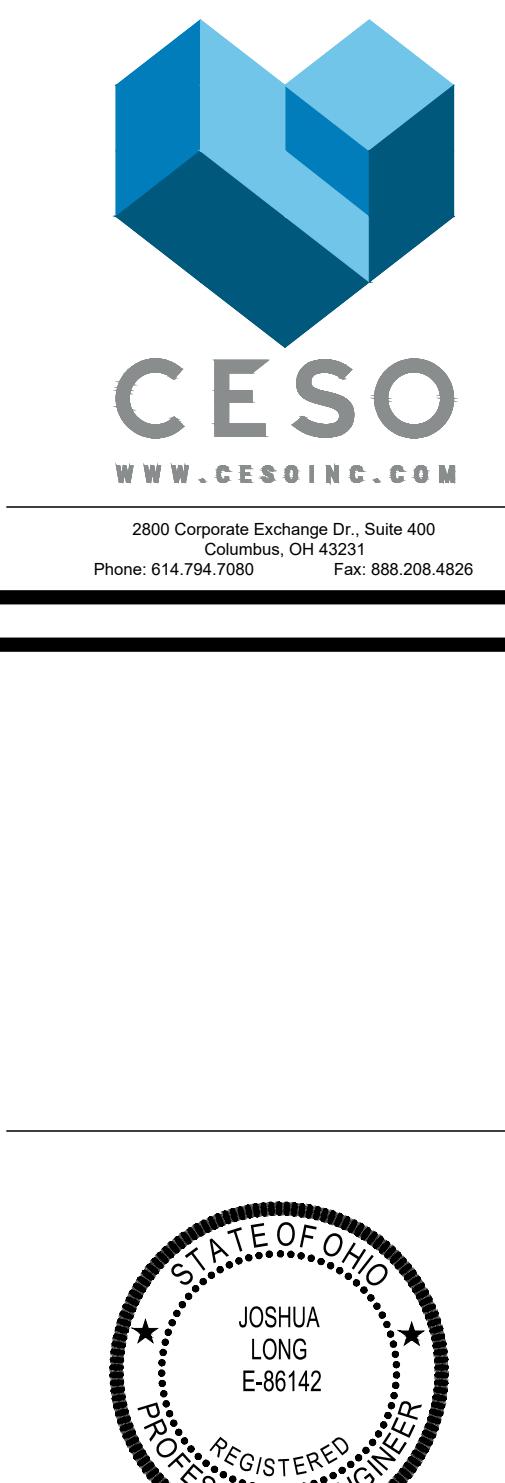
NOTE: ALL DIMENSIONS ARE NOMINAL



Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title: STORM DETAILS

C7.7



John Long

2023-02-17

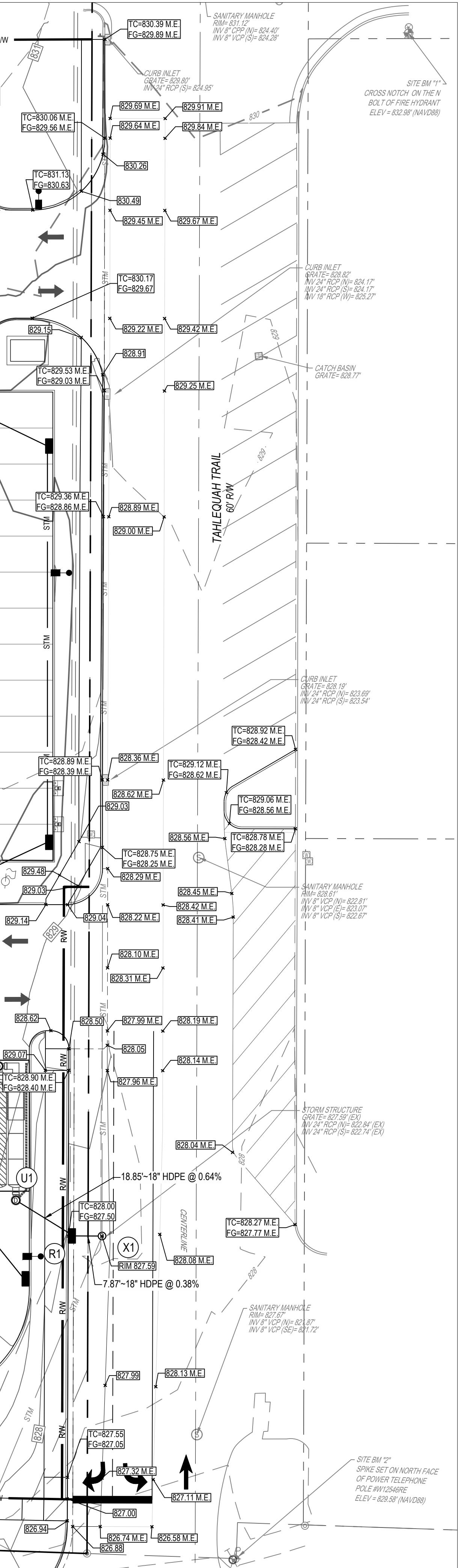
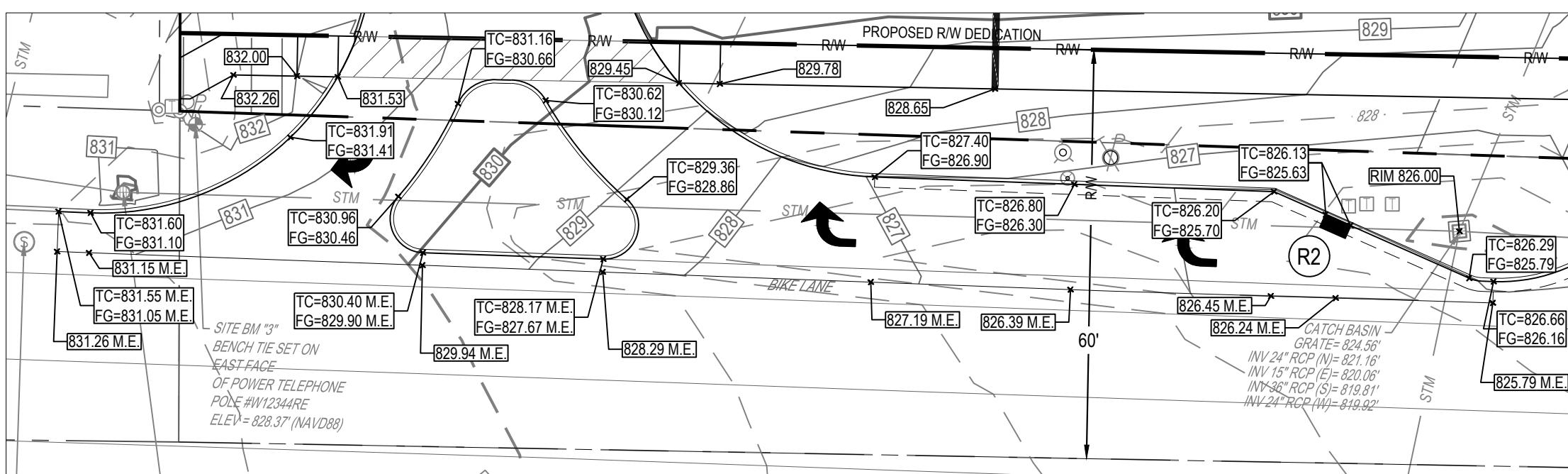
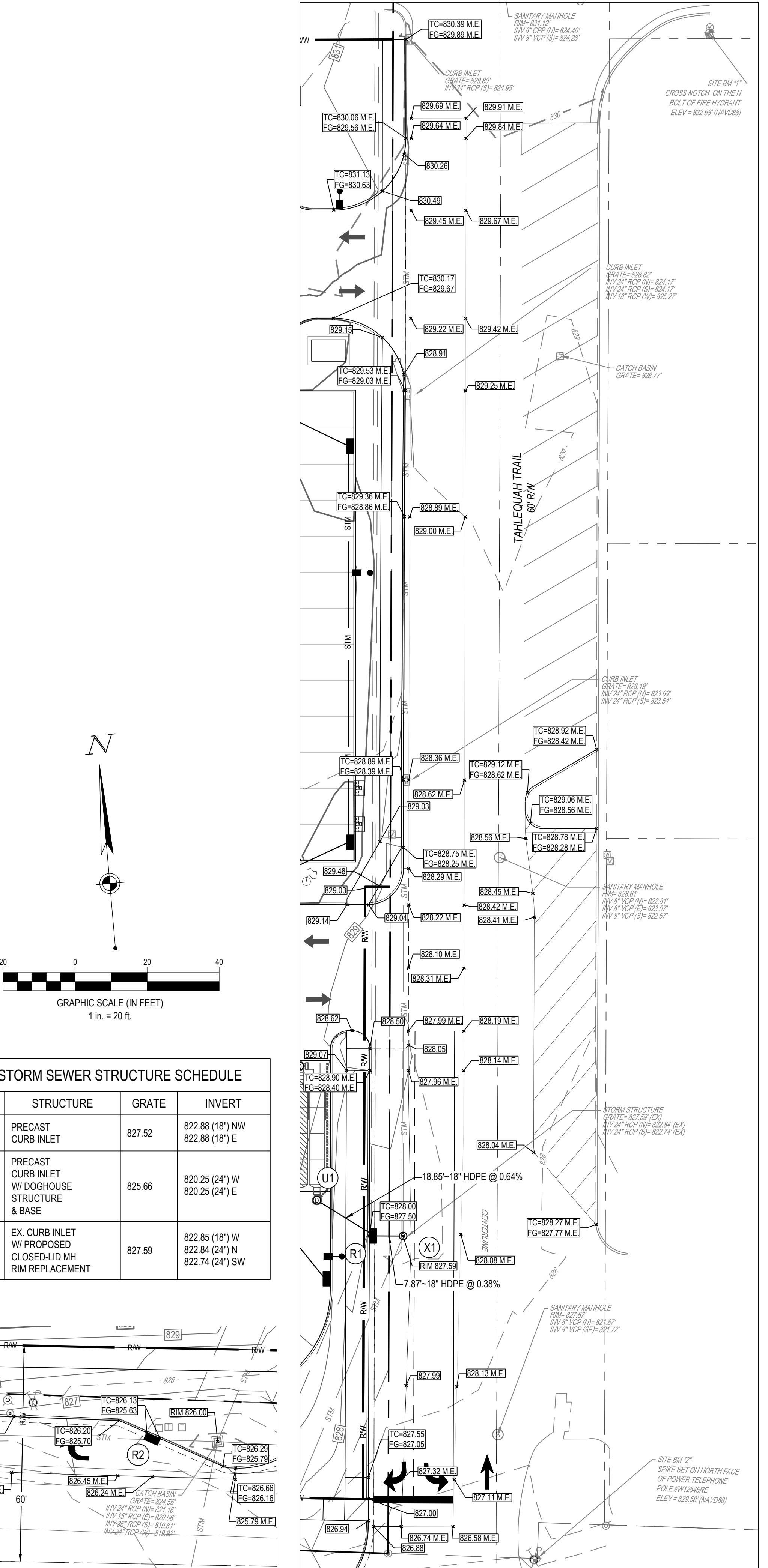


Revisions / Submissions
ID Description Date

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title: STORM DETAILS

C7.7



BENCHMARKS			
	ELEVATION*	EASTING**	NORTHING**
BM #1	832.98	1472500.75	574373.72
BM #2	829.58	1472416.38	573955.75
BM #3	828.37	1472154.66	573985.65

* VERTICAL DATUM: NAVD88
** HORIZONTAL DATUM: NAD83 OHIO STATE PLANES, SOUTH ZONE, US FOOT
NOTE: REFER TO ALTA SURVEY, SHEET C1.3, FOR BENCHMARK LOCATIONS



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

Project Number: 760643
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION
Drawing Title: ROADWAY GRADING PLAN



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

Revisions / Submissions

ID Description Date



Joshua Long
E-86142
REGISTERED
PROFESSIONAL
ENGINEER

2023-02-17



SHEETZ - SPRINGBORO, OH
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

800 W. CENTRAL AVE

SPRINGBORO, OHIO 45066

R2.0



PROJECT NAME:
NEW SHEETZ STORE

SPRINGBORO

Int. of West Central Avenue
And Tahlequah Trail
Springboro, OH 45066

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

PRELIMINARY ELEVATIONS



1 FRONT ELEVATION - EAST

TYPICAL EXTERIOR ELEVATION NOTES:

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXT. JOINTS FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS. GENERAL BUILDING FASADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

- 1 BRICK VENEER (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- 2 CAST STONE SILL (COLOR = CRAB ORCHARD)
- 3 ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- 4 EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- 5 ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- 6 BRICK PAVER WALKWAY
- 7 LIGHTED BOLLARD
- 8 METAL COPING (COLOR = DARK BRONZE)
- 9 WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED. SEE SHEET A200.
- 10 STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- 11 ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- 12 GUTTER (COLOR = RED)
- 13 DOWNSPOUT (COLOR = DARK BRONZE)
- 14 DRIVE-THRU WINDOW (IF APPLICABLE)
- 15 METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY (ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- 16 BRICK SOLDIER COURSE (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- 17 BRICK ROWLOCK COURSE (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- 18 CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- 19 STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- 20 STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- 21 OVERFLOW SCUPPER
- 22 ALUMINUM STOREFRONT SYSTEM
- 23 EXTERIOR HOSE BIB
- 24 OUTDOOR FURNITURE
- 25 ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
- 26 ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- 27 HM DOOR AND FRAME (COLOR = DARK BRONZE)
- 28 EMERGENCY WATER CONNECTION
- 29 SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
- 30 PROPANE LOCKER
- 31 ICE MERCHANDISER
- 32 RTI FILLPORT
- 33 STEEL BOLLARD (COLOR = DARK BRONZE)
- 34 CO2 FILLPORT
- 35 DECORATIVE ALUMINUM FENCE



2 LEFT ELEVATION - SOUTH

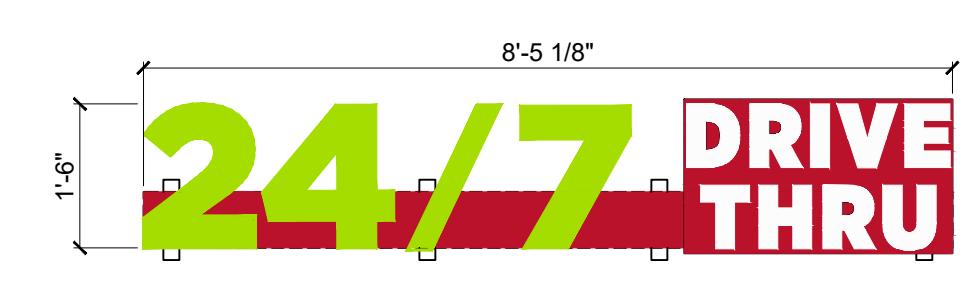
4" HIGH, MIN. VINYL ADDRESS NUMBER IDENTIFICATION
CHARACTERS FOR GLASS APPLICATION, IN
COMPLIANCE WITH IBC 501.2, VERIFY ADDRESS
NUMBER BEFORE INSTALLATION



A WALL MOUNTED "SHEETZ" BUILDING SIGN
1/2" = 1'-0"



B WALL MOUNTED "M.T.O" BUILDING SIGN
1/2" = 1'-0"



C WALL MOUNTED "24/7 DRIVE THRU" BUILDING SIGN
1/2" = 1'-0"

ISSUE: 09-08-2022
SITE ID NO: 214357
AUTHOR BY: RJK
REVIEW BY: NMV
VERSION: 6139_v1.2

EXTERIOR
ELEVATIONS

A200

PROJECT NAME:
NEW SHEETZ STORE

SPRINGBORO

Int. of West Central Avenue
And Tahlequah Trail
Springboro, OH 45066

OWNER:
SHEETZ, INC.

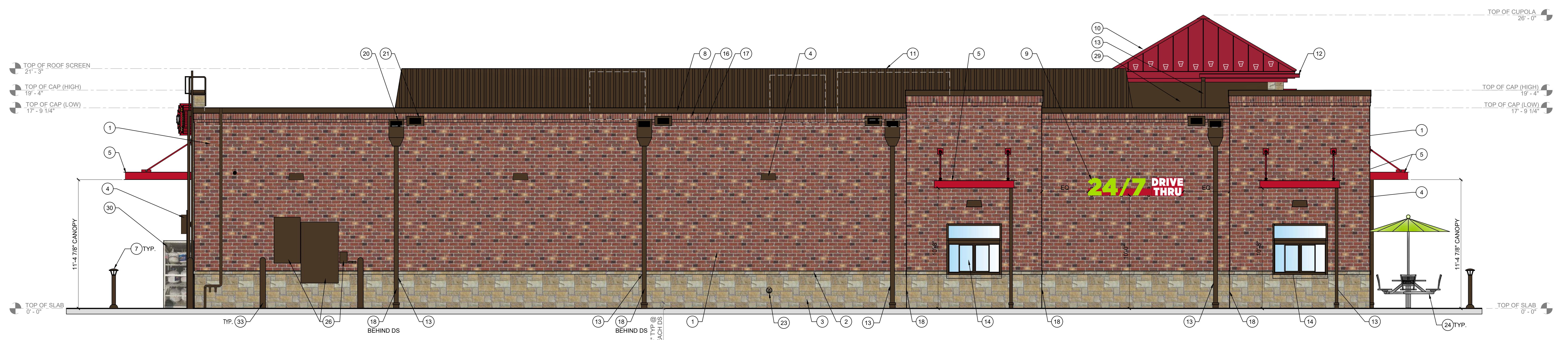
5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

PRELIMINARY ELEVATIONS



3 REAR ELEVATION - WEST
1/4" = 1'-0"

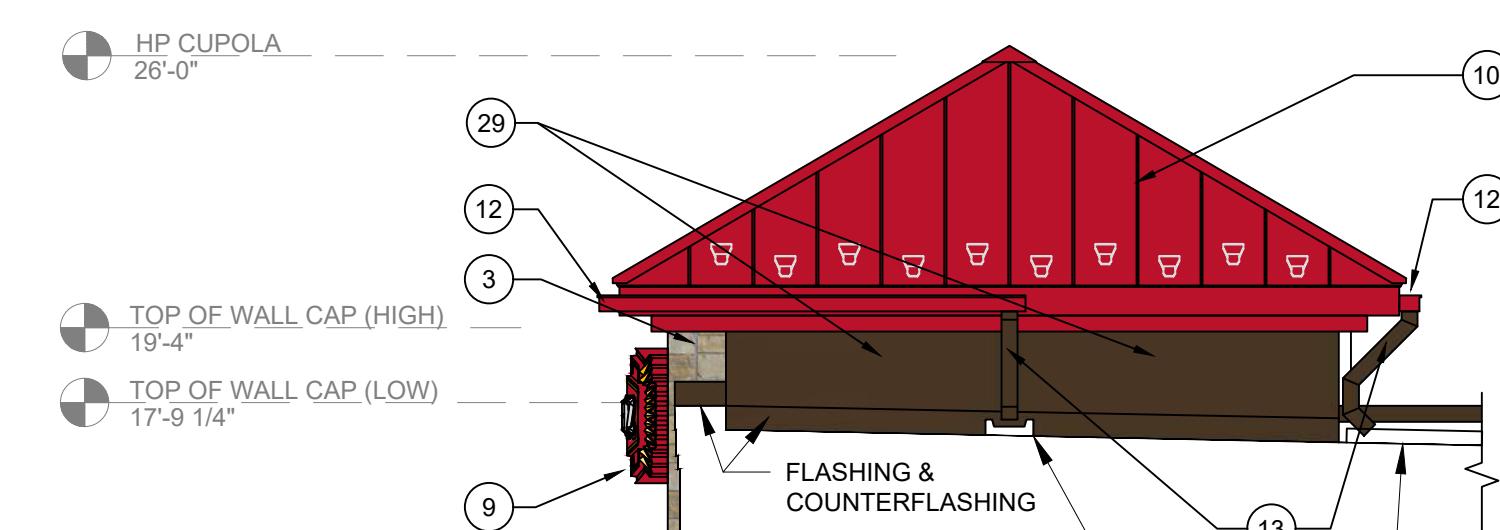
TYPICAL EXTERIOR ELEVATION NOTES:
ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANT, GENERAL BUILDING FASADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

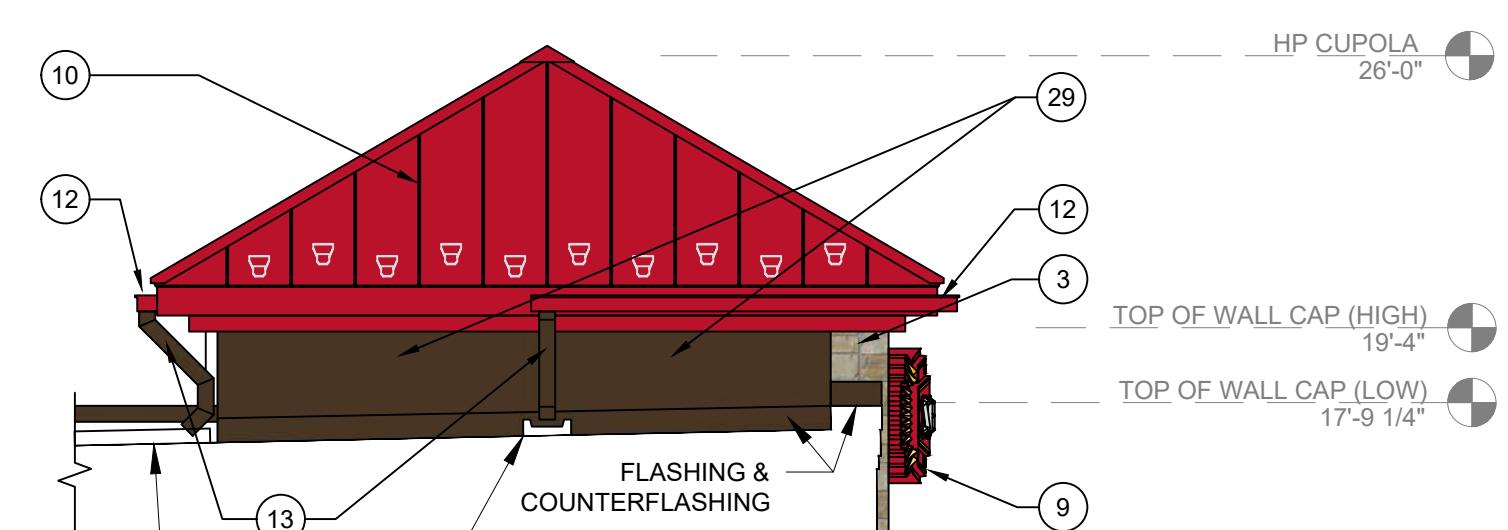
- (1) BRICK VENEER (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- (2) CAST STONE SILL (COLOR = CRAB ORCHARD)
- (3) ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- (4) EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- (5) ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- (6) BRICK Paver Walkway
- (7) LIGHTED BOLLARD
- (8) METAL COPING (COLOR = DARK BRONZE)
- (9) WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED. SEE SHEET A200.
- (10) STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- (11) ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- (12) GUTTER (COLOR = RED)
- (13) DOWNSPOUT (COLOR = DARK BRONZE)
- (14) DRIVE-THRU WINDOW (IF APPLICABLE)
- (15) METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY (ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- (16) BRICK SOLDIER COURSE (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- (17) BRICK ROWLOCK COURSE (0/8 680 MOD BY CONTINENTAL BRICK CO.)
- (18) CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- (19) STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- (20) STANDARD THROUGH-WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- (21) OVERFLOW SCUPPER
- (22) ALUMINUM STOREFRONT SYSTEM
- (23) EXTERIOR HOSE BIB
- (24) OUTDOOR FURNITURE
- (25) ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
- (26) ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- (27) HM DOOR AND FRAME (COLOR = DARK BRONZE)
- (28) EMERGENCY WATER CONNECTION
- (29) SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
- (30) PROPANE LOCKER
- (31) ICE MERCHANDISER
- (32) RTI FILLPORT
- (33) STEEL BOLLARD (COLOR = DARK BRONZE)
- (34) CO2 FILLPORT
- (35) DECORATIVE ALUMINUM FENCE



4 RIGHT ELEVATION - NORTH
1/4" = 1'-0"



5 CUPOLA FROM ROOF
1/4" = 1'-0"



6 CUPOLA FROM ROOF
1/4" = 1'-0"

ISSUE: 09-08-2022
SITE ID NO: 214357
AUTHOR BY: RJK
REVIEW BY: NMV
VERSION: 6139_v1.2

EXTERIOR
ELEVATIONS

A201

PROJECT NAME:
NEW SHEETZ STORE
SPRINGBORO

Int. of Tahlequah Trail
and West Central Avenue
Warren County
Ohio

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

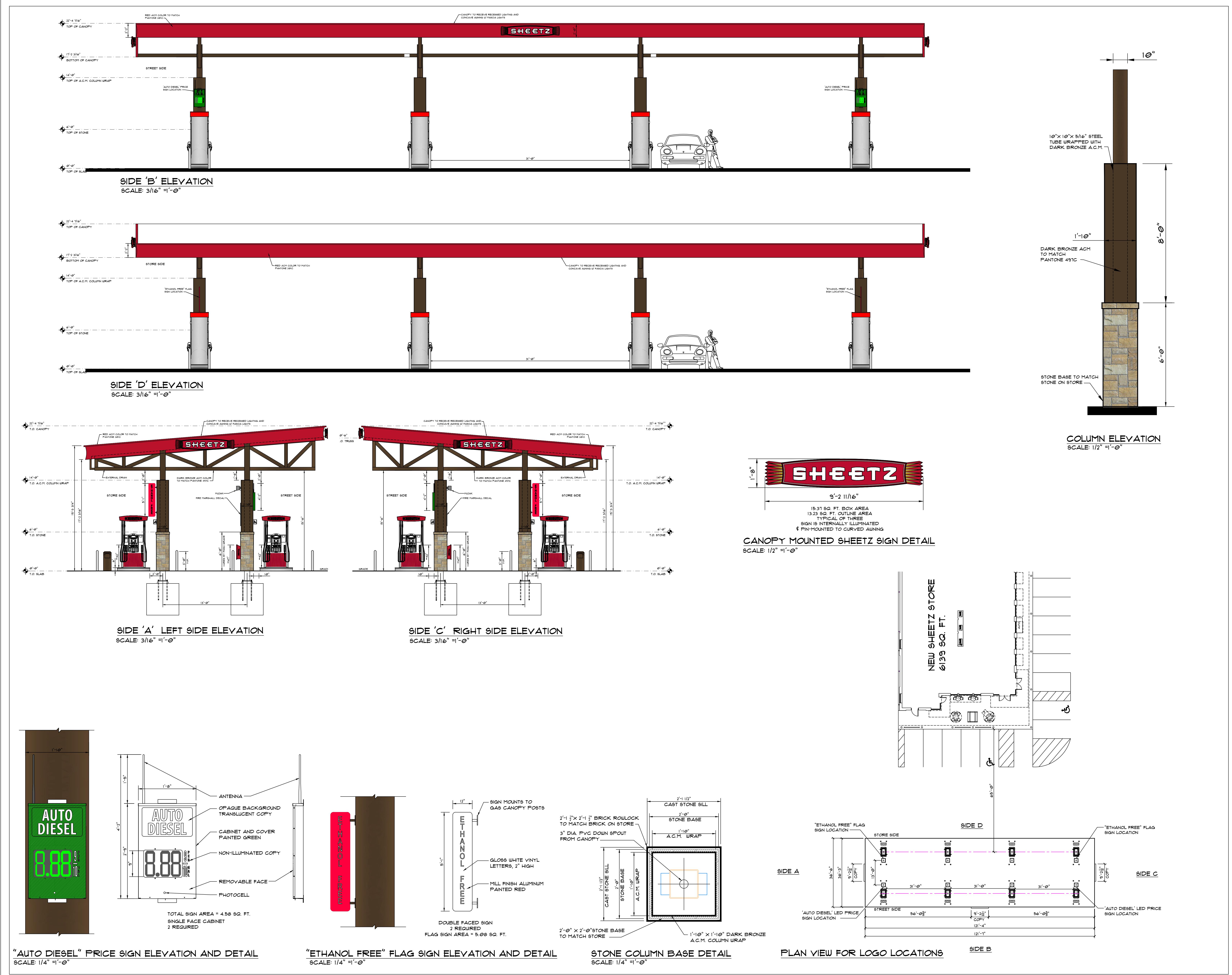
PROFESSIONAL

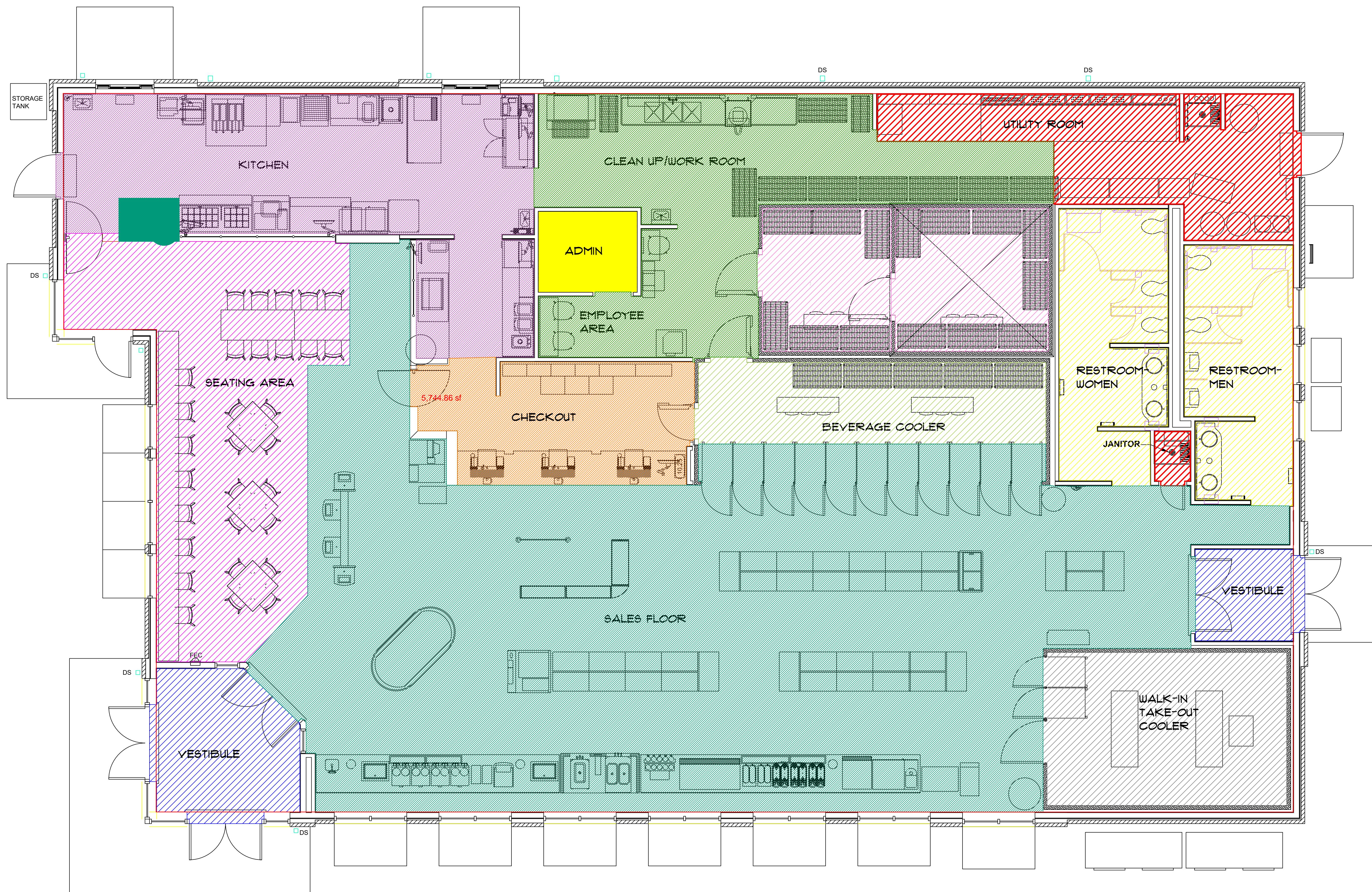
KEYPLAN

ISSUE: 09-21-22
PROJECT NO.:
AUTHOR BY: NMI
REVIEW BY:
SHEET TITLE

GAS AWNING

AWNING





FLOOR AREA BREAKDOWN

SCALE: 1/4" = 1'-0"

Restaurant = 1825sf
 Retail = 2779sf
 Common Area = 910sf
 TOTAL = 5514sf
 (563sf made up of interior/exterior walls)

Prorated Areas (Assuming 5514sf)
 Restaurant = 2186sf
 Retail = 3328sf

Prorated Areas (Assuming 6077sf)
 Restaurant = 2408sf
 Retail = 3669sf

-Richlen

Convenience Architecture
and Design P.C.

351 Sheetz Way, Claysburg, PA 16625
(814)239-6013

6077 BUILDING
FLOOR BREAKDOWN

SCALE: _____
 DATE: _____
 DRAWN BY: _____
 FILENAME: _____

DESCRIPTION
REVISIONS

DATE: _____
 BY: _____

September 21, 2022

City of Springboro
320 W. Central Avenue
Springboro, OH 45066

RE: Site Plan Application at 800 W. Central Avenue, Springboro, Ohio 45066 (the "**Property**")

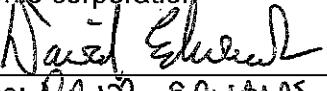
To Whom it May Concern:

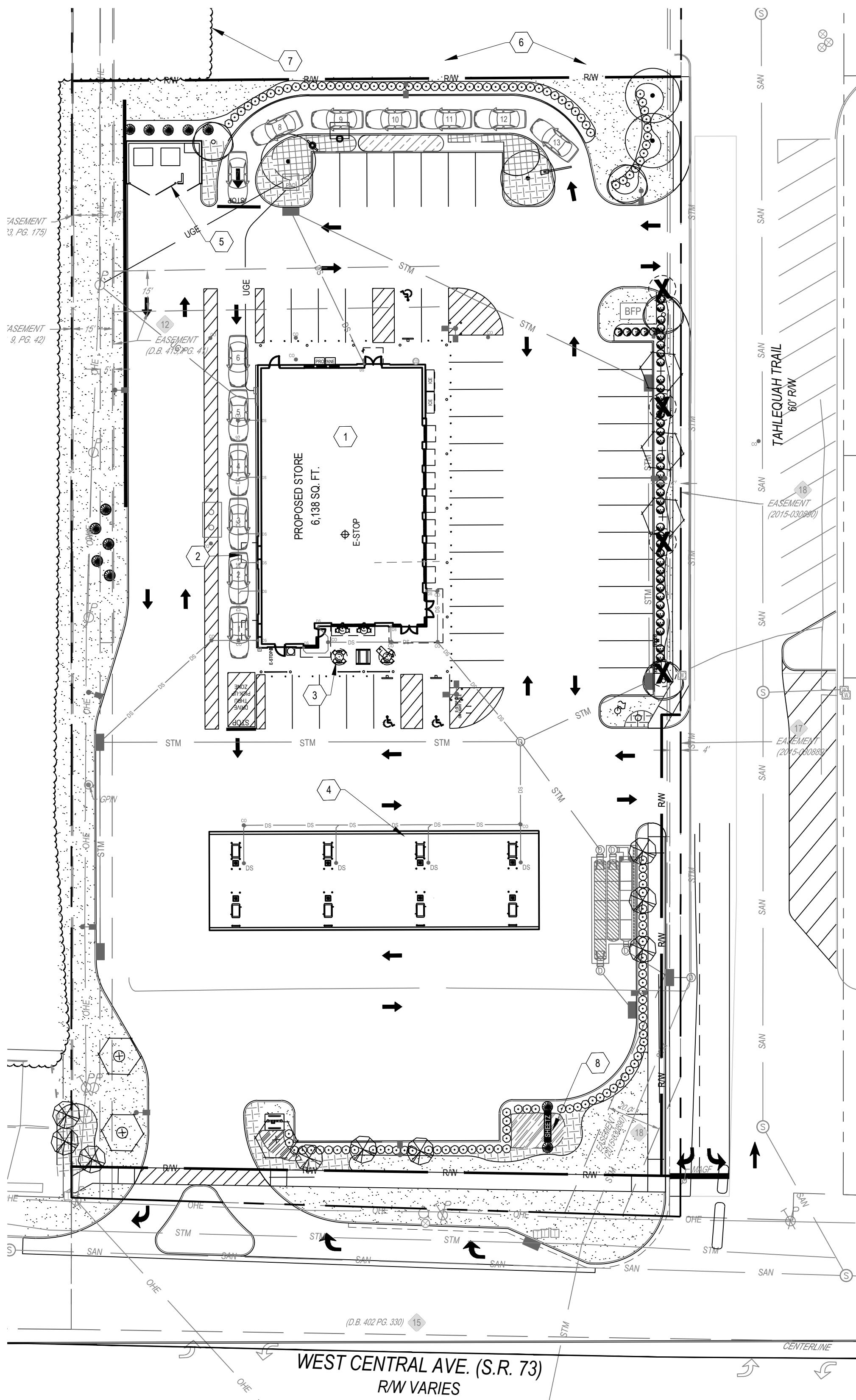
Edwards Furniture, Inc., an Ohio corporation (the "**Owner**") is the fee simple owner of the Property. The Owner is under contract with Morse Road Development, LLC (the "**Buyer**") for the purchase and sale of the Property. As part of this purchase, Buyer is seeking to present plans to the City of Springboro for site plan approval. The purpose of this letter is to provide authorization from the Owner for Buyer to present certain site plans to the City of Springboro. Accordingly, by signature to this letter, the Owner hereby provides such authorization.

Sincerely,

OWNER:

Edwards Furniture, Inc.,
an Ohio corporation

By: 
Name: DAVID EDWARDS
Its: PRESIDENT
Date: 9/22/2022



LEGEND

R/W	RIGHT OF WAY LINE
PARCEL LINE	
EASEMENT LINE	
EDGE OF PAVEMENT	
PAVEMENT/WALK	
PROPOSED CONCRETE SIDEWALK OR DECK	
OHL	OVERHEAD POWER LINE
E	POWER LINE
STM	STORM DRAIN
SAN	SANITARY SEWER
W	WATER LINE
G	GAS LINE
UGT	UNDERGROUND TELEPHONE LINE
UGE	UNDERGROUND ELECTRIC LINE
EXISTING TREE CANOPY	
X	EXISTING TREE TO BE REMOVED
•	EXISTING TREE TO REMAIN
■	AIR MACHINE
■	MENU BOARD
•	6" BOLLARD
ICE ICE	ICE MERCHANTISER
PROpane	PROPANE LOCKERS

NOTE: CONTRACTOR WILL BE REQUIRED TO PERFORM MINOR CLEARING AND PRUNING APPROXIMATELY 10' INTO THE EXISTING TREE AREAS. THIS WILL INCLUDE REMOVAL OF HANGING LIMBS, DEAD LIMBS ON TREES AND ON THE GROUND AND GENERAL DEBRIS IN THE AREA. PINE NEEDLES WILL BE REQUIRED WITHIN ENTIRE EXISTING TREE AREA.

CODED NOTES:

1. PROPOSED 6,138 SF STORE.
2. PROPOSED DRIVE-THRU WINDOW.
3. PROPOSED PATIO SEATING.
4. PROPOSED EIGHT (8) DISPENSER FUEL CANOPY.
5. PROPOSED DUMPSTER ENCLOSURE AND PAD.
6. EXISTING TURF TO REMAIN
7. EXISTING TREES TO REMAIN
8. PROPOSED MONUMENT SIGN

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	9	CERCIS CANADENSIS EASTERN REDBUD	2.5" CAL	10' HT	AS SHOWN
	4	PRUNUS SERRULATA 'FIRST BLUSH' FIRST BLUSH CHERRY	2" CAL	8' HT	AS SHOWN
	4	QUERCUS SHUMARDII SHUMARD OAK	2.5" CAL	10' HT	AS SHOWN
	12	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	---	6' HT	AS SHOWN
	6	TILIA CORDATA 'CORZAM' CORZAM LITTLE LEAF LINDEN	2.5" CAL	10' HT	AS SHOWN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	43	ABELIA X EDWARD GOUCHER' EDWARD GOCHER ABELIA	---	24" HT	3'-0" OC
	127	ILEX CRENATA 'HELLERI' JAPANESE HOLLY	---	24" HT	3'-0" OC
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	21	PRUNUS LAUROCERASUS 'MOUNT VERNON' MOUNT VERNON ENGLISH LAUREL	---	12" HT	3'-0" OC
	153	ROSA X 'MEIGALPIO' RED DRIFT® GROUNDCOVER ROSE	---	12" HT / SPR	1'-6" OC
	60	SPRAEA JAPONICA 'LIMEMOUND' JAPANESE SPIREA	---	12" HT / SPR	3'-0" OC
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	1,463 SF	LIRIOPE MUSCARI LILYTURF	1 GAL.	12" HT / SPR	1'-6" OC
	15,424 SF	POA PRATENSIS KENTUCKY BLUEGRASS			SOD

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH
- CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

IRRIGATION

- THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

PARKING BUFFERS ALONG PUBLIC RIGHT-OF-WAY (1 SHADE TREE PER 40 LF, 1 ORNAMENTAL TREE PER 100 LF, 1 SHRUB PER 5 LF)
WEST CENTRAL AVENUE (180 LF, NOT INCLUDING DRIVES) TAHLEQUAH TRAIL (297 LF, NOT INCLUDING DRIVES)

REQUIRED CANOPY TREES: 5 CANOPY TREES

REQUIRED CANOPY TREES: 8 CANOPY TREES

PROPOSED CANOPY TREES: 2 CANOPY TREES*

PROPOSED CANOPY TREES: 8 CANOPY TREES

REQUIRED ORNAMENTAL TREES: 2 ORNAMENTAL TREES

REQUIRED ORNAMENTAL TREES: 3 ORNAMENTAL TREES

PROPOSED ORNAMENTAL TREES: 3 ORNAMENTAL TREES

PROPOSED ORNAMENTAL TREES: 3 ORNAMENTAL TREES

REQUIRED SHRUBS: 36 SHRUBS

REQUIRED SHRUBS: 60 SHRUBS

PROPOSED SHRUBS: 46 SHRUBS

PROPOSED SHRUBS: 78 SHRUBS

*ORNAMENTAL TREES SUBSTITUTED FOR CANOPY TREES UNDER POWER LINES

PARKING LOT INTERIOR REQUIREMENTS (10 SF PER PARKING SPACE)

PROPOSED PARKING SPACES: 44 SPACES

440 SF

REQUIRED: 10 SF

3,006 SF (68 SF PER PARKING SPACE)

REQUIRED PLANTING (1 TREE PER 300 SF OF INTERIOR LANDSCAPE)

TOTAL INTERIOR LANDSCAPE: 3,006 SF

REQUIRED: 11 TREES

PROPOSED: 11 TREES

SITE LANDSCAPING (1 TREE PER 3,000 SF OF LOT AREA)

TOTAL LOT AREA: 104,636 SF

REQUIRED: 35 TREES

PROPOSED: 35 TREES

Project Number: 760643
Scale: 1"-30'
Drawn By: TRH
Checked By: EAB
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:

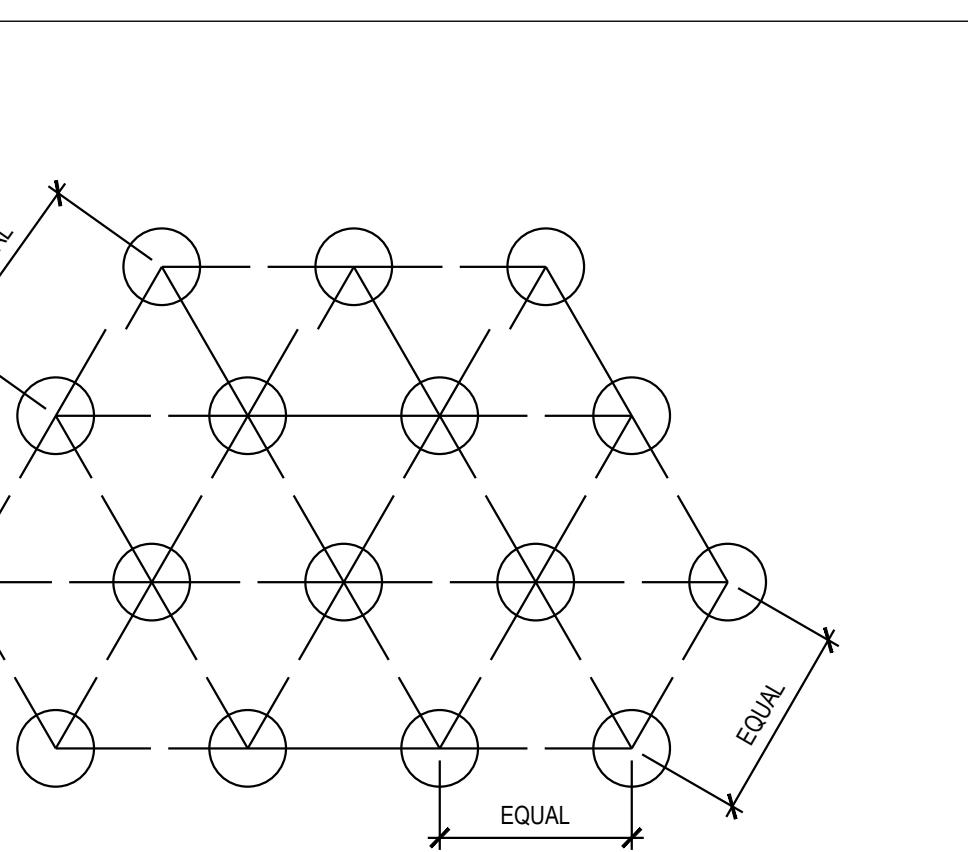
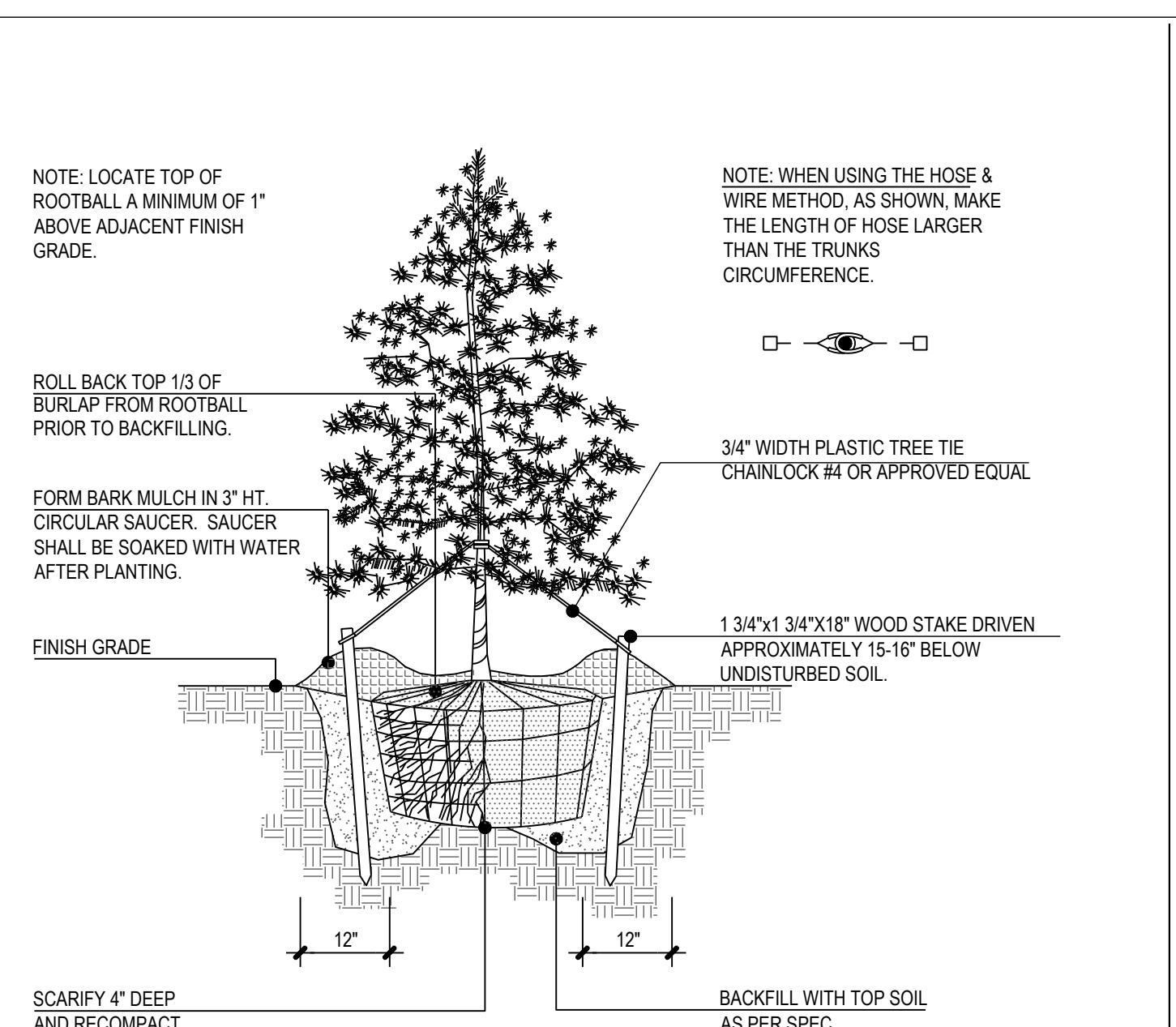
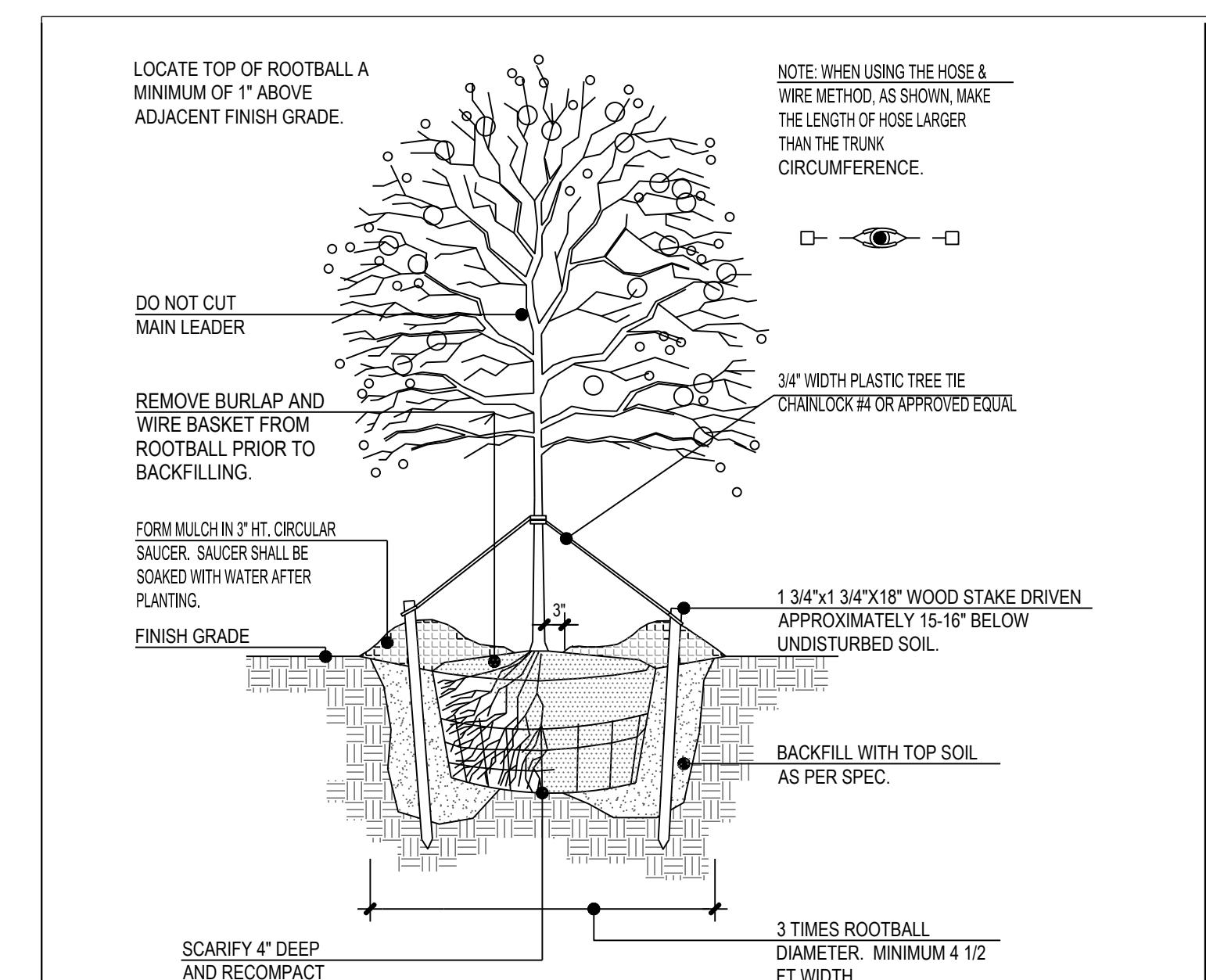
PLANTING PLAN

L1.0



SHEETZ - SPRINGBORO, OH

800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066



1 DECIDUOUS TREE STAKING

N.T.S.

2 EVERGREEN TREE STAKING

N.T.S.

3 GROUND COVER SPACING

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEous MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLECT, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTOR'S RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:

- ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
- ONE PART NATIVE SOIL

- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.

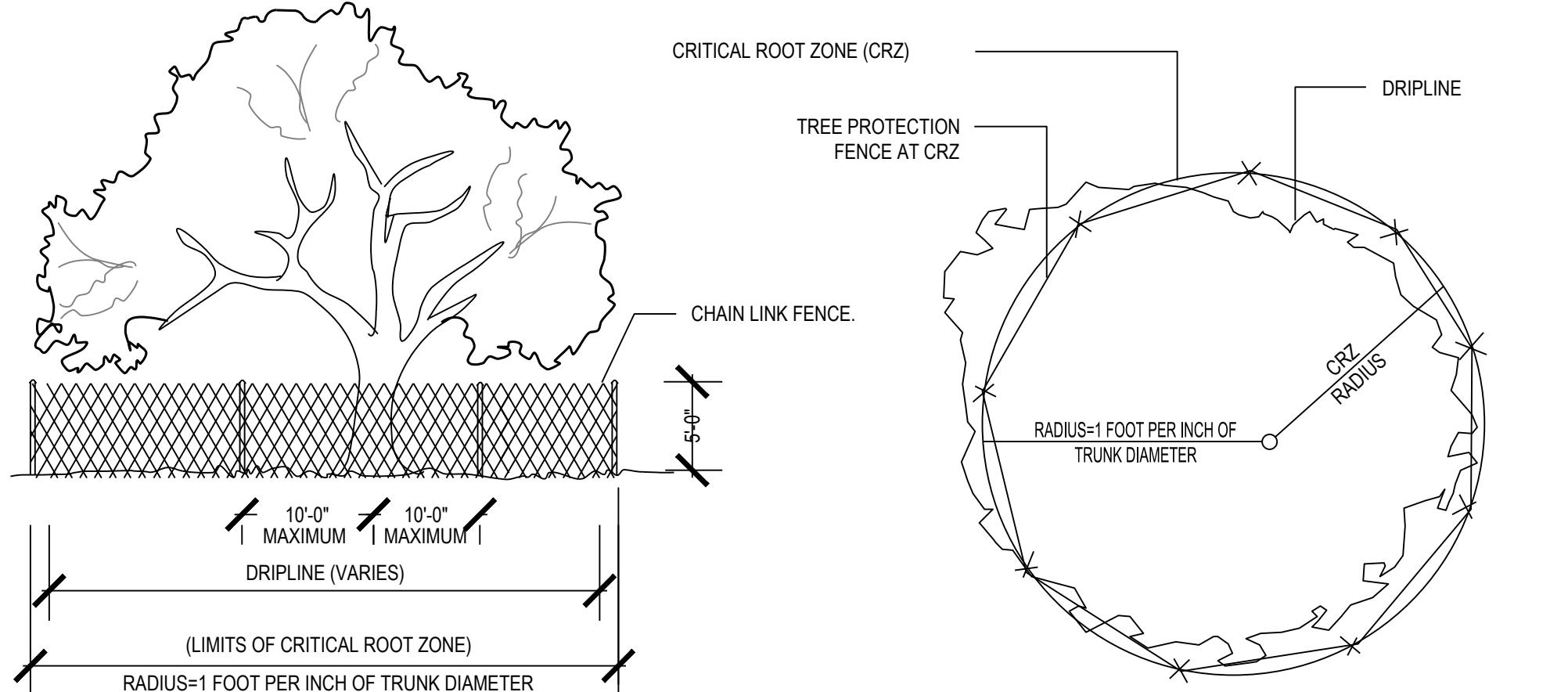
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETERIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.

- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE Drip LINE OF A TREE TO REMAIN.
- BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB, WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB, SO THAT CLOSURE CAN READILY START. ALL TRIMMING SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.
- ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

TREE PROTECTION NOTES

- WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRENCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND PRUNING ROOTS WITH A PRUNING SAW, CHAIN SAW OR OTHER EQUIPMENT DESIGNED FOR TREE PRUNING. ROOTS LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE ROOT PRUNING REQUIREMENTS MAY BE WAIVED IF THE LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL BORING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.

ROOT PRUNING NOTE:



- NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS, ONLY HAND LABOR ALLOWED.
- NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
- BARRIERS ARE TO BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN TREE AREA.
- BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
- Critical Root Zone: 1 INCH OF TREE AT DIAMETER BREAST HEIGHT (DBH) IS EQUAL TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

Project Number: 760643
Scale: 1"=30'
Drawn By: TRH
Checked By: EAB
Date: 02.17.2023
Issue: NOT FOR CONSTRUCTION
Drawing Title:

PLANTING DETAILS



SHEETZ - SPRINGBORO, OH
800 W. CENTRAL AVE
SPRINGBORO, OHIO 45066
SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

Revisions / Submissions
ID Description Date



APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase
Contract

APPLICANT NAME:

Joe Yost BERARDI + PARTNERS

Address

1398 GOODALE BLVD

COLUMBUS, OHIO 43212

Telephone No.

(614) 221-1110

Fax No.

(614) 221-0831

Email Address

YOST@BERARDI.PARTNERS.COM

PROPERTY OWNER NAME (IF OTHER): RIVER VALLEY CREDIT UNION

Address:

505 EARL BOULEVARD

MIAMISBURG, OHIO 45342

Telephone No. (937) 741-7178

Property Address or General Location:

25 W. CENTRAL AVENUE

Parcel Number(s):

Zoning District: UVD

Proposed Use: New CREDIT UNION WITH DETACHED DRIVE THRU TO REPLACE EXISTING CREDIT UNION

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)

Joe Yost

2/16/2023
(Date)

Printed Name



February 15, 2023

City of Springboro Planning Commission
320 W Central Ave
Springboro, Ohio 45066

Subject: **River Valley Credit Union
New Member Center and Drive Thru ATM/ITM
25 W Central Ave
Springboro, Ohio 45066**

To Whom It May Concern:

This letter is to confirm that Joe Youst from Berardi Partners is authorized to speak on our behalf at public meetings for the above referenced project.

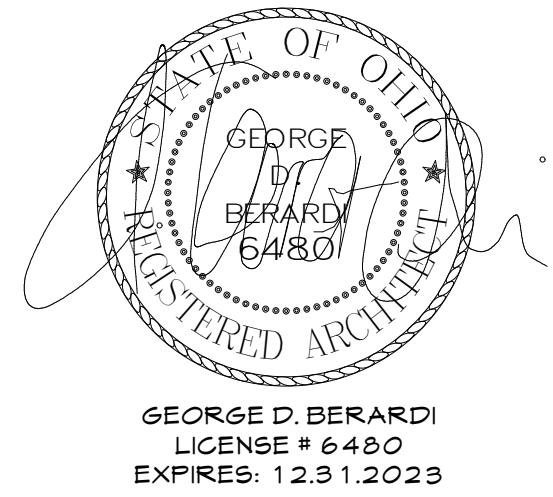
Should you require anything else please do not hesitate to contact us.

Sincerely,

River Valley Credit Union

A handwritten signature in black ink that reads "John E. Bowen".

John E. Bowen
President/CEO



River Valley Credit Union
25 W. CENTRAL AVE.
SPRINGBORO, OHIO

2023 BY:
BERARDI + PARTNERS, LLC
ARCHITECTS AND ENGINEERS
ALL RIGHTS RESERVED

THE ARRANGEMENTS DEPICTED HEREIN ARE THE
SOLE PROPERTY OF BERARDI + PARTNERS, LLC,
ARCHITECTS AND ENGINEERS, AND MAY NOT BE
REPRODUCED WITHOUT ITS WRITTEN PERMISSION

NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND
BECOME FAMILIAR W/ THE EXISTING CONDITIONS
AND REQUIREMENTS OF THE PROJECT AND
NOTICE THE CONTRACTOR OF ANY ERRORS
AND OMISSIONS SUBSEQUENTLY DISCOVERED IN
THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPRISSED
OF THE DRAWINGS AND THE SHEET SPECIFICATIONS
IN THEIR ENTIRETY. THE INFORMATION IN THESE
DOCUMENTS IS PROPRIETARY AND
CONFIDENTIAL OF THE CONTRACTOR.
3. SEPARATION OF THE CONTRACT DOCUMENTS
SHALL NOT BE PERMITTED. IF THE CONTRACTOR
CHOSES TO SEPARATE THE DOCUMENTS, THEY
DO SO AT THEIR OWN RISK AND EXPENSE.
4. THE CONTRACT DOCUMENTS ARE THE CONSULTANT'S
(ARCHITECT) DRAWINGS AND SPECIFICATION,
INCLUDING ALL DOCUMENTS OR ELECTRONIC
MEDIA AS INSTRUMENTS OF THE CONSULTANT'S
(ARCHITECT) PROFESSIONAL SERVICE. THE
CLIENT SHALL NOT REUSE OR MAKE OR PERMIT
TO MAKE ANY MODIFICATION TO THE
DRAWINGS OR SPECIFICATIONS WITHOUT THE
PRIOR WRITTEN AUTHORIZATION OF THE
CONSULTANT (ARCHITECT). THE CLIENT AGREES
TO HAVE ANY CLAIM AGAINST THE CONSULTANT
(ARCHITECT) ARISING FROM ANY UNAUTHORIZED
TRANSFERS, REUSE OR MODIFICATION OF THE
DRAWINGS OR SPECIFICATIONS.
5. ARCHITECT GUARANTEES THE ACCURACY
OF DATA CONTAINED HEREIN. ANY USE OR REUSE
OF ORIGINAL OR ALTERED CADD DESIGN
MATERIALS BY THE USER OR OTHER PARTIES
WITHOUT THE REVIEW AND WRITTEN APPROVAL
OF THE ARCHITECT SHALL BE AT THE SOLE RISK
OF THE USER. FURTHERMORE, THE ARCHITECT
DEFEND, INDEMNIFY, AND HOLD ARCHITECT
HARMLESS FROM ALL CLAIMS, INJURES,
DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S
FEES ARISING OUT OF THE MODIFICATION OR
REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT
DOCUMENTS ARE PROPRIETARY AND ARE NOT
INTENDED TO DEFINE EXACT QUANTITIES,
LOCATIONS, OR CODED REQUIREMENTS. THE
DRAWINGS SHALL NOT BE SCALED EXACT.
STATE AND LOCAL CODE REQUIREMENTS AND
OTHER APPLICABLE CODE REQUIREMENTS
ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR AGREES TO BEAR THE
RESPONSIBILITY OF THE CONTRACTOR. ANY
INFORMATION WHICH DIRECTLY CONFLICTS WITH
ANY OF THESE CODES OR ANY DISCREPANCIES
FOUND IN THE CONTRACT DOCUMENTS SHALL BE
BROUGHT TO THE ATTENTION OF THE PROJECT
ARCHITECT.

PLANNING COMMISSION SET

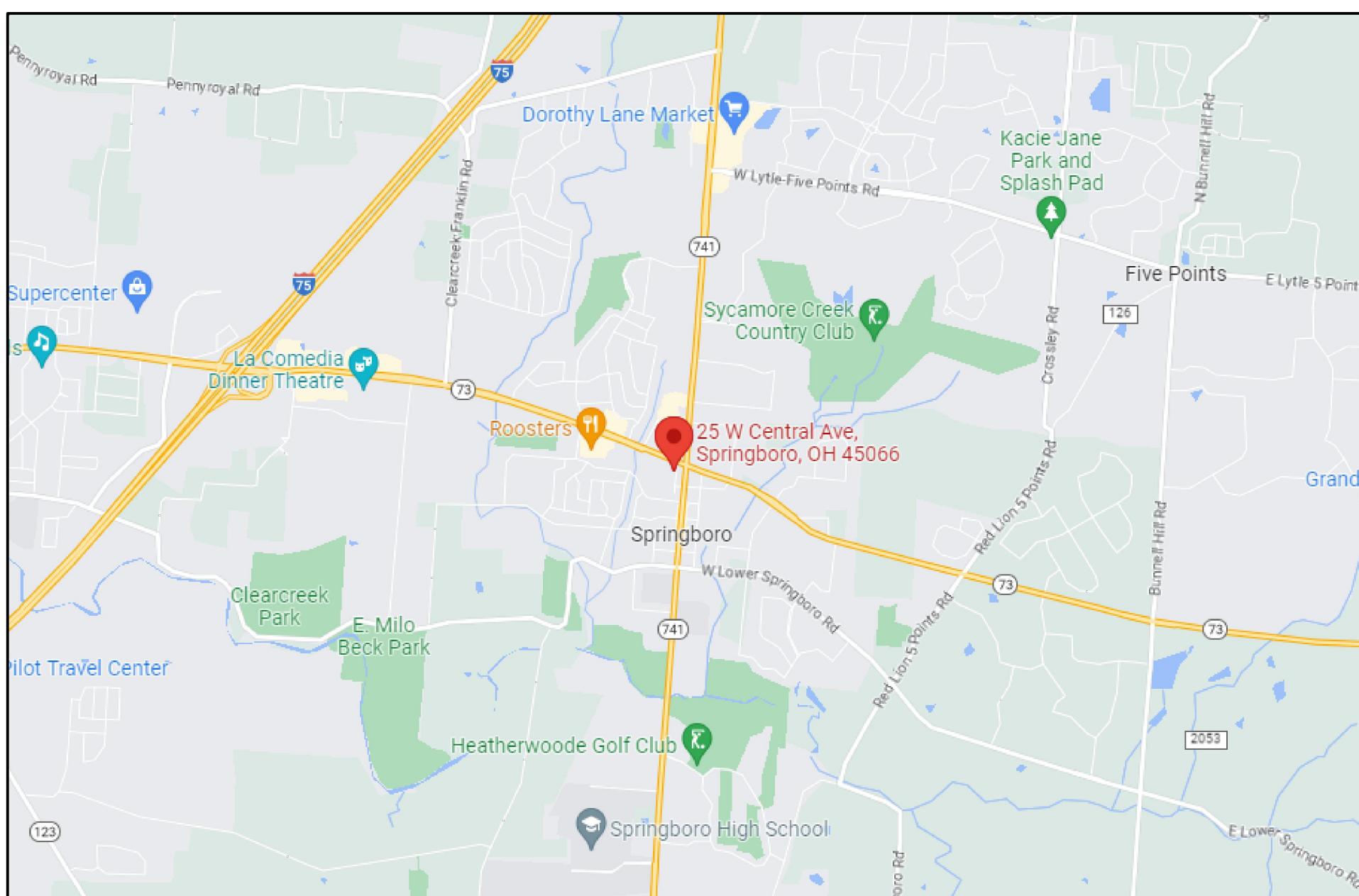
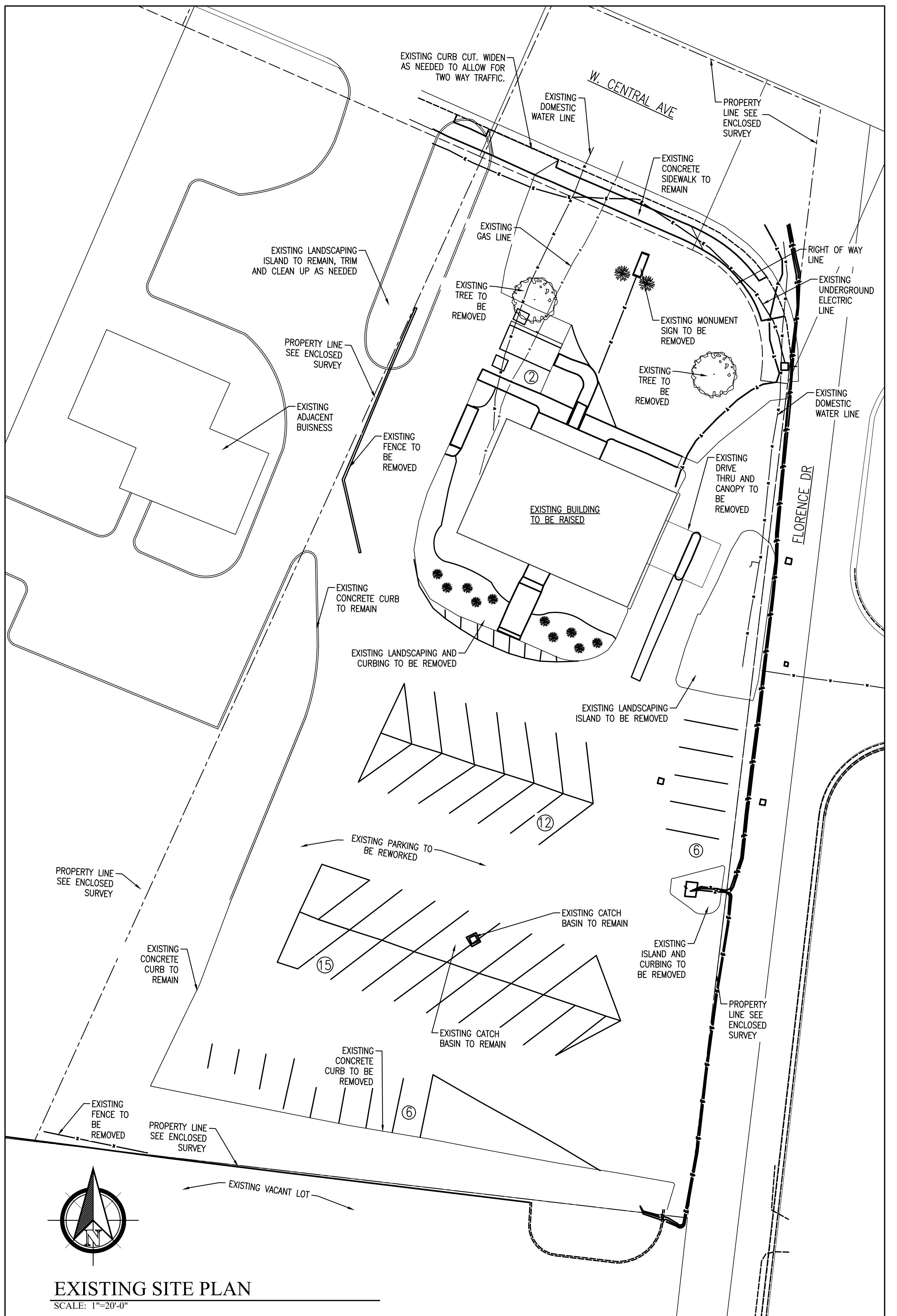
PROJECT DATE: 02.15.2023
PROJECT #: 2224

▲ Description Date

EXISTING ARCHITECTURAL SITE PLAN

AS.1

BERARDI +
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com



LOCATION MAP

SCALE: N.T.S.

PARKING SUMMARY

EXISTING PARKING = 39
EXISTING ADA PARKING = 2
TOTAL = 41

ALL EXISTING PARKING SPACES WILL BE REMOVED AND
PARKING LOT WILL BE RESTRIPED



George D. Berardi
LICENSE # 6480
EXPIRES: 12.31.2023

River Valley Credit
Union

25 W. CENTRAL AVE.
SPRINGBORO, OHIO

© 2023 BY:
BERARDI + PARTNERS, LLC
ARCHITECTS AND ENGINEERS
ALL RIGHTS RESERVED

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SOLE PROPERTY OF BERARDI + PARTNERS, LLC,
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AND REQUIREMENTS OF THE PROJECT AND
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AND OMISSIONS SUBSEQUENTLY DISCOVERED IN
THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPRISSED
OF THE DRAWINGS AND THE SHEET SPECIFICATIONS
IN THEIR ENTIRETY. THE INFORMATION IN THESE
DOCUMENTS IS PROVIDED UPON AND
CONSIDERATION OF THE INFORMATION
SEPARATION OF THE CONTRACT DOCUMENTS
SHALL NOT BE PERMITTED. IF THE CONTRACTOR
CHOSES TO SEPARATE THE DOCUMENTS, THEY
DO SO AT THEIR OWN RISK AND EXPENSE.

3. THE CONTRACT DOCUMENTS ARE THE CONSULTANT'S
ARCHITECT DRAWINGS AND SPECIFICATIONS,
INCLUDING ALL DOCUMENTS ON ELECTRONIC
MEDIA AS INSTRUMENTS OF THE CONSULTANT'S
(ARCHITECT) PROFESSIONAL SERVICE. THE
CLIENT SHALL NOT REUSE OR MAKE OR PERMIT
TO BE MADE ANY MODIFICATION TO THE
DRAWINGS OR SPECIFICATIONS WITHOUT THE
PRIOR WRITTEN AUTHORIZATION OF THE
CONSULTANT (ARCHITECT). THE CLIENT AGREES
TO HAVE ANY CLAIM AGAINST THE CONSULTANT
(ARCHITECT) ARISING FROM ANY UNAUTHORIZED
TRANSFERS, REUSE OR MODIFICATION OF THE
CONSULTANT'S SPECIFICATIONS.

4. ARCHITECT GUARANTEES THAT THE ACCURACY
OF DATA CONTAINED HEREIN, ANY USE OR REUSE
OF ORIGINAL OR ALTERED CADD DESIGN
MATERIALS BY THE USER OR OTHER PARTIES
WITHOUT THE REVIEW AND WRITTEN APPROVAL
OF THE ARCHITECT, SHALL NOT BE THE SOLE RISK
OF THE ARCHITECT. THE ARCHITECT
FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT
HARMLESS FROM ALL CLAIMS, INJURIES,
DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S
FEES ARISING OUT OF THE MODIFICATION OR
REUSE OF THESE MATERIALS.

5. THESE DRAWINGS AS PART OF THE CONTRACT
DOCUMENTS ARE CONTRACT DOCUMENTS AND ARE NOT
INTENDED TO DEFINE EXACT QUANTITIES,
LOCATIONS, OR CODED REQUIREMENTS. THE
DRAWINGS SHALL NOT BE SCALDED EXACT
STATE AND LOCAL CODE REQUIREMENTS AND
OTHER APPLICABLE CODE REQUIREMENTS.

6. THE CONTRACT DOCUMENTS ARE THE
SOLE PROPERTY OF THE CONTRACTOR. ANY
RESPONSIBILITY OF THE CONTRACTOR, ANY
INFORMATION WHICH DIRECTLY CONFLICTS WITH
ANY OF THESE CODES OR ANY DISCREPANCIES
FOUND IN THE CONTRACT DOCUMENTS SHALL BE
BROUGHT TO THE ATTENTION OF THE PROJECT
ARCHITECT.

PLANNING COMMISSION SET

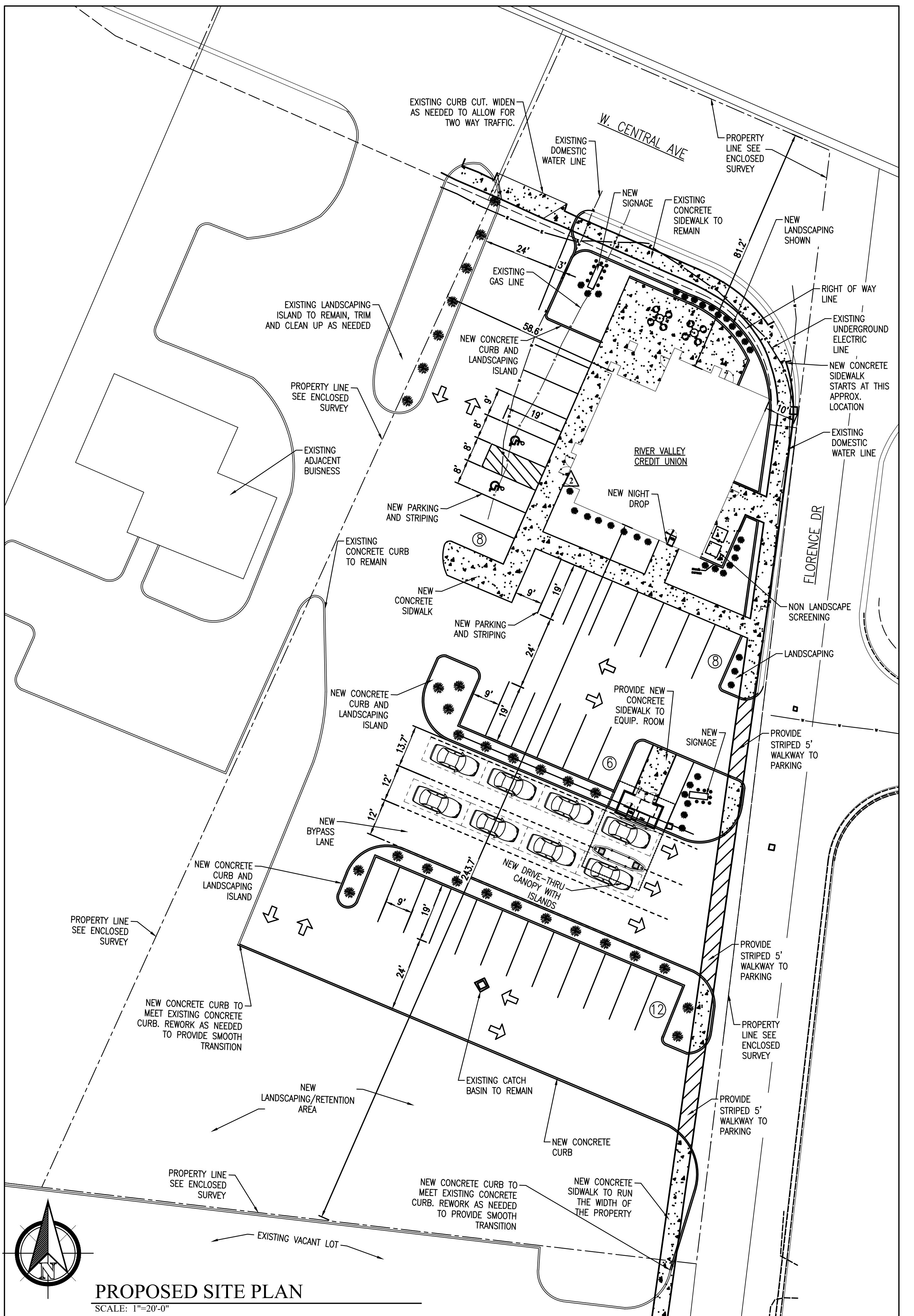
PROJECT DATE: 02.15.2023
PROJECT #: 2224

△ Description Date

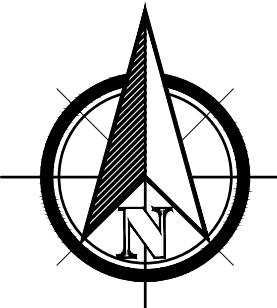
PROPOSED ARCHITECTURAL SITE PLAN

AS.2

BERARDI +
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com



BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE, NORTH AMERICAN DATUM OF 1983. (1986 ADJUSTMENT)
BASED ON GPS OBSERVATIONS USING ODOT VRS.



6

GRAPHIC SCALE

0 10 20 40

(IN FEET)

1 inch = 20 ft.

18

**DEFINING THE CITIES
OF TOMORROW**

23 Triangle Park Drive
Cincinnati, OH 45246
Contact: Nicholas Reed
513-942-3141 ext. 51911
Fax: 513-881-2263
www.ibigroup.com

BENCHMARK CONTROL POINTS

Point #	Elevation	Northing	Easting	Description
2	805.73	571675.77	1479688.24	CUTS T-2
3	801.68	571408.48	1479589.83	MAGS T-3

4

TOPOGRAPHIC SURVEY
CITY OF SPRINGBORO,
SECTION 13, TOWN 2, RANGE 5,
WARREN COUNTY, OHIO



LEGI

POST	[W]	WATER METER	PROPERTY LINE	_____
STORM MANHOLE (DRAINAGE)	[E]	ELECTRIC BOX	FENCE LINE	_____ X _____ X _____
CATCH BASIN	[E]	ELECTRIC METER	ELECTRIC LINE	_____ E _____ E _____
CURB INLET	[GT]	GAS TAP	GAS LINE	_____ G _____ G _____
CATCH BASIN	⊕	GAS VALVE		
FIRE HYDRANT	(S)	SANITARY MANHOLE	TELEPHONE LINE	_____ T _____ T _____
WATER VALVE	(C)	CLEANOUT		
SIGN			WATER LINE	_____ W _____ W _____
LIGHT POLE	[P]	UTILITY POLE	STORM LINE	_____
UTILITY POLE WITH LIGHT			SANITARY LINE	_____

CERTIFICATION

I HEREBY CERTIFY THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY
SHOWN HEREON WAS DONE UNDER MY SUPERVISION.



PATRICK S. FINN OH REG NO 71

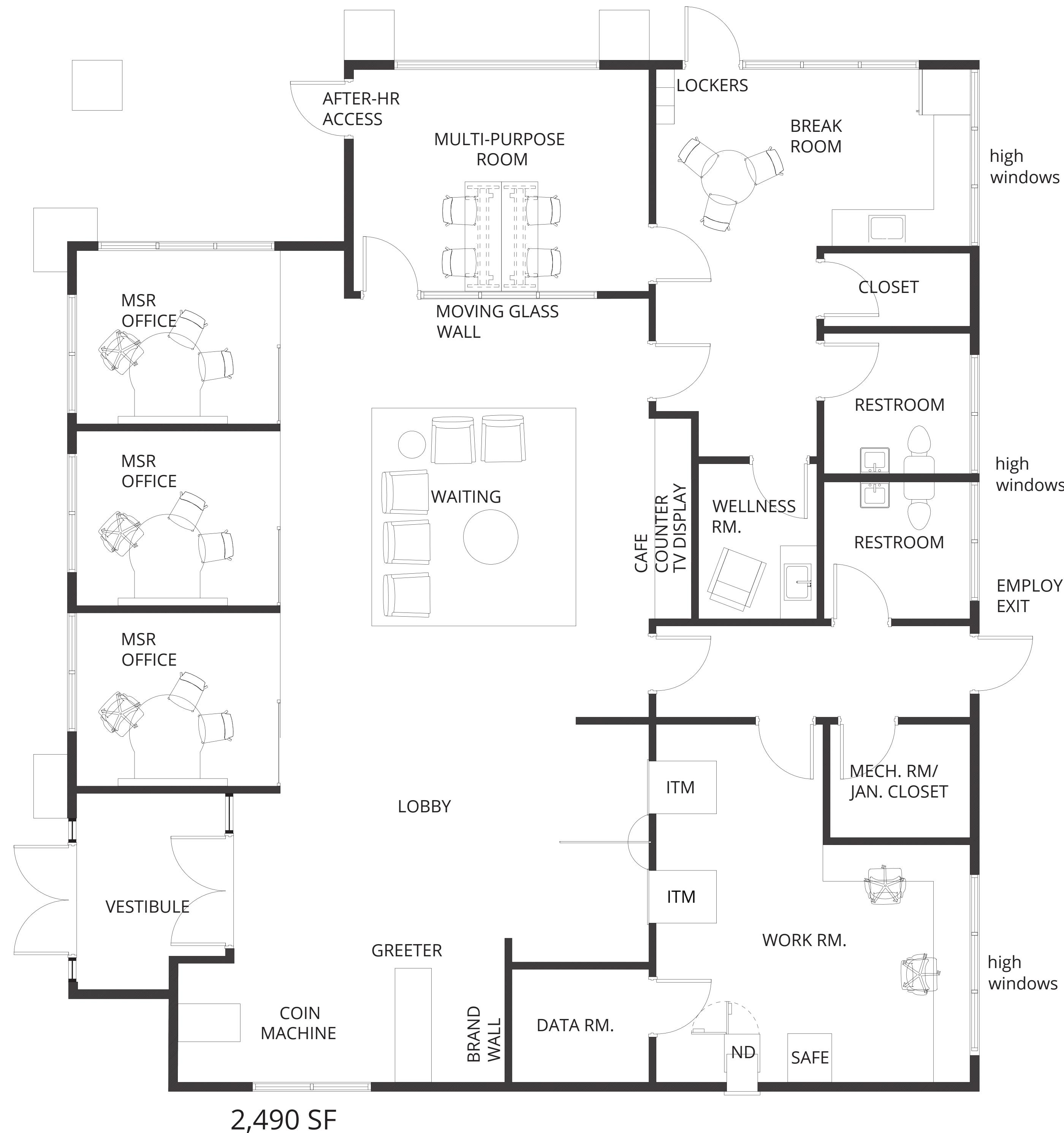
02-16-2023

DATE

STAMP:		
	FIELD	DRAFT
	TB	NR
IBI NO.:	141829	
DATE:	February, 2023	
SCALE:	1"=20'	
PRINT DATE:		

SHEET NO.: 1 / 1

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Concept Floor Plan

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Concept Rendering

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



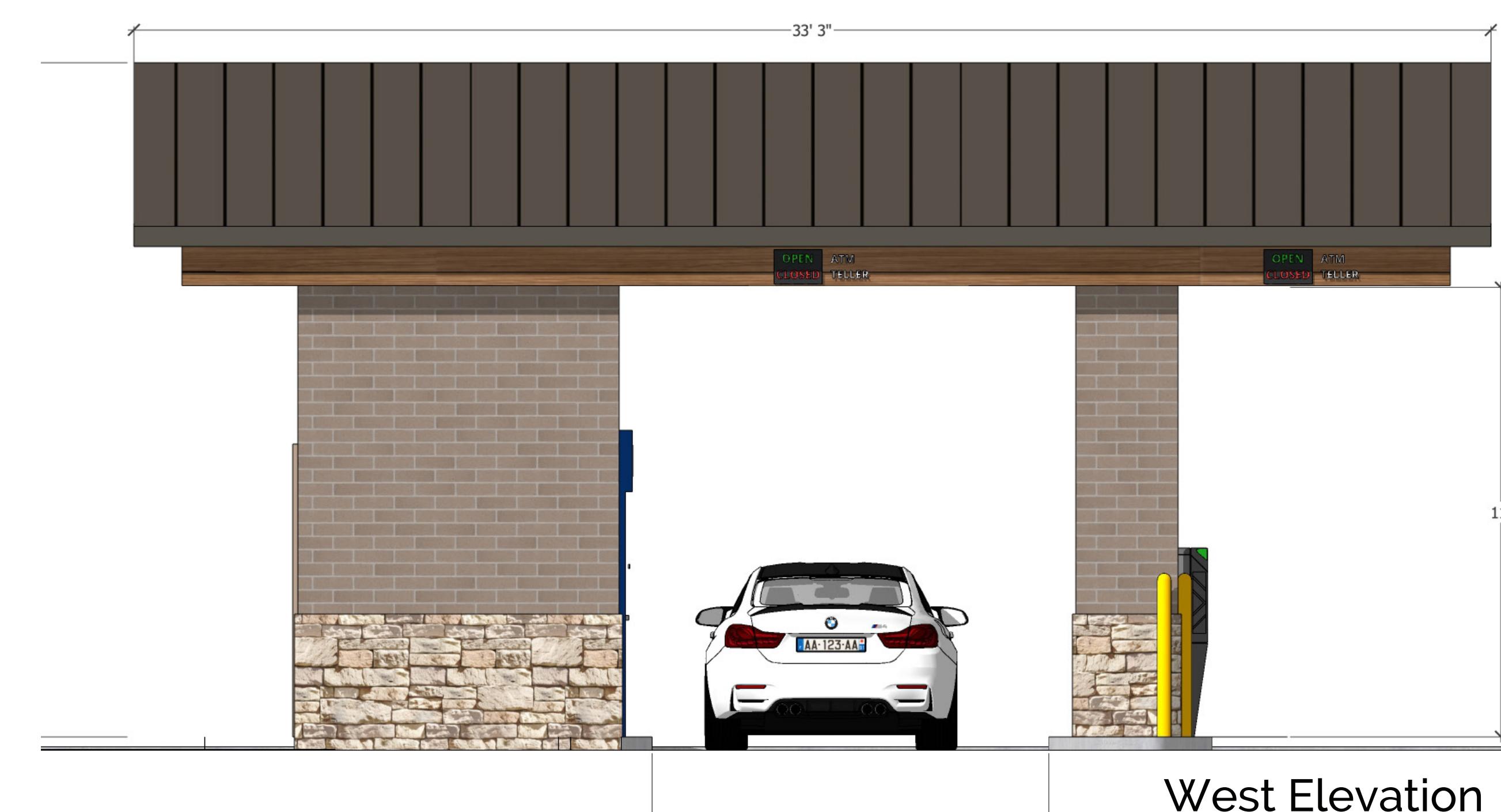
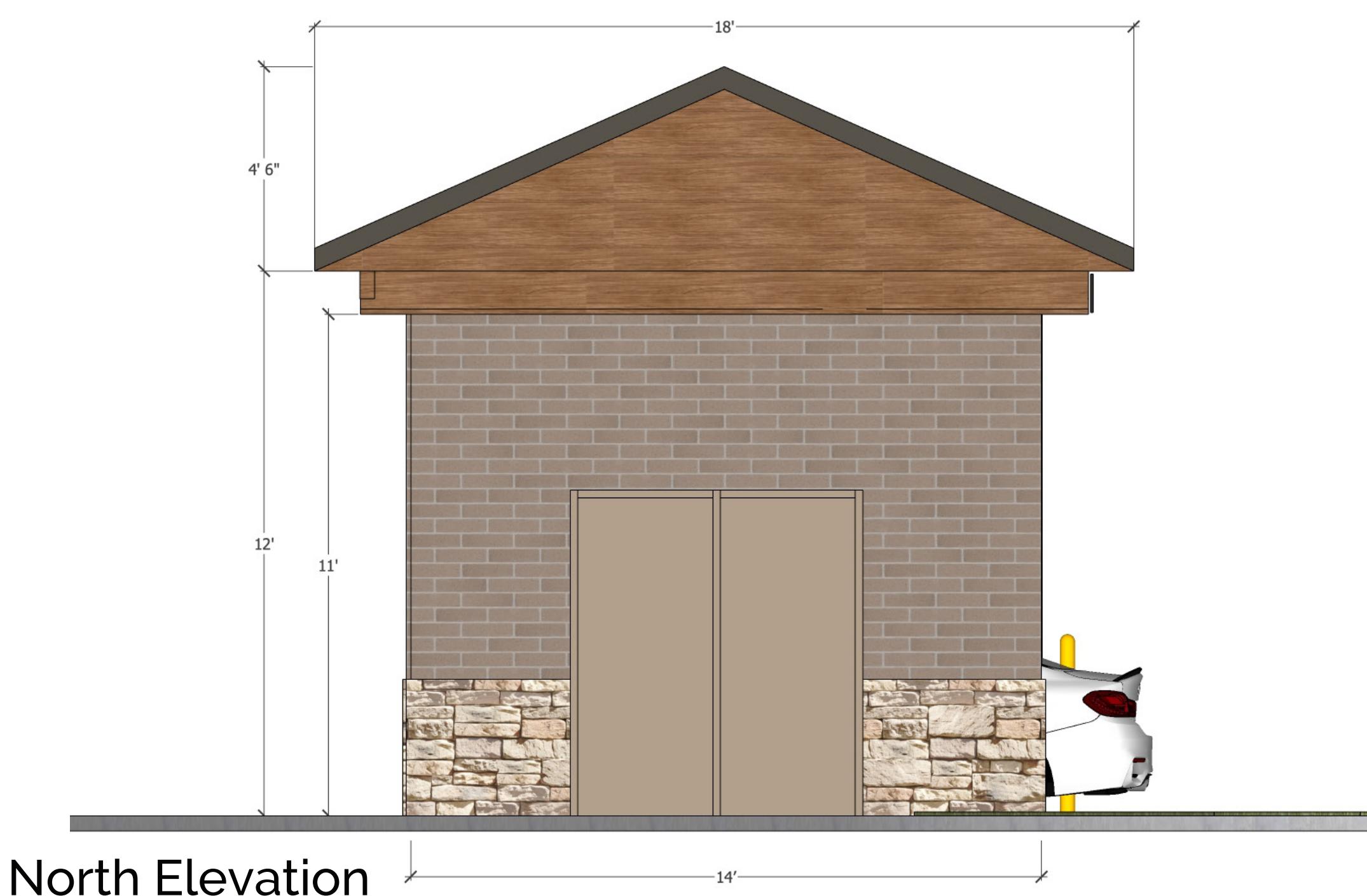
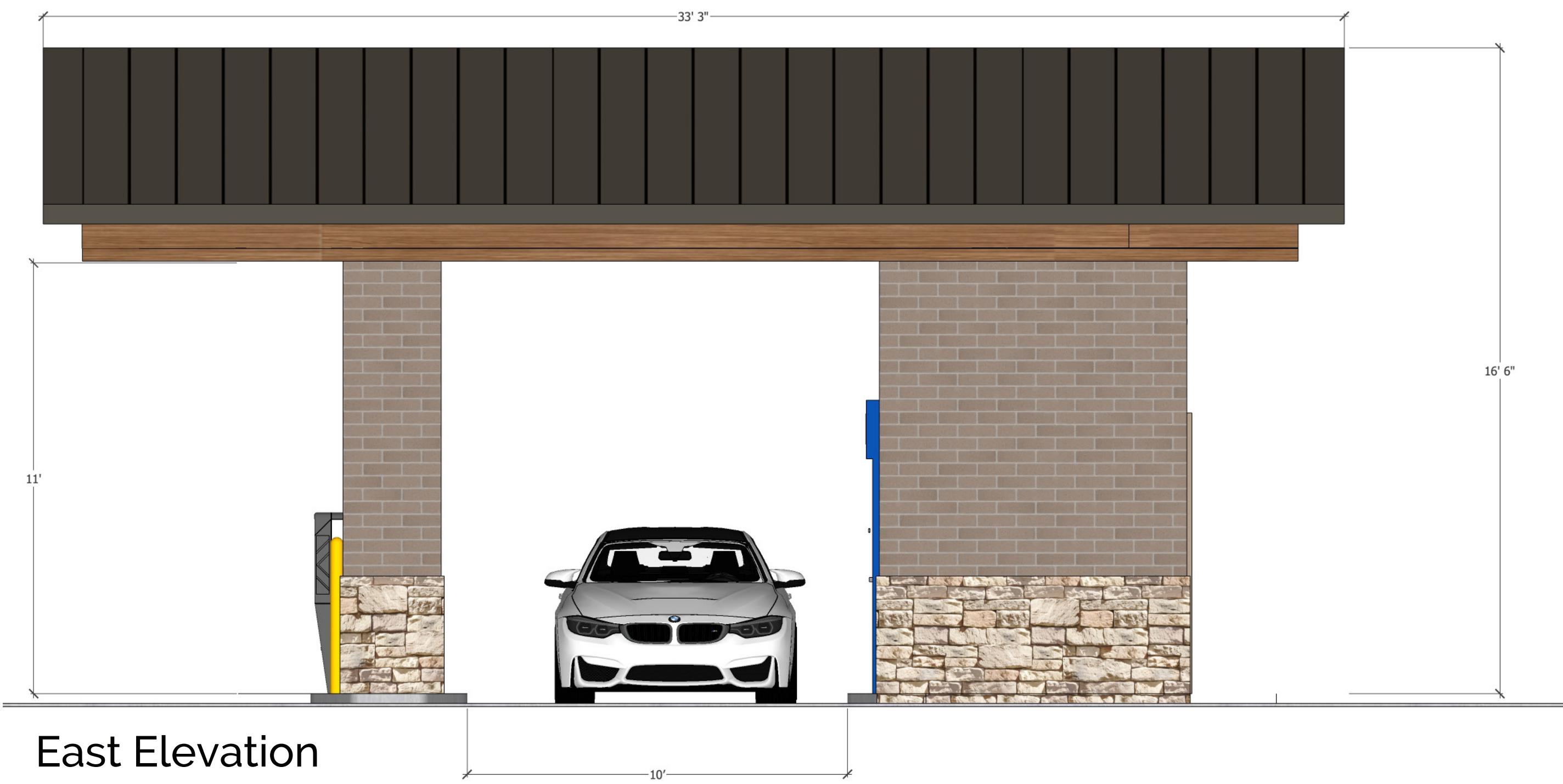
Concept Elevations

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Concept Elevations

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



Drive Thru Canopy Elevations

CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS

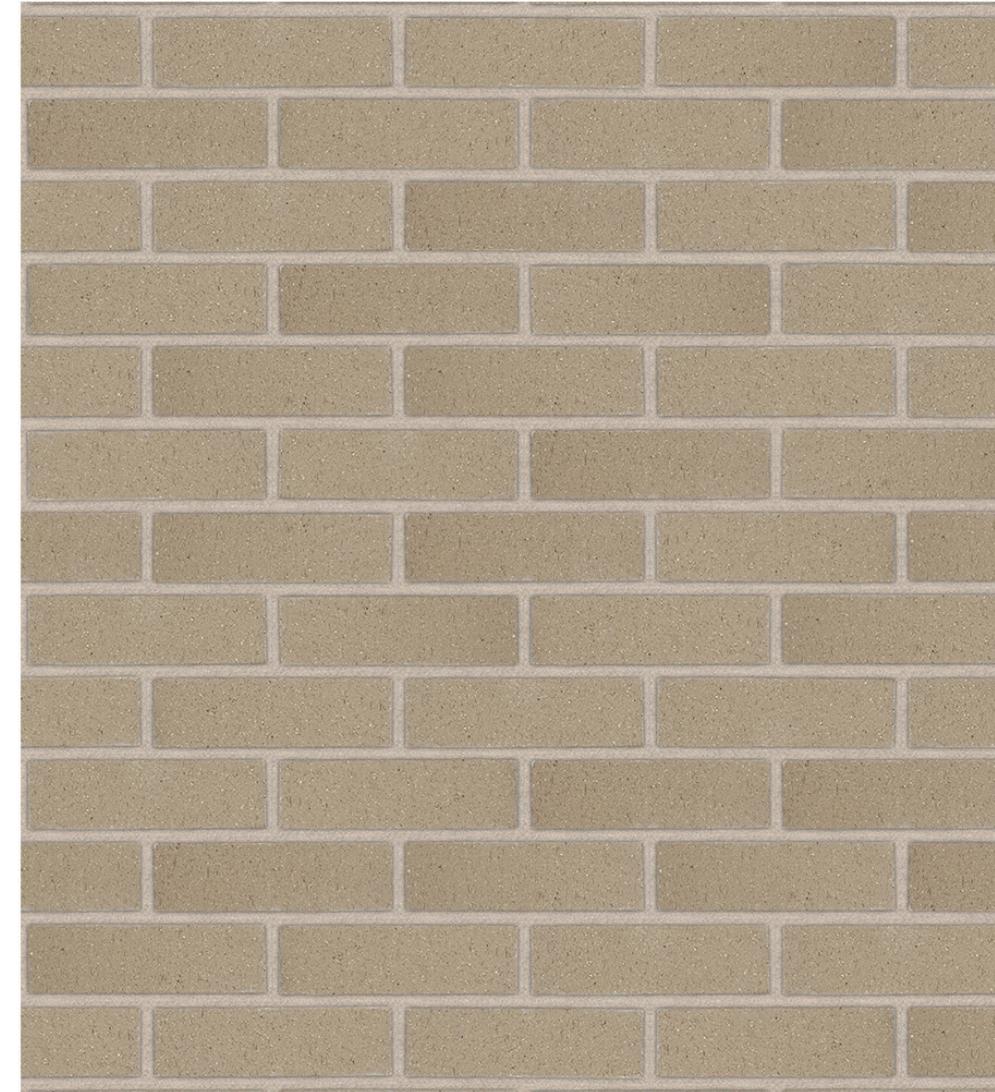


Exterior Perspective Renderings

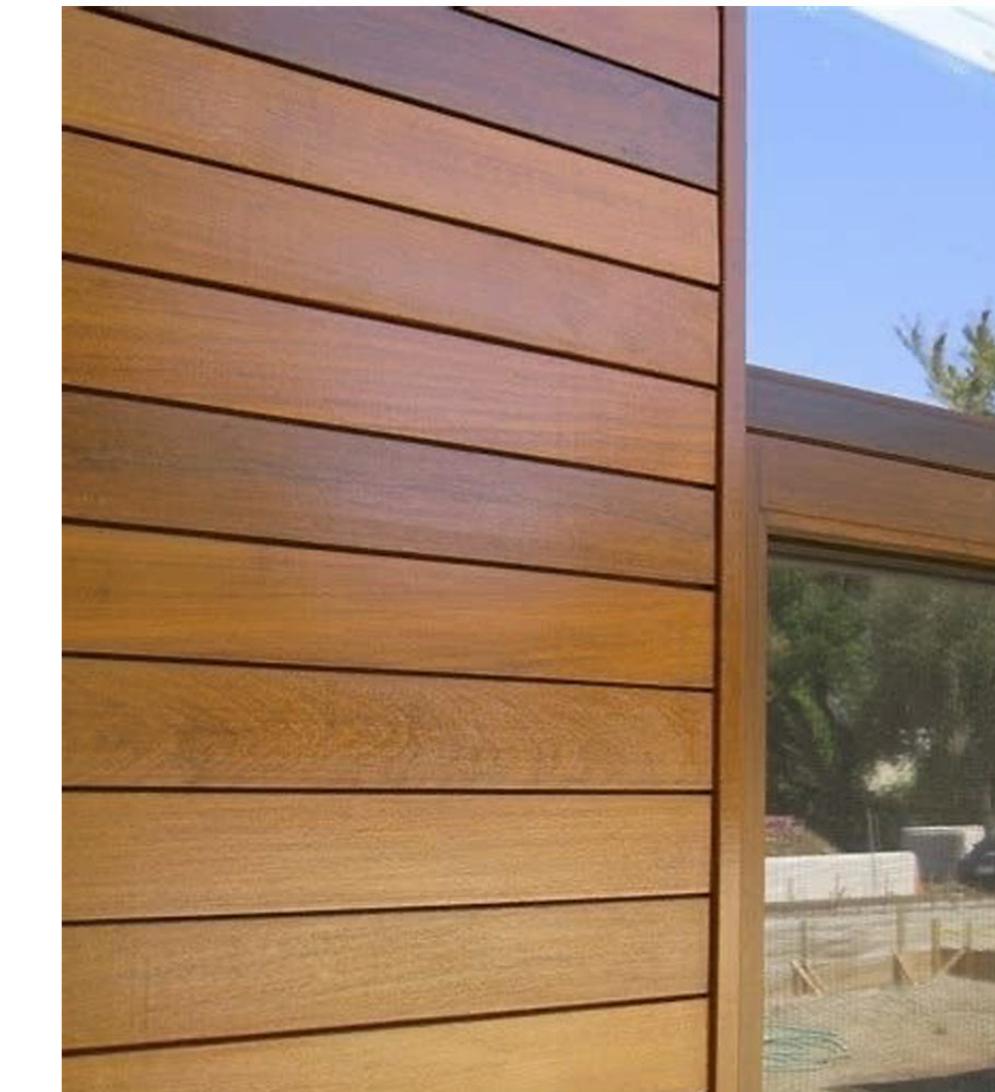
CLIENT: RIVER VALLEY CREDIT UNION
PROJECT: SPRINGBORO, OH
TITLE: CONCEPT DRAWINGS



STONE
MANUFACTURER: DUTCH QUALITY STONE
COLOR: FALLBROOK



BRICK
MANUFACTURER: GLEN GERY
COLOR: PEARL RIVER



HIGH-GRADE ALUMINUM PANELS
MANUFACTURER: LONGBOARD ARCHITECTURAL PRODUCTS
COLOR: LIGHT NATIONAL WALNUT



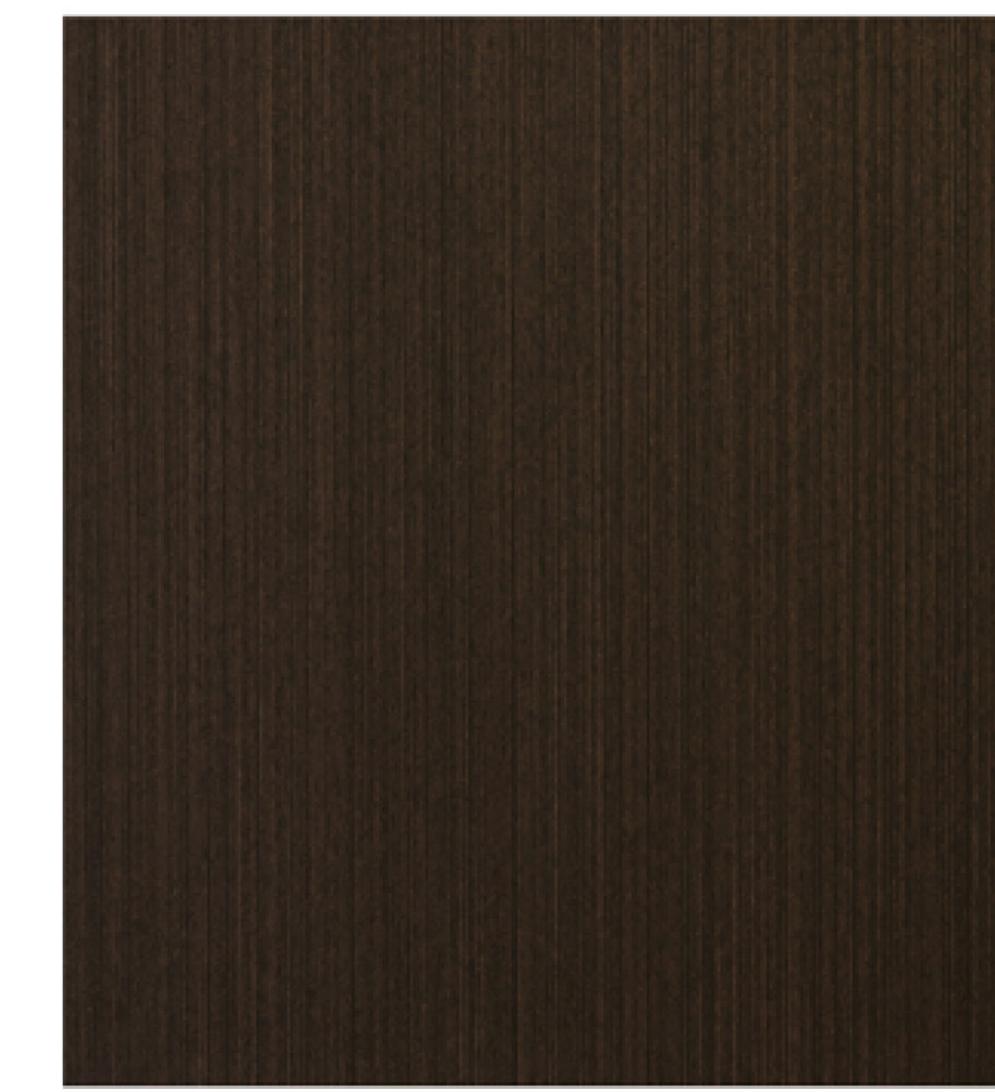
METAL CANOPY
MANUFACTURER: DYNACLAD
COLOR: CUSTOM BLUE



STOREFRONT
MANUFACTURER: KAWNEER OR TUBELITE
COLOR: CLEAR ANODIZED



CAST STONE
MANUFACTURER: ROCK CAST
COLOR: CHARLOTTE TAN



METAL SEAM ROOF & FLASHING
MANUFACTURER: DYNACLAD
COLOR: CLASSIC BRONZE



METAL CANOPY
MANUFACTURER: DYNACLAD
COLOR: DOVE GRAY

Exterior Material Board

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, February 08, 2023

I. Call to Order

Chair Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Mike Thompson, Steve Harding, Matt Leedy, and John Sillies

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director, Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary; September Bee, Planning Commission Secretary.

II. Approval of Minutes

A. January 18, 2023 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Pearson motioned to approve the January 18, 2023 Planning Commission minutes. Mr. Harding seconded the motion.

Vote: Dimmitt, yes; Harding, yes; Pearson, yes; Leedy, yes; Thompson, yes; Iverson, yes; Sillies, yes (7-0)

III. Agenda Items

A. Final Approval

Preliminary subdivision review, Wade-Wray property, Wadestone subdivision, 2515 West Factory Road, residential subdivision

B. Final Approval

Revision to Approved General Plan, Swope-Hills property, Wadestone subdivision, 465 West Factory Road, residential subdivision

Background Information

These agenda items are based on requests for preliminary reviews submitted by Grand Communities, LLC, Erlanger, Kentucky, seeking approval to accommodate the development of two adjacent sites on West Factory Road as the Wadestone subdivision. While related, the two reviews will proceed through the City's development review processes separately owing the existing zoning of each site: the 19.6-acre Wade-Wray property located at 2515 West Factory Road that is zoned R-1, Estate-Type Residential District, and the 28.7-acre Swope-Hills property located at 465 West Factory Road that is zoned PUD-R, Planned Unit

Development-Residential. Approval of both plans is required to provide secondary access to each development as required under the City's Planning and Zoning Code.

Adjacent uses include single-family residential to the north in the Royal Oaks and Spring Park subdivisions, to the east residential dwellings fronting West Factory Road and the Springboro Cemetery, the latter in Clearcreek Township, farmland and undeveloped land to the south also in Clearcreek Township, and to the west residential development fronting West Factory Road in Clearcreek Township. Zoning in the vicinity includes R-2, Low-Density Residential District to the north and east in the City of Springboro. In Clearcreek Township, R-1, Rural Resident District, to the east, SR-1, Suburban Residence District, to the south and southeast, and R-1 District to the west.

These items were reviewed on a preliminary basis at the October 12th Planning Commission meeting. At that time the applicant was advised to complete a traffic impact study to address concerns on impacts of the proposed developments on existing roadways in the area.

A traffic impact study was received by the City in December and reviewed by the City's traffic engineering consultant, Scott Knebel, PE, of Crawford, Murphy & Tilly, who agreed with the conclusion that there was no significant traffic impact on the surrounding road network and that no additional improvements, other than those included in City staff comments, were necessary.

Wade-Wray Property

This property is located at 2515 West Factory Road, southwest of the intersection of West Factory Road and West Market Street. The naming of this property is to help in the explanation of the review and approval process only; the name is derived from the current property owners. The site is currently used as a farm and includes one single-family residence on its southeast corner. The property is approximately 19.68 acres in area, and is zoned R-1, Estate-Type Residential District, a zoning district that permits development at the rate of 2 units per acre. The R-1 District requirement a minimum lot size of 20,000 square feet. The R-1 District is a conventional zoning district; no open space is required as part of this property's development, however approximately 2.18 acres of open space, 11.08 percent of the site's acreage, is proposed in the plan. The preliminary plan show on sheet C-400 is largely unchanged with respect to the plan details.

The applicant is proposing the development of 27 single-family residential lots on the property. Access would be provided from West Factory Road, with required secondary access to the east to the adjoining Swope-Hills Property. Since the property bears conventional zoning the plan's layout is being reviewed by the Planning Commission under the City's subdivisions regulations as a preliminary plan, the second stage in the subdivision review process, first on a preliminary review basis and the formal review at a subsequent meeting at the discretion of Planning Commission. There is no City Council review of the preliminary subdivision plan. Following Planning Commission's review, the development may move forward through construction plan review with City staff, and eventually record plan review—the laying out of streets, lots, and common areas—through Planning Commission and City Council.

Staff Comments—Wade-Wray Property

City staff has the following comments for this agenda item:

1. Provide home plan examples for determining compliance with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Provide this and other information as the review carries forward through the review and approval process.
2. Indicate plans for improvements to West Factory Road.

3. Provide landscaping plan for the subdivision consistent with provisions of Chapter 1280 of Planning and Zoning Code.
4. Lighting planned for individual home sites to be provided at a later stage of the development review process.
5. Streets to be built to city specifications, including 29 feet back to back of curb with 5 feet wide sidewalks and subdivision shall meet R-1 standards.
6. A 3" tee and plug (not 2" as noted on plans) shall be stubbed to each property for sump drains to tie into main line sump. Revise note accordingly.
7. Remove buildable home area footprint for lots 9 and 15 to be outside of the Floodway. Development is not permitted in the Floodway. Adjust the setbacks accordingly.
8. Dedicate the right of way along Factory Road, where applicable.
9. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to, water, sanitary, storm sewer, and detention basin design. The existing sanitary sewer (through the center of the property) shall be removed and relocated to the proposed sanitary sewer, if possible.
10. Homes that cannot be gravity drained by sewer shall not be permitted to have basements. Hung sewers are not permitted.
11. Move location of Central Mailbox Unit(s) to the south to be away from the main entrance; to be reviewed and approved by the Post Master. Possible traffic conflicts in this area.
12. 505.1, Address Identification. New and existing homes shall be provided with approved address identification. The address identification shall be legible and be placed in a position that is visible from the street or road fronting the property.
13. 505.2, Street or road signs. Street and Roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.
14. D103.1, Access roads with a hydrant. Where a fire hydrant is located on a fire apparatus road, the minimum road width shall be 26 feet.
15. 503.2.6, Bridges and elevated surfaces. Where a bridge or elevated surface is part of a fire apparatus road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17 as listed in rule 1301:7-7-80 of the Administrative Code. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges.

Swope-Hills Property

The Swope-Wade property is a 28.7-acre site located at 465 West Factory Road that has frontage on West Factory Road. The naming of this property is to help in the explanation of the review and approval process only; the name is derived from the former (Swope family) and current (Hills Development) property owners. The property is zoned PUD-R, Planned Unit Development-Residential. This zoning, dates to September 2003. A general plan was approved at that time, but was revised at the request of the property owner, Hills Development, in April 2006. Subsequently a final development plan was reviewed and approved by the Planning Commission, however that approval lapsed due to inactivity on the part of the development.

The 2006 revised plan allows for residential development of the property with up to 75 dwelling units and 40.4% open space. PUDs such as this parcel are required to include a minimum 25% open space.

Fischer/Grand Communities is proposing a minor change to the approved general plan for the property to allow 67 dwellings, and maintain 9.2 acres, or 32% of the site, as open space. Access will be provided by a road extension including a bridge to West Factory Road south of the intersection with Catalpa Drive, and a

second entrance to the Wade-Wray property to the west. A stub street is also proposed to the south into land located in Clearcreek Township.

The proposed changes to the Swope-Hills property constitute a minor change to the approved general plan; review and approval by Planning Commission only is required. Together with rezoning, general plan review and approval is the first step in the PUD approval process. The second stage, final development plan review and approval by Planning Commission, provides more detail on the subdivision's (or a portion of it if it develops in sections) plans including street design, utilities, home designs, and more. The final stage, record plan review and approval by Planning Commission and City Council allows for the creation of lots, and the dedication of right-of-way and common space as was described for the Wade-Wray property.

The proposed general plan shown on sheet C-400 is largely unchanged from the October 12th submittal with respect to the plan details.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject properties the week prior to the October 12th Planning Commission meeting. As stated at the October 12th meeting, no follow-up letter were distributed.

As these agenda items remain under preliminary review, the Planning Commission will need to authorize placement of these items on a future agenda for formal approval.

Staff Comments—Swope-Hills Property

City staff has the following comments for this agenda item:

1. Provide home plan examples for determining compliance with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Provide this and other information as the review carries forward through the review and approval process.
2. Indicate plans for improvements to West Factory Road.
3. Provide landscaping plan for the subdivision consistent with provisions of Chapter 1280 of Planning and Zoning Code.
4. Streets to be built to city specifications, including 29 feet back to back of curb with 5 feet wide sidewalks.
5. Provide minimum dwelling unit square footage for both house product types. Provide the product type details.
6. Lighting planned for individual home sites to be provided at final development plan stage of development.
7. A 3" tee and plug (not 2" as noted on plans) shall be stubbed to each property for sump drains to tie into main line sump. Revise note accordingly.
8. Homes that cannot be gravity drained by sewer shall not be permitted to have basements. Hung sewers and grinder pumps are not permitted. Remove buildable home area footprint for lot 103 to be outside of the Floodway. Development is not permitted in the Floodway. Adjust the setbacks accordingly. Adjust lot lines for lots 70 to 73 to make the rear yards for lot 72 & 73 standard 25 foot rear setback lots.
9. Dedicate the right of way along Factory Road, where applicable.
10. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to, water, sanitary, storm sewer, detention basin, and bridge design.
11. Move location of Central Mailbox Unit to the southwest, adjacent to lot 51, to be outside of the floodway/floodplain, and to be farther way from the main entrance; needs approval of post master.

12. 505.1, Address Identification. New and existing homes shall be provided with approved address identification. The address identification shall be legible and be placed in a position that is visible from the street or road fronting the property.
13. 505.2, Street or road signs. Street and Roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.
14. D103.1, Access roads with a hydrant. Where a fire hydrant is located on a fire apparatus road, the minimum road width shall be 26 feet.
15. 503.2.6, Bridges and elevated surfaces. Where a bridge or elevated surface is part of a fire apparatus road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17 as listed in rule 1301:7-7-80 of the Administrative Code. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges.

Discussion:

The following representatives from Fischer Homes were present to discuss their application: Robert Hayes, Jennifer Gonzales, and Sam Reese. Also in attendance was Ed Roth with IBI.

Ms. Iverson called for the applicants for the final approvals of the Wadestone subdivision, to please come to the podium.

Robert Hayes from Fischer Homes, Erlanger, Kentucky introduced himself.

Ms. Iverson asked Mr. Boron for summation of the final approval.

Mr. Boron stated that this item was reviewed at the Planning Commission meeting on January 18th. It was previously reviewed back in September 2022. These are two separate but adjoining and interrelated subdivisions, residential subdivisions of the south side of West Factory Road.

He stated that the Wade-Wray property located at 2515 West Factory Road involves development under current zoning and the subdivision regulations, as the property is zoned currently R-1, Low-Density Residential District, there was no request for that zoning to change, so all the proposed lots meet the design and development standards in the conventional zoning that is found there, R-1 District, which allows two units per acre. Most of the development to the north and also the proposed development to the east as part of this were all developed at a density of four units an acre.

He continued that the second property, the Swope-Hills property was subject to a PUD that was approved back in 2003, and amended over time, ultimately to the current development standard of allowing the same development density and the same characteristics as what is proposed today. However, it is a PUD, so it is going through that review and approval process. This is a request for revision to the approved general plan which dates back for quite some time; actually over a decade. The properties are interrelated though because of the requirement of having multiple entrance points to any subdivision greater than 19 lots.

He commented that he and Mr. Dudas have reviewed with the applicants. Mr. Boron feels that the applicants feel that the comments are things they can comply with. Many of the comments are advisory, to be addressed at later stages of the development review process, construction plan review with respect to the Wade-Wray property and through second phase, final development plan of the Swope Hills property.

Ms. Iverson asked Mr. Hayes if there were any comments that the applicants need clarification on at this time.

Mr. Hayes replied that they do not need clarification at this time.

Mr. Harding asking for clarification of the bridge section of these properties.

Mr. Boron commented on the lot requirement that in our code, under subdivision regulations, it is stated that the 19th lot or greater requires two entrance points. This is why these properties are interrelated. This goes back to when Hills Properties brought these two projects in. As for the bridge itself it would be subject to structural and flood plain review by the Engineering Department.

Mr. Harding asked if the bridge had to be in place before the developers could start platting.

Mr. Boron replied that when the bridge has to be in place before they can plat the 20th lot on either subdivision.

Mr. Thompson asked if there was a problem with the construction of the bridge.

Mr. Boron stated not to his knowledge there are no problems but deferred to the applicants and Engineering Department.

Mr. Hayes replied that to his knowledge, there is no problem at this time for the construction of the bridge.

Mr. Harding stated that when they were considering this project many years ago the properties were not interrelated and there was a problem with the bridge at that time which caused all the delays.

Ms. Iverson stated that this was correct.

Mr. Pearson asked if there is a bridge now.

Mr. Harding stated that there is but would not recommend walking across it, that it is the old entrance.

Ms. Iverson asked if there were any other Planning Commission questions.

Mr. Sillies asked that if these agenda items are approved tonight, what would be the timing of the project moving forward.

Mr. Hayes replied that it is their intention to have home sites on the ground by the end of 2023 or early 2024.

Ms. Iverson asked Mr. Boron if when they vote, could the agenda items be combined?

Mr. Boron answered that they would need to be separate.

Mr. Harding asked if they would be approving the second item subject to the other property being approved.

Mr. Boron referred to comment number 1 in each agenda item, which ties both properties together.

Ms. Iverson addressed Mr. Hayes, if no further questions or comments from him, then they would ask for guest comments at this time.

Mr. Hayes thanked Ms. Iverson and the Planning Commission.

Ms. Iverson asked if there were guests in the audience that wish to be heard, to please come up to the podium and state their name and address for the record.

William Cook, 2715 Factory Road, stated that he had just heard of these developments about a month and a half ago. His neighbor told him that the applicants were going to buy the three houses next to Mr. Cook to put in an access road to put into these plats because of the requirement for two access roads. His neighbor said that he had not sold his house yet, but that he had been in contact with Fischer Homes to buy three houses (referred to map of site plan) and put an access road in.

Mr. Cook referred to the site display to explain which properties he was talking about. He said that the Clearcreek County Commissioner (Trustee) that he spoke with told him that they wanted the property to put in a walking trail behind those properties. Mr. Cook stated that he bought his house on this road because it's nice and quiet and does not want a road there and does not want an access walking path going right down his property. He wants to know if they are actually going to put a walking path behind his house or even an access road.

Mr. Boron stated that for the record, that area is in Clearcreek Township; the City has asked Fischer Homes to investigate the notion of providing an access easement between the subdivision and the north/south portion of West Factory Road. This is in light of concerns that the City may have in the future, for an off-road trail that has been proposed to connect E Milo Beck Park to Community Park to the north, so there is a long-range plan to develop an off-road trail along that road up to the vicinity of Victory Wholesale. This proposal, which includes an easement in the subdivision is in the event that the City has any issues with obtaining right of way along that other portion of West Factory Road, which is in Franklin Township. This is a "what if" scenario which the City is currently not planning on implementing. The City is planning to construct an off-road trail between E Milo Beck Park and the Township/City line, just south of the Mockabee property. This trail is proposed for construction is 2026.

Mr. Cook asked if we are putting a walking trail behind his property.

Boron replied no, that it would be further to the south and on the opposite side of the road.

Mr. Cook questioned why the City would put a trail there since there are no sidewalks.

Mr. Boron answered that that is why the City is putting in the trail to provide a multi-use trail connecting the two parks.

Ms. Iverson asked Mr. Boron to indicate on the map to the Planning Commission where the off-road trail would be located.

Mr. Boron deferred to Mr. Dudas who indicated the location on the provided map.

Mr. Cook asked where the trail would be; if it was going along the road.

Mr. Boron replied that it will run along the west side of the road.

Mr. Dudas added that it has not been designed yet but it will be off the road, somewhere along the west side along the tree area.

Mr. Cook asked what if that would include his property.

Mr. Boron said that Mr. Cook lives on the east side of West Factory Road in Clearcreek Township; the property that is being proposed for west side of Factory Road. Mr. Boron said that the trail has not been designed, it has only been looked at it from a feasibility standpoint; there is no proposal at this point in time to construct the trail.

Mr. Cook asked if anyone knows about this trail.

Mr. Boron replied that the Bicycle & Pedestrian Master Plan was adopted by City Council in 2020. The adoption of the Master Plan included public meetings and inviting all the public to the meetings to understand what the City's long range plans are.

Mr. Sillies asked if letters went out last year regarding this subdivision.

Mr. Boron replied that letters went out to all property owners within 300 feet of the project.

Mr. Leedy stated that those letters were sent out with regards to the subdivision, not the walking trail.

Mr. Cook wanted to clarify the walking trail or access road would not be going to follow along the east side of the road.

Mr. Boron stated that there were no active plans for that to happen.

Mr. Dudas explained the path of the trail and the backup plan location.

Ms. Iverson reiterated that this is only a "What if" scenario.

Mr. Boron confirmed it is a "What if" scenario only.

Mr. Boron stated that it was his understanding that Mr. Cook has spoken with Jeff Palmer, Clearcreek Township Planner, and offered to speak with Mr. Cook during normal business hours or some other time that would be convenient for Mr. Cook with regards to the long-range plans for this trail.

Ms. Iverson asked for further comments.

Sarah Cook, West 2715 Factory Road, stated that she was confused because she doesn't understand why their neighbors would tell them Fischer Homes had approached them about buying their property.

Ms. Iverson said that she was not familiar with the properties Ms. Cook is referring to.

Mr. Boron stated that he was not familiar with this either and said that Ms. Cook would have to ask Fischer Homes about this issue.

Ms. Iverson noted that representatives from Fischer Homes were in the audience and asked if they would care to address this purchase at the current time.

Robert Hayes stated that the property owners at 2729 West Factory Road, to his knowledge, have not been approached by Fischer Homes about purchasing their property.

Jennifer Gonzales of Fischer Homes confirmed that they have not approached this property owner for purchase of their property.

Mr. Cook was adamant that his neighbor is in negotiations for their property with Fischer Homes.

Ms. Iverson stated that the sale of private property by a developer would not be up for review with the Planning Commission.

Ms. Cook stated that she does not believe Fischer Homes is telling the truth.

Mr. Cook added that what worries him is that on SR 741, the Standifers were told the same thing, that there was just going to be a walking trail to connect to the sidewalks when actually there is an access road there now and it is 5 feet on their property.

Ms. Iverson stated that was in the Clearcreek Township and the City of Springboro does not control that road. She stated that she understood, but again, purchase of property by a developer is not something the Planning Commission controls.

Ms. Cook asked what if they don't want the walking trail behind their house. She stated nobody asked either she or her husband if they wanted a trail there.

Ms. Iverson then referred to the 2020 Bicycle & Pedestrian Master Plan for the City and they had citizen input and it was adopted.

Ms. Cook said they just found out about this and feels she is getting conflicting stories.

Mr. Boron stated that besides hearing about this issue from the Clearcreek Township Planner, this is the first time he's heard anything about the purchase of their neighbor's properties. The City has discussed with Fischer Homes the notion of having an alternative route to connect to the west on this route but nothing came out of that other than the easement on this property which is in the City of Springboro. The remainder of the property is in Clearcreek Township and the City would have to go to the Clearcreek Township trustees to have that discussion and to his knowledge, nothing has taken place.

Ms. Cook then stated that her other concern is where are all the children going to go to school. She said she works at the school system and a lot of the schools are already busting at the seams.

Ms. Iverson explained that the City of Springboro does not control the school system; the School Board controls the schools and their job is to look at growth and to plan for what's needed for the future. Everyone works together, but the Planning Commission does not have control over what the schools do. The Planning Commission cannot deny a property developer when they are following the code.

Mr. Harding stated that right now, that property is R-1 District, so the developer can already put houses there. It's already zoned for residential and they are not asking for rezoning. The other property was rezoned about ten years ago.

Ms. Cook stated that another concern of theirs is that West Factory Road is like a drag strip; she said that people go down their road at 80 mph. She has called the police and is just waiting for someone to go off the road. She asked if there was any concern about that for people who live on Factory.

Mr. Dixon explained that traffic study surveys do not involve speed, but are based on the volume of traffic. Speed is a law enforcement issue. The neighborhood itself had planned ten years ago, at the first rezoning and now this one, the amount of cars is not adding significantly to the volume of traffic to the road. He stated that it probably did not qualify for a traffic study to be warranted. In the City's case, we require one anyway just to get the numbers and he believes that the peak hour average may be an extra 60 cars at the peak hour.

Ms. Cook stated that she lives on that road and she does not believe Mr. Dixon's figures. She said that when cars come around the curve, people drop the hammer.

Mr. Dixon told Ms. Cook that this is again, a police enforcement issue.

Ms. Iverson said that Mr. and Ms. Cook's comments are on the record and that she is a citizen here too and everyone is concerned about the speed and some of the issues that they are expressing are due to multiple municipalities in a very small area, so that can get a little tricky.

Ms. Cook stated that she does not like being blindsided. She said they were blindsided by this whole proposed development.

Ms. Iverson told her that she understood. This issue was voted on over ten years ago.

Ms. Cook stated that they just bought their house three years ago and they were not aware that this had been proposed.

Ms. Iverson thanked Ms. Cook and asked for further comments from any other guests. She stated that there would be guest comments again after the third agenda item, but at this time, if no further comments from Planning Commission or staff, she needs to call for the vote for the Final Approval, preliminary subdivision review, Wade-Wray property, Wadestone subdivision, 2515 West Factory Road, residential subdivision. Ms. Iverson asked for discussion.

There was none.

Ms. Iverson called for roll call.

Mr. Thompson motioned to approve. Mr. Sillies seconded the motion.

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Ms. Iverson said that motion is carried.

Ms. Iverson called for a motion for the Final Approval, revision to the approved general plan, Swope-Hills property, Wadestone subdivision, 465 West Factory Road, residential subdivision.

Mr. Pearson motioned to approve. Mr. Dimmitt seconded the motion.

Ms. Iverson asked for discussion. There was none.

Ms. Iverson called for roll call.

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Ms. Iverson stated that the motion is carried.

Ms. Iverson asked about next steps in the development process.

Mr. Boron reviewed the next steps for both properties. There will be no City Council review until the recording of lots and the dedication of right-of-way and common areas.

Mr. Harding asked that this is coming back to Planning Commission.

Mr. Boron said that yes, final development plan review for the Hills-Swope property, and record plan review for the Wade-Wray property prior to Council action.

Ms. Iverson stated that Planning Commission is going to move to the next item and said that no votes would be taken this evening. Planning Commission then moved down the review table. Ms. Iverson called for the applicants to join them at the review table.

C. Preliminary Review

Rezoning, R-2, Low Density Residential District, to CBD, Central Business District, M-2, Heavy Manufacturing District, to CBD, R-2 District to M-2 District, and CBD to M-2 District, vicinity of east termini of East Market Street and East State Street

Background Information

This agenda item is based on a request filed on behalf of High Concrete Technology, LLC, (hereafter High Concrete) to rezone a number of properties located on or in the vicinity of the east termini of East Market Street and East State Street. The rezoning proposal, which is itemized below, is to accommodate the sale of property to Springboro Evangelical Church for use of a vacant office, located at 105 East State Street, and formerly used by High Concrete, and High Concrete's training and meeting space located at 145 East Market Street. The building/property at 145 East Mill Street were rezoned to B-3, Central Business District, in 2006 to accommodate the use of the building/property by High Concrete as a training center and meeting room. In 2015 that zoning was changed to CBD as part of the large scale text revision to the Planning and Zoning Code and Official Zoning Map.

The rezoning also allows for the rezoning of property on the bottom of the hillside that that separates the Historic District and East Street from High Concrete's main operation. That zoning is consistent with the current use of the site.

The proposed rezoning involves the following items as documented in the submitted materials:

- Rezone survey parcel A, 0.0836 acres in area, from R-2, Low-Density Residential District, to CBD, Central Business District. This property is vacant.

- Rezone survey parcel B, 0.333 acres in area, from R-2 District to M-2, Heavy Manufacturing District. The property was formerly the site of a home but is presently the site of a detention pond.
- Rezone survey parcel D, 0.1426 acres in area, from CBD to M-2 District. This property includes a portion of the detention pond.
- Rezone survey parcel G, 0.1248 acres in area, from CBD to M-2 District. This property is vacant.
- Rezone survey parcel H, 0.1813 acres in area, from M-2 District to CBD. This property includes a home that was converted into an office for High Concrete but is now vacant.

The building located at 145 East Market Street was originally constructed as an Orthodox Quaker meeting house, and was later used as a creamery, school, and more recently church, then training center and meeting room for High Concrete. While the building is historic it is not a protected property under the terms of the City of Springboro Historic Preservation Code. The historic district's east boundary ends at the alley that defines the property's west edge. A cemetery tied to the Orthodox Quaker congregation is located to the east of the building.

Adjacent land uses include residential to the north and west on properties fronting East Market Street and East Street. Lands to the east and south are used for manufacturing and are part of the main High Concrete facility. Adjacent zoning includes R-2 District to the west and north, and M-2 District to the east and south with the exception of a small parcel, zoned R-2 District, immediately to the east of 145 East Market Street.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics.

Policy Area 13, Historic Code, includes the subject area. The policy area recommends a mix of uses to ensure a lively interactive district including residential, service, and retail.

This item is being reviewed on a preliminary basis at the January 18th Planning Commission meeting at which time the Planning Commission may authorize this item to be placed on a future Planning Commission regular meeting agenda for formal approval.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property earlier this week. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments on this agenda item:

1. Indicate plans for the use of the properties to be rezoned to CBD. Also indicate plans for the existing buildings located at 105 East State Street and 145 East Market Street, as well as the Quaker cemetery located to the east of the building at 145 East Market Street.
2. Indicate plans for the use of the properties to be rezoned to M-2.

Discussion:

The following representatives from High Concrete were present to discuss their application: John J. Seroky, President of High Concrete, and Luis G. Riancho, surveyor.

Mr. Boron deferred to High Concrete and their team about the specifics of the re-platting of this property. He stated that his understanding of this agenda item is that High Concrete was approached by a church to purchase what has now been used as a training and education facility conference room. This building was an old church, built around 1830. The property was rezoned to allow the training/conference use when High Concrete purchased the church property and he had Planning Commission refer to an exhibit that shows the existing zoning.

Mr. Riancho pointed out the existing zoning to Planning Commission on his plans, clarifying that everything on the west side of the subject property will be CBD as proposed and most of the east side at the bottom of the hill is going to be M-2 District like the rest of the High Concrete facility.

Mr. Pearson asked if everything south is M-2 District.

Mr. Boron said that yes, everything east and south.

Mr. Boron said the property was zoned to what is now CBD when High Concrete purchased it to allow the use for High Concrete's training facility. Previously it was zoned R-2 District, which did not permit the use. Then it changed to CBD which is the zoning that you see on South Main Street primarily.

Mr. Seroky explained that his company has been trying for years to figure out how to use this property so that it best fits into the neighborhood without causing a disturbance for residents. Nothing seemed to fit, and it is now coincidental that they have someone interested in the property. There is no pending purchase and sale agreement, and through several conversations, the interested party disclosed they would like to use it as a church. If the rezoning is not approved as CBD, would High Concrete still be allowed to use the space as it currently is being used, which is office and meeting space.

Mr. Pearson asked if High Concrete owns all the parcels in question.

Mr. Seroky confirmed that they are all owned by High Concrete.

Mr. Pearson asked the reason these parcels are so choppy due to history?

Mr. Riancho confirmed that that is the case.

Mr. Boron added it is the residual effect of development over time, plus there is frontage on two streets.

Mr. Boron replied to Mr. Seroky's question of whether they could still use the building as is if it is rezoned R-2 and the answer is no, they could not use a residential building as a training or conference center, which is why it was rezoned in 2005. Mr. Boron's question is because so much of the property in the vicinity is R-2, and the church is permitted under R-2, would the church be amenable to that zoning? Typically rezoning requests are brought about by the buyer, not the seller.

Mr. Leedy asked Mr. Boron if there are any protected, historic properties on any of the parcels in question.

Mr. Boron replied no, the historic district stops at the ally. The building currently on the site dates back to around 1830 and was the old Hicksite Quaker meeting house. This building and the cemetery were not included when the district was being surveyed. It is possible it could be deemed historical in the future.

Mr. Leedy asked if the dates of 1828 – 1830 determined if that was why the building and cemetery were not included in the survey.

Mr. Boron stated that this was the period when the Quaker meeting house split off into two branches, Hicksite and Orthodox.

Mr. Dimmit said that currently the church property is zoned CBD, which allows it to be used as a church. Is that CBD being rezoned?

Mr. Harding replied that no, it was staying as CBD.

Ms. Iverson asked what the next steps would need to be.

Mr. Boron replied that the next step would be to bring this back to the Planning Commission, if that is acceptable, for final approval.

Mr. Thompson asked if the cemetery has any protection of any sort.

Mr. Boron replied that it does not, at least by the City under the Historic Preservation Code. It would be protected under state regulations provide. Mr. Boron confirmed the cemetery is owned by High Concrete.

Ms. Iverson asked if anyone on the Planning Commission had any questions.

Mr. Pearson stated that the building did not appear dilapidated and asked Mr. Seroky if they still utilize the building.

Mr. Seroky stated they are not using it as offices currently, but with some work and a new roof, it could be used.

Mr. Boron commented that it appears Russ Hess' letter which was submitted to the Planning Commission at this meeting is referring to the building at the end of East State Street, not the meeting/conference space, however he is correct, the meeting/conference property is historic and it has been used for multiple applications, but primarily as a church, with the past fifteen years being used as a conference center.

Mr. Pearson asked if the building has any historic designation.

Mr. Boron replied that it does not and that is not uncommon in the City of Springboro. Mr. Boron gave a brief history of how the historic district and outlying designated historical properties came to be created. A comment that Mr. Boron thinks the Planning Commission would support is would the applicants accept a study to determine if this property needs to be added to the historic district. That would involve doing an inventory and looking up the history to determine its significance. In turn, this could help the buyer because of potential incentives of grants and other benefits. They would also be subject to review by the Architectural Review Board if any exterior changes are proposed to the building.

Mr. Pearson stated that this question of historical designation is not what the meeting is about tonight, it's only about zoning.

Mr. Dimmitt asked if that step of would add any cost to High Concrete. Would they have to foot the bill for any of the historical designation activities?

Mr. Boron said that if the Planning Commission and the City decided that if it was worth doing the buyer would have to take that cost on.

Ms. Iverson asked if everyone had their questions answered.

Mr. Boron said that he had spoken with Mr. Pozzuto; he is supportive of possibly following up on historic designation for this property. That would entail some work and Mr. Boron said he would be happy to work with the seller.

Mr. Seroky said that when they submitted their application for this rezoning, it was without the premise that they would actually be selling the property. It may or may not still happen.

Ms. Iverson asked realistically, how soon would this item come before the Planning Commission again for approval.

Mr. Seroky replied that they were ready.

Ms. Iverson thanked Mr. Seroky and Mr. Riancho for coming and that possibly Planning Commission could be seeing them again very soon. The next meeting is March 8th and the submittal deadline is February 17th.

Mr. Riancho added that the cemetery would remain on a separate property.

Ms. Iverson called for guest comments again, specifically from Ms. Bray.

Ms. Bray asked what will happen to the cemetery.

Mr. Riancho stated that the cemetery was part of the package.

Mr. Harding said that he was sure the State of Ohio would have to be contacted before they could disturb a cemetery.

IV. Planning Commission and Staff Comments

Ms. Iverson asked for any final Staff Comments before they adjourn.

Mr. Boron said that the rezoning of the property at the southwest corner of East Central Avenue and Red Lion-Five Points Road will be the subject of a public hearing at City Council on March 2nd. This is the Maronda Homes project approved by the Planning Commission in January.

Ms. Iverson asked for further questions. There were none.

VI. Adjournment

*Mr. Harding motioned to adjourn the February 08, 2023 Planning Commission Meeting at 6:51 pm
Mr. Pearson seconded the motion.*

Vote: Sillies, yes; Pearson, yes; Iverson, Yes; Thompson, yes; Leedy, yes; Dimmitt, yes; Harding, yes (7-0)

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planning Consultant

Ann Burns, Planning Commission Secretary