Agenda
City of Springboro Planning Commission Meeting
Wednesday, October 11, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

I. Call to Order

II. Approval of Minutes

A. September 13, 2023 Planning Commission Meeting

III. Agenda Items

A. Final Approval, Site Plan Review, 1345 Lytle-Five Points Road, Ravine at Settlerspoint, assisted living facility

B. Final Approval, Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

C. Final Approval, General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

IV. Guest Comments

V. Planning Commission and Staff Comments

VI. Adjournment

Background Information & Staff Comments/Recommendations
City of Springboro Planning Commission Meeting
Wednesday, October 11, 2023, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval
Site Plan Review, 1345 Lytle-Five Points Road, Ravine at Settlerspointe assisted living facility

Background Information

This agenda item is a request for site plan review approval, filed by James Alt, representing Seva Group LLC, property owner, seeking approval to construct a 32,770-square foot, 48-bed assisted living facility on property located at 1345 Lytle-Five Points Road.

This site plan was reviewed by the Planning Commission in 2021, first on a preliminary basis at the July 14 meeting, and then formally approved at the October 13 meeting. The October 2021 approval included, as is customary, a number of conditions, 23 in all. Many of those comments have been addressed this that time. Planning Commission's site plan approvals have an expiration date tied to lawful construction. While the applicant had applied for a building permit from the City, the extraordinary amount of time that has passed with no construction activity led to City staff's recommendation that this item be again now to reset the clock on the remainder of the City's development review process.

The proposed assisted living facility is proposed for construction immediately to the south of the existing BeeHive Homes facility. That facility was reviewed and approved by the Planning Commission in 2017, with construction completed in 2018. The subject property is zoned O-R, Office Residential District, a zoning designation that allows assisted living facilities as a permitted use. The O-R District places no limitations on the maximum size of buildings. The proposed site plan is consistent with all design and development standards including but not limited to setbacks, building heights, and lot coverage.

The proposed Ravine at Settlerspointe assisted living facility will use the same access drive to Lytle-Five Points Road as the existing BeeHive facility to the north. That drive terminates with a turnaround at the northwest corner of the Ravine property.

Adjacent land uses include single-family residential in Clearcreek Township to the east on East Tamarron Court and in the City of Springboro on Westchester Court, both located within the Woodland Greens subdivision. The property at the western terminus of Westchester Court, and immediately abutting the southeast corner of the subject property, is a detention pond owned by the City of Springboro. To the south is undeveloped land, to the west a retention pond serving retail development at the southeast corner of North Main Street and Lytle-Five Points Road (Keybank, Settlers Station shopping center) as well as a vacant parcel fronting Lytle-Five Points Road. To the north is the existing BeeHive facility.

Adjacent zoning includes Clearcreek Township R-1, Rural Residence District and City of Springboro R-1, Estate-Type Residential District to the east corresponding to the Woodland

Greens subdivision. To the south is O-R District, and to the west, is O-R District and LBD, Local Business District corresponding to the Settlers Station shopping center and adjacent development.

The Planning Commission's review of this site plan is to following the provisions of Section 1284.08, Site Plan Review Criteria Applicable to All Land Uses that is included here:

1284.08 Site Plan Review Criteria Applicable To All Land Uses.

The Planning Commission shall review the site plan and the reports of City staff at a meeting on a preliminary basis subject to submission of an application consistent with the deadlines established by the Director of Planning (see Figure 10 at the end of this chapter). At the preliminary review, the Planning Commission shall determine if formal review of the site plan is appropriate at its next meeting if all of the following requirements are met and/or recommend modifications thereof to the applicant or landowner if any of the following requirements are not met:

(a) The application shall be fully and accurately completed;

(b) The substance of the plan shall conform to the provisions of this chapter and any other Municipal ordinance or state or federal law, or provide an explanation of why any nonconformity should be allowed;

(c) The plan shall provide adequate parking, loading and vehicle stacking facilities, open space, and lighting systems. Permitted parking shall be separated by buildings or properly designed walkways, trees, greenspace or by other comparable techniques;

(d) The plan shall provide for adequate pedestrian and vehicular circulation within the development and adjacent public right-of-way;

(e) The plan shall access the public roadway via curb cuts shared with adjacent uses to the maximum extent feasible, consistent with sound traffic engineering standards;

(f) The plan shall provide adequate utility, waste disposal or sanitary services;

(g) The plan shall create a satisfactory and harmonious relationship between the development of the site and the existing and prospective development of contiguous land and adjacent neighborhoods;

(h) The plan shall include all dedications of easements and rights-of-way, and all public improvements, to conform to and implement municipal plans for utilities, streets and open space preservation and development;

(i) The plan shall include landscaping and screening in conformance with municipal ordinances, administrative standards or other reasonable criteria;

(j) The plan shall eliminate any existing conditions hazardous to health or safety, shall not create such conditions, and shall not create a nuisance;

(k) The plan shall include all design elements and expressly state all operational limitations recommended by the Commission which are reasonably related to the public health, safety and general welfare and which are desirable to serve the premises or minimize the adverse effects of the plan on the neighborhood or community;

(l) Walkway/bikeways fronting on public roads shall be designed and integrated with the screening and landscaping in a manner conforming to the relevant renderings provided in the City's Bicycle Pedestrian Plan; and

(m) Walkway/bikeway design, landscaping and plant material selection, and screening techniques shall not only relate to the development of the subject site but also coordinate with the existing and prospective development of adjacent sites and public facilities. (Ord. 0-15-4. Passed 2-19-15.)

Staff Recommendations

City staff recommends APPROVAL of the site plan for The Ravine at Settlerspointe located at 1345 Lytle-Five Points Road subject to compliance with the following comments:

1. Update sheet A4.0-4.1 to correct elevation labels (east to north, north to east, west to south, south to west).
2. Indicate plans for screening of dumpster facilities. Also indicate if other screening matches that of the adjacent BeeHive facility at 1325 Lytle-Five Points Road in terms of color, materials, and appearance.
3. Signage for the proposed use subject to review by the City of Springboro Zoning Inspector.
4. Submit lighting plan for review of compliance with Chapter 1273, Exterior Lighting. Site plan approved in 2021 included comments related to verification of compliance with color-temperature, light trespass, and cut-off standards, and average to minimum (4:1) and maximum to average (10:1) ratios.
5. An "As Built" drawing showing as-built location and elevations of all improvements shall be submitted prior to the issuance of an occupancy permit.
6. The Clearcreek Fire District will review plans concurrent to building code review process.

B. Final Approval, Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

C. Final Approval, General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

Background Information

These agenda items are based on a request filed by M/I Homes of Cincinnati, LLC, seeking rezoning and general plan approval for the proposed Whispering Pines subdivision, a residential subdivision on an approximately 35.62-acre site located at 1525 South Main Street (SR 73). The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. These items was reviewed on a preliminary basis at the July 12 and August 9 Planning Commission meetings at which time the Planning Commission asked the applicants to consider the comments made at the meeting and present another plan for preliminary review. This item was reviewed again at the September 13 Planning Commission meeting at which time the Planning Commission authorized this item to be placed on a future agenda for formal approval.

The applicant proposes to develop a total of 75 single-family residential units on the site. The proposed development density is 2.11 units per acre with typical lots proposed to be 8,370 square feet and an average of 9,000 square feet. Current R-1 District zoning permits two units per acre on lots no less than 20,000 square foot lots. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. A total of 13.40 acres of open space is shown, or 37.6% of the land area, a slight

reduction from the proposal reviewed on August 9th. Residential PUDs require a minimum 25% open space.

The proposed rezoning/general plan appears as two separate items on the Planning Commission work session agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's site plan review process, review and approval by Planning Commission is the second stage in the process. Final development plan may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The subject property is presently zoned R-1, Estate-Type Residential District. That classification dates to 2015 when large parts of Springboro were reclassified to R-1 District from Township or (T)R-1 District. The (T)R-1 designation was allowed to remain on properties annexed over time from lands originally in Clearcreek and Franklin Townships. The R-1 and (T)R-1 have similar development densities, however moving to R-1 District allows the City to manage its own long-range development though its own Planning and Zoning Code.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1 District to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area 16, Heatherwoode, includes the subject area and land including the Heatherwoode, Farms of Heatherwoode, and Ashton Woods subdivisions, the City's Heatherwoode Golf Course, and the Springboro Community Schools main campus. The policy area recommends residential development and redevelopment that conforms to the existing character of adjoining neighborhoods. The plan also recommends connecting neighborhoods in the area, and improving pedestrian and bicycle access.

The three residential subdivisions in the vicinity were developed at the following densities:

- Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre
- Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre
- Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre. This includes Glencoe Court and Dunnington Court. The golf course is not included in the density calculation.

Aside from school property, lands immediately abutting the property are 11.23 acres (west), and 16.65 acres (north) in area.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the July 12th meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

The basis of any recommendation of approval of PUD rezoning and general plan is Section 1266.10, Amendment of Zoning Map, General Plan Approval, of the Planning & Zoning Code, subsection (a):

(1) PUD zoning and the General Plan are in conformance with the General Development Plan for the City of Springboro, supporting plans, and related legislation as adopted by City Council.

(2) An exemption to conventional zoning is justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more faithfully and reliably implemented by the use of PUD zoning.

(3) The General Plan is compatible with the location, topographic and other characteristics of the site and will bear a beneficial relationship with surrounding land uses in terms of noise, smoke, dust, debris, or other nuisances.

(4) The general plan is carefully designed to support surrounding streets, utilities and other public improvements.

(5) The general plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses.

(6) All public streets, utilities and services necessary to carry out the General Plan are available to the site, or will be extended or improved by the developer and/or City in time to permit the development to be properly served.

(7) Exception from conventional zoning is warranted by design goals or other criteria and/or the need to provide a variety of development opportunities within the community.

(8) The design of the development protects natural assets such as streams, woodlots, steep terrain, and other critical environments in the City.

(9) Taken as a whole the development of the proposed PUD will have a positive effect on the health, safety, and general welfare of the City of Springboro.

(10) The General Plan appears capable of being implemented by a Final Development Plan which meets all requirements of this chapter.

Staff Recommendations

City staff recommends APPROVAL of the proposed rezoning of 1525 South Main Street from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential with the comments below.

City staff recommends APPROVAL of the proposed general plan for 1525 South Main Street with the following comments.

1. Home plans to comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. Proposed volume of vinyl siding on sample homes included in submittal is high. Applicant to propose exterior minimum percentage of brick, stone, cement board, and other materials for use in the subdivision.
3. Provide a minimum 50% ranch-type home product as part of proposed general plan.
4. Reorganize the proposed open space plan so that it provides future residents with more quality open space this is contiguous and usable, then drains the property, then buffers neighboring development in that preference order.
5. Proposed east-west multiuse trail needs to be more fully developed in final development plan stage of process and rerouted. Meantime realign west end to follow proposed Morris Street to west property line, and include stub street to north property, and to any potential connection to the school campus to the south. Access for all members of the public needs to be provided for in the layout and location.
6. Streets to be built to City specifications, including 29 feet back to back of curb with 5 feet sidewalks. Back of sidewalk to be along the right of way line.
7. An HOA shall be developed to maintain all common elements, including but not limited to: detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
8. Provide location of Central Mailbox Unit(s), which are to be reviewed by the Post Master.
9. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to: water, sanitary, storm sewer and detention basin design.
10. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening (if needed), pavement markings and signage.
11. Consider implementing traffic calming controls on Glasgow and Morris Streets.
12. Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, October 3, 2023 at 12:00 p.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS
CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: James M. Alt

Address: St B 2440 Dayton Xenia Rd
Beavercreek, OH 45434

Telephone No. (937) 477 2977

Fax No. (-) -

Email Address: jalt@altarchitecture.com

RECEIVED
OCT 02 2023
Springboro Planning Department

PROPERTY OWNER NAME (IF OTHER): Sean Barry c/o Seva Group LLC

Address: 1325 Lytle - Five Pts
Springboro, OH 45066

Telephone No. (937) 350 1211

Property Address or General Location: 1345 Lytle Five Pts

Parcel Number(s): 04081010290 (04081010280) Zoning District: O-R

Proposed Use: Assited Living / Rehab

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

James M. Alt
(Signature of Applicant and/or Agent)

2023-10-02
(Date)

JAMES M. ALT
Printed Name

XX / AX.X	DETAIL BUBBLE
XX / AX.X	SECTION SYMBOL
1	COLUMN LINE
FINISH FLOOR 100'-0"	ELEVATION BEARNING
A 1 AX.X B C D	INTERIOR ELEVATION INDICATOR
1	REVISION TAG
1234	DOOR TAG
ROOM NAME 1234	ROOM NAME & NUMBER
P-1	FINISH TAG & CEILING HEIGHT
XX	WALL TYPE TAG
XX	WINDOW TAG
1	KEYNOTE
EQ-1	EQUIPMENT TAG

GRAPHICS KEY

AC	AIR CONDITIONING	FTG	FOOTING	RB	RESILENT BASE
ACT	ACOUSTICAL CEILING TILE	GA	GAUGE	RCP	REFLECTED CEILING PLAN
AFF	ABOVE FINISHED FLOOR	GALV	GALVANIZED	RD	ROOF DRAIN
AGG	AGGREGATE	GL	GLASS	REF	REFERENCE
ALT	ALTERNATIVE	GWB	GYPSUM WALLBOARD	REINF	REINFORCING
APPROX	APPROXIMATE	GYP	GYPSUM	REQ'D	REQUIRED
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	REV	REVISION(S)
AT	ALUMINUM THRESHOLD	HVAC	HEATING / VENTILATING / AIR CONDITIONING	RM	ROOM
AV	AUDIO-VISUAL	IBC	INTERNATIONAL BUILDING CODE	RO	ROUGH OPENING
AWG	AMERICAN WIRE GAUGE NUMBER	ID	INSIDE DIAMETER	RTU	ROOF TOP UNIT
AWT	ACOUSTICAL WALL TREATMENT	IN/"	INCHES	S	SOUTH
BIT	BITUMINOUS	INSUL	INSULATION / INSULATE	SA	SUPPLY AIR
BLDG	BUILDING	JST	JOIST	SAN	SANITARY
BO	BOTTOM OF	JT	JOINT	SCHED	SCHEDULE
CCT	CIRCUIT	LAM	LAMINATED	SCWD	SOLID CORE WOOD DOOR
CFM	CUBIC FEET PER MINUTE	LAV	LAVATORY	SD	SMOKE DETECTOR
CH	CABINET HEATER	LKR	LOCKER	SECT	SECTION
CJ	CONTROL JOINT	LL	LIVE LOAD	SEW	SEWER
CL	CENTERLINE/CLOSET	LVR	LOUVER	SHT	SHEET
CLG	CEILING	MAS	MASONRY	SIM	SIMILAR
CLR	CLEAR	MAT	MATERIAL	SP	SPACE
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMIUM	SPEC	SPECIFICATIONS
CO	CLEANOUT	MECH	MECHANICAL	SQ	SQUARE
COL	COLUMN	MET	METAL	SS	STORM SEWER
CONC	CONCRETE	MEZZ	MEZZANINE	STD	STANDARD
CONT	CONTINUOUS / CONTINUE	MFR	MANUFACTURER	STL	STEEL
CPT	CARPET	MH	MANHOLE	STO	STORAGE
CT	CERAMIC TILE	MIN	MINIMUM	SUSP	SUSPENDED
DEPT	DEPARTMENT	MIS	MISCELLANEOUS	SYM	SYMMETRICAL
DF	DRINKING FOUNTAIN	N	NORTH	SYNTH	SYNTHETIC
DIA	DIAMETER	NEC	NATIONAL ELECTRICAL CODE	T	THERMOSTAT
DIM	DIMENSION	NIC	NOT IN CONTRACT	T&B	TOP AND BOTTOM
DL	DEAD LOAD	NL	NIGHT LIGHT	T&G	TONGUE & GROOVE
DS	DOWNSPOUT	NTS	NOT TO SCALE	TC	TOP OF CURB
DWG	DRAWING	OC	ON CENTER	TEL	TELEPHONE
E	EAST	OD	OUTSIDE DIAMETER	TO	TOP OF
EA	EACH	OPNG	OPENING	TOC	TOP OF CONCRETE
EF	EXHAUST FAN	OPP	OPPISITE HANDED	TOF	TOP OF FOOTING
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	PERF	PERFORATED	TOM	TOP OF MASONRY
EJ	EXPANSION JOINT	PL	PLATE/PROPERTY LINE	TOS	TOP OF STEEL
ELEC	ELECTRICAL	PLAS	PLASTER	TV	TELEVISION
ELEV	ELEVATOR	PLBG	PLUMBING	TYP	TYPICAL
EQ	EQUAL	PLYWD	PLYWOOD	VCT	VINYL COMPOSITION TILE
EW	EACH WAY	PREFAB	PREFABRICATED	VERT	VERTICAL
EXIST	EXISTING	PSF	POUNDS PER SQUARE FOOT	VEST	VESTIBULE
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
F	FAN UNIT	PT	PAINT	VOL	VOLUME
FD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE	VS	VENT STACK
FDN	FOUNDATION	PVMT	PAVEMENT	VT	VINYL TILE
FIN FL	FINISH FLOOR	QT	QUARRY TILE	VTR	VENT THRU ROOF
FHS	FULL HEIGHT STONE	R	RISER	VWC	VINYL WALL COVERING
FLR	FLOOR	RA	RETURN AIR	W	WEST
FOM	FACE OF MASONRY	RAD/R	RADIUS	W/O	WITHOUT
				WB	WOOD BASE
				WC	WATER CLOSET
				WIC	WALK IN CLOSET
				WWF	WELDED WIRE FABRIC
				YD	YARD

ABBREVIATIONS

DESIGN

ALT Architecture, Inc.
2440 Dayton-Xenia Road
Suite B
Beavercreek, OH 45434
Attn: James M. Alt
Office: 937.427.2770 x102
jalt@altarchitecture.com

STRUCT. DESIGN

Reis Engineering, LLC
1200 Mulberry Row
Cincinnati, OH 45233
Attn: Jon Reis
Phone: 513-907-4134
jon@reisengineeringllc.com

MEP DESIGN

Point One Design
9941 York-Theta Dr,
North Royalton, OH 44133
Attn: Kevin Herbert
(440) 230-1800
kherbert@pointonedesign.com

CIVIL DESIGN

Community Civil Engineers, LLC
2440 Dayton- Xenia Rd
Suite B
Beavercreek, OH 45434
Attn: Stephen Butler
Phone:937-490-9460
sbutler@altarchitecture.com

PROFESSIONALS OF RECORD

The Ravine at Settler's Pointe (Assisted Living Facility)
1345 West Lytle Five Points Road
Springboro, OH 45066

Pursuant to the provisions of the OBC as amended and adopted, I hereby certify that the improvements herein proposed comply with the minimum requirements of Chapters 3781 and 3791 of the ORC, and any rules adopted by the Board.

para 106.1 The applicable codes for this application are as follows:

Building/Dwelling Code	2017 Chapters 1-35 OBC
Structural Code	2017 Chapter 16 OBC
Plumbing Code	2017 OPC and Chapter 29 OBC
Mechanical Code	2017 OMC and Chapter 28 OBC
Electrical Code	2017 NFPA 70 NEC
Fuel Gas Code	2015 IFGC
Fire Alarm Code	2016 NFPA 72, NFAC
Fire/Life Safety Code	2011 Ohio Fire Code
Accessibility Code	2017 Chapter 11 OBC and ICC/ANSI A117.1 - 2009
Energy Code	2012 IECC, 2012 ASHRAE Std 90.1
Fire Suppression Code	2016 NFPA 13

1

para 106.1.1 The scope of the work is as follows:
This application is for the construction of an entirely new free-standing 31,391 +/- sq ft assisted living residence.

para 106.2.1 This document package has been prepared under the direct supervision of James M. Alt, registered architect Ohio #6507.

para 111.1.1 Upon successful completion of the plan approval and construction process of which this commentary forms a part, I hereby request the issuance of a certificate of occupancy.

para 308.3.1.2 I-1, Condition 2
The proposed structure is an I-1 as follows:
>16 adults who may or may not require limited verbal or physical assistance in an evacuation.

para 407.3 Corridor walls shall be constructed as smoke partitions.
para 407.3.1 Intervening corridor doors are not required to be equipped with closers nor be fire rated.

para 407.5 This building is divided into 2 smoke control compartments. Exit access from either smoke control compartment shall not path through the other smoke control compartment.

para 407.5.1 Places of refuge within each smoke compartment are sized at a minimum of 15 sq ft per resident and 6 sq ft per other occupants.

para 407.8 An automatic detection system shall be provided.

para 407.9 A secured yard within a fenced enclosure is provided at a minimum of 50' from any exterior wall of the building. Sizing of the place of refuge is as follows: 6 sq ft per occupant for all other residents and staff.

tbl 504.3 The height of this building is limited to 50'. The height of the proposed building is 24' at the ridge.

tbl 504.4 The proposed of stories above grade plane is 2(+ two equipment platforms).The permitted number of stories above grade plane is 3.

tbl 506.2 The tabular area I-1 Condition 2 - S1 A_t(VA): 38,000 sq ft
The ground flr bldg size: 31,391 sq ft (one fire area)
There are 3 individual attic equipment platforms: 1,456 sq ft. (combined total)

tbl 509 Laundry rooms > 100 sq ft shall be separated by fire barriers rated at 1-hr unless protected with an automatic fire suppression system. Waste collection and linen collection rooms shall be separated by fire barriers rated at 1 hr. Storage rooms > 100 sq ft shall be separated by fire barriers rated at 1 hr.

tbl 601 The proposed construction type is VA combustible protected. All building elements are constructed of combustible materials to a 1-hour rated assembly unless otherwise required by other sections of this code.

tbl 602 The proposed fire rating of all exterior walls is 1-hour based upon the construction type VA.

para 708.3 Dwelling unit separation walls between residences shall be constructed as fire partitions with a rating of 1-hour.

tbl 803.11 The proposed combustibility standards for interior finishes are as follows:

interior exit stairs:	Class B
corridors:	Class B
rooms and spaces:	Class B

1

para 903.3.1.2 This structure is proposed to be protected with an NFPA 13 compliant monitored wet conditioned spaces sprinkler fire suppression system.

1

para 903.3.2 Quick Response sprinkler heads shall be installed in all sleeping and dwelling units.
Para 906.1 Portable fire extinguishers are provided and located as required by the local fire official per NFPA 10.
para 907.2.6.1 Manual and automatic fire alarms are provided as required in all corridors and common areas.

tbl 1004.1.2 The occupant loads for this building shall be calculated in the following manner for this use:
31,391 sq ft / 120 gross per "INSTITUTIONAL - SLEEPING UNITS" = 262
The maximum occupant load per resident room is 2.

sec 1008.2.1 Means of egress illumination at non-emergency circumstances is provided on the plans at a minimum illumination level of 1 fc throughout the means of egress path.

sec 1008.3.2 Emergency lighting is provided at all required areas of the building.

sec 1009.3.1 An exit access means of egress stairway from the mezzanine is permitted.

sec 1009.3.2 Accessible means of egress is provided on the plans. The mezzanine stair is permitted to be 36" in width due to the use of a compliant fire suppression system. Actual dimension 48".

sec 1010.1.9.4 Specialty doors and hardware compliance are shown on the plans.

Sec 1013 Exit signs and lights are required and are shown on the drawings.

para 1016 Exit access complies with the minimum requirements of this section.

tbl 1020.1 708. All non-unit-enclosed corridors shall be rated at 0 hour and constructed as smoke partitions per para sec

Tbl 1020.2 Minimum corridor width is 44". Proposed corridor width is 72".

para 1101.1 General site and building accessibility is demonstrated throughout the drawings.

para 1603.1 Refer to structural sheets for design standards, general compliance and required minimum loads.

tbl 1604.5 This nature of this occupancy is categorized as a Risk II, a moderate level.

para 1704.3.1 For Statement of Special Inspections refer to structural sheets included herein.

tbl 1803.3.1 For presumptive load bearing capacity for soils refer to the attached Geotech Report.

para 2406.4.2 Tempered safety glass is proposed in hazardous locations as indicated on the drawings. Specifically glass adjacent to doors shall be tempered.

tbl 2902.1 Toilet facilities are provided as follows. All resident bathrooms are accessible.

	wc reqd	wc prop	lav reqd	lav prop	presumptive OL
men (adult):	1	1	1	1	20 (1/25 employees/ visitors)
women (adult)	1	1	1	1	20 (1/25 employees /visitors)
resident:	1	1	1	1	48 (1 per room)
drinking fountain	1	1 (2 hi/lo)			
mop sink	1	1			

CODE REVIEW

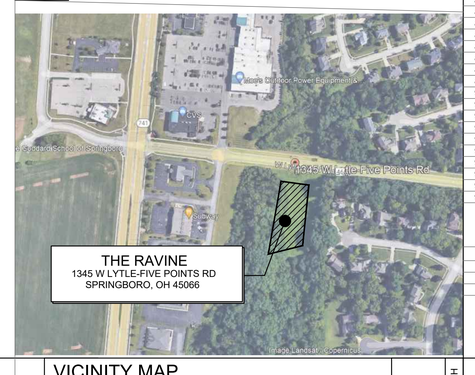
THE RAVINE AT SETTLER'S POINTE

NEW ASSISTED LIVING FACILITY

1345 W LYTLE-FIVE POINTS RD SPRINGBORO, OH 45066

A. Do not scale drawings, use figured dimensions only.
B. Field verify all dimensions and conditions before proceeding with work. If any discrepancies arise, contact ALT Architecture, immediately.
C. Enlarged plans: Where enlarged or partial plans are referenced, dimensions and special detailing or finish requirements are noted on the enlarged plans and usually omitted on the smaller scale plans. Detailed drawings shall govern.
D. Wall and partition openings: Referenced identification of door, window openings, etc. Is scheduled by the corresponding room number in which the opening occurs or gives access to. If more than one door a letter noted in each individual opening following the space number in the openings schedule shall be used.
E. Notes on sheets: Note bubbles with inscribed numerals refer to the "Sheet Notes " column contained on the same sheet. If a note contains wording referencing other consultants work then it is inferred that the corresponding documents prepared by the related consultant should be reviewed for more specific information as indicated below.
"Mechanical" refer to Mechanical Documents
"Electrical" refer to Electrical Documents
"Plumbing" refer to Plumbing Documents
"Structural" refer to Structural Documents
a. Existing conditions: Only the areas described in the project scope have been field verified. "Field Verified" means that existing partitions have been partially located, most of the MEP. Items have been located,and most of the architectural elements located. Areas that are concealed or otherwise not accessible have not been verified. Other areas in the building not in the project scope have not been field verified. The partitions shown in the renovated areas are derived from owner provided documents. The existing smoke compartment square footages are derived from owner provided documents. Revisions to these square footages are based on this information.
F. The note "No work in this area or compartment" is a general statement. Some MEP work, and architectural work, may be required in these areas to complete a system to operational status, for minor renovation, for touch up work, or for verification of existing conditions (i.e. previously inaccessible areas) pertinent to the scope of work. Verification of such a condition may or may not impact the project and will be evaluated on a case by case basis.
G. The contractor shall schedule all utility shutdowns with one week minimum advance notice owner. Shutdowns shall be grouped and planned in order to minimize any necessary down time.
H. The contractor shall construct temporary partitions and overhead protection so that pedestrians may pass through a corridor at all times during construction.
I. Note bubbles are meant to be typical for similarly indicated situations.
J. Dimensions in brackets, ie. [8'-0"], are existing dimensions that must be verified. If any of these dimensions vary from what is shown, other dimensions will need to be revised.
K. All work shall be performed in a professional, workmanlike manner and shall conform to all state federal and local codes, and industry standards.
L. All dimensions for new construction are to face of masonry, face of concrete, face of studs, face of masonry openings, centerline of openings in stud walls, or centerline of columns unless noted otherwise. Dimensions indicated "clear" or "CLR." are face of finish to face of finish.
M. Fire extinguishers shall be provided by building owner upon consultation with local fire department as to number, type and location.
N. Any modifications to existing fire suppression system shall be the sole responsibility of the contractor, including but not limited to design, permitting, installation, and final testing and approval by required governing entities.
P. Notes and details on the drawings take precedence over these standard notes. Typical details shall be used whenever applicable. Refer to the specifications for information not covered by these notes or drawings.
Q. All work not detailed or noted shall be constructed in accordance with other similar work shown on the drawings and typical details. Dimensions shall take precedence over general notes and typical details.
R. No pipes or ducts shall be placed in structural members unless specifically detailed and approved by the engineer.
S. Contractor shall investigate site during clearing and excavation for unsuitable conditions: unconsolidated and undocumented fills, buried structures, utilities, etc. and shall immediately notify the architect/engineer of any site conditions not reflected on the drawings or different from maximum and minimum dimensions indicated, including conflicts in grades, adverse soil conditions, ground water present,deepened footings, uncovered and unexpected utility lines, etc.
T. Construction materials shall be spread out if placed on structural frame. Load shall not exceed the design of live loads. Provide shoring and bracing where design strength has not been attained or structure is not complete.
U. The contractor shall determine the location of utility services in the area to be excavated before digging. Exercise extreme caution when excavating and trenching.

GENERAL NOTES



VICINITY MAP

SCALE
NTS

NORTH

NO.	TITLE	DESIGN PROFESSIONAL OF RECORD	Waite and Environmental Technologies	ALT Architecture, Inc.	DCI Engineers	Point One Design	RELEASE DATES	06/24/2022	08/26/2022	01/21/2022	10/24/2022	FOR PLAN APPROVAL	FOR BID	FOR BID - ADDENDUM A	RESPONSE TO CITY			
1	G001 COVER SHEET		●					●	●	●	●							
2	G100 OVERALL BUILDING AND LIFE SAFETY PLAN		●					●	●	●	●							
3	G101 STANDARD UL ASSEMBLY DETAILS		●					●	●									
4	G102 WALL TYPES AND RATING DETAILS		●					●	●									
5	G103 ACCESSIBILITY GUIDELINES		●					●	●									
6	G104 ACCESSIBILITY GUIDELINES		●					●	●									
7	G105 ACCESSIBILITY GUIDELINES		●					●	●									
8	C1 TITLE SHEET	●						●	●									
9	C2 EXISTING CONDITIONS	●						●	●									
10	C3 SITE PLAN	●						●	●									
11	C4 UTILITY PLAN	●						●	●									
12	C5 GRADING PLAN	●						●	●									
13	C6 DRAINAGE PLAN	●						●	●									
14	C7 CIVIL DETAILS	●						●	●									
15	C8 CIVIL DETAILS	●						●	●									
16	CS100 SWPPP COVERSHEET	●						●	●									
17	CS200 SWPPP NOTES & DETAILS	●						●	●									
18	CS201 SWPPP NOTES & DETAILS	●						●	●									
19	CS202 SWPPP NOTES & DETAILS	●						●	●									
20	CS203 SWPPP NOTES & DETAILS	●						●	●									
21	CS300 SWPPP NOTES & DETAILS	●						●	●									
22	CS400 SWPPP NOTES & DETAILS	●						●	●									
23	CS401 SWPPP NOTES & DETAILS	●						●	●									
24	L1 LANDSCAPE PLAN	●						●	●									
25	L2 LANDSCAPE DETAILS	●						●	●									
26	AS1.0 ARCHITECTURAL SITE DETAILS		●							●								
27	A001 SPECIFICATIONS		●					●	●									
28	A002 SPECIFICATIONS		●					●	●									
29	A003 SPECIFICATIONS		●					●	●									
30	A004 SPECIFICATIONS		●					●	●									
31	A005 SPECIFICATIONS		●					●	●									
32	A006 SPECIFICATIONS		●					●	●									
33	A007 SPECIFICATIONS		●					●	●	●								
34	A1.1a PARTIAL FLOOR PLAN		●					●	●	●								
35	A1.1b PARTIAL FLOOR PLAN		●					●	●	●								
36	A1.2a PARTIAL DIMENSION PLAN		●					●	●	●								
37	A1.2b PARTIAL DIMENSION PLAN		●					●	●	●								
38	A1.2c MEZZANINE DIMENSION PLAN		●					●	●	●								
39	A 1.3a PARTIAL ROOF PLAN		●															
40	A 1.3b PARTIAL ROOF PLAN		●					●	●									
41	A 1.3c MEZZANINE ROOF PLAN		●					●	●	●								
42	A2.1a DOOR, WINDOW & HARDWARE SCHEDULES		●					●	●	●								
43	A2.1b DOOR, WINDOW & HARDWARE SCHEDULES		●					●	●	●								
44	A2.2a PARTIAL FINISH PLAN		●					●	●	●								
45	A2.2b PARTIAL FINISH PLAN		●					●	●	●								
46	A3.0a PARTIAL REFLECTED CEILING PLAN		●					●	●	●	●							
47	A3.0b PARTIAL REFLECTED CEILING PLAN		●					●	●	●	●							
48	A4.0 EXTERIOR ELEVATIONS		●					●	●									
49	A4.1 EXTERIOR ELEVATIONS		●					●	●									
50	A5.1a TYPICAL SUITE BATHROOM DETAILS		●					●	●	●	●							
51	A5.1b TYPICAL SUITE BATHROOM DETAILS		●					●	●	●	●							
52	A5.2 ENLARGED PLAN AND INTERIOR ELEVATIONS		●							●								
53	A5.3 ENLARGED PLAN AND INTERIOR ELEVATIONS		●							●								
54	A6.1 WALL AND BUILDING SECTIONS		●					●	●									
55	A6.2 STAIR SECTIONS AND DETAILS		●					●	●		●							
56	K1.0 KITCHEN PLAN AND EQUIP.		●					●	●	●								
57	S0.1 GENERAL NOTES			●				●	●		●							
58	S0.2 SPECIAL INSPECTIONS			●				●	●		●							
59	S1.0 MASTER FOUNDATION PLAN			●				●	●									
60	S1.1 FOUNDATION PLAN (NORTH)			●				●	●									
61	S1.2 FOUNDATION PLAN (SOUTH)			●				●	●									
62	S1.3 MEZZANINE FRAMING PLAN			●				●	●									
63	S1.4 ROOF FRAMING PLAN (NORTH)			●				●	●									
64	S1.5 ROOF FRAMING PLAN (SOUTH)			●				●	●									
65	P1.0a FIRST FLOOR PLUMBING PLAN & SANITARY VENT				●			●	●	●								
66	P1.0b FIRST FLOOR PLUMBING PLAN & SANITARY VENT				●			●	●	●								
67	P1.1a FIRST FLOOR PLUMBING PLAN & WATER & GAS				●			●	●									
68	P1.1b FIRST FLOOR PLUMBING PLAN & WATER & GAS				●			●	●	●								
69	P1.2a MEZZANINE PLUMBING PLAN				●			●	●	●								
70	P1.2b MEZZANINE PLUMBING PLAN				●			●	●	●								
71	P2.0a SANITARY SCHEMATIC				●			●	●	●								
72	P2.0b SANITARY SCHEMATIC				●			●	●	●								
73	P2.1a SANITARY SCHEMATIC				●			●	●	●								
74	P2.1b SANITARY SCHEMATIC				●			●	●	●								
75	P3.0 PLUMBING DETAILS AND ENLARGED PLAN				●			●	●									
76	P3.1 PLUMBING DETAILS AND ENLARGED PLAN				●			●	●									
77	P3.2 PLUMBING DETAILS AND ENLARGED PLAN				●			●	●									
78	M1.0a FIRST FLOOR MECHANICAL PLAN				●			●	●									
79	M1.0b FIRST FLOOR MECHANICAL PLAN				●			●	●	●								
80	M1.1a MEZZANINE MECHANICAL PLAN				●			●	●	●								
81	M1.1b MEZZANINE MECHANICAL PLAN				●			●	●	●								
82	M2.0 MECHANICAL SCHEDULES				●			●	●									
83	M2.1 MECHANICAL SCHEDULES				●			●	●									
84	M3.0 MECHANICAL DETAILS				●			●	●									
85	M3.1 MECHANICAL DETAILS				●			●	●									
86	M4.0 MECHANICAL SPECIFICATIONS				●			●	●									
87	E1.0a FIRST FLOOR LIGHTING PLAN				●			●	●		●							
88	E1.0b FIRST FLOOR LIGHTING PLAN				●			●	●		●							
89	E1.1a MEZZANINE LIGHTING PLAN				●			●	●									
90	E1.1b MEZZANINE LIGHTING PLAN				●			●	●		●							
91	E2.0a FIRST FLOOR POWER PLAN				●			●	●	●								
92	E2.0b FIRST FLOOR POWER PLAN				●			●	●	●								
93	E2.1a MEZZANINE POWER PLAN				●			●	●	●								
94	E2.1b MEZZANINE POWER PLAN				●			●	●	●								
95	E3.0 ELECTRICAL SCHEDULES AND DETAILS				●			●	●	●	●							
96	E4.0 ELECTRICAL RISER AND DETAILS				●			●	●	●								
97	E4.1 ELECTRICAL SCHEDULES				●			●	●									
98	ES1.0 ELECTRICAL SITE PLAN				●			●	●	●								

PROPRIETARY VENDOR DRAWINGS

EX-1	KITCHEN HOOD EQUIPMENT & SPECS					●									
EX-2	POOL SPECIFICATIONS AND EQUIPMENT SCHEDULE					●									
EX-3	RETAINING WALL DESIGN & CALCULATIONS - WALL (1)					●									
EX-4	RETAINING WALL DESIGN & CALCULATIONS - WALL (2)					●									

19009

architecture

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Architecture - Engineering
Interior Architecture - Planning

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THE RAVINE AT SETTLER'S POINTE

1345 W LYTLE-FIVE POINTS RD
SPRINGBORO, OH 45066

NEW ASSISTED LIVING FACILITY

STATE OF OHIO
James M. Alt
6507
REGISTERED ARCHITECT
James M. Alt, License #6507
Expiration Date, 12/31/2023

NO.	DATE	DESCRIPTION
-	06/24/22	FOR PLAN APPROVAL
A	08/11/22	ADDENDUM A
1	09/23/2022	RESPONSE TO CITY

COVER SHEET

G001

DETAIL BUBBLE (XX / AX.X)

SECTION SYMBOL (XX / AX.X)

COLUMN LINE (1)

FINISH FLOOR 100'-0"

ELEVATION BEARNING

INTERIOR ELEVATION INDICATOR (A, B, C, D, 1, AX.X)

REVISION TAG (1)

DOOR TAG (1234)

ROOM NAME & NUMBER (ROOM NAME 1234)

FINISH TAG & CEILING HEIGHT (P-1)

WALL TYPE TAG (XX)

WINDOW TAG (XX)

KEYNOTE (1)

EQUIPMENT TAG (EQ-1)

GRAPHICS KEY

AC	AIR CONDITIONING	FTG	FOOTING	RB	RESILENT BASE
ACT	ACOUSTICAL CEILING TILE	GA	GAUGE	RCP	REFLECTED CEILING PLAN
AFF	ABOVE FINISHED FLOOR	GALV	GALVANIZED	RD	ROOF DRAIN
AGG	AGGREGATE	GL	GLASS	REF	REFERENCE
ALT	ALTERNATIVE	GWB	GYPSUM WALLBOARD	REINF	REINFORCING
APPROX	APPROXIMATE	GYP	GYPSUM	REQ'D	REQUIRED
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	REV	REVISION(S)
AT	ALUMINUM THRESHOLD	HVAC	HEATING / VENTILATING / AIR CONDITIONING	RM	ROOM
AV	AUDIO-VISUAL	IBC	INTERNATIONAL BUILDING CODE	RO	ROUGH OPENING
AWG	AMERICAN WIRE GAUGE NUMBER	ID	INSIDE DIAMETER	RTU	ROOF TOP UNIT
AWT	ACOUSTICAL WALL TREATMENT	IN/"	INCHES	S	SOUTH
BIT	BITUMINOUS	INSUL	INSULATION / INSULATE	SA	SUPPLY AIR
BLDG	BUILDING	JST	JOIST	SAN	SANITARY
BO	BOTTOM OF	JT	JOINT	SCHED	SCHEDULE
CCT	CIRCUIT	LAM	LAMINATED	SCWD	SOLID CORE WOOD DOOR
CFM	CUBIC FEET PER MINUTE	LAV	LAVATORY	SD	SMOKE DETECTOR
CH	CABINET HEATER	LKR	LOCKER	SECT	SECTION
CJ	CONTROL JOINT	LL	LIVE LOAD	SEW	SEWER
CL	CENTERLINE/CLOSET	LVR	LOUVER	SHT	SHEET
CLG	CEILING	MAS	MASONRY	SIM	SIMILAR
CLR	CLEAR	MAT	MATERIAL	SP	SPACE
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMIUM	SPEC	SPECIFICATIONS
CO	CLEANOUT	MECH	MECHANICAL	SQ	SQUARE
COL	COLUMN	MET	METAL	SS	STORM SEWER
CONC	CONCRETE	MEZZ	MEZZANINE	STD	STANDARD
CONT	CONTINUOUS / CONTINUE	MFR	MANUFACTURER	STL	STEEL
CPT	CARPET	MH	MANHOLE	STO	STORAGE
CT	CERAMIC TILE	MIN	MINIMUM	SUSP	SUSPENDED
DEPT	DEPARTMENT	MIS	MISCELLANEOUS	SYM	SYMMETRICAL
DF	DRINKING FOUNTAIN	N	NORTH	SYNTH	SYNTHETIC
DIA	DIAMETER	NEC	NATIONAL ELECTRICAL CODE	T	THERMOSTAT
DIM	DIMENSION	NIC	NOT IN CONTRACT	T&B	TOP AND BOTTOM
DL	DEAD LOAD	NL	NIGHT LIGHT	T&G	TONGUE & GROOVE
DS	DOWNSPOUT	NTS	NOT TO SCALE	TC	TOP OF CURB
DWG	DRAWING	OC	ON CENTER	TEL	TELEPHONE
E	EAST	OD	OUTSIDE DIAMETER	TO	TOP OF
EA	EACH	OPNG	OPENING	TOC	TOP OF CONCRETE
EF	EXHAUST FAN	OPP	OPPISITE HANDED	TOF	TOP OF FOOTING
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	PERF	PERFORATED	TOM	TOP OF MASONRY
EJ	EXPANSION JOINT	PL	PLATE/PROPERTY LINE	TOS	TOP OF STEEL
ELEC	ELECTRICAL	PLAS	PLASTER	TV	TELEVISION
ELEV	ELEVATOR	PLBG	PLUMBING	TYP	TYPICAL
EQ	EQUAL	PLYWD	PLYWOOD	VCT	VINYL COMPOSITION TILE
EW	EACH WAY	PREFAB	PREFABRICATED	VERT	VERTICAL
EXIST	EXISTING	PSF	POUNDS PER SQUARE FOOT	VEST	VESTIBULE
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
F	FAN UNIT	PT	PAINT	VOL	VOLUME
FD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE	VS	VENT STACK
FDN	FOUNDATION	PVMT	PAVEMENT	VT	VINYL TILE
FIN FL	FINISH FLOOR	QT	QUARRY TILE	VTR	VENT THRU ROOF
FHS	FULL HEIGHT STONE	R	RISER	VWC	VINYL WALL COVERING
FLR	FLOOR	RA	RETURN AIR	W	WEST
FOM	FACE OF MASONRY	RAD/R	RADIUS	W/O	WITHOUT
				WB	WOOD BASE
				WC	WATER CLOSET
				WIC	WALK IN CLOSET
				WWF	WELDED WIRE FABRIC
				YD	YARD

ABBREVIATIONS

DESIGN

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PROFESSIONALS OF RECORD

The Ravine at Settler's Pointe (Assisted Living Facility)
1345 West Lytle Five Points Road
Springboro, OH 45066

Pursuant to the provisions of the OBC as amended and adopted, I hereby certify that the improvements herein proposed comply with the minimum requirements of Chapters 3781 and 3791 of the ORC, and any rules adopted by the Board.

para 106.1 The applicable codes for this application are as follows:

Building/Dwelling Code	2017 Chapters 1-35 OBC
Structural Code	2017 Chapter 16 OBC
Plumbing Code	2017 OPC and Chapter 29 OBC
Mechanical Code	2017 OMC and Chapter 28 OBC
Electrical Code	2017 NFPA 70 NEC
Fuel Gas Code	2015 IFGC
Fire Alarm Code	2016 NFPA 72, NFAC
Fire/Life Safety Code	2011 Ohio Fire Code
Accessibility Code	2017 Chapter 11 OBC and ICC/ANSI A117.1 - 2009
Energy Code	2010 IECC, 2010 ASHRAE Std 90.1
Fire Suppression Code	2016 NFPA 13

para 106.1.1 The scope of the work is as follows:
This application is for the construction of an entirely new free-standing 31,391 +/- sq ft assisted living residence.

para 106.2.1 This document package has been prepared under the direct supervision of James M. Alt, registered architect Ohio #6507.

para 111.1.1 Upon successful completion of the plan approval and construction process of which this commentary forms a part, I hereby request the issuance of a certificate of occupancy.

para 308.3.1.2 I-1, Condition 2
The proposed structure is an I-1 as follows:
>16 adults who may or may not require limited verbal or physical assistance in an evacuation.

para 407.3 Corridor walls shall be constructed as smoke partitions.
para 407.3.1 Intervening corridor doors are not required to be equipped with closers nor be fire rated.

para 407.5 This building is divided into 2 smoke control compartments. Exit access from either smoke control compartment shall not path through the other smoke control compartment.

para 407.5.1 Places of refuge within each smoke compartment are sized at a minimum of 15 sq ft per resident and 6 sq ft per other occupants.

para 407.8 An automatic detection system shall be provided.

para 407.9 A secured yard within a fenced enclosure is provided at a minimum of 50' from any exterior wall of the building. Sizing of the place of refuge is as follows: 6 sq ft per occupant for all other residents and staff.

tbl 504.3 The height of this building is limited to 50'. The height of the proposed building is 24' at the ridge.

tbl 504.4 The proposed of stories above grade plane is 2(+ two equipment platforms).The permitted number of stories above grade plane is 3.

tbl 506.2 The tabular area I-1 Condition 2 - S1 A_t(VA): 38,000 sq ft
The ground flr bldg size: 31,391 sq ft (one fire area)
There are 3 individual attic equipment platforms: 1,456 sq ft. (combined total)

tbl 509 Laundry rooms > 100 sq ft shall be separated by fire barriers rated at 1-hr unless protected with an automatic fire suppression system. Waste collection and linen collection rooms shall be separated by fire barriers rated at 1 hr. Storage rooms > 100 sq ft shall be separated by fire barriers rated at 1 hr.

tbl 601 The proposed construction type is VA combustible protected. All building elements are constructed of combustible materials to a 1-hour rated assembly unless otherwise required by other sections of this code.

tbl 602 The proposed fire rating of all exterior walls is 1-hour based upon the construction type VA.

para 708.3 Dwelling unit separation walls between residences shall be constructed as fire partitions with a rating of 1-hour.

tbl 803.11 The proposed combustibility standards for interior finishes are as follows:

interior exit stairs:	Class B
corridors:	Class B
rooms and spaces:	Class B

para 903.3.1.2 This structure is proposed to be protected with an NFPA 13 compliant monitored wet conditioned spaces sprinkler fire suppression system.

para 903.3.2 Quick Response sprinkler heads shall be installed in all sleeping and dwelling units.
Para 906.1 Portable fire extinguishers are provided and located as required by the local fire official per NFPA 10.
para 907.2.6.1 Manual and automatic fire alarms are provided as required in all corridors and common areas.

tbl 1004.1.2 The occupant loads for this building shall be calculated in the following manner for this use:
31,391 sq ft / 120 gross per "INSTITUTIONAL - SLEEPING UNITS" = 262
The maximum occupant load per resident room is 2.

sec 1008.2.1 Means of egress illumination at non-emergency circumstances is provided on the plans at a minimum illumination level of 1 fc throughout the means of egress path.

sec 1008.3.2 Emergency lighting is provided at all required areas of the building.

sec 1009.3.1 An exit access means of egress stairway from the mezzanine is permitted.

sec 1009.3.2 Accessible means of egress is provided on the plans. The mezzanine stair is permitted to be 36" in width due to the use of a compliant fire suppression system. Actual dimension 48".

sec 1010.1.9.4 Specialty doors and hardware compliance are shown on the plans.

Sec 1013 Exit signs and lights are required and are shown on the drawings.

para 1016 Exit access complies with the minimum requirements of this section.

tbl 1020.1 708. All non-unit-enclosed corridors shall be rated at 0 hour and constructed as smoke partitions per para sec

Tbl 1020.2 Minimum corridor width is 44". Proposed corridor width is 72".

para 1101.1 General site and building accessibility is demonstrated throughout the drawings.

para 1603.1 Refer to structural sheets for design standards, general compliance and required minimum loads.

tbl 1604.5 This nature of this occupancy is categorized as a Risk II, a moderate level.

para 1704.3.1 For Statement of Special Inspections refer to structural sheets included herein.

tbl 1803.3.1 For presumptive load bearing capacity for soils refer to the attached Geotech Report.

para 2406.4.2 Tempered safety glass is proposed in hazardous locations as indicated on the drawings. Specifically glass adjacent to doors shall be tempered.

tbl 2902.1 Toilet facilities are provided as follows. All resident bathrooms are accessible.

	wc reqd	wc prop	lav reqd	lav prop	presumptive OL
men (adult):	1	1	1	1	20 (1/25 employees/ visitors)
women (adult)	1	1	1	1	20 (1/25 employees /visitors)
resident:	1	1	1	1	48 (1 per room)
drinking fountain	1	1 (2 hi/lo)			
mop sink	1	1			

CODE REVIEW

THE RAVINE AT SETTLER'S POINTE

NEW ASSISTED LIVING FACILITY

1345 W LYTLE-FIVE POINTS RD SPRINGBORO, OH 45066

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B. Field verify all dimensions and conditions before proceeding with work. If any discrepancies arise, contact ALT Architecture, immediately.
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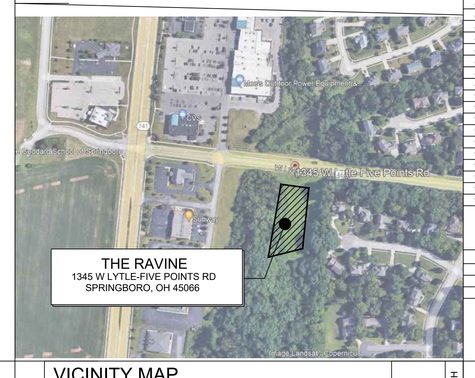
"Plumbing" refer to Plumbing Documents
"Structural" refer to Structural Documents
a. Existing conditions: Only the areas described in the project scope have been field verified. "Field Verified" means that existing partitions have been partially located, most of the MEP. Items have been located,and most of the architectural elements located. Areas that are concealed or otherwise not accessible have not been verified. Other areas in the building not in the project scope have not been field verified. The partitions shown in the renovated areas are derived from owner provided documents. The existing smoke compartment square footages are derived from owner provided documents. Revisions to these square footages are based on this information.
F. The note "No work in this area or compartment" is a general statement. Some MEP work, and architectural work, may be required in these areas to complete a system to operational status, for minor renovation, for touch up work, or for verification of existing conditions (i.e. previously inaccessible areas) pertinent to the scope of work. Verification of such a condition may or may not impact the project and will be evaluated on a case by case basis.
G. The contractor shall schedule all utility shutdowns with one week minimum advance notice owner. Shutdowns shall be grouped and planned in order to minimize any necessary down time.
H. The contractor shall construct temporary partitions and overhead protection so that pedestrians may pass through a corridor at all times during construction.
I. Note bubbles are meant to be typical for similarly indicated situations.
J. Dimensions in brackets, ie. [8'-0"], are existing dimensions that must be verified. If any of these dimensions vary from what is shown, other dimensions will need to be revised.
K. All work shall be performed in a professional, workmanlike manner and shall conform to all state federal and local codes, and industry standards.
L. All dimensions for new construction are to face of masonry, face of concrete, face of studs, face of masonry openings, centerline of openings in stud walls, or centerline of columns unless noted otherwise. Dimensions indicated "clear" or "CLR." are face of finish to face of finish.
M. Fire extinguishers shall be provided by building owner upon consultation with local fire department as to number, type and location.
N. Any modifications to existing fire suppression system shall be the sole responsibility of the contractor, including but not limited to design, permitting, installation, and final testing and approval by required governing entities.
P. Notes and details on the drawings take precedence over these standard notes. Typical details shall be used whenever applicable. Refer to the specifications for information not covered by these notes or drawings.
Q. All work not detailed or noted shall be constructed in accordance with other similar work shown on the drawings and typical details. Dimensions shall take precedence over general notes and typical details.
R. No pipes or ducts shall be placed in structural members unless specifically detailed and approved by the engineer.
S. Contractor shall investigate site during clearing and excavation for unsuitable conditions: unconsolidated and undocumented fills, buried structures, utilities, etc. and shall immediately notify the architect/engineer of any site conditions not reflected on the drawings or different from maximum and minimum dimensions indicated, including conflicts in grades, adverse soil conditions, ground water present,deepened footings, uncovered and unexpected utility lines, etc.
T. Construction materials shall be spread out if placed on structural frame. Load shall not exceed the design of live loads. Provide shoring and bracing where design strength has not been attained or structure is not complete.
U. The contractor shall determine the location of utility services in the area to be excavated before digging. Exercise extreme caution when excavating and trenching.

GENERAL NOTES



VICINITY MAP

SCALE
NTS

NORTH

NO.	TITLE	DESIGN PROFESSIONAL OF RECORD	Waite and Environmental Technologies	ALT Architecture, Inc.	DCI Engineers	Point One Design	RELEASE DATES	06/24/2022	08/28/2022	07/21/2022	10/24/2022	FOR PLAN APPROVAL	FOR BID	FOR BID - ADDENDUM A	RESPONSE TO CITY			
SHEET INDEX																		
G001	COVER SHEET			●					●	●	●	●						
G100	OVERALL BUILDING AND LIFE SAFETY PLAN			●					●	●	●	●						
G101	STANDARD UL ASSEMBLY DETAILS			●					●	●								
G102	WALL TYPES AND RATING DETAILS			●					●	●								
G103	ACCESSIBILITY GUIDELINES			●					●	●								
G104	ACCESSIBILITY GUIDELINES			●					●	●								
G105	ACCESSIBILITY GUIDELINES			●					●	●								
C1	TITLE SHEET	●							●	●								
C2	EXISTING CONDITIONS	●							●	●								
C3	SITE PLAN	●							●	●								
C4	UTILITY PLAN	●							●	●								
C5	GRADING PLAN	●							●	●								
C6	DRAINAGE PLAN	●							●	●								
C7	CIVIL DETAILS	●							●	●								
C8	CIVIL DETAILS	●							●	●								
CS100	SWPPP COVERSHEET	●							●	●								
CS200	SWPPP NOTES & DETAILS	●							●	●								
CS201	SWPPP NOTES & DETAILS	●							●	●								
CS202	SWPPP NOTES & DETAILS	●							●	●								
CS203	SWPPP NOTES & DETAILS	●							●	●								
CS300	SWPPP NOTES & DETAILS	●							●	●								
CS400	SWPPP NOTES & DETAILS	●							●	●								
CS401	SWPPP NOTES & DETAILS	●							●	●								
L1	LANDSCAPE PLAN	●							●	●								
L2	LANDSCAPE DETAILS	●							●	●								
AS1.0	ARCHITECTURAL SITE DETAILS		●								●							
A001	SPECIFICATIONS		●						●	●								
A002	SPECIFICATIONS		●						●	●								
A003	SPECIFICATIONS		●						●	●								
A004	SPECIFICATIONS		●						●	●								
A005	SPECIFICATIONS		●						●	●								
A006	SPECIFICATIONS		●						●	●								
A007	SPECIFICATIONS		●						●	●	●							
A1.1a	PARTIAL FLOOR PLAN		●						●	●	●							
A1.1b	PARTIAL FLOOR PLAN		●						●	●	●							
A1.2a	PARTIAL DIMENSION PLAN		●						●	●	●							
A1.2b	PARTIAL DIMENSION PLAN		●						●	●	●							
A1.2c	MEZZANINE DIMENSION PLAN		●						●	●	●							
A 1.3a	PARTIAL ROOF PLAN		●															
A 1.3b	PARTIAL ROOF PLAN		●						●	●								
A 1.3c	MEZZANINE ROOF PLAN		●						●	●	●							
A2.1a	DOOR, WINDOW & HARDWARE SCHEDULES		●						●	●	●							
A2.1b	DOOR, WINDOW & HARDWARE SCHEDULES		●						●	●	●							
A2.2a	PARTIAL FINISH PLAN		●						●	●	●							
A2.2b	PARTIAL FINISH PLAN		●						●	●	●							
A3.0a	PARTIAL REFLECTED CEILING PLAN		●						●	●	●	●						
A3.0b	PARTIAL REFLECTED CEILING PLAN		●						●	●	●	●						
A5.2	ENLARGED PLAN AND INTERIOR ELEVATIONS		●								●							
A5.3	ENLARGED PLAN AND INTERIOR ELEVATIONS		●								●							
A6.1	WALL AND BUILDING SECTIONS		●						●	●								
A6.2	STAIR SECTIONS AND DETAILS		●						●	●		●						
K1.0	KITCHEN PLAN AND EQUIP.		●						●	●	●							
S0.1	GENERAL NOTES			●					●	●		●						
S0.2	SPECIAL INSPECTIONS			●					●	●		●						
S1.0	MASTER FOUNDATION PLAN			●					●	●								
S1.1	FOUNDATION PLAN (NORTH)			●					●	●								
S1.2	FOUNDATION PLAN (SOUTH)			●					●	●								
S1.3	MEZZANINE FRAMING PLAN			●					●	●								
S1.4	ROOF FRAMING PLAN (NORTH)			●					●	●								
S1.5	ROOF FRAMING PLAN (SOUTH)			●					●	●								
P1.0a	FIRST FLOOR PLUMBING PLAN & SANITARY VENT				●				●	●	●							
P1.0b	FIRST FLOOR PLUMBING PLAN & SANITARY VENT				●				●	●	●							
P1.1a	FIRST FLOOR PLUMBING PLAN & WATER & GAS				●				●	●								
P1.1b	FIRST FLOOR PLUMBING PLAN & WATER & GAS				●				●	●	●							
P1.2a	MEZZANINE PLUMBING PLAN				●				●	●	●							
P1.2b	MEZZANINE PLUMBING PLAN				●				●	●	●							
P2.0a	SANITARY SCHEMATIC				●				●	●	●							
P2.0b	SANITARY SCHEMATIC				●				●	●	●							
P2.1a	SANITARY SCHEMATIC				●				●	●	●							
P2.1b	SANITARY SCHEMATIC				●				●	●	●							
P3.0	PLUMBING DETAILS AND ENLARGED PLAN				●				●	●								
P3.1	PLUMBING DETAILS AND ENLARGED PLAN				●				●	●								
P3.2	PLUMBING DETAILS AND ENLARGED PLAN				●				●	●								
M1.0a	FIRST FLOOR MECHANICAL PLAN				●				●	●								
M1.0b	FIRST FLOOR MECHANICAL PLAN				●				●	●	●							
M1.1a	MEZZANINE MECHANICAL PLAN				●				●	●	●							
M1.1b	MEZZANINE MECHANICAL PLAN				●				●	●	●							
M2.0	MECHANICAL SCHEDULES				●				●	●								
M2.1	MECHANICAL SCHEDULES				●				●	●								
M3.0	MECHANICAL DETAILS				●				●	●								
M3.1	MECHANICAL DETAILS				●				●	●								
M4.0	MECHANICAL SPECIFICATIONS				●				●	●								
E1.0a	FIRST FLOOR LIGHTING PLAN				●				●	●		●						
E1.0b	FIRST FLOOR LIGHTING PLAN				●				●	●		●						
E1.1a	MEZZANINE LIGHTING PLAN				●				●	●								
E1.1b	MEZZANINE LIGHTING PLAN				●				●	●		●						
E2.0a	FIRST FLOOR POWER PLAN				●				●	●	●							
E2.0b	FIRST FLOOR POWER PLAN				●				●	●	●							
E2.1a	MEZZANINE POWER PLAN				●				●	●	●							
E2.1b	MEZZANINE POWER PLAN				●				●	●	●							
E3.0	ELECTRICAL SCHEDULES AND DETAILS				●				●	●	●	●						
E4.0	ELECTRICAL RISER AND DETAILS				●				●	●	●							
E4.1	ELECTRICAL SCHEDULES				●				●	●								
ES1.0	ELECTRICAL SITE PLAN				●				●	●	●							
PROPRIETARY VENDOR DRAWINGS																		
EX-1	KITCHEN HOOD EQUIPMENT & SPECS								●									
EX-2	POOL SPECIFICATIONS AND EQUIPMENT SCHEDULE								●									
EX-3	RETAINING WALL DESIGN & CALCULATIONS - WALL (1)								●									
EX-4	RETAINING WALL DESIGN & CALCULATIONS - WALL (2)								●									

19009

ALT architecture

ALT Architecture Inc.
Architecture - Engineering
Interior Architecture - Planning

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THE RAVINE AT SETTLER'S POINTE

1345 W LYTLE-FIVE POINTS RD
SPRINGBORO, OH 45066

NEW ASSISTED LIVING FACILITY

STATE OF OHIO
James M. Alt
6507
REGISTERED ARCHITECT
James M. Alt, License #6507
Expiration Date, 12/31/2023

NO.	DATE	DESCRIPTION
-	06/24/22	FOR PLAN APPROVAL
A	08/11/22	ADDENDUM A
1	09/23/2022	RESPONSE TO CITY
2	08/18/2023	RESPONSE TO CITY

COVER SHEET

G001

CONSTRUCTION DRAWINGS
FOR
THE RAVINE AT SETTLERS POINT

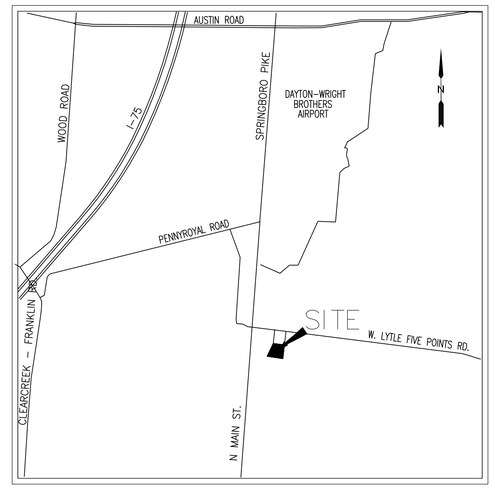
LOCATED IN
CITY OF SPRINGBORO
WARREN COUNTY, OHIO 45066

GENERAL NOTES

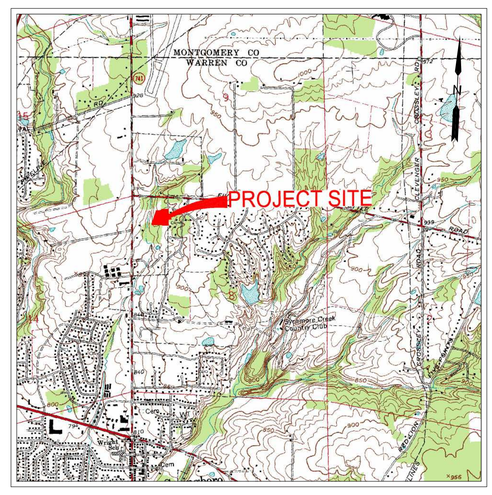
1) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH CITY OF SPRINGBORO STANDARDS AND SPECIFICATIONS ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE AT COMMUNITY CIVIL ENGINEERS. FOR ODOT SPECS VISIT; http://www.dot.state.oh.us/Divisions/ConstructionMgt/OnlineDocs/Pages/2010CMS.aspx
2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ODOT STANDARDS.
3) ALL TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL WHERE SHOWN IN PROFILE AND BE DONE IN ACCORDANCE WITH CITY OF SPRINGBORO SPECIFICATIONS AND COMPACTED BEFORE SUBGRADE APPROVAL.
4) ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE OR EASEMENT LINE, WHICHEVER IS FURTHEST, BEFORE STREETS ARE SURFACED.
5) ALL CATCH BASINS TO BE IN ACCORDANCE WITH ODOT STANDARDS UNLESS OTHERWISE SPECIFIED.
6) ALL MANHOLES TO BE TYPE "A" UNLESS OTHERWISE NOTED.
7) CHANNEL BOTTOMS OF ALL MANHOLES.
8) RADIUS OF BACK OF CURB AT INTERSECTIONS SHALL BE 25.00 FEET, UNLESS OTHERWISE SHOWN.
9) ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM.
10) CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPT OF TRANSPORTATION STD CONST DWG BP-7.1 TYPE 1.
11) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

UTILITY	OWNER	TELEPHONE
CABLE	SPECTRUM 1450 EXPERIMENT FARM RD. TROY, OH. 45373	(937)-294-6400
ELECTRIC	DAYTON POWER & LIGHT 1900 DRYDEN ROAD DAYTON, OH. 45439	(937)-331-4521
TELEPHONE	AT&T 3233 WOODMAN DR. DAYTON, OH 45420	(937)-296-3894
GAS	VECTREN 4285 N. JAMES H. McGEE BLVD. DAYTON, OH. 45427	(937)-312-2533
SANITARY SEWER WATER MAINS	CITY OF SPRINGBORO 320 WEST CENTRAL AVENUE SPRINGBORO, OHIO 45066	9(37)-748-4365

NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
12) ALL MANHOLES INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED EITHER CENTERED ON A TRAVELED LANE OR ON A LONGITUDINAL PAVEMENT MARKING STRIPE, SUCH AS A LANE LINE, CHANNELING LINE OR CENTERLINE.
13) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE EXPOSED SHALL BE SEEDED WITHIN 3 DAYS AS WORK IS COMPLETED IN THE AREA.
14) ALL CATCH BASIN LATERALS TO BE REINFORCED CONCRETE ASTM SPECIFICATION NUMBER C-76, CLASS 4, UNLESS OTHERWISE NOTED.
15) ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
16) ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
17) TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". ANY WORK ON A THOROUGHFARE OR WORK REQUIRING CLOSURES REQUIRES 48 HOUR NOTIFICATION AND APPROVAL OF THE MONTGOMERY COUNTY. NOTICE SHALL BE GIVEN TO THE PUBLIC WORKS DIRECTOR A MINIMUM TWO WEEKS PRIOR TO ANY CLOSING.
18) SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
19) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE BASE BID.
20) PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS ADJACENT TO THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
21) THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AT THE CONTRACTORS EXPENSE.
22) CITY OF SPRINGBORO STANDARD DRAWINGS ARE TO BE CONSIDERED PART OF THESE PLANS
23) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
24) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.
25) CONTRACTOR SHALL MAINTAIN INSPECTION AND MAINTENANCE LOGS OF EROSION CONTROL DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.
26) CONTRACTOR SHALL VERIFY ALL INVERTS PRIOR TO STARTING CONSTRUCTION DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.



VICINITY MAP
NO SCALE



USGS MAP
SCALE: 1" = 2,000'

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EXISTING FEATURES & DEMOLITION C2
SITE PLAN C3
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SWPPP TITLE SHEET CS100
SWPPP NOTES & DETAILS CS200
SWPPP NOTES & DETAILS CS201
SWPPP NOTES & DETAILS CS202
SWPPP NOTES & DETAILS CS203
SWPPP NOTES AND SOILS MAP CS300
EROSION & SEDIMENT CONTROL PLAN INITIAL INSTALLATION CS400
EROSION & SEDIMENT CONTROL PLAN DURING CONSTRUCTION CS401

CIVIL ENGINEER:
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BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.426.9798

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Beavercreek, Ohio 45434
937 427 2770 voice
937 426 9798 fax
info@altarchitecture.com

BENCHMARK #1
INVERT OF SANITARY MANHOLE LOCATED AT 21' WEST OF CUL-DE-SAC
INVERT ELEVATION 858.23

Ohio Utilities Protection Service
Call 811 before you dig

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REVISIONS

06/27/2022	UPDATED MECHANICAL EQUIPMENT AND WALL
02/08/2022	REVISED PER CITY COMMENTS

Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.426.9798

TITLE SHEET
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO
STEPHEN M. BUTLER
REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	
CHECK:	C1
JOB #: 21-482	

EXISTING PLAN NOTES:

1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. NOTE: SOME UTILITIES ARE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS.
2) AFTER THE INSTALLATION OF UTILITIES THE GROUND SHALL BE RETURNED TO IT'S ORIGINAL CONDITION
3) CONTRACTOR SHALL COORDINATE ANY UTILITY DISRUPTION WITH THE UTILITY COMPANY.
4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY.
5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE.
6) CONTRACTOR SHALL CALL OUPS PRIOR TO BREAKING GROUND.
7) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS APPLICABLE TO ALLOW DEMOLITION AND WORK IN RIGHT-OF-WAY
8) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND.
9) CONTRACTOR SHALL TAKE CARE TO PROTECT ALL TREES. DO NOT LAY DOWN EQUIPMENT OR OPERATE HEAVY EQUIPMENT BENEATH THE CANOPY AREA. TAKE CARE WHILE EXCAVATING NEAR TREE ROOTS.
10) CONTRACTOR SHALL VERIFY LOCATION AND TIE IN POINTS WITH UTILITY COMPANY PRIOR TO BREAKING GROUND.
11) CONTRACTOR SHALL CLEAR SCRUB BRUSH, FALLEN LIMBS, AND DEBRIS.

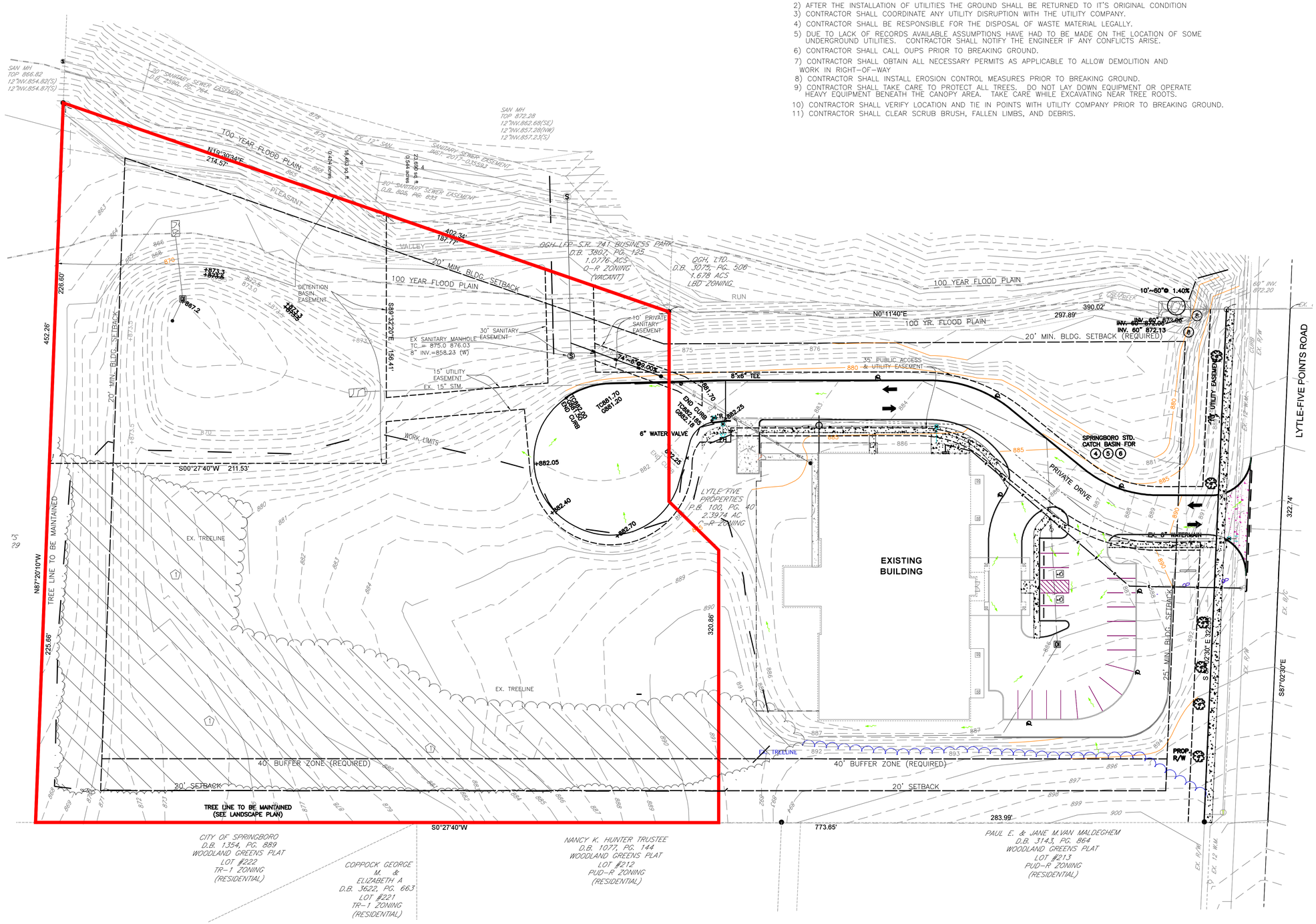
DEMOLITION LEGEND

1. REMOVE TREES
2. REMOVE TREE - RELOCATE OUTSIDE OF WORK AREA

REMOVE TREE INC. STUMP

LIMITS OF DEMOLITION

REMOVE TREES, INCL. ROOTS



Ohio Utilities Protection Service
Call 811 before you dig

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REVISIONS

06/27/2022	UPDATED MECHANICAL EQUIPMENT AND WALL
02/08/2022	REVISED PER CITY COMMENTS

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BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.428.9798

EXISTING SURVEY & FEATURES PLAN

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO STEPHEN M. BUTLER 73764 REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	C2
CHECK:	
JOB #: 21-482	

KEYNOTES:

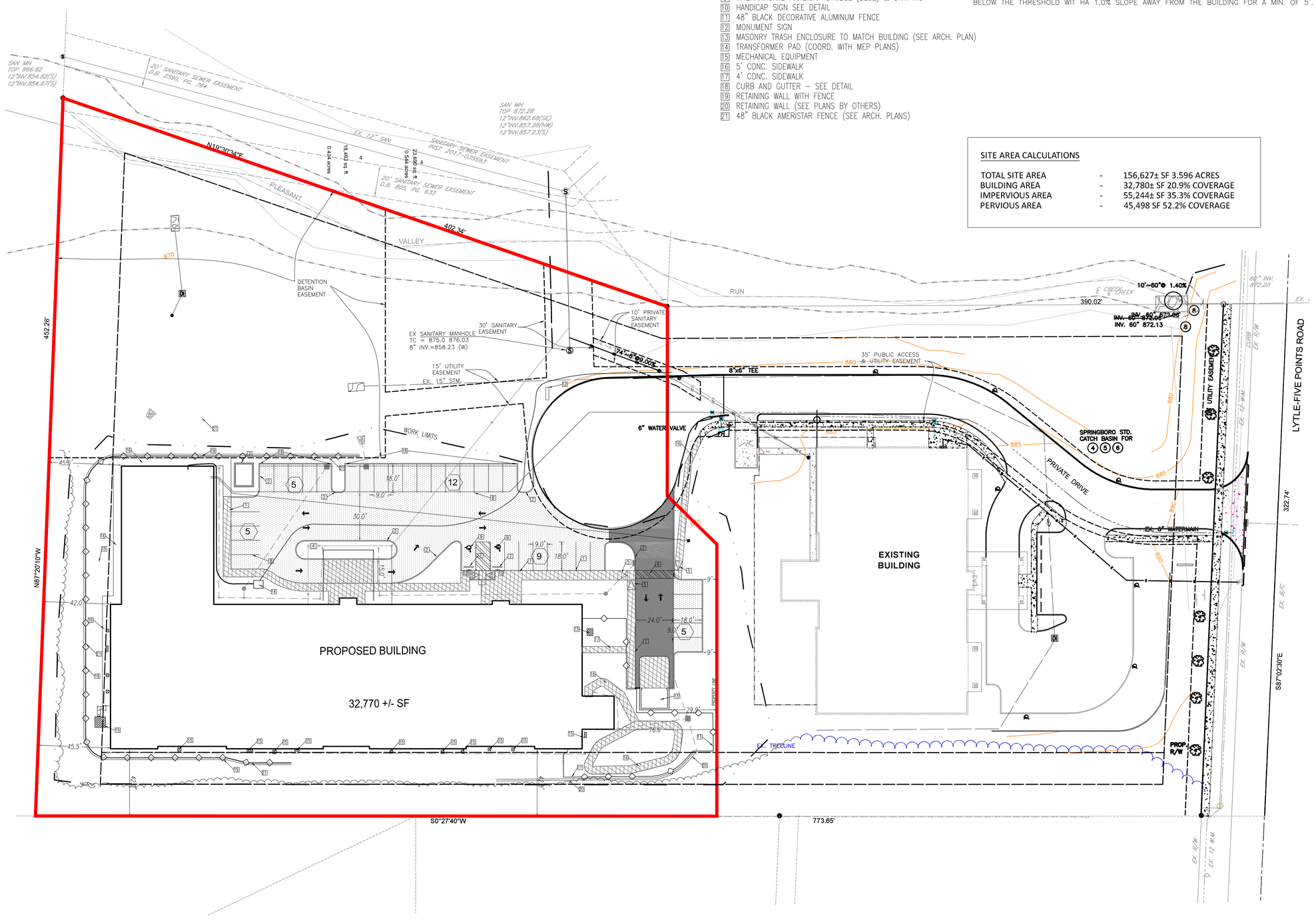
1. 5'W INTEGRAL CURB & WALK
2. ODOT TYPE 6 BARRIER CURB
3. GENERATOR ENCLOSURE (SEE ARCH. PLANS)
4. GREASE TRAP
5. HC RAMP 12:1 MAX
6. 5' PAINTED CROSSWALK
7. BUMPER BLOCK
8. WHITE PAINT PER ODOT ITEM 642
9. INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
10. HANDICAP SIGN SEE DETAIL
11. 48" BLACK DECORATIVE ALUMINUM FENCE
12. MONUMENT SIGN
13. MASONRY TRASH ENCLOSURE TO MATCH BUILDING (SEE ARCH. PLAN)
14. TRANSFORMER PAD (COORD. WITH MEP PLANS)
15. MECHANICAL EQUIPMENT
16. 5' CONC. SIDEWALK
17. 4' CONC. SIDEWALK
18. CURB AND GUTTER – SEE DETAIL
19. RETAINING WALL WITH FENCE
20. RETAINING WALL (SEE PLANS BY OTHERS)
21. 48" BLACK AMERISTAR FENCE (SEE ARCH. PLANS)

SITE PLAN NOTES

1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
2) RADIUS DIMENSIONS ARE TO FACE OF CURB OR FACE OF PAINT UNLESS OTHERWISE NOTED.
3) SEE ARCHITECTURAL AND PLUMBING PLANS FOR UTILITY LOCATIONS AT PROPOSED BUILDING.
4) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS.
5) ALL CURB SHALL BE BARRIER CURB OR COMBINATION CURB AND GUTTER SEE DETAIL SHEET
6) CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR CURB UNDERDRAINS.
7) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS.
8) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.
9) SLOPE IN HANDICAP PARKING SPACE MAY NOT EXCEED 2.0% IN ANY DIRECTION.
10) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WIT HA 1.0% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'.

SITE AREA CALCULATIONS

TOTAL SITE AREA	-	156,627± SF 3.596 ACRES
BUILDING AREA	-	32,780± SF 20.9% COVERAGE
IMPERVIOUS AREA	-	55,244± SF 35.3% COVERAGE
PERVIOUS AREA	-	45,498 SF 52.2% COVERAGE



PARKING REQUIREMENTS:

PROFESSIONAL OFFICE

REQUIRED: 0.5 SPACES PER BED

TOTAL BEDS = 48

PARKING REQUIRED = 24 SPACES
MAX. ALLOWED 150% = 36 SPACES

PARKING PROVIDED: 36 INCL. 2 HC

N

0 30 60 90

LEGEND

- 10 — PARKING SPACE COUNT
- HEAVY DUTY PAVEMENT (SEE DETAIL SHEET)
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET)
- NEW CONCRETE

REVISIONS

06/27/2022	UPDATED MECHANICAL EQUIPMENT AND WALL
02/08/2022	REVISED PER CITY COMMENTS

CCE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.428.9798

SITE PLAN

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO
STEPHEN M. BUTLER
REGISTERED PROFESSIONAL ENGINEER

Ohio Utilities Protection Service
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DESIGN: SMB	DATE: 09/20/2021
DRAWN:	C3
CHECK:	
JOB #: 21-482	

UTILITY NOTES

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES, MEP & ARCH. PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
2. CLEAN OUTS LOCATED IN PAVED AREAS SHALL BE TRAFFIC RATED AND BE FLUSH WITH THE SURFACE.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL UTILITIES.
4. CONTRACTOR SHALL REFER TO DETAIL SHEET FOR TRENCHING DETAILS.
5. REFER TO SPRINGBORO STANDARD DRAWINGS AND SPECIFICATION FOR UTILITY CONNECTION AND GENERAL SITE DETAILS
6. 18" SEPARATION SHALL BE MAINTAINED BETWEEN OUTSIDE OF CONDUITS AT UTILITY CROSSINGS.

UTILITY COMPANY NOTES:

1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
2. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION.. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER UTILITY COMPANIES.
3. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
4. CONTRACTOR SHALL VERITY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.
5. SEE DRAINAGE PLAN FOR STORM SCHEDULE.

STORM SEWER

1. BICYCLE SAFE GRATES AND RATED FOR CLASS D LOADS SHALL ONLY BE USED.
2. COORDINATE CONNECTION OF DOWNSPOUTS TO THE STORM DRAINAGE SYSTEM. SEE PLUMBING PLANS. CONFIRM ALL LOCATIONS AND CONNECTIONS PER ROOFING AND UNDERFLOOR PLAN PRIOR TO CONSTRUCTION.
3. ALL STORM SEWER SHALL BE HDPE OR ENGINEER APPROVED EQUAL.
4. ALL CATCH BASINS LOCATED IN PAVED AREAS SHALL HAVE FINGER DRAINS INSTALLED PER DETAIL.
5. SEE DRAINAGE PLAN FOR STORM SEWER INFORMATION INCLUDING STORM SCHEDULE.

ELECTRIC NOTES:

CONTRACTOR SHALL COORDINATE WITH ELECTRIC PLANS TO PROVIDE CONDUIT SLEEVES AS NECESSARY.

CONTRACTOR SHALL COORDINATE WITH ELECTRIC SUPPLY COMPANY TO DETERMINE POINT OF CONNECTION TO SUPPLY AND PROVIDE ADEQUATE CONDUITS TO BUILDING.

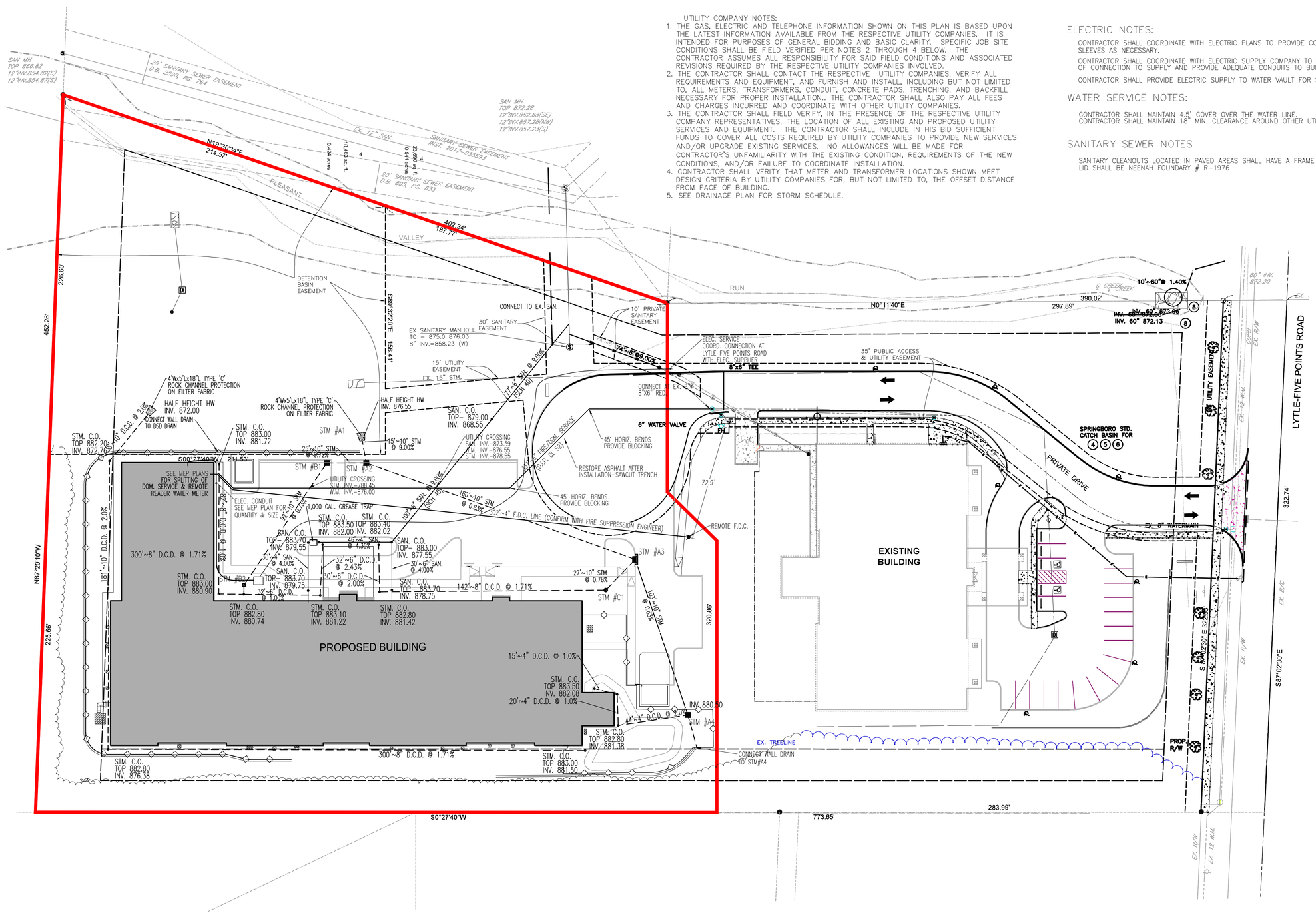
CONTRACTOR SHALL PROVIDE ELECTRIC SUPPLY TO WATER VAULT FOR SUMP PUMP.

WATER SERVICE NOTES:

CONTRACTOR SHALL MAINTAIN 4.5' COVER OVER THE WATER LINE.
CONTRACTOR SHALL MAINTAIN 18" MIN. CLEARANCE AROUND OTHER UTILITIES.

SANITARY SEWER NOTES

SANITARY CLEANOUTS LOCATED IN PAVED AREAS SHALL HAVE A FRAME AND LID. (SEE DETAIL)
LID SHALL BE NEENAH FOUNDARY # R-1976



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02/08/2022	REVISED PER CITY COMMENTS

Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937-426-9460 FAX 937-426-9708

UTILITY PLAN
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO STEPHEN M. BUTLER 67164 REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	C4
CHECK:	
JOB #: 21-482	

GRADING LEGEND:

+ 663.05	EXISTING GRADE
63.00 / 62.50	TOP OF CURB / PAVEMENT GRADE
61.00 / PVMT	SPOT GRADES ON PAVEMENT/CONC/EOP
	OVERLAND DRAINAGE FLOW DIRECTION
	WORK LIMIT
PVMT	PAVEMENT
CONC.	CONCRETE
HP	HIGH POINT
GND	GROUND
ASPH	ASPHALT

GRADING NOTES:

1. BEFORE STARTING GRADING OPERATIONS, SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).

2. BEFORE STARTING GRADING OPERATIONS, SEE LANDSCAPE PLAN AND SOILS REPORT FOR TREATMENT OF EXISTING GRADE.

3. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.

4. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS. STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.

5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

6. ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

7. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.

8. EMBANKMENT SHALL BE COMPACTED AND PLACED IN LAYERS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STORM SEWER.

9. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.

10. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.

11. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESPREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.

12. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.

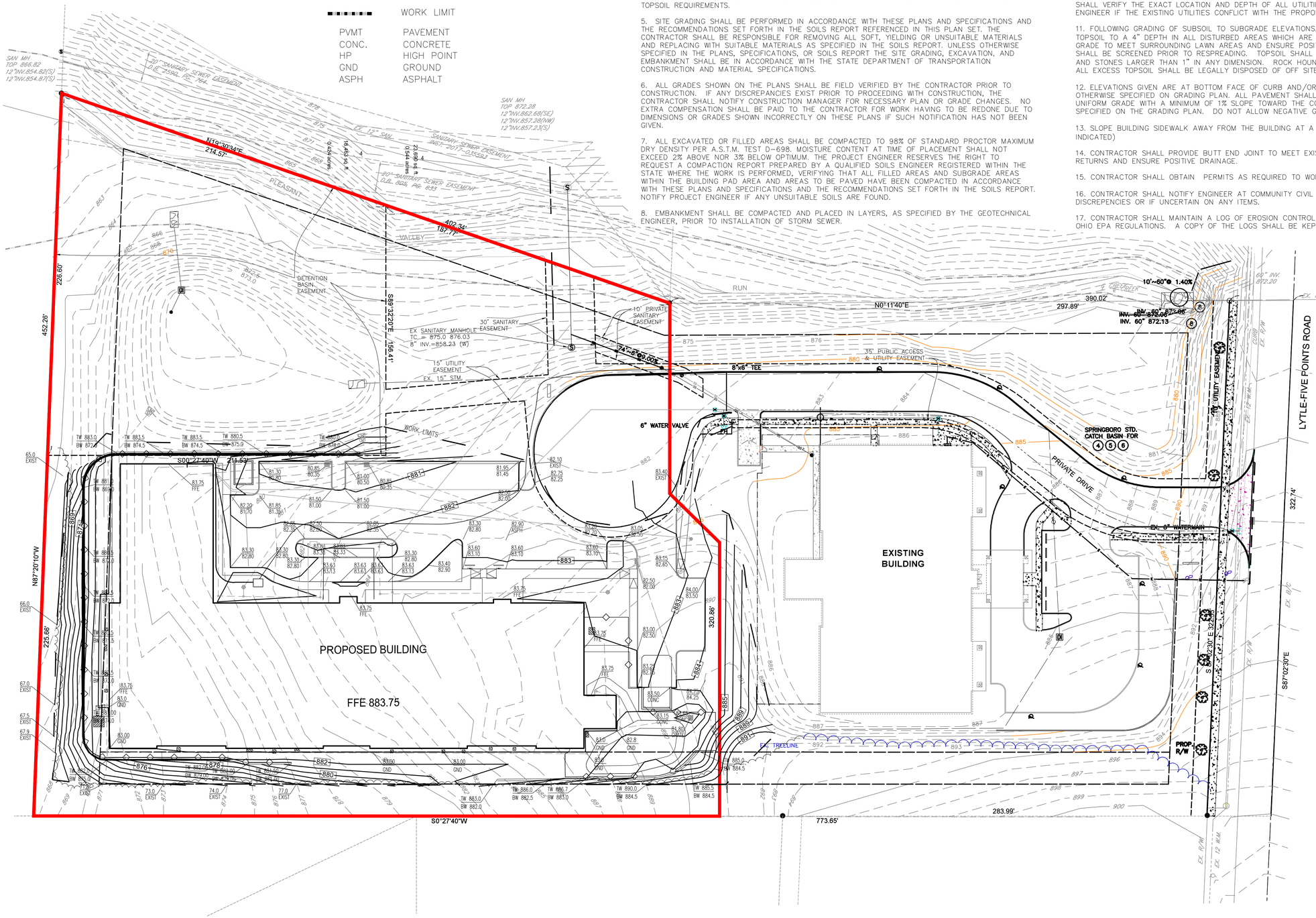
13. SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED)

14. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.

15. CONTRACTOR SHALL OBTAIN PERMITS AS REQUIRED TO WORK IN RIGHT-OF-WAY.

16. CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (937.490.9460) OF ANY DISCREPENCIES OR IF UNCERTAIN ON ANY ITEMS.

17. CONTRACTOR SHALL MAINTAIN A LOG OF EROSION CONTROL MAINTENANCE AND INSPECTION PER OHIO EPA REGULATIONS. A COPY OF THE LOGS SHALL BE KEPT ON-SITE.



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REVISIONS

06/27/2022	UPDATED MECHANICAL EQUIPMENT AND WALL
02/08/2022	REVISED PER CITY COMMENTS

Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.428.9798

GRADING PLAN

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO — STEPHEN M. BUTLER — 65764 — REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	C5
CHECK:	
JOB #: 21-482	

Ohio Utilities Protection Service
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STORM SEWER SYSTEM

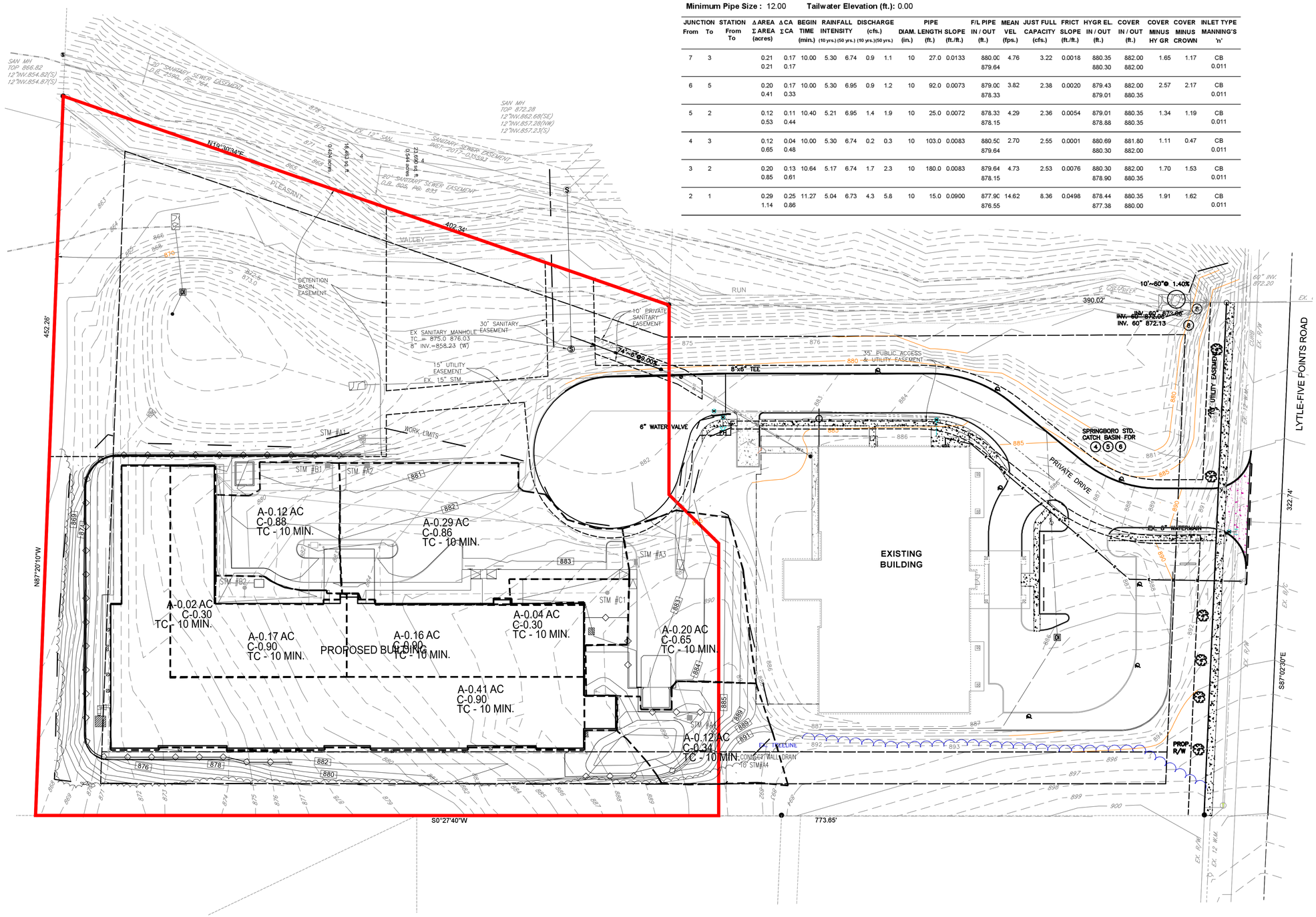
PID : **Date :** **Project :** The Ravine at Settlers **Location :** Lytle Five Points Road

Description : Storm Run 1 **Designer :** Stephen Butler

Rainfall Area: C **Just Full Capacity Frequency (yrs.) :** 10 **Hydraulic Gradient Frequency (yrs.) :** 50

Minimum Pipe Size : 12.00 **Tailwater Elevation (ft.):** 0.00

JUNCTION From	JUNCTION To	STATION From	STATION To	Δ AREA Σ AREA (acres)	Δ CA ΣCA	BEGIN TIME (min.)	RAINFALL INTENSITY (10 yrs.)	RAINFALL INTENSITY (50 yrs.)	DISCHARGE (cfs.) (10 yrs.)	DISCHARGE (cfs.) (50 yrs.)	PIPE DIAM. (in.)	PIPE LENGTH (ft.)	PIPE SLOPE (ft./ft.)	F/L PIPE IN / OUT (ft.)	MEAN VEL (fps.)	JUST FULL CAPACITY (cfs.)	FRICT SLOPE (ft./ft.)	HYGR EL. IN / OUT (ft.)	COVER IN / OUT (ft.)	COVER MINUS HY GR	COVER MINUS CROWN	INLET TYPE MANNING'S 'n'
7	3			0.21 0.21	0.17 0.17	10.00	5.30	6.74	0.9	1.1	10	27.0	0.0133	880.00 879.64	4.76	3.22	0.0018	880.35 880.30	882.00 882.00	1.65	1.17	CB 0.011
6	5			0.20 0.41	0.17 0.33	10.00	5.30	6.95	0.9	1.2	10	92.0	0.0073	879.00 878.33	3.82	2.38	0.0020	879.43 879.01	882.00 880.35	2.57	2.17	CB 0.011
5	2			0.12 0.53	0.11 0.44	10.40	5.21	6.95	1.4	1.9	10	25.0	0.0072	878.33 878.15	4.29	2.36	0.0054	879.01 878.88	880.35 880.35	1.34	1.19	CB 0.011
4	3			0.12 0.65	0.04 0.48	10.00	5.30	6.74	0.2	0.3	10	103.0	0.0083	880.50 879.64	2.70	2.55	0.0001	880.69 880.30	881.80 882.00	1.11	0.47	CB 0.011
3	2			0.20 0.85	0.13 0.61	10.64	5.17	6.74	1.7	2.3	10	180.0	0.0083	879.64 878.15	4.73	2.53	0.0076	880.30 878.90	882.00 880.35	1.70	1.53	CB 0.011
2	1			0.29 1.14	0.25 0.86	11.27	5.04	6.73	4.3	5.8	10	15.0	0.0900	877.90 876.55	14.62	8.36	0.0498	878.44 877.38	880.35 880.00	1.91	1.62	CB 0.011



STORM SCHEDULE

STM. #A1
HALF HEIGHT HW
INV. 876.55

STM. #A2
ODOT 2-2B
GRATE 880.35
10" INV 877.90 (W)
10" INV 878.15 (S,NE)

STM. #A3
CURB INLET
GRATE 882.00
10" INV 879.64

STM. #A4
ODOT 2-2B
GRATE 881.80
10" INV 880.50
4" INV 880.50

STM. #B1
ODOT 2-2B
RIM 880.35
10" INV. 878.33

STM. #B2
YARD INLET
GRATE 882.00
10" INV 879.00
8" INV 880.68

STM. #C1
YARD INLET
TOP 882.00
10" INV 880.00
8" INV 880.00

DRAINGE DATA

ALLOWED TRIBUTARY TO POND	2.14 ACRES
ALLOWED IMPERVIOUS	1.40 ACRES
PROPOSED TRIBUTARY TO POND	1.64 ACRES
PROPOSED IMPERVIOUS	1.27 ACRES

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2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.426.9460 FAX 937.426.9798

DRAINAGE PLAN
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO STEPHEN M. BUTLER 67164 REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
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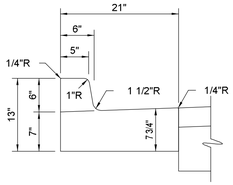
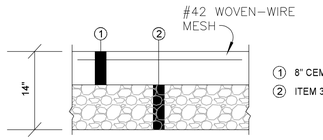
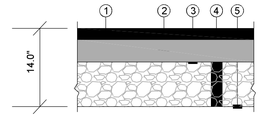


COMBINED CURB & GUTTER
NTS



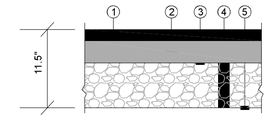
1. 8" CEMENT CONCRETE (4,000PSI, AIR ENTRAINED)
2. ITEM 304 (6") BASE COURSE

CONCRETE DUMPSTER PAD
NTS
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



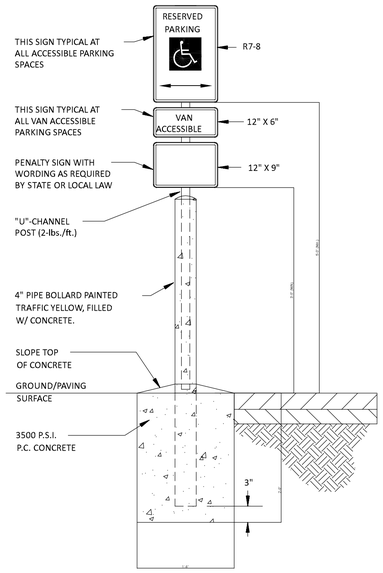
1. ITEM 448~1-1/2" A.C. SURFACE COURSE, TYPE 1, PG64-22
2. ITEM 448~2-1/2" A.C. INTERM. COURSE, TYPE 2, PG64-22
3. ITEM 408 PRIME COAT 0.40 GAL/S.Y.
4. ITEM 304 (10") BASE COURSE
5. ITEM 204 COMP. SUBGRADE

HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



1. ITEM 448~1-1/2" A.C. SURFACE COURSE, TYPE 1, PG64-22
2. ITEM 448~2" A.C. INTERM. COURSE, TYPE 2, PG64-22
3. ITEM 408 PRIME COAT 0.40 GAL/S.Y.
4. ITEM 304 (8") BASE COURSE
5. ITEM 204 COMP. SUBGRADE

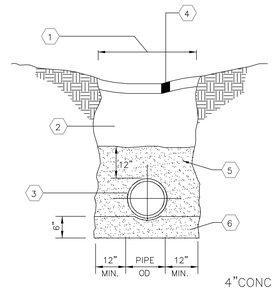
STANDARD ASPHALT PAVEMENT SECTION
NTS
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



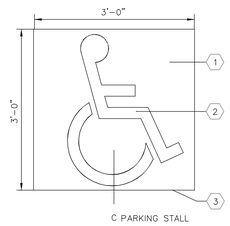
ACCESSIBLE PARKING SIGN
N.T.S.

KEYED NOTES

1. EXCAVATE WIDTH OF TRENCH AS NEEDED
2. PLACE SUITABLE SOIL OR GRANULAR BACKFILL IN 6" MAX. LIFTS. SUITABLE SOIL SHALL BE COMPACTED TO 90% MIN. (98% MIN. UNDER PAVEMENT) DRY DENSITY, PER ASTM D698. GRANULAR BACKFILL SHALL BE COMPACTED TO 75% (80% UNDER PAVEMENT) RELATIVE DENSITY, PER ASTM 4353. GRANULAR BACKFILL REQUIRED UNDER PAVEMENT.
3. PROPOSED STORM OR SANITARY SEWER
4. TOPSOIL, SOD, AND MULCHING OR PAVEMENT AS DETAILED ELSEWHERE.
5. NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE
6. NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 6" BELOW THE BOTTOM OF THE PIPE



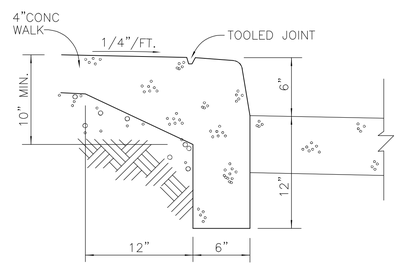
TRENCH DETAIL
N.T.S.



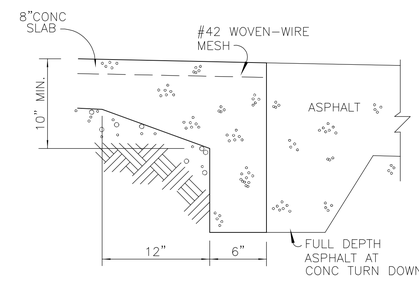
KEYED NOTES

1. PAINT BACKGROUND BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-30 - BLUE
2. PAINT SYMBOL BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-01 - WHITE
3. BOTTOM EDGE OF SYMBOL BOX SHALL MATCH END OF STALL STRIPE AT DRIVE AISLE END OF STALL.

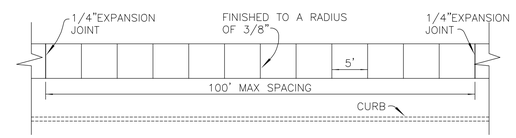
ADA PAVEMENT SYMBOL
N.T.S.



CURB CONSTRUCTION ALONG WALK
NTS



CONCRETE TURN DOWN AT DUMPSTER
NTS
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY

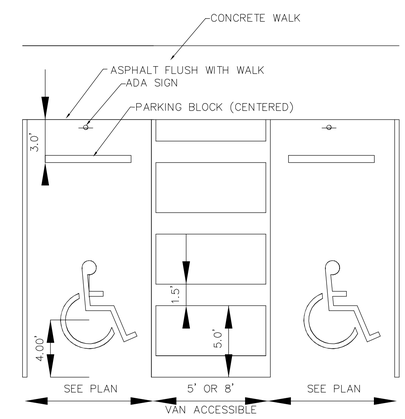


PLAN VIEW

NOTES:

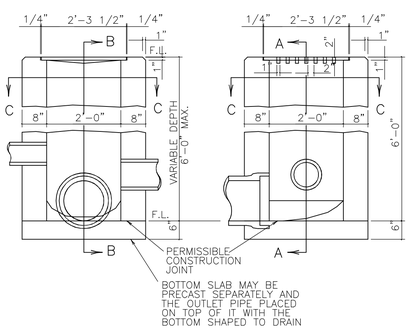
1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
4) 3" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS IF DETERMINED NECESSARY.
5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

SIDEWALK DETAIL (PRIVATE)
NTS



ADA PARKING SPACE DETAIL
NTS

CONTRACTOR SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
PAINT SHALL BE WHITE AND CONFORM TO OHIO DOT ITEM 642



SECTION A-A SECTION B-B

GRATES SHALL BE HEAVY DUTY BICYCLE SAFE (NOT SHOWN) SIMILAR TO EAST JORDAN 5110-M3 OR NEENAH R-4859-C.

LOCATION AND ELEVATION WHEN GIVEN ON THE PLANS IS TOP CENTER OF THE GRATE.WHEN SIDE OPENINGS ARE PROVIDED,ELEVATION SHALL BE THE FLOW LINE OF THE SIDE INLET.

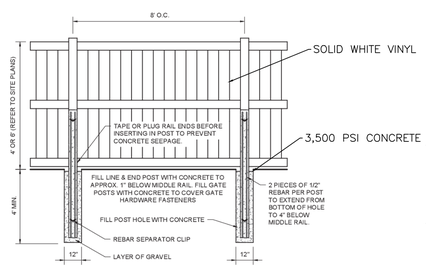
GRATING AND FRAME ~ THE DESIGN SHALL BE ESSENTIALLY THE SAME AND EQUALLY AS STRONG AS THE ONE SHOWN HEREON.
WEIGHT OF GRATE,MINIMUM,120 lbs.
WEIGHT OF FRAME,MINIMUM,40 lbs.

BRICK,CONCRETE BLOCK OR CAST-IN-PLACE WALLS HAVE A NOMINAL THICKNESS OF 8 INCHES.PRECAST WALLS SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES AND BE REINFORCED SUFFICIENTLY TO PERMIT SHIPPING AND HANDLING WITHOUT DAMAGE.

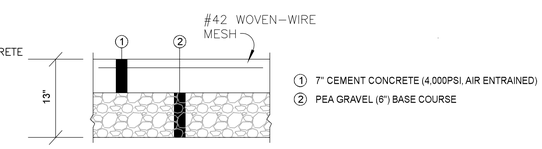
CONCRETE,CAST-IN -PLACE,TO BE CLASS C.ALL PRECAST CONCRETE SHALL MEET THE REQUIRMENTS OF 706.13 WITH 6 +/- 2% AIR VOID CONTENT IN THE HARDENED CONCRETE AND BE MARKED WITH CATCH BASIN NUMBER.

OPENINGS FOR PIPES SHALL BE O.D. +2" WHEN FABRICATED OR FIELD CUT.

NOTE;
GRATE SHALL BE BICYCLE SAFE

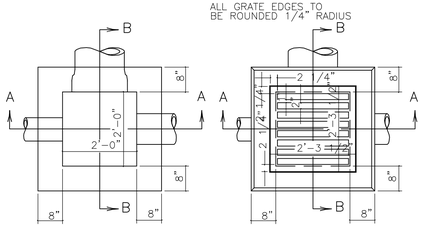


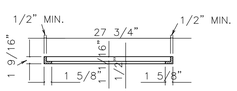
VINYL FENCE DETAIL (AROUND CONDENSING UNITS)



1. 7" CEMENT CONCRETE (4,000PSI, AIR ENTRAINED)
2. PEA GRAVEL (6") BASE COURSE

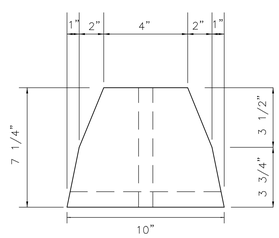
CONCRETE UNDER CANOPY
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)

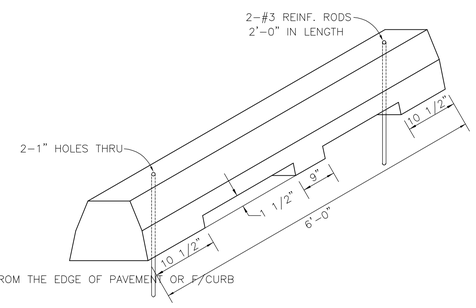




SECTION THOUGH ANGLE FRAME

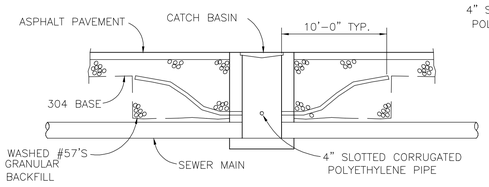
STANDARD No. 2-2-B CATCH BASIN (PRIVATE)
NTS

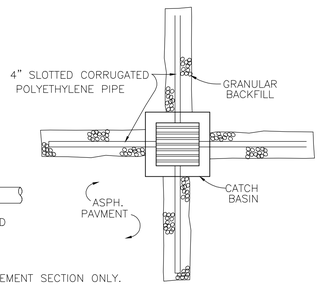




PARKING BLOCK SHALL BE 2.0' FROM THE EDGE OF PAVEMENT OR F/CURB

PARKING BLOCK DETAIL
NTS





NOTE: TO BE USED WITH AGGREGATE BASE PAVEMENT SECTION ONLY.

FINGER DRAINS AROUND CATCH BASINS (TYPICAL)
NTS

REVISIONS

CCE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.426.9460 FAX 937.426.9798

SITE DETAILS (1)

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO
STEPHEN M. BURKE
E-84164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	
CHECK:	C7
JOB #: 21-482	

STANDARD GRATE as shown in the plan view shall be provided unless the plans specifically require grate ℄. Place grate so the diagonal bars direct drainage flow toward the curb. All bar edges to be rounded ⅜" radius.

CASTINGS shall meet the requirements of 604. The design shall be essentially the same and equally as strong as those shown hereon.

WEIGHTS, minimum --

Curb casting	170 pounds.
Gutter grate	127 pounds
Gutter frame	320 pounds

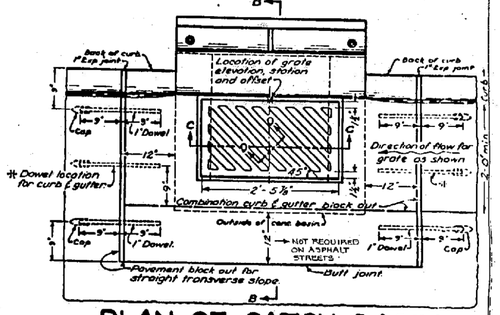
BEARING AREAS of frame and grate shall be so fitted and finished as to provide a firm and even seat for all portions of the grate in the frame. No projections shall exist on bearing areas of either casting and the grate shall seat in its frame without rocking.

DOWELS: Four 1"x18" dowels are required for concrete pavement or gutter blockout. See BP-4 for dowel details.

BRICK OR CONCRETE BLOCK side walls, when used in place of concrete, shall be 8 inches nominal thickness.

BLOCKOUT shall be paved with Class C concrete in PCC pavement or gutter and paid for as part of the pavement or gutter with no deduction in pavement, curb or gutter quantities because of the castings. A Class C concrete apron the size of the ℄ gutter blockout shall be cast in place in asphalt pavement (no dowels required) with the cost included in the catch basin bid price. No deduction to be made in curb quantities.

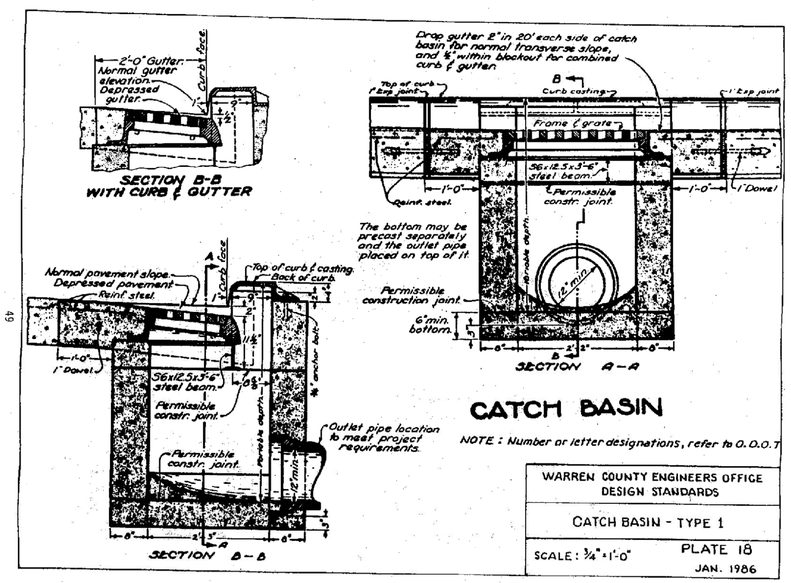
PRECAST construction is permitted, except for the apron, and concrete shall meet the requirements of 706.13 with 6±2% entrained air. Steel reinforcement shall be sufficient to permit shipping and placement without damage.



PLAN OF CATCH BASIN AND PAVEMENT JOINTS

NOTE: Number or letter designations, refer to O.D.O.T.

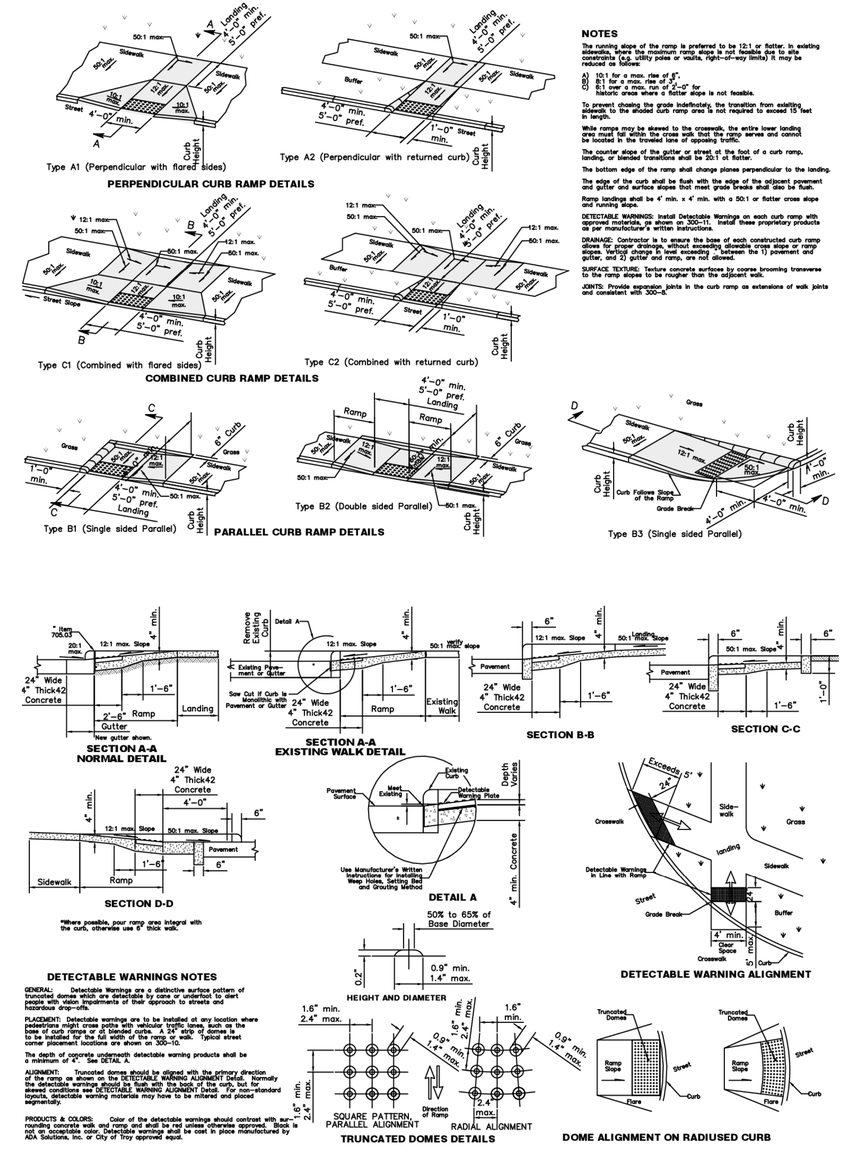
WARREN COUNTY ENGINEERS OFFICE DESIGN STANDARDS	
CATCH BASIN - TYPE 1	
SCALE: ¼"=1'-0" REVISED: 6/27/95	PLATE 18 JAN. 1986



CATCH BASIN

NOTE: Number or letter designations, refer to O.D.O.T

WARREN COUNTY ENGINEERS OFFICE DESIGN STANDARDS	
CATCH BASIN - TYPE 1	
SCALE: ¼"=1'-0"	PLATE 18 JAN. 1986



NOTES

The running slope of the ramp is preferred to be 12:1 or flatter. In existing sidewalks, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

A) 10:1 for a max. rise of 6".
B) 8:1 for a max. rise of 3".
C) 6:1 over a max. run of 2'-0" for historic areas where a flatter slope is not feasible.

To prevent chasing the grade indefinately, the transition from existing sidewalk to the shaded curb ramp area is not required to exceed 15 feet in length.

While ramps may be skewed to the crosswalk, the entire lower landing area must be within the cross walk, that the ramp serves and cannot be located in the traveled lane of opposing traffic.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transitions shall be 20:1 or flatter.

The bottom edge of the ramp shall change planes perpendicular to the landing.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

Ramp landings shall be 4' min. x 4' min. with a 50:1 or flatter cross slope and running slope.

DETECTABLE WARNINGS: Install Detectable Warnings on each curb ramp with approved materials, as shown on 300-11. Install these proprietary products as per manufacturer's written instructions.

DRAINAGE: Contractor is to ensure the base of each constructed curb ramp shall not create a ponding condition. Acceptable cross slope or ramp slope, to stop ponding in well exceeding 50' between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

SURFACE TEXTURE: Texture concrete surfaces by coarse broooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the curb ramp as extensions of walk joints and consistent with 300-8.

DETECTABLE WARNINGS NOTES

GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.

PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. Typical street corner placement locations are shown on 300-10.

The depth of concrete underneath detectable warning products shall be a minimum of 6". See DETAIL A.

ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but for skewed conditions see DETECTABLE WARNING ALIGNMENT Detail. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.

PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding concrete walk and ramp and shall be red unless otherwise approved. Black is not an acceptable color. Detectable warnings shall be cast in place manufactured by ADA Solutions, Inc. or City of Troy approved equal.

REVISIONS

CCE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937-490-9460 FAX 937-426-9798

SITE DETAILS (2)

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY, OHIO

STATE OF OHIO STEPHEN M. BELL 65164 REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/20/2021
DRAWN:	C8
CHECK:	
JOB #: 21-482	

STORMWATER POLLUTION PREVENTION PLAN
FOR

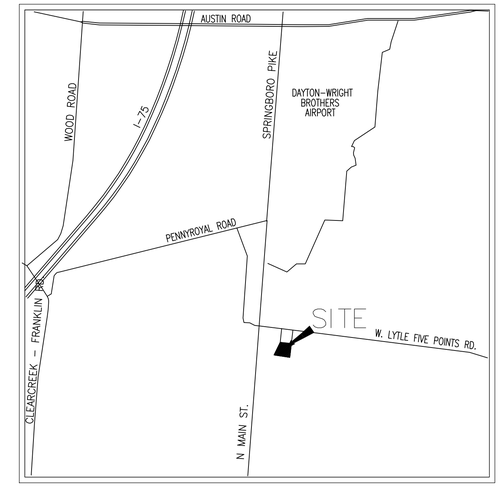
THE RAVINE AT AT SETTLERS POINTE

1345 W. LYTLE FIVE POINTS ROAD
CITY OF SPRINGBORO
WARREN COUNTY OHIO

BENCHMARKS:

BENCHMARK #1

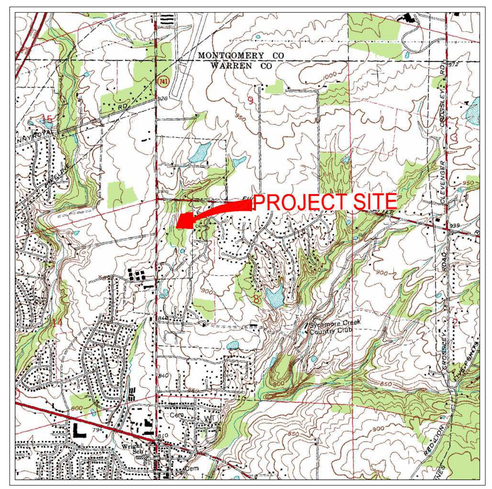
INVERT ELEVATION OF EXISTING SAN. MH. 21' WEST OF CUL-DE-SAC
ELEV = 858.23'



LOCATION MAP
NO SCALE

SHEET INDEX:

SWPPP TITLE SHEET	CS 100
SWPPP NOTES & DETAILS	CS 200
SWPPP NOTES & DETAILS	CS 201
SWPPP NOTES & DETAILS	CS 202
SWPPP NOTES & DETAILS	CS 203
SWPPP NOTES & SOILS MAP	CS 300
EROSION AND SEDIMENT CONTROL PLAN (INITIAL INSTALLATION)	CS 400
EROSION AND SEDIMENT CONTROL PLAN (DURING CONSTRUCTION)	CS 401



USGS MAP
SCALE: 1" = 2,000'

LATITUDE: 39°34'25" N LONGITUDE: -84°13'43" W

SCALE IN MILES
0 2000' 4000' 6000' 8000'

DEVELOPER

ATTN: SEVA GROUP LLC

PHONE: (937) 350-1211
EMAIL sbarry058@gmail.com

SITE CONTACT:

ATTN: TO BE DETERMINED

PHONE:
EMAIL

GENERAL SUMMARY:

ESTIMATED START DATE: 03/01/2022
ESTIMATED COMPLETION DATE: 08/15/2023

IMPERVIOUS AREA ESTIMATE: 1.05 ACRES
PERCENT IMPERVIOUSNESS CREATED: 36%
PERCENT IMPERVIOUSNESS EXISTING: 0%

UTILITY CONTACTS:

UTILITY	OWNER	TELEPHONE
CABLE	SPECTRUM 1450 EXPERIMENT FARM RD. TROY, OH. 45373	(937)-294-6400
ELECTRIC	DAYTON POWER & LIGHT 1900 DRYDEN ROAD DAYTON, OH. 45439	(937)-331-4521
TELEPHONE	AT&T 3233 WOODMAN DR. DAYTON, OH 45420	(937)-296-3894
GAS	VECTREN 4285 N. JAMES H. McGEE BLVD. DAYTON, OH. 45427	(937)-312-2533
SANITARY SEWER WATER MAINS	CITY OF SPRINGBORO 320 WEST CENTRAL AVENUE SPRINGBORO, OHIO 45066	9(37)-748-4365

CHANGE ORDER SCHEDULE

CHANGE	PREPARED	DATE OF CHANGE	DESCRIPTION OF CHANGE	SHEET NO.	APPROVED	DATE OF APPROVAL

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL THE MINIMUM STANDARDS AS DELINEATED IN THE BUTLER COUNTY DESIGN, CONSTRUCTION AND SURVEYING STANDARDS MANUAL HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE BUTLER COUNTY ENGINEER.

STATE OF OHIO STEPHEN M. BUTLER 73364 REGISTERED PROFESSIONAL ENGINEER

SIGNATURE AND SEAL 9/24/2021 DATE

REVISIONS
6 5 4 3 2 1

PREPARED FOR:

CCE
Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937-430-9460 FAX 937-426-9798

SWPPP TITLE SHEET

THE RAVINE AT SETTLERSPOINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO STEPHEN M. BUTLER 73364 REGISTERED PROFESSIONAL ENGINEER

DESIGN:	DATE:
SMB	09/24/2021
JOB #: 21-482	CHECK:

CS100

SITE DESCRIPTION

PROJECT NAME AND LOCATION:
THE RAVINES AT SETTLERS POINT
1345 W. LYTLE FIVE POINTS ROAD
SPRINGBORO, OHIO 45066

OWNER NAME, ADDRESS, AND EMAIL:
SEVA GROUP LLC
1325 W. LYTLE FIVE POINTS ROAD, SPRINGBORO, OHIO 45066
EMAIL sbarry058@gmail.com

DESCRIPTION: (PURPOSE AND TYPES OF SOIL DISTURBING ACTIVITIES)
CONSTRUCTION TO BE COVERED UNDER THIS PERMIT INCLUDES EARTHWORK, STORM ,
SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND GRUBBING; PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; GRADING; EXCAVATION AND EMBANKMENT, STORM SEWER, FINAL PLANTING AND
SEEDING.

RUNOFF COEFFICIENT: PRE-DEVELOPMENT RUN-OFF COEFFICIENT – 0.30
POST-DEVELOPMENT RUN-OFF COEFFICIENT – 0.52

SITE AREA: THE SITE IS APPROXIMATELY 3.6 ACRES OF WHICH 2.0 +/- ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

SITE DESCRIPTION:
THIS SITE IS CURRENTLY VACANT AND UNDISTURBED.

SUBDIVISION	(FUTURE)
COMMERCIAL	X
INDUSTRIAL	
P.U.D.	
OTHER	(SOME EXISTING DEVELOPMENT)

SOIL TYPES:
Russell-Miamian Silt Loams and Miamian-Russell Silt Loams
Ross Loam

THESE SOILS ARE PRESENT IN AREAS OF DISTURBANCE

SEQUENCE OF MAJOR ACTIVITIES:
THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:
1. INSTALL PERIMETER CONTROLS
2. CLEAR AND GRUB
3. FULL SITE GRADING
4. PILE TOPSOIL WITHIN SILT FENCE PERIMETER
5. STABILIZE DENUDED AREAS AND STOCKPILES WITHIN 14 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA
6. INSTALL UTILITIES
7. INSTALL INLET PROTECTION
8. BUILDING CONSTRUCTION
9. FINAL GRADING AND INSTALL PERMANENT SEEDING
10. RESEED ANY DISTURBED AREAS AND LANDSCAPE SITE

NAME OF RECEIVING WATERS: STORM WATER DISCHARGES TO AN EXISTING DETENTION BASIN, LOCATED TO ON THE SOUTHWEST SECTION OF THE SITE.
THE DETENTION BASIN DISCHARGES TO AN UNNAMED TRIBUTARY TO CLEAR CREEK

GENERAL NOTES

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO RAINWATER AND LAND DEVELOPMENT HANDBOOK (2006).

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DISCRETION.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES.

THE CONTRACTOR SHALL USE EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT MOVEMENT INTO AREAS DESIGNATED AS WETLANDS.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ADDITIONAL EROSION ANAD SEDIMENT CONTROL BMP'S MAY BE REQUIRED AS

IDENTIFIED BY THE DESC INSPECTOR.

SWPPP INSPECTOR:

CONTROLS

EROSION AND SEDIMENT CONTROLS:

STABILIZATION PRACTICES

TEMPORARY STABILIZATION – TOP SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE APPLIED AS PER THE TEMPORARY SEEDING SPECIFICATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL ASPHALT PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION – DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OR WITHIN 2 DAYS FOR AREAS WITHIN 50 FEET OF A STREAM. REFER TO LANDSCAPE PLAN FOR DETAILS.

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D
PERMANENT SEEDING			●	●	●	*	*	*	●	●		
DORMANT SEEDING	●	●	●							●	●	●
TEMPORARY SEEDING			●	●	●	*	*	*	●	●		
SODDING			**	**	**	**	**	**	**			
MULCHING	●	●	●	●	●	●	●	●	●	●	●	●

* – IRRIGATION NEEDED
** – IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED

STORMWATER MANAGEMENT
STORMWATER DRAINAGE WILL BE PROVIDED BY SWALES, STORM SEWER AND AN UNDERGROUND DETENTION BASIN WITH WATER QUALITY ACCOUNTED FOR.

	REQUIRED	PROPOSED
SEDIMENT STORAGE ZONE	74.CY	74.CY
DEWATERING ZONE	-	-

	REQUIRED	PROPOSED
WATER QUALITY VOLUME	N/A	N/A

SEE SHEET 4 FOR ADDITIONAL DETAIL AND OUTLET CONTROL

OTHER CONTROLS

WASTE DISPOSAL:
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL, CITY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED OFF-SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY ORC 3714

HAZARDOUS WASTE:
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFF-SITE VEHICLE TRACKING:
OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

DEWATERING ACTIVITIES:
THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

PROCESS WASTEWATER:
ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS OF THE LAST DISTURBANCE IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS OF THE LAST DISTURBANCE IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES:
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.
ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFULL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714
GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
6. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
7. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS – ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS – FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS – ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS – CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

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SWPPP NOTES & DETAILS

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO
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67164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

CS200

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

1. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
3. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
5. SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
7. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

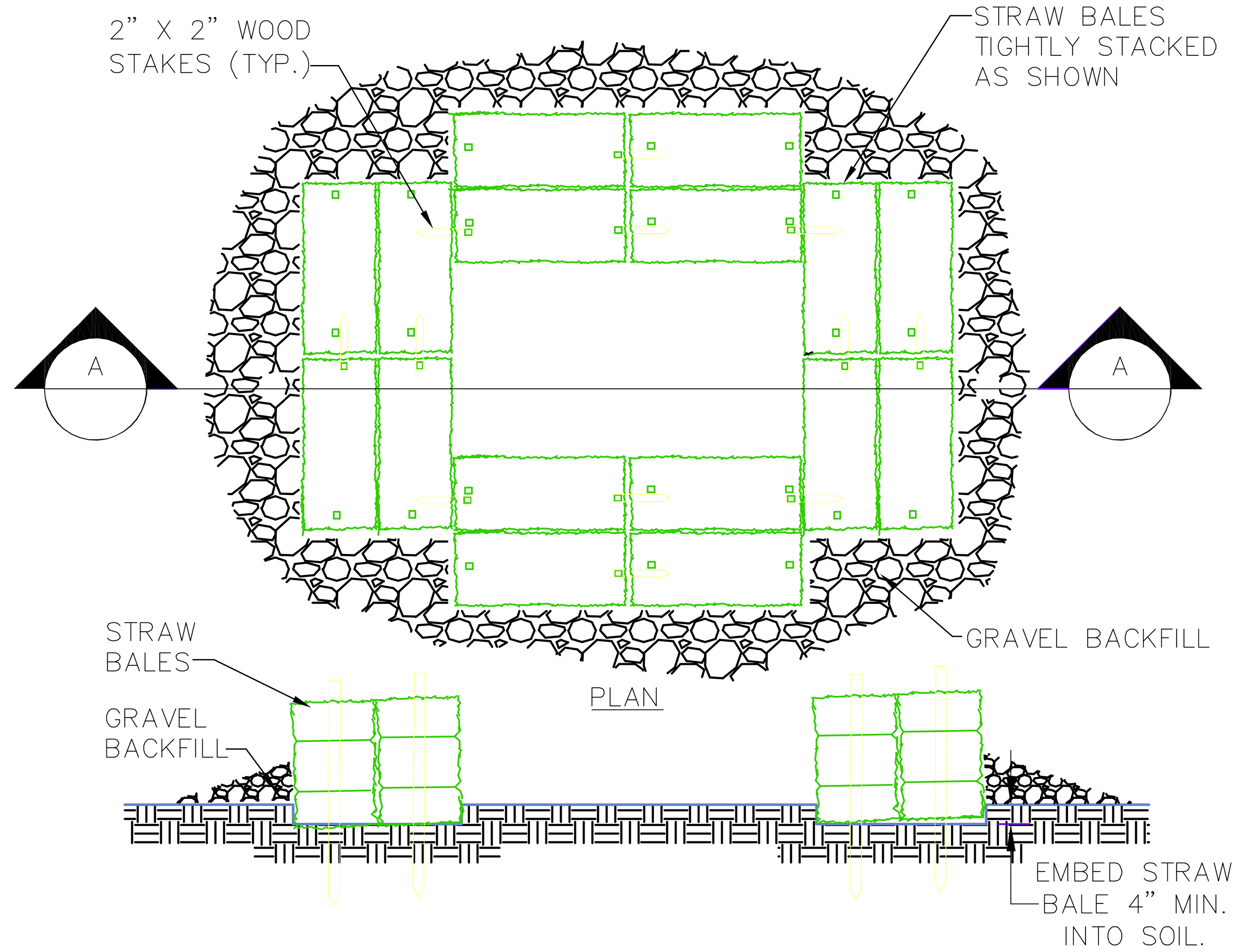
1. VEGETATIVE COVER AND/MULCH – APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMIAN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
2. WATERING – SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
3. SPRAY-ON ADHESIVES – APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE: WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

4. STONE – GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
5. BARRIERS – EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
6. CALCIUM CHLORIDE – THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.
7. OPERATION AND MAINTENANCE – WHEN TEMPORARY DUST CONTROL MEASURES ARE USED; REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
8. STREET CLEANING – PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET – TYPE ENDLOADER OR SCRAPER.

CONCRETE WASHOUT

SPECIFICATIONS FOR CONCRETE WASHOUT



SECTION A-A

1. THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER CONVEYANCE EQUIPMENT AND FINISHING TOOLS SHALL BE WASHED INTO CONCRETE CLEAN-OUT STRUCTURES CONSISTING OF A STRAW BALE BARRIER WITH GRAVEL BACKFILL. THE LENGTH AND WIDTH OF THESE STRUCTURES SHALL BE AS DETERMINED BY THE CONTRACTOR TO FACILITATE THE PARTICULAR EQUIPMENT USED. THESE STRUCTURES SHALL BE CONSTRUCTED ON LEVEL GROUND AT LEAST 100' FROM THE NEAREST WATERCOURSE, DRAINAGE SWALE OR INLET. AT NO TIME SHALL THE STRUCTURE BE ALLOWED TO BE MORE THAN 50% FULL. THE CONTRACTOR SHALL MAINTAIN THESE PONDS UNTIL ALL CONCRETE PLACEMENT IS COMPLETE FOR THE PROJECT.

2. EMBED THE STRAW BALES 4" INTO THE SOIL. PROVIDE TWO ROWS OF BALES, AS SHOWN ON THE DETAIL, WITH ENDS AND CORNERS TIGHTLY ABUTING. ORIENT THE STRAW BALES LENGTHWISE WITH BINDINGS AROUND THE SIDES OF THE BALES SO THE WIRE DOES NOT CONTACT THE SOIL. DRIVE 2"X2" WOOD STAKES THROUGH EACH BALE, TO SECURELY ANCHOR THE BALE AND CONNECT ADJACENT BALES. GRAVEL BACKFILL SHALL BE PROVIDED AND TAMPED AROUND THE OUTSIDE PERIMETER OF THE BALES TO PREVENT EROSION AND FLOW AROUND THE BALES.

3. THE INTENT OF THESE STRUCTURES IS TO COLLECT ALL CONCRETE WASH OUT WATER AND ALLOW IT TO DRY TO A SOLID MATERIAL. AFTER DRYING, THE SOLID MATERIAL CAN BE REMOVED WITH A LOADER OR EXCAVATOR FOR PROPER DISPOSAL. WASH OUT WILL NOT BE PERMITTED IN ANY OTHER AREAS.

4. USE THE MINIMUM AMOUNT OF WATER TO WASH THE VEHICLES AND EQUIPMENT. NEVER DISPOSE OF WASH OUT INTO THE STREET, STORM INLET, DRAINAGE SWALE OR WATERCOURSE. DISPOSE OF SMALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT AND MORTAR IN THE TRASH. ANY SOAPS THAT ARE UTILIZED SHALL BE PHOSPHATE-FREE AND BIODEGRADABLE.

5. ADDITIONAL CONCRETE CLEAN-OUT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SPECIFIED AREA AS NEEDED BASED UPON THE VOLUME OF WASH OUT GENERATED DAILY.

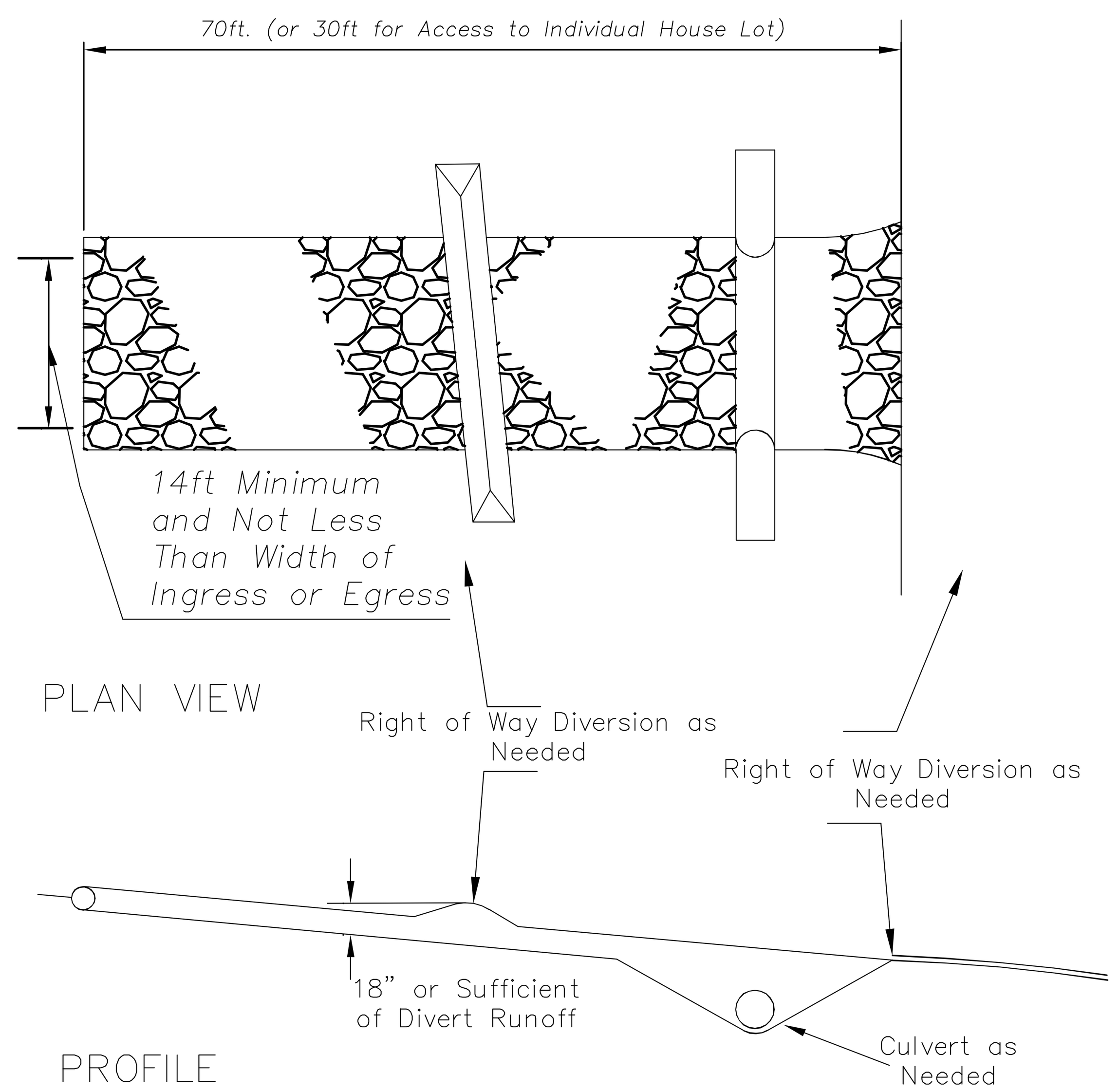
CONSTRUCTION ENTRANCE

DESCRIPTION

A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF STONE UNDERLAIN WITH GEOTEXTILE AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC. LOCATED AT POINTS OF INGRESS/EGRESS, THE PRACTICE IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

(Not To Scale)



1. STONE SIZE – ODOT #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
3. THICKNESS – THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
4. WIDTH – THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE – A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA, PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

FIGURE 7.4.1

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 LBS.
MINIMUM PUNCTURE STRENGTH	80 PSI.
MINIMUM TEAR STRENGTH	50 LBS.
MINIMUM BURST STRENGTH	320 PSI.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS < 0.6 MM.
PERMITTIVITY	1X10-3 CM/SEC.

6. TIMING – THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
7. CULVERT – A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. WATER BAR – A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. MAINTENANCE – TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
11. REMOVAL – THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

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DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

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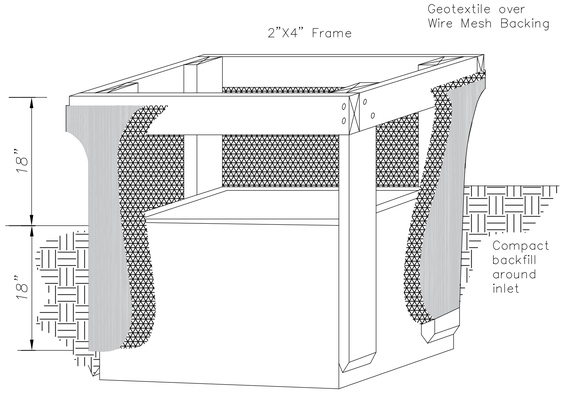
INLET PROTECTION

DESCRIPTION

STORM DRAIN INLET PROTECTION DEVICES REMOVE SEDIMENT FROM STORM WATER BEFORE IT ENTERS STORM SEWERS AND DOWNSTREAM AREAS. INLET PROTECTION DEVICES ARE SEDIMENT BARRIERS THAT MAY BE CONSTRUCTED OF WASHED GRAVEL OR CRUSHED STONE, GEOTEXTILE FABRICS AND OTHER MATERIALS THAT ARE SUPPORTED AROUND OR ACROSS STORM DRAIN INLETS.

INLET PROTECTION IS INSTALLED TO CAPTURE SOME SEDIMENT AND REDUCE THE MAINTENANCE OF STORM SEWERS AND OTHER UNDERGROUND PIPING SYSTEMS PRIOR TO THE SITE BEING STABILIZED. DUE TO THEIR POORER EFFECTIVENESS, INLET PROTECTION IS CONSIDERED A SECONDARY SEDIMENT CONTROL TO BE USED IN CONJUNCTION WITH OTHER MORE EFFECTIVE CONTROLS.

SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION



SECTION

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.

2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.

3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2 INCHES BY 4 INCHES CONSTRUCTION GRADE LUMBER. THE 2 INCHES BY 4 INCHES POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2 INCHES BY 4 INCHES FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS OF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.

4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.

5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCHES LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

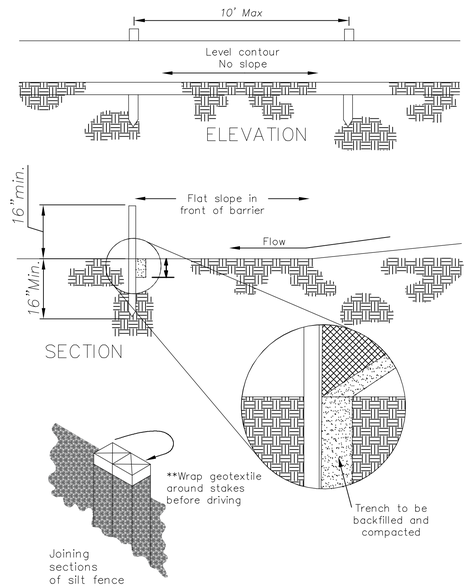
SILT FENCE

DESCRIPTION

A SILT FENCE IS A SEDIMENT-TRAPPING PRACTICE UTILIZING A GEOTEXTILE FENCE, TOPOGRAPHY AND SOMETIMES VEGETATION TO CAUSE SEDIMENT DEPOSITION. SILT FENCE REDUCES RUNOFF'S ABILITY TO TRANSPORT SEDIMENT BY PONDING RUNOFF AND DISSIPATING SMALL RILLS OF CONCENTRATED FLOW INTO UNIFORM SHEET FLOW. SILT FENCE IS USED TO PREVENT SEDIMENT-LADEN SHEET RUNOFF FROM ENTERING INTO DOWNSTREAM CREEKS AND SEWER SYSTEMS.

SPECIFICATIONS FOR SILT FENCE

(Not To Scale)



1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.

2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.

3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WIL BE PREVENTED FROM FLOWING AROUND THE ENDS.

4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.

5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.

6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.

8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.

9. SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH AA MINIMUM 6 INCHES OVERLAP PRIOR TO DRIVING INTO THE GROUND. (SEE DETAILS)

10. MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.
SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A
PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS:

1. FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.

2. SILT FENCE FABRIC (SEE CHART BELOW):

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	< OR = 0.84 MM	ASTM D4751
MINIMUM PERMITTIVITY	1X10-2 SEC. -1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355

REVISIONS

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PREPARED FOR:

Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.426.9798

SWPPP NOTES & DETAILS

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO
STEPHEN M. BUTLER
67164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

CS202

TEMPORARY SEEDING

DESCRIPTION

TEMPORARY SEEDINGS ESTABLISH TEMPORARY COVER ON DISTURBED AREAS BY PLANTING APPROPRIATE RAPIDLY GROWING ANNUAL GRASSES OR SMALL GRAINS. TEMPORARY SEEDING PROVIDES EROSION CONTROL ON AREAS IN BETWEEN CONSTRUCTION OPERATIONS. GRASSES WHICH ARE QUICK GROWING ARE SEEDED AND USUALLY MULCHED TO PROVIDE PROMPT, TEMPORARY SOIL STABILIZATION. IT EFFECTIVELY MINIMIZES THE AREA OF A CONSTRUCTION SITE PRONE TO EROSION AND SHOULD BE USED EVERYWHERE THE SEQUENCE OF CONSTRUCTION OPERATIONS ALLOWS VEGETATION TO BE ESTABLISHED.

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION

SEEDING DATES	SPECIES	LB./1,000² FT.	LB. PER AC.
MARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 LB.(4 BUSHEL) 40 LB. 40 LB.
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 LB. 40 LB. 40 LB.
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 LB. 142 LB. 17 LB. 17 LB.
	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 LB.(3 BUSHEL) 40 LB. 40 LB.
AUGUST 16 TO NOVEMBER 1	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	112 LB.(2 BUSHEL) 40 LB. 40 LB.
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	120 LB.(2 BUSHEL) 40 LB. 40 LB.
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 LB. 40 LB. 40 LB.
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	40 LB. 40 LB. 40 LB.
NOV. 1 TO SPRING SEEDING	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING.		

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

1. STRUCTURAL EROSION AND SEDIMENT-CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.

2. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR GREATER. THESE IDLE AREAS SHALL BE SEEDED WITHIN 7 DAYS AFTER GRADING.

3. THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.

4. SOIL AMENDMENTS--TEMPORARY VEGETATION SEEDING RATE SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATE FOR LIME AND FERTILIZER SHALL BE USED.

5. SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.

2. MATERIALS:
- STRAW--IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES).
- HYDROSEEDERS--IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
- OTHER--OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.

3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
- MECHANICAL--A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, LEFT TO A LENGTH OF APPROXIMATELY 6 INCHES.
- MULCH NETTINGS--NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.
- SYNTHETIC BINDERS--SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
- WOOD-CELLULOSE FIBER--WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS.

BASIN OUTLET/WATER QUALITY CONTROL STRUCTURE DETAIL

TRIBUTARY ACREAGE (PRE-GRADE)	DISTURBED AREA (POST-GRADE)	REQUIRED BASIN DEWATERING VOLUME (67 CY/AC)	PROVIDED BASIN DEWATERING VOLUME	REQUIRED SEDIMENT STORAGE VOLUME (37 CY/AC)	PROVIDED SEDIMENT STORAGE VOLUME	CONTROL STRUCTURE		
						RISE A	HEIGHT B	INLET ELEV. C
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

REVISIONS

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PREPARED FOR:

Community Civil Engineers, LLC
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BEAVERCREEK, OHIO 45434
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SWPPP NOTES & DETAILS

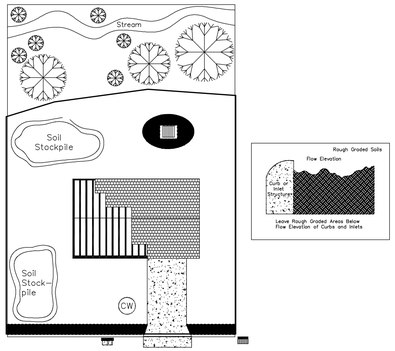
THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO
STEPHEN M. BUTLER
67164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 20-461	CHECK:

CS203

Small Construction Site Controlls



PLAN VIEW

- Temporary seeding and/or mulch applied to rough grade areas
- Construction Entrance gravel
- Rough Grade areas to allow settling below grade elevation
- Storm Drain with inlet protection
- Storm Drain without inlet protection
- Yard Drain with inlet protection
- Silt Fence
- Curb
- CW Concrete Washout

SMALL CONSTRUCTION SITE CONTROLS

1. SMALL CONSTRUCTION SITE CONTROLS ARE REQUIRED FOR ALL SITES, PART OF THIS DEVELOPMENT, THAT COMMENCE AFTER THE FILING OF THE NOTICE OF TERMINATION (NOT) FOR THE DEVELOPMENT SWPPP.

2. PREEXISTING VEGETATION SHALL BE RETAINED ON IDLE PORTIONS OF THE BUILDING LOT FOR AS LONG AS CONSTRUCTION OPERATIONS ALLOW. CLEARING SHALL BE DONE SO ONLY ACTIVE WORKING AREAS ARE BARE.

3. TEMPORARY SEED AND/OR MULCH SHALL BE APPLIED TO AREAS, SUCH AS STOCKPILES AND ROUGH GRADED AREAS, THAT ARE BARE AND NOT ACTIVELY BEING WORKED. THIS SHALL APPLY TO AREAS THAT WILL NOT BE REWORKED FOR 21 DAYS OR MORE.

4. STOCKPILES CREATED FROM BASEMENT EXCAVATION AND GRADING SHALL BE SITUATED AWAY FROM STREETS, SWALES, OR OTHER WATERWAYS AND SHALL BE SEEDED AND/OR MULCHED IMMEDIATELY.

5. SILT FENCE OR OTHER SEDIMENT BARRIERS SHALL CONTROL SHEET FLOW RUNOFF FROM THE BUILDING LOT. THESE SHALL NOT BE CONSTRUCTED IN CHANNELS OR AREAS OF CONCENTRATED FLOW. OTHER SEDIMENT CONTROLS SUCH AS SEDIMENT TRAPS AND INLET PROTECTION SHALL ALSO BE USED AS NEEDED TO CONTROL SEDIMENT RUNOFF. SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AFTER STORM EVENTS, AND MAINTAINED IN GOOD WORKING CONDITION.

6. CONSTRUCTION VEHICLE ACCESS SHALL BE LIMITED TO ONE ROUTE, TO THE GREATEST EXTENT PRACTICAL. THE ACCESS SHALL BE GRAVEL OR CRUSHED ROCK UNDERLAIN WITH GEOTEXTILE.

7. MUD TRACKED ONTO STREETS OR SEDIMENT SETTLED AROUND CURB INLET PROTECTION SHALL BE REMOVED DAILY OR AS NEEDED TO PREVENT IT FROM ACCUMULATING. IT SHALL BE REMOVED BY SHOVELING AND SCRAPING AND SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS. SEDIMENT REMOVED SHALL BE PLACED WHERE IT WILL NOT BE SUBJECT TO EROSION OR CONCENTRATED RUNOFF.

8. CONCRETE WASHOUT MUST BE PROVIDED. IF DEVELOPER HAS MULTIPLE SITES, A COMMON WASHOUT MAY BE USED.

REVISIONS

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PREPARED FOR:

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Community Civil Engineers, LLC
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BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.428.9798

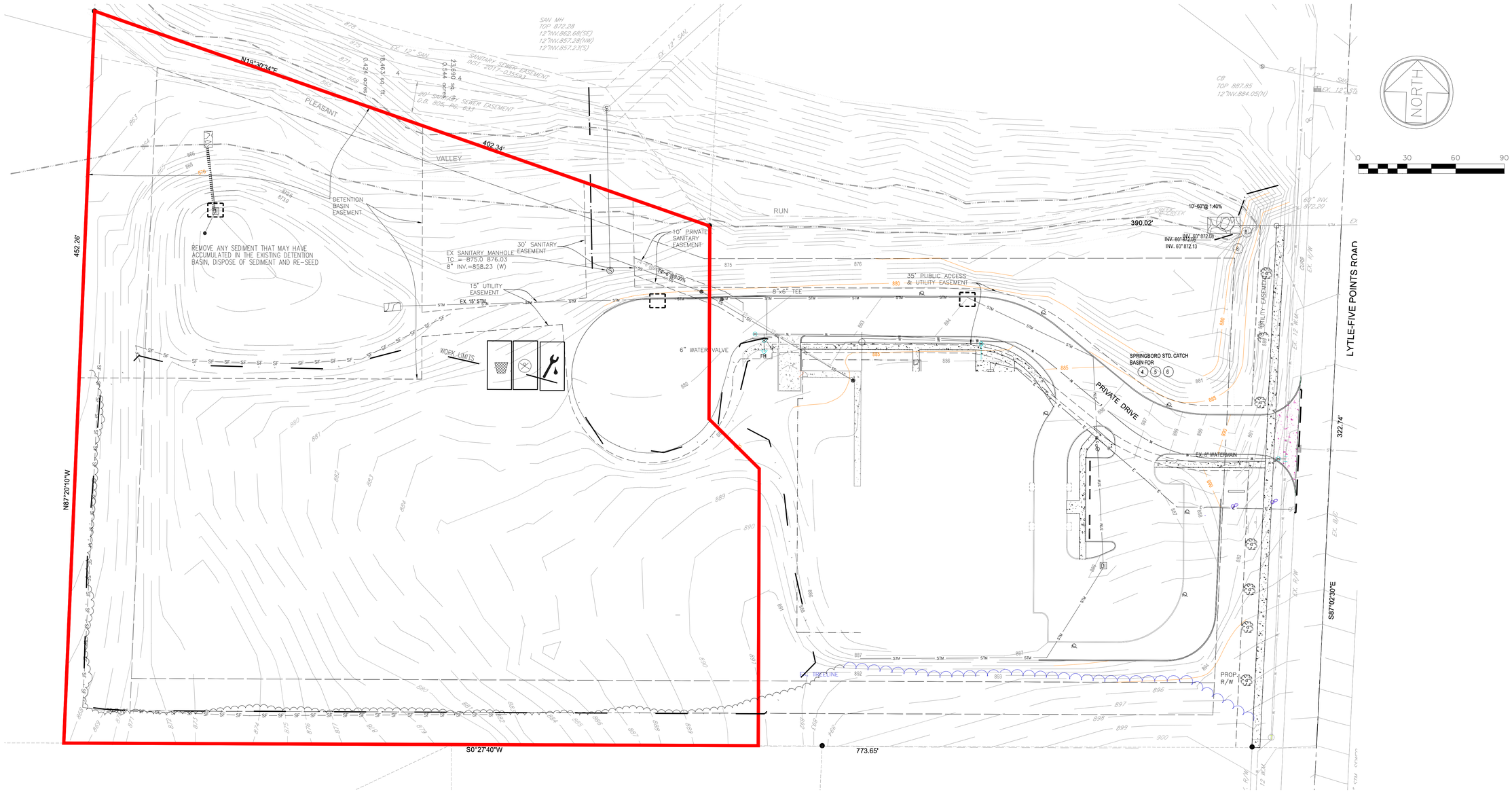
SWPPP NOTES & SOILS MAP

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO
STEPHEN M. BUTLER
67164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

CS300



SWPPP NOTES:

1. SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPPP).PRIOR TO SITE CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL INSTALL ALL SWPPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
3. KEEP MUD AND DEBRIS OFF SURROUNDING STREETS.
4. MAINTAIN EROSION CONTROL LOG ONSITE PER OHIO EPA RULES.

SWPPP LEGEND

- SF — SILT FENCE PER ODOT 832
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE
- FUELING AND MAINTENANCE AREA
- CONSTRUCTION SOLID WASTE DUMPSTER STAGING AREA
- USED OR UNUSED HAZARDOUS MATERIAL RECYCLING LOCATION

Ohio Utilities Protection Service
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REVISIONS

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BEAVERCREEK, OHIO 45434
TEL. 937.490.9400 FAX 937.426.9798

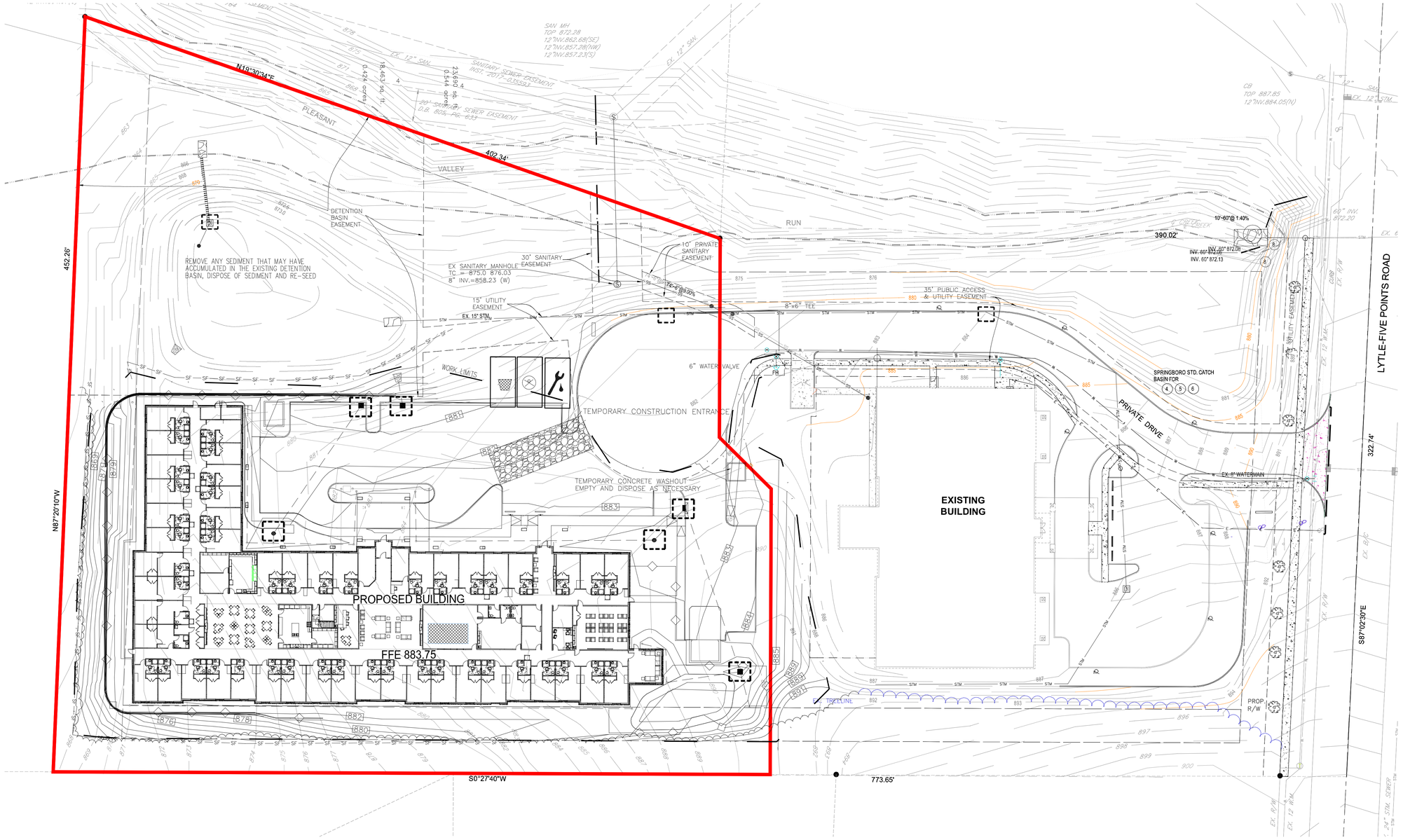
EROSION CONTROL PLAN INITIAL INSTALLATION

THE RAVINE AT SETTLERS POINTE 1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO STEPHEN M. BAUER 67164 REGISTERED PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

CS400



SWPPP NOTES:

1. SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPPP).PRIOR TO SITE CONSTRUCTION ACTIVITY,
2. THE CONTRACTOR SHALL INSTALL ALL SWPPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
3. KEEP MUD AND DEBRIS OFF SURROUNDING STREETS.
4. MAINTAIN EROSION CONTROL LOG ONSITE PER OHIO EPA RULES.

SWPPP LEGEND

— SF —	SILT FENCE PER ODOT 832
	INLET PROTECTION
	TEMPORARY CONSTRUCTION ENTRANCE
	FUELING AND MAINTENANCE AREA
	CONSTRUCTION SOLID WASTE DUMPSTER STAGING AREA
	USED OR UNUSED HAZARDOUS MATERIAL RECYCLING LOCATION
	STATE STRAW WATTLES OR EQUIVALENT

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REVISIONS

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1	02/08/2022	REVISED PER CITY COMMENTS

PREPARED FOR:

Community Civil Engineers, LLC
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.426.8798

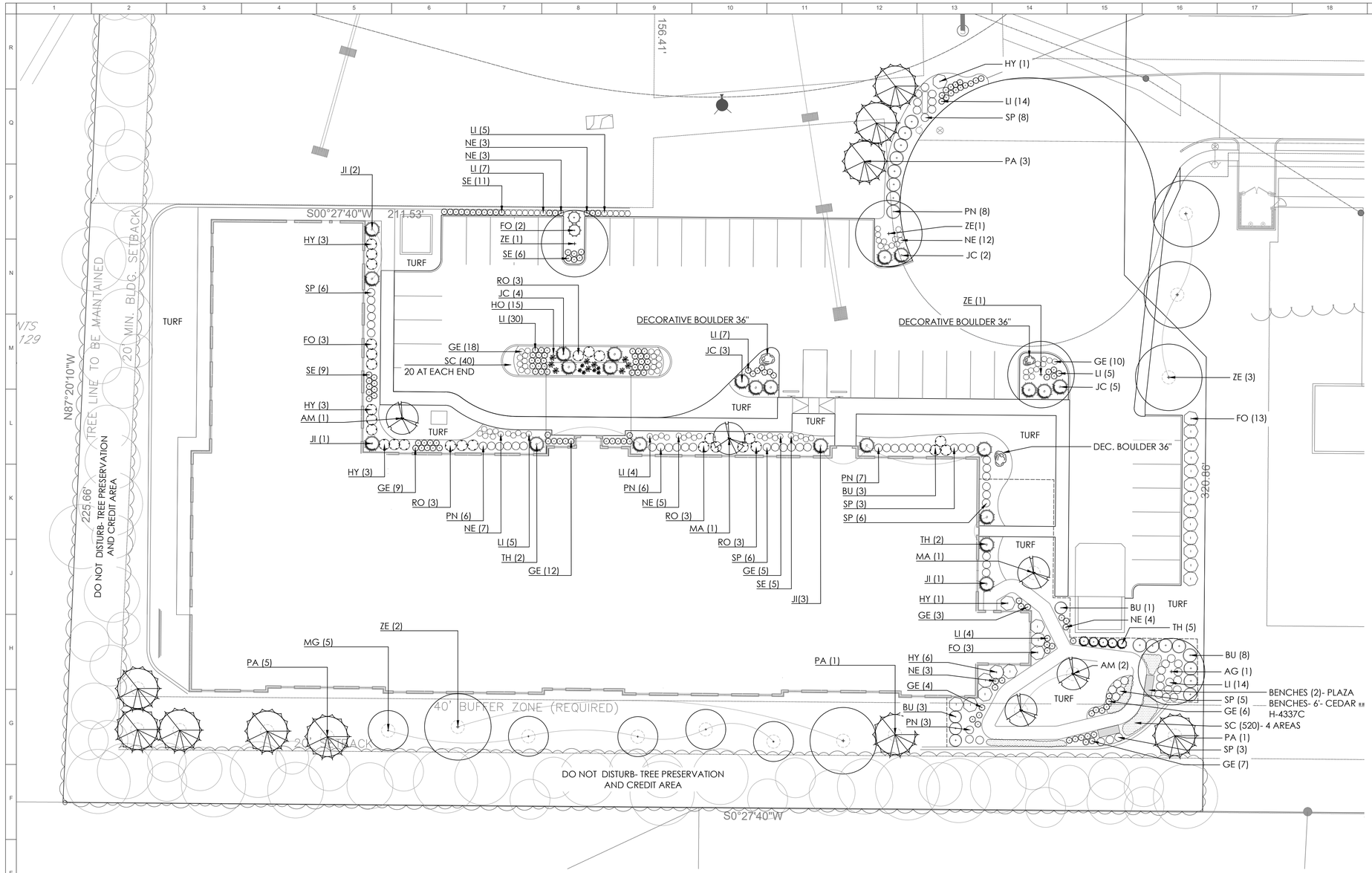
EROSION CONTROL PLAN DURING CONSTRUCTION

THE RAVINE AT SETTLERS POINTE
1345 W LYTLE FIVE POINTS ROAD

STATE OF OHIO
STEPHEN M. BUTLER
E-67164
REGISTERED
PROFESSIONAL ENGINEER

DESIGN: SMB	DATE: 09/24/2021
JOB #: 21-482	CHECK:

CS401



CHAPTER 1280 AND SECTION COMPLIANCE

LANDSCAPE TABULATIONS

1280.04 (B)- PRESERVATION EXISTING VEGETATION (INCLUDES WEST, SOUTH, AND EAST PROPERTY LINES)
TREES AT 20.01" DBH OR GREATER= 1
TREES AT 14.01"-20" DBH= 6
TREES AT 6"-14"- 48
TOTAL 118 TREES REDUCTION IN NEW TREES REQUIRED

1280.04 (C)- LANDSCAPE ADJACENT TO ROADS
THIS LOT IS AT THE REAR OF PHASE I AND DOES NOT HAVE PUBLIC R.O.W. FRONTAGE. ADDITIONAL LANDSCAPING PROVIDED NEAR ENTRANCE AND NORTH PROPERTY LINE.

1280.04 (D)- BUFFERS
PROPOSED USE IS COMMERCIAL (ADJACENT TO) O-R DISTRICT AND RESIDENTIAL). ADJACENT TO O-R- 10 FT WIDE BUFFER, 1 TREE PER 40 FEET REQUIRED. ADJACENT TO RESIDENTIAL- 30' 1 TREE PER 20 FEET 50% EVERGREEN- 429 FEET- EXCEED REQUIREMENT WITH TREES PRESERVED

1280 (E)(1)- PARKING LOT SCREENING
PARKING LOT IS SCREENED BY THE BUILDING IN PHASE I
ADDITIONAL PLANTINGS ADDED TO THE PARKING

1280 (2)(A)- INTERNAL PARKING LOT LANDSCAPING
37 SPACES = 370 SF OF INTERNAL LANDSCAPE REQUIRED
1,552 SF PROVIDED IN THE LANDSCAPE ISLAND

1280 (2)(C)- INTERNAL PARKING REQUIRED PLANTINGS
MINIMUM OF 1 TREE PER PER 300 SF OF INTERIOR LANDSCAPED AREA 1,552 SF OF LANDSCAPE AREA- 5 TREES REQUIRED. 5 TREES PROVIDED

1280 (F)- SITE LANDSCAPING
LOT AREA: 156,627 SF
1 TREE SHALL BE PLANTED PER 3,000 SF OF LOT= 52 TREES REQUIRED

DEDUCT 118 TREE CREDIT FOR TREE PRESERVATION NET= (-66) NO NEW TREES TREES REQUIRED, EXCEPTING TREE REQUIREMENTS FOR FRONTAGE AND LANDCAPE ISLANDS, BUFFERS, ETC. CITY OF SPRINGBORO CONDITION 6(B)

1280.05- PLANTING STANDARDS
ALL STANDARDS WILL BE MET, INCLUDING TREE SIZES AT TIME OF PLANTING AS DESCRIBED IN CITY OF SPRINGBORO CONDITIONS 6(A) AND AS SHOWN IN THE PLANT SCHEDULE

BENCH SPECIFICATION
PLAZA BENCHES- 6'- CEDAR- H-4337C
TO MATCH EXISTING BENCHES IN THE BEEHIVE COURTYARD- INSTALL PER MANUFACTURER RECOMMENDATIONS ON CONCRETE SIDEWALK

PLANT SCHEDULE

CODE	TYPE	SCIENTIFIC NAME	COMMON NAME	SIZES	QUANTITY	COND.	SPACING
TREES							
AM	ORNAMENT	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	6'	3	B&B	AS SHOWN
AG	ORNAMENT	Acer griseum	Paperbark Maple	2" CAL.	1	B&B	AS SHOWN
MA	ORNAMENT	Malus 'Royal Raindrops'	Royal Raindrops Crabapple	2" CAL.	2	CONT.	AS SHOWN
MG	ORNAMENT	Magnolia virginiana	Sweetbay Magnolia	2" CAL.	5	CONT.	AS SHOWN
PA	EVRGRN	Picea abies	Norway Spruce	6'	10	B&B	AS SHOWN
TH	EVRGRN	Thuja occ. 'Smaragd'	Emerald Green Arborvitae	5'	9	B&B	AS SHOWN
ZE	TREE	Zelkova ser. 'Green Vase'	Green Vase Zelkova	2.5"	8	B&B	AS SHOWN
SHRUBS & ORNAMENTAL GRASSES							
RO	DECID.	Rosa 'Knockout'	Knockout Rose	#3	12	CONT.	4' O.C.
JI	EVRGRN	Juniper chinensis 'Iowa'	Iowa Juniper	5'	7	B&B	AS SHOWN
SP	DECID.	Spirea 'Candycorn'	Candycorn Spirea	#3	37	CONT.	AS SHOWN
JC	EVRGRN	Juniperus sabina 'Monna'	Calgary Carpet Juniper	#10	14	B&B	6' O.C.
PN	GRASS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	12"	30	CONT.	3' O.C.
FO	DECID.	Fothergilla 'Mt. Airy'	Mt. Airy Fothergilla	18"	21	B&B	AS SHOWN
BU	EVRGRN	Buxus x. 'Green Mountain'	Green Mountain Boxwood	18"	15	B&B	AS SHOWN
HY	DECID.	Hydrangea 'Ruby Slippers'	Ruby Slippers Hydrangea	18"	17	B&B	AS SHOWN

0 10 20 40 60
Scale : 1" = 20' (When printed on 24x36)

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OHIO UTILITIES PROTECTION SERVICE

CODE	TYPE	SCIENTIFIC NAME	COMMON NAME	SIZES	QUANTITY	COND.	SPACING
PERENNIALS & GROUND COVER							
NE	PEREN	Nepeta 'Walker's Low'	Catmint	#1	37	CONT.	2.5' O.C.
SE	PEREN	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#1	31	CONT.	2.5' O.C.
GE	PEREN	Geranium 'Rozanne'	Rozanne Geranium	#1	74	CONT.	2' O.C.
HO	PEREN	Hosta Variety Mix (Small, Medium, Large)	Hosta Variety Mix	#1	15	CONT.	2' O.C.
LI	PEREN	Liriope variegata	Variegated Lilyturf	#1	95	CONT.	2' O.C.
SC	GRNDCVR	Sedum ellacombianum	Yellow Stonecrop	quart	560	CONT.	8" O.C.

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LANDSCAPE ARCHITECT OF RECORD
TOPOS STUDIO
4 West Franklin Street
Centerville, OH 45459

CONSULTANT:

SUBMITTALS AND REVISIONS

Site Plan Submittal	8/27/2021
Revision	11/01/21

The Ravine at Settlerspointe
Assisted Living Center
1345 Lytle-Five Points Road
Springboro, OH 45066

Landscape Plan

PROJECT #:
DRAWN: CP
REVIEWED: CP
DATE 11/01/2021

L-1

LANDSCAPE CONSTRUCTION GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AS REQUIRED FOR PROJECT IMPLEMENTATION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS APPLICABLE TO THE EXECUTION OF THIS PROJECT. THE OWNER AND LANDSCAPE ARCHITECT ASSUME NO LIABILITY FOR THE MISMANAGEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL KEEP ALL ORIGINAL PERMITS ONSITE AT ALL TIMES.
3. CONTRACTOR IS RESPONSIBLE FOR BECOMING TOTALLY FAMILIAR WITH THE SITE PRIOR TO CONSTRUCTION OR ESTIMATING.
4. ALL WORK IS TO BE COMPLETED PER DRAWINGS AND SPECIFICATIONS. MINOR VARIATIONS DUE TO SITE DISCREPANCIES WILL BE ACCEPTED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT.
5. DIMENSIONS AND QUANTITIES ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE. DETAILS AND ENLARGEMENTS OVER SITE PLANS, AND CALLOUTS OVER KEYS AND SCHEDULES. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL MATERIALS AND SYMBOLS ARE ACCOUNTED FOR AND ARE CONSISTENT WITH MATERIAL SCHEDULES. IF DISCREPANCIES ARE DETECTED IN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
6. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF WATER AND ELECTRICAL HOOKUPS INCLUDING IRRIGATION AND LIGHTING IF INCLUDED.
7. CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL DEVICES REQUIRED BY LOCAL AUTHORITIES WITHIN THE PROJECT LIMITS UNTIL PROJECT ACCEPTANCE.
8. THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES AND LIGHTS AT ALL OPEN EXCAVATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
9. CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ELECTRONIC FILES FOR ASSISTANCE IN FIELD LAYOUT AND CONTROL AVAILABLE FROM TOPOS STUDIO 937-469-4409.
10. CONTRACTOR SHALL CONTACT OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION OPERATIONS. OUPS CAN BE CONTACTED BE DIALING 811, OR 1-800-362-2764.
11. DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE LANDSCAPE ARCHITECT.
12. AFTER PROJECT HAS BEEN AWARDED TO THE CONTRACTOR, THE CONTRACTOR, OWNER, AND LANDSCAPE ARCHITECT SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO ENSURE A CLEAR UNDERSTANDING OF THE INTENDED DESIGN AND IMPLEMENTATION OF THE PROJECT.

LAYOUT, DIMENSIONING & QUANTITIES

1. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND QUANTITIES ON SITE. TOPOS STUDIO ASSUMES NO LIABILITY FOR THE MISMANAGEMENT OF ESTIMATING PRACTICES.
2. WRITTEN DIMENSIONS ARE BASED ON BUILDING FOUNDATION, BACK OF CURB, OR EDGE OF PAVEMENT AND ARE IN FEET.
3. OBJECTS NOTED AS "O.C." (ON CENTER) SHALL BE SPACED ACCORDING TO THE NOTED O.C. DIMENSION.

SITE PREPARATION AND DEMOLITION

1. CONTRACTOR SHALL REMOVE AND STOCKPILE ALL ITEMS AS NOTED ON PLAN.
2. IF ADDITIONAL REMOVALS ARE NECESSARY FOR PROJECT SUCCESS, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE EXECUTION OF THE ADDITIONAL REMOVALS.
3. ADDITIONAL: DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE ENGINEER.

PLANT BED PREPARATION AND PLANT INSTALLATION

1. ALL PLANTING BEDS SHALL BE PREPARED FOR PLANTS BY REMOVING ALL EXISTING TURF, GRAVEL, AND OTHER DEBRIS AND DISPOSING SPOILS DEBRIS IN AN ENVIRONMENTALLY RESPONSIBLE MANNER. CONTRACTOR SHALL ADD A MINIMUM OF 2 INCHES OF LEAF COMPOST AND ROTO-TILL LEAF COMPOST INTO EXISTING TOPSOIL. REMOVE AS MUCH GRAVEL AND OTHER DEBRIS FROM EXISTING TOPSOIL AS POSSIBLE.
2. IF SOIL ANALYSIS REVEALS THE SOIL REQUIRES AMENDMENTS OR REPLACEMENT, CONTRACTOR SHALL FOLLOW ALL SOIL AMENDMENT RECOMMENDATIONS BASED ON THE SOIL ANALYSIS, AND PRESCRIBED SOIL USE. ONCE SOIL HAS BEEN PROPERLY AMENDED AND PREPARED, CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW OF PLANT STOCK, AND APPROVAL OF BED PREPARATION AND SOIL AMENDMENTS.
3. ONE TO TWO WEEKS BEFORE MULCHING, EXISTING TREES SHALL BE PREPARED FOR MULCH RINGS BY SPRAYING HERBICIDE TO A DISTANCE OF 24" FROM BASE OF THE TRUNK. BED OF TREE RING WILL BE EDGED ACCORDING TO SPECIFICATIONS DESCRIBED IN MULCH NOTES. DO NOT CUT THROUGH ANY SURFACE ROOTS FROM EXISTING TREE. MULCH MAY BE APPLIED ON TOP OF THOROUGHLY DEAD GRASS
4. AFTER OWNER APPROVAL OF PLANT STOCK AND BED PREPARATION CONTRACTOR MAY INSTALL PLANTINGS ACCORDING TO THE STANDARDS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK AND THE SPECIFICATIONS FOUND HEREIN.
5. AFTER PLANTS HAVE BEEN INSTALLED, PRIOR TO MULCH PLACEMENT OR WATERING, CONTRACTOR SHALL PLACE A BALANCED SLOW RELEASE FERTILIZER AND A PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
6. AFTER MULCH PLACEMENT AND CLEANUP, CONTRACTOR SHALL THEN WATER PLANTS IN TO ACHIEVE THOROUGH ROOT TO SOIL CONTACT. SEE MULCH NOTES FOR MULCH SPECIFICATIONS.
7. TEMPORARY IRRIGATION EQUIPMENT MAY BE USED FOR UP TO 18 MONTHS

MULCH

1. MULCH BEDS SHALL BE EDGED AGAINST OTHER TYPES OF GROUND COVER AREAS SUCH AS GRAVEL OR LAWN. LAWN EDGES SHALL BE EDGED USING A SPADE OR MECHANICAL EDGER TO A DEPTH OF 3 INCHES AND LINES SHALL BE CLEARLY DEFINED WHEN FINISHED. BED EDGES ALONG PAVEMENT OR OTHER HARD SURFACE WILL HAVE SOIL REMOVED TO A DEPTH OF 3 INCHES TO ACCOMMODATE PROPER MULCH DEPTH.
2. PROVIDE MULCH THAT CONSISTS OF SHREDDED BARK AND SHREDDED WOOD FREE OF SOIL, ROCKS, WEEDS, DEBRIS, RUBBISH, OR ENVIRONMENTALLY HAZARDOUS MATERIALS. WOOD PALETTES, TREATED LUMBER, WOOD CHIPS, AND OTHER TYPES OF NON-ORGANIC MATERIALS ARE NOT AN ACCEPTABLE MULCH MEDIUM. THE LENGTH OF ANY INDIVIDUAL COMPONENTS CANNOT EXCEED 2 INCHES, (THIS MAY BE CALLED TRIPLE SHREDDED). ENSURE THAT AT LEAST 75 PERCENT OF THE MULCH CAN PASS THROUGH A 1-INCH SCREEN. LANDSCAPE MULCH MAY CONTAIN UP TO 50 PERCENT SHREDDED WOOD. ENSURE MULCH HAS BEEN AGED AT LEAST ONE YEAR BEFORE INSTALLATION.
3. MULCH COLOR SHALL BE BROWN.
4. SPREAD MULCH IN PLANT BED AREAS AND TREE RINGS WITH A 3 INCH LAYER OF LANDSCAPE MULCH UNIFORM IN TEXTURE AND SIZE. DO NOT PLACE MULCH IN DIRECT CONTACT WITH THE TRUNKS OF ANY TREES, SHRUBS, OR PERENNIALS. RAKE AND SMOOTH ALL PLANTING BEDS UPON COMPLETION OF THE WORK.

GRAVEL BEDS

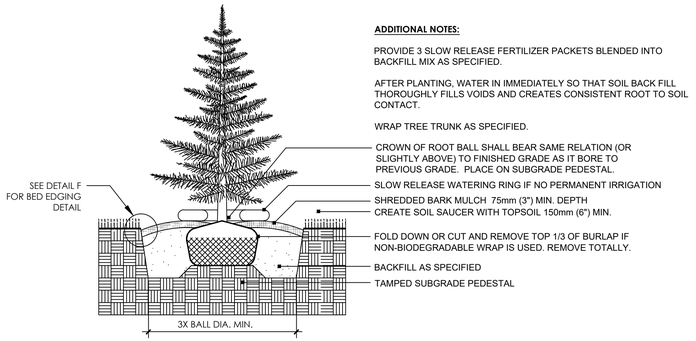
1. GRAVEL BEDS SHALL BE EDGED USING AN APPROVED STEEL EDGING ACCORDING TO THE GRAVEL BED CONSTRUCTION & EDGE DETAIL IN THE LANDSCAPE DETAILS. STEEL EDGING SHALL BE PLACED ANYWHERE THAT GRAVEL MEETS A DIFFERENT GROUND COVER. STEEL EDGING IS NOT NECESSARY AGAINST HARDSCAPE OR CONSTRUCTED EDGES SUCH AS CURBS, SIDEWALKS, OR BUILDING FOUNDATIONS. FILTER FABRIC SHALL BE PLACED BETWEEN SOIL AND GRAVEL IN ALL GRAVEL BEDS.

SEED

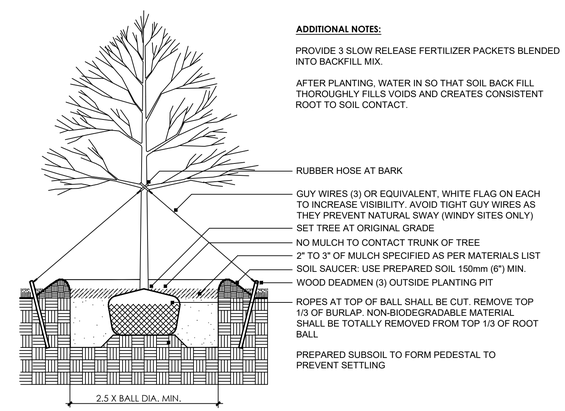
1. BARE SOIL/NEW BUILD
   1.1. AREAS CALLED OUT AS "SEED" OR "TURF" ON THE DRAWINGS SHALL BE PREPARED BY REMOVING ALL ROCKS AND GRAVEL FROM TOP SOIL. IF SOIL IS AN UNACCEPTABLE GROWTH MEDIUM, A MINIMUM OF 2" OF ORGANIC TOPSOIL SHALL BE ADDED TO ALL SEED AREAS AFTER FINE GRADING AND ROCK/DEBRIS REMOVAL. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. SEED SHALL BE APPLIED AT A RATE OF 8-10 POUNDS PER 1000 SQUARE FEET AND SHALL NOT BE MOWED FOR A MINIMUM OF 21 DAYS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.

2. OVERSEEDING
   2.1. AREAS CALLED OUT AS "OVERSEED" ON THE DRAWINGS SHALL BE PREPARED BY MOWING THE EXISTING LAWN AREAS TO BE OVERSEEDED DOWN TO 2 INCHES OR LESS AND BAG THE CLIPPINGS. AFTER MOWING, USE A METAL THATCH RAKE TO REMOVE ANY REMAINING CLIPPINGS OR DEBRIS. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. TAKE TIME TO DETHATCH AND CORE AERATE COMPACTED LAWNS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.

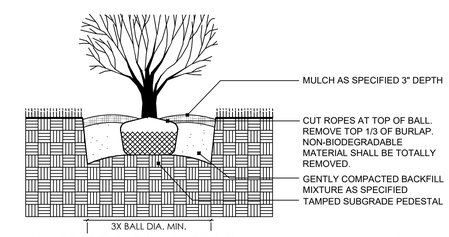
3. FERTILIZATION & WATERING
   3.1. AN IRRIGATION PLAN FOR LANDSCAPE BEDS AND PLANTINGS SHALL BE INSTALLED PER THE DIRECTION OF THE OWNER OR HIS REPRESENTATIVE.
   3.2. APPROPRIATE STARTER FERTILIZER SHALL BE APPLIED FOR SEEDED AREAS ONLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS TO STIMULATE GERMINATION AND ROOT ESTABLISHMENT. DO NOT PLACE PRE-EMERGENT HERBICIDES IN SEEDED AREAS. ENSURE THAT THE SELECTED FERTILIZER IS IN COMPLIANCE WITH LOCAL ENVIRONMENTAL LAWS.
   3.3. CONTRACTOR IS RESPONSIBLE FOR WATERING. FOR SEEDED APPLICATIONS, ENSURE SEED AND SOIL STAYS MOIST THROUGH GERMINATION/ESTABLISHMENT PERIOD. WATER LIGHTLY TWICE DAILY FIRST FOUR DAYS. WATER MORE HEAVILY EVERY OTHER DAY FOR THE NEXT FIVE DAYS, THEN WATER AS NEEDED TO PREVENT WILTING. ONCE LAWN HAS RETURNED TO NORMAL THICKNESS AND MATURITY, RETURN TO REGULAR MAINTENANCE PRACTICES.
   FOR SOD APPLICATIONS, ENSURE SOD STAYS MOIST DURING INSTALLATION, WATERING HEAVILY IMMEDIATELY UPON COMPLETION. WATER FOUR TIMES DAILY FOR FIFTEEN MINUTES AT A TIME ON ALL AREAS WITH A WAVE SPRINKLER OR COMPARABLE METHOD FOR THE NEXT TWO WEEKS. FOR THE REST OF THE GROWING SEASON, ENSURE TURF RECEIVES AT LEAST ONE INCH OF WATER PER WEEK THROUGH RAIN OR IRRIGATION. TEMPORARY IRRIGATION EQUIPMENT MY BE USED FOR UP TO 18 MONTHS



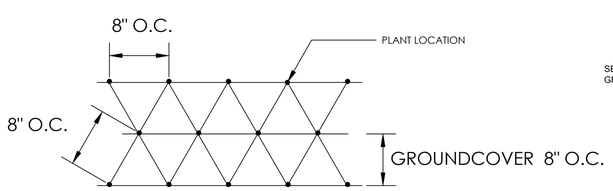
A - EVERGREEN TREE PLANTING

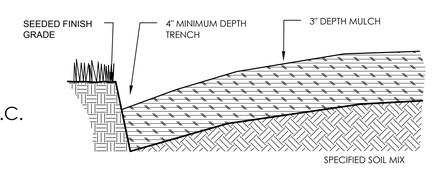


B - DECIDUOUS TREE PLANTING *NTS

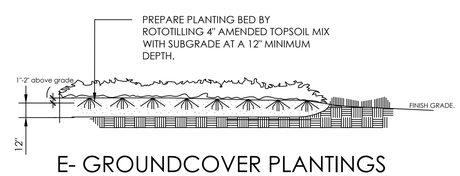


C- SHRUB PLANTING *NTS

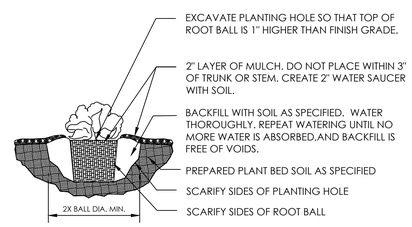




F- MULCH BED EDGE *NTS



E- GROUNDCOVER PLANTINGS



D- CONTAINER PLANTINGS

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE
800-362-2764 or 811
OHIO UTILITIES PROTECTION SERVICE

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LANDSCAPE ARCHITECT OF RECORD

TOPOS STUDIO
4 West Franklin Street
Centerville, OH 45459

CONSULTANT:

SUBMITTALS AND REVISIONS	
Site Plan Submittal	8/27/2021
Revision	11/01/21

The Ravine at Settlerspointe
Assisted Living Center
1345 Lytle-Five Points Road
Springboro, OH 45066

Landscape Plan

PROJECT #:	
DRAWN:	CP
REVIEWED:	CP
DATE	11/01/2021

L-2

EXTERIOR COLOR SCHEDULE

PRIMARY MATERIAL: HARDIE BOARD LAP SIDING	COLOR: PAINTED, SW 7067 CITYSCAPE
SECONDARY MATERIAL: HARDIE BOARD SHAKE SIDING	COLOR: PAINTED, SW 7067 CITYSCAPE
NATURAL STONE	COLOR: NATURAL BUFF MORTAR: BUFF
STONE ACCENTS AND TRIM	COLOR: NATURAL BUFF MORTAR: BUFF
FIBER CEMENT TRIM (VERTICAL AND HORIZONTAL)	COLOR: SW 7530 BARCELONA BEIGE
WINDOWS/ DOORS (EXCEPT ENTRANCE)	COLOR: ALMOND OR SIMILAR
ROOF SHINGLES	TIMBERLINE AMERICAN HARVEST COLOR: SADDLEWOOD RANCH
STANDING SEAM ROOF	COLOR: SW 7067 CITYSCAPE

MATERIAL LEGEND

- NATURAL STONE - MATCH EXISTING
- (HB-1) FIBER CEMENT TRIM - SW 7530 BARCELONA BEIGE
- (HB-2) FIBER CEMENT SIDING - SW 7067 CITYSCAPE
- (HB-3) FIBER CEMENT SIDING - SW 7067 CITYSCAPE
- ASPHALT SHINGLE
- STANDING SEAM METAL ROOF

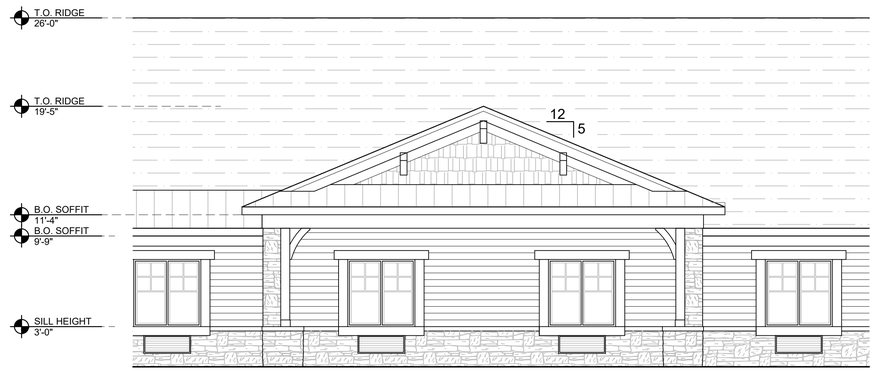
GENERAL NOTES

1. ALL EXTERIOR FRAME WALLS TO RECEIVE TYVEK BUILDING WRAP OVER EXTERIOR SHEATHING (LINDER FINISH SHOING MATERIAL)
2. INSTALL WATER SHIELD PROTECTION AT ALL DOOR AND WINDOW OPENINGS. WRAP OVER TYVEK AND RETURN INTO OPENING IN WALL
3. ALL EXTERIOR FINISHES TO BE APPROVED BY OWNER
4. ALTERNATE FINISHES CONSIDERED IF ALTERNATE MEETS GENERAL SPECIFICATIONS AND IS APPROVED BY OWNER, ARCHITECT.
5. MODIFICATIONS TO EXTERIOR ELEVATIONS MAY LEAD TO FURTHER REVIEW BY THE LOCAL AUTHORITY HAVING JURISDICTION.

SCALE
N/A

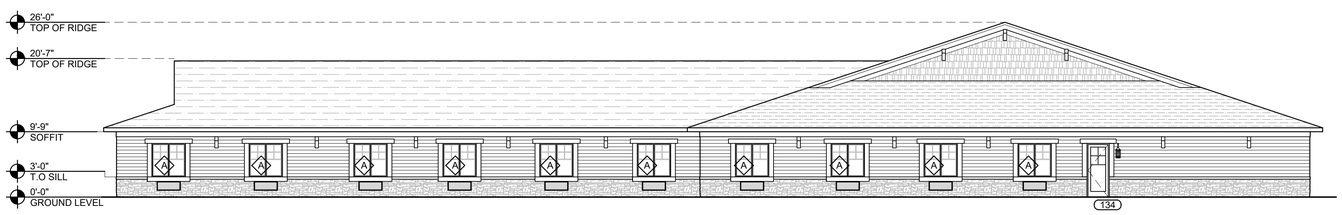
FRONT ENTRANCE — 5

SCALE 3/32" = 1'-0" — A4.0



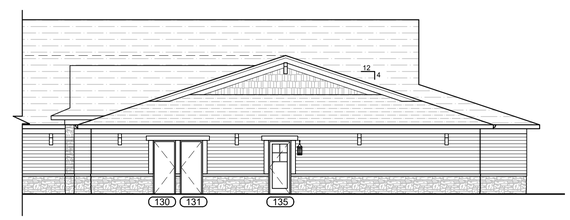
ENLARGED ELEVATION — 4

SCALE 3/32" = 1'-0" — A4.0



WEST ELEVATION — 3

SCALE 3/32" = 1'-0" — A4.0



SOUTH ELEVATION — 2

SCALE 3/32" = 1'-0" — A4.0

SOUTH ELEVATION — 1

SCALE 3/32" = 1'-0" — A4.0

19009

ALT architecture

ALT Architecture Inc.
Architecture - Engineering
Interior Architecture - Planning

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2440 Dayton-Xenia Road
Beavercreek, Ohio 45434
937 427 2770 voice
937 426 9798 fax
info@altarchitecture.com

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THE RAVINE AT SETTLER'S POINTE

1345 W LYTLE-FIVE POINTS RD
SPRINGBORO, OH 45066

NEW ASSISTED LIVING FACILITY

STATE OF OHIO
James M. Alt
6507
REGISTERED ARCHITECT

James M. Alt, License #6507
Expiration Date, 12/31/2023

NO.	DATE	DESCRIPTION
-	06/24/22	FOR PLAN APPROVAL

EXTERIOR ELEVATIONS

A4.0

EXTERIOR COLOR SCHEDULE

PRIMARY MATERIAL: HARDIE BOARD LAP SIDING	COLOR: PAINTED, SW 7067 CITYSCAPE
SECONDARY MATERIAL: HARDIE BOARD SHAKE SIDING	COLOR: PAINTED, SW 7067 CITYSCAPE
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WINDOWS/ DOORS (EXCEPT ENTRANCE)	COLOR: ALMOND OR SIMILAR
ROOF SHINGLES	TIMBERLINE AMERICAN HARVEST COLOR: SADDLEWOOD RANCH
STANDING SEAM ROOF	COLOR: SW 7067 CITYSCAPE
CEDAR BRACKETS	COLOR: SW CUSTOM COLOR 092518 CEDAR BEAM

MATERIAL LEGEND

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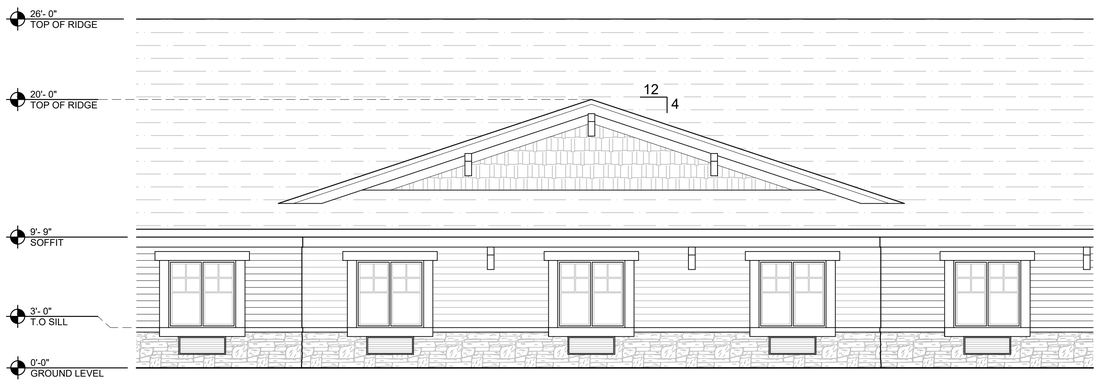
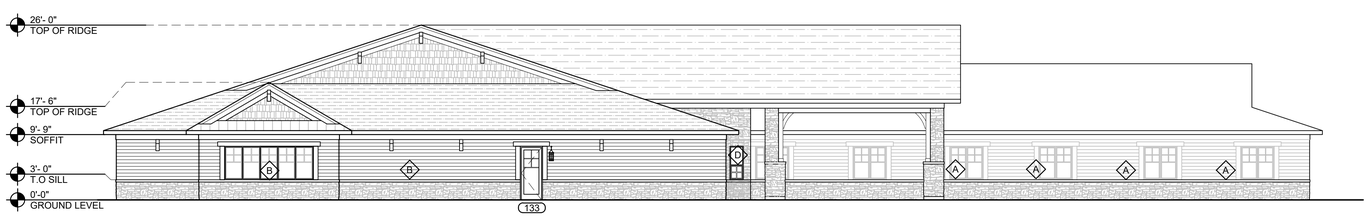
SCALE
N/A



ENLARGED ELEVATION — 4
SCALE 3/16" = 1'-0" — A4.1



EAST ELEVATION — 3
SCALE 3/32" = 1'-0" — A4.1

NORTH ELEVATION — 2
SCALE 3/32" = 1'-0" — A4.1

NORTH ELEVATION — 1
SCALE 3/32" = 1'-0" — A4.1

19009

architecture

ALT Architecture Inc.
Architecture - Engineering
Interior Architecture - Planning

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THE RAVINE AT SETTLER'S POINTE

1345 W LYTLE-FIVE POINTS RD
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NEW ASSISTED LIVING FACILITY

STATE OF OHIO
James M. Alt
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REGISTERED ARCHITECT

James M. Alt, License #6507
Expiration Date, 12/31/2023

NO.	DATE	DESCRIPTION
-	06/24/22	FOR PLAN APPROVAL

EXTERIOR ELEVATIONS

A4.1

APPLICATION—PLANNED UNIT DEVELOPMENTS
CITY OF SPRINGBORO PLANNING COMMISSION

☒ REZONING/GENERAL PLAN ☐ FINAL DEVELOPMENT PLAN ☐ RECORD PLAN ☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
- ☐ Agent
- ☐ Lessee
- ☒ Signed Purchase Contract

APPLICANT NAME: M/I Homes of Cincinnati, LLC

Address: 9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249

Telephone No. (513) 833-2206

Fax No. ( )

Email Address: jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Peter S. Morris, Successor Trustee

Address: 1525 S. Main Street
Springboro, OH 45066

Telephone No. (407) 786-5125

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): 08182000131 & 08182000132 Acreage: 35.62

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75 + Existing House

Proposed Use: Single-family detached, Accessory Use: Swimming Pools, Decks, Fences, Walls, and Hedges

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent) 9/21/2023 (Date)

Justin Lanham
Printed Name

M/I HOMES
Welcome to Better

Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

September 21, 2023

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Morris Property – Application for Amendment of Zoning Map & General Plan
Enclosed: Proposed House Elevations and Floorplans (10 Pages)

Dear Mr. Boron,

M/I Homes is pleased to provide an Application for an Amendment of Zoning Map & General Plan for the 35.62 acre Morris property located at 1525 S Main Street Springboro, OH 45066. The proposed General Plan shows (75) single-family detached lots with a typical lot dimension of 62'x135' and 25' front and rear setbacks as well as 5' side setbacks on each side (10' total). The existing house will remain and be platted on a 2-acre lot. The streets are in a 50' public right-of-way that will include 5' sidewalk on both sides of the internal streets.

If the Amendment of Zoning Map & General Plan is approved, we plan to break ground in the Summer of 2024 with the goal of having a model home open in early-2025. Buildout is expected to take 3-5 years depending on market conditions. We will market the community as "Northampton".

M/I will offer for sale detached ranch and two-story homes targeting empty-nester and family buyers. The enclosed house plans include a variety of elevations and colors with square footage ranging from 1,544sf to more than 3,000sf. Home plans will comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Front elevations will be as shown with brick and vinyl siding. The sides and rear will have a 1st floor brick wrap with vinyl siding above.

The proposed plan has 13.40 acres of active and passive open space which is 37.6% of the total acreage. The central 6.08 acre green space will feature the existing pond, seating shelter, and 10' concrete/asphalt multi-use trail. The open space will be owned and maintained by a Homeowners Association that shall govern the community through the Covenants, Conditions, & Restrictions.

The City of Springboro Master Plan adopted in February 2022 locates the property within Policy Area 16 which is described as having the following existing and preferred future characteristics:

1. Low-to moderate-density detached residential (Pg. 79).

M/I HOMES
Welcome to Better

Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

- The proposed plan density is 2.11 detached du/ac (2.13 including the existing house) which is consistent with the "low-to moderate density" prescribed for Policy Area 16.

2. Extensive active and passive open space areas (Pg. 79).
   - The proposed plan includes 37.6% active and passive open space including walking paths, seating shelter, naturally wooded areas, and the existing pond.

3. Policy area 16 is characterized by large lot single family residential uses (Pg. 79).
   - While the area does have a mixture of large lots including multiple single-family lots along S.R. 741 that could be redeveloped in the future, there are pockets of residential lots similar in size to the proposed plan most notably across at Heatherwoode Blvd.

4. Encourage safe school access for nearby residents through the establishment of sidewalks and/or walking trails (Pg. 80).
   - The proposed plan includes 5' sidewalk on both sides of the internal streets as well as a 10' multi-use trail that connects S.R. 741 to the development and the school campus to the south. In addition, the right turn lane from SR741 into the school campus will be extended 200'.

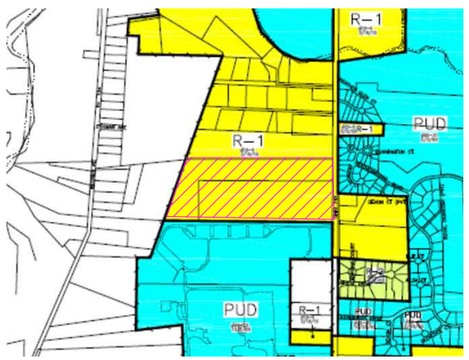
5. Promote and maintain the Heatherwoode Golf Course as a valuable local and regional amenity (Pg. 80).
   - The proposed plan will not negatively impact the golf course but should be a source of new customers.

Based on these characteristics, we believe the proposed plan "emphasizes residential uses that conform to the existing character of the neighborhood" as is recommended by the 2022 Master Plan (Pg. 80). We look forward to working with the City of Springboro and creating a community that current and future residents can be proud of. Please contact me should you have any questions or need additional information.

Respectfully,

Justin Lanham
M/I Homes of Cincinnati, LLC
(513) 551-3954
jlanham@mihomes.com

VICINITY MAP 1"=1000'



ZONING MAP: 1"=1000'

R-1	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
R-2	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
R-3	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
HBD	(HBD) HIGHWAY BUSINESS DISTRICT
LBD	(LBD) LOCAL BUSINESS DISTRICT
CBD	(CBD) CENTRAL BUSINESS DISTRICT
UVD	(UVD) URBAN VILLAGE DISTRICT
M-1	(M-1) LIGHT MANUFACTURING DISTRICT
M-2	(M-2) HEAVY MANUFACTURING DISTRICT
ED	(ED) EMPLOYMENT CENTER DISTRICT
PUD	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
PUD-MU	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
PUD-O	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
PUD-B	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
PUD-R	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
O-R	(O-R) OFFICE-RESIDENTIAL DISTRICT
O	(O) OFFICE PARK DISTRICT
ADD-1	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
ADD-2	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

1. KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066

2. SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
STE 300
MIAMISBURG OH 45342

3. CALMES SANDRA L
1405 S MAIN ST
SPRINGBORO OH 45066

4. PENWELL PHILLIP L & BARBARA J
23 DUNNINGTON CT
SPRINGBORO OH 45066

5. BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066

6. MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066

7. MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066

8. FERGUSON REBECCA A
6584 WEIDNER RD
SPRINGBORO OH 45066

9. SIR EDWARDS GLEN OWNERS ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066

10. CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066

11. MCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066

12. ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066

13. GOLLIHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
SPRINGBORO OH 45066

14. MUNTZ GARY W & MARY L
10 GLENCOE CT
SPRINGBORO OH 45066

15. BURCH KEVIN W
30 GLENCOE CT
SPRINGBORO OH 45066

16. BURNS PATRICK & PAMELA
5 GLENCOE CT
SPRINGBORO OH 45066

17. VALENTINO NICHOLAS V
15 GLENCOE CT
SPRINGBORO OH 45066

18. ASHBY HULAN C
25 GLENCOE CT
SPRINGBORO OH 45066

19. RUTLEDGE LARRY R JR
35 GLENCOE CT
SPRINGBORO OH 45066

20. HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
SPRINGBORO OH 45066

21. MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066

22. SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066

23. CARNES RALPH M & MELANIE A
5707 WEIDNER RD
SPRINGBORO OH 45066

24. CARNES MICHAEL A
1520 S MAIN ST
SPRINGBORO OH 45066

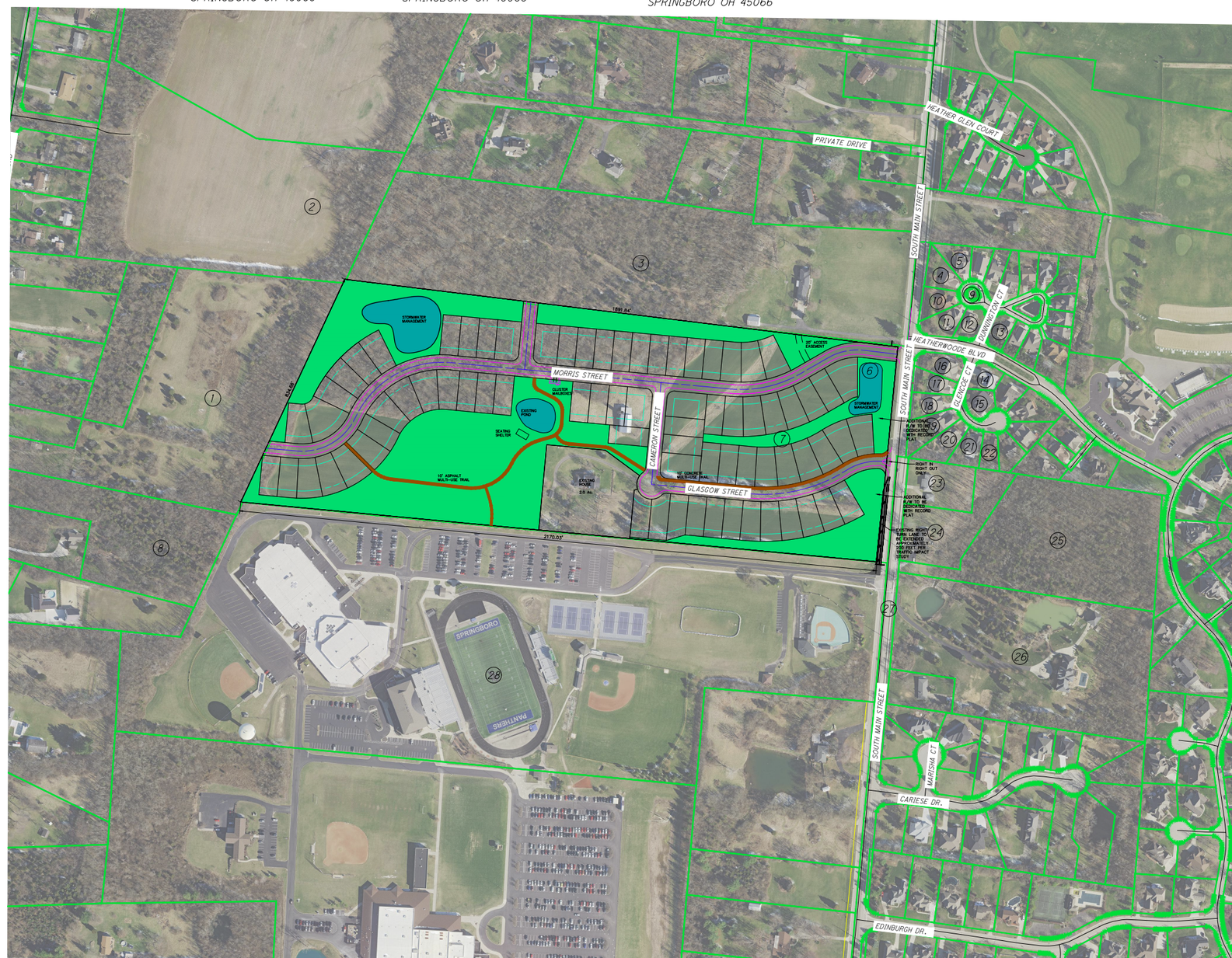
25. CRANE ROBERT M & REGINA
138 TIMBERSIDE CT
SPRINGBORO OH 45066

26. DO DAKLAK CAO & DAKBLA TRAN
1550 S MAIN ST
SPRINGBORO OH 45066

27. CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066

28. SPRINGBORO COMMUNITY CITY SCHOOLS
1685 S MAIN ST
SPRINGBORO OH 45066

SCALE IN FEET
0 100 200 400



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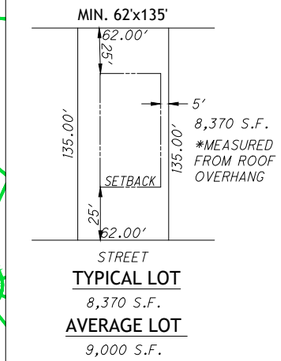
LOVELAND, OHIO 513.239.8554
www.CHOICEONEENGINEERING.com

NORTHAMPTON
CITY OF SPRINGBORO
SCHEMATIC PLAN

REVISIONS:

FILE NAME	VICINITY
DRAWN BY	JBP
CHECKED BY	JSP
PROJECT No.	WARSPR2303
DATE	09-21-2023
SHEET NUMBER	1 OF 4

Z:\project\Warren\Springboro\WAR-SPR-2303MorrisProperty\WARSPR2303_PreliminaryPlatExhibits.dwg 21-Sep-23 12:57 PM



PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.

SUMMARY TABLE:

PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELL UNITS: 75

1 EXISTING HOUSE: 2.00 Ac.

NET DENSITY OF RESIDENTIAL USES:
75 UNITS / 35.62 Ac.
= 2.11 UNITS / ACRE

EXISTING ZONING: R-1 ZONING

PROPOSED ZONING: PUD-R ZONING

OPEN SPACE: 13.40 Ac./ 37.6%
ACTIVE OPEN SPACE: 6.08 Ac./ 17%
STORMWATER MANAGEMENT: 2.51 Ac. / 7.1%
BUFFER AREA: 4.81 Ac. / 13.5%

75 LOTS 62'x135'

FRONT SETBACK = 25'
REAR SETBACK= 25'
SIDE SETBACK= 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG

OPEN SPACE MAINTAINED BY HOA

PROPOSED WALKING PATH

SCALE IN FEET
0 50 100 200

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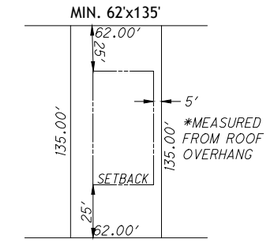
NORTHAMPTON
CITY OF SPRINGBORO
GENERAL PLAN

REVISIONS:

FILE NAME	PHASE
DRAWN BY	JBP
CHECKED BY	JSP
PROJECT No.	WARSPR2303
DATE	09-21-2023
SHEET NUMBER	2 OF 4



TYPICAL LOT
8,370 S.F.
AVERAGE LOT
9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
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OPEN SPACE MAINTAINED BY HOA

PROPOSED WALKING PATH

SCALE IN FEET
0 25 50 100

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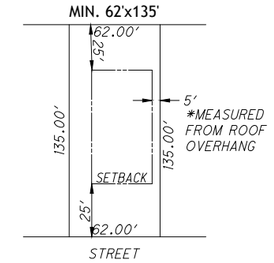
NORTHAMPTON
CITY OF SPRINGBORO
GENERAL PLAN

REVISIONS:

FILE NAME	50 SCALE-1
DRAWN BY	JBP
CHECKED BY	JSP
PROJECT No.	WARSPR2303
DATE	09-21-2023
SHEET NUMBER	3 OF 4



TYPICAL LOT

8,370 S.F.

AVERAGE LOT

9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.

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STORMWATER MANAGEMENT: 2.51 Ac. / 7.1%
BUFFER AREA: 4.81 Ac. / 13.5%

75 LOTS 62'x135'

FRONT SETBACK = 25'
REAR SETBACK= 25'
SIDE SETBACK= 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG

OPEN SPACE MAINTAINED BY HOA

PROPOSED WALKING PATH

SCALE IN FEET
0 25 50 100

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NORTHAMPTON
CITY OF SPRINGBORO
GENERAL PLAN

REVISIONS:

FILE NAME	50 SCALE-2
DRAWN BY	JBP
CHECKED BY	JSP
PROJECT No.	WARSPR2303
DATE	09-21-2023
SHEET NUMBER	4 OF 4

Faulkner

Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot

Elevation A - Shown w/ Opt coach lights & Brick Wainscot

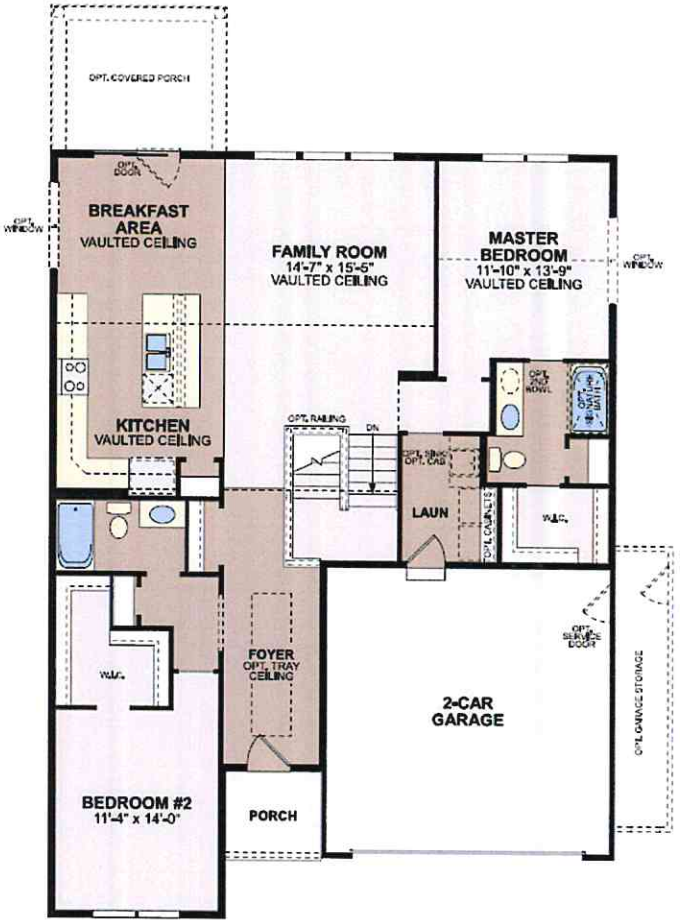
Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

M I HOMES
Welcome to Better

Note: Other elevation materials available and may be required by community. See MIHomes.com for more elevations.



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NORTHAMPTON

M/I HOMES

Cooper

Elevation C - Shown w/ Opt coach lights & Stone Wainscot

Elevation A - Shown w/ Opt coach lights & Brick Wainscot

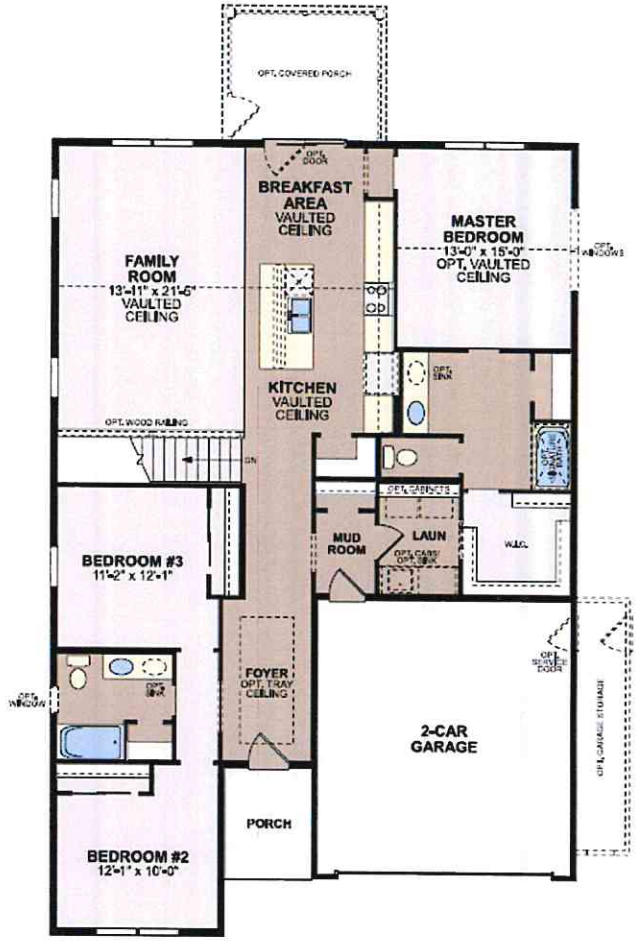
Elevation B - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,776
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

M | HOMES
Welcome to Better

"Note: Other elevation materials available and may be required by community. See MIHomes.com for more elevations."



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NORTHAMPTON

M/I HOMES

Melville

Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot

Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot

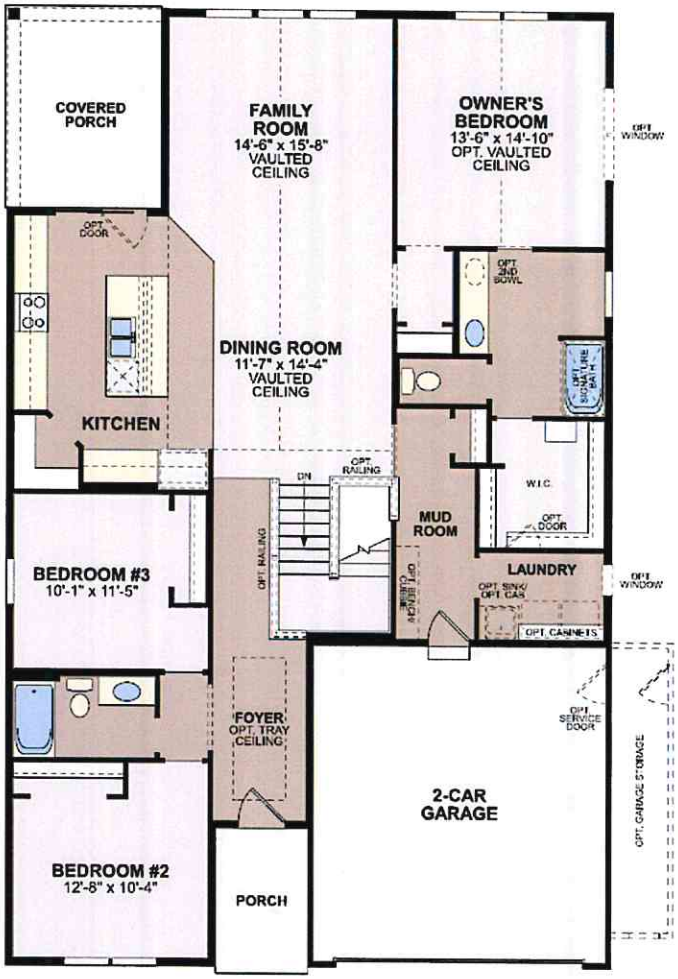
Elevation C - Shown w/ Opt Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

M/I HOMES
Welcome to Better

Note: Other elevation materials available and may be required by community. See MIHomes.com for more elevations.



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NORTHAMPTON

M/I HOMES

Serenity

Elevation B - Shown w/Opt Full Brick Front

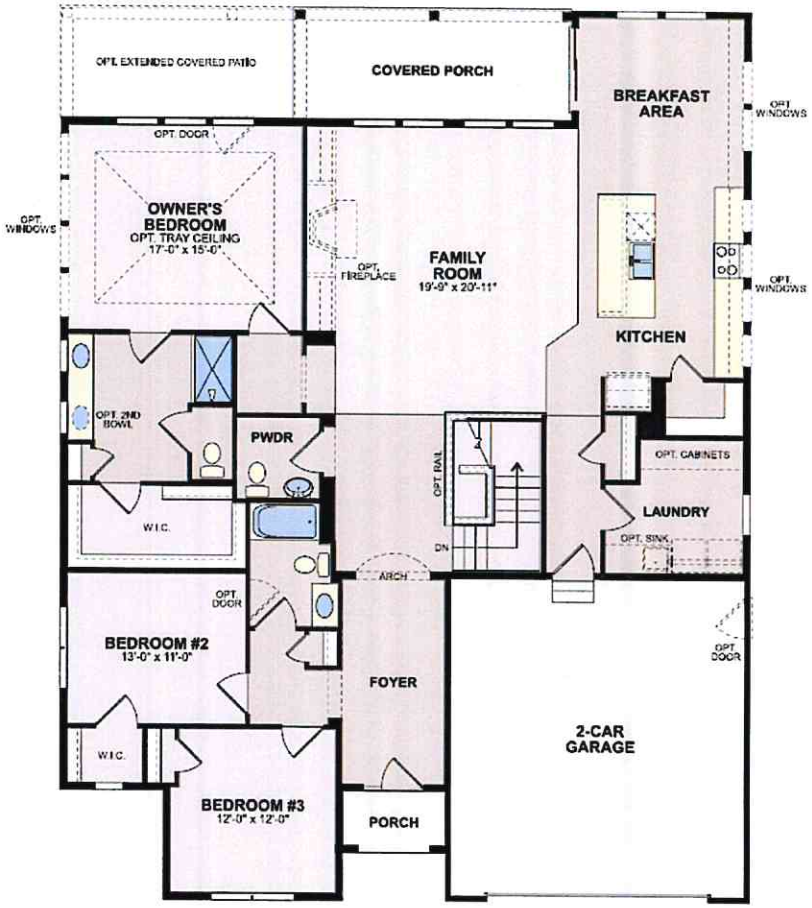
Elevation C - Shown w/Opt Stone

Elevation E

Square Feet: 2,330
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 1

M/I HOMES
Welcome to Better



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NORTHAMPTON

M/I HOMES

Dawson

Elevation A

Elevation D - Shown w/Opt Stone

Square Feet: 2,461
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M I HOMES
Welcome to Better

FIRST FLOOR

SECOND FLOOR

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NORTHAMPTON

M/I HOMES

Inglewood

Elevation E - Shown w/ Opt Coach Lights

Elevation B - Shown w/ Opt Coach Lights

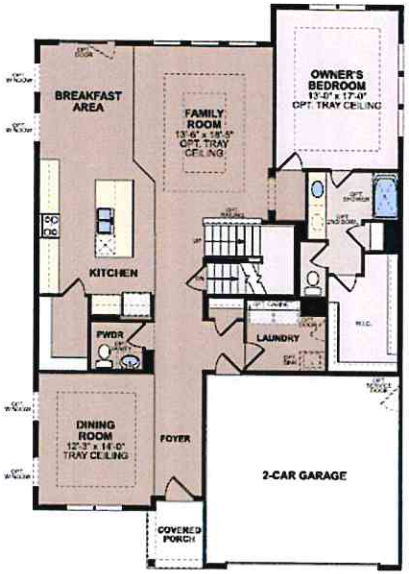
Elevation C - Shown w/ Opt Coach Lights

Elevation D - Shown w/ Opt Coach Lights

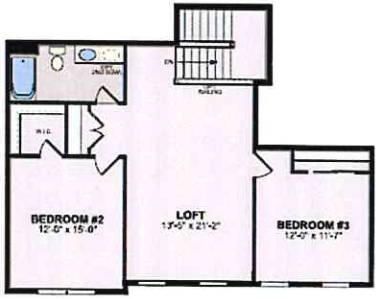
Square Feet: 2,558
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M/I HOMES
Welcome to Better



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

M/I HOMES

Cooke

Elevation C - Shown w/Opt Stone and Bonus Room

Elevation A

Elevation B

Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M I HOMES
Welcome to Better

FIRST FLOOR

SECOND FLOOR

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NORTHAMPTON

M/I HOMES

Dillon

Elevation A

Elevation B

Square Feet: 2,913
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M I HOMES
Welcome to Better

FIRST FLOOR

SECOND FLOOR

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NORTHAMPTON

M/I HOMES

Barrett

Elevation B - Shown w/Opt Coach Lights

Elevation A - Shown w/Opt Coach Lights

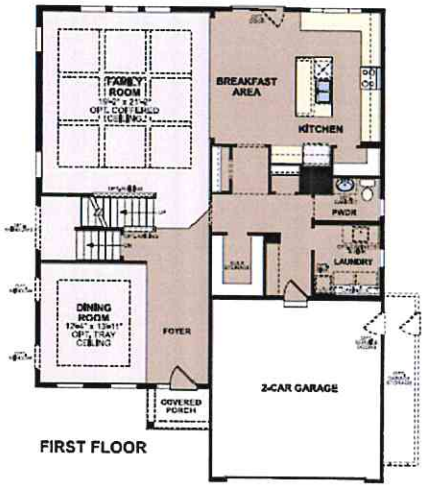
Elevation C - Shown w/Opt Coach Lights

Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M/I HOMES
Welcome to Better



FIRST FLOOR

SECOND FLOOR

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NORTHAMPTON

M/I HOMES

Fairview

Elevation A - Shown w/ Opt Coach Lights

Elevation B - Shown w/ Opt Coach Lights

Elevation C - Shown w/ Opt Coach Lights

Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M I HOMES
Welcome to Better

FIRST FLOOR

SECOND FLOOR

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NORTHAMPTON

M/I HOMES

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, September 13, 2023

I. Call to Order

Chair Becky Iverson called the September 13, 2023 Springboro Planning Commission Meeting to order at 6:00 pm at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Rob Dimmitt, Matt Leedy, John Sillies, and Mike Thompson

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Thompson motioned to excuse Mr. Harding. Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes (6 yes,-0 no)

II. Approval of Minutes

August 9, 2023 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Thompson motioned to approve the August 9, 2023 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes (6 yes, 0 no)

Discussion:

Ms. Iverson thanked Mr. Pearson for filling in during her absence at the past two Planning Commission meetings. She thanked the rest of the Planning Commission members for their support as well.

Ms. Iverson noted that a request was made to move Item C on tonight's agenda to the first agenda item to accommodate the applicant. This request was granted; Item C was moved to the first position on the agenda for consideration for Final Approval.

DRAFT

III. Agenda Items

C. Final Approval
Variance Request in Planned Unit Development, 70 Heather Glen Court, Heatherwoode PUD, addition in required yard

Background Information

This agenda item is an application, filed by Jerry and Julie McCarthy, property owners, requesting a variance from the minimum rear setback to allow the construction of a roof extension to their home located at 70 Heather Glen Court in the Heatherwoode Cluster C portion of the Heatherwoode PUD, Planned Unit Development. The rear yard setback for this property is 20 feet. The property owners would like to extend the roofline on the home to within 17.95 feet of the rear property line. This would allow, as indicated in the submitted materials, the property owners to be protected from golf balls from the nearby #10 tee of Heatherwoode Golf Course.

The Planning and Zoning Code provides relief from the strict interpretation of the code in Planned Unit Developments such as Heatherwoode from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zone properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

The City is in receipt of documentation from the homeowners association indicating approval of the proposed construction as well as neighbors owning properties on abutting property.

Staff Recommendation

City staff recommends approval of the variance as requested for 70 Heather Glen Court subject to the following comments:

1. Construction shall be outside of sanitary sewer easement area.
2. Setbacks are measured from the overhang by Zoning Department; verify distance from outermost portion of proposed addition.

Discussion:

Mr. Jerry McCarthy was present to answer any questions from Planning Commission members and City staff.

Ms. Iverson asked Mr. McCarthy to approach the podium.

Mr. Jerry McCarthy, 70 Heather Glen Ct., introduced himself to Planning Commission members and staff.

Mr. McCarthy stated that he was requesting a variance of their rear setback to allow for construction of a new roof extension to the rear patio area. Extending the roof would allow for the sliding glass doors that open out to the patio to be protected from errant golf balls; it would also add some additional protection for anyone in the patio area. The variance for the roof extension only applies to one corner of the roof; the remainder of the extension is within zoning requirements.

Ms. Iverson asked Mr. Boron to summarize what needs to be considered when a resident's property is located next to City property.

Mr. Boron said that the PUD ordinance allows for Planning Commission to grant variances in PUDs. There is an easement for a sanitary sewer nearby, but it will not be affected by this variance if approved. After review, staff has determined that this request makes sense and will not impede access to the sanitary sewer line. The HOAs associated with this property have agreed to the variance request as well.

Mr. Pearson noted that the applicant's home has been in the same spot for years and wanted to know what has changed to cause the applicant to request this variance.

Mr. McCarthy replied that the #10 tee box was moved and now golfers are trying to cut a corner to reach the green and if their shot is not successful, the golf ball often lands on his property.

Ms. Iverson asked about the assumption of risk by users to private property owners when a residence is located next to a city golf course.

Mr. McCarthy said that the liability falls solely to the property owner if damage occurs to their property by someone using the golf course.

Ms. Iverson asked if there were any further questions or comments. There were none.

Ms. Iverson called for a motion to approve the Final Approval, Variance Request in Planned Unit Development, 70 Heather Glen Court, Heatherwoode PUD, addition in required yard.

Mr. Sillies motioned to approve the final approval. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmit, yes; Leedy, yes; Sillies, yes; Thompson, yes (6-0)

Ms. Iverson said that the motion is approved unanimously.

A. Final Approval
Preliminary Plan, Cedar Creek subdivision, 7878 & 7914 Sharts Road

Background Information

This agenda item is based on a request filed by Associate Construction of Carlisle, Ohio, property owner, requesting preliminary review of the subdivision for the proposed Cedar Creek subdivision located on approximately 42.08 acres of land at 7878 and 7914 Sharts Road. The subject property is vacant.

The proposed site was the subject of a rezoning application from Franklin Township R1B PUD, Single-Family Residential Planned Unit Development, to City of Springboro R-2, Low Density Residential District. The application was reviewed by the Planning Commission at the April 12th meeting, and approved at the May 10th meeting. A Public Hearing was held before City Council on June 1st; following three readings of the Ordinance, the rezoning was approved at the July 6th City Council meeting and will become effective on August 5th. The property was annexed into the City of Springboro on July 15th.

The R-2 District allows for the development of moderate density residential areas in the community at the rate of four dwelling units per acre on lots 9,000 square feet or larger. Examples of R-2 District areas in

Springboro include the Royal Oaks, Fieldstone, and Creekside subdivisions, as well as the Sawgrass Pointe project also by Associate Construction. The proposed subdivision will include 75 lots, access points to Sharts Road and Advanced Drive, and 8.64 acres of open space on the south end of the property to be purchased by the City as parkland.

Lands to the north, south, and east are generally within the City of Springboro, while lands to the west are generally in Franklin Township. To the north, on the west side Sharts Road is a residential dwelling being developed in Franklin Township, in Springboro Quick Tech on the north side of the Advanced Drive and Sharts Road intersection, to the east in the Stolz Industrial Park are Matrix 5 at 105 Advanced Drive, Hanover Clocks at 125 Advanced Drive, Armstrong Trailer at 175 Advanced Drive, Honest Abe Roofing at 235 Advanced Drive, and Corvexxe at 245 Advanced Drive, to the south the City of Springboro's Clearcreek Park, and a large residential lot to the southwest. To the west in Franklin Township are residential lots and a church, Franklin Faith Tabernacle, all on Sharts Road.

In the City of Springboro, adjacent zoning includes ED, Employment Center District, to the north, PUD, Planned Unit Development, to the east associated with the Stolz Industrial Park on Advanced Drive, and to the south R-2 District overlaying Clearcreek Park and residential uses to the west. To the west in Franklin Township, can be found R2, Two-Family Residential District, regulated in the Warren County Rural Zoning Code.

This item was reviewed on a preliminary basis at the August 9th Planning Commission meeting at which time this item was authorized to be placed on an agenda for formal approval. No City Council action is required on preliminary plans.

Staff Recommendation

City staff recommends approval of the preliminary plan subject to the following conditions:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Provide landscaping plan for the subdivision consistent with provisions of Chapter 1280 of Planning and Zoning Code, Landscaping, including those for exterior and interior streets, buffers, and overall site concurrent to the construction plan phase of the approval process. Applicant advised that existing vegetation in the non-park dedication portion of the property can be used as credit against landscaping requirement.
3. Coordinate with Zoning Inspector on subdivision entry signage, if proposed.
4. Site to meet R-2 District zoning requirements.
5. Roadway to meet city specifications, including but not limited to, 50 foot right of way (local road), 29 feet back to back of curb with 24 feet wide pavement, and 5 feet sidewalks on both sides of road.
6. Provide access easement and drive to open space retention lot for maintenance purposes.
7. Verify intersection sight distance is met at Sharts Road and Advanced Drive. If not, make improvements accordingly.
8. Each lot to have a post light with a photoelectric cell and shall be operable at all times.
9. Provide Central Mailbox Units for the development, which shall also be reviewed by the Post Master.
10. An HOA is to be created to maintain items including, but not limited to, sump drains, retention pond, open space, and central mailbox units.
11. Additional engineering comments are reserved until such time when designed construction drawings are submitted for review, including but not limited to, site survey, roadway design, contours, drainage, easements, water, sanitary, storm sewer and retention calculations.

12. The Clearcreek Fire District looks forward to working with the builders and The City of Springboro as these projects move forward. The Clearcreek Fire District may have other comments as these projects move forward.

Discussion:

Mr. Rod Morris, Associate Construction, Carlisle, Ohio, was present to discuss the final approval for the new Cedar Creek subdivision Preliminary Plan.

Ms. Iverson asked Mr. Morris if he had any questions regarding the staff comments.

Mr. Morris said he did not have any questions and will continue to work with City staff to resolve any issues that may arise. He said that the plans submitted were very similar to other developments such as Beck Ridge and Sawgrass Point his company has developed in Springboro. He also noted that an additional retention basin had been added to the plans due to additional water located on the site.

Ms. Iverson asked Mr. Boron if he had any additional comments.

Mr. Boron said that most of the staff comments and recommendations are advisory at this point and will be addressed in the next phase as the construction plan preparation process progresses further through the Planning and Engineering Departments. Associate's engineering team has been working with Mr. Boron, Mr. Dudas and Mr. Dixon.

Ms. Iverson asked if there were any questions or comments from Planning Commission members.

Mr. Sillies asked if the City is purchasing the 8.64 acres at the south end of the property or is it being donated?

Mr. Boron stated that the City is purchasing the property; it has a natural connection to Clearcreek Park to the south.

Mr. Pearson asked Mr. Morris where the central mailbox units would be located in the community.

Mr. Morris said that they were looking at several locations throughout the subdivision but have not determined exactly where they will be located. The Postmaster is requiring that there be four mailboxes installed; they will probably be located in two groups of two once their locations are determined.

Ms. Iverson asked for further questions or comments. There were none.

Ms. Iverson called for a motion to approve the final approval for the Preliminary Plan, Cedar Creek subdivision, 7878 & 7914 Sharts Road.

Mr. Pearson motioned to approve the final approval. Mr. Thompson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmit, yes; Leedy, yes; Sillies, yes; Thompson, yes (6-0)

Ms. Iverson said that the motion is approved unanimously.

B. Final Approval
Final Development Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, 748 Gardner Road, retail development

Background Information

This agenda item is based on an application filed by Dryden Builders on behalf of Sahana Properties, LLC, requesting preliminary review for the development of commercial property in the retail component of the Village Park PUD-MU, Planned Unit Development-Mixed Use, located southwest of the intersection of North Main Street (SR 741) and Pennyroyal Road.

Two commercial buildings are proposed for the site. Building A would have frontage on North Main Street and would be approximately 5,993-square feet in area and would include a drive-through window on the north side of the building. Building B with frontage on Gardner Road is also proposed and would be 2,971 square feet in area.

Adjacent uses to the subject property include Springboro Wine & Spirits to the north, Huntington Bank to the east on the east side of North Main Street, Biggby's/Farmers & Merchants Bank to the south, and vacant land to the west on the west side of Gardner Road that is proposed to be developed as Clearcreek Fire Station No. 24.

Zoning adjacent to the subject property is PUD-MU, for properties to the north, south, and west as part of the Village Park mixed-use development, and PUD for property to the east that is part of the Settlers Walk development on the east side of North Main Street.

Final development plan is the second stage of the PUD approval process. Following preliminary review Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Recommendations:

City staff recommends approval of the site plan subject to the following cons the following conditions:

1. Indicate proposed building populations that are driving the volume of parking proposed for the site.
2. Relocate proposed drive-through facility to south side of 5,993-square foot building. Screen remainder of operation.
3. Landscaping plan meets Chapter 1280 requirements; please coordinate with City on inspector following installation.
4. No lighting plan submitted. Submit a lighting plan consistent with Chapter 1273, Lighting, of the Planning and Zoning Code including photometric analysis, lighting fixture information.
5. While not part of final development plan review process, signage to be reviewed by Zoning Inspector for compliance with Sign Code and Village Park PUD-MU design standards. Same applies to construction and other temporary signage.
6. Straighten the drive aisle from Gardner Road curb cut into the site.
7. Poor internal site circulation. Consider aligning drive aisles from proposed site to the existing Springboro Wine and Spirits store. Move parking spaces accordingly.
8. Provide separate 6" sanitary sewer lateral taps for each building tying directly into the existing 8" sewer main on Gardner Road. Minimum slope is 2%. Remove the proposed sanitary manhole in front of Building B, and connect to existing 6" sanitary lateral. Provide cleanouts every 100 feet and at bends. Provide details for the sewer tap on Gardner Road, such as saw cut and pavement replacement details.

9. Water meters to be located inside buildings – no meter pits. Also provide remote readers (mtu) for each service.
10. Provide curb stop for each water service lateral on the west side of Gardner Road in the tree lawn. The 2" water service lateral to be HDPE (250 PSI), SDR 9 material, with blue #14 minimum tracer wire.
11. Match crowns for storm sewer at manhole #301.
12. Provide invert information for catch basin #200.
13. Provide dumpster enclosure details.
14. State storm manhole #501 to be dog house manhole, and show existing 15" storm pipe elevations. If possible, connect this storm sewer span into the existing manhole, just west of MH #501.
15. Relocate proposed curb line, along south of lot, to be off of the existing storm manhole and proposed storm manhole #501.
16. Add note stating that any curb/sidewalk damaged during the water taps to existing main will be replaced per city specifications.
17. Consolidate the two lots into one.
18. Provide detention calculations for review.
19. Provide detailed plans for underground storage structure.
20. Provide an "AS BUILT" drawing showing as built location and elevations of all improvements, which shall be submitted prior to the issuance of an occupancy permit.
21. The Clearcreek Fire District has no comments at this time.

Discussion:

Mr. Chris Hinkle of Dryden Builders was present to discuss the final approval for Village Park PUD, 748 Gardner Road, retail development.

Ms. Iverson asked Mr. Hinkle if he had any questions or comments about the staff comments and recommendations.

Mr. Hinkle said that he would like to summarize what his company has completed so far. They did get the traffic study completed and are waiting for it to be reviewed by their engineers. He indicated that the recommendations included no modifications to either intersection. The two lots have been consolidated and will be submitted to the County for recording.

Mr. Hinkle stated that item number 2 of the staff comments, Relocate proposed drive-through facility to south side of 5,993-square foot building. Screen remainder of operation, took them by surprise. All previous submittals have shown the drive through window located on the north side of the building and no concerns were raised by staff or Planning Commission members regarding its position. They feel that relocating the drive through to the south side of the building would cause traffic to back up into the parking lot or possibly even the roadway.

Mr. Jordan Romberger, realtor, said the goal for occupancy would be to have a fine dining or fast-casual style restaurant which would utilize a pickup window for online orders. The concern is traffic could possibly get backed up onto Gardner Road during peak hours if the drive through is relocated to the south side of the building.

Mr. Leedy stated that he thinks the difference between having a pickup window for orders placed online with no menu board would define a restaurant as fast-casual, whereas if there is a menu board with a speaker as well as a pickup window, then the restaurant would be classified as a fast food establishment. There would be much more potential for a long line of vehicles if a menu board with a speaker was present.

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Mr. Pearson agreed with Mr. Leedy and raised a question regarding the landscaping and how long would the proposed plants take to mature to achieve the desired screening effect along SR 741; in conjunction with this question, he asked if the landscaping would obscure signage for the businesses.

Mr. Hinkle said that they would be changing the proposed landscaping to meet staff requirements along with the needs of the tenants.

A general discussion was held among Planning Commission members and Mr. Hinkle. It was determined that screening on the north side of the building is necessary, but may need to be altered based upon the occupancy of the building. Once final plans have been developed and tenants have been identified, Planning Commission may require the applicant to alter any existing landscaping in the future.

Mr. Dimmitt asked if the recommendation to move the drive through to the south side of the building was based on traffic issues or simply aesthetics.

Mr. Boron replied that it was both.

Mr. Hinkle does not agree with staff comment number 2 and would like it stricken from the comments. He stated that the business to the south, Biggby Coffee, has their drive through located on the north side along SR 741. Would they be required to relocate their window to the south side as well?

Mr. Boron said that no, the Biggby Coffee window would stay where it is now. Zoning is not static and this project is being evaluated on its own merits. If Planning Commission is inclined to do so, they can motion to strike staff comment number 2.

A general discussion was had by Planning Commission members about how to resolve going ahead with final approval without including staff comment number 2. It was determined that it needed to be stricken from the comments altogether and then approval could be given for the remainder of the staff comments.

Ms. Iverson called for a motion to strike staff comment number 2 from the staff comments and recommendations for the Final Approval, Final Development Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, 748 Gardner Road, retail development.

Mr. Thompson motioned to approve. Mr. Pearson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmit, yes; Leedy, yes; Sillies, yes; Thompson, yes (6-0)

Ms. Iverson said that the motion is approved unanimously.

Ms. Iverson called for a motion to approve the Final Approval, Final Development Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, 748 Gardner Road, retail development with staff comment number 2 stricken; staff comment number 3 will need to include enhanced landscaping.

Mr. Pearson motioned to approve. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmit, yes; Leedy, yes; Sillies, yes; Thompson, yes (6-0)

Ms. Iverson said that the motion is approved unanimously.

D. Preliminary Review, Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

E. Preliminary Review, General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), proposed single-family residential subdivision

Background Information

These agenda items are based on a request filed by M/I Homes of Cincinnati, LLC, seeking rezoning and general plan approval for the proposed Whispering Pines subdivision, a residential subdivision on an approximately 35.62-acre site located at 1525 South Main Street (SR 73). The applicant is requesting rezoning and general plan approval under the City's Planned Unit Development (PUD) process from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. These items was reviewed on a preliminary basis at the July 12th and August 9th Planning Commission meeting at which time the Planning Commission asked the applicants to consider the comments made at the meeting and present another plan for preliminary review.

The current proposal is largely the same as the one reviewed on August 9th. The applicant proposes to develop a total of 75 single-family residential units on the site, down from the 95 lots proposed in the previous proposal. The proposed development density is 2.11 units per acre with typical lots proposed to be 8,370 square feet and an average of 9,000 square feet. Current R-1 District zoning permits two units per acre on lots no less than 20,000 square foot lots. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. A total of 13.40 acres of open space is shown, or 37.6% of the land area, a slight reduction from the proposal reviewed on August 9th. Residential PUDs require a minimum 25% open space.

The proposed rezoning/general plan appears as two separate items on the Planning Commission work session agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council are required. Final development plan, similar to the City's site plan review process, review and approval by Planning Commission is the second stage in the process. Final development plan may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The subject property is presently zoned R-1, Estate-Type Residential District. That classification dates to 2015 when large parts of Springboro were reclassified to R-1 District from Township or (T)R-1 District. The (T)R-1 designation was allowed to remain on properties annexed over time from lands originally in Clearcreek and Franklin Townships. The R-1 and (T)R-1 have similar development densities, however moving to R-1 District allows the City to manage its own long-range development though its own Planning and Zoning Code.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1 District to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area 16, Heatherwoode, includes the subject area and land including the Heatherwoode, Farms of Heatherwoode, and Ashton Woods subdivisions, the City's Heatherwoode Golf Course, and the Springboro Community Schools main campus. The policy area recommends residential development and redevelopment that conforms to the existing character of adjoining neighborhoods. The plan also recommends connecting neighborhoods in the area, and improving pedestrian and bicycle access.

The three residential subdivisions in the vicinity were developed at the following densities:

- Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre
- Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre
- Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre. This includes Glencoe Court and Dunnington Court. The golf course is not included in the density calculation.

Aside from school property, lands immediately abutting the property are 11.23 acres (west), and 16.65 acres (north) in area.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the July 12th meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments on the general plan and rezoning for 1525 South Main Street:

1. What is warranting a development density at the high range for the surrounding area as recommended in Master Plan Policy Area 16 (2.11 dwelling units proposed, three nearby subdivisions developed at 1.72 to 2.10 units/acre)?
2. Home plans to comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
3. Indicate proposed exterior building materials for the subdivision.
4. What is the proposed breakdown of ranch and two-story homes proposed? A 50/50 split between the two types was discussed at the August 9th meeting.
5. Provide minimum lot sizes for all proposed lots. Note that side yard setbacks are measured from the roof overhang.

6. Indicate percentage of open space that is set aside for storm water detention, that is buffering to adjacent development, and set aside for amenities within the subdivisions.
7. Reorganize the proposed open space plan so that it provides future residents with more quality open space this is contiguous and usable, then drains the property, then buffers neighboring development in that preference order.
8. Plan to incorporate an east-west multiuse trail into the design of the subdivision to connect Heatherwoode on the east with land fronting Weidner Road to the west.
9. Proposed name of development to be changed. Whispering Pines is an existing street.
10. Streets to be built to City specifications, including 29 feet back to back of curb with 5 feet sidewalks. Back of sidewalk to be along the right of way line.
11. An HOA shall be developed to maintain all common elements, including but not limited to: detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
12. Provide location of Central Mailbox Unit(s), which are to be reviewed by the Post Master.
13. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to: water, sanitary, storm sewer and detention basin design.
14. Traffic study is currently being reviewed.
15. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening (if needed), pavement markings and signage.
16. Consider implementing traffic calming controls on Glasgow and Morris Streets.
17. Clearcreek Fire District has no comments at this time.

Discussion:

Mr. Justin Lanham and Mr. Brent Wilkens of M/I Homes, and Mr. Mike Goetlemoeller, Traffic Engineer for Choice One Engineering were present to answer questions from the Planning Commission and staff.

Ms. Iverson asked Mr. Boron to update Planning Commission regarding the status of this project.

Mr. Boron said this is for a preliminary review for both the rezoning the general plan approval for the property located at 1525 South Main Street / SR 741. This item has been before the Commission twice before; there have been some changes to the plan since the last meeting. The traffic study has been completed which then determined several changes to be made to help accommodate traffic along South Main Street. One additional staff comment was added, staff comment number 4, which asks what is the proposed breakdown of ranch and two-story homes? This comment was added based on the discussion by Planning Commission at the August 9th meeting.

Ms. Iverson asked Mr. Lanham for a brief summary of the changes that had made to the plans since the August 9 meeting.

Mr. Lanham said their plans had stayed the same as when presented on August 9 with the exception that a 200-foot extension has been added to the right turn lane as a result of the traffic study that was completed. A 10-foot multi-use trail has been added, going east to west from SR 741 on the property. The historic Janney Home will remain on the property. Open greenspace is ample and there are two stub streets incorporated into their plans.

Ms. Iverson asked Mr. Lanham if they had any objections regarding staff comments.

Mr. Lanham stated that with regards to staff comment number 4, M/I Homes is proposing to build both two-story homes and ranch-style homes but they are not going to designate a certain percentage of the homes to be either style; the first 75 buyers will have a choice of which type of home they want to have constructed.

Mr. Pearson asked why staff comment number 4 was added; it was his understanding that it was decided by Planning Commission members that they did not have the authority to require a specific number of the homes be a certain style.

Mr. Sillies agreed with Mr. Pearson and said that since the comment was posed as a question, it would not have to be met as a requirement.

Mr. Boron clarified that the comment was posed as a question based on the discussion that took place at the August 9 meeting. It was included to help with clarification because there was not a unanimous sentiment about requiring ranch-style homes.

Ms. Iverson said she was speaking on behalf of Mr. Steve Harding in his absence. She knows that Mr. Harding was adamant about the fact that the City needs more properties amenable to empty nesters and first-time homebuyers.

Ms. Iverson stated that she agrees with Mr. Harding. How can the builders be incentivized to provide this type of housing? She asked Mr. Lanham to tell her more about what he knows about the current market; what type of homes are people looking to buy?

Mr. Lanham said the housing market is strong for empty nesters. Single family detached developments are highly desirable at this time; this would include both ranch-style and two-story homes with basements.

Ms. Iverson asked Mr. Boron what authority the Planning Commission has in terms of what they can demand versus what they recommend.

Mr. Boron answered that because this is a PUD, the Planning Commission has the authority to make this request. Lot density, land use, lot minimum, design standards can all be considered in this case.

There was a discussion among Planning Commission members and staff about what determines whether a subdivision includes stub streets versus a cul-de-sac and how that affects adjacent property owners.

Mr. Boron stated topography generally determines possible connection(s) with undeveloped property.

Concerns were raised by Planning Commission members about the lack of housing available in the City for people who would like to downsize to smaller properties.

Mr. Pearson asked about the results of the traffic study that was completed.

Mr. Boron asked Mr. Dixon to report the results of the traffic study.

Mr. Dixon stated that the traffic study was completed and changes have been made to the plans to include an additional 200-foot turn lane into the Junior High School entrance. This should help alleviate traffic congestion at the light at the intersection. Traffic would increase to approximately ten extra trips per day per household once the subdivision is developed.

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Planning Commission members were happy with the additional green space that had been added to the plans along with the multi-use trail that was added. While Planning Commission would like to see more properties that are conducive to empty nesters and first-time home buyers, they cannot require a single type of home a builder may offer to buyers. Members were agreed that a variety of homes should at least be offered and then the buyers could choose from those options.

Mr. Thompson asked what the next step would be for Planning Commission regarding this project if they decided to approve the plans.

Mr. Boron said that Planning Commission would authorize a recommendation for final approval at the next meeting and then it would go before City Council for approval.

Ms. Iverson asked if there were any further questions or comments from the applicants or Planning Commission members. There were none.

V. Guest Comments

Ms. Iverson called for guest comments.

Mr. Dave Diemunsch, 6615 Weidner Road, introduced himself. He asked what the density is in the subdivision east and south of the high school.

Ms. Iverson clarified that subdivision is in Clearcreek Township and they have different zoning codes than Springboro.

Mr. Dixon said the density was two homes per acre in that subdivision.

Mr. Diemunsch said he and other property owners on Weidner Road are still concerned about the stub street that could possibly connect to Weidner Road. He is also concerned about the additional traffic the new subdivision will add to SR 741.

Mr. Dixon said that if any of the property owners surrounding Weidner Road did decide to sell to a developer, all traffic would be funneled directly onto Weidner Road if no stub streets existed to other subdivisions. The only way out would then be directly onto Weidner Road.

Mr. David Ferguson, 6584 Weidner Road, introduced himself. He believes that Planning Commission should remove the possibility of a stub street and thus eliminate the problem of having the possibility to connect to Weidner Road.

Ms. Iverson asked Mr. Boron if in the future a property owner on Weidner Road would sell to a developer, then would Clearcreek Township be required to address opening up a cul-de-sac onto Springboro property.

Mr. Boron confirmed it would be a Clearcreek Township issue at that point.

Ms. Ann Frick introduced herself and asked where she can obtain a copy of the City of Springboro's Master Plan.

Ms. Iverson told Ms. Frick that the Master Plan is available on the City's website.

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Mr. Dave Diemunsch returned to the podium to comment about how much extra traffic this new subdivision will generate and he does not want that to happen.

Mr. Boron commented that he had spoken with Mr. Jeff Palmer, Clearcreek Township Planning Director, about these concerns to make him aware that Springboro is not planning to connect to Clearcreek Township in the near future based on this project. This communication is common when any Springboro project or property abuts against Township property.

VI. Planning Commission and Staff Comments

Ms. Iverson asked Mr. Boron if he had any additional comments or information.

Mr. Boron said that there will be a Planning and Zoning workshop on December 1 and Planning Commission members are invited to attend. It will be held at Sinclair Community College in Dayton. The next Planning Commission meeting will be held on Wednesday, October 11th at 6:00 pm in Council Chambers.

VII. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Thompson motioned to adjourn the September 13, 2023 Planning Commission Meeting at 8:07 pm
Mr. Thompson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes (6-0)

Ms. Iverson said that the motion is approved unanimously.

_____
Becky Iverson, Planning Commission Chairperson

_____
Dan Boron, Planning Consultant

_____
September Bee, Planning Commission Secretary

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