

Agenda
City of Springboro Planning Commission Meeting
Wednesday, April 10, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order

- II. Approval of Minutes
 - A. March 13, 2024 Planning Commission Meeting

- III. Agenda Items
 - A. Final Approval, Site Plan Review, southwest terminus West Tech Boulevard, new building for Caesar Creek Software

 - B. Final Approval, Record Plan, The Ascent, Section Four

 - C. Final Approval, Record Plan, Wadestone subdivision, Phase 2

 - D. Preliminary Review, Site Plan Review, 245 South Pioneer Drive, addition for Buckeye Fabricating

 - E. Preliminary Review, Final Development Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), residential subdivision

 - F. Preliminary Review, Site Plan Review, 785 West Central Avenue (SR 73), new building for Seven Brew Coffee

 - G. Discussion, Planning and Zoning Law Update with City Attorney

- IV. Guest Comments

- V. Planning Commission and Staff Comments

- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, April 10, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

- A. Final Approval**
Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software

- B. Final Approval**
Record Plan, The Ascent, Section Four, southwest terminus of West Tech Boulevard

Agenda items A and B are listed together, A being the site plan for new Caesar Creek Software building on West Tech Boulevard, and B being the record plan to create the lot for the building and the dedication of public right-of-way with The Ascent Business Park.

Background Information—Site Plan

The agenda item is a request for site plan review filed by Synergy Building Systems seeking approval to allow the construction of a 37,500-square foot office building at the southwest terminus of West Tech Boulevard. The subject property is located west of the intersection of Pinnacle Point Drive and West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address; addresses are not assigned by the Springboro Engineering Department until later in the site development process. The two-story building would serve as the second location for Caesar Creek Software; their existing building is located immediately north. The proposed site is located entirely in the Warren County portion of The Ascent/South Tech Business Park.

The site plan includes references to a 30,000-square foot future building on the south side of the site. While this is helpful to this site plan review to determine the placement of the building and other details, the implications of that addition (additional parking, buffering, architectural details, etc.) will be reviewed at a later date.

The subject property is zoned ADD-1, Austin Development District 1. The ADD-1 district was created to manage development of land in the South Tech Business Park. The ADD-1 was an outcome of the Austin Center Land Use and Development Plan, a long-range plan developed by the City of Springboro in cooperation with Miamisburg, Miami Township, the Montgomery County Transportation Improvement District (MCTID), and others, to coordinate development of land near the then-proposed Austin Boulevard interchange of I-75. The ADD-1 includes its own permitted land uses, as well as design and development standards addressing architecture, landscaping/buffering, and other site development standards.

Zoning in vicinity of the subject property is exclusively ADD-1. Adjacent land uses include offices to the north and west for Shiver Security, Caesar Creek Software's original building, and Mayfield Brain and Spine (currently nearing completion).

This item was reviewed on a preliminary basis at the March 13 Planning Commission meeting. At that time, the Planning Commission authorized this item to be placed on the April 10 meeting agenda for final approval. This item does not require approval by City Council. The applicant intends to move forward with construction as soon as practicable.

Staff Recommendation—Site Plan

City staff recommends approval of the site plan contingent on the following comments:

1. When developed, the future building addition will need to include a 35-foot landscape buffer area adjacent to the proposed public roadway to the southwest.
2. Indicate lot coverage for site at build-out; maximum lot coverage for the ADD-1 is 85%.
3. Revised lighting plan is consistent with code for illumination levels and maximum to minimum, and average to minimum ratios. Confirm that any architectural lighting proposed for the building complies with code provisions (5.0 foot-candle maximum), and confirm proposed color-temperature of exterior lighting is 3500 Kelvin or less.
4. Provide additional trees on West Tech Boulevard frontage, and foundation plantings adjacent to building.
5. Signage to be consistent with Chapter 1281 of Planning & Zoning Code and Section 1268(f)(6) of ADD-1 requirements. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Revisions to the existing water and/or sewer to be reviewed by Montgomery County. Provide approval notification from the county for our files.

Background information—Record Plan

This agenda item is a request for record plan approval of The Ascent, Section Four, located at the west end of West Tech Road, submitted by Van Atta Engineering, Inc. The record plan contains two buildable lots, with lot 14 being the future site of Clear Creek Software, for a total area of 6.9 acres. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation—Record Plan

Staff recommends approval of the record plan subject to the following conditions.

1. Revise the title to be The Ascent Section Four.
2. Submit to Warren County for review and revise accordingly.

C. Final Approval Record Plan, Wadestone subdivision, Phase 2

Background Information

These agenda items are request for record plan approval of the Wadestone subdivision, Phase 2, located at 2515 West Factory Road, submitted by Grand Communities, LLC. The record plan includes a portion of the west side of the overall subdivision, the Wade-Wray component, and contains 9 single-family buildable lots in the R-1, Estate-Type Residential District, portion of the site. The plat also contains 30 single-family buildable lots in the east side of the Wadestone subdivision, the Swope-Hills component, in the PUD-R, Planned Unit Development-Residential,

portion of the site, with an overall area of the Phase 2 record plan being 24.6 acres. An additional access point is being created from West Factory Road, opposite Catalpa Drive.

Record plan review is the final stage of the subdivision regulation approval process for conventional zoning sites like the R-1 District as well as for the PUD approval process. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to compliance with the following comments:

Staff Comments—Wade-Wray Component

1. Submit record plan to Warren County for review and make revisions, if any.
2. Add minimum dwelling unit size in square feet for lots 28 through 50.
3. Remove notes #6, 7 and 9.

D. Preliminary Review

Site Plan Review, 245 South Pioneer Drive, building addition for Buckeye Fabricating

Background Information

This agenda item is a request for site plan review filed by Ferguson Construction on behalf of Buckeye Fabricating, property owner, seeking approval to allow the construction of a 36,270-square foot addition to Buckeye Fabricating's existing building located at 245 South Pioneer Drive. The proposed addition would be situated on the rear/east portion of the property, an area set aside for future expansion, storm water detention, and a buffer between the Buckeye Fabricating operation and residential areas to the east. The two vehicular access points from South Pioneer Drive would remain unchanged, however the internal circulation system would be modified with the addition of paved area on the west/front portion of the site, and an expanded parking and service areas on the south side of the property. A storage building on the south side of the property would be removed to accommodate the expansion.

The subject property is zoned ED, Employment Center District. The ED allows the existing business and its expansion as proposed. The ED allows for the establishment of setbacks at the time of the site plan review process to provide businesses flexibility for the use of their sites. There is no lot coverage maximum in the ED.

Zoning in the vicinity of the subject property is ED to the north (Accelelevation, 235 South Pioneer Drive), south Numed Pharma, 265 South Pioneer Drive), southeast (private residence, 2754 West Factory Road), and west (General Dynamics, 200 South Pioneer Drive). To the east are a number of residences in Franklin Township zoned R2, Two-Family Residential District, that front West Factory Road.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. Provide building population for determination of off-street parking requirement.
2. Dumpsters to be screened. Provide plans for exterior materials for final approval.
3. Following preliminary review provide a lighting plan for new or replace site and building lighting consistent with Chapter 1273 of Planning and Zoning Code including photometric analysis and use of fixtures with a cut-off design. Areas of concern include light trespass and glare to adjacent residential area to the east.
4. Provide landscaping on south and north property lines.
5. Signage including directional signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.
7. Provide detention and storm sewer design calculations and pipe slopes.
8. Sanitary sewer lateral shall be at minimum 2% slope. Provide details.
9. Provide graphical scale on all applicable sheets.
10. Additional engineering comments reserved until such time as details are provided.

E. Preliminary Review

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on an approximately 35.62-acre site. This item was reviewed on a preliminary basis at the March 13 Planning Commission meeting at which time the applicant was directed to submit plans for an additional preliminary review to address comments from members of Planning Commission and City staff.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site.

That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code. Staff comments are as follows:
 - a. Existing trees identified on sheet 10 of 12 account for an equivalent of 482 trees. Applicant to commit to those trees maintenance through the construction phase of the subdivision. These trees may be used against landscaping deficiencies in the plan except for street frontage and lot landscaping requirements.
 - b. Provide 2 additional trees on north and south property line, and 4 on west property line within 10-foot permanent buffer.
 - c. Provide 3 additional shade/evergreen trees on South Main Street frontage.
 - d. Site landscaping to be provided at rate of one tree/3,000 square feet of site area, less proposed right-of-way. Provide right-of-way acreage proposed for the subdivision.
 - e. Provide 94 additional trees for the internal street system (3,600 linear feet of frontage, 1 tree/40 feet of frontage x 2=180 required, 86 provided).
3. Development signage is not subject to Planning Commission review, however preliminary review by Zoning Inspector for compliance with Sign Code indicates sign message area far exceeds code (40 square feet permitted, 500 square feet proposed). Coordinate with Zoning Inspector on that issue as well as directional and other signage.
4. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks and 10-foot multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
5. An HOA shall be developed to maintain all common elements, including but not limited to: detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.

6. Location of central mailbox unit(s) to be reviewed by the Postmaster.
7. Provide an “eyebrow”/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
8. Developer to propose mechanism for the long-range protection of the Janney House and site within the subdivision.
9. Final configuration of the intersection of Glasgow and Cameron Street to be determined.
10. Revise multiuse trail and sidewalks accordingly:
 - a. Bike path to continue north on Perthshire Drive, formerly Highlands Drive, and stubbed to the north property line.
 - b. Connect proposed sidewalk system to the adjacent school campus.
 - c. Widen path along South Main Street to 10 feet.
 - d. All multiuse trails to be built to current AASHTO standard.
11. Roadway and utility improvements shall be per city specifications.
12. 50' cross access easement (not 20') to be provided to the parcel to the north from Morris Street near the main entrance to accommodate future 50 right of way for future connection. Show future connection on the plans. Future intersection shall meet all City Standards.
13. Dedicate the right-of-way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
14. Restate typical lot size as minimum lot size on sheet 3 of 12.
15. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
16. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to: water, sanitary, storm sewer and detention basin design.

F. Preliminary Review

Site Plan Review, 785 West Central Avenue (SR 73), proposed Seven Brew Coffee

Background Information

This agenda item is a proposal submitted by Woolpert’s Cincinnati office for site plan review approval to construct a Seven Brew drive-through coffee shop at 785 West Central Avenue (SR 73). The property is the site of the now-closed Long John Silver’s restaurant. The property is zoned HBD, Highway Business District, a zoning category that permits the use.

While the property had direct frontage on West Central Avenue, access will be from the common drive to the Midway Plaza shopping center immediately to the west.

Existing zoning for the vicinity of the subject property is exclusively HBD, including to the north on the north side of the West Central Avenue the developing Sheetz gas station/convenience store/drive-through restaurant (800 West Central Avenue), and to its east a multi-tenant office building, and on the south side of West Central Avenue, McDonald’s (775 West Central Avenue), and to the south and west the Midway Plaza shopping center (815-875 West Central Avenue) and its outparcels.

Staff Comments

1. Provide indication of building population at maximum shift for determination of off-street parking requirement.
2. Revise architectural plans to show tripartite building design consisting of a top, middle, and base.
3. Please verify what brake metal is.
4. Primary entrance to be on front (north) elevation.
5. Indicate plans for the screening of the proposed dumpster. All mechanical and other equipment to be screened.
6. Indicate lot coverage (85% maximum permitted) for site.
7. Signage subject to review by Zoning Inspector outside of the site plan review process including ground, wall, and directional signage. Applicant is advised that message area for all ground- and wall-mounted signage is limited to 35 square feet (50 when no ground sign is provided).
8. Obsolete signs currently on the property to be removed.
9. Following preliminary review, develop landscaping plan that includes screening of proposed drive-through operation from West Central Avenue frontage, parking areas, and site landscaping.
10. Following preliminary review, develop lighting plan for site and building consistent with Chapter 1273 of Planning and Zoning Code, including photometric analysis, light fixtures that comply with cut-off fixture requirements.
11. Provide completed traffic study for review. Complete all study recommendations prior to final approval by Planning Commission.
12. Create record plan dedicating the existing right-of-way along West Central Avenue.
13. Provide storm water detention for any additional impervious area created due to site re-development. Provide calculations accordingly.
14. Parking to be minimum 9 feet from property line.
15. Additional engineering comments reserved until such time as details are provided.

G. Discussion Planning and Zoning Law Update

Jerry McDonald, City Attorney, has been invited to attend the March 13 meeting to provide a planning and zoning law update to Planning Commission members and City staff.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, April 4, 2024 at 5:00 p.m.



570 Congress Park Dr • Dayton, OH 45459 • P 937.438.5650 F 937.438.5645

March 8, 2024

Chad Dixon
City of Springboro
320 West Central Avenue
Springboro, OH 45066

Re: Caesar Creek Building 2 – Drainage Memo

Dear Chad:

The proposed Caesar Creek Building 2 development will occupy a 4.1940 acre lot that will discharge storm water runoff to existing regional detention ponds—the first being north of the site near Shiver Security (Pond 1) and the second on the east side of West Tech Road (Pond 2). Approximately 0.42 acres of the Caesar Creek Building 2 site will be tributary to Pond 1, and 3.774 will be tributary to Pond 2. Pond 1 was designed and constructed to provide stormwater management for 12.9 acres of the Austin Place/Ascent development at full build out—CN=92; and Pond 2 was designed and built to provide stormwater detention for 26.3 acres of the Austin Place/Ascent development at full build out—CN=92. The proposed condition of the site following construction will consist of 1.35 acres of impervious cover, which causes a composite CN=85 (79 open space, 98 impervious). The proposed condition of the site will consist of less impervious area (lower CN), therefore, the proposed condition of the site does not exceed the capacity of the existing ponds.

References

Reports: *Detention Calculations for Austin Place. December 6, 2010*

Detention Calculations for Proposed Medical Office Building at the Ascent. February 17, 2023

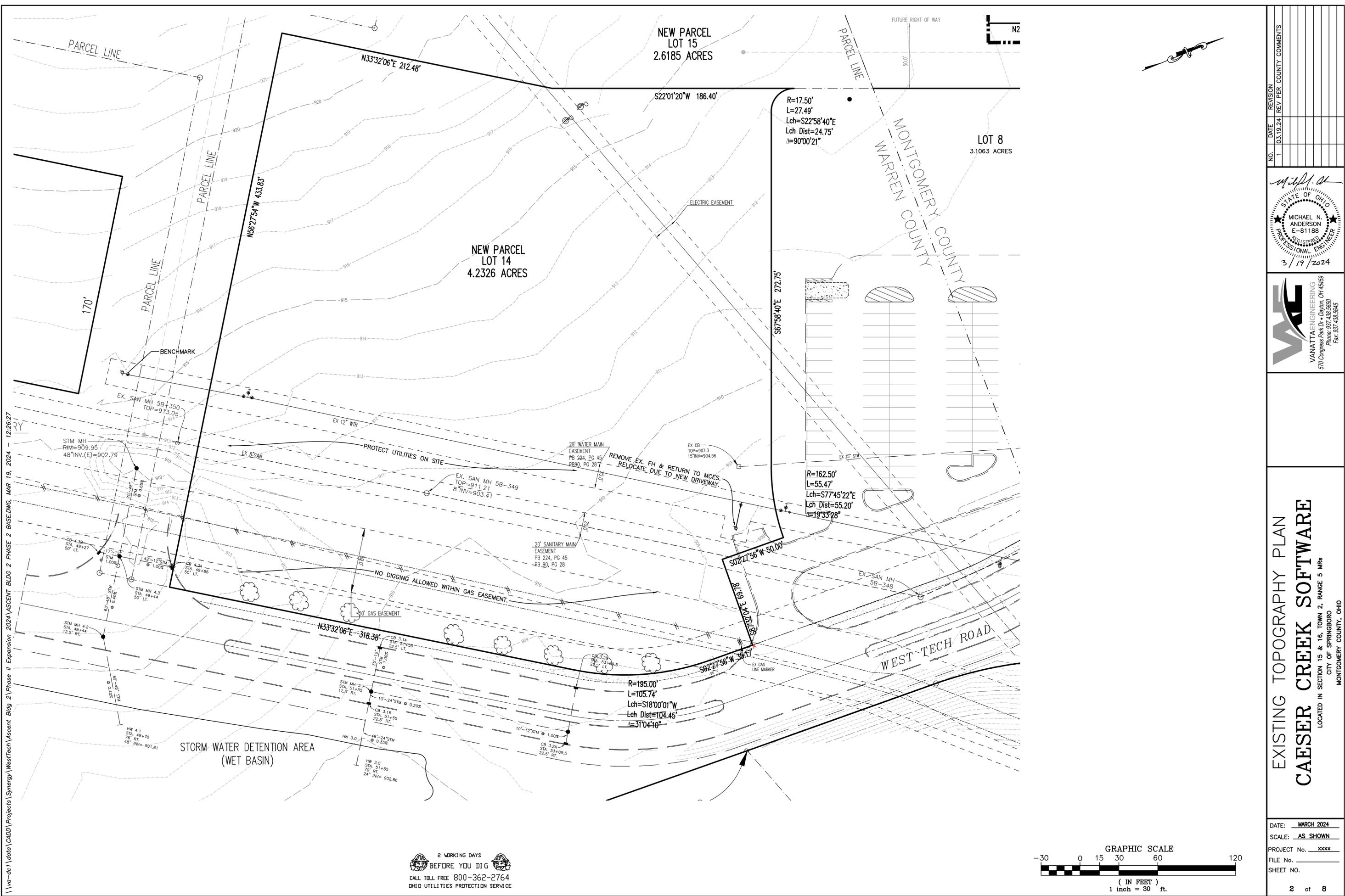
CD: *Austin Place Storm Water Detention Pond. May 2011*

Mayfield – Dayton South. March 2023

If you have any questions or require any additional information please give me a call at 937.438.5650.

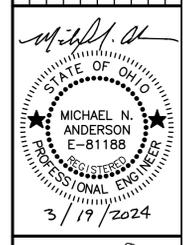
Sincerely,

Jacob Morrison, PE
Civil Engineer



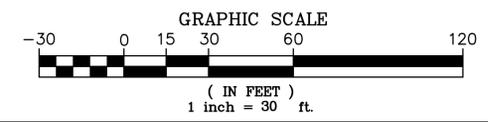
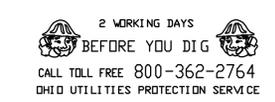
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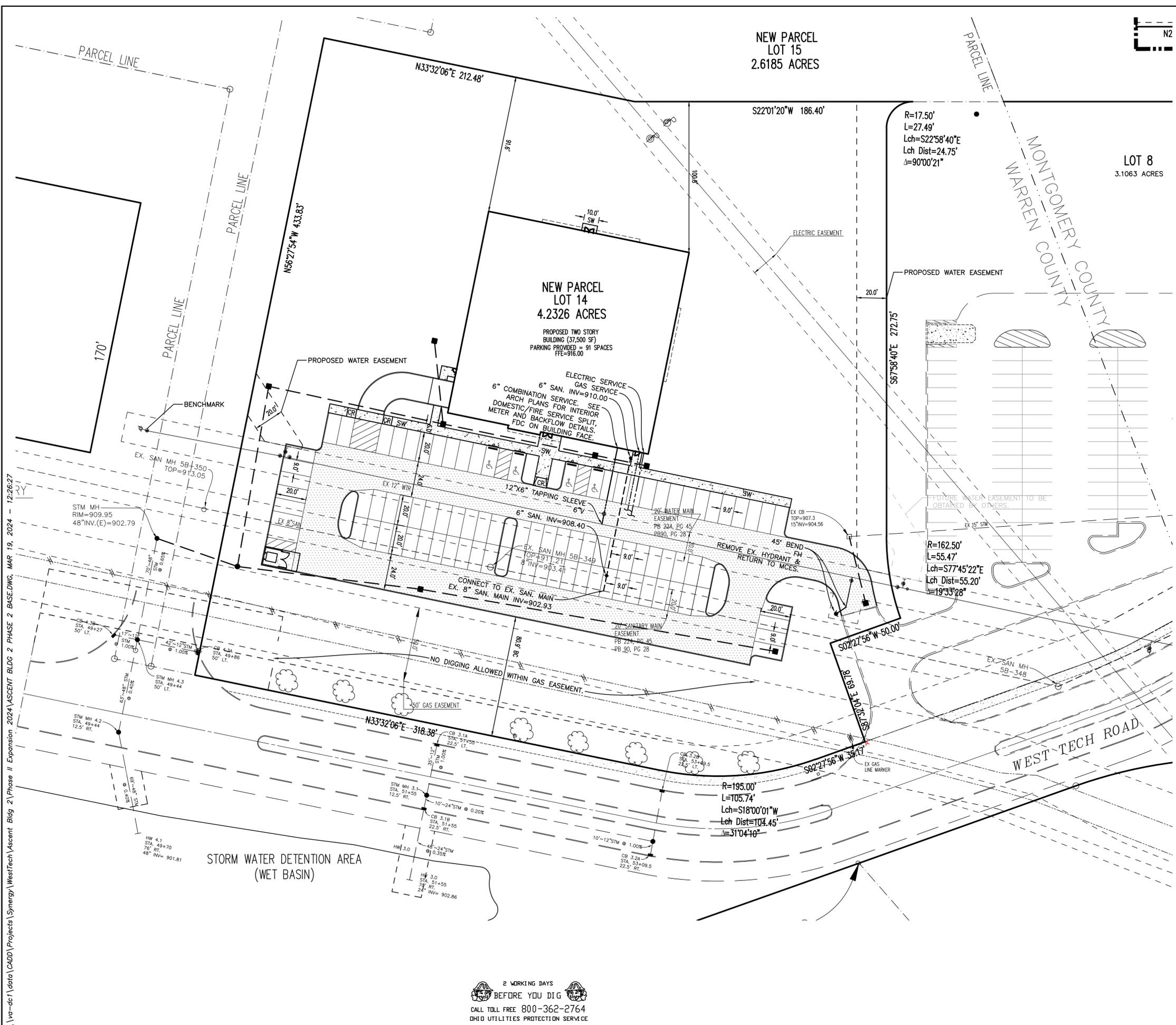
NO.	DATE	REVISION	REV PER COUNTY COMMENTS
1	03/19/24		



EXISTING TOPOGRAPHY PLAN
CAESER CREEK SOFTWARE
 LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
 CITY OF SPRINGBORO
 MONTGOMERY COUNTY, OHIO

DATE:	MARCH 2024
SCALE:	AS SHOWN
PROJECT No.:	xxxx
FILE No.:	
SHEET NO.:	2 of 8





NEW PARCEL
LOT 15
2.6185 ACRES

NEW PARCEL
LOT 14
4.2326 ACRES

PROPOSED TWO STORY
BUILDING (37,500 SF)
PARKING PROVIDED = 91 SPACES
FTE=916.00

LOT 8
3.1063 ACRES

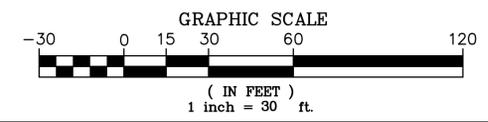
NOTES:

- CONTRACTOR TO VERIFY BUILDING DIMENSIONS, UTILITY LOCATIONS AND SIZES, BUILDING ENTRANCE LOCATIONS, AND ELEVATIONS WITH THE ARCHITECTURAL PLANS.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY PROVIDERS FOR UTILITY SERVICE CONNECTIONS, MATERIALS, SPECIFICATIONS, DETAILS, ETC. PRIOR TO CONSTRUCTION.
- EXISTING UTILITY STRUCTURE TOPS/RIMS/CAPS/GRATES TO BE ADJUSTED TO PROPOSED GRADES PER GRADING PLAN.
- DIMENSIONS MEASURED TO FACE OF CURB, FACE OF BUILDING, PROPERTY LINE UNLESS NOTED OTHERWISE.

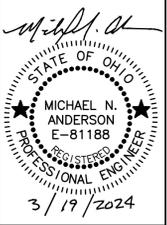
SITE DATA:

PROPERTY AREA = 4.2326 ACRES
DEVELOPMENT AREA = 2.00 ACRES
PROPOSED IMPERVIOUS AREA = 1.35 ACRES (32%)
PROPOSED OPEN SPACE = 2.88 ACRES (68%)
EXISTING IMPERVIOUS AREA = 0.0 ACRES (0%)
EXISTING OPEN SPACE = 4.2326 ACRES (100%)

LEGEND		
SW	SIDEWALK	FIRE HYDRANT (FH)
CR	CURB RAMP	WATER VALVE (V)
BC	BACK OF CURB	CATCH BASIN / YARD DRAIN
	BARRIER CURB	LIGHT POLE
	SIGN	
	WHEEL STOP	
	STANDARD DUTY PAVEMENT	
	HEAVY DUTY PAVEMENT	
	CONCRETE PAVEMENT OR SIDEWALK	



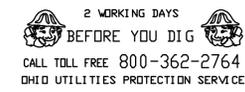
NO.	DATE	REVISION
1	03.07.24	REV. PER CITY AND COUNTY COMMENTS
2	03.19.24	REV. PER COUNTY COMMENTS

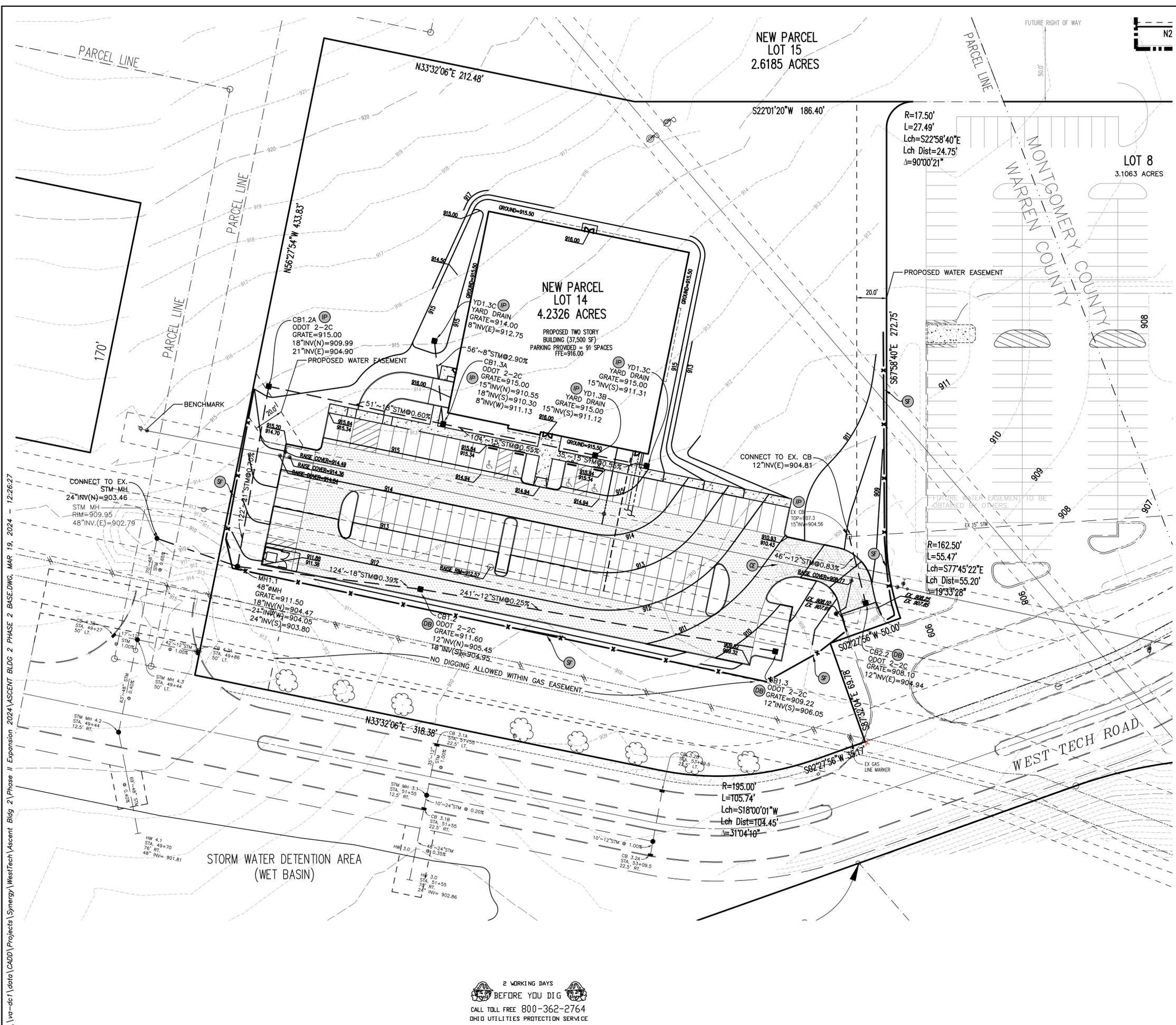


SITE/UTILITY PLAN
CAESER CREEK SOFTWARE
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

DATE: MARCH 2024
SCALE: AS SHOWN
PROJECT No. xxxx
FILE No.
SHEET NO.
3 of 8

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NEW PARCEL LOT 15
2.6185 ACRES

NEW PARCEL LOT 14
4.2326 ACRES

PROPOSED TWO STORY BUILDING (37,500 SF)
PARKING PROVIDED = 91 SPACES
FTE=916.00

NEW PARCEL LOT 8
3.1063 ACRES

STATE OF OHIO
MICHAEL N. ANDERSON
E-81188
REGISTERED PROFESSIONAL ENGINEER
3/19/2024

CAESER ENGINEERING
VANATTA ENGINEERING
570 Congress Park Dr., Dayton, OH 45469
Phone: 937.438.5650
Fax: 937.438.5645

GRADING/EROSION CONTROL PLAN
CAESER CREEK SOFTWARE
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 WRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

NOTES:

- CONTRACTOR TO VERIFY ROOF DRAIN AND DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS. CONNECT DOWNSPOUTS TO ROOF DRAIN COLLECTOR PIPES.

EROSION CONTROL LEGEND

- SILT FENCE
- DANDY BAG
- INLET PROTECTION
- CONSTRUCTION ENTRANCE

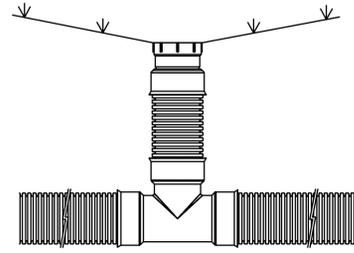
GRAPHIC SCALE

0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

DATE: MARCH 2024
SCALE: AS SHOWN
PROJECT No. xxxx
FILE No.
SHEET No.

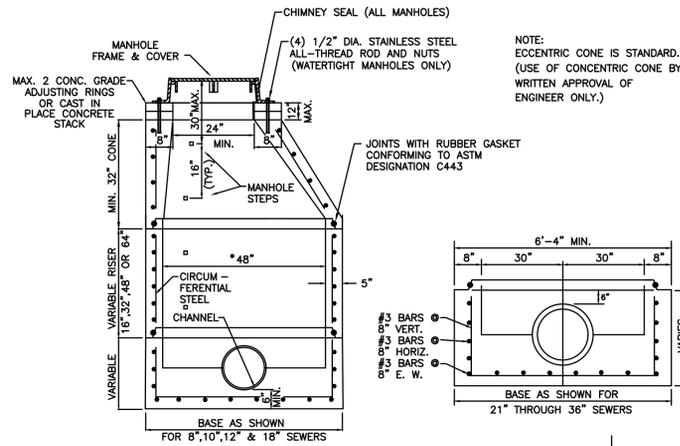
2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

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NOTE:
1. ADS INSERTA TEE MAY BE USED IN PLACE OF INJECTION MOLDED TEE. INSTALL PER MANUFACTURER SPEC.

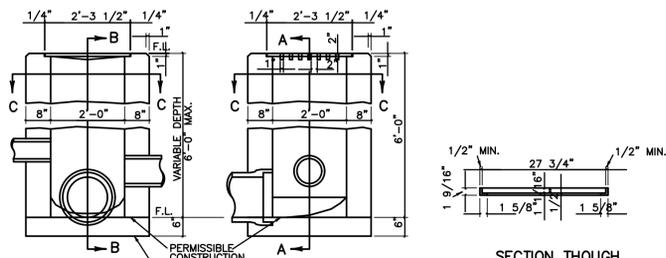
YARD DRAIN
NTS



* MINIMUM DIAMETER UNLESS OTHERWISE SPECIFIED OR SHOWN ON PLANS

PRECAST STORM MANHOLE

SHALL CONFORM TO
ASTM DESIGNATION C478



SECTION THROUGH ANGLE FRAME

GRATES SHALL BE HEAVY DUTY BICYCLE SAFE (NOT SHOWN) SIMILAR TO EAST JORDAN 5110-M3 OR NEENAH R-4859-C.

LOCATION AND ELEVATION WHEN GIVEN ON THE PLANS IS TOP CENTER OF THE GRATE WHEN SIDE OPENINGS ARE PROVIDED. ELEVATION SHALL BE THE FLOW LINE OF THE SIDE INLET.

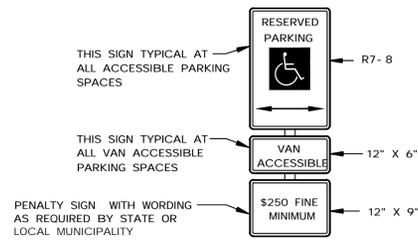
GRATING AND FRAME - THE DESIGN SHALL BE ESSENTIALLY THE SAME AND EQUALLY AS STRONG AS THE ONE SHOWN HEREON. WEIGHT OF GRATE MINIMUM 120 lbs. WEIGHT OF FRAME MINIMUM 40 lbs.

BRICK, CONCRETE BLOCK OR CAST-IN-PLACE WALLS HAVE A NOMINAL THICKNESS OF 8 INCHES. PRECAST WALLS SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES AND BE REINFORCED SUFFICIENTLY TO PERMIT SHIPPING AND HANDLING WITHOUT DAMAGE.

CONCRETE, CAST-IN-PLACE, TO BE CLASS C ALL PRECAST CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13 WITH 6 +/- 2% AIR VOID CONTENT IN THE HARDENED CONCRETE AND BE MARKED WITH CATCH BASIN NUMBER.

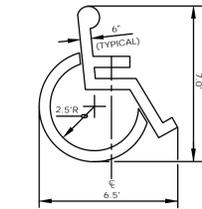
OPENINGS FOR PIPES SHALL BE O.D. +/- 2" WHEN FABRICATED OR FIELD CUT.

STANDARD No. 2-2-B CATCH BASIN
NTS

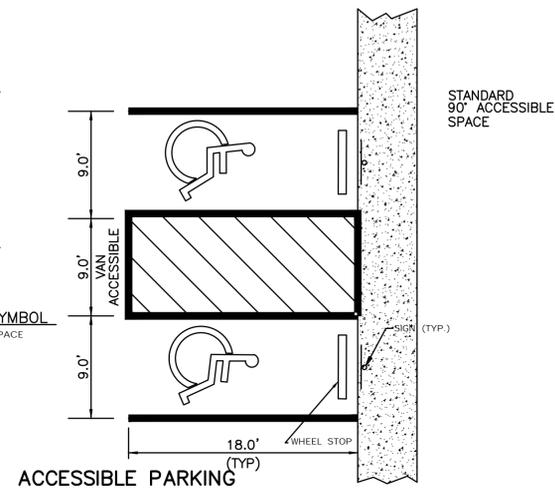


ACCESSIBLE PARKING SIGN

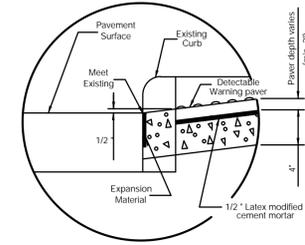
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL CODES AND AS SPECIFIED MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



ACCESSIBLE PARKING SYMBOL
LOCATE AT EDGE OF PARKING SPACE



ACCESSIBLE PARKING
(TYP)



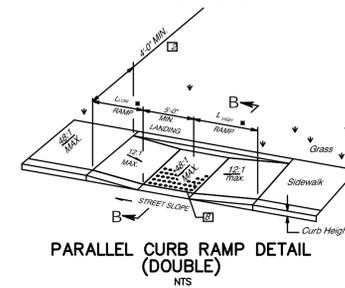
DETAIL A
NTS

STREET SLOPE	RAMP LENGTH @ 1% FT	
	L _{LOWEST}	L _{HIGHEST}
0.01	3'-5"	4'-10"
0.02	4'-10"	7'-11"
0.03	4'-5"	9'-5"
0.04	4'-1"	11'-0"
0.05	3'-9"	15'-2"

* MEASURED ALONG THE BACK OF A 6" HIGH CURB.

$$L_{MIN} = \frac{CURB HT.}{0.083 \text{ STREET SLOPE}}$$

$$L_{MAX} = \frac{CURB HT.}{0.083 \text{ STREET SLOPE}}$$



PARALLEL CURB RAMP DETAIL (DOUBLE)
NTS

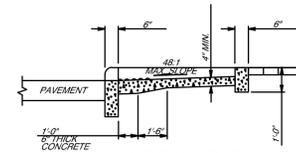
LEGEND

□ MAY BE REDUCED TO 3"-4" IN EXISTING SIDEWALKS TO BETTER FIT THE WALK CONFIGURATION OR WHERE SITE CONDITIONS ARE RESTRICTED BY NARROW WALKS, POLE FOUNDATIONS, DRAINAGE INLETS, ETC. THE WIDTH MAY BE TAPERED.

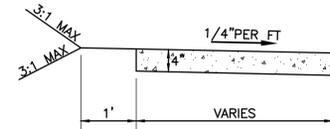
□ DETACHABLE WARNINGS (TRUNCATED DOMES) ARE TO BE INSTALLED IN THE LOCATIONS SHOWN. DIMENSIONS OF THE DOMES ARE 24 INCHES FROM THE BACK OF THE CURB BY THE WIDTH OF THE RAMP.

NOTES

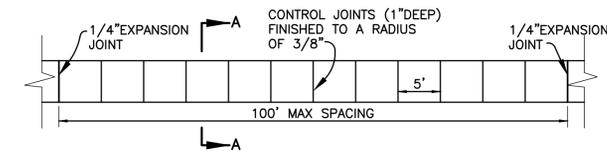
1. SURFACE TEXTURE: TEXTURE SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES AND SHALL BE ROUGHER THAN ADJACENT WALK.
2. JOINTS: SHALL BE PROVIDED IN THE CURB RAMP AS EXTENSIONS OF WALK JOINTS AND CONSISTENT WITH ITEM 608.03 REQUIREMENTS FOR A NEW CONCRETE WALK. A 1/2" ITEM 705.03 EXPANSION JOINT FILLER SHALL BE PROVIDED AROUND THE EDGE OF RAMPS BUILT IN EXISTING CONCRETE WALK. LINES SHOWN ON THIS DRAWING INDICATE THE RAMP EDGE AND SLOPE CHANGES AND ARE NOT NECESSARILY JOINT LINES.
3. PAVEMENT: WALK AND CURB, ITEMS 608 AND 609, SHALL BE MEASURED THROUGH THE CURB RAMP AREA PAID FOR ITEM 608 - CURB UNDER THEIR RESPECTIVE ITEMS. CONSTRUCTED IN NEW CURB AND WALK SHALL RAMP. EACH INCLUDE THE COST OF ANY ADDITIONAL MATERIALS, GRADING, ITEM 608 - CURB RAMP, FORMING AND FINISHING, CONSTRUCTED IN EXISTING CURB SQUARE FOOT, AND WALK SHALL INCLUDE THE COST OF FURNISHING ALL MATERIALS, GRADING, FORMING, AND FINISHING OF THE CURB AND WALK OF THE CURB RAMP. REMOVAL OF EXISTING CURB AND WALK SHALL BE PAID FOR UNDER ITEM 202.
4. TRUNCATED DOMES: INSTALL DETACHABLE WARNINGS (TRUNCATED DOMES) FOR A DISTANCE OF 24" FROM THE BACK OF THE CURB FOR THE ENTIRE WIDTH OF THE RAMP OPENING AS SHOWN.



SECTION B-B



SECTION A-A



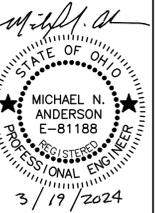
PLAN VIEW

NOTES:

- 1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
- 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
- 3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
- 4) 4" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS.
- 5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
- 6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

SIDEWALK DETAIL
NTS

NO. DATE REVISION

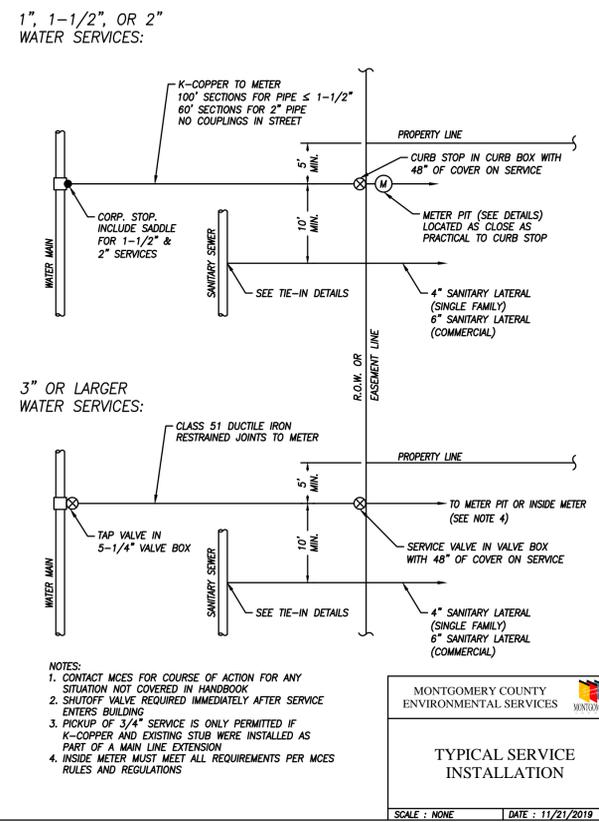
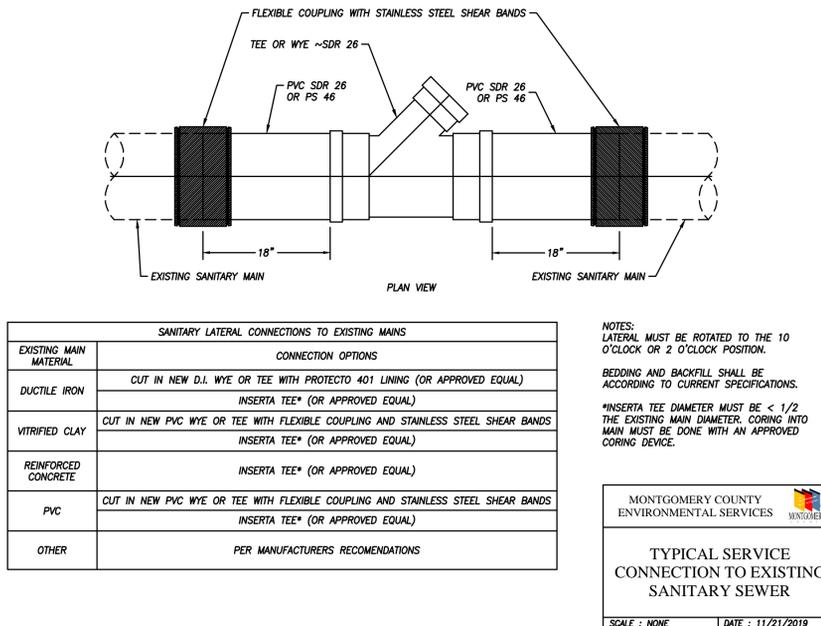
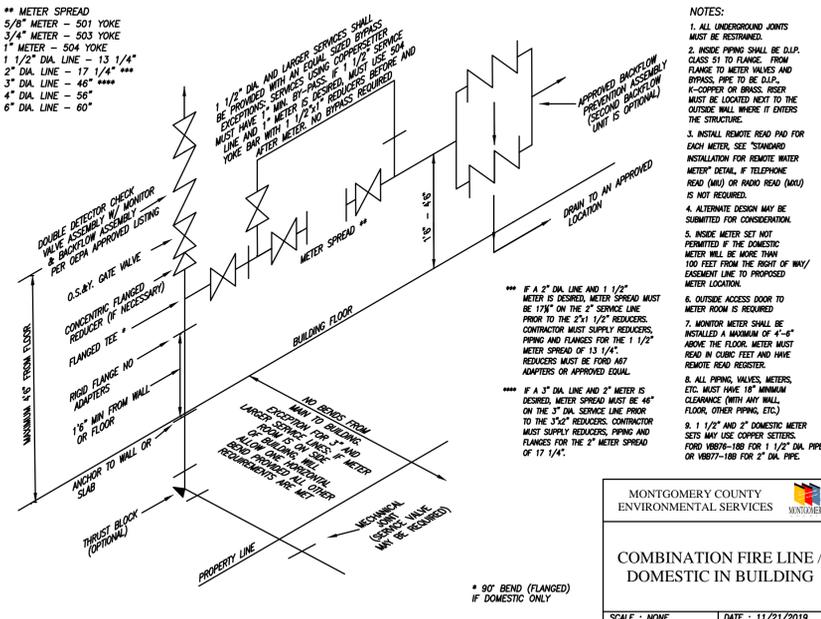
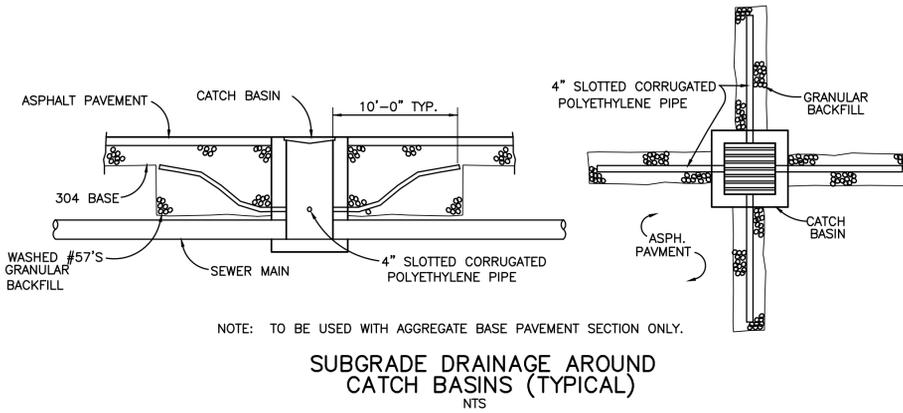
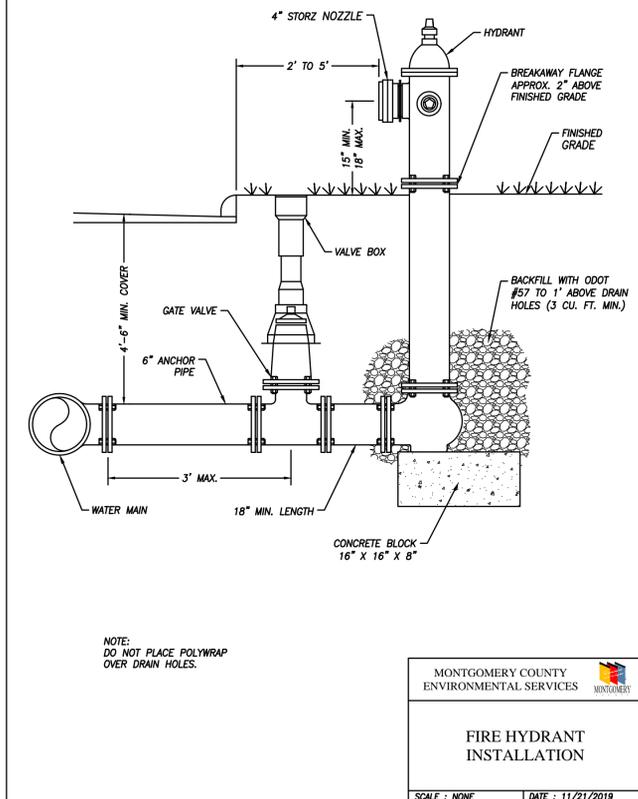
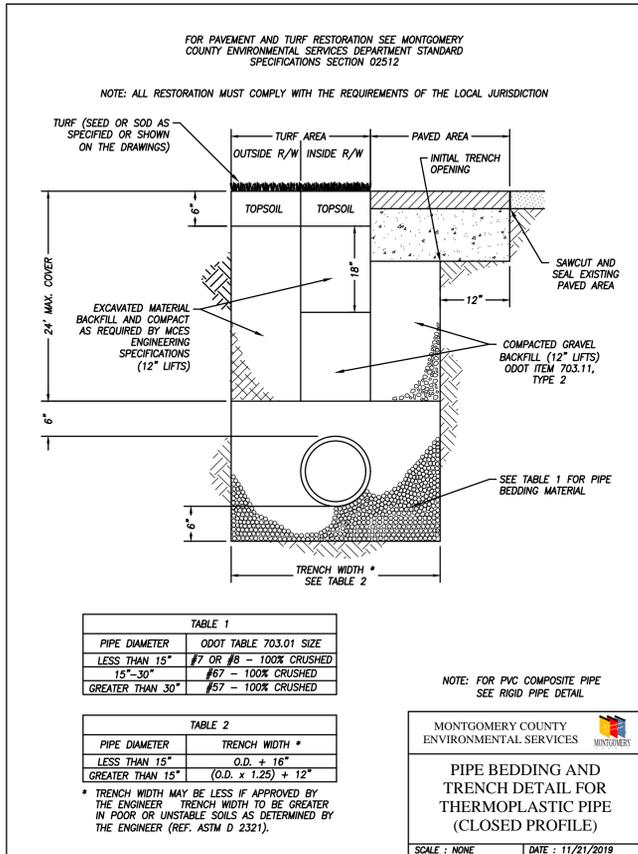


CAESER CREEK SOFTWARE
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

DETAILS - 1

DATE: MARCH 2024
SCALE: NTS
PROJECT No. XXXX
FILE No.
SHEET No.

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REVISION NO. DATE

STATE OF OHIO
MICHAEL N. ANDERSON
E-81186
PROFESSIONAL ENGINEER
3/19/2024

VANATTA ENGINEERING
570 Congress Park Dr., Dayton, OH 45469
Phone: 937.438.5650
Fax: 937.438.5645

DETAILS - 2

CAESER CREEK SOFTWARE
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

DATE: MARCH 2024
SCALE: NTS
PROJECT No. XXXX
FILE No.
SHEET No.

6 of 8

SITE NOTES:

THE PRE-EXISTING CONDITIONS ON SITE IS UNDEVELOPED LAND.
THE PROPOSED PROJECT IS A NEW OFFICE BUILDING.

APPROXIMATELY 2.15± ACRES OF 4.19± WILL BE DISTURBED AS A PART OF THIS PROJECT.

THE PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.30.
THE POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.50.

THE PROPOSED IMPERVIOUS AREA IS APPROXIMATELY 1.43 ACRES
THE PERCENT IMPERVIOUSNESS OF THE POST DEVELOPED CONDITION IS 34%.

RECEIVING WATER IS CITY OF SPRINGBORO STORM SEWER.
SOILS ON SITE CONSIST OF: RUSSELL MIAMIAN SILT (TYPE C)

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM THE UNDERGROUND DETENTION.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN THE UNDERGROUND DETENTION.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

MAINTENANCE TO BE COMPLETED YEARLY

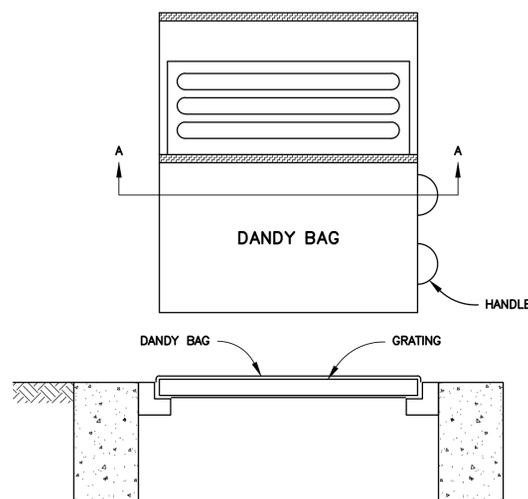
- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE UNDERGROUND DETENTION.
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS

SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

SEQUENCE OF CONSTRUCTION

- CONDUCT PRE-CONSTRUCTION MEETING
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
- CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- BEGIN GRADING THE SITE. MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
- BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
- PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PEROVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
- PAVE SITE.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"



SECTION A-A

INSTALLATION : STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE : AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

DANDY BAG (NTS)

STORM WATER POLLUTION PREVENTION PLAN NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OH000006 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS.
PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5- FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
- OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
- ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
- AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
- DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
- IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
3. COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.

STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)

- THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
- PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- SANITARY AND WATER PTI FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
- PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
- INSPECTIONS OF BMPS SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
- INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
- NON-SEDIMENT POND BMPS TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPS WITHIN 10 DAYS OF INSPECTION. BMPS NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPS SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
- IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES, INLET PROTECTION, SILT DIKES AND PEROVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PEROVIOUS LOG.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
- CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
- IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- DUE TO THE DISTURBED AREA BEING ONE OR LESS ACRES, THE POST CONSTRUCTION RUN-OFF REQUIREMENTS OF OHIO EPA PERMIT OH000004 ARE NOT REQUIRED FOR THIS SITE.

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NO.	DATE	REVISION

EROSION CONTROL NOTES

CAESER CREEK SOFTWARE

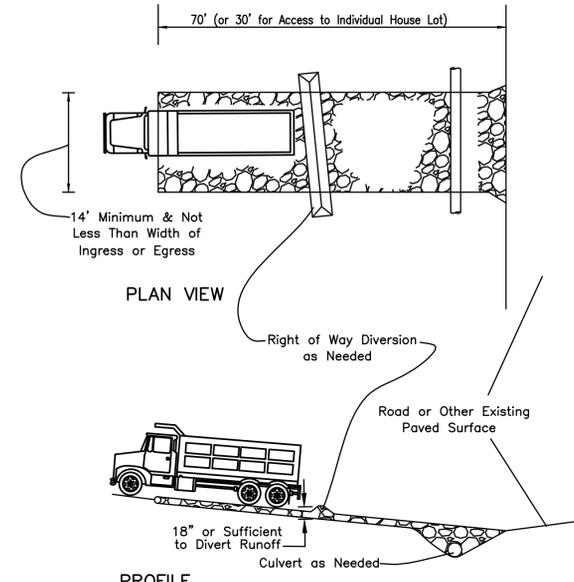
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO, OHIO
MONTGOMERY COUNTY, OHIO

DATE: **MARCH 2024**
SCALE: **NTS**
PROJECT No. **XXXX**
FILE No. _____
SHEET No. _____

2 WORKING DAYS
BEFORE YOU DIG

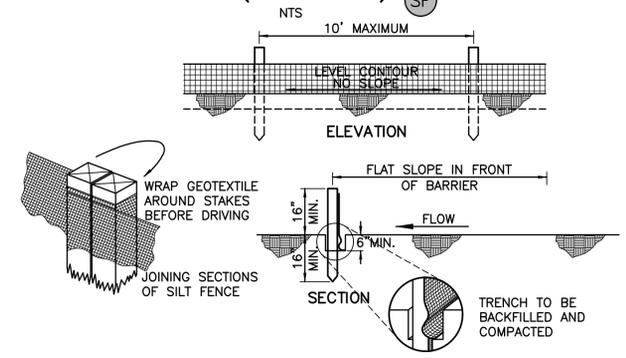
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OHIO UTILITIES PROTECTION SERVICE

7 of 8



1. STONE SIZE SHALL BE ODOT #2 (1.5-2.5 INCH)
2. STONE LAYER SHALL BE 6" THICK FOR LIGHT DUTY OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
3. GEOTEXTILE FABRIC SHALL BE LAID OVER ENTIRE AREA PRIOR TO PLACING STONE. FABRIC SHALL BE ROT PROOF AND HAVE A MINIMUM TENSILE STRENGTH OF 200LBS
4. REFER TO "RAINWATER AND LAND DEVELOPMENT MANUAL" 2006 EDITION FOR ALL SPECIFICATIONS. VISIT "WWW.DNR.STATE.OH.US" FOR MANUAL

CONSTRUCTION OF A FILTER BARRIER (SILT FENCE) (SF)



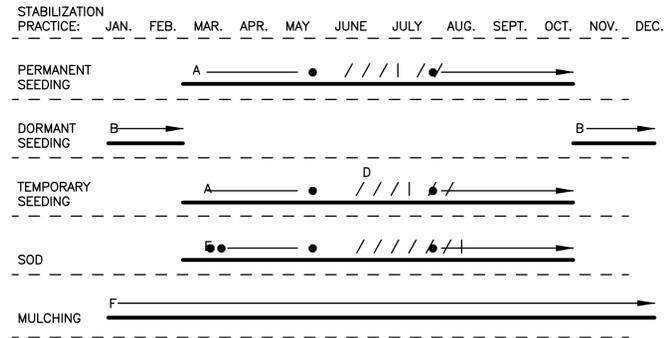
MINIMUM TENSILE STRENGTH.....	120 LBS.
MAXIMUM ELONGATION AT 60 LBS.	50%
MINIMUM PUNCTURE STRENGTH.....	50 LBS.
MINIMUM TEAR STRENGTH.....	40 LBS.
MINIMUM BURST STRENGTH.....	200 PSI
APPARENT OPENING SIZE.....	≤ 0.84 MM
MINIMUM PERMITTIVITY.....	1 X 10 SEC.
ULTRAVIOLET EXPOSURE STRENGTH RETENTION	70%

CRITERIA FOR SILT FENCE MATERIAL

- 1) FENCE POSTS – THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 BY 2-INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
- 2) SILT FENCE SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE CHART BELOW;
 - 1) SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
 - 2) ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
 - 3) TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
 - 4) WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
 - 5) WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
 - 6) THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - 7) THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE, WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
 - 8) THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
 - 9) SEAMS BETWEEN SECTION OF SILT SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- 10) MAINTENANCE – SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL (CE)

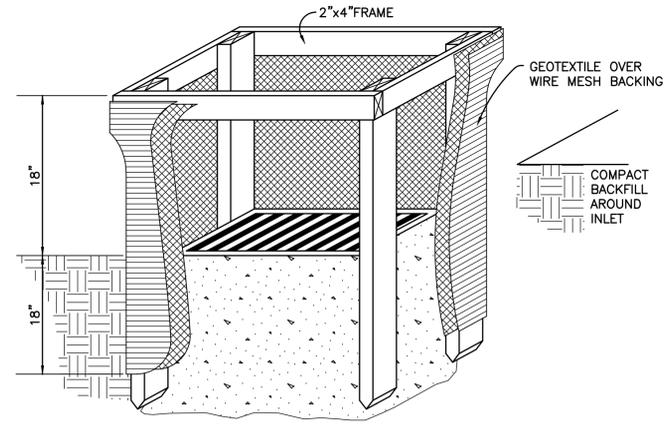
SEEDING SCHEDULE



- A = KENTUCKY BLUEGRASS @ 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./ACRE PLUS 2 TONS OF STRAW MULCH/ACRE
 - B = KENTUCKY BLUEGRASS @ 135 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./ACRE PLUS 2 TONS/ACRE STRAW MULCH
 - C = SPRING OATS 100 LBS./ACRE
 - D = WHEAT OR RYE 150 LBS./ACRE
 - E = SOD
 - F = STRAW MULCH (2 TONS/ACRE)
- / | / ● IRRIGATION NEEDED DURING JUNE AND JULY
 ● ● IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

INSPECTION SCHEDULE

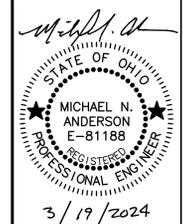
- DIVERSION AND STRUCTURAL MEASURES** – WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.
- SEDIMENT AND PONDS** – WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.
- VEGETATIVE PLANTING** – SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
- REPAIRS** – ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.
- MOWING** – DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.
- FERTILIZATION** – SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.



- 1) INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- 2) THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- 3) THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- 4) WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- 5) GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- 6) BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- 7) A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

(USE INLET PROTECTION ON ALL NON-CURB INLETS CATCH BASINS) INLET PROTECTION (IN SWALES, DITCH LINES OR YARD INLETS) (IP)

NO.	DATE	REVISION

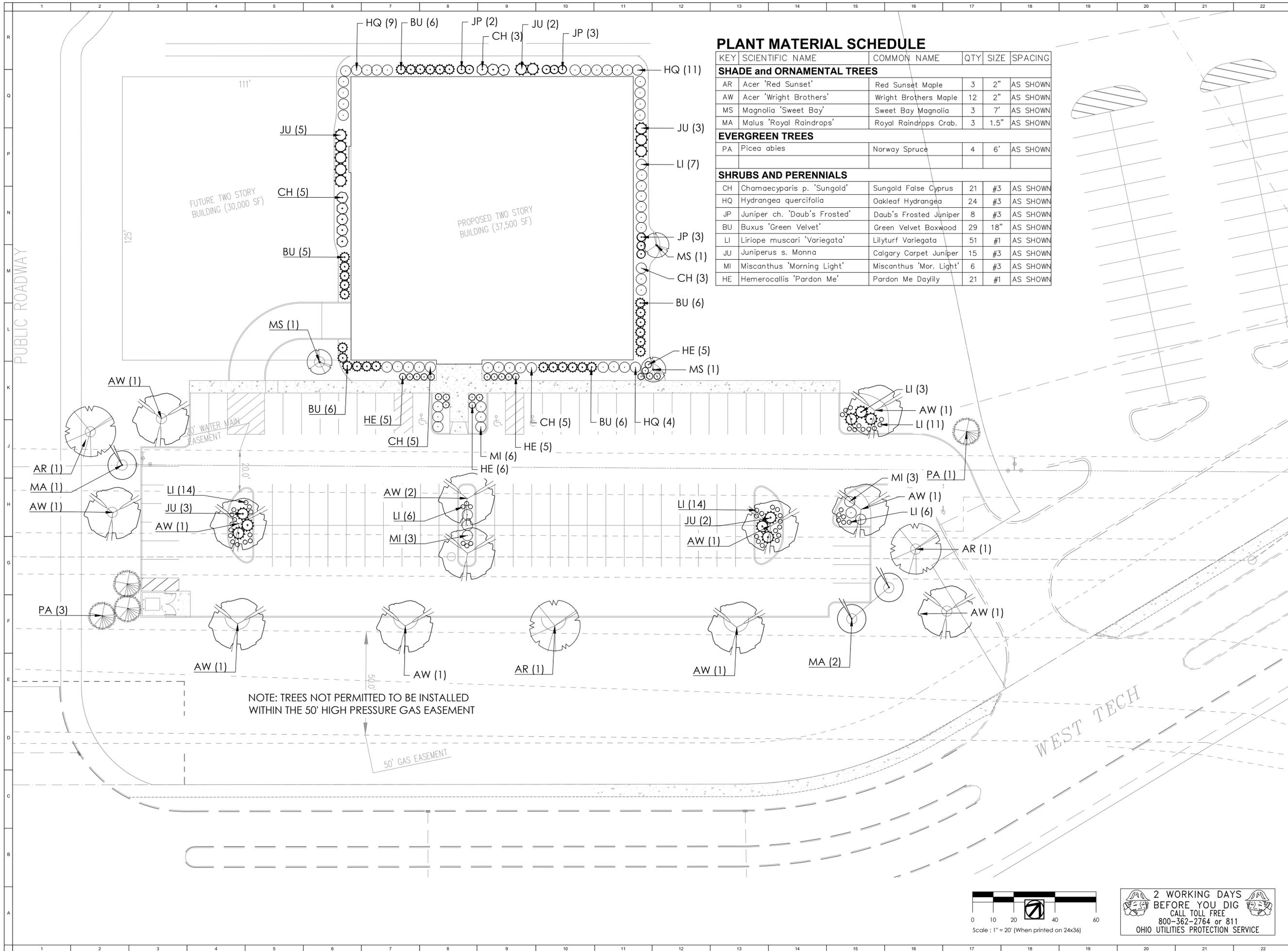


EROSION CONTROL DETAILS
CAESER CREEK SOFTWARE
 LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
 CITY OF SPRINGBORO
 MONTGOMERY COUNTY, OHIO

DATE: MARCH 2024
 SCALE: NTS
 PROJECT No. XXXX
 FILE No.
 SHEET NO.

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PLANT MATERIAL SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING
SHADE and ORNAMENTAL TREES					
AR	Acer 'Red Sunset'	Red Sunset Maple	3	2"	AS SHOWN
AW	Acer 'Wright Brothers'	Wright Brothers Maple	12	2"	AS SHOWN
MS	Magnolia 'Sweet Bay'	Sweet Bay Magnolia	3	7"	AS SHOWN
MA	Malus 'Royal Raindrops'	Royal Raindrops Crab.	3	1.5"	AS SHOWN
EVERGREEN TREES					
PA	Picea abies	Norway Spruce	4	6'	AS SHOWN
SHRUBS AND PERENNIALS					
CH	Chamaecyparis p. 'Sungold'	Sungold False Cypress	21	#3	AS SHOWN
HQ	Hydrangea quercifolia	Oakleaf Hydrangea	24	#3	AS SHOWN
JP	Juniper ch. 'Daub's Frosted'	Daub's Frosted Juniper	8	#3	AS SHOWN
BU	Buxus 'Green Velvet'	Green Velvet Boxwood	29	18"	AS SHOWN
LI	Liriope muscari 'Variegata'	Lilyturf Variegata	51	#1	AS SHOWN
JU	Juniperus s. Monna	Calgary Carpet Juniper	15	#3	AS SHOWN
MI	Miscanthus 'Morning Light'	Miscanthus 'Mor. Light'	6	#3	AS SHOWN
HE	Hemerocallis 'Pardon Me'	Pardon Me Daylily	21	#1	AS SHOWN

NOT FOR CONSTRUCTION

LANDSCAPE ARCHITECT OF RECORD

TOPOS
STUDIO
4 West Franklin Street
Canterville, OH 45669
937-469-4409

CLIENT

SYNERGY BUILDING SYSTEMS
300 PATERSON RD.
BEAVERCREEK, OHIO 45431
(937) 429-3143

DATE	DESCRIPTION
2/23/24	Plan Submittal
3/14/24	City Review Comments

LANDSCAPE PLAN
CAESAR CREEK SOFTWARE II
The Ascent
SPRINGBORO, OHIO

DATE: 3/14/24	PROJECT #: LP-1
DRAWN: CP	REVIEWED: CP

2 WORKING DAYS BEFORE YOU DIG
CALL TOLL FREE 800-362-2764 or 811
OHIO UTILITIES PROTECTION SERVICE

LANDSCAPE CONSTRUCTION GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AS REQUIRED FOR PROJECT IMPLEMENTATION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS APPLICABLE TO THE EXECUTION OF THIS PROJECT. THE OWNER AND LANDSCAPE ARCHITECT ASSUME NO LIABILITY FOR THE MISMANAGEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ALL ORIGINAL PERMITS ONSITE AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR BECOMING TOTALLY FAMILIAR WITH THE SITE PRIOR TO CONSTRUCTION OR ESTIMATING.
- ALL WORK IS TO BE COMPLETED PER DRAWINGS AND SPECIFICATIONS. MINOR VARIATIONS DUE TO SITE DISCREPANCIES WILL BE ACCEPTED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT.
- DIMENSIONS AND QUANTITIES ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE, DETAILS AND ENLARGEMENTS OVER SITE PLANS, AND CALLOUTS OVER KEYS AND SCHEDULES. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL MATERIALS AND SYMBOLS ARE ACCOUNTED FOR AND ARE CONSISTENT WITH MATERIAL SCHEDULES. IF DISCREPANCIES ARE DETECTED IN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF WATER AND ELECTRICAL HOOKUPS INCLUDING IRRIGATION AND LIGHTING.
- CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL DEVICES REQUIRED BY LOCAL AUTHORITIES WITHIN THE PROJECT LIMITS UNTIL PROJECT ACCEPTANCE.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES AND LIGHTS AT ALL OPEN EXCAVATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
- CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ELECTRONIC FILES FOR ASSISTANCE IN FIELD LAYOUT AND CONTROL AVAILABLE FROM TOPOS STUDIO 937-469-4409.
- CONTRACTOR SHALL CONTACT OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION OPERATIONS. OUPS CAN BE CONTACTED BY DIALING 811, OR 1-800-362-2764.
- DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE LANDSCAPE ARCHITECT.
- AFTER PROJECT HAS BEEN AWARDED TO THE CONTRACTOR, THE CONTRACTOR, OWNER, AND LANDSCAPE ARCHITECT SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO ENSURE A CLEAR UNDERSTANDING OF THE INTENDED DESIGN AND IMPLEMENTATION OF THE PROJECT.
- PROJECT COMPLETION: CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL REVIEW OF THE PROJECT, UPON COMPLETION, WITH THE LANDSCAPE ARCHITECT TO ANSWER QUESTIONS, PROVIDE WRITTEN CARE INSTRUCTIONS FOR NEW PLANTINGS AND TURF, AND ENSURE THAT ALL SPECIFICATIONS HAVE BEEN MET.

LAYOUT, DIMENSIONING & QUANTITIES

- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND QUANTITIES ON SITE. TOPOS STUDIO ASSUMES NO LIABILITY FOR THE MISMANAGEMENT OF ESTIMATING PRACTICES.
- WRITTEN DIMENSIONS ARE BASED ON BUILDING FOUNDATION, BACK OF CURB, OR EDGE OF PAVEMENT AND ARE IN FEET.
- OBJECTS NOTED AS "O.C." (ON CENTER) SHALL BE SPACED ACCORDING TO THE NOTED O.C. DIMENSION.

SITE PREPARATION AND DEMOLITION

- CONTRACTOR SHALL REMOVE AND STOCKPILE ALL ITEMS AS NOTED ON PLAN.
- IF ADDITIONAL REMOVALS ARE NECESSARY FOR PROJECT SUCCESS, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE EXECUTION OF THE ADDITIONAL REMOVALS.
- ADDITIONAL: DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE ENGINEER.

PLANT BED PREPARATION AND PLANT INSTALLATION

- ALL PLANTING BEDS SHALL BE PREPARED FOR PLANTS BY REMOVING ALL EXISTING TURF, GRAVEL, AND OTHER DEBRIS AND DISPOSING SPOILS DEBRIS IN AN ENVIRONMENTALLY RESPONSIBLE MANNER. CONTRACTOR SHALL ADD A MINIMUM OF 2 INCHES OF LEAF COMPOST AND ROTO-TILL LEAF COMPOST INTO EXISTING TOPSOIL. REMOVE AS MUCH GRAVEL AND OTHER DEBRIS FROM EXISTING TOPSOIL AS POSSIBLE.
- IF SOIL ANALYSIS REVEALS THE SOIL REQUIRES AMENDMENTS OR REPLACEMENT, CONTRACTOR SHALL FOLLOW ALL SOIL AMENDMENT RECOMMENDATIONS BASED ON THE SOIL ANALYSIS, AND PRESCRIBED SOIL USE. ONCE SOIL HAS BEEN PROPERLY AMENDED AND PREPARED, CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW OF PLANT STOCK, AND APPROVAL OF BED PREPARATION AND SOIL AMENDMENTS.
- ONE TO TWO WEEKS BEFORE MULCHING, EXISTING TREES SHALL BE PREPARED FOR MULCH RINGS BY SPRAYING HERBICIDE TO A DISTANCE OF 24" FROM BASE OF THE TRUNK. BED OF TREE RING WILL BE EDGED ACCORDING TO SPECIFICATIONS DESCRIBED IN MULCH NOTES. DO NOT CUT THROUGH ANY SURFACE ROOTS FROM EXISTING TREE. MULCH MAY BE APPLIED ON TOP OF THOROUGHLY DEAD GRASS
- AFTER OWNER APPROVAL OF PLANT STOCK AND BED PREPARATION CONTRACTOR MAY INSTALL PLANTINGS ACCORDING TO THE STANDARDS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY

STOCK AND THE SPECIFICATIONS FOUND HEREIN.

- AFTER PLANTS HAVE BEEN INSTALLED, PRIOR TO MULCH PLACEMENT OR WATERING, CONTRACTOR SHALL PLACE A BALANCED SLOW RELEASE FERTILIZER AND A PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- AFTER MULCH PLACEMENT AND CLEANUP, CONTRACTOR SHALL THEN WATER PLANTS IN TO ACHIEVE THOROUGH ROOT TO SOIL CONTACT. SEE MULCH NOTES FOR MULCH SPECIFICATIONS.
- TEMPORARY IRRIGATION EQUIPMENT MAY BE USED FOR UP TO 18 MONTHS

MULCH

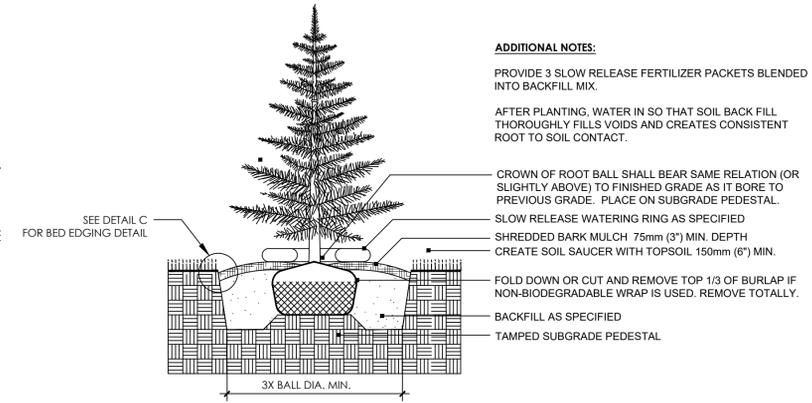
- MULCH BEDS SHALL BE EDGED AGAINST OTHER TYPES OF GROUND COVER AREAS SUCH AS GRAVEL OR LAWN. LAWN EDGES SHALL BE EDGED USING A SPADE OR MECHANICAL EDGER TO A DEPTH OF 3 INCHES AND LINES SHALL BE CLEARLY DEFINED WHEN FINISHED. BED EDGES ALONG PAVEMENT OR OTHER HARD SURFACE WILL HAVE SOIL REMOVED TO A DEPTH OF 3 INCHES TO ACCOMMODATE PROPER MULCH DEPTH.
- PROVIDE MULCH THAT CONSISTS OF SHREDDED BARK AND SHREDDED WOOD FREE OF SOIL, ROCKS, WEEDS, DEBRIS, RUBBISH, OR ENVIRONMENTALLY HAZARDOUS MATERIALS. WOOD PALETTES, TREATED LUMBER, WOOD CHIPS, AND OTHER TYPES OF NON-ORGANIC MATERIALS ARE NOT AN ACCEPTABLE MULCH MEDIUM. THE LENGTH OF ANY INDIVIDUAL COMPONENTS CANNOT EXCEED 2 INCHES, (THIS MAY BE CALLED TRIPLE SHREDDED). ENSURE THAT AT LEAST 75 PERCENT OF THE MULCH CAN PASS THROUGH A 1-INCH SCREEN. LANDSCAPE MULCH MAY CONTAIN UP TO 50 PERCENT SHREDDED WOOD. ENSURE MULCH HAS BEEN AGED AT LEAST ONE YEAR BEFORE INSTALLATION.
- MULCH COLOR SHALL BE BROWN.
- SPREAD MULCH IN PLANT BED AREAS AND TREE RINGS WITH A 2 TO 3 INCH LAYER OF LANDSCAPE MULCH UNIFORM IN TEXTURE AND SIZE. DO NOT PLACE MULCH IN DIRECT CONTACT WITH THE TRUNKS OF ANY TREES, SHRUBS, OR PERENNIALS. RAKE AND SMOOTH ALL PLANTING BEDS UPON COMPLETION OF THE WORK.

GRAVEL BEDS

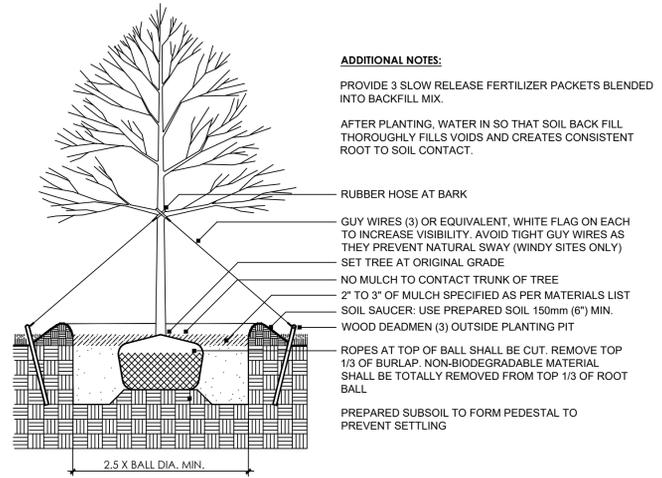
- GRAVEL BEDS SHALL BE EDGED USING AN APPROVED STEEL EDGING ACCORDING TO THE GRAVEL BED CONSTRUCTION & EDGE DETAIL IN THE LANDSCAPE DETAILS. STEEL EDGING SHALL BE PLACED ANYWHERE THAT GRAVEL MEETS A DIFFERENT GROUND COVER. STEEL EDGING IS NOT NECESSARY AGAINST HARDSCAPE OR CONSTRUCTED EDGES SUCH AS CURBS, SIDEWALKS, OR BUILDING FOUNDATIONS. FILTER FABRIC SHALL BE PLACED BETWEEN SOIL AND GRAVEL IN ALL GRAVEL BEDS.

SEED

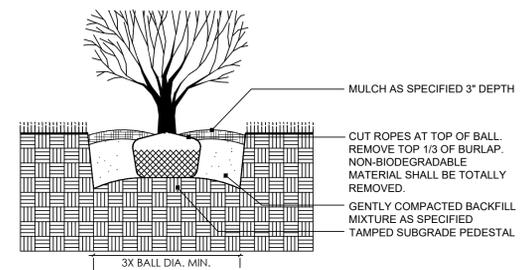
- BARE SOIL/NEW BUILD
 - AREAS CALLED OUT AS "SEED" ON THE DRAWINGS SHALL BE PREPARED BY REMOVING ALL ROCKS AND GRAVEL FROM TOP SOIL. IF SOIL IS AN UNACCEPTABLE GROWTH MEDIUM, A MINIMUM OF 2" OF ORGANIC TOPSOIL SHALL BE ADDED TO ALL SEED AREAS AFTER FINE GRADING AND ROCK/DEBRIS REMOVAL. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. SEED SHALL BE APPLIED AT A RATE OF 8-10 POUNDS PER 1000 SQUARE FEET AND SHALL NOT BE MOWED FOR A MINIMUM OF 21 DAYS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.
- OVERSEEDING
 - AREAS CALLED OUT AS "OVERSEED" ON THE DRAWINGS SHALL BE PREPARED BY MOWING THE EXISTING LAWN AREAS TO BE OVERSEED TO 2 INCHES OR LESS AND BAG THE CLIPPINGS. AFTER MOWING, USE A METAL THATCH RAKE TO REMOVE ANY REMAINING CLIPPINGS OR DEBRIS. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. TAKE TIME TO DETHATCH AND CORE AERATE COMPACTED LAWNS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.
- FERTILIZATION & WATERING
 - APPROPRIATE STARTER FERTILIZER SHALL BE APPLIED FOR SEEDED AREAS ONLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS TO STIMULATE GERMINATION AND ROOT ESTABLISHMENT. **DO NOT PLACE PRE-EMERGENT HERBICIDES IN SEEDED AREAS.** ENSURE THAT THE SELECTED FERTILIZER IS IN COMPLIANCE WITH LOCAL ENVIRONMENTAL LAWS.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING. FOR SEEDED APPLICATIONS, ENSURE SEED AND SOIL STAYS MOIST THROUGH GERMINATION/ESTABLISHMENT PERIOD. WATER LIGHTLY TWICE DAILY FIRST FOUR DAYS. WATER MORE HEAVILY EVERY OTHER DAY FOR THE NEXT FIVE DAYS, THEN WATER AS NEEDED TO PREVENT WILTING. ONCE LAWN HAS RETURNED TO NORMAL THICKNESS AND MATURITY, RETURN TO REGULAR MAINTENANCE PRACTICES. FOR SOD APPLICATIONS, ENSURE SOD STAYS MOIST DURING INSTALLATION, WATERING HEAVILY IMMEDIATELY UPON COMPLETION. WATER FOUR TIMES DAILY FOR FIFTEEN MINUTES AT A TIME ON ALL AREAS WITH A WAVE SPRINKLER OR COMPARABLE METHOD FOR THE NEXT TWO WEEKS. FOR THE REST OF THE GROWING SEASON, ENSURE TURF RECEIVES AT LEAST ONE INCH OF WATER PER WEEK THROUGH RAIN OR IRRIGATION. TEMPORARY IRRIGATION EQUIPMENT MAY BE USED FOR UP TO 18 MONTHS



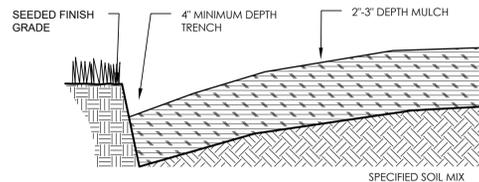
A - EVERGREEN TREE PLANTING



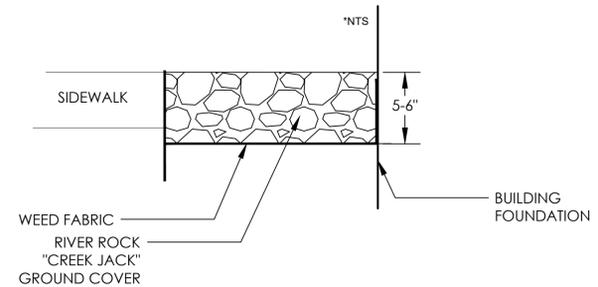
B - DECIDUOUS TREE PLANTING



C - SHRUB PLANTING



D- MULCH BED EDGE



E- DECORATIVE RIVER ROCK



NOT FOR CONSTRUCTION

TOPOS STUDIO
4 West Franklin Street
Canterville, OH 45669
937-469-4409

SYNERGY BUILDING SYSTEMS
3000 RINGGOLD RD.
BEAVERCREEK, OHIO 45424
(937) 429-3143

DATE	REVISIONS
2/23/24	3/14/24
From Submittal	City Review Comments

LANDSCAPE PLAN
CAESAR CREEK SOFTWARE II
The Ascent
SPRINGBORO, OHIO

DATE:	3/14/24
PROJECT #:	
DRAWN:	CP
REVIEWED:	CP
LP-2	

1. EXTERIOR MATERIALS TO MATCH EXISTING BUILDING 1.
2. ENGINEERED SHOP DRAWINGS FOR METAL CANOPIES TO BE SUBMITTED AS REQUIRED FOR BUILDING PERMIT.

GENERAL ELEVATION NOTES



10 S Patterson Blvd.
Dayton, OH 45402
T 937.224.4474
thinkchamplin.com

THINK CREATE REALIZE



**CAESAR CREEK
SOFTWARE -
Building 2**

West Tech Raod
Springboro, OH 45342

ISSUANCES

No.	Description	Date
1	ZONING SUBMISSION	02.22.24

Drawn By
ABC

Checked By
DEF

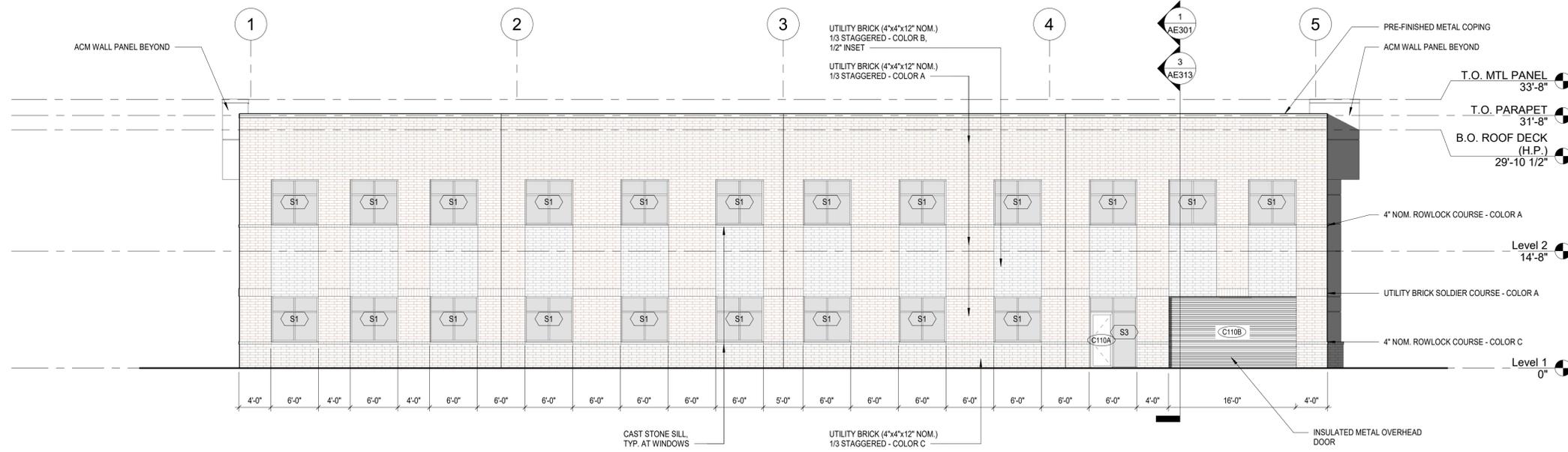
Client Number
727

Project Number
7390

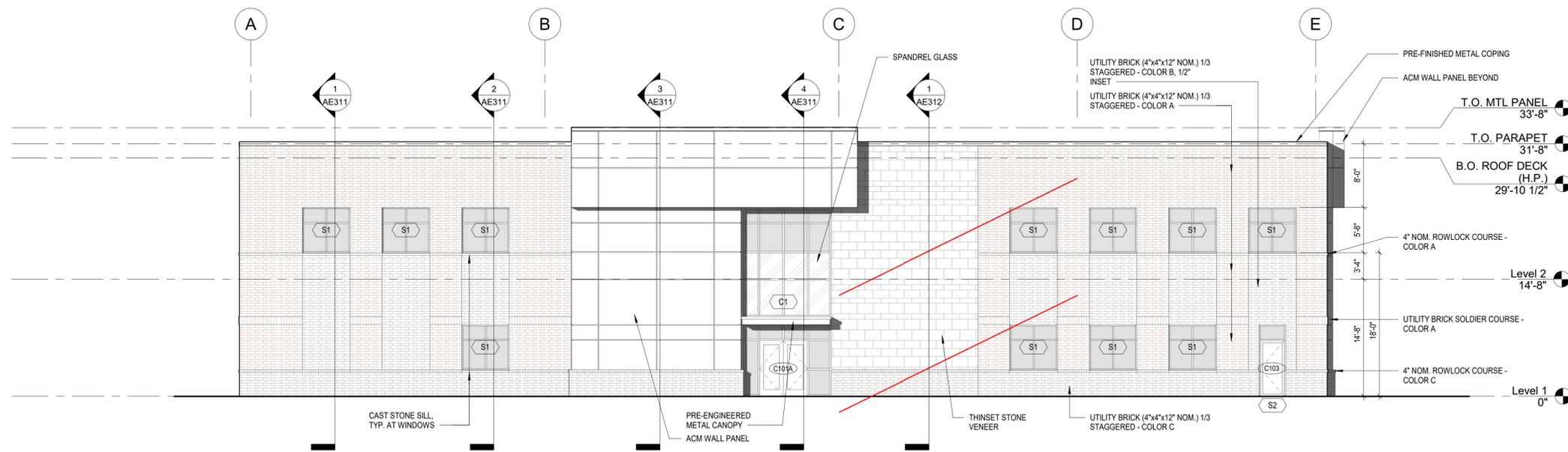
DRAWING
**EXTERIOR
ELEVATIONS**

SHEET
AE201

2/22/2024 12:38:03 PM



2 EXTERIOR ELEVATION - SOUTH
AE201 1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST
AE201 1/8" = 1'-0"

1. EXTERIOR MATERIALS TO MATCH EXISTING BUILDING 1.
2. ENGINEERED SHOP DRAWINGS FOR METAL CANOPIES TO BE SUBMITTED AS REQUIRED FOR BUILDING PERMIT.

GENERAL ELEVATION NOTES



10 S Patterson Blvd.
Dayton, OH 45402
T 937.224.4474
thinkchamplin.com

THINK CREATE REALIZE



**CAESAR CREEK
SOFTWARE -
Building 2**

West Tech Raod
Springboro, OH 45342

ISSUANCES

No.	Description	Date
1	ZONING SUBMISSION	02.22.24

Drawn By

Author

Checked By

Checker

Client Number

727

Project Number

7390

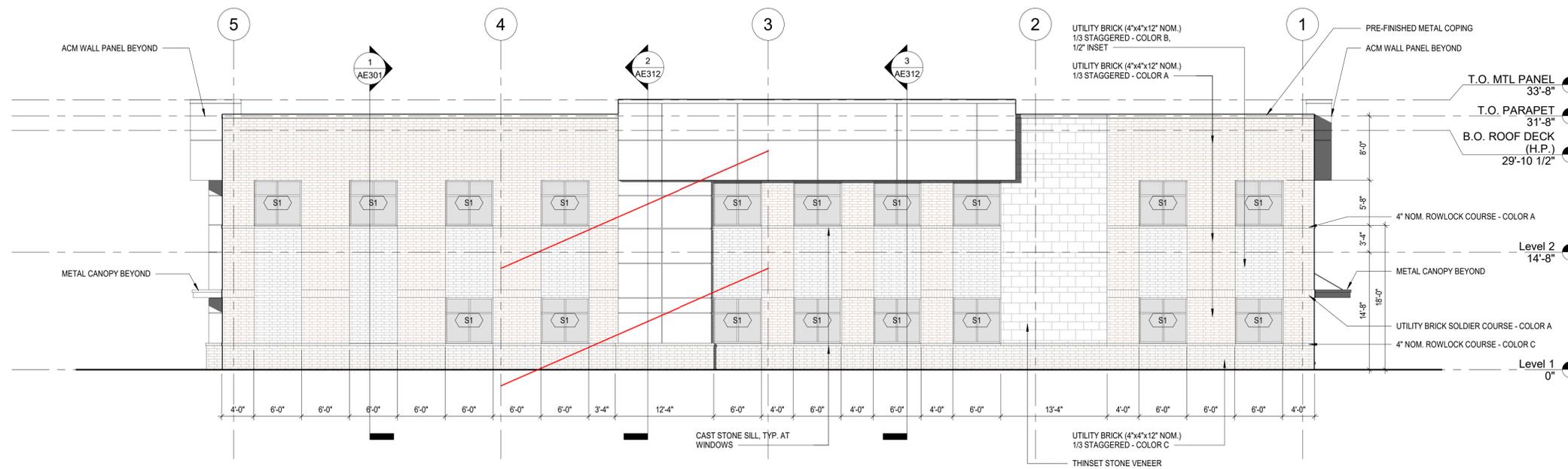
DRAWING

**EXTERIOR
ELEVATIONS**

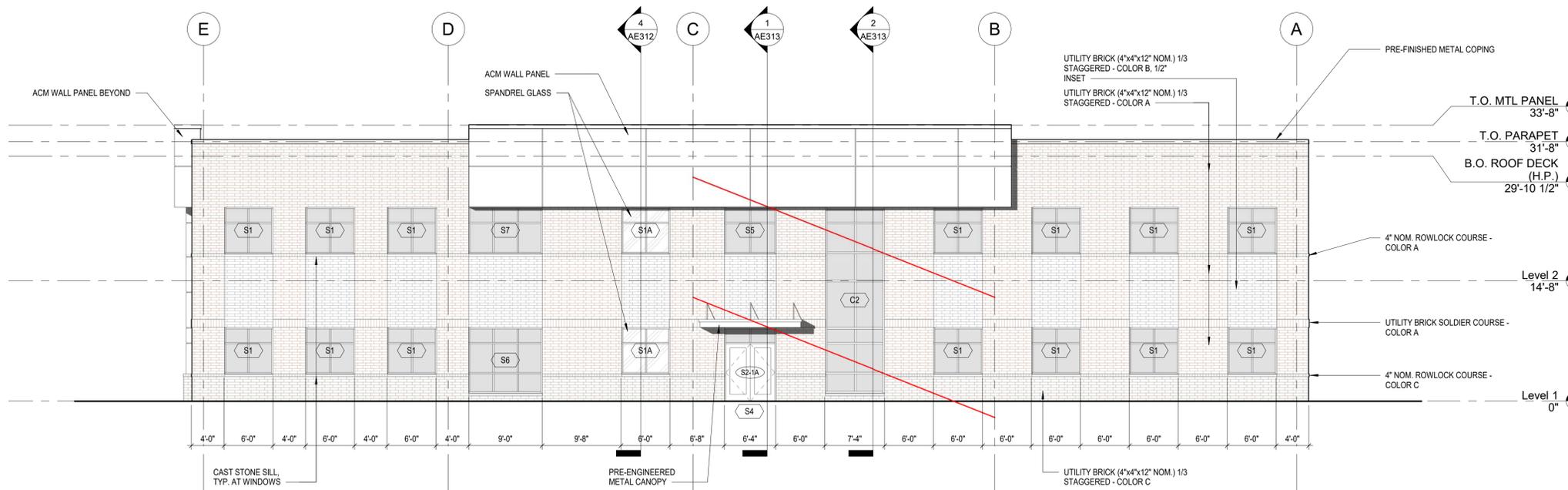
SHEET

AE202

2/22/2024 12:41:56 PM



2 EXTERIOR ELEVATION - NORTH
AE202 1/8" = 1'-0"



1 EXTERIOR ELEVATION - WEST
AE202 1/8" = 1'-0"



Color: Bronze

Weight: 6.8 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	40W
120V	0.40A	Color Temp	3000K/4000K/5000K
208V	0.30A	Color Accuracy	80 CRI
240V	0.20A	L70 Lifespan	100,000 Hours
277V	0.15A	Lumens	4595/5421/4826 lm
Input Watts	37.7/38.2/38.2W	Efficacy	121.9/141.8/126.5 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: PL3FKMCN0SF0

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 200W Metal Halide

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.40A, 208V: 0.30A, 240V: 0.20A, 277V: 0.15A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V selectable photocell that can be turned on and off.

Surge Protection:

L-N:4KV,L/N-GND:4KV

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature :

Max Power Temp Rating: 50°C (122°F)
Middle Power Temp Rating: 50°C (122°F)
Low Power Temp Rating: 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

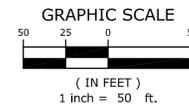
Mercury and UV free. RoHS-compliant components.

Other

Note:

All values are typical (tolerance +/- 10%)

RECORD PLAN
 WADESTONE PHASE 2
 STATE OF OHIO, COUNTY OF WARREN,
 CITY OF SPRINGBORO,
 TOWNSHIP OF CLEARCREEK,
 SECTION 13, TOWNSHIP 2E, RANGE 5N, M.Rs.



LEGEND

- ⊙ IRON PIN FOUND (AS NOTED & GOOD CONDITION)
- ⊙ IRON PIN SET 5/8" REBAR 30" LONG "BI GROUP S-6872/S-7740"
- MAG NAIL FOUND
- ⊗ METAL FENCE POST FOUND

BEARING REFERENCE

Bearings herein are based on the Ohio State Plane Coordinate System, South Zone, NAD 83, 2011 adjustment, which establishes with GPS observations a bearing of South 85°43'48" East, for the centerline of West Factory Road

NOTES:

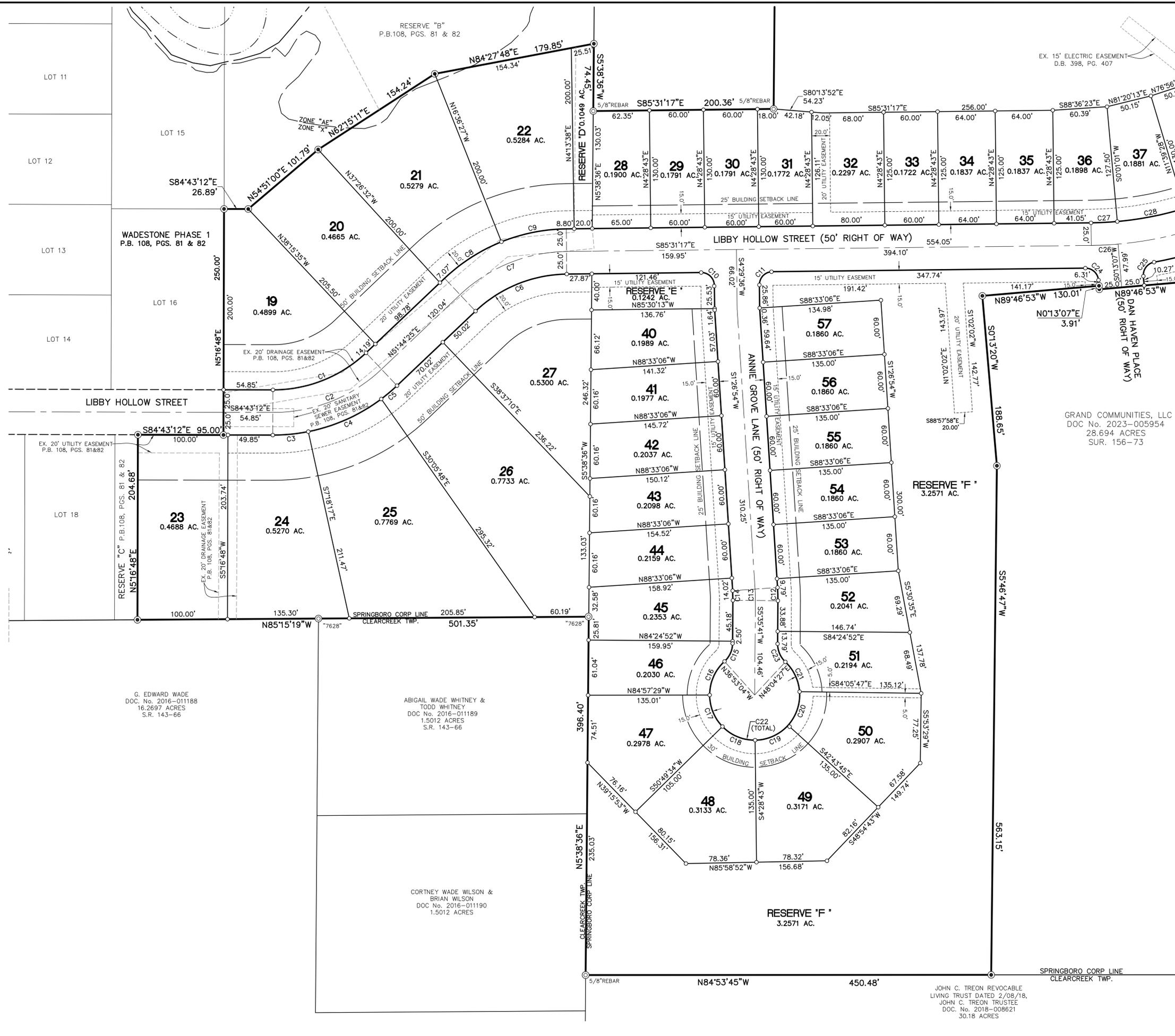
1. No vehicular access to West Factory Road from Reserve "F".
2. Reserve "E" is a nonbuildable lot and is to be maintained as common area and greenspace.
3. Reserve "H" will be used for Stormwater Management facilities.
4. Monuments found are in good condition.
5. Lots 19 and 20 have a Base Flood Elevation of 759.8 (NAVD 88)
6. Reserve "D" to be used for access to Reserve "B" in Wadestone Phase 1.

BUILDING SETBACKS:
 (LOTS 19-27)
 FRONT YARD 50 FEET
 SIDE YARD 12.5 FEET
 REAR YARD 40 FEET

ACREAGE
 11.3719 ACRES LOTS
 10.6557 ACRES RESERVES
 +2.5562 ACRES RIGHT OF WAY
 24.5838 ACRES TOTAL

BUILDING SETBACKS:
 (LOTS 28-46 & 51-57)
 FRONT YARD 25 FEET
 SIDE YARD 5 FEET
 REAR YARD 25 FEET

BUILDING SETBACKS:
 (LOTS 47-50)
 FRONT YARD 30 FEET
 SIDE YARD 5 FEET
 REAR YARD 25 FEET



GRAND COMMUNITIES, LLC
 DOC No. 2023-005954
 28.694 ACRES
 SUR. 156-73

G. EDWARD WADE
 DOC. No. 2016-011188
 16.2697 ACRES
 S.R. 143-66

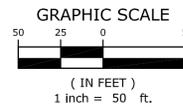
ABIGAIL WADE WHITNEY &
 TODD WHITNEY
 DOC No. 2016-011189
 1.5012 ACRES
 S.R. 143-66

CORTNEY WADE WILSON &
 BRIAN WILSON
 DOC No. 2016-011190
 1.5012 ACRES

JOHN C. TREON REVOCABLE
 LIVING TRUST DATED 2/08/18,
 JOHN C. TREON TRUSTEE
 DOC. No. 2018-009821
 30.18 ACRES

ARCADIS
 8101 North High Street, Suite 100
 Columbus OH 43235 USA
 tel 614 818 4900 fax 614 818 4901
 arcadis.com

RECORD PLAN
 WADESTONE PHASE 2
 STATE OF OHIO, COUNTY OF WARREN,
 CITY OF SPRINGBORO,
 TOWNSHIP OF CLEARCREEK,
 SECTION 13, TOWNSHIP 2E, RANGE 5N, M.Rs.

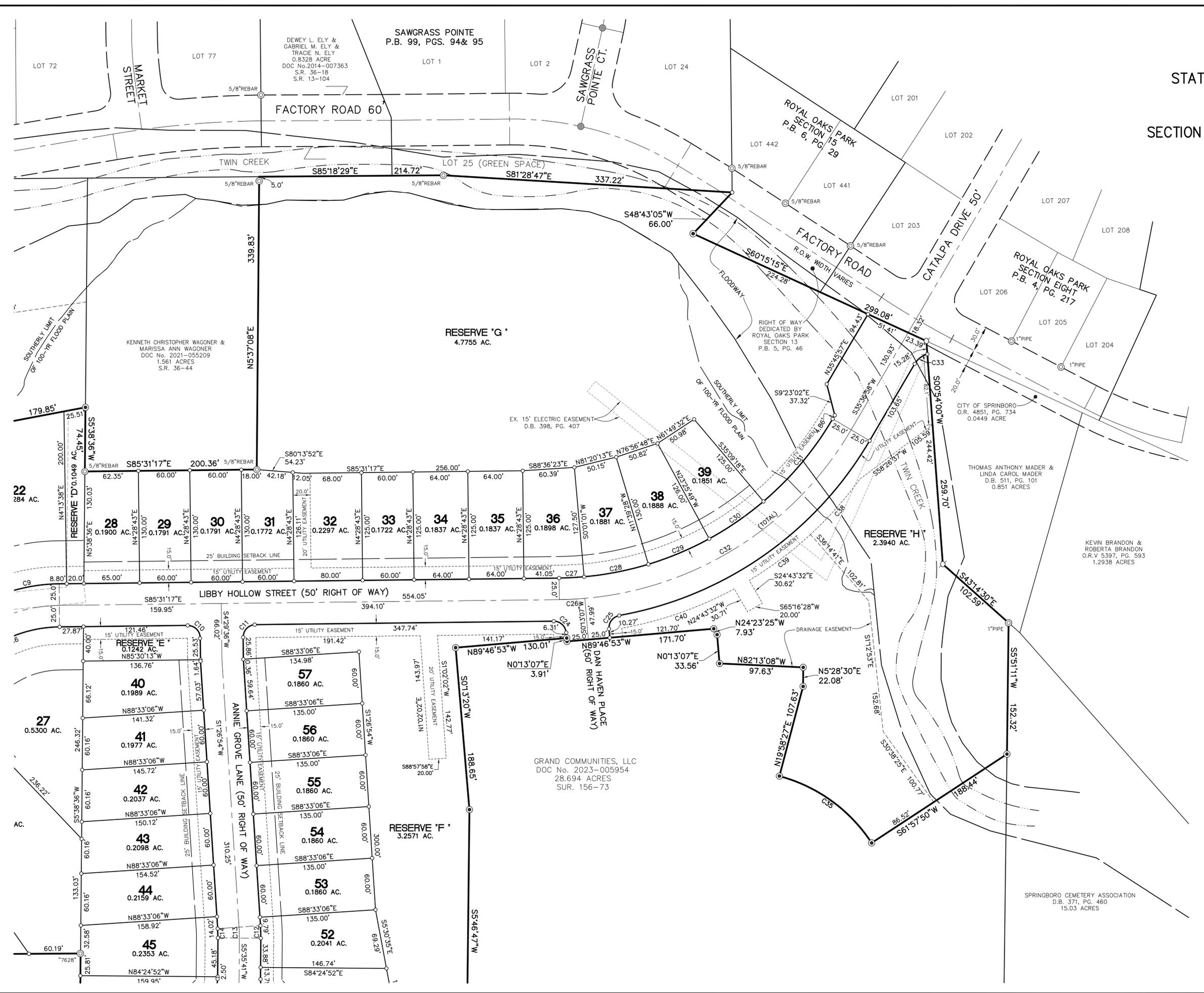


- LEGEND**
- ⊙ IRON PIN FOUND (AS NOTED & GOOD CONDITION)
 - ⊙ IRON PIN SET 5/8" REBAR 30" LONG "BI" GROUP S-6872/S-7740"
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 - ⊙ METAL FENCE POST FOUND
 - ⊙ MAG NAIL FOUND

BEARING REFERENCE

Bearings herein are based on the Ohio State Plane Coordinate System, South Zone, NAD 83, 2011 adjustment, which establishes with GPS observations a bearing of South 85°43'48" East, for the centerline of West Factory Road

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	113.99'	150.00'	43°32'24"	111.26'
C2	132.98'	175.00'	43°32'24"	129.81'
C3	39.63'	200.00'	11°21'14"	39.57'
C4	89.46'	200.00'	25°37'46"	88.72'
C5	22.89'	200.00'	6°33'24"	22.87'
C6	111.89'	150.00'	42°44'18"	109.31'
C7	130.54'	175.00'	42°44'18"	127.53'
C8	75.06'	200.00'	21°30'07"	74.62'
C9	73.77'	200.00'	21°08'02"	73.35'
C10	22.78'	14.50'	90°01'05"	20.51'
C11	22.77'	14.50'	89°59'06"	20.50'
C12	14.47'	200.00'	4°08'47"	14.47'
C13	12.66'	175.00'	4°08'47"	12.66'
C14	10.70'	150.00'	4°05'20"	10.70'
C15	22.39'	27.00'	47°31'14"	21.76'
C16	41.95'	50.00'	48°04'24"	40.73'
C17	38.59'	50.00'	44°12'58"	37.64'
C18	40.36'	50.00'	46°15'16"	39.28'
C19	41.28'	50.00'	47°18'03"	40.12'
C20	40.43'	50.00'	46°19'53"	39.34'
C21	37.41'	50.00'	42°51'55"	36.54'
C22	240.02'	50.00'	275°02'29"	67.53'
C23	22.39'	27.00'	47°31'14"	21.76'
C24	21.70'	14.50'	85°44'24"	19.73'
C25	21.47'	14.50'	84°50'37"	19.56'
C26	29.74'	400.00'	4°15'36"	29.73'
C27	29.20'	375.00'	4°27'42"	29.19'
C28	76.41'	375.00'	11°40'29"	76.28'
C29	77.05'	375.00'	11°46'21"	76.92'
C30	76.74'	375.00'	11°43'29"	76.60'
C31	125.85'	375.00'	19°13'44"	125.26'
C32	410.94'	400.00'	58°51'44"	393.10'
C33	18.95'	24.50'	44°19'31"	18.48'
C34	44.08'	300.53'	8°24'13"	44.04'
C35	135.58'	185.00'	41°59'22"	132.56'
C38	86.50'	440.00'	11°15'51"	86.36'
C39	89.15'	440.00'	11°36'30"	88.99'
C40	139.47'	440.00'	18°09'40"	138.89'



GRAND COMMUNITIES, LLC
 DOC No. 2023-005954
 28.694 ACRES
 SUR. 156-73

SPRINGBORO CEMETERY ASSOCIATION
 D.B. 371, PG. 460
 15.03 ACRES

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN
 REVISION TO APPROVED SITE PLAN
 CONCEPT PLAN
 PRELIMINARY SUBDIVISION
 RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- Owner
- Agent
- Lessee
- Signed Purchase Contract

APPLICANT NAME: _____

FERGUSON CONST.

Address _____

400 CANAL ST.

SIDNEY, OH 45365

Telephone No. _____

(937) 498 - 2381

Fax No. _____

() _____

Email Address _____

JMCGOVERN@FERGUSON-CONSTRUCTION.CO

PROPERTY OWNER NAME (IF OTHER): _____

BUCKEYE FABRICATING

Address: _____

245 S. PIONEER BLVD.

SPRINGBORO, OH 45066

Telephone No. _____

(937) 746-9822

Property Address or General Location: _____

245 S. PIONEER BLVD

Parcel Number(s): _____

0419 276020

Zoning District: _____

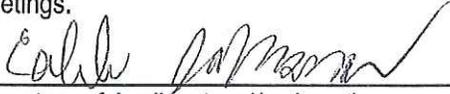
ED

Proposed Use: _____

PROPOSED ADDITION TO AN EXISTING

MANUFACTURING FACILITY

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



 (Signature of Applicant and/or Agent)

03/22/2024

 (Date)

CALEB JOHNSON

 Printed Name



GENERAL NOTES

GEOTECHNICAL INFORMATION

SOIL BORING INFORMATION IS AVAILABLE FOR THIS PROJECT THROUGH FERGUSON CONSTRUCTION.

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC. AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS. STOCK PILE AND REUSE. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL IN ENGINEERED FILL AS NEEDED.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 6" OR 8" CONCRETE WITH WWF ON 12" 304 CUSHION FILL ON COMPACTED SUBGRADE. OFFICE FLOOR SLAB IS TO BE 4" CONCRETE WITH ONE LAYER OF 2# WWF ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER FLOOR THICKNESS AREAS.

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

FURNISH AND INSTALL A COMPLETE SANITARY SEWER LINE FROM THE BUILDING TO THE EXISTING MAIN OR PROPERTY LINE AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR LOCAL REQUIREMENTS.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

ALL SANITARY AND WATERLINE WORK MUST COMPLY WITH CITY ENGINEERS STANDARDS AND INSTALLED PER THE NATIONAL PLUMBING CODE. ENTIRE SEWER LATERAL SHALL BE INSPECTED AND PRESSURE TESTED.

ALL STORM AND SANITARY PIPING MATERIALS UNDER A BUILDING ARE TO COMPLY WITH TABLE 702.2 OF THE 2017 OHIO PLUMBING CODE. ALL PIPING TO BE INSTALLED PER CODE.

WATERLINES SHALL HAVE 4'-6" MINIMUM COVER. THE WATER SERVICE SHALL BE TYPE K COPPER AND HAVE A BACKFLOW PREVENTOR UNLESS SPECIFIED DIFFERENTLY.

AT CONTACT WITH THE WATERLINE SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 18" FROM STORM AND SANITARY SEWERS. ALSO ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 5T 1B PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE OODOT HW-1, 2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

ASPHALT NOTES

STANDARD ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 1-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 7" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

HEAVY-DUTY ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 2-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 9" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

CONCRETE PARKING BUMPERS WILL BE INSTALLED WHERE SHOWN ON THE DRAWINGS.

CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN 3 WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL. / SQ. YD.)

ASPHALT CONTRACTOR IS RESPONSIBLE FOR SAW-CUTS AND A.C. SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

PARKING LOT STRIPING IS TO RECEIVE ONE COAT OF WHITE PAINT 4" WIDE AS PER LAYOUT ON SITE PLAN INCLUDING DIRECTIONAL ARROWS WHERE SHOWN. (BY ASPHALT CONTRACTOR)

HANDICAP PARKING

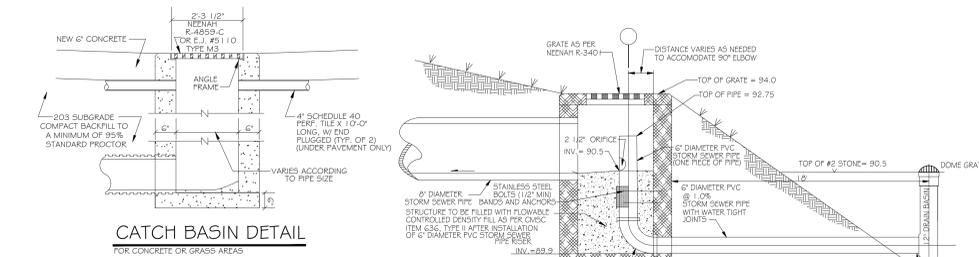
PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER CBC SECTION 111.0 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG A4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

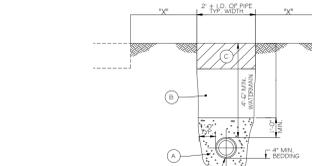
LANDSCAPING SHALL BE BY THE OWNER.

CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.



TRENCH DETAIL NOTES

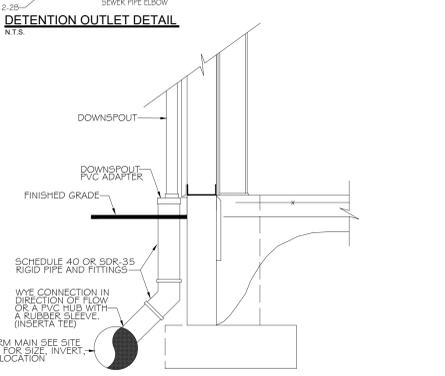
- A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, CDOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.
- B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.
- C. ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL CDOT 603 TYPE 1 OR TYPE 2. (CDOT 603 TYPE 1 OR TYPE 2) SHALL BE USED FOR BACK FILLING UNTIL THE TOP OF THE COMPACTED GRANULAR BACKFILL OR LOW STRENGTH MORTAR BACKFILL IS HIGH ENOUGH WHERE "X" IS GREATER THAN "Z".
- D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.
- E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



TRENCH DETAIL

X = DISTANCE FROM EDGE OF TRENCH TO EDGE OF CLOSEST PROPOSED OR EXISTING PAVEMENT, CURB DRIVEWAYS, ALLEYS, STONE AREA OR WALKS.
 Z = DISTANCE FROM TOP OF BEDDING TO FINISH SURFACE.
 MVE CONNECTION IN DIRECTION OF FLOW OR A PVC HUB WITH A RUBBER SLEEVE (INSERTA TED)
 STORM MAIN SEE SITE PLAN FOR SIZE, INVERT, AND LOCATION

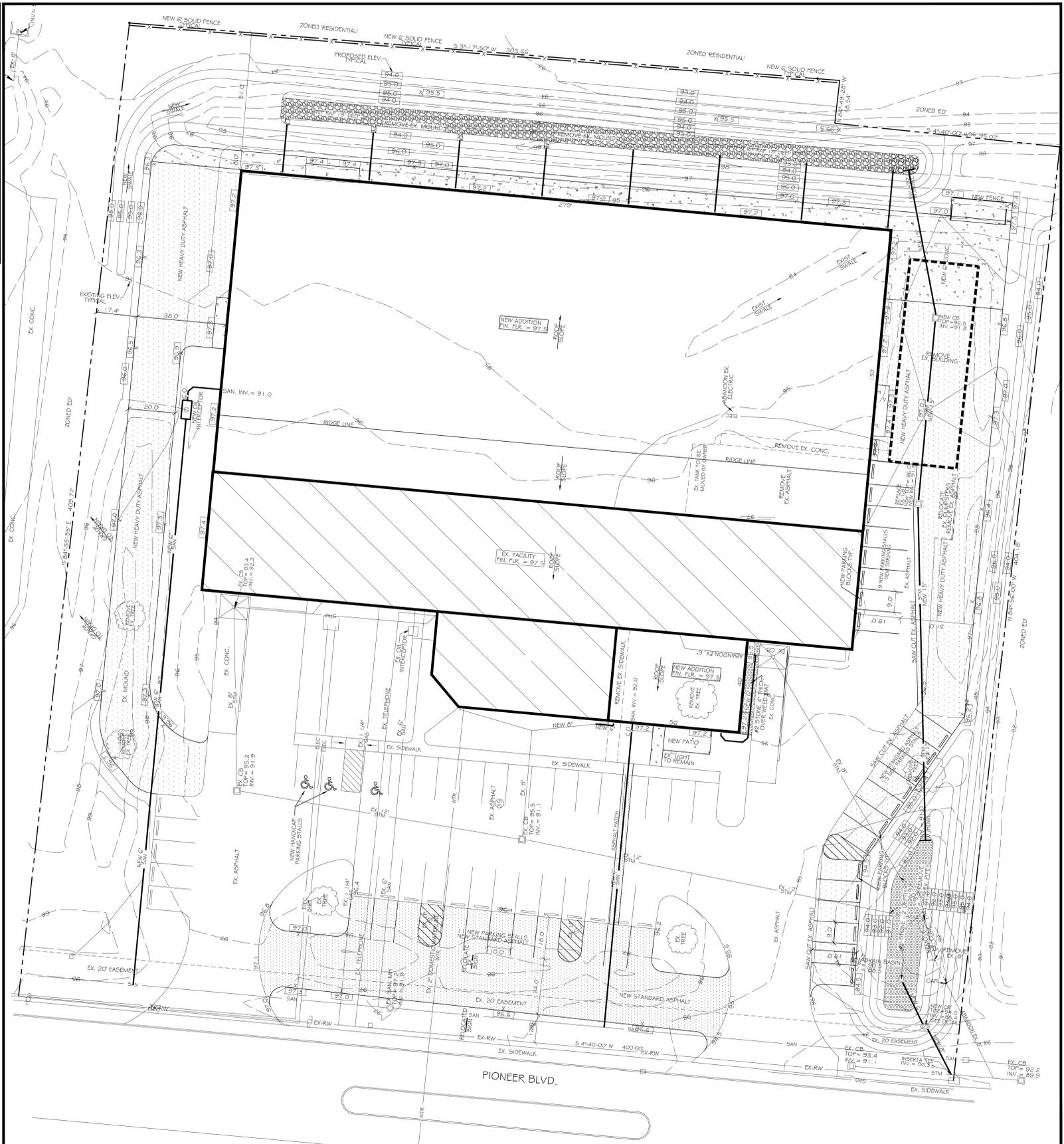
DETENTION OUTLET DETAIL



DOWNSPOUT DETAIL



PARKING LOT SCHEDULE		
EX. PARKING SPACES	NEW PARKING SPACES	TOTALS
EX. HANDICAP	NEW HANDICAP	
EX. TOTAL	NEW TOTAL	
TOTAL PARKING SPACES REQUIRED = 64		



SITE PLAN SCALE: 1" = 20' - 0"
 PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



Revisions

#	Date	Description

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NEW MANUFACTURING ADDITION FOR
BUCKEYE FABRICATING
 WARREN COUNTY
 245 S. PIONEER BOULEVARD
 SPRINGBORO, OHIO 45066



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 Sidney, OH 45365-0726
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Dayton, Ohio
 825 S. Ludlow St.
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Columbus, Ohio
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 Greenfield, IN 46140
 Phone: (317) 477-3615

Job Number	E-44001
Date	03/21/24
Drawn By	JWM
Checked By	JWM

SITE PLAN & NOTES

C-1.1

CLEAN STORM SYSTEM

IMMEDIATELY PRIOR TO FINAL COMPLETION OF THE PROJECT, CONTRACTOR SHALL ENSURE THE ENTIRE STORM SYSTEM, INCLUDING BUT NOT LIMITED TO, THE DETENTION BASINS, CATCH BASINS, MANHOLES, PIPING, UNDERDRAINS AND UNDERDRAIN TRENCHES ARE FREE FROM SEDIMENTATION AND OTHER POLLUTANTS AND FOREIGN MATERIALS AND ARE TO BE CLEANED AS NEEDED TO ENSURE MAXIMUM STORMWATER QUALITY AND FULL FUNCTIONALITY.

OFFSITE CONSTRUCTION ACTIVITIES:

IT IS EXPECTED ALL CONSTRUCTION ACTIVITIES WILL TAKE PLACE ON SITE.

SPILL REPORTING REQUIREMENTS:

IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, SPECIAL HANDLING PROCEDURES MUST BE USED. IN THE EVENT OF A LARGE RELEASE (25 GALLONS OR MORE) OF PETROLEUM WASTE, YOU MUST CONTACT THE OHIO EPA (1-1-800-282-9379), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

VEHICLE FUELING

VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED VIA A SMALL REFUEL TANK WITH SECONDARY CONTAINMENT.

OPEN BURNING NOTE:

OPEN BURNING IS NOT PERMITTED IN THE CORPORATION LIMIT.

SWPPP AND INSPECTION REPORTS LOCATION:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

WASTE DISPOSAL NOTE:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

FUELING AND STAGING NOTE:

CONTRACTOR'S STAGING AREA WILL BE LOCATED WITHIN CONSTRUCTION LIMITS OF THE PROJECT. FUEL TANKS AND OTHER HAZARDOUS MATERIALS TO BE SAFELY STORED, PROTECTED, AND PROPERLY HANDLED BY CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STAGING/STORAGE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. CONTRACTOR SHALL CLEAN UP AND PROPERLY DISPOSE OF ANY WASTE MATERIALS.

SOIL STOCKPILE NOTE:

CONTRACTORS SHALL LOCATE SOIL STOCKPILE AREAS WITHIN THE PROJECT AREA SO AS NOT TO BE WITHIN THE IMMEDIATE PROXIMITY OF ANY SURFACE WATERS OR STORM INLET STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STOCKPILE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

DEWATERING NOTE:

PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR ANY OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATER, DITCH OR STREAM CORRIDORS, ANY WETLANDS OR STORM SEWERS IS PROHIBITED. ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SOIL PARTICLES PRIOR TO ITS RELEASE. IF AN AREA OF THE SITE OR TRENCH NEEDS DEWATERED, IT SHOULD BE PUMPED FROM A SUMP FIT WITH A SOOK FILTER OR OTHER TYPE OF FILTERING DEVICE ON THE DISCHARGE OF THE HOSE. DO NOT ALLOW DISCHARGED WATER TO PASS OVER DISTURBED GROUND. IF THE DISCHARGE WATER IS BEING PUMPED INTO A SEDIMENT POND THEN NO FILTER IS REQUIRED AT THE END OF THE HOSE. IF THE GROUNDWATER MUST BE LOWERED, THE WATER MAY BE FREELY DISCHARGED AS LONG AS THE WATER REMAINS CLEAN. DO NOT COM-MINGLE CLEAN GROUND WATER WITH SEDIMENT LADEN WATER OR DISCHARGE IT BY ALLOWING IT TO PASS OVER DISTURBED GROUND.

LOG/DOCUMENTATION SHEETS:

AS PART OF THE SWPPP, THE CONTRACTOR SHALL MAINTAIN LOG/DOCUMENTATION SHEETS FOR THE FOLLOWING: 1) A SIGNATURE LOG CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE SWPPP AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWPPP. 2) A GRADING AND STABILIZATION LOG DOCUMENTING THE PROJECT'S GRADING AND STABILIZATION ACTIVITIES AND 3) A SWPPP AMENDMENT LOG DOCUMENTING CHANGES/AMENDMENTS TO THE SWPPP, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

MAINTENANCE NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWPPP SHALL BE DESIGNED TO MINIMIZE MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

SWPPP AND INSPECTION AVAILABILITY AND UPDATES NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE SWPPP AND INSPECTION REPORTS ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM AND DOCUMENT ALL REQUIRED SWPPP INSPECTIONS AND ALL UPDATES AND AMENDMENTS TO THE SWPPP.

PROCESS WASTEWATER/LEACHATE MANAGEMENT NOTE:

ALL PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, AND CONCRETE WASH-OUTS) MUST BE COLLECTED AND DISPOSED OF PROPERLY (TO A PUBLICLY OWNED TREATMENT WORKS). THE NATION'S CONSTRUCTION STORM WATER GENERAL PERMIT ONLY AUTHORIZES THE DISCHARGE OF STORM WATER AND CERTAIN UNCONTAMINATED NON-STORM WATER. THE DISCHARGE OF NONSTORM WATERS TO WATERS OF THE STATE MAY BE IN VIOLATION OF LOCAL, STATE, AND FEDERAL LAWS OR REGULATIONS.

HANDLING OF TOXIC OR HAZARDOUS MATERIALS NOTE:

NO SOLID, SANITARY, OR TOXIC WASTE IS TO BE DISPOSED OF ON THE PROJECT SITE. RECYCLING OF USED OR UNUSED HAZARDOUS MATERIALS SHALL NOT OCCUR ON SITE EITHER. AREAS DESIGNATED FOR CEMENT TRUCK WASHOUTS, AND VEHICLE FUELING SHALL NOT TAKE PLACE ON PARKING LOT BASE.

CONSTRUCTION CHEMICAL COMPOUNDS NOTE:

NO MIXING OR STORAGE OF CHEMICAL COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE ARE PERMITTED TO TAKE PLACE ON-SITE. ALL MIXING SHALL TAKE PLACE BEFORE ENTERING THE SITE.

CONSTRUCTION OR DEMOLITION DEBRIS NOTE:

ALL CONSTRUCTION AND DEMOLITION DEBRIS WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED LANDFILL AS REQUIRED BY OHIO REVISION CODE 3714.1. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

CONTAMINATED SOILS NOTE:

SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS SHALL BE HANDLED AND DISPOSED OF PROPERLY. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED OF IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY. IF CONTAMINATION HAPPENS TO OCCUR, TARPS ARE TO BE USED TO PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

TABLE # 1 - TEMPORARY STABILIZATION

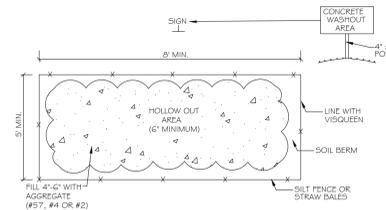
Any disturbed area within 50 feet of a stream and not at final grade.	Within 2 days of the most recent disturbance if that area will remain idle for more than 21 days.
For all construction activities, any disturbed areas, including soil stockpiles, that will be dormant for more than 21 days, and not within 50 feet of a stream.	Within 7 days of the most recent disturbance within the area.
Disturbed areas that will be idle over winter.	Prior to onset of winter weather.

TABLE # 2 - PERMANENT STABILIZATION

Any area that will be dormant for 12 months or more.	Within 7 days of the most recent disturbance.
Any area within 50 feet of a stream and at final grade.	Within two days of reaching final grade.
Any area at final grade.	Within 7 days of reaching final grade within that area.

TABLE # 3 - MAXIMUM DRAINAGE AREA TO SILT FENCE

Maximum drainage area (in acres) to 100 linear feet of silt fence	Range of slope for a particular drainage area (percent)
0.25	≤ 2%
0.25	2% but ≤ 20%
0.25	20% but ≤ 30%



CONCRETE WASHOUT AREA

N.T.S.

SITE DEVELOPMENT DETAILS

PROJECT DESCRIPTION: THE SITE IS A 3.84 ACRE PARCEL WITH A PROPOSED 36,270 SF BUILDING ADDITION WITH 2,240 SF OF OFFICE SPACE. THE DEVELOPMENT WILL INCLUDE ADDING 35 PARKING STALLS.

EXISTING SITE: THE SITE CURRENTLY HAS A 14,510 SF MANUFACTURING FACILITY WITH A 3,000 SF OFFICE. THE SITE CURRENTLY HAS A 35 CAR PARKING LOT.

STORMWATER RUNOFF: STORMWATER RUNOFF FLOWS NORTH TO SOUTH AND OUTLETS INTO THE EXISTING STORM SYSTEM AT THE SOUTHWEST CORNER OF THE PROPERTY.

SOILS: XENIA SILT LOAN

DISTURBED ACREAGE: 2.2 ACRES

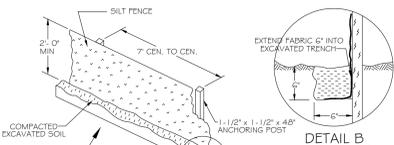
PRE # 4 POST CONSTRUCTION RUNOFF COEFFICIENTS:

PRE-CONSTRUCTION=0.53

POST CONSTRUCTION=0.64

CONSTRUCTION SEQUENCE:

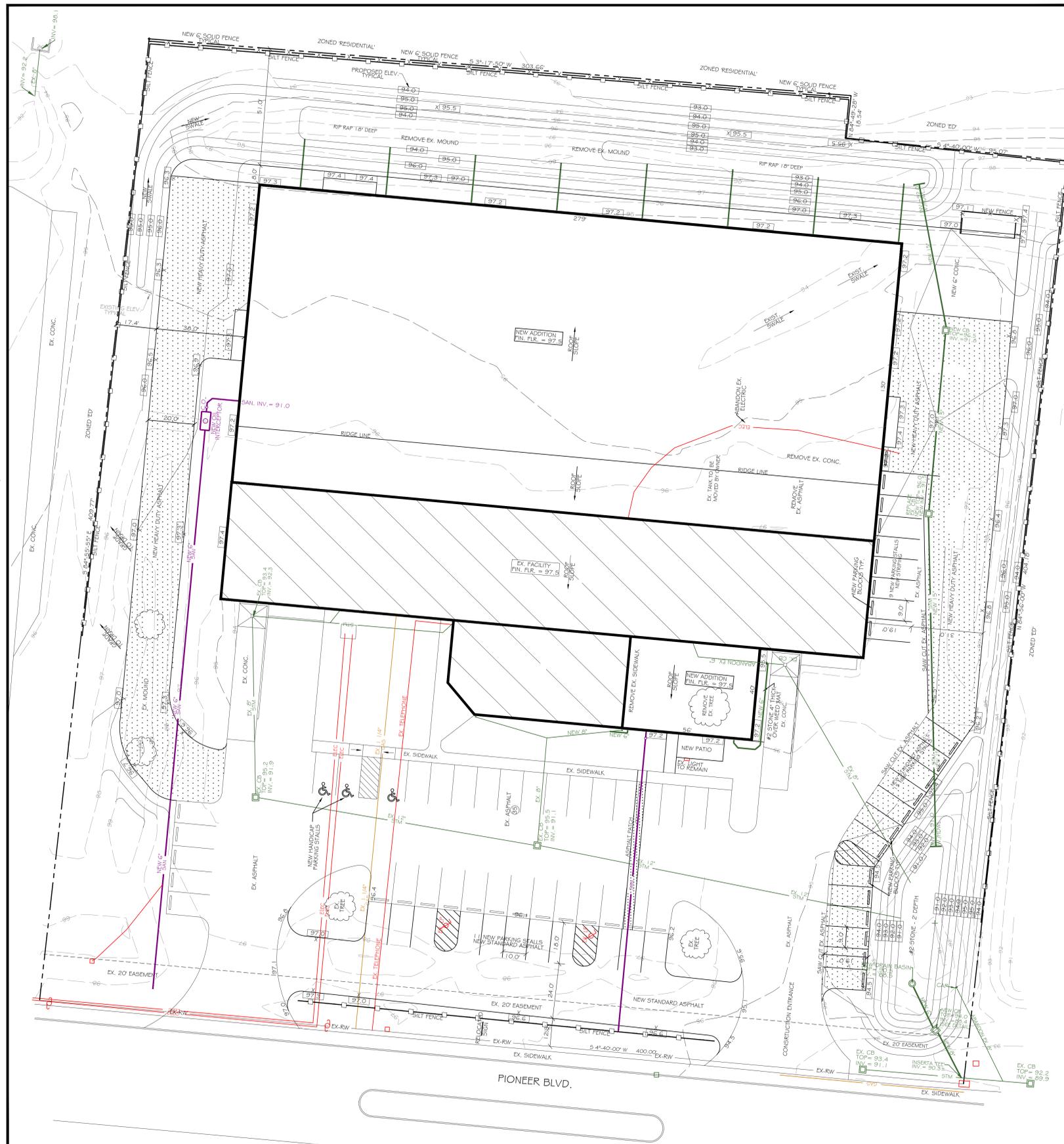
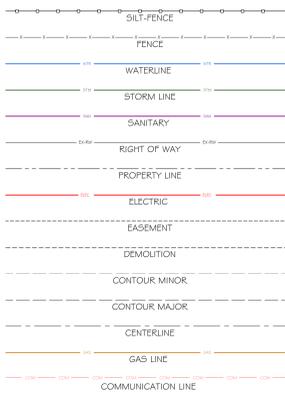
1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AREA.
2. REMOVE NECESSARY VEGETATION AND INSTALL PERIMETER SEDIMENT FENCE WHERE SHOWN ON THE EROSION PLAN.
3. INSTALL SEDIMENT BASIN 4 OUTLET STRUCTURE.
4. CLEAR AND GRUB THE SITE AND GRADE TO PROPOSED GRADES SHOWN ON SITE PLAN.
5. INSTALL UTILITIES AS SHOWN ON THE SITE PLAN.
6. INSTALL INLET PROTECTION ON CATCH BASINS.
7. TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
8. FINE GRADE THE SITE AND PERMANENTLY STABILIZE THE DISTURBED AREAS.
9. INSTALL NEW PAVEMENT AS SHOWN.
10. REMOVE THE TEMPORARY SEDIMENT CONTROLS UPON THE ESTABLISHMENT OF PERMANENT VEGETATION.



SILT FENCE DETAIL

NOT TO SCALE

LEGEND



EROSION PLAN

SCALE : 1" = 20' - 0"



Revisions		
#	Date	Description

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NEW MANUFACTURING ADDITION
FOR
BUCKEYE FABRICATING
WARREN COUNTY
245 S. PIONEER BOULEVARD
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Sidney, OH 45365-0726
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Dayton, Ohio
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Dayton, OH 45402
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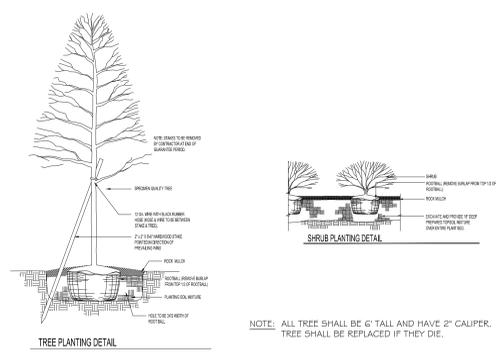
Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number E-44001
Date 03/21/24
Drawn By JWM
Checked By JWM

EROSION
PLAN

C-2.1



GENERAL NOTES

GEOTECHNICAL INFORMATION

SOIL BORING INFORMATION IS AVAILABLE FOR THIS PROJECT THROUGH FERGUSON CONSTRUCTION.

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC. AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS. STOCK PILE AND REUSE. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL IN ENGINEERED FILL AS NEEDED.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 6" OR 8" CONCRETE WITH WWF ON 12" 304 CUSHION FILL ON COMPACTED SUBGRADE. OFFICE FLOOR SLAB IS TO BE 4" CONCRETE WITH ONE LAYER OF 2# WWF ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER FLOOR THICKNESS AREAS.

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

FURNISH AND INSTALL A COMPLETE SANITARY SEWER LINE FROM THE BUILDING TO THE EXISTING MAIN OR PROPERTY LINE AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR LOCAL REQUIREMENTS.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

ALL SANITARY AND WATERLINE WORK MUST COMPLY WITH CITY ENGINEERS STANDARDS AND INSTALLED PER THE NATIONAL PLUMBING CODE. ENTIRE SEWER LATERAL SHALL BE INSPECTED AND PRESSURE TESTED.

ALL STORM AND SANITARY PIPING MATERIALS UNDER A BUILDING ARE TO COMPLY WITH TABLE 702.2 OF THE 2017 OHIO PLUMBING CODE. ALL PIPING TO BE INSTALLED PER CODE.

WATERLINES SHALL HAVE 4'-6" MINIMUM COVER. THE WATER SERVICE SHALL BE TYPE K COPPER AND HAVE A BACKFLOW PREVENTOR UNLESS SPECIFIED DIFFERENTLY.

AT CONTACT WITH THE WATERLINE SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 18" FROM STORM AND SANITARY SEWERS. ALSO ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 5T 1B PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE OODOT HW-1, 2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

ASPHALT NOTES

STANDARD ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 1-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 7" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

HEAVY-DUTY ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 2-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 9" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

CONCRETE PARKING BUMPERS WILL BE INSTALLED WHERE SHOWN ON THE DRAWINGS.

CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN 3 WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL. / SQ. YD.)

ASPHALT CONTRACTOR IS RESPONSIBLE FOR SAW-CUTS AND A.C. SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

PARKING LOT STRIPING IS TO RECEIVE ONE COAT OF WHITE PAINT 4" WIDE AS PER LAYOUT ON SITE PLAN INCLUDING DIRECTIONAL ARROWS WHERE SHOWN. (BY ASPHALT CONTRACTOR)

HANDICAP PARKING

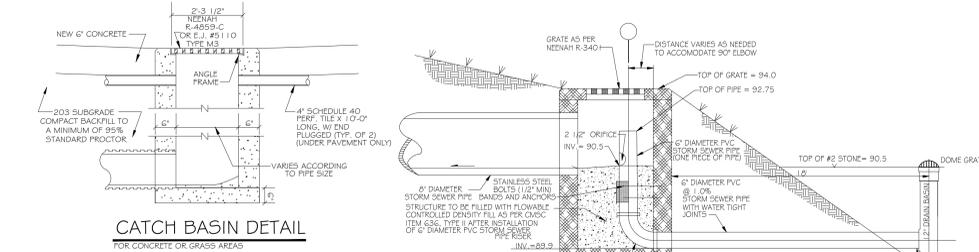
PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER CBC SECTION 111.0 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG A4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

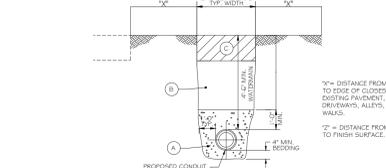
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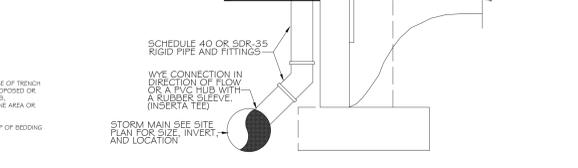
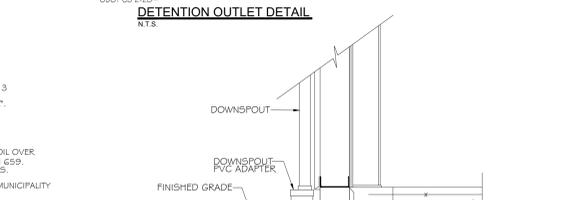


TRENCH DETAIL NOTES

- A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, CDOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.
- B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.
- C. ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL CDOT 603 TYPE 1 OR TYPE 2. (CDOT 603 TYPE 1 OR TYPE 2) SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR. (CDOT 603 TYPE 1 OR TYPE 2) SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR. (CDOT 603 TYPE 1 OR TYPE 2) SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR. (CDOT 603 TYPE 1 OR TYPE 2) SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR.
- D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.
- E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



TRENCH DETAIL



DOWNSPOUT DETAIL



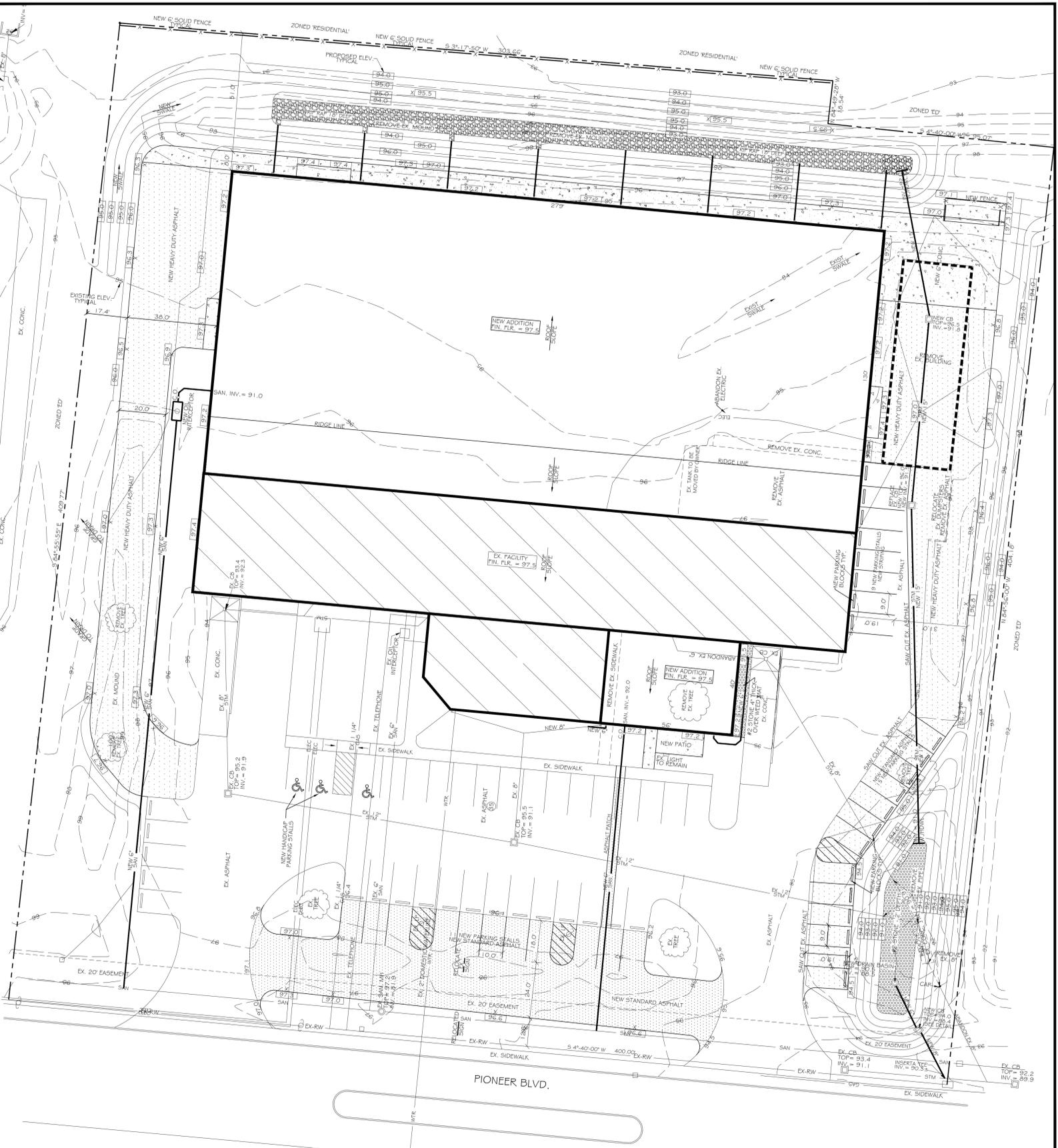
VICINITY MAP SCALE: N.T.S.

LEGEND

---	SILT-FENCE
---	FENCE
---	WATERLINE
---	STORM LINE
---	SANITARY
---	RIGHT OF WAY
---	PROPERTY LINE
---	ELECTRIC
---	EASEMENT
---	DEMOLITION
---	CONTOUR MINOR
---	CONTOUR MAJOR
---	CENTERLINE
---	GAS LINE
---	COMMUNICATION LINE

PARKING LOT SCHEDULE

EX. PARKING SPACES	NEW PARKING SPACES	TOTALS
EX. HANDICAP	NEW HANDICAP	
EX. TRUCK/BOAT	NEW TRUCK/BOAT	
EX. TOTAL	NEW TOTAL	
		70
		64
		6



SITE PLAN SCALE: 1" = 20' - 0"



Revisions

#	Date	Description

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NEW MANUFACTURING ADDITION FOR BUCKEYE FABRICATING
WARREN COUNTY
245 S. PIONEER BOULEVARD
SPRINGBORO, OHIO 45066



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Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-44001
Date	03/21/24
Drawn By	JWM
Checked By	JWM

SITE PLAN & NOTES

C-1.1

CLEAN STORM SYSTEM

IMMEDIATELY PRIOR TO FINAL COMPLETION OF THE PROJECT, CONTRACTOR SHALL ENSURE THE ENTIRE STORM SYSTEM, INCLUDING BUT NOT LIMITED TO, THE DETENTION BASINS, CATCH BASINS, MANHOLES, PIPING, UNDERDRAINS AND UNDERDRAIN TRENCHES ARE FREE FROM SEDIMENTATION AND OTHER POLLUTANTS AND FOREIGN MATERIALS AND ARE TO BE CLEANED AS NEEDED TO ENSURE MAXIMUM STORMWATER QUALITY AND FULL FUNCTIONALITY.

OFFSITE CONSTRUCTION ACTIVITIES:

IT IS EXPECTED ALL CONSTRUCTION ACTIVITIES WILL TAKE PLACE ON SITE.

SPILL REPORTING REQUIREMENTS:

IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, SPECIAL HANDLING PROCEDURES MUST BE USED. IN THE EVENT OF A LARGE RELEASE (25 GALLONS OR MORE) OF PETROLEUM WASTE, YOU MUST CONTACT THE OHIO EPA (1-1-800-282-9379), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

VEHICLE FUELING

VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED VIA A SMALL REFUEL TANK WITH SECONDARY CONTAINMENT.

OPEN BURNING NOTE:

OPEN BURNING IS NOT PERMITTED IN THE CORPORATION LIMIT.

SWPPP AND INSPECTION REPORTS LOCATION:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

WASTE DISPOSAL NOTE:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

FUELING AND STAGING NOTE:

CONTRACTOR'S STAGING AREA WILL BE LOCATED WITHIN CONSTRUCTION LIMITS OF THE PROJECT. FUEL TANKS AND OTHER HAZARDOUS MATERIALS TO BE SAFELY STORED, PROTECTED, AND PROPERLY HANDLED BY CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STAGING/STORAGE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. CONTRACTOR SHALL CLEAN UP AND PROPERLY DISPOSE OF ANY WASTE MATERIALS.

SOIL STOCKPILE NOTE:

CONTRACTORS SHALL LOCATE SOIL STOCKPILE AREAS WITHIN THE PROJECT AREA SO AS NOT TO BE WITHIN THE IMMEDIATE PROXIMITY OF ANY SURFACE WATERS OR STORM INLET STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STOCKPILE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

DEWATERING NOTE:

PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR ANY OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATER, DITCH OR STREAM CORRIDORS, ANY WETLANDS OR STORM SEWERS IS PROHIBITED. ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SOIL PARTICLES PRIOR TO ITS RELEASE. IF AN AREA OF THE SITE OR TRENCH NEEDS DEWATERED, IT SHOULD BE PUMPED FROM A SUMP FIT WITH A SOOK FILTER OR OTHER TYPE OF FILTERING DEVICE ON THE DISCHARGE OF THE HOSE. DO NOT ALLOW DISCHARGED WATER TO PASS OVER DISTURBED GROUND. IF THE DISCHARGE WATER IS BEING PUMPED INTO A SEDIMENT POND THEN NO FILTER IS REQUIRED AT THE END OF THE HOSE. IF THE GROUNDWATER MUST BE LOWERED, THE WATER MAY BE FREELY DISCHARGED AS LONG AS THE WATER REMAINS CLEAN. DO NOT COM-MINGLE CLEAN GROUND WATER WITH SEDIMENT LADEN WATER OR DISCHARGE IT BY ALLOWING IT TO PASS OVER DISTURBED GROUND.

LOG/DOCUMENTATION SHEETS:

AS PART OF THE SWPPP, THE CONTRACTOR SHALL MAINTAIN LOG/DOCUMENTATION SHEETS FOR THE FOLLOWING: 1) A SIGNATURE LOG CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE SWPPP AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWPPP. 2) A GRADING AND STABILIZATION LOG DOCUMENTING THE PROJECT'S GRADING AND STABILIZATION ACTIVITIES AND 3) A SWPPP AMENDMENT LOG DOCUMENTING CHANGES/AMENDMENTS TO THE SWPPP, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

MAINTENANCE NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWPPP SHALL BE DESIGNED TO MINIMIZE MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

SWPPP AND INSPECTION AVAILABILITY AND UPDATES NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE SWPPP AND INSPECTION REPORTS ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM AND DOCUMENT ALL REQUIRED SWPPP INSPECTIONS AND ALL UPDATES AND AMENDMENTS TO THE SWPPP.

PROCESS WASTEWATER/LEACHATE MANAGEMENT NOTE:

ALL PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, AND CONCRETE WASH-OUTS) MUST BE COLLECTED AND DISPOSED OF PROPERLY (TO A PUBLICLY OWNED TREATMENT WORKS). THE NATION'S CONSTRUCTION STORM WATER GENERAL PERMIT ONLY AUTHORIZES THE DISCHARGE OF STORM WATER AND CERTAIN UNCONTAMINATED NON-STORM WATER. THE DISCHARGE OF NONSTORM WATERS TO WATERS OF THE STATE MAY BE IN VIOLATION OF LOCAL, STATE, AND FEDERAL LAWS OR REGULATIONS.

HANDLING OF TOXIC OR HAZARDOUS MATERIALS NOTE:

NO SOLID, SANITARY, OR TOXIC WASTE IS TO BE DISPOSED OF ON THE PROJECT SITE. RECYCLING OF USED OR UNUSED HAZARDOUS MATERIALS SHALL NOT OCCUR ON SITE EITHER. AREAS DESIGNATED FOR CEMENT TRUCK WASHOUTS, AND VEHICLE FUELING SHALL NOT TAKE PLACE ON PARKING LOT BASE.

CONSTRUCTION CHEMICAL COMPOUNDS NOTE:

NO MIXING OR STORAGE OF CHEMICAL COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE ARE PERMITTED TO TAKE PLACE ON-SITE. ALL MIXING SHALL TAKE PLACE BEFORE ENTERING THE SITE.

CONSTRUCTION OR DEMOLITION DEBRIS NOTE:

ALL CONSTRUCTION AND DEMOLITION DEBRIS WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED LANDFILL AS REQUIRED BY OHIO REVISION CODE 3714.1. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

CONTAMINATED SOILS NOTE:

SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS SHALL BE HANDLED AND DISPOSED OF PROPERLY. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED OF IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY. IF CONTAMINATION HAPPENS TO OCCUR, TARPS ARE TO BE USED TO PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

TABLE # 1 - TEMPORARY STABILIZATION

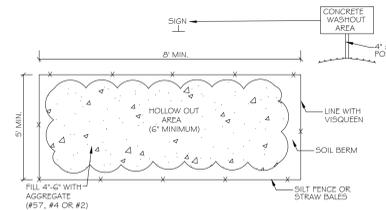
Any disturbed area within 50 feet of a stream and not at final grade.	Within 2 days of the most recent disturbance if that area will remain idle for more than 21 days.
For all construction activities, any disturbed areas, including soil stockpiles, that will be dormant for more than 21 days, and not within 50 feet of a stream.	Within 7 days of the most recent disturbance within the area.
Disturbed areas that will be idle over winter.	Prior to onset of winter weather.

TABLE # 2 - PERMANENT STABILIZATION

Any area that will be dormant for 12 months or more.	Within 7 days of the most recent disturbance.
Any area within 50 feet of a stream and at final grade.	Within two days of reaching final grade.
Any area at final grade.	Within 7 days of reaching final grade within that area.

TABLE # 3 - MAXIMUM DRAINAGE AREA TO SILT FENCE

Maximum drainage area (in acres) to 100 linear feet of silt fence	Range of slope for a particular drainage area (percent)
0.25	≤ 2%
0.25	2% but ≤ 20%
0.25	20% but ≤ 30%



CONCRETE WASHOUT AREA

N.T.S.

SITE DEVELOPMENT DETAILS

PROJECT DESCRIPTION: THE SITE IS A 3.84 ACRE PARCEL WITH A PROPOSED 36,270 sq BUILDING ADDITION WITH 2,240 sq OF OFFICE SPACE. THE DEVELOPMENT WILL INCLUDE ADDING 35 PARKING STALLS.

EXISTING SITE: THE SITE CURRENTLY HAS A 14,510 sq ft MANUFACTURING FACILITY WITH A 3,000 sq OF OFFICE. THE SITE CURRENTLY HAS A 35 CAR PARKING LOT.

STORMWATER RUNOFF: STORMWATER RUNOFF FLOWS NORTH TO SOUTH AND OUTLETS INTO THE EXISTING STORM SYSTEM AT THE SOUTHWEST CORNER OF THE PROPERTY.

SOILS: XENIA SILT LOAN

DISTURBED ACREAGE: 2.2 ACRES

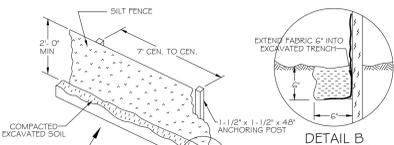
PRE # 4 POST CONSTRUCTION RUNOFF COEFFICIENTS:

PRE-CONSTRUCTION=0.53

POST CONSTRUCTION=0.64

CONSTRUCTION SEQUENCE:

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AREA.
2. REMOVE NECESSARY VEGETATION AND INSTALL PERIMETER SEDIMENT FENCE WHERE SHOWN ON THE EROSION PLAN.
3. INSTALL SEDIMENT BASIN 4 OUTLET STRUCTURE.
4. CLEAR AND GRUB THE SITE AND GRADE TO PROPOSED GRADES SHOWN ON SITE PLAN.
5. INSTALL UTILITIES AS SHOWN ON THE SITE PLAN.
6. INSTALL INLET PROTECTION ON CATCH BASINS.
7. TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
8. FINE GRADE THE SITE AND PERMANENTLY STABILIZE THE DISTURBED AREAS.
9. INSTALL NEW PAVEMENT AS SHOWN.
10. REMOVE THE TEMPORARY SEDIMENT CONTROLS UPON THE ESTABLISHMENT OF PERMANENT VEGETATION.

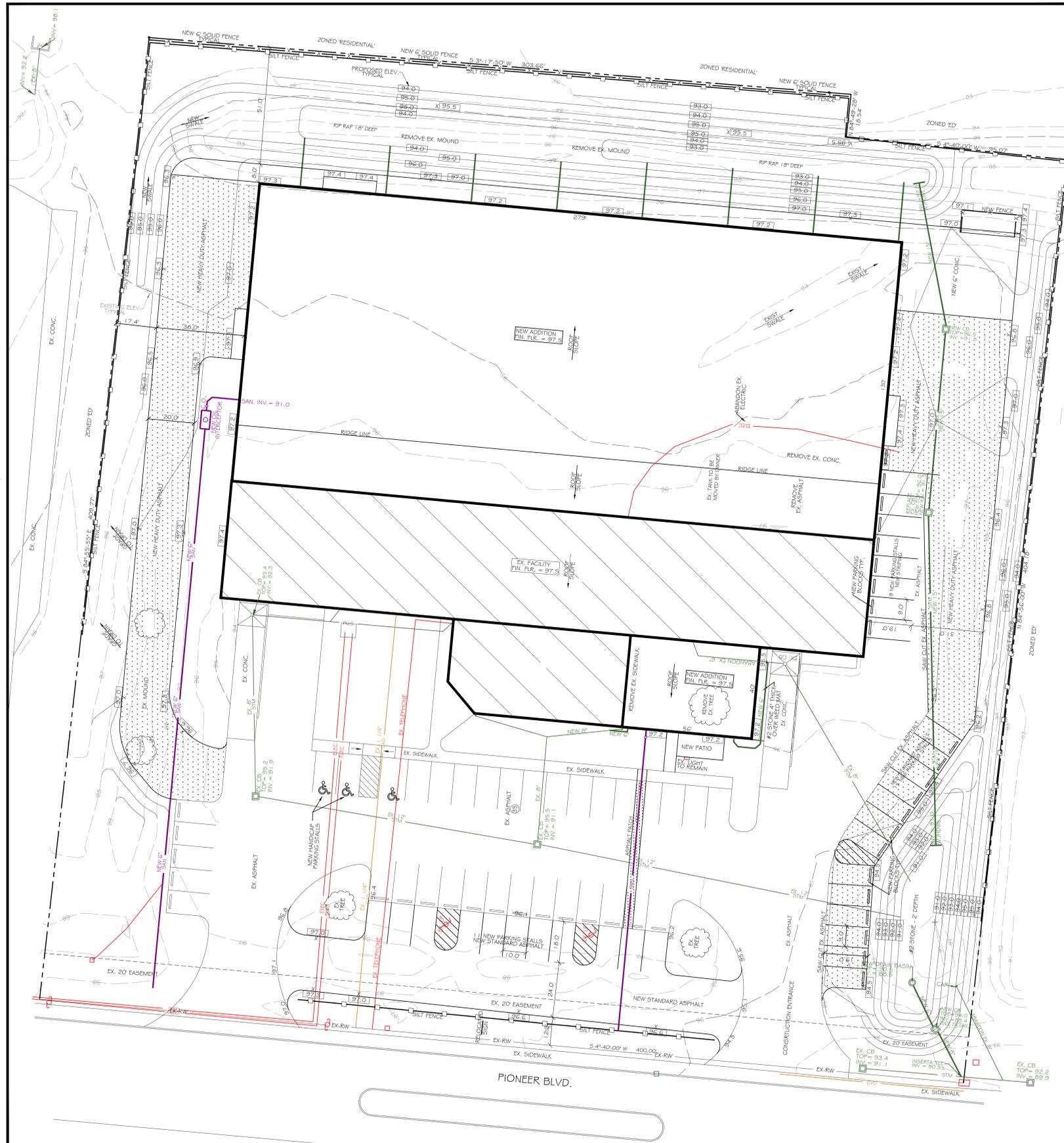


SILT FENCE DETAIL

NOT TO SCALE

LEGEND

- SILT-FENCE
- FENCE
- WATERLINE
- STORM LINE
- SANITARY
- RIGHT OF WAY
- PROPERTY LINE
- ELECTRIC
- EASEMENT
- DEMOLITION
- CONTOUR MINOR
- CONTOUR MAJOR
- CENTERLINE
- GAS LINE
- COMMUNICATION LINE



EROSION PLAN

SCALE : 1" = 20' - 0"



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Drawn By	JWM
Checked By	JWM

EROSION PLAN

C-2.1

ELECTRICAL NOTES

OFFICE AREAS TO RECEIVE 50-60 FOOT CANDLES OF 2' x 4' RECESSED LED LIGHTING. LIGHTING IN CONFERENCE ROOMS TO HAVE DIMMER SWITCH.

EXISTING ELECTRICAL SYSTEMS IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

MANUFACTURING AREA TO RECEIVE 50 FOOT CANDLES OF SUSPENDED 2 x 4 LED HIGH BAY FIXTURES.

PROVIDE EXIT AND EMERGENCY LIGHTS AS REQUIRED.

SEE DOOR SCHEDULE FOR HOOK-UP OF ELECTRIC DOOR OPERATORS.

PROVIDE WALL PACK EXTERIOR SECURITY LIGHTING W/ PHOTOCELL AS REQUIRED.

PROVIDE HOOK-UP OF ALL HVAC EQUIPMENT. VERIFY REQUIREMENTS W/ HVAC SUBCONTRACTOR.

PROVIDE HOOK-UP OF OWNER CRANES.

INSTALL ALL SWITCHES, RECEPTACLES, PHONE OUTLETS, DATA OUTLETS, ETC., FOR A COMPLETE INSTALLATION. INSTALL FLOOR OUTLET IN MIDDLE OF NEW CONFERENCE ROOM FLOORS. EACH REFRIGERATOR, VENDING MACHINE AND MICROWAVE TO BE ON ITS OWN RECEPTACLE.

INSTALL RECEPTACLES ON COLUMNS AT 25' O/C AROUND PERIMETER OF MANUFACTURING ADDITION.

PHONE WIRING AND COMPUTER WIRING TO BE FURNISHED AND INSTALLED BY OWNER.

ELECTRICAL HOOK-UP OF OWNER MACHINERY IS NOT INCLUDED.

VERIFY CAPACITY OF EXISTING SERVICE AND INSTALL LARGER SERVICE IF REQUIRED.

WHERE FORKLIFTS OPERATE NEAR ELECTRICAL PANELS, PROVIDE HIGHWAY TYPE GUARDRAIL W/ FLARED ENDS MOUNTED ON W6X9 WIDEFLANGE POSTS W/ 1/2" TK. X 10" X 1/2" BASE PLATE ANCHORED TO CONCRETE FLOOR W/ (4) 3/4" DIA. EXPANSION ANCHORS. TOP OF GUARDRAIL TO BE 2'-6" A.F.F. GUARDRAIL TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. ELECTRICAL SUBCONTRACTOR TO COORDINATE W/ G.C. EXACT LOCATIONS.

PROVIDE METAL BUILDING GROUNDING AS REQUIRED.

ALL GROUNDING ELECTRODES PER N.E.C. 250.52 - METAL UNDERGROUND WATER PIPE, METAL FRAME OF THE BUILDING OR STRUCTURE, CONCRETE ENCASED ELECTRODE, GROUND RING, ROD AND PIPE ELECTRODES, AND / OR PLATE ELECTRODES THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE GROUNDING ELECTRODES EXIST, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN N.E.C. 250.52 (A) (4) THROUGH (A) (7) SHALL BE INSTALLED AND USED.

REFERENCE PROVISIONS REQUIRED DURING THE CONSTRUCTION OF THE FOUNDATION TO ALLOW THE REINFORCING (CONCRETE ENCASED ELECTRODE) TO BE BONDED TO THE REMAINDER OF THE GROUNDING ELECTRODE SYSTEM.

THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL ELECTRICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

HVAC NOTES

OFFICE ADDITION TO BE HEATED AND COOLED W/ SPLIT SYSTEM GAS FIRED FURNACE AND ELECTRIC AIR CONDITIONING UNIT. COOLING SYSTEM TO MAINTAIN 74°F INSIDE TEMPERATURE WITH 95°F OUTSIDE TEMPERATURE. HEATING SYSTEM TO MAINTAIN 72°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE. PROVIDE FRESH AIR AS REQUIRED.

EXISTING HVAC SYSTEM IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

RELOCATE EXISTING WALL LOUVER IN MANUFACTURING WALL AT NEW OFFICE ADDITION. ALSO RELOCATE EXISTING WALL MOUNTED EXHAUST FANS ON EXISTING EAST WALL OF MANUFACTURING OR PROVIDE ROOF EXHAUST FANS.

MANUFACTURING AREA TO BE HEATED TO 65°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE WITH GAS FIRED MAKE-UP AIR UNITS SIMILAR TO EXISTING OR OTHER ECONOMICAL OPTIONS. PROVIDE BUILDING VENTILATION WITH WALL MOUNTED EXHAUST FANS AND WALL MOUNTED INTAKE LOUVERS. HVAC SYSTEM NEEDS TO REMOVE WELDING FUMES.

NEW SHOP OFFICE TO BE HEATED AND COOLED W/ PACKAGED TERMINAL AIR CONDITIONING (PTAC) UNITS. COOLING SYSTEM TO MAINTAIN 74°F INSIDE TEMPERATURE W/ 95°F OUTSIDE TEMPERATURE. HEATING SYSTEM TO MAINTAIN 72°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE. PROVIDE FRESH AIR AS REQUIRED.

PROVIDE SMOKE DETECTORS IN HVAC EQUIPMENT AS REQUIRED.

PROVIDE TOILET EXHAUST BY HVAC SUBCONTRACTOR. ELECTRIC HOOK-UP BY ELECTRICAL SUBCONTRACTOR.

WALL MOUNTED LOUVERS AND WALL MOUNTED EXHAUST FANS IN METAL WALL PANEL SYSTEMS TO HAVE NO FLANGES.

THE MECHANICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL MECHANICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

PLUMBING NOTES

WATER LINES INSIDE OF BLDG. TO BE TYPE 'L' HARD COPPER. INSTALL WATER LINE TO NEW TRENCH AREA FOR FILLING LARGE TANKS.

WATER LINES OUTSIDE OF BLDG. TO BE TYPE 'K' SOFT COPPER.

SANITARY PIPING TO BE PVC PLASTIC.

GAS LINES TO BE BLACK STEEL SCHEDULE 40.

INSULATE ALL ABOVE GROUND HOT AND COLD WATER LINES.

WATER CLOSETS TO BE FLOOR MOUNTED, FLUSH VALVE.

URINALS TO BE WALL HUNG, FLUSH VALVE.

LAVATORIES TO BE WALL HUNG AND SET IN COUNTERTOPS. SEE LOCATIONS.

ELECTRIC WATER COOLERS TO BE WALL HUNG, DUAL HEIGHT, HANDICAP TYPE WITH WATER BOTTLE FILLER.

FLOOR DRAINS TO BE 5" DIAMETER POLISHED BRASS.

HOT WATER HEATER BY PLUMBING SUBCONTRACTOR.

PROCESS PIPING AND/OR DRAINS FOR OWNERS EQUIPMENT NOT INCLUDED.

WASH FOUNTAINS TO BE BRADLEY (OR EQUAL) 54" DIAMETER CIRCULAR DEEP BOWL. PRECAST TERRAZZO W/ FOOT CONTROL. COMPLETE W/ LIQUID SOAP DISPENSER.

INSTALL ONE EYE WASH STATION ALONG NORTH WALL OF MANUFACTURING.

EXISTING PLUMBING SYSTEM IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

INSTALL NEW PLUMBING ITEMS AS SHOWN AND HOOK-UP TO EXISTING SYSTEM.

ALL SINK FAUCETS ARE TO BE WRIST BLADE TYPE FOR HANDICAPPED USE.

INSTALL STAINLESS STEEL SINKS AT COUNTER AREAS WHERE SHOWN W/ WRIST BLADE LEVERS AND LARGE GOOSENECK FAUCETS.

WATER CLOSETS SHALL BE EQUIPPED WITH SEATS OF SMOOTH, NON-ABSORBANT MATERIAL OF THE HINGED, OPEN-FRONT TYPE PER O.P.C. 420.3.

AIR COMPRESSOR AND AIR PIPING TO BE FURNISHED AND INSTALLED BY OWNER.

THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL PLUMBING DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

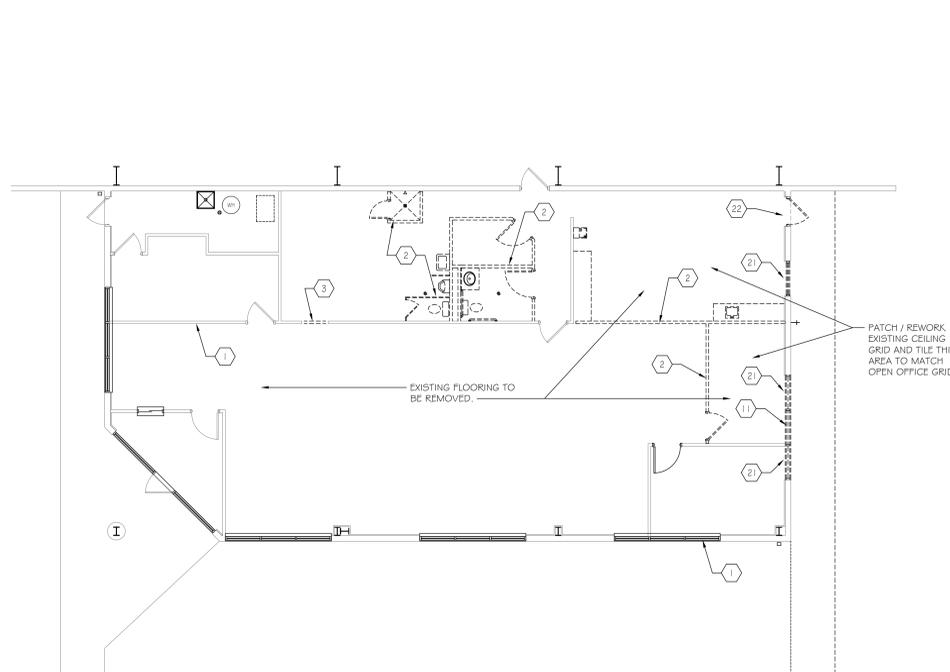
SPRINKLER NOTES

AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED IN THE BUILDING.

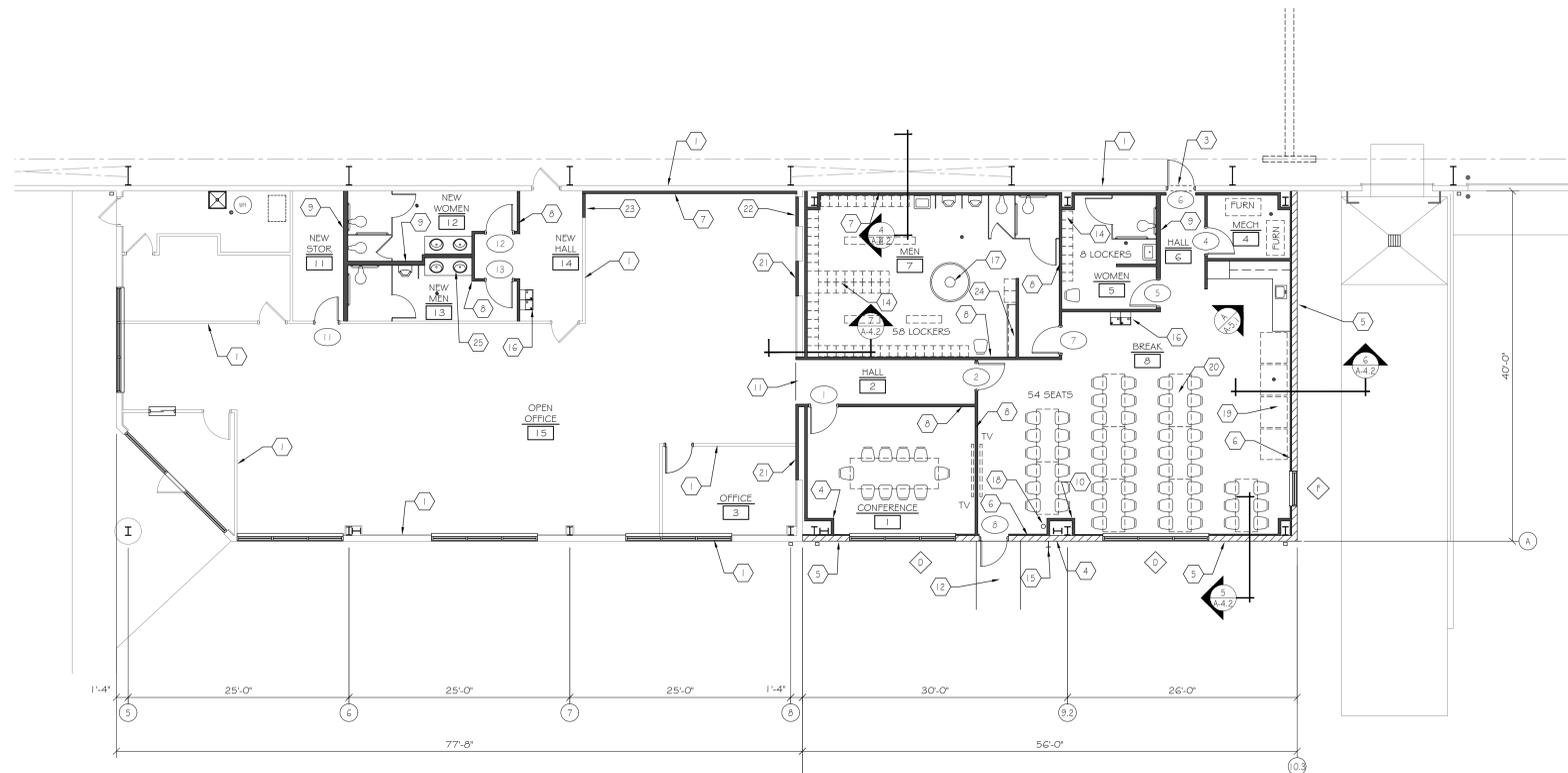
ONE EXISTING SPRINKLER HEAD IN SUPPLIES ROOM TO BE REMOVED. NO LONGER REQUIRED.

CONSTRUCTION NOTES

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING WALL CONSTRUCTION TO BE REMOVED.
- EXISTING WALL CONSTRUCTION TO BE REMOVED FOR INSTALLATION OF NEW DOOR AND FRAME. PATCH EXISTING WALL SURFACES AS REQUIRED.
- PORTAL FRAME BRACING.
- 8" THICK CONCRETE BLOCK WALL W/ MASONRY WALL REINFORCING EVERY THIRD COURSE, FOAM INSULATION, BOND BEAM, #5 VERTICAL REINFORCING GROUTED SOLID @ 4'-0" O/C AND MASONRY CONTROL JOINTS @ 24'-0" O/C MAXIMUM.
- 5/8" THICK GYPSUM DRYWALL ON ONE SIDE OF 2" RIGID INSULATION AND FURRING.
- 5/8" THICK GYPSUM DRYWALL ON ONE SIDE OF 3-5/8" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 3-1/2" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS.
- 5/8" THICK GYPSUM DRYWALL BOTH SIDES OF 3-5/8" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 3-1/2" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS.
- 5/8" THICK GYPSUM DRYWALL BOTH SIDES OF 6" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 6" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS.
- BOX AROUND STEEL COLUMNS W/ 5/8" THICK GYPSUM DRYWALL ON METAL STUDS (BOX TO BE MINIMUM SIZE).
- REMOVE SECTION OF WALL AND INSTALL DRYWALL CASSED HEADER AT 8'-0" ABOVE FINISH FLOOR.
- 4" THICK POURED CONCRETE APRON REINFORCED WITH ONE LAYER OF 2# WWF ON 6" CUSHION FILL.
- 6" THICK POURED CONCRETE APRON REINFORCED WITH ONE LAYER OF 4# WWF ON 6" CUSHION FILL.
- LOCKERS AND BENCHES FURNISHED AND INSTALLED BY OWNER.
- FROST PROOF HOSE BIBB BY PLUMBING SUBCONTRACTOR.
- DUAL HEIGHT HANDICAP TYPE ELECTRIC WATER COOLER BY PLUMBING SUBCONTRACTOR.
- 54" DIAMETER CIRCULAR WASH FOUNTAIN BY PLUMBING SUBCONTRACTOR.
- FIRE EXTINGUISHERS FURNISHED AND INSTALLED BY OWNER. TOP MOUNTED AT 4'-0" AFF.
- VENDING MACHINES FURNISHED AND INSTALLED BY OWNER.
- FURNITURE FURNISHED AND INSTALLED BY OWNER.
- REMOVE EXISTING WINDOW AND INFILL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- REMOVE EXISTING DOOR AND INFILL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- INFILL EXISTING WALL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- NEW 6" LONG SHELF AND ROD BY GENERAL CONTRACTOR.
- NEW SOLID SURFACE COUNTERTOP. SEE DETAIL B SHEET A-6.1



EXISTING OFFICE DEMO PLAN SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN SCALE: 1/8" = 1'-0"



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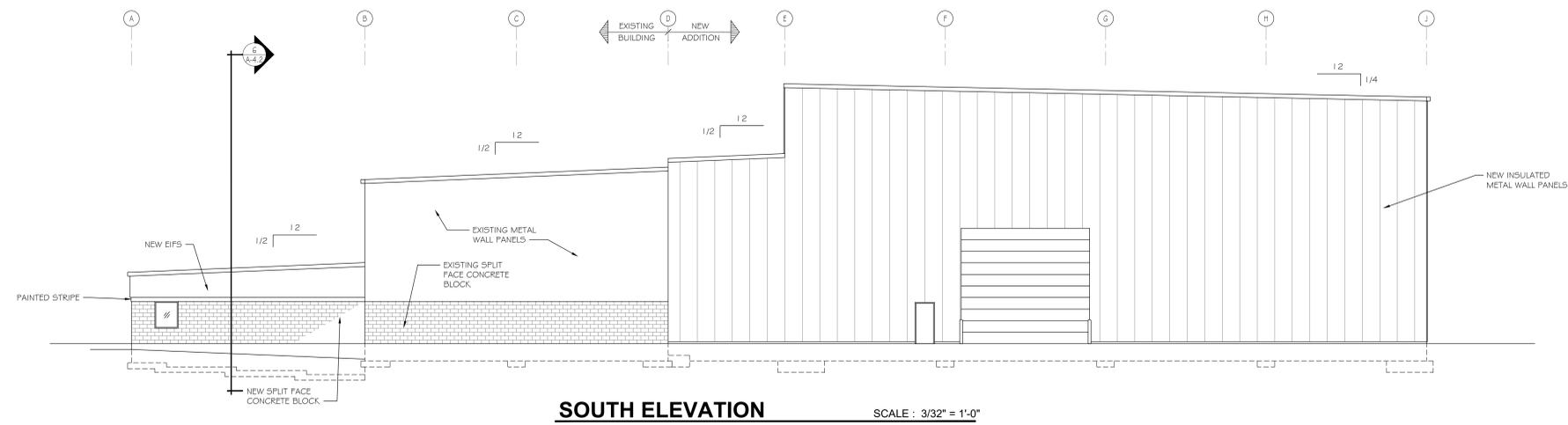
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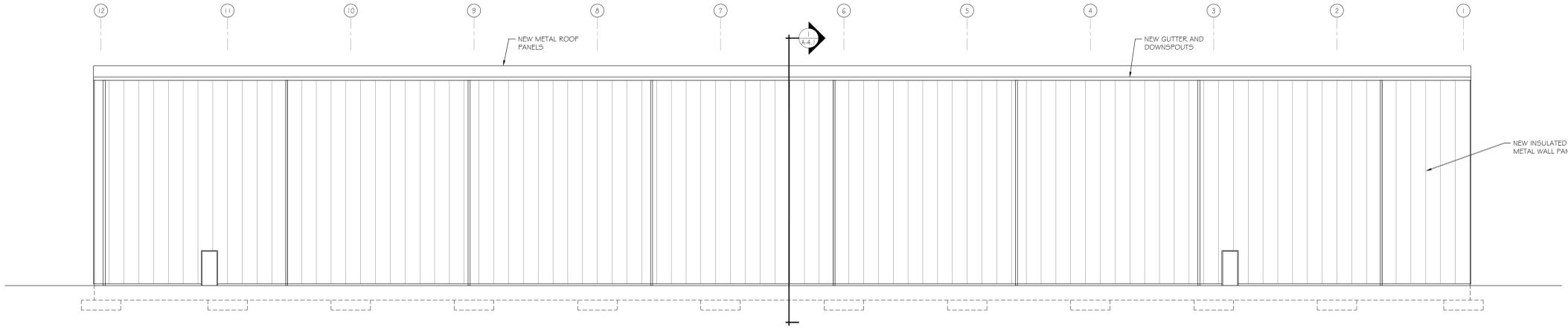
Job Number **E-44001**
Date **03/21/24**
Drawn By **JTS**
Checked By **JWM**

ENLARGED
FLOOR PLAN

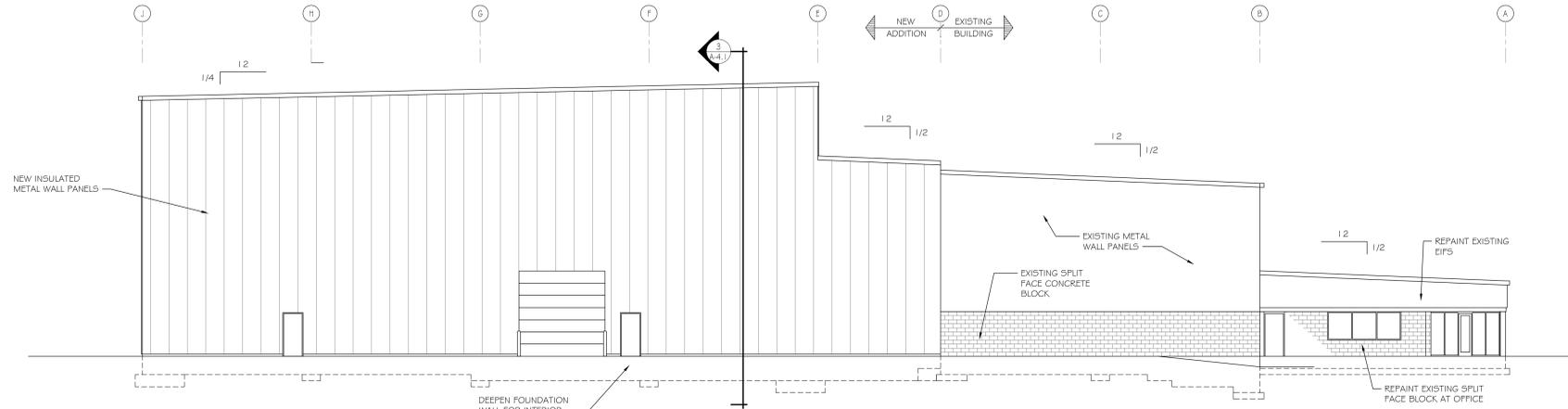
A-1.1



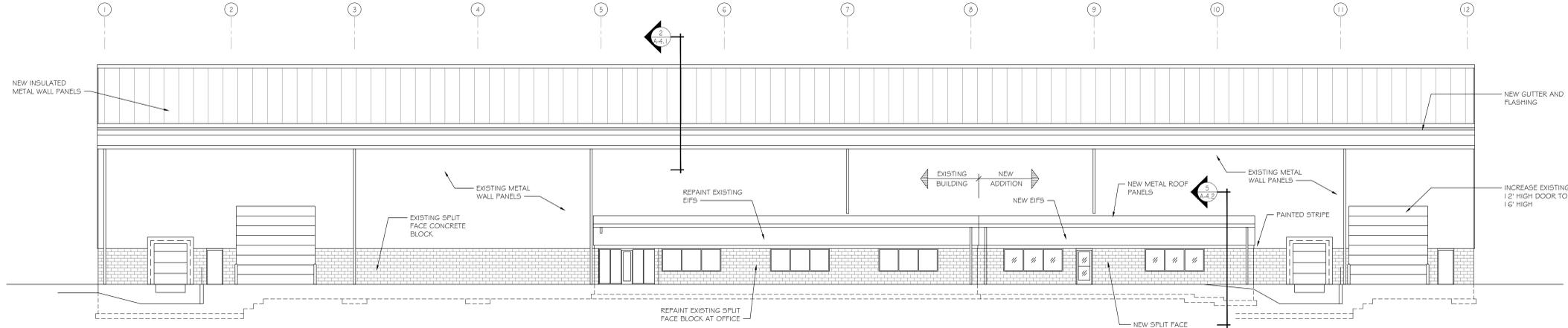
SOUTH ELEVATION SCALE : 3/32" = 1'-0"



EAST ELEVATION SCALE : 3/32" = 1'-0"



NORTH ELEVATION SCALE : 3/32" = 1'-0"



WEST ELEVATION SCALE : 3/32" = 1'-0"

Revisions		
#	Date	Description

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NOT FOR CONSTRUCTION

NEW BUILDING ADDITION
FOR
BUCKEYE FABRICATING
WARREN COUNTY
245 S. PIONEER BOULEVARD
SPRINGBORO, OHIO 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 South Ludlow Street
Dayton, OH 45402
Phone: (937) 274-1173

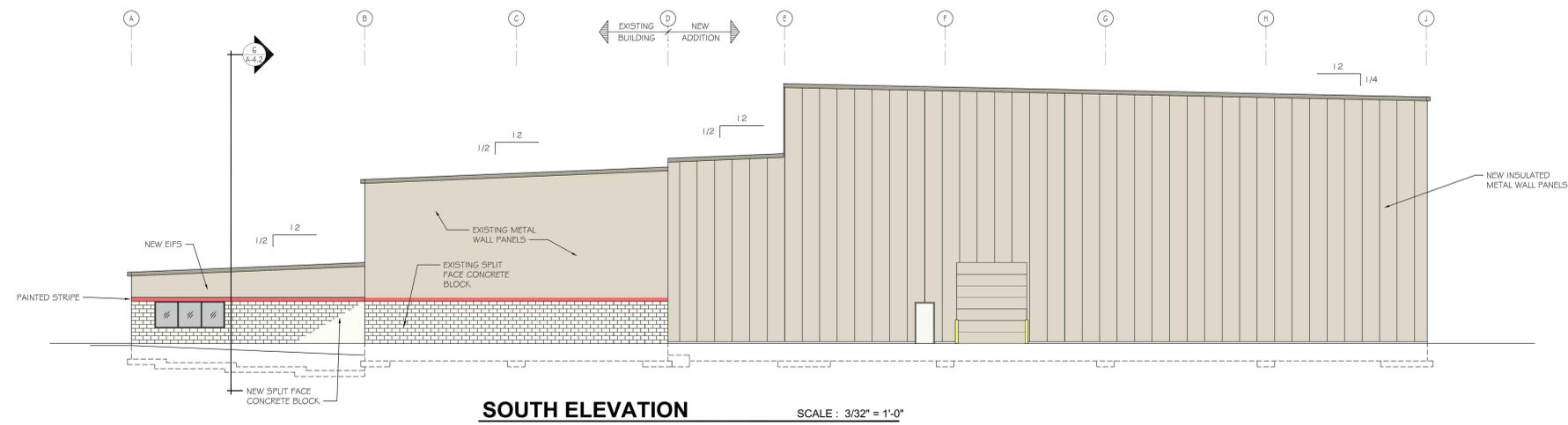
Columbus, Ohio
3595 Johnny Appleseed Ct
Columbus, OH 43231-4985
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

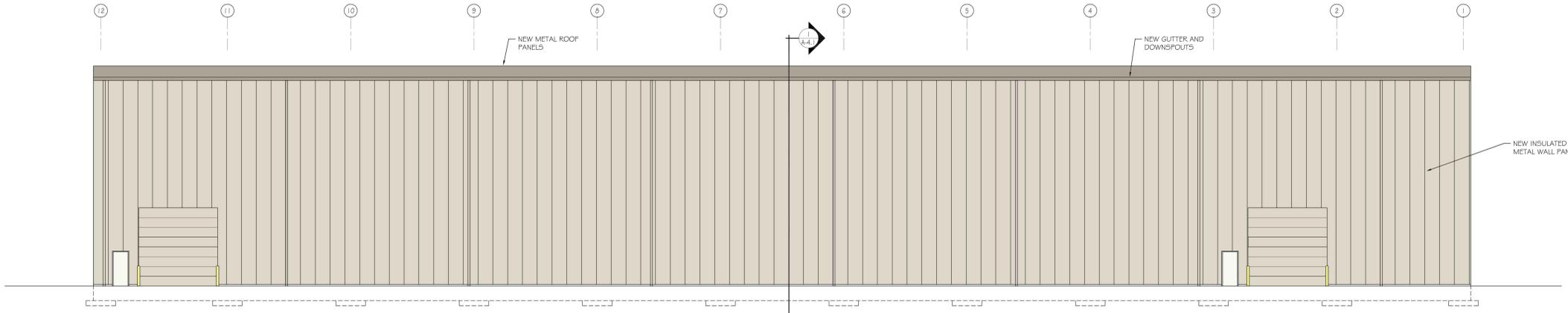
Job Number **E-44001**
Date **03/21/24**
Drawn By **JTS**
Checked By **JWM**

EXTERIOR ELEVATIONS

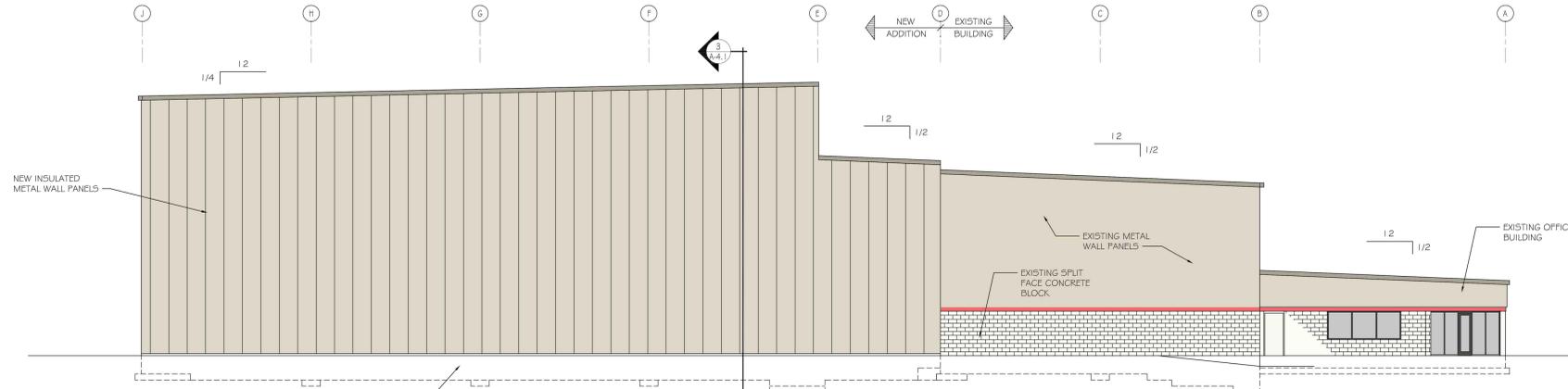
A-3.1



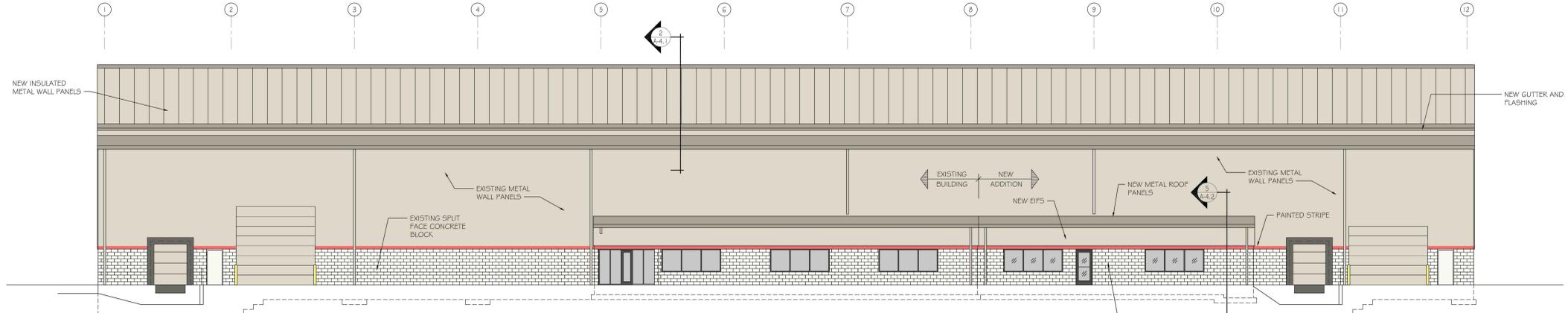
SOUTH ELEVATION SCALE: 3/32" = 1'-0"



EAST ELEVATION SCALE: 3/32" = 1'-0"



NORTH ELEVATION SCALE: 3/32" = 1'-0"



WEST ELEVATION SCALE: 3/32" = 1'-0"

Revisions		
#	Date	Description

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NOT FOR CONSTRUCTION

NEW BUILDING ADDITION
FOR
E-44001
WARREN COUNTY



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 South Ludlow Street
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct
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Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number **E-44001**
Date **02/07/24**
Drawn By **JTS**
Checked By **JWM**

EXTERIOR ELEVATIONS

A-3.1

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase Contract

APPLICANT NAME: M/I Homes of Cincinnati, LLC

Address 9349 Waterstone Blvd. Suite 100
Cincinnati, OH 45249

Telephone No. (513) 833-2206

Fax No. () N/A

Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Peter S. Morris, Successor Trustee

Address: 1525 S. Main Street
Springboro, OH 45066

Telephone No. (407) 786-5125

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): 08182000131 & 08182000132 Acreage: 35.62

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75 + existing house

Proposed Use: 75 for sale new homes with a typical lot size of 62'x135'

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



(Signature of Applicant and/or Agent)

2/21/24

(Date)

Justin Lanham

Printed Name

Authorization to Submit FDP for the Morris Property

Please allow this letter to authorize M/I Homes and its agents to submit a Final Development Plan for the Property identified below.



Peter S Morris , Trustee

February 6, 2024

Peter S. Morris

Date



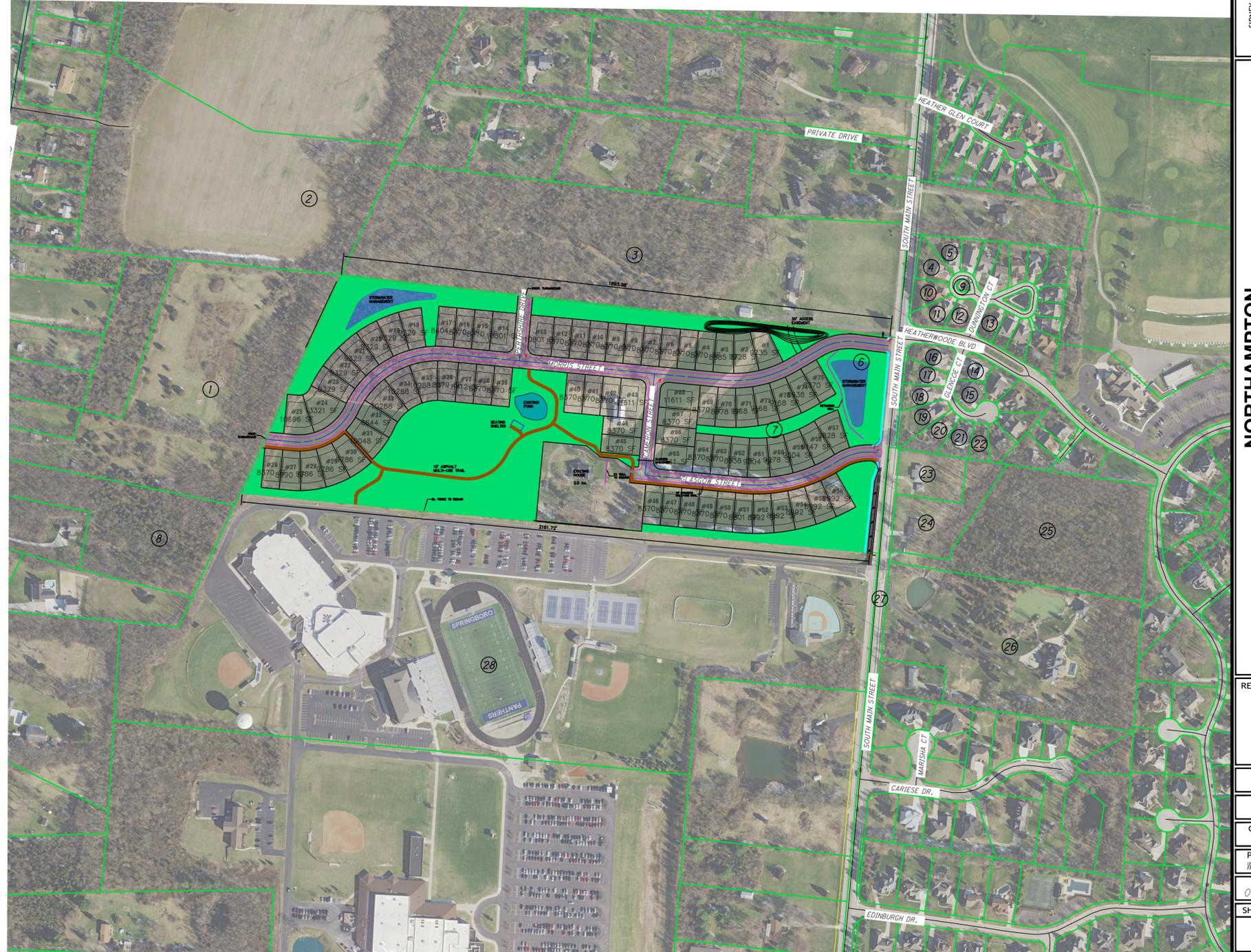
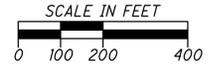
VICINITY MAP 1"=1000'



ZONING MAP: 1"=1000'

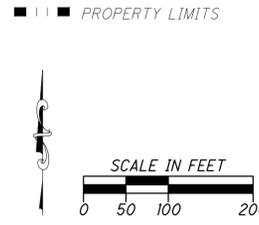
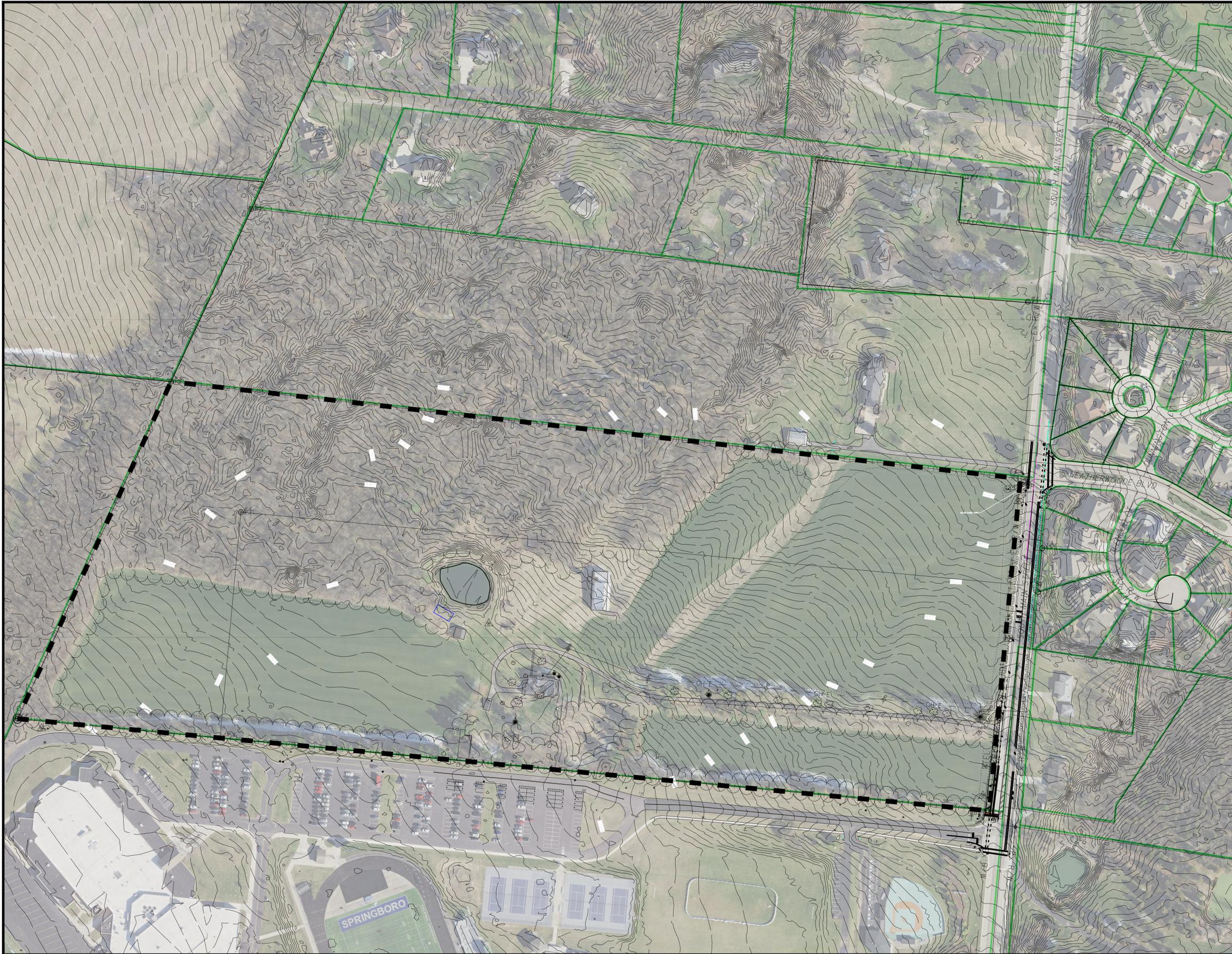
	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
	(HBD) HIGHWAY BUSINESS DISTRICT
	(LBD) LOCAL BUSINESS DISTRICT
	(CBD) CENTRAL BUSINESS DISTRICT
	(LVD) URBAN VILLAGE DISTRICT
	(M-1) LIGHT MANUFACTURING DISTRICT
	(M-2) HEAVY MANUFACTURING DISTRICT
	(ED) EMPLOYMENT CENTER DISTRICT
	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
	(O-R) OFFICE-RESIDENTIAL DISTRICT
	(O) OFFICE PARK DISTRICT
	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

- ① KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066
- ② SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
MIAMISBURG OH 45342
- ③ CALMES SANDRA L
1405 S MAIN ST
SPRINGBORO OH 45066
- ④ PENWELL PHILLIP L & BARBARA J
23 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑤ BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑥ MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066
- ⑦ MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066
- ⑧ FERGUSON REBECCA A
6584 WEIDNER RD
SPRINGBORO OH 45066
- ⑨ SIR EDWARDS GLEN OWNERS
ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑩ CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑪ MCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑫ ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066
- ⑬ GOLLIGHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
SPRINGBORO OH 45066
- ⑭ MUNTZ GARY W & MARY L
10 GLENCOE CT
SPRINGBORO OH 45066
- ⑮ BURCH KEVIN W
30 GLENCOE CT
SPRINGBORO OH 45066
- ⑯ BURNS PATRICK & PAMELA
5 GLENCOE CT
SPRINGBORO OH 45066
- ⑰ VALENTINO NICHOLAS V
15 GLENCOE CT
SPRINGBORO OH 45066
- ⑱ ASHBY HULAN C
25 GLENCOE CT
SPRINGBORO OH 45066
- ⑲ RUTLEDGE LARRY R JR
35 GLENCOE CT
SPRINGBORO OH 45066
- ⑳ HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
SPRINGBORO OH 45066
- ㉑ MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066
- ㉒ SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066
- ㉓ CARNES RALPH M & MELANIE A
5707 WEIDNER RD
SPRINGBORO OH 45066
- ㉔ CARNES MICHAEL A
1520 S MAIN ST
SPRINGBORO OH 45066
- ㉕ CRANE ROBERT M & REGINA
138 TIMBERSIDE CT
SPRINGBORO OH 45066
- ㉖ DO DAKLAK CAO & DAKBLA TRAN
1550 S MAIN ST
SPRINGBORO OH 45066
- ㉗ CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066
- ㉘ SPRINGBORO COMMUNITY
CITY SCHOOLS
1685 S MAIN ST
SPRINGBORO OH 45066



REVISIONS:

FILE NAME	VICINITY
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	1 OF 12



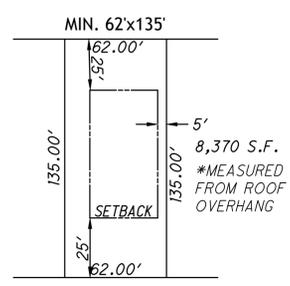
**NORTHAMPTON
 CITY OF SPRINGBORO
 EXISTING CONDITIONS**

REVISIONS:

FILE NAME	Ex GRADING
DRAWN BY	R.J.L.
CHECKED BY	R.J.L.
PROJECT No.	WANSPI2303
DATE	03-22-2024
SHEET NUMBER	

REVISIONS:

FILE NAME	PHASE
DRAWN BY	R/JL
CHECKED BY	R/JL
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	3 OF 12



MIN. 62'x135'
STREET
TYPICAL LOT
8,370 S.F.
MIN. DWELING UNIT FLOOR AREA
1,544 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.

SUMMARY TABLE:

PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELLING UNITS: 75

1 EXISTING HOUSE: 2.00 Ac.

NET DENSITY OF RESIDENTIAL USES:
75 UNITS / 35.62 Ac.
= 2.11 UNITS / ACRE

EXISTING ZONING: R-1 ZONING

PROPOSED ZONING: PUD-R ZONING

OPEN SPACE: 12.92 Ac. / 36.3%
ACTIVE OPEN SPACE: 7.38 Ac. / 20.7%
STORMWATER MANAGEMENT: 0.73 Ac. / 2%
BUFFER AREA: 4.81 Ac. / 13.5%

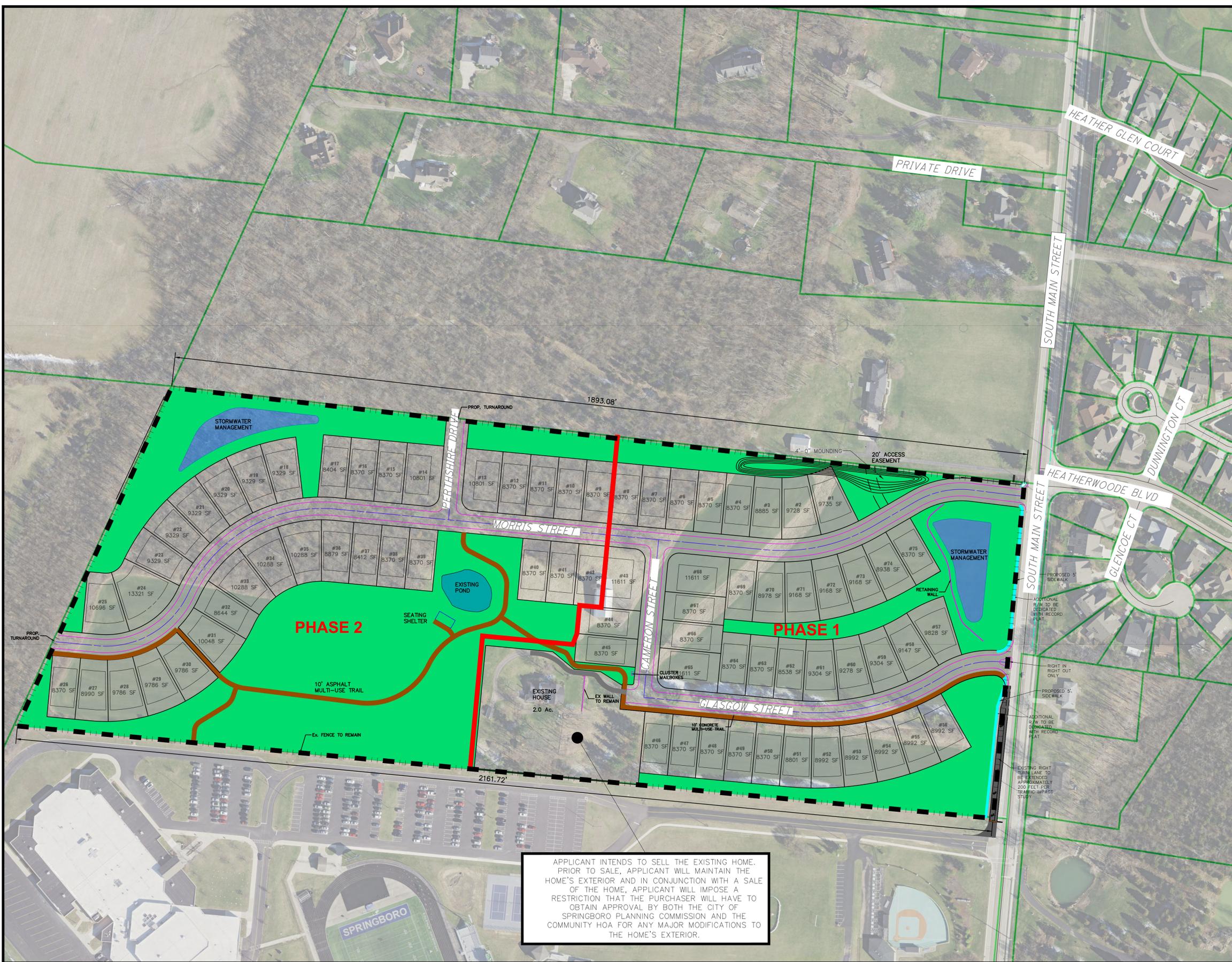
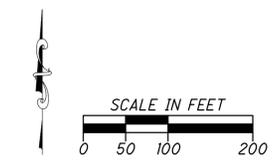
75 LOTS 62'x135'

FRONT SETBACK = 25'
REAR SETBACK = 25'
SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG

PHASE 1 - 41 LOTS, 1 EXISTING HOUSE

PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPOSED PHASE LINE
- PROPERTY LIMITS

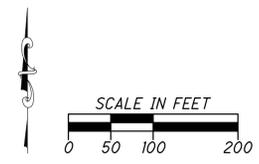


APPLICANT INTENDS TO SELL THE EXISTING HOME. PRIOR TO SALE, APPLICANT WILL MAINTAIN THE HOME'S EXTERIOR AND IN CONJUNCTION WITH A SALE OF THE HOME, APPLICANT WILL IMPOSE A RESTRICTION THAT THE PURCHASER WILL HAVE TO OBTAIN APPROVAL BY BOTH THE CITY OF SPRINGBORO PLANNING COMMISSION AND THE COMMUNITY HOA FOR ANY MAJOR MODIFICATIONS TO THE HOME'S EXTERIOR.



EROSION CONTROL PROVISIONS
 WILL BE HANDLED IN THE
 CONSTRUCTION PLANS WITH AN
 OEPA SWPPP.

—1026— PROPOSED CONTOURS
 ■■■■ PROPERTY LIMITS



**NORTHAMPTON
 CITY OF SPRINGBORO
 PRELIMINARY GRADING PLAN**

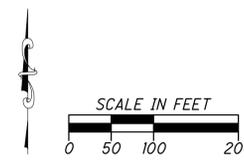
REVISIONS:

FILE NAME	GRADING
DRAWN BY	R.J.L.
CHECKED BY	R.J.L.
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	4 OF 12



LEGEND

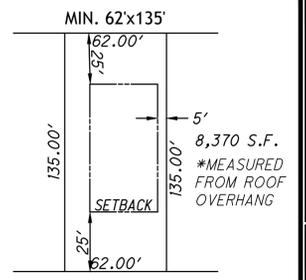
- PROP. WATER MAIN
 - PROP. STORM MANHOLE
 - PROP. CATCH BASIN
 - PROP. STORM MAIN
 - PROP. SANITARY MANHOLE
 - PROP. SANITARY MAIN
 - Ex. SANITARY MAIN
 - Ex. WATER MAIN
 - SETBACK LINE
-
- STORMWATER MANAGEMENT BASIN
 - OPEN SPACE MAINTAINED BY HOA
 - PROPOSED WALKING PATH
 - PROPERTY LIMITS



**NORTHAMPTON
 CITY OF SPRINGBORO
 PRELIMINARY UTILITY PLAN**

REVISIONS:

FILE NAME	UTILITY
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	5 OF 12



MIN. 62x135'
 135.00'
 62.00'
 5'
 8,370 S.F.
 *MEASURED FROM ROOF OVERHANG
 SETBACK
 25'
 62.00'

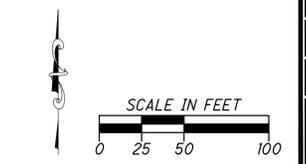
STREET
TYPICAL LOT
 8,370 S.F.
AVERAGE LOT
 9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
 INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.
SUMMARY TABLE:
 PROPOSED USE: SINGLE FAMILY RESIDENCE
 NUMBER OF DWELLING UNITS: 75
 1 EXISTING HOUSE: 2.00 Ac.
 NET DENSITY OF RESIDENTIAL USES:
 75 UNITS / 35.62 Ac.
 = 2.11 UNITS / ACRE
 EXISTING ZONING: R-1 ZONING
 PROPOSED ZONING: PUD-R ZONING
 OPEN SPACE: 12.92 Ac. / 36.3%
 ACTIVE OPEN SPACE: 6.08 Ac. / 17%
 STORMWATER MANAGEMENT: 0.73 Ac. / 2%
 BUFFER AREA: 4.81 Ac. / 13.5%
 75 LOTS 62x135'

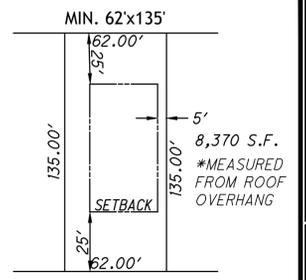
FRONT SETBACK = 25'
 REAR SETBACK = 25'
 SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG
 PHASE 1 - 41 LOTS, 1 EXISTING HOUSE
 PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



REVISIONS:

FILE NAME	DIMENSION 1
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	6 OF 12



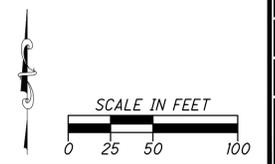
STREET
TYPICAL LOT
 8,370 S.F.
AVERAGE LOT
 9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
 INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.
SUMMARY TABLE:
 PROPOSED USE: SINGLE FAMILY RESIDENCE
 NUMBER OF DWELLING UNITS: 75
 1 EXISTING HOUSE: 2.00 Ac.
 NET DENSITY OF RESIDENTIAL USES:
 75 UNITS / 35.62 Ac.
 = 2.11 UNITS / ACRE
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 STORMWATER MANAGEMENT: 0.73 Ac. / 2%
 BUFFER AREA: 4.81 Ac. / 13.5%
75 LOTS 62'x135'

FRONT SETBACK = 25'
 REAR SETBACK = 25'
 SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG
 PHASE 1 - 41 LOTS, 1 EXISTING HOUSE
 PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

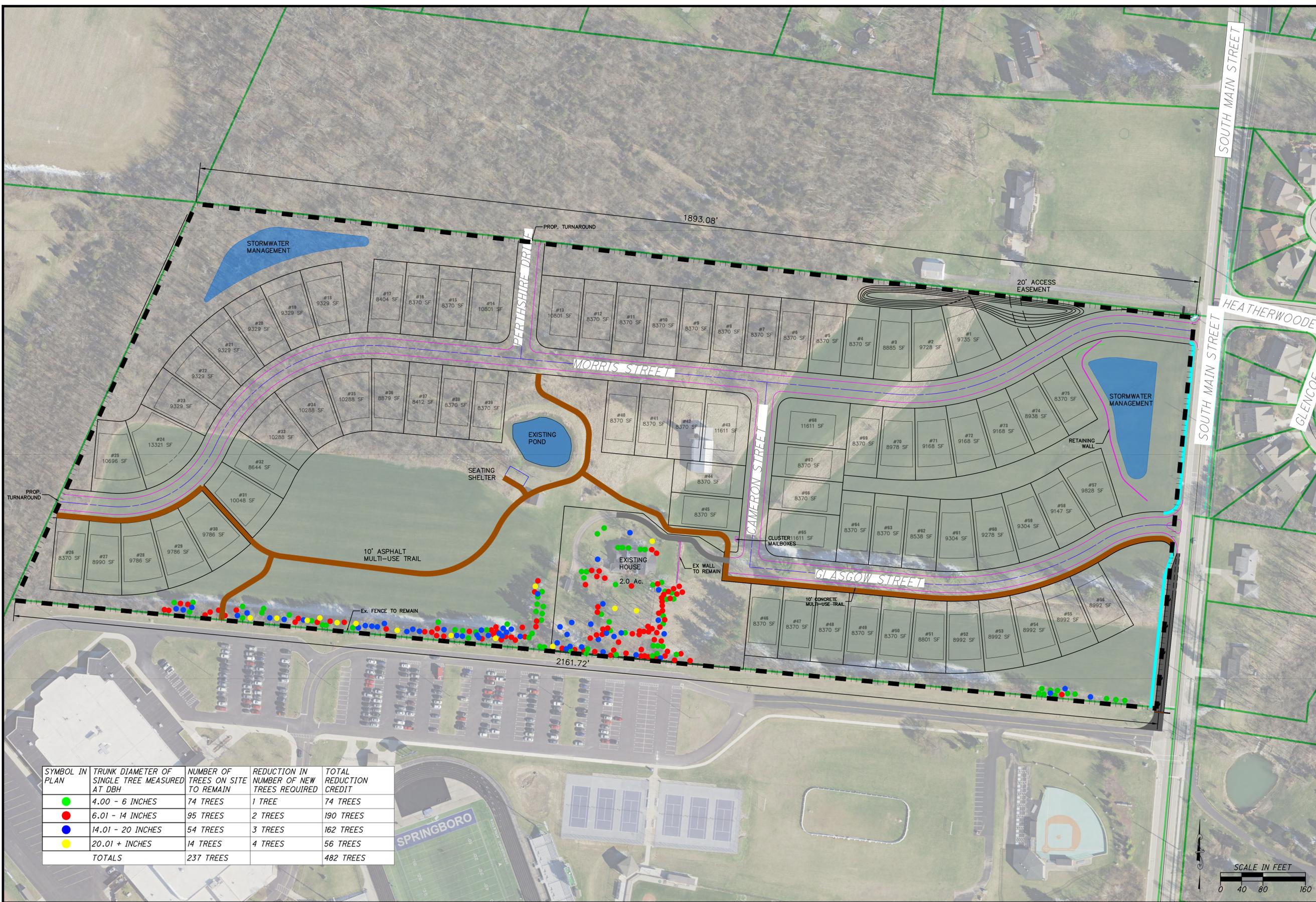


REVISIONS:

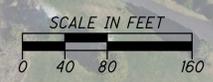
FILE NAME	DIMENSION 2
DRAWN BY	R.J.L.
CHECKED BY	R.J.L.
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	

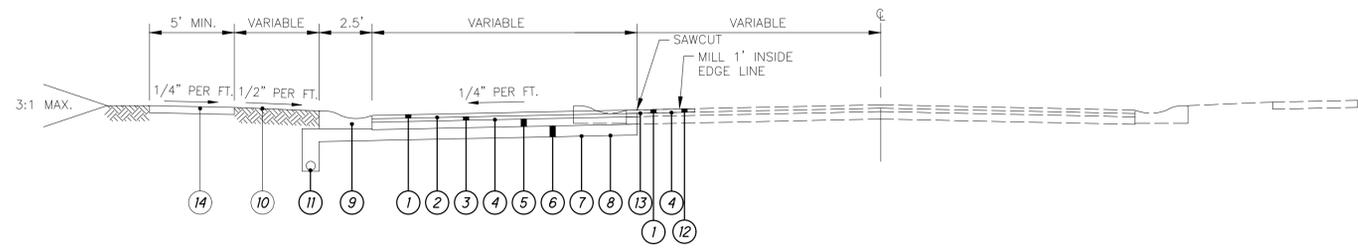
REVISIONS:

FILE NAME	TREES
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WANSPR12303
DATE	03-22-2024
SHEET NUMBER	8 OF 12



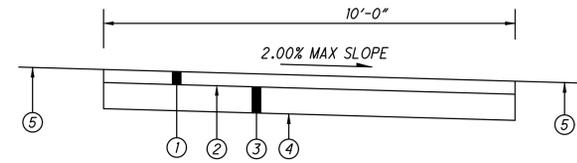
SYMBOL IN PLAN	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	NUMBER OF TREES ON SITE TO REMAIN	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
●	4.00 - 6 INCHES	74 TREES	1 TREE	74 TREES
●	6.01 - 14 INCHES	95 TREES	2 TREES	190 TREES
●	14.01 - 20 INCHES	54 TREES	3 TREES	162 TREES
●	20.01 + INCHES	14 TREES	4 TREES	56 TREES
TOTALS		237 TREES		482 TREES



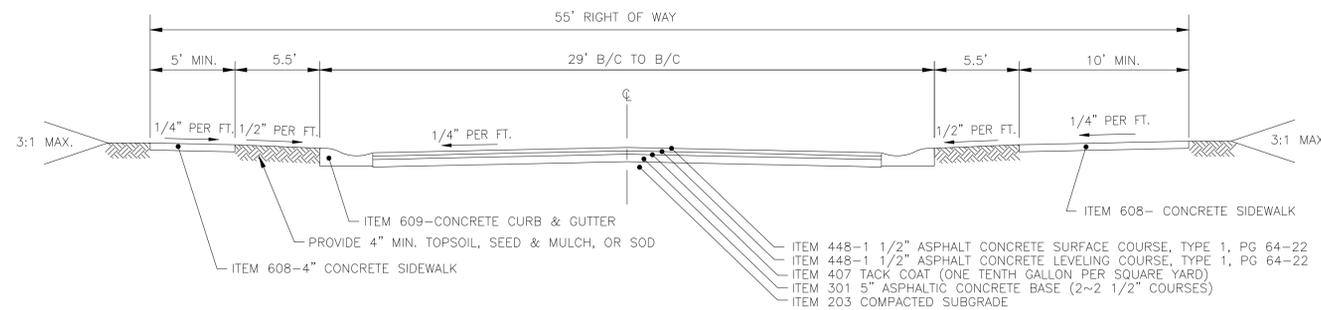


MAIN STREET - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

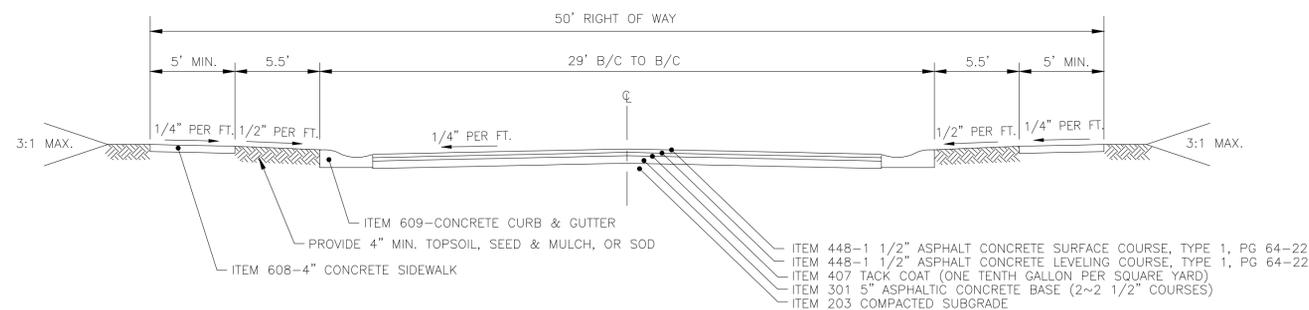
- ① ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ② ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ③ ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ④ ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ⑤ ITEM 301 - 6" ASPHALT CONCRETE BASE
- ⑥ ITEM 304 - 8" AGGREGATE BASE (APPLY IN TWO EQUAL COURSES)
- ⑦ ITEM 204 - SUBGRADE COMPACTION
- ⑧ ITEM 204 - PROOF ROLLING
- ⑨ ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ⑩ ITEM 659 - SEEDING AND MULCHING
- ⑪ ITEM 605 - 6" BASE PIPE UNDERDRAIN
- ⑫ ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ⑬ ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ⑭ ITEM 608 - CONCRETE SIDEWALK



- LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG 64-22
 - ② ITEM 407 - NON-TRACKING TACK COAT @ 0.06 GAL./S.Y.
 - ③ ITEM 301 - 4-1/2" ASPHALT BASE
 - ④ ITEM 204 - SUBGRADE COMPACTION
 - ⑤ ITEM 659 - SEEDING AND MULCHING



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

REVISIONS:

FILE NAME
TYPICAL SECTION

DRAWN BY
R.J.L.

CHECKED BY
R.J.L.

PROJECT No.
WARSPR12303

DATE
03-22-2024

SHEET NUMBER

9 OF 12

Z:\project\Warren\Springboro\WAR-SPR-2303\Warren\Property\WARSPR2303_BP001_LANDSCAPE.dwg 21-Mar-24 2:08 PM



LEGEND

116		SHADE TREE
107		EVERGREEN TREE
6		ORNAMENTAL TREE
229 TOTAL		

EXISTING TREES

QTY		
74		4"-6" TRUNK DIAMETER MEASURED AT DBH
95		6.01"-14" TRUNK DIAMETER MEASURED AT DBH
54		14.01"-20" TRUNK DIAMETER MEASURED AT DBH
14		20.01" + TRUNK DIAMETER MEASURED AT DBH

PROPOSED TREES

	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
SHADE TREE	20	101	
EVERGREEN TREE	87	12	17
ORNAMENTAL TREE		6	

EXISTING TREES

	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
	44		30
	52		43
	39		15
	9		5

NOTE:
 1. LANDSCAPE BUFFERS TO BE MAINTAINED BY HOA
 2. EXISTING TREES ALONG SOUTHERN PROPERTY LINE TO BE USED AS ADDITIONAL BUFFER

Choice One Engineering

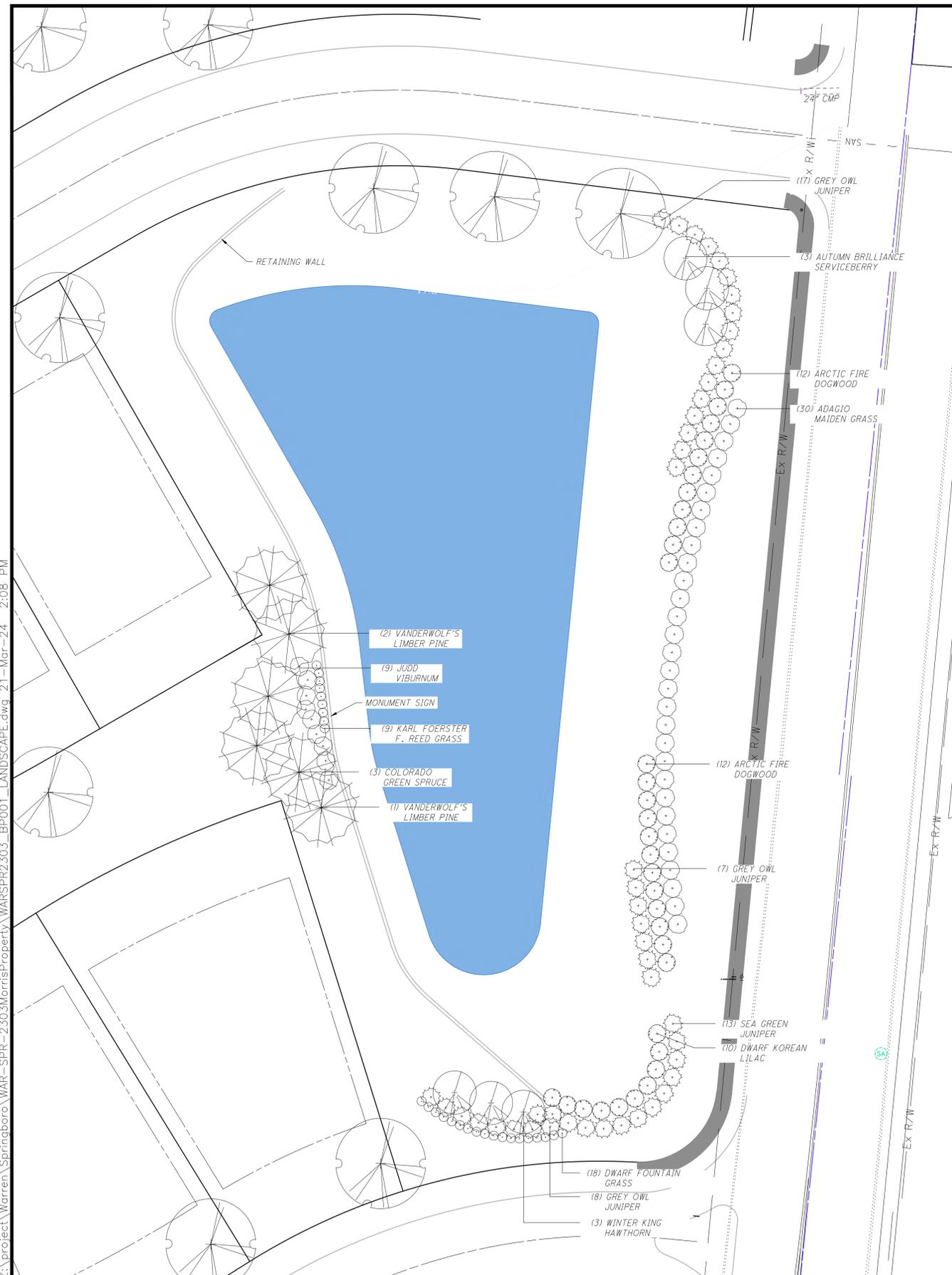
SIDNEY, OHIO 937.497.0200
 LOVELAND, OHIO 513.239.8554
 WWW.CHOICEONEENGINEERING.COM

**NORTHAMPTON
 CITY OF SPRINGBORO
 LANDSCAPE PLAN - OVERALL**

REVISIONS:

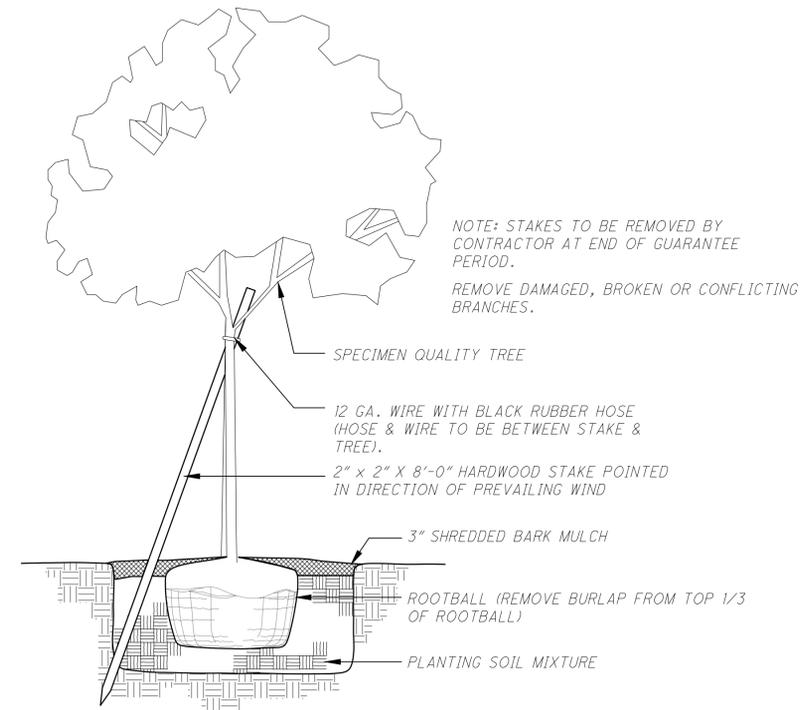
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DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR2303
DATE	03-22-2024
SHEET NUMBER	10 OF 12

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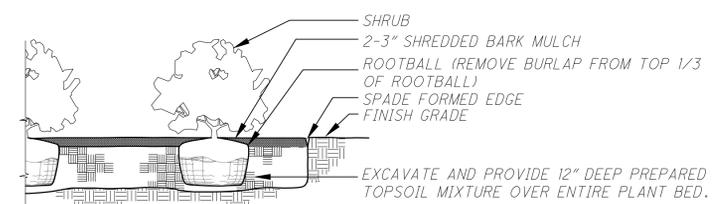


PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
3	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER 'AUTUMN BRILLIANCE'	2" CAL.	B&B
3	WINTER KING HAWTHORN	CRATAEGUS V. 'WINTER KING'	2" CAL.	B&B
3	COLORADO GREEN SPRUCE	PICEA PUNGENS	7' HGT.	B&B
3	VANDERWOLF'S LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	7' HGT.	B&B
SHRUBS				
24	ARCTIC FIRE DOGWOOD	CORNUS S. 'ARCTIC FIRE'	24" SPR.	NO. 5 CONT.
32	GREY OWL JUNIPER	JUNIPER V. 'GREY OWL'	18" SPR.	NO. 3 CONT.
30	ADAGIO MAIDEN GRASS	MISCANTHUS S. 'ADAGIO'	CLUMP	NO. 3 CONT.
13	SEA GREEN JUNIPER	JUNIPERUS CH. 'SEA GREEN'	24" SPR.	B&B
9	JUDD VIBURNUM	VIBURNUM JUDDI	24" SPR.	B&B
9	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	CLUMP	NO. 2 CONT.



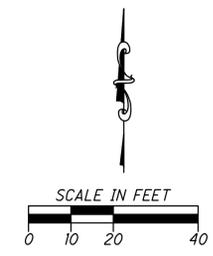
TREE PLANTING DETAIL



NOTE: MULCH ENTIRE PLANT BED. SEE PLANS FOR LIMITS OF PLANT BEDS.

REMOVE DAMAGED, BROKEN OR CONFLICTING BRANCHES.

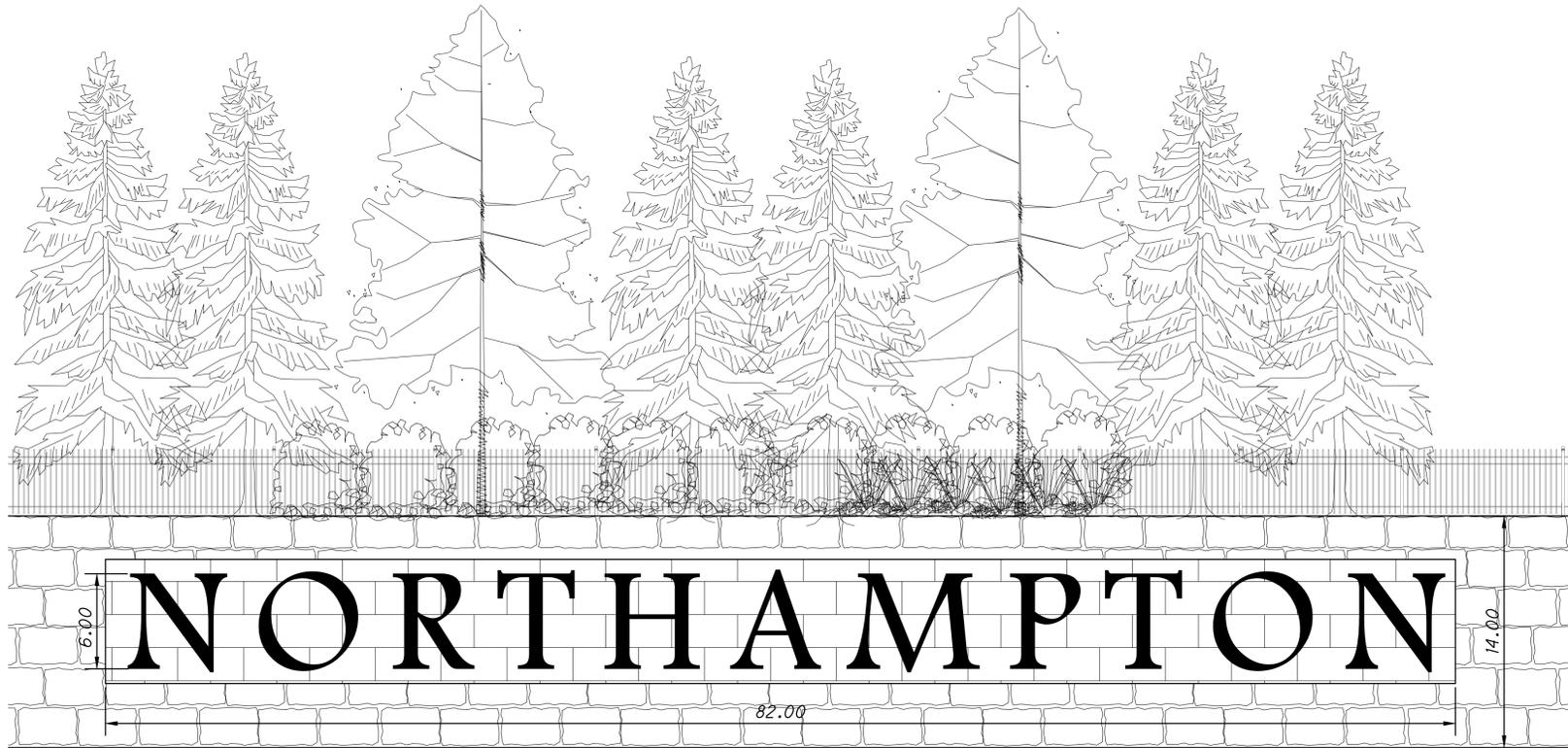
SHRUB PLANTING DETAIL



REVISIONS:

FILE NAME	ENTRY
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	03-22-2024
SHEET NUMBER	11 OF 12

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NORTHAMPTON
CITY OF SPRINGBORO
LANDSCAPE PLAN - MONUMENT

REVISIONS:

FILE NAME	MONUMENT
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR2303
DATE	03-22-2024
SHEET NUMBER	12 OF 12

Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



Note: Other elevation materials available and may be required by community. See M/I Homes.com for more elevations.



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. PHS#2 4-20



NORTHAMPTON



Cooper



Elevation C - Shown w/ Opt coach lights & Stone Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation B - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,776
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

Note: Other elevation materials available and may be required by community. See M/I Homes.com for more elevations.



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NORTHAMPTON



Melville



Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot



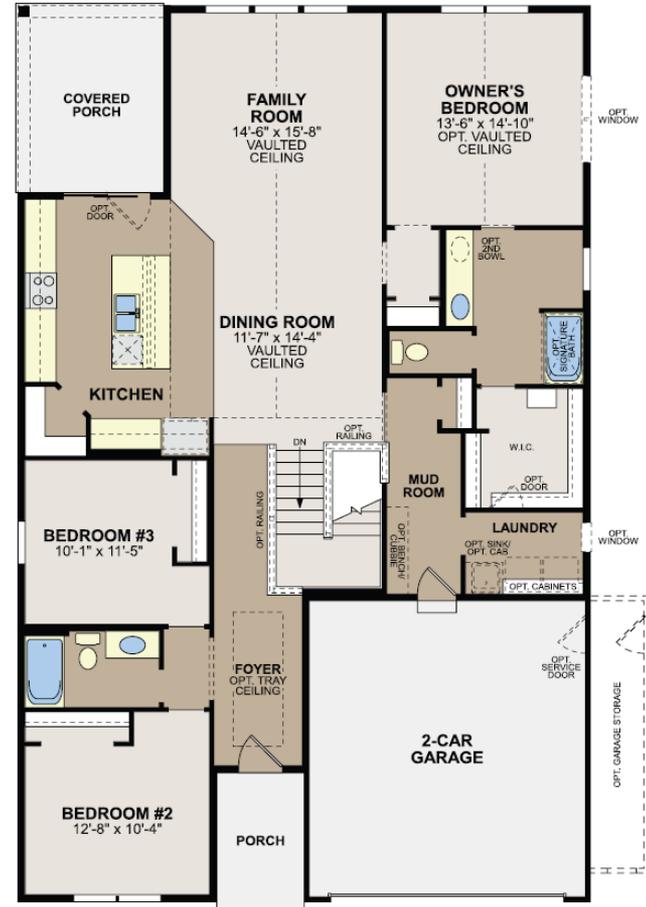
Elevation C - Shown w/ Opt Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



Note: Other elevation materials available and may be required by community. See M/Homes.com for more elevations.



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NORTHAMPTON



Serenity



Elevation B - Shown w/Opt Full Brick Front



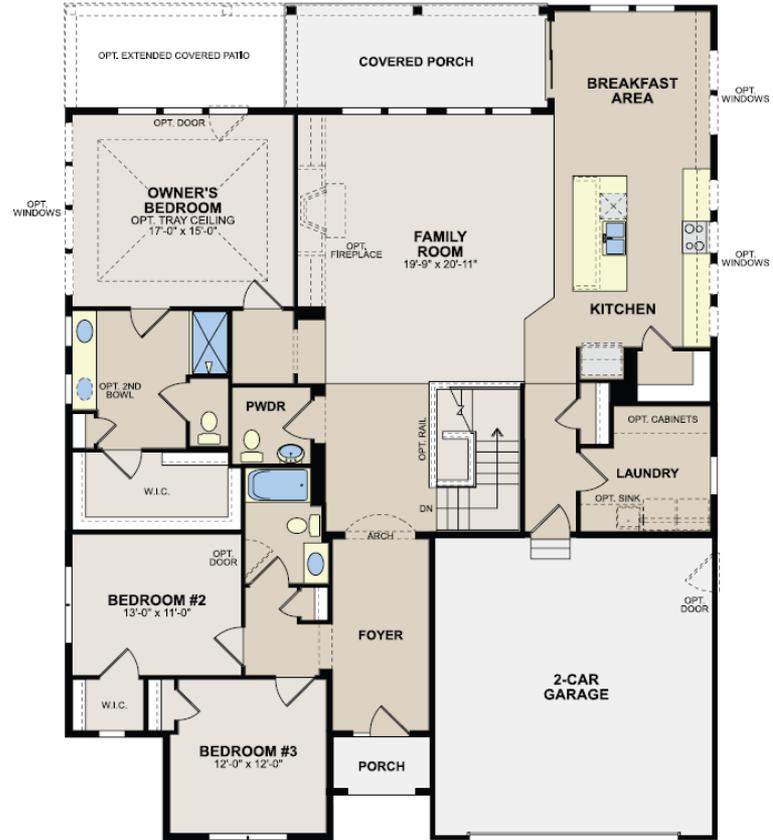
Elevation C - Shown w/Opt Stone



Elevation E

Square Feet: 2,330
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 1



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NORTHAMPTON



Dawson



Elevation B



Elevation A



Elevation D - Shown w/Opt Stone

Square Feet: 2,461
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



Inglewood



Elevation E - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,558
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



Cooke



Elevation C - Shown w/Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



Dillon



Square Feet: 2,913
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



Barrett



Elevation B - Shown w/Opt Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation C - Shown w/Opt Coach Lights



Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. PMS14 12-17



NORTHAMPTON



Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partitions. Please see a Home Consultant for details. Printed 10/22.



NORTHAMPTON



March 20, 2024

Via Email

City of Springboro
320 W Central Avenue
Springboro, OH 45066

RE: Owner's Authorization Letter

I, Don Leathery, as authorized representative of Springboro-Harrison, Ltd., an Ohio limited partnership (the "Company"), which Company is the owner of the real property and improvements located at 785 W Central Ave, Springboro, OH 45066, and being Parcel ID # 0420400005, in the Midway Plaza, hereby authorize Motley 7 Brew, LLC, a Washington limited liability company ("Tenant") & Woolpert (the "Engineer") to submit applications on this parcel for site plan approvals and building permits on the owner's behalf, required for Tenant's proposed construction of a Motley 7 Brew coffee establishment within said parcel. Tenant and Engineer may also attend meetings on behalf of the owner and the project.

Sincerely,


Name


Signature
3/20/24

7 Brew - Springboro, OH

Legend



Proposed Project Area



Layout Tab Name: C-201 SITE PLAN
 Last Saved By: Branch, 3/21/2024 1:18:24 PM
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WEST CENTRAL AVENUE (S.R. 73)
 (WIDTH VARIES)
 (A PUBLIC ROADWAY)

N85°43'34"W 150.00' DEED
 S83°00'12"E 150.00' CALC.

ORIGINAL S.R. 73 CENTER LINE

NEW ODOT S.R. 73 CENTER LINE

PARCEL NO. 042040005 SPRINGBORO-HARRISON LTD.
 BOOK 2085, PG. 567
 PARCEL A-2
 VOL. 473, PG. 790
 OUT LOT NO. 3
 PARCEL AREA 37,131 SQ.FT.
 0.8524 ACRES
 AREA WITHIN R/W 13,446 S.F.
 0.3087 ACRES

PARCEL NO. 0420377014
 SPRINGBORO-HARRISON LTD.
 BOOK 1083, PG. 750
 HBD ZONE

FIRST ADDITION TO MIDWAY BUSINESS PARK
 REPLAT OF LOT 1-MIDWAY BUSINESS PARK &
 PART OF 13.0812 AC. REMAINDER
 P.V. 75, PG. 30

EX. 1 STORY BRICK BLDG
 MC DONALD'S
 BLDG. HEIGHT=18.8'
 775 W CENTRAL AVE
 F.F.E. = 821.65'

PARCEL NO. 0420478014
 MCDONALD'S REAL ESTATE
 D.N. 2020-004731
 HBD ZONE

PARCEL NO. 0420377014
 SPRINGBORO-HARRISON LTD.
 BOOK 1083, PG. 750
 HBD ZONE

LEGEND

- SIGN
- PARKING SPACE COUNT
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT

KEYNOTES

1. 6" ODOT TYPE 6 CURB. SEE DETAIL ON SHEET C-801.
2. 6" INTEGRAL CURB. SEE DETAIL ON SHEET C-801.
3. DUMPSTER PAD AND ENCLOSURE. SEE SHEET C-801 FOR CONCRETE PAD DETAIL AND ARCHITECTURAL PLANS FOR DUMPSTER DETAILS.
4. BOLLARD. SEE DETAIL ON SHEET C-801.
5. BUILDING CANOPY OUTLINE SHOWN FOR REFERENCE. CANOPY TO BE INSTALLED ON-SITE.
6. CANOPY COLUMN LOCATIONS.
7. ADA PARKING SIGN. SEE DETAIL ON SHEET C-802.
8. PAVEMENT MARKING. SEE C-211 - STRIPING PLAN.

SITE DATA	
ZONE	HBD (HIGHWAY BUSINESS DISTRICT)
TOTAL SITE AREA	0.85 ACRES
PROPOSED USE	COMMERCIAL DRIVE-THRU
PROP. BUILDING AREA	537 S.F.
MAXIMUM BUILDING HEIGHT	40'
PROPOSED BUILDING HEIGHT	19'-8"
PARKING SPACE SIZE REQUIRED	9' X 18'
PARKING SPACE SIZE PROVIDED	9' X 18'
TYPICAL DRIVE AISLE (ONE WAY)	16'
TYPICAL DRIVE AISLE (TWO WAY)	24'
PARKING SPACES REQUIRED	2 SPACES
1 SPACE PER 400 SQ. FT.	537 SQ. FT. / 400 SQ. FT. =
PARKING SPACES PROVIDED	10 SPACES
ADA SPACES PROVIDED	1 SPACE
VAN SPACES	

ISSUANCE SCHEDULE	
NUMBER	DATE

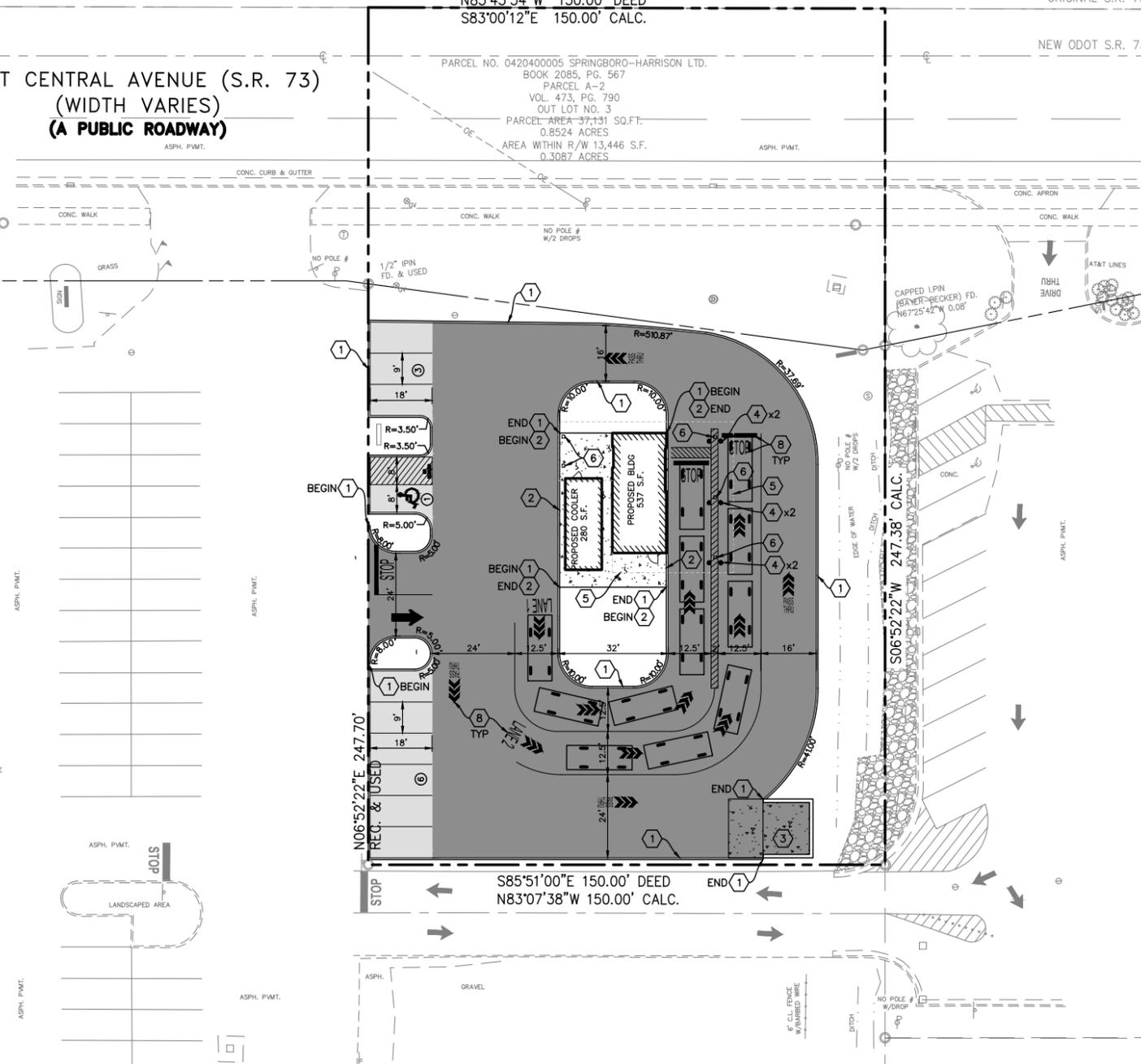
MOTLEY 7 BREW, LLC
7 BREW SPRINGBORO

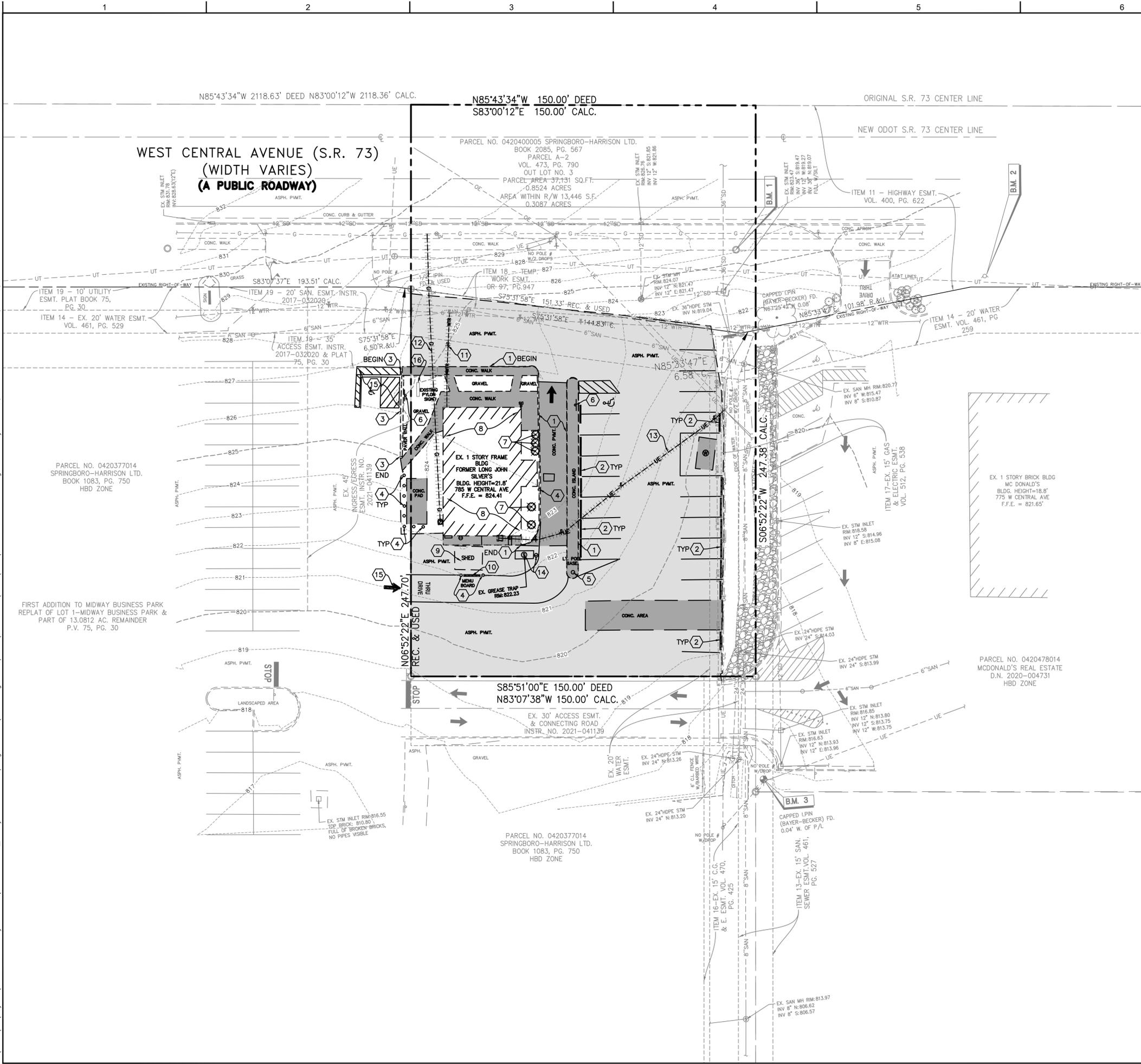
785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
 DATE ISSUED: 03/22/2024
 DESIGNED BY: TAB
 DRAWN BY: CMB
 CHECKED BY: SRK

SHEET NAME:
SITE PLAN

SHEET NO:
C-201





LEGEND

--- 799 ---	1' CONTOUR	
--- 800 ---	5' CONTOUR	
---	PROPERTY BOUNDARY	
---	EASEMENT	
x	FENCE	
---	SD	STORM & SIZE IF INDICATED
---	WTR	WATER & SIZE IF INDICATED
---	SAN	SANITARY & SIZE IF INDICATED
---	G	GAS & SIZE IF INDICATED
---	OET	OVERHEAD ELECTRIC & TELECOM
---	UE	UNDERGROUND ELECTRIC
---	UT	UNDERGROUND TELEPHONE
⊙	SANITARY MANHOLE	
⊙	SANITARY CLEANOUT	
⊙	STORM MANHOLE	
⊙	CATCH BASIN	
⊙	CURB INLET	
⊙	FIRE HYDRANT	
⊙	WATER METER PIT	
⊙	WATER SHUT OFF VALVE	
⊙	ELECTRIC PULLBOX	
⊙	ELECTRIC MANHOLE	
⊙	GAS VALVE	
⊙	GAS METER	
⊙	TRAFFIC POLE	
⊙	LIGHT POLE	
⊙	GROUND LIGHT	
⊙	SIGN	
⊙	FOUND IRON PIN	
⊙	TREES/BUSHES	
⊙	TREES/BUSHES TO BE REMOVED	
⊙	TREE STUMP	
⊙	ASPHALT PAVEMENT TO BE REMOVED	
⊙	CONCRETE PAVEMENT TO BE REMOVED	
⊙	EXISTING RIP RAP TO REMAIN	
⊙	SAW CUT LINE	
⊙	UTILITY LINE TO BE REMOVED	

- NOTES**
- SEE SHEET C-002 FOR GENERAL NOTES.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
 - LOCATION OF EXISTING UTILITIES SHOWN HEREON IS APPROXIMATE AND IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. THE OWNER AND ENGINEER ASSUMES NO LIABILITY FOR THE LOCATION OF ANY AND ALL UTILITIES WITHIN THE LIMITS OF WORK. ANY DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - SUBJECT PAREL IS LOCATED IN AN UNMAPPED FLOOD PANEL PER FEMA PANEL 39025C0130G DATED MARCH 16, 2006.

- KEYNOTES (X)**
- REMOVE CURB.
 - REMOVE WHEEL STOPS.
 - REMOVE PAVEMENT WALL.
 - REMOVE BOLLARDS.
 - REMOVE LIGHT POST AND BASE.
 - REMOVE SIGN.
 - REMOVE LANDSCAPING.
 - REMOVE BUILDING IN ENTIRETY, INCLUDING ASSOCIATED FOUNDATIONS AND UTILITY SERVICES.
 - REMOVE SHED IN ENTIRETY, INCLUDING ASSOCIATED FOUNDATIONS AND UTILITY SERVICES.
 - REMOVE MENU BOARD.
 - REMOVE WATER LINE AND ASSOCIATED STRUCTURES. CONTRACTOR TO FIELD VERIFY.
 - REMOVE GAS LINE AND ASSOCIATED STRUCTURES. CONTRACTOR TO FIELD VERIFY.
 - REMOVE UNDERGROUND ELECTRIC LINE AND ASSOCIATED STRUCTURES. CONTRACTOR TO FIELD VERIFY.
 - REMOVE SANITARY STRUCTURES. CONTRACTOR TO FIELD VERIFY.
 - REMOVE PAVEMENT MARKINGS.
 - EXISTING PYLON SIGN TO REMAIN AND BE REUSED.

Ohio Utilities Protection Service
Call 811
 before you dig

0 20 40 60
 GRAPHIC SCALE IN FEET

C-101

MOTLEY 7 BREW, LLC
7 BREW SPRINGBORO
 785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION
A		SHEET NAME: EXISTING CONDITIONS & DEMO PLAN

PROJECT NO: 10020112.03
 DATE ISSUED: 03/22/2024
 DESIGNED BY: TAB
 DRAWN BY: CMB
 CHECKED BY: SRK

SHEET NO:
C-101

Layout Tab Name: C-201 SITE PLAN
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WEST CENTRAL AVENUE (S.R. 73)
 (WIDTH VARIES)
 (A PUBLIC ROADWAY)

LEGEND

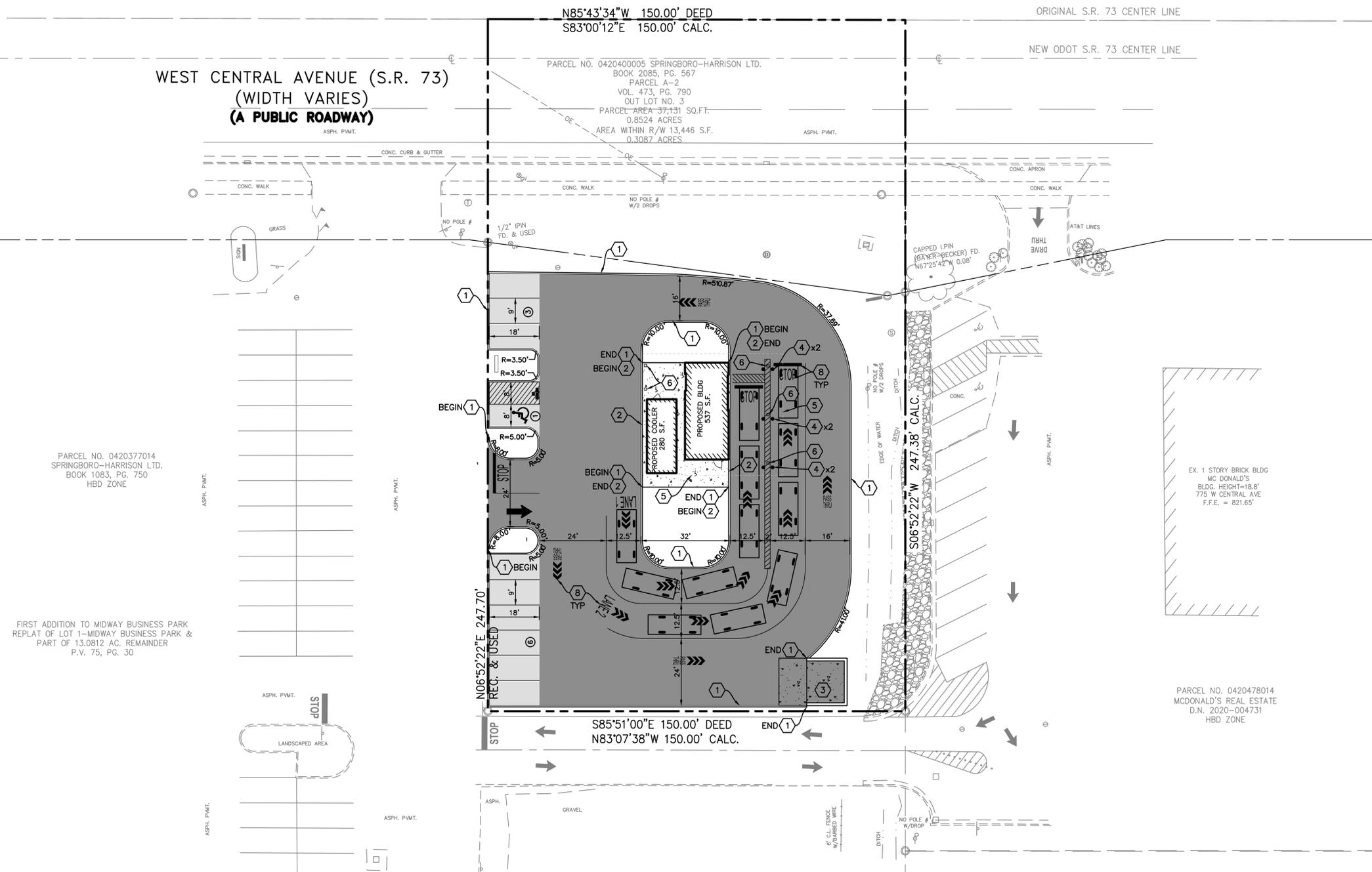
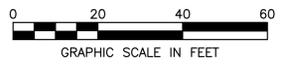
- SIGN
- PARKING SPACE COUNT
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT

- KEYNOTES**
- 6" ODOT TYPE 6 CURB. SEE DETAIL ON SHEET C-801.
 - 6" INTEGRAL CURB. SEE DETAIL ON SHEET C-801.
 - DUMPSTER PAD AND ENCLOSURE. SEE SHEET C-801 FOR CONCRETE PAD DETAIL AND ARCHITECTURAL PLANS FOR DUMPSTER DETAILS.
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 - CANOPY COLUMN LOCATIONS.
 - ADA PARKING SIGN. SEE DETAIL ON SHEET C-802.
 - PAVEMENT MARKING. SEE C-211 - STRIPING PLAN.

SITE DATA

ZONE	HBD (HIGHWAY BUSINESS DISTRICT)
TOTAL SITE AREA	0.85 ACRES
PROPOSED USE	COMMERCIAL DRIVE-THRU
PROP. BUILDING AREA	537 S.F.
MAXIMUM BUILDING HEIGHT	40'
PROPOSED BUILDING HEIGHT	19'-8"
PARKING SPACE SIZE REQUIRED	9' X 18'
PARKING SPACE SIZE PROVIDED	9' X 18'
TYPICAL DRIVE AISLE (ONE WAY)	16'
TYPICAL DRIVE AISLE (TWO WAY)	24'
PARKING SPACES REQUIRED	1 SPACE PER 400 SQ. FT.
537 SQ. FT. / 400 SQ. FT. =	2 SPACES
PARKING SPACES PROVIDED	10 SPACES
ADA SPACES PROVIDED	1 SPACE
VAN SPACES	1 SPACE

Ohio Utilities Protection Service
Call 811
 before you dig



ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION

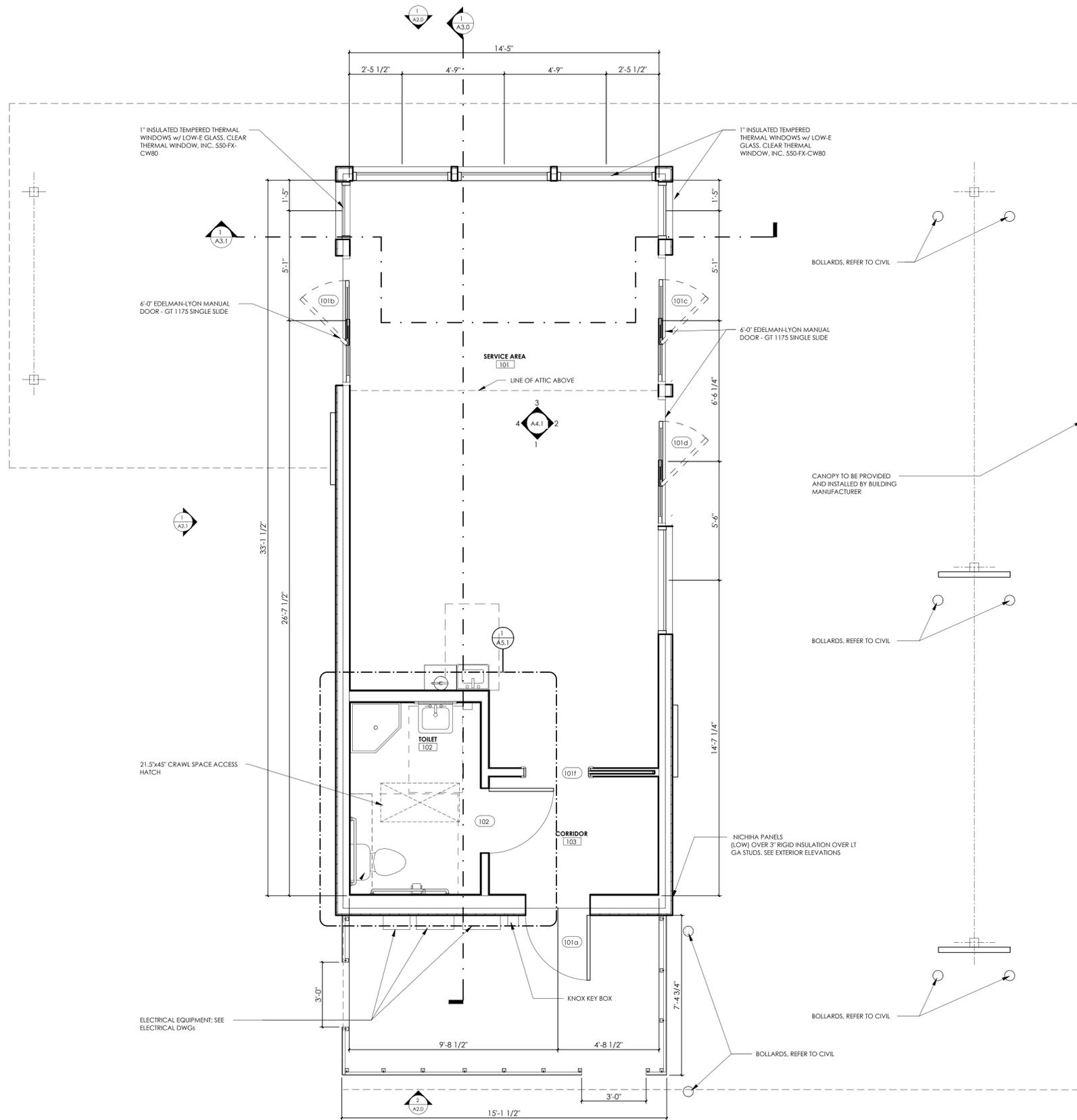
MOTLEY 7 BREW, LLC
7 BREW SPRINGBORO

785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

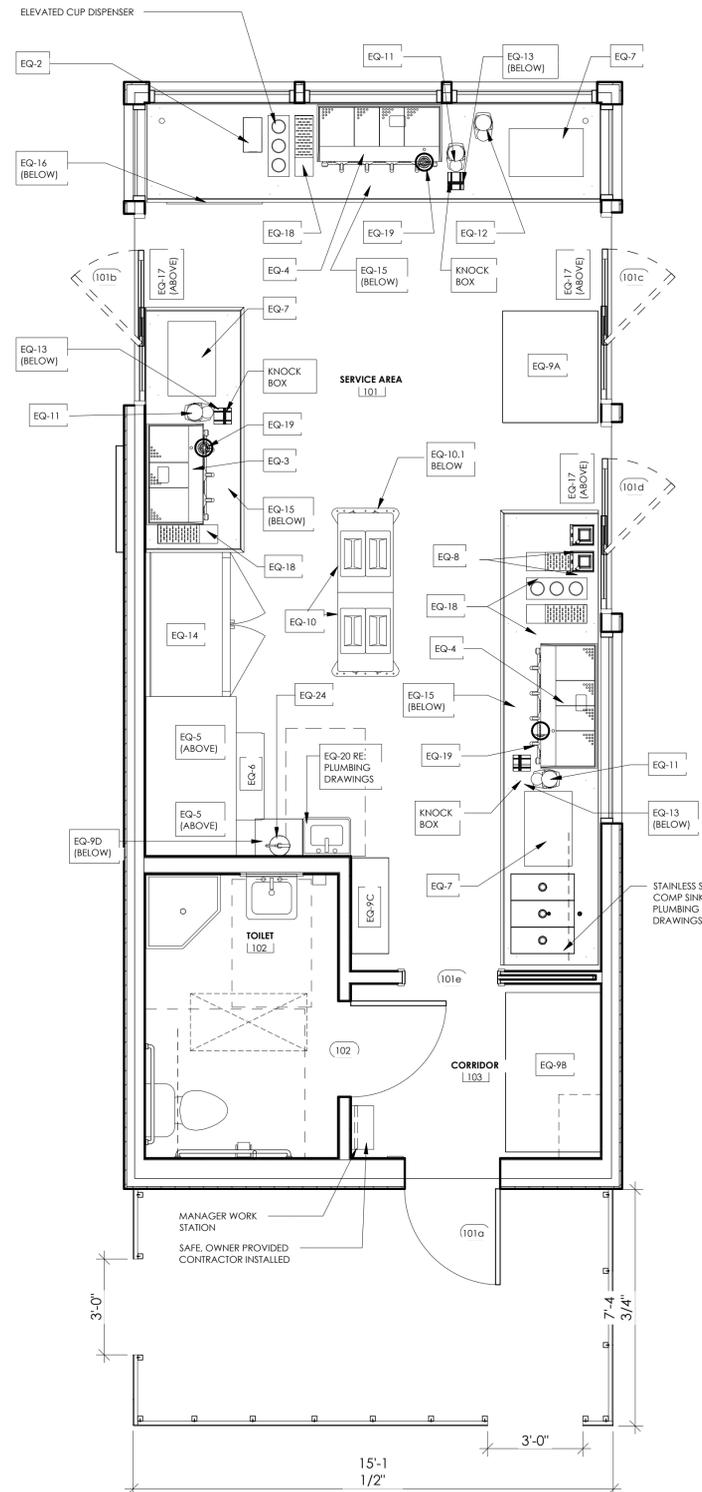
PROJECT NO: 10020112.03
 DATE ISSUED: 03/22/2024
 DESIGNED BY: TAB
 DRAWN BY: CMB
 CHECKED BY: SRK

SHEET NAME:
SITE PLAN

SHEET NO:
C-201



01 GROUND FLOOR PLAN
 3/8" = 1'-0"



02 FIXTURE FLOOR PLAN
 3/8" = 1'-0"

ISSUANCE NUMBER	SCHEDULE DATE	DESCRIPTION
1	03/22/24	ISSUED FOR PLANNING AND ZONING APPROVAL

MOTLEY 7 BREW, LLC
MOTLEY 7 BREW
 CITY OF SPRINGBORO, OH.
 ISSUED FOR PLANNING AND ZONING
 785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
 DATE ISSUED: 03/22/2024
 DESIGNED BY: JME/RA
 DRAWN BY: RA
 CHECKED BY: JME

SHEET NAME:
FLOOR PLANS

SHEET NO:

Exterior Finish Legend

	Metal Wall Panel Pac-Clad 1 1/2" Panel Color: Cityscape
	Brake Metal Color: Pacific Blue Column Wrap Fascia Standing Seam Roof
	Brake Metal Color: Matte Black Soffit Cap
	Brake Metal Color: Cityscape Cap
	Fiber Cement Panel Nichiha Style: Modernbrick Color: Midnight



01 NORTH ELEVATION
3/8" = 1'-0"



02 SOUTH ELEVATION
3/8" = 1'-0"

ISSUANCE SCHEDULE	DESCRIPTION
1	ISSUED FOR PLANNING AND ZONING APPROVAL

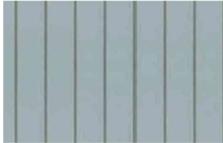
MOTLEY 7 BREW, LLC
MOTLEY 7 BREW
CITY OF SPRINGBORO, OH.
ISSUED FOR PLANNING AND ZONING
785 W CENTRAL AVENUE
SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
DATE ISSUED: 03/22/2024
DESIGNED BY: JME/RA
DRAWN BY: RA
CHECKED BY: JME

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NO:

Exterior Finish Legend

	Metal Wall Panel Pac-Clad 16" Panel Color: Cityscape
	Brake Metal Color: Pacific Blue Column Wrap Fascia Standing Seam Roof
	Brake Metal Color: Matte Black Soffit Cap
	Brake Metal Color: Cityscape Cap
	Fiber Cement Panel Nichiha Style: Modernbrick Color: Midnight



01 WEST ELEVATION
3/8" = 1'-0"



02 EAST ELEVATION
3/8" = 1'-0"

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A

ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION
1 03/22/24 ISSUED FOR PLANNING AND ZONING APPROVAL

MOTLEY 7 BREW, LLC
MOTLEY 7 BREW
CITY OF SPRINGBORO, OH.
ISSUED FOR PLANNING AND ZONING
785 W CENTRAL AVENUE
SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
DATE ISSUED: 03/22/2024
DESIGNED BY: JME/RA
DRAWN BY: RA
CHECKED BY: JME

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NO:

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, March 13, 2024

I. Call to Order

Chair Becky Iverson called the Wednesday, March 13, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, John Sillies, and Mike Thompson.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Sillies motioned to excuse Mr. Harding and Mr. Leedy. Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Sillies, yes; Thompson, yes; (5-0)

II. Approval of Minutes

February 14, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Pearson motioned to approve the February 14, 2024 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Sillies, yes; Thompson, abstain; (4 yes-1 abstain-0 no)

III. Agenda Items

A. Final Approval

Record Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, office component, replat of Clearcreek Township Fire Station #24 site

Background Information

This agenda item is a request for record plan approval for the site of Clearcreek Township Fire Station site #24 currently under construction on Gardner Road in the Village Park PUD-MU, Planned Unit Development-Mixed Use, office component. The site plan was approved by the Planning Commission at their August 9, 2023 meeting. The record plan includes approximately 4.06 acres of land, of which existing lots 2 and 4 of Village Park Office, Section One, are being re-platted into one lot. Following review and approval by the Planning Commission, the record plan will proceed to City Council.

Staff Recommendation

Staff recommends approval of the record plan subject to compliance with the following comments:

Staff Comments

1. Submit record plan to Warren County for review and make revisions, if any.
2. Remove notes #6, 7 and 9.

Discussion:

Ms. Iverson called for a representative from the Clearcreek Fire Department was present at the meeting.

Mr. Boron said no one from the Fire Department was present because this is a City application to have two parcels replatted into one parcel to accommodate the new fire station being constructed in Village Park on Gardner Road. Once approved by Planning Commission it will then move on to City Council for their consideration; following Council approval, this item will be forwarded to Warren County for review, their revisions and recommendations.

Ms. Iverson asked Planning Commission members if there were any questions regarding this agenda item. There were none.

Ms. Iverson called for a motion to approve the Final Approval, Record Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, office component, replat of Clearcreek Township Fire Station #24 site.

Mr. Thompson made a motion to approve the Final Approval, Record Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, office component, replat of Clearcreek Township Fire Station #24 site. Mr. Pearson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Sillies, yes; Thompson, yes; (5-0)

Ms. Iverson said the motion is approved unanimously.

B. Preliminary Review

Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software

Background Information

This agenda item is a request for site plan review filed by Synergy Building Systems seeking approval to allow the construction of a 37,500-square foot office building at the southwest terminus of West Tech Boulevard. The subject property is located west of the intersection of Pinnacle Point Drive and West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address as addresses are not assigned by the Springboro Engineering Department until later in the site development process. The two-story building would serve as the second location for Caesar Creek Software; their existing building is located immediately north. The proposed site is located entirely in the Warren County portion of The Ascent/South Tech Business Park.

The site plan includes references to a 30,000-square foot future building on the south side of the site. While this is helpful to this site plan review to determine the placement of the building and other details, the implications of that addition (additional parking, buffering, architectural details, etc.) will be reviewed later.

The subject property is zoned ADD-1, Austin Development District 1. The ADD-1 district was created to manage development of land in the South Tech Business Park. The ADD-1 was an outcome of the Austin Center Land Use and Development Plan, a long-range plan developed by the City of Springboro in cooperation with Miamisburg, Miami Township, the Montgomery County Transportation Improvement District (MCTID), and others, to coordinate development of land near the then-proposed Austin Boulevard interchange of I-75. The ADD-1 includes its own permitted land uses, as well as design and development standards addressing architecture, landscaping/buffering, and other site development standards.

Zoning in vicinity of the subject property is exclusively ADD-1. Adjacent land uses include offices to the north and west for Shiver Security, Caesar Creek Software's original building, and Mayfield Brain and Spine (currently nearing completion).

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. When developed, the future building addition will need to include a 35-foot landscape buffer area adjacent to the proposed public roadway to the southwest.
2. Indicate lot coverage for site at build-out; maximum lot coverage for the ADD-1 is 85%.
3. For the proposed lighting plan, address the following:
 - a. Proposed parking lot illumination falls below the acceptable minimum of 0.4 foot-candles.
 - b. Provide spec sheet for proposed RAB lighting fixture; also, if applicable confirm that any architectural lighting proposed for the building complies with code provisions.
 - c. Confirm that proposed color-temperature of exterior lighting is 3500 Kelvin or less.
4. Landscaping plan to be revised to provide additional trees on the West Tech Boulevard frontage, and foundation plantings adjacent to the building.
5. Signage to be consistent with Chapter 1281 of Planning & Zoning Code and Section 1268(f)(6) of ADD-1 requirements. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Revisions to the existing water and/or sewer to be reviewed by Montgomery County. Provide approval notification from the county for our files.

Provide calculations that regional detention basin is properly designed to accept runoff.

Discussion

Ms. Iverson said that Planning Commission is discussing the Preliminary Review, Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software. She called for any representatives for the applicant to come to the podium for the discussion.

Mr. John Kopilchack and Mr. Tim Parker of Synergy Building Systems introduced themselves.

Ms. Iverson asked Mr. Boron to summarize this agenda item.

Mr. Boron said this is a request for a new 37,500 square foot building for Caesar Creek Software. There are some comments tied to a long-range building addition, but the discussion tonight only involves the first phase of building and all the improvements to the site related to the new construction. It is located entirely in the Warren

County portion of the Ascent and is a permitted use in the district. The City owns this property and has been approved by Council for sale to the applicant as part of an improvement that is already in place.

Ms. Iverson asked Mr. Kopilchack and Mr. Parker if they had any questions for Planning Commission or staff.

Mr. Kopilchack said the architectural elevation of the new building will match the elevation of the existing Caesar Creek Software building. The existing building is two-story, roughly 25,000 square foot building; the new building will be a two-story, roughly 37,500 square foot structure. It is an expansion of the company, not a relocation, so both buildings will be utilized by Caesar Creek Software employees. There is a planned potential expansion in the future but the company does not know if or when that will happen or even what the scope of work might be for that project. The roadway shown on the plans submitted is a proposed road only; it will be determined if it is added later. The stub street is already in place. He confirmed that the sale of the property by the City of Springboro to the applicant was approved at the City Council meeting held on March 7, 2024.

Mr. Boron asked if the site plan shows the proposed road.

Mr. Kopilchack said that the site plan does not show it, but the photometric and landscaping plans do show the road. He said the new building will be like the existing building.

Mr. Sillies asked when the original building was constructed.

Mr. Kopilchack said construction was started in 2016 and completed in 2017. The building has been occupied since that time.

Mr. Boron stated the new building will be the same as the existing structure. It meets all the Austin Development District-1 (ADD-1) requirements. The only questions from staff were regarding peripheral issues with landscaping and minor lighting changes. All requirements were met on their first building and have been met with this one as well.

Mr. Thompson asked if the issues related to water and sewer were because the property lapses into Montgomery County.

Mr. Kopilchack said the water service will come from Montgomery County. The County has reviewed the plans and Synergy forwarded their comments to the City earlier in the week.

Mr. Pearson asked Mr. Kopilchack if he thought Synergy could resolve all the issues raised by staff.

Mr. Kopilchack stated that he was confident all issues will be resolved to everyone's satisfaction.

Mr. Pearson asked when would be the next time this could come before Planning Commission for further consideration.

Mr. Boron said the applicants could move forward as soon as the next meeting to be held on April 10 for formal approval if they wish to do so.

Mr. Kopilchack asked if he needed to submit another application as part of the final approval process.

Mr. Boron stated no new application needs to be submitted but revised plans showing the changes requested by staff have been made. Several revisions have already been received by staff but not in time to include in the information being presented at tonight's meeting. That information will be compiled and included in the information packet for the next Planning Commission meeting on April 10. This item will not be required to go

before City Council until the Record Plan is submitted for approval. The Record Plan is expected to be on the agenda for Preliminary Review on April 10 as well.

Ms. Iverson and Mr. Boron thanked Mr. Kopilchack and Mr. Parker for attending the meeting and answering their questions.

C. Preliminary Review

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on a 35.62-acre site.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. Check open space information provided on sheet 4 of 12; total is less than approved general plan, and the numbers do not add up correctly.
2. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
3. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code:
 - a. Indicate how required buffers are to be memorialized and maintained.
 - b. Indicate proposed landscaping relative to component areas including (1) external and internal street frontages, (2) required buffers, and (3) site area in table/schedule form.
 - c. Indicate provisions for landscaping on individual lots.
 - d. For existing trees to be preserved, indicate how they will be used to reduce new landscaping proposed for the component areas; and no such trees on the north side?
4. Provide more specifics on plans for proposed common areas including proposed structures and details.
5. Connect proposed sidewalk system to the adjacent school campus.
6. Development signage is under review by Zoning Inspector for compliance with Sign Code and sight distance requirements.
7. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks, and 10-foot multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
8. An HOA shall be developed to maintain all common elements, including but not limited to detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
9. Location of central mailbox unit(s) to be reviewed by the Postmaster.
10. Highlands Drive to be renamed; the proposed name is too like existing Royal Highlands.
11. Provide an "eyebrow"/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
12. Final configuration of the intersection of Glasgow and Cameron Street to be determined.
13. Proposed multiuse trail under review by non-motorized transportation consultant. At a minimum continue trail north on Highlands Drive and stubbed to the north property line.
14. Roadway and utility improvements shall be per city specifications.
15. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
16. Is the fence on the south property line remaining in place?
17. Provide minimum dwelling unit floor area and minimum lot size (change from typical) and delete average lot on general plan sheet 4 of 12.
18. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.

Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to water, sanitary, storm sewer and detention basin design.

Discussion

Mr. Justin Lanham of M/I Homes, Cincinnati LLC, and Mr. Mike Goetlemoeller, Choice One Engineering were present to answer questions from the Planning Commission and staff.

Ms. Iverson asked Mr. Lanham and Mr. Mike Goetlemoeller to join them at the conference table for the Preliminary Review, Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision.

Ms. Iverson asked Mr. Boron to update Planning Commission about this agenda item.

Mr. Boron said that the PUD and the General Plan had been approved by City Council earlier this year and the 30-day waiting period has been met and the zoning map has been revised to reflect this change in zoning. The applicants are here tonight to start the second phase of the approval process by Planning Commission and staff. Ms. Iverson asked Mr. Lanham if he had any comments about the staff comments submitted to them.

Mr. Lanham stated that he had prepared comments to address the staff comments and recommendations and would like to present them to Planning Commission members.

Mr. Lanham addressed comment number 1 regarding the open space. He said that the open space had been reduced by approximately one-half acre due to improvements to the right-of-way along South Main Street (SR 741) to allow for the right turn lane to be constructed; the overall open space in the proposed subdivision has not changed.

With regards to comment number 2, Mr. Lanham said they did not have any issues and all homes built will be compliant with the Springboro Development Standards for Single-Family Dwellings.

Staff comment number 3 addresses several landscaping questions. Mr. Lanham said that those landscaping issues will be handled by the HOA to be formed as part of the development and that the HOA would be responsible for maintaining the buffers and landscaping in the open spaces provided. The covenants for the HOA will be submitted with the Final Development Plan when it is presented to the Planning Commission and staff at a future meeting. Each new residence will be individually landscaped and sodded as required by the established Planning and Zoning Code.

Mr. Lanham said that comment number 4 pertains to the common areas to be maintained by the HOA. There will cluster mailboxes throughout the development, probably in two separate areas, and the outdoor seating areas will be hardscaped and sheltered.

Mr. Thompson asked if the historic Janney Home would be included in the open space common areas.

Mr. Lanham stated that the house will be on its own 2-acre separate lot to be marketed and sold as an individual lot, as-is, during Phase One of the construction. He and a general contractor surveyed the home, and it is not currently in livable condition, but could be repaired. The original portion of the house was built in the mid-1800s and added onto twice, once at the turn of the century, and then again in the mid-century. The home is believed to have been used as part of the Underground Railroad.

After a lengthy discussion by Planning Commission members, staff, and Mr. Lanham, it was decided that the issue of the Janney Home should be tabled for further consideration. Because the zoning for this property has been changed to a PUD, Planning Commission can require certain covenants be met when the lot is sold. These conditions would need to be in place before the final approval of the final development plan. The City attorney will be consulted before the next meeting.

Mr. Lanham said that comment number 5, connecting the sidewalk system to the adjacent school campus, was considered, but when M/I Homes met with school administrators, the administrators said they did not want access via a sidewalk onto their campus because of campus security concerns. A five-foot wide sidewalk will be installed along South Main Street (SR 741).

Another discussion was had by all parties in attendance, and it was determined that further consideration should occur regarding a connecting sidewalk or path to the school campus. Mr. Boron will be meeting with the school administrators later and this topic will be discussed with them in more detail.

Mr. Boron discussed the report received from the City's non-motorized transportation consultant and their comments related to connectivity of all the trails throughout the city. Their recommendations include designing the sidewalk along South Main Street (SR 741) to be 10-feet wide to enable future connectivity to developments that may occur to the north of this subdivision and re-working the trail within the open space to provide better access to the proposed shelter and better flow throughout the neighborhood and the high school. Once more detail is received about the proposed open space, the issue regarding the sidewalk width can be defined later. For reference, Mr. Dixon said that the sidewalk along Central Avenue near Wright Station is ten feet wide as are all the internal sidewalks within Wright Station.

After discussion, Planning Commission and staff agreed that more information is needed from the City's consultant before they can determine the required width of the sidewalk connecting to the north.

Mr. Lanham addressed comment numbers 3b and 3d regarding the existing trees on the north side of the property. He said that due to grading issues along that section, all the existing trees will need to be removed to allow for proper drainage. It is M/I's position that because the neighboring property will remain heavily wooded, no additional buffer should be required to be replaced once the existing trees on the proposed development's site have been removed and the property is re-graded.

Planning Commission members and staff determined that once the trees have been removed, they will need to be replaced to ensure the buffering requirements are met. Mr. Lanham agreed to re-plant any trees that would need to be removed during the re-grading process.

Ms. Iverson asked Mr. Dixon if the new proposed name of Perthshire Drive versus Highlands Drive is acceptable.

Mr. Dixon said that he would need to check with the Police and Fire Departments to be certain they approve the name.

Mr. Lanham stated they would change the street name to whatever the City recommends.

Mr. Lanham asked for clarification on comment number 12. They do not want to disturb the existing driveway and home on the property.

Mr. Dixon said that the final configuration of the intersection of Glasgow and Cameron Streets could be determined in the future. Practical options are installing a STOP or YIELD sign at the intersection; a T-sign would also be an alternative option.

Mr. Lanham continued with his responses to the remaining staff comments and recommendations. He said that M/I agrees with the remaining comments and would work with staff and Planning Commission to meet their requirements. He will provide additional details in future submittals as needed.

Ms. Iverson asked for additional questions or comments from Planning Commission members.

Mr. Thompson asked where the community mailboxes would be located.

Mr. Lanham indicated the mailboxes will be located in the Phase 1 section near the intersection of Glasgow and Cameron Streets.

Ms. Iverson thanked Mr. Lanham for his time.

**D. Preliminary Review
Planning and Zoning Code Text Amendment, vape stores**

Discussion

Mr. Boron referred to the memorandum included in the meeting materials, explaining to Planning Commission members the City has enacted a moratorium on the acceptance of permits for vape stores in the City for a nine-month period which expires in June. This allowed City staff time to review vaping stores in Springboro and their impact on the community. He and other staff members have been meeting with the Police Department to evaluate how these businesses are affecting the community and other communities as well. Currently City staff recommends that the Commission members vote to adopt a permanent ban to prohibit vaping establishments as a specific use throughout the City.

This would entail adopting a code change within the City's Planning and Zoning Code to define what a vape store is, and where they will be permitted if at all. At this time the City is recommending that no new vape stores should be permitted within the City limits.

Mr. Boron said one of the concerns with these stores, and others as well, is the amount of light projecting out of the store from the interior, and from signage. Exterior lighting is regulated through the exterior lighting code throughout the City, however interior illumination for signs is currently only regulated in the downtown Historic District.

Planning Commission members and staff had a discussion on the proposed regulation and its enforcement. Further discussion would take place when the City Attorney is available.

Mr. Boron said that this item will be on the April 10 agenda and the City's legal counsel, Jerry McDonald, will attend the meeting to answer more questions regarding the legalities associated with this type of ban.

IV. Guest Comments

Ms. Iverson asked if there were any guest comments. There were none.

V. Planning Commission and Staff Comments

Ms. Iverson asked if there were any further questions from Planning Commission members and staff.

Mr. Thompson commented that if a 10-foot-wide sidewalk is desirable throughout the city, why not just lay an additional 5-foot-wide sidewalk right next to an existing 5-foot sidewalk?

Mr. Boron said that would be possible, but then a seam is created on the sidewalk path and that can be problematic with maintenance issues.

Mr. Thompson said that the least expensive way to accomplish this concept is to require the developers to build larger sidewalks as development continues throughout the city.

Mr. Boron said that was one of the reasons for the staff recommendation for the 10-foot-wide sidewalk to be included as part of the development.

Mr. Boron commented that the next meeting will be on Wednesday, April 10. Jerry McDonald will be at the meeting to provide a legal update to Planning Commission. The deadline for submittals for the next Planning Commission meeting is Thursday, March 22 at noon.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

*Mr. Dimmitt motioned to adjourn the March 13, 2024 Planning Commission Meeting at 7:34 pm
Mr. Sillies seconded the motion.*

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Sillies, yes; Thompson, yes (5 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary