

Agenda
City of Springboro Planning Commission Meeting
Wednesday, May 8, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order

- II. Approval of Minutes
 - A. April 10, 2024 Planning Commission Meeting

- III. Agenda Items
 - A. Final Approval, Site Plan Review, 245 South Pioneer Drive, addition for Buckeye Fabricating
 - B. Final Approval, Final Development Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), residential subdivision
 - C. Preliminary Review, Site Plan Review, Bailey Farms PUD-R, Planned Unit Development-Residential, 6821 Red Lion-Five Points Road, residential subdivision
 - D. Preliminary Review, Preliminary (Subdivision) Review, Eastbrook Farm, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision
 - E. Preliminary Review, Site Plan Review, Commercial Way, vehicle repair facility
 - F. Discussion, Planning and Zoning Law Update with City Attorney

- IV. Guest Comments

- V. Planning Commission and Staff Comments

- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, May 8, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Site Plan Review, 245 South Pioneer Drive, Buckeye Fabricating, building addition

Background Information

This agenda item is a request for site plan review filed by Ferguson Construction on behalf of Buckeye Fabricating, property owner, seeking approval to allow the construction of a 36,270-square foot addition to Buckeye Fabricating's existing building located at 245 South Pioneer Drive. The proposed addition would be situated on the rear/east portion of the property, an area set aside for future expansion, storm water detention, and a buffer between the Buckeye Fabricating operation and residential areas to the east. The two vehicular access points from South Pioneer Drive would remain unchanged, however the internal circulation system would be modified with the addition of paved area on the west/front portion of the site, and an expanded parking and service areas on the south side of the property. A storage building on the south side of the property would be removed to accommodate the expansion.

The subject property is zoned ED, Employment Center District. The ED allows the existing business and its expansion as proposed. The ED allows for the establishment of setbacks at the time of the site plan review process to provide businesses flexibility for the use of their sites. There is no lot coverage maximum in the ED.

Zoning in the vicinity of the subject property is ED to the north (Acceleation, 235 South Pioneer Drive), south (Numed Pharma, 265 South Pioneer Drive), southeast (private residence, 2754 West Factory Road), and west (General Dynamics, 200 South Pioneer Drive). To the east are a number of residences in Franklin Township zoned R2, Two-Family Residential District, that front West Factory Road.

This item was reviewed at the April 10 Planning Commission meeting at which time this item was placed on the May 8 meeting agenda for approval.

Staff Recommendation

City staff recommends approval of the site plan for the addition to Buckeye Fabricating, 245 South Pioneer Drive, with the following comments:

1. Provide specs for proposed lighting on building/site. Photometric analysis acceptable.
2. Signage including directional signage to be reviewed with Zoning Inspector separate from the site plan review process.
3. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.
4. Provide proposed storm sewer pipe lengths with slopes. Add structure in lieu of Inserta Tee at detention outlet.
5. Drainage calculations are under review.

6. Provide sanitary sewer lateral pipe lengths.
7. Call out dumpster pad location on site plan along with dimensions.

B. Final Approval

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on an approximately 35.62-acre site. This item was reviewed on a preliminary basis at the March 13 and April 10 Planning Commission meetings; at the latter meeting the Planning Commission authorized this item to be placed on the May 8 meeting agenda for final approval.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Staff Recommendation

City staff recommends approval of the final development plan for the Northampton PUD-R, Planned Unit Development-Residential, with following comments:

1. Applicant to prepare deed restriction language to preserve Janney House as described in April 19, 2024 letter from M/I to City.
2. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
3. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code. Staff comments are as follows:
 - a. Existing trees identified on sheet 10 of 12 account for an equivalent of 482 trees.
Applicant to commit to those trees' maintenance through the construction phase of the subdivision. These trees may be used against landscaping deficiencies in the plan except for street frontage and lot landscaping requirements.
 - b. Site landscaping to be provided at rate of one tree/3,000 square feet of site area, less proposed right-of-way. Provide right-of-way acreage proposed for the subdivision.
4. Development signage is not subject to Planning Commission review, however preliminary review by Zoning Inspector for compliance with Sign Code indicates sign message area far exceeds code (40 square feet permitted, 500 square feet proposed). Coordinate with Zoning Inspector on that issue as well as directional and other signage.
5. All multiuse trails are to be built to current AASHTO standard.
6. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks and 10 feet multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
7. An HOA shall be developed to maintain all common elements, including but not limited to detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
8. Location of central mailbox unit(s) to be reviewed by the Postmaster.
9. Provide an "eyebrow"/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
10. Bike path to continue north on Highlands Drive and stubbed to the north property line.
11. Roadway and utility improvements shall be per city specifications.
12. 50-foot cross access easement (not 20 feet) to be provided to the parcel to the north from Morris Street near the main entrance to accommodate future 50-foot right-of-way for future connection. Show future connection on the plans. Future intersection shall meet all City Standards.
13. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
14. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
15. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to water, sanitary, storm sewer and detention basin design.
16. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
17. Only 19 lots are permitted to be platted prior to second entrance.

18. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times.
19. Proposed walking path through open space to be accessible to the public.
20. HOA documents to be reviewed and approved by City prior to recording.

C. Preliminary Review

Final Development Plan, 6821 Red Lion-Five Points Road, Bailey Farm PUD-R, Planned Unit Development, residential subdivision

Background Information

This is an application filed by M/I Homes of Cincinnati, LLC, seeking final development plan approval for the development of a single-family, residential. The subject property is approximately 79.9 acres in area and is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

Final development plan review and approval by Planning Commission is the second stage of the PUD approval process. The first stage, rezoning and general plan approval, were completed earlier this year with the approval of the general plan by Planning Commission (February 14 meeting) and City Council (March 7). The rezoning of the property took place in 2007.

The proposed final development general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the submission.

Primary access to the site is from Red Lion-Five Point Road midway between West Lower Springboro Road, and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots.

A multiuse trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area, however this includes 18.0 acres of land proposed to be dedicated as parkland. This includes a proposal for a common area including a playground and trails around an existing pond.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the

east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Comments

City staff has the following comments on this agenda item:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Revise information on sheet 3 of 11 to reflect on-site open space.
3. The following comments apply to the proposed landscaping plan:
 - a. Provide metes-and-bounds to sheet 10 of 11.
 - b. For internal street network, 209 trees required (149 shade/evergreen, 60 ornamentals), 154 provided. Distinguish between shade and ornamentals provided.
 - c. Landscaping proposed for street frontages and buffers to adjacent uses meets codes. Site landscaping requirement met with preservation of existing trees on the site.
4. Coordinate with Zoning Inspector for review of development signage and compliance with Sign Code.
5. Multiuse trail to be built to AASHTO standard.
6. Remove proposed pond from lot split open space area.
7. Label slab lots on plan.
8. Proposed cul-de-sac (turnaround) located at west end of Bailey Lane to be constructed in Phase 1. Also, the removal of the sanitary lift station and water main extension into Heatherwoode Golf Course to be constructed in Phase 1.
9. Proposed walking path through open space to be accessible to the public.
10. Roadway improvements along West Lower Springboro Road to include dedication of 40-foot half right-of-way, widen the road to 18 feet from center line of road to south, add ODOT Type 2 curb & gutter, storm sewer, sidewalk/buffered bike lane.
11. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
12. Roadway and utility improvements shall be per city specifications.
13. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side

of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line if it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5 feet tall and deciduous trees shall be at least 1-1/2-inch caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50 feet green space buffer is wide enough to meet requirements stated above. If not, revise accordingly.

14. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
15. Only 19 lots are permitted to be platted prior to second entrance.
16. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times.
HOA documents to be reviewed and approved by City prior to recording.

D. Preliminary Review

Preliminary Subdivision Plan, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision

Background Information

This agenda item is a request for preliminary subdivision review of the proposed Eastbrook Farms subdivision located northeast of the intersection of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The application was submitted on behalf of Eastbrook Farms, Inc., Lebanon, property owner. The proposal includes the development of 45 residential lots on 13.18 acres of land on the northern portion of the 83.12-acre Eastbrook Farm; the 83.12-acre property extends south to West Central Avenue (SR 73); there are no current plans to develop the remaining 66.94 acres on the parent lot. The proposed subdivision abuts the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions to the north.

The subject property is zoned R-2, Low-Density Residential District. The R-2 District allows residential development at a density of four dwelling units per acre on lots no smaller than 9,000 square feet; the proposed subdivision is consistent with the R-2 District development standards. The applicants propose 45 residential lots along a street parallel to Whispering Pines. Access to the subdivision would be from Clearcreek-Franklin Road to the west and Evergreen Drive to the north. The subdivision proposes two stub streets to the south; one at an extension of Evergreen Drive, and another at the midpoint of the subdivision. Open space is provided with one lot in the interior of the subdivision, and on the east portion of the subject property along Twin Creek. Proposed lots range in size from 9,375 square feet (34 lots) to 14,337 square feet.

Adjacent land uses are single-family residential to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, single-family residential to the east within the Wood Ridge subdivision, vacant land comprises the remaining 69.94 acres within the Eastbrook Farm property, and single-family residential to the west on the west side of Clearcreek-Franklin Road both in Franklin Township and Springboro. To the northwest is the Sanctuary assisted living facility.

Adjacent zoning includes R-2 District to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, PUD, Planned Unit Development, to east within the Wood

Ridge subdivision, O, Office District, to the south for the remainder of the Eastbrook Farm property, and to the west PUD-R for the Sanctuary assisted living facility, R-2 for a lot to the south (8617 Clearcreek-Franklin) within the City, and Franklin Township R2, Rural Residence District (6593 Clearcreek-Franklin).

All property owners within 300 feet of the 83.12-acre property were notified by courtesy letter of the May 8 review, with information on how to access the subdivision application, and details about the meeting.

Staff Comments

1. Change subdivision name to Eastbrook Farms, Section One.
2. Proposed development signage, if desired, subject to review by Zoning Inspector.
3. Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code.
4. The proposed retention pond is in the path of the future stub street to the south. Keep detention pond/drainage easement outside of future right of way limits of the stub street.
5. Only 19 lots are permitted to be platted prior to second entrance being constructed and platted.
6. Provide easement language, and exhibits, for east end of property including larger Eastbrook Farms property.
7. Provide central mailbox unit, which shall also be reviewed by postmaster.

E. Preliminary Review

Site Plan Review, Commercial Way, proposed vehicle maintenance facility

Background Information

This agenda item is a request for site plan review submitted by Jagdeep Singh, property owner, seeking approval to allow the development of a truck repair facility on a vacant parcel on the south side of Commercial Way. The vacant, unaddressed property is located on the south side of Commercial Way between Complete Grinding (55 Commercial Way) and S&S Tool & Die (75 Commercial Way). The property is zoned ED, Employment Center District, which permits the use.

The applicants are proposing a 2,600-square foot building on the northwest corner of the site, with vehicular access to Commercial Way to the north. An off-street parking area is provided to the east of the building, and a service dock is proposed for the rear/south side of the building.

In addition to the uses to the east and west identified above, AST is located to the north on the north side of Commercial Way. To the south, two residential lots in Franklin Township with frontage on Sharts Road are located. Zoning for the vicinity of the property is ED to the north, east, and west. Zoning to the south in Franklin Township is R2, Rural Residence.

Staff Comments

City staff has the following comments regarding this agenda item.

1. Sheets 5-7, E1-3, M1-2, P1-2, and truss plans not included in packet; for future reviews only include plans directly associated with site review process included.

2. Setbacks established at time of site plan review process for the ED; staff recommends increasing setbacks to 35 feet.
3. For proposed building, provide architectural elevations with a graphic scale and an indication of exterior building materials.
4. Building color to be neutral color or earth tone, with one accent color. Revise rendition accordingly.
5. For the building architectural, modify plans accordingly:
 - a. Provide a tripartite design with a top (e.g., cornice), middle, and base or foundation. See buildings along Commercial Way that accommodate this requirement.
 - b. Use at least three exterior building materials on the elevations, and no more than four.
6. Plan to comply with provisions of Section 1264.26, Development Standards for Specific Uses, Minor and Major Vehicle Repair including the following:
 - a. Lot Area. The minimum lot area shall be 12,000 square feet.
 - b. Parking Location. The site plan shall be designed to locate vehicles awaiting or undergoing repair, employee parking, and customer parking behind the building setback line.
 - c. Screening. In addition to the screening requirements in Chapter 1280, Landscaping, outdoor storage of vehicles awaiting or undergoing repair shall be screened on all sides by a solid wood fence or brick or stone wall 6 feet in height. Such fence or wall shall be maintained in good repair and attractive condition at all times.
 - d. Petroleum Containment. Tracking of oil or other petroleum-based substances onto the public right-of-way shall be avoided by proper management of such materials.
 - e. Parking Duration. Storage of vehicles overnight at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being repaired at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
 - f. Dismantling Prohibited. No vehicle shall be dismantled unless said vehicle is being repaired inside the garage and said repair shall be accompanied by a repair order showing the description of the automobile, owner and the description of the work required. A valid and current license plate shall be displayed on all vehicles.
 - g. Enclosed Building. All activities shall take place inside the building. All lubrication equipment, automobile wash equipment, hoists, and pits shall be enclosed entirely within a building.
 - h. Sales and Rentals Prohibited. The sale or rental of vehicles or utility trailers of any kind shall be prohibited. No vehicle parked on the property shall be dismantled for the purposes of selling, bartering, swapping, or giving of any part or parts of said vehicle.
 - i. Large Vehicles. No trucks with a capacity over one ton, buses, camping trailers, truck or trailers shall be permitted on the property at any time unless the said vehicles are being repaired in the garage.
 - j. Trash Containers and Rubbish. There shall be trash containers of sufficient size and capacity to contain any and all waste generated by the operation of business. The premises shall be devoid of all rubbish, litter, debris, automobile parts, etc.
 - k. Parking for Quick Oil Change Facilities. Quick oil change facilities shall provide off-street waiting spaces equal to five (5) times the number of oil change stalls for automobiles awaiting entrance. Each off-street waiting space shall be 10 feet wide by 20 feet long.
 - l. Storage or Impounding. Storage or impounding of vehicles at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being stored or impounded at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
 - m. Hours of Operation. In addition to all the above standards, any vehicle repair facility adjacent to any residential district may only be open between the hours of 7:00 a.m. and 10:00 p.m.

7. Following preliminary review, develop a lighting plan for the site and building consistent with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code. Provide a photometric analysis, fixture specifications (cut sheets), minimum to maximum and average to maximum ratios, compliance with 3500 Kelvin maximum color-temperature, and other code requirements.
8. Following preliminary review, provide a landscaping plan consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code. Provide buffering to street and side yard, and parking area, as well as the overall site. Credit is given to trees larger than 4 inches DBH against landscaping requirement.
9. Signage is not a part of the site plan review process but coordinate with Zoning Inspector on signage permitted by code for the building and site.
10. Provide surveyed site plan with engineering details including but not limited to utility, roadway, site, parking lot, and grading improvements. Provide property line metes and bounds.
11. Provide storm water detention details.
12. Provide ODOT Type 2 curb and gutter along Commercial Way with associated storm water improvements.
13. Provide minimum 9-foot setback from parking lot to lot line.
14. Provide dumpster location and screening details.
15. Provide lighting details.
16. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.
17. Provide graphical scale.

F. Discussion
Planning and Zoning Law Update

Jerry McDonald, City Attorney, has been invited to attend the meeting to provide a planning and zoning law update to Planning Commission members and City staff.

The information contained in this report is based on material provided to the City of Springboro as of Friday, May 3, 2024 at 5:00 p.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN
 REVISION TO APPROVED SITE PLAN
 CONCEPT PLAN
 PRELIMINARY SUBDIVISION
 RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- Owner
- Agent
- Lessee
- Signed Purchase Contract

APPLICANT NAME: _____

FERGUSON CONST.

Address

400 CANAL ST.

SIDNEY, OH 45365

Telephone No.

(937) 498 - 2381

Fax No.

() _____

Email Address

JMCGOVERN@FERGUSON-CONSTRUCTION.CO

PROPERTY OWNER NAME (IF OTHER): _____

BUCKEYE FABRICATING

Address:

245 S. PIONEER BLVD.

SPRINGBORO, OH 45066

Telephone No.

(937) 746-9822

Property Address or General Location:

245 S. PIONEER BLVD

Parcel Number(s):

0419 276020

Zoning District:

ED

Proposed Use:

PROPOSED ADDITION TO AN EXISTING

MANUFACTURING FACILITY

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Caleb Johnson
 (Signature of Applicant and/or Agent)

03/22/2024
 (Date)

CALEB JOHNSON
 Printed Name



GENERAL NOTES

GEOTECHNICAL INFORMATION

SOIL BORING INFORMATION IS AVAILABLE FOR THIS PROJECT THROUGH FERGUSON CONSTRUCTION.

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC. AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS. STOCK PILE AND REUSE. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL IN ENGINEERED FILL AS NEEDED.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 6" OR 8" CONCRETE WITH WWF ON 12" 304 CUSHION FILL ON COMPACTED SUBGRADE. OFFICE FLOOR SLAB IS TO BE 4" CONCRETE WITH ONE LAYER OF 2# WWF ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER FLOOR THICKNESS AREAS.

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

FURNISH AND INSTALL A COMPLETE SANITARY SEWER LINE FROM THE BUILDING TO THE EXISTING MAIN OR PROPERTY LINE AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR LOCAL REQUIREMENTS.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

ALL SANITARY AND WATERLINE WORK MUST COMPLY WITH CITY ENGINEERS STANDARDS AND INSTALLED PER THE NATIONAL PLUMBING CODE. ENTIRE SEWER LATERAL SHALL BE INSPECTED AND PRESSURE TESTED.

ALL STORM AND SANITARY PIPING MATERIALS UNDER A BUILDING ARE TO COMPLY WITH TABLE 702.2 OF THE 2017 OHIO PLUMBING CODE. ALL PIPING TO BE INSTALLED PER CODE.

WATERLINES SHALL HAVE 4'-6" MINIMUM COVER. THE WATER SERVICE SHALL BE TYPE K COPPER AND HAVE A BACKFLOW PREVENTOR UNLESS SPECIFIED DIFFERENTLY.

AT CONTACT WITH THE WATERLINE SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 18" FROM STORM AND SANITARY SEWERS. ALSO ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 5T 18 PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE OODOT HW-1, 2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

ASPHALT NOTES

STANDARD ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 1-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 7" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

HEAVY-DUTY ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 2-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 9" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

CONCRETE PARKING BUMPERS WILL BE INSTALLED WHERE SHOWN ON THE DRAWINGS.

CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN 3 WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL./SQ. YD.).

ASPHALT CONTRACTOR IS RESPONSIBLE FOR SAW-CUTS AND A.C. SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

PARKING LOT STRIPING IS TO RECEIVE ONE COAT OF WHITE PAINT 4" WIDE AS PER LAYOUT ON SITE PLAN INCLUDING DIRECTIONAL ARROWS WHERE SHOWN. (BY ASPHALT CONTRACTOR)

HANDICAP PARKING

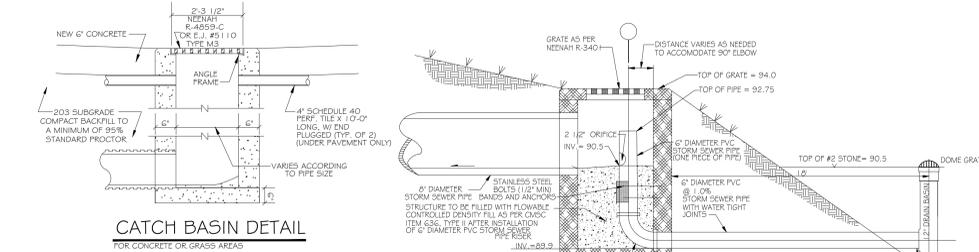
PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER CBC SECTION 111.0 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG A4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

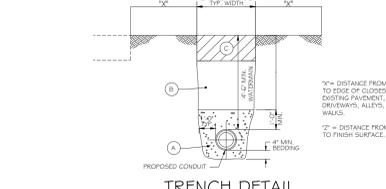
LANDSCAPING SHALL BE BY THE OWNER.

CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.

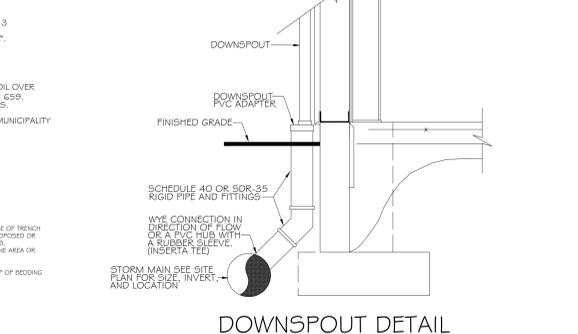


TRENCH DETAIL NOTES

- A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, CDOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.
- B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.
- C. ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL CDOT 603 TYPE 1 OR TYPE 2. (CDOT 603 TYPE 1 OR TYPE 2 MATERIAL SHALL BE USED FOR BACK FILLING UNTIL THE TOP OF THE COMPACTED GRANULAR BACKFILL OR LOW STRENGTH MORTAR BACKFILL IS HIGH ENOUGH WHERE "X" IS GREATER THAN "Z".)
- D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.
- E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



TRENCH DETAIL



DOWNSPOUT DETAIL



VICINITY MAP SCALE: N.T.S.

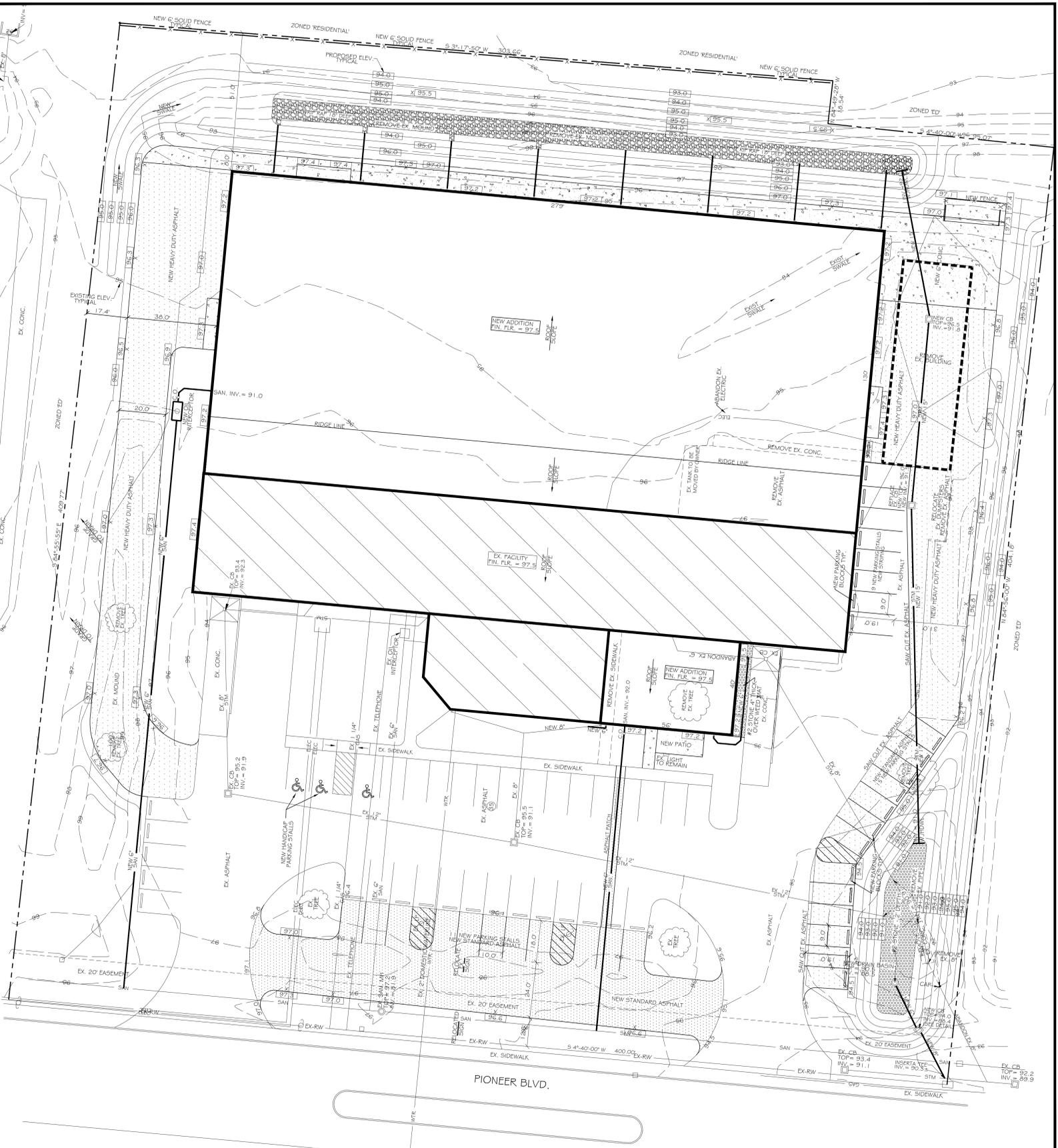
LEGEND

---	SILT-FENCE
---	FENCE
---	WATERLINE
---	STORM LINE
---	SANITARY
---	RIGHT OF WAY
---	PROPERTY LINE
---	ELECTRIC
---	EASEMENT
---	DEMOLITION
---	CONTOUR MINOR
---	CONTOUR MAJOR
---	CENTERLINE
---	GAS LINE
---	COMMUNICATION LINE

PARKING LOT SCHEDULE

EX. PARKING SPACES	NEW PARKING SPACES	TOTALS
EX. HANDICAP	NEW HANDICAP	
EX. TRUCK/BOAT	NEW TRUCK/BOAT	
EX. TOTAL	NEW TOTAL	
		70
		70

EX. OFFICE = 3022 SYDNEY TO EX. MANUF = 14508 377/50119
 NEW OFFICE = 16200 29/50077
 NEW MANUF = 36270 377/50148
 TOTAL PARKING SPACES REQUIRED = 64



SITE PLAN SCALE: 1" = 20' - 0"



Revisions

#	Date	Description

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NEW MANUFACTURING ADDITION FOR BUCKEYE FABRICATING
 WARREN COUNTY
 245 S. PIONEER BOULEVARD
 SPRINGBORO, OHIO 45066



Sidney, Ohio
 400 Canal Street
 Sidney, OH 45365-0726
 Phone: (937) 498-2381

Dayton, Ohio
 825 S. Ludlow St.
 Dayton, OH 45402
 Phone: (937) 274-1173

Columbus, Ohio
 3595 Johnny Appleseed Ct.
 Columbus, OH 43231
 Phone: (614) 876-8496

Indianapolis, Indiana
 7157 W. 200 N.
 Greenfield, IN 46140
 Phone: (317) 477-3615

Job Number	E-44001
Date	03/21/24
Drawn By	JWM
Checked By	JWM

SITE PLAN & NOTES
C-1.1

CLEAN STORM SYSTEM

IMMEDIATELY PRIOR TO FINAL COMPLETION OF THE PROJECT, CONTRACTOR SHALL ENSURE THE ENTIRE STORM SYSTEM, INCLUDING BUT NOT LIMITED TO, THE DETENTION BASINS, CATCH BASINS, MANHOLES, PIPING, UNDERDRAINS AND UNDERDRAIN TRENCHES ARE FREE FROM SEDIMENTATION AND OTHER POLLUTANTS AND FOREIGN MATERIALS AND ARE TO BE CLEANED AS NEEDED TO ENSURE MAXIMUM STORMWATER QUALITY AND FULL FUNCTIONALITY.

OFFSITE CONSTRUCTION ACTIVITIES:

IT IS EXPECTED ALL CONSTRUCTION ACTIVITIES WILL TAKE PLACE ON SITE.

SPILL REPORTING REQUIREMENTS:

IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, SPECIAL HANDLING PROCEDURES MUST BE USED. IN THE EVENT OF A LARGE RELEASE (25 GALLONS OR MORE) OF PETROLEUM WASTE, YOU MUST CONTACT THE OHIO EPA (1-1-800-282-9379), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

VEHICLE FUELING

VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED VIA A SMALL REFUEL TANK WITH SECONDARY CONTAINMENT.

OPEN BURNING NOTE:

OPEN BURNING IS NOT PERMITTED IN THE CORPORATION LIMIT.

SWPPP AND INSPECTION REPORTS LOCATION:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

WASTE DISPOSAL NOTE:

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

FUELING AND STAGING NOTE:

CONTRACTOR'S STAGING AREA WILL BE LOCATED WITHIN CONSTRUCTION LIMITS OF THE PROJECT. FUEL TANKS AND OTHER HAZARDOUS MATERIALS TO BE SAFELY STORED, PROTECTED, AND PROPERLY HANDLED BY CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STAGING/STORAGE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. CONTRACTOR SHALL CLEAN UP AND PROPERLY DISPOSE OF ANY WASTE MATERIALS.

SOIL STOCKPILE NOTE:

CONTRACTORS SHALL LOCATE SOIL STOCKPILE AREAS WITHIN THE PROJECT AREA SO AS NOT TO BE WITHIN THE IMMEDIATE PROXIMITY OF ANY SURFACE WATERS OR STORM INLET STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STOCKPILE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

DEWATERING NOTE:

PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR ANY OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATER, DITCH OR STREAM CORRIDORS, ANY WETLANDS OR STORM SEWERS IS PROHIBITED. ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SOIL PARTICLES PRIOR TO ITS RELEASE. IF AN AREA OF THE SITE OR TRENCH NEEDS DEWATERED, IT SHOULD BE PUMPED FROM A SUMP FIT WITH A SOOK FILTER OR OTHER TYPE OF FILTERING DEVICE ON THE DISCHARGE OF THE HOSE. DO NOT ALLOW DISCHARGED WATER TO PASS OVER DISTURBED GROUND. IF THE DISCHARGE WATER IS BEING PUMPED INTO A SEDIMENT POND THEN NO FILTER IS REQUIRED AT THE END OF THE HOSE. IF THE GROUNDWATER MUST BE LOWERED, THE WATER MAY BE FREELY DISCHARGED AS LONG AS THE WATER REMAINS CLEAN. DO NOT COM-MINGLE CLEAN GROUND WATER WITH SEDIMENT LADEN WATER OR DISCHARGE IT BY ALLOWING IT TO PASS OVER DISTURBED GROUND.

LOG/DOCUMENTATION SHEETS:

AS PART OF THE SWPPP, THE CONTRACTOR SHALL MAINTAIN LOG/DOCUMENTATION SHEETS FOR THE FOLLOWING: 1) A SIGNATURE LOG CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE SWPPP AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWPPP. 2) A GRADING AND STABILIZATION LOG DOCUMENTING THE PROJECT'S GRADING AND STABILIZATION ACTIVITIES AND 3) A SWPPP AMENDMENT LOG DOCUMENTING CHANGES/AMENDMENTS TO THE SWPPP, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

MAINTENANCE NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWPPP SHALL BE DESIGNED TO MINIMIZE MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

SWPPP AND INSPECTION AVAILABILITY AND UPDATES NOTE:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE SWPPP AND INSPECTION REPORTS ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM AND DOCUMENT ALL REQUIRED SWPPP INSPECTIONS AND ALL UPDATES AND AMENDMENTS TO THE SWPPP.

PROCESS WASTEWATER/LEACHATE MANAGEMENT NOTE:

ALL PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, AND CONCRETE WASH-OUTS) MUST BE COLLECTED AND DISPOSED OF PROPERLY (TO A PUBLICLY OWNED TREATMENT WORKS). THE WRITER'S CONSTRUCTION STORM WATER GENERAL PERMIT ONLY AUTHORIZES THE DISCHARGE OF STORM WATER AND CERTAIN UNCONTAMINATED NON-STORM WATER. THE DISCHARGE OF NONSTORM WATERS TO WATERS OF THE STATE MAY BE IN VIOLATION OF LOCAL, STATE, AND FEDERAL LAWS OR REGULATIONS.

HANDLING OF TOXIC OR HAZARDOUS MATERIALS NOTE:

NO SOLID, SANITARY, OR TOXIC WASTE IS TO BE DISPOSED OF ON THE PROJECT SITE. RECYCLING OF USED OR UNUSED HAZARDOUS MATERIALS SHALL NOT OCCUR ON SITE EITHER. AREAS DESIGNATED FOR CEMENT TRUCK WASHOUTS, AND VEHICLE FUELING SHALL NOT TAKE PLACE ON PARKING LOT BASE.

CONSTRUCTION CHEMICAL COMPOUNDS NOTE:

NO MIXING OR STORAGE OF CHEMICAL COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE ARE PERMITTED TO TAKE PLACE ON-SITE. ALL MIXING SHALL TAKE PLACE BEFORE ENTERING THE SITE.

CONSTRUCTION OR DEMOLITION DEBRIS NOTE:

ALL CONSTRUCTION AND DEMOLITION DEBRIS WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED LANDFILL AS REQUIRED BY OHIO REVISION CODE 3714.1. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

CONTAMINATED SOILS NOTE:

SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS SHALL BE HANDLED AND DISPOSED OF PROPERLY. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED OF IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY. IF CONTAMINATION HAPPENS TO OCCUR, TARPS ARE TO BE USED TO PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

SITE DEVELOPMENT DETAILS

PROJECT DESCRIPTION: THE SITE IS A 3.84 ACRE PARCEL WITH A PROPOSED 36,270 sq BUILDING ADDITION WITH 2,240 sq OF OFFICE SPACE. THE DEVELOPMENT WILL INCLUDE ADDING 35 PARKING STALLS.

EXISTING SITE: THE SITE CURRENTLY HAS A 14,510 sq ft MANUFACTURING FACILITY WITH A 3,000 sq OF OFFICE. THE SITE CURRENTLY HAS A 35 CAR PARKING LOT.

STORMWATER RUNOFF: STORMWATER RUNOFF FLOWS NORTH TO SOUTH AND OUTLETS INTO THE EXISTING STORM SYSTEM AT THE SOUTHWEST CORNER OF THE PROPERTY.

SOILS: XENIA SILT LOAN

DISTURBED ACREAGE: 2.2 ACRES

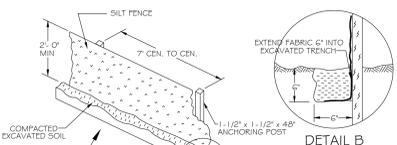
PRE #4 POST CONSTRUCTION RUNOFF COEFFICIENTS:

PRE-CONSTRUCTION=0.53

POST CONSTRUCTION=0.64

CONSTRUCTION SEQUENCE:

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AREA.
2. REMOVE NECESSARY VEGETATION AND INSTALL PERIMETER SEDIMENT FENCE WHERE SHOWN ON THE EROSION PLAN.
3. INSTALL SEDIMENT BASIN 4 OUTLET STRUCTURE.
4. CLEAR AND GRUB THE SITE AND GRADE TO PROPOSED GRADES SHOWN ON SITE PLAN.
5. INSTALL UTILITIES AS SHOWN ON THE SITE PLAN.
6. INSTALL INLET PROTECTION ON CATCH BASINS.
7. TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
8. FINE GRADE THE SITE AND PERMANENTLY STABILIZE THE DISTURBED AREAS.
9. INSTALL NEW PAVEMENT AS SHOWN.
10. REMOVE THE TEMPORARY SEDIMENT CONTROLS UPON THE ESTABLISHMENT OF PERMANENT VEGETATION.



SILT FENCE DETAIL

NOT TO SCALE

LEGEND

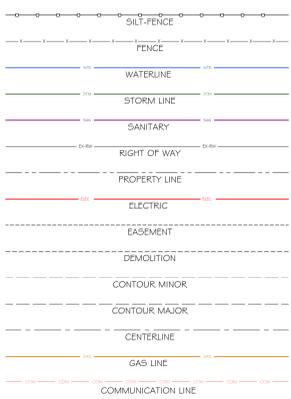


TABLE #1 - TEMPORARY STABILIZATION

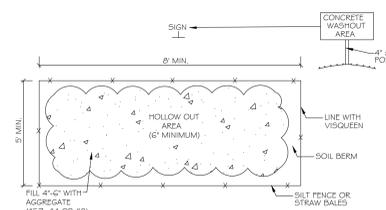
Any disturbed area within 50 feet of a stream and not at final grade.	Within 2 days of the most recent disturbance if that area will remain idle for more than 21 days.
For all construction activities, any disturbed areas, including soil stockpiles, that will be dormant for more than 21 days, and not within 50 feet of a stream.	Within 7 days of the most recent disturbance within the area.
Disturbed areas that will be idle over winter.	Prior to onset of winter weather.

TABLE #2 - PERMANENT STABILIZATION

Any area that will be dormant for 12 months or more.	Within 7 days of the most recent disturbance.
Any area within 50 feet of a stream and at final grade.	Within two days of reaching final grade.
Any area at final grade.	Within 7 days of reaching final grade within that area.

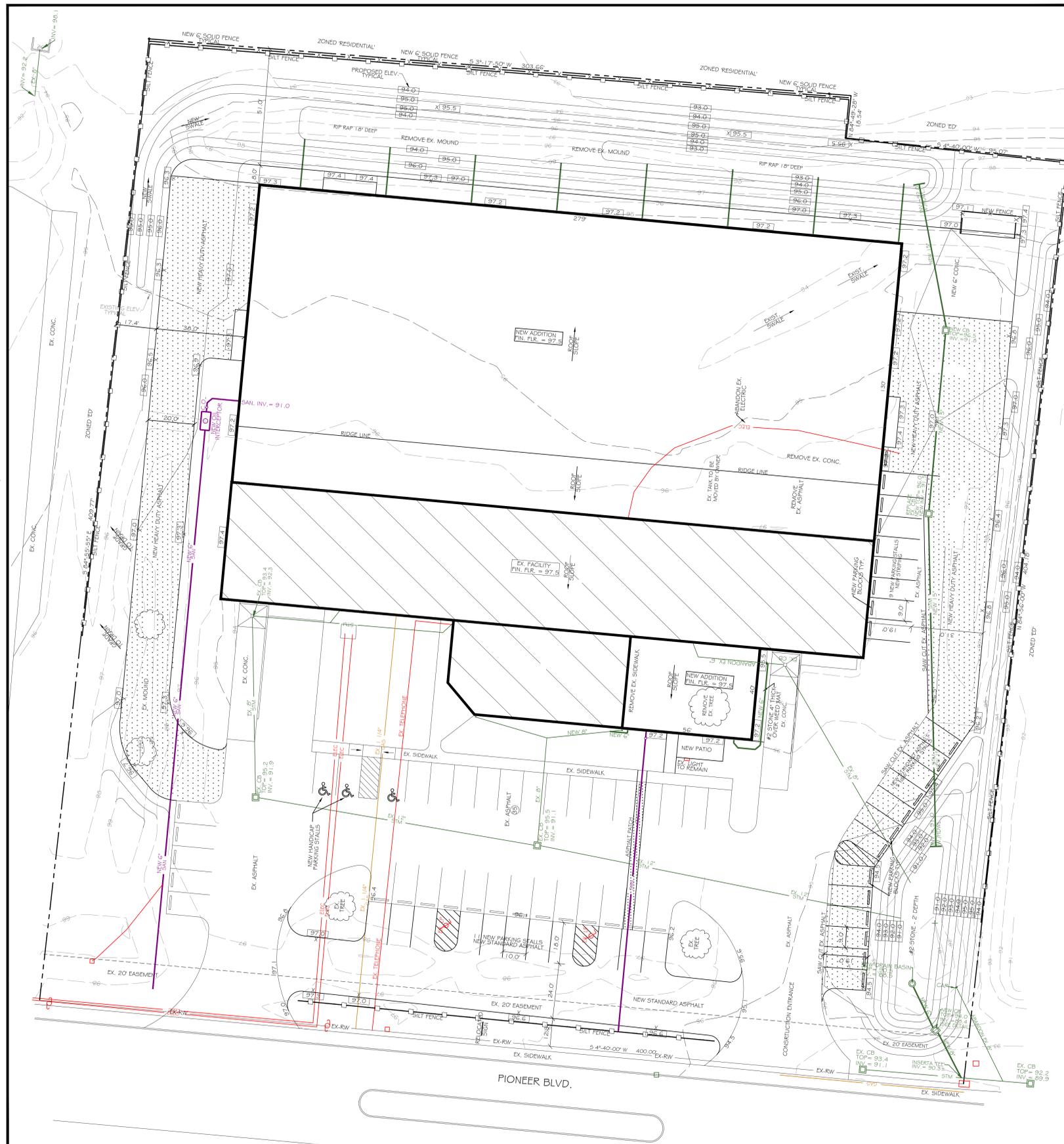
TABLE #3 - MAXIMUM DRAINAGE AREA TO SILT FENCE

Maximum drainage area (in acres) to 100 linear feet of silt fence	Range of slope for a particular drainage area (percent)
0.25	≤ 2%
0.25	2% but ≤ 20%
0.25	≥ 20% but ≤ 30%



CONCRETE WASHOUT AREA

N.T.S.



EROSION PLAN

SCALE : 1" = 20' - 0"



Revisions		
#	Date	Description

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NEW MANUFACTURING ADDITION
FOR
BUCKEYE FABRICATING
WARREN COUNTY
245 S. PIONEER BOULEVARD
SPRINGBORO, OHIO 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number E-44001
Date 03/21/24
Drawn By JWM
Checked By JWM

EROSION
PLAN

C-2.1

GENERAL NOTES

GEOTECHNICAL INFORMATION

SOIL BORING INFORMATION IS AVAILABLE FOR THIS PROJECT THROUGH FERGUSON CONSTRUCTION.

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC. AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS. STOCK PILE AND REUSE. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL IN ENGINEERED FILL AS NEEDED.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 6" OR 8" CONCRETE WITH WWF ON 12" 304 CUSHION FILL ON COMPACTED SUBGRADE. OFFICE FLOOR SLAB IS TO BE 4" CONCRETE WITH ONE LAYER OF 2# WWF ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER FLOOR THICKNESS AREAS.

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

FURNISH AND INSTALL A COMPLETE SANITARY SEWER LINE FROM THE BUILDING TO THE EXISTING MAIN OR PROPERTY LINE AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR LOCAL REQUIREMENTS.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

ALL SANITARY AND WATERLINE WORK MUST COMPLY WITH CITY ENGINEERS STANDARDS AND INSTALLED PER THE NATIONAL PLUMBING CODE. ENTIRE SEWER LATERAL SHALL BE INSPECTED AND PRESSURE TESTED.

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DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

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HANDICAP PARKING

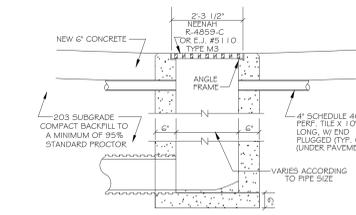
PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER CBC SECTION 111.0 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG A4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

LANDSCAPING SHALL BE BY THE OWNER.

CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.

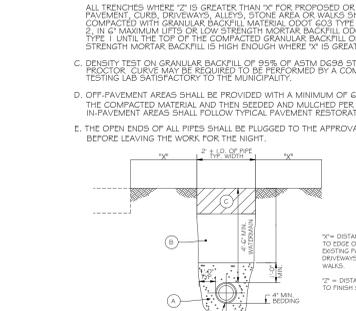


CATCH BASIN DETAIL

FOR CONCRETE OR GRASS AREAS

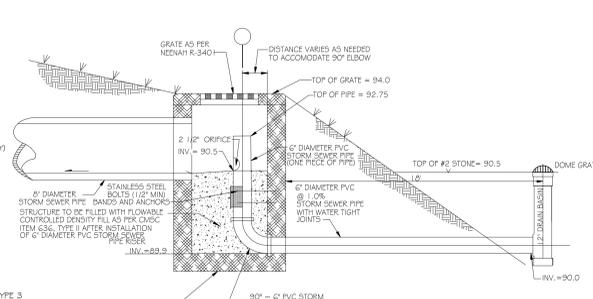
TRENCH DETAIL NOTES

- A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, CDOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.
- B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.
- C. ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL CDOT 603 TYPE 1 OR TYPE 2. (OR APPROVED EQUIVALENT) FOR BACKFILLING. ALL TRENCHES SHALL BE FILL WITH PER ODOT ITEM G1.3 TYPE 1 UNTIL THE TOP OF THE COMPACTED GRANULAR BACKFILL OR LOW STRENGTH MORTAR BACKFILL IS HIGH ENOUGH WHERE "X" IS GREATER THAN "Z".
- D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.
- E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



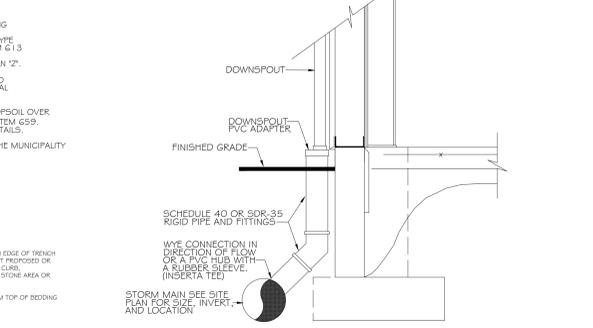
TRENCH DETAIL

FOR CONCRETE OR GRASS AREAS



DETENTION OUTLET DETAIL

N.T.S.



DOWNSPOUT DETAIL

FOR CONCRETE OR GRASS AREAS



VICINITY MAP SCALE : N.T.S.

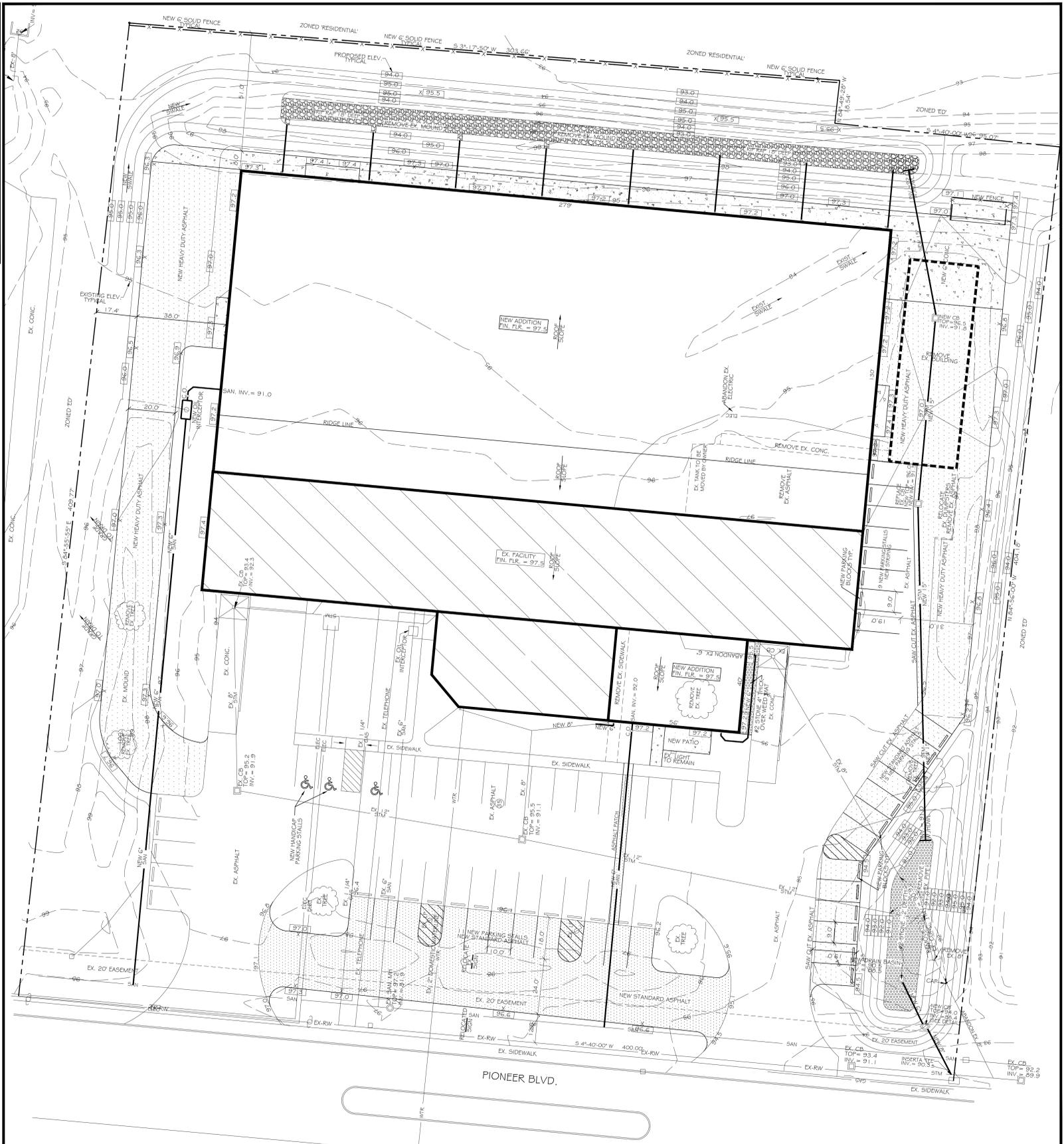
LEGEND

[Symbol]	SILT-FENCE
[Symbol]	FENCE
[Symbol]	WATERLINE
[Symbol]	STORM LINE
[Symbol]	SANITARY
[Symbol]	RIGHT OF WAY
[Symbol]	PROPERTY LINE
[Symbol]	ELECTRIC
[Symbol]	EASEMENT
[Symbol]	DEMOLITION
[Symbol]	CONTOUR MINOR
[Symbol]	CONTOUR MAJOR
[Symbol]	CENTERLINE
[Symbol]	GAS LINE
[Symbol]	COMMUNICATION LINE

PARKING LOT SCHEDULE

	EX. PARKING SPACES	NEW PARKING SPACES	TOTALS
EX. PARKING SPACES	56	56	112
EX. HANDICAP	0	0	0
NEW HANDICAP	0	0	0
TOTAL	56	56	112

EX. OFFICE = 3022 SYDNEY TO EX. MANUF = 14508 377/50119
 NEW OFFICE = 16200 29/50077
 NEW MANUF = 36270 377/50148
 TOTAL PARKING SPACES REQUIRED = 64



SITE PLAN SCALE : 1" = 20' - 0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



Revisions

#	Date	Description

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NEW MANUFACTURING ADDITION FOR
BUCKEYE FABRICATING
 WARREN COUNTY
 245 S. PIONEER BOULEVARD
 SPRINGBORO, OHIO 45066



Sidney, Ohio
 400 Canal Street
 Sidney, OH 45365-0726
 Phone: (937) 498-2381

Dayton, Ohio
 825 S. Ludlow St.
 Dayton, OH 45402
 Phone: (937) 274-1173

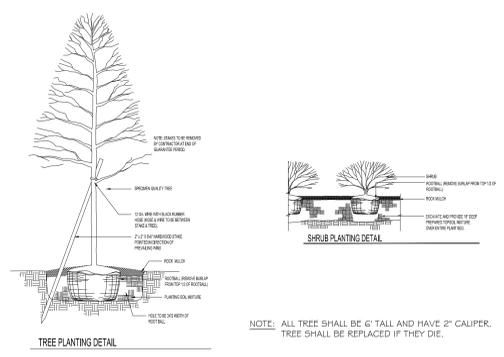
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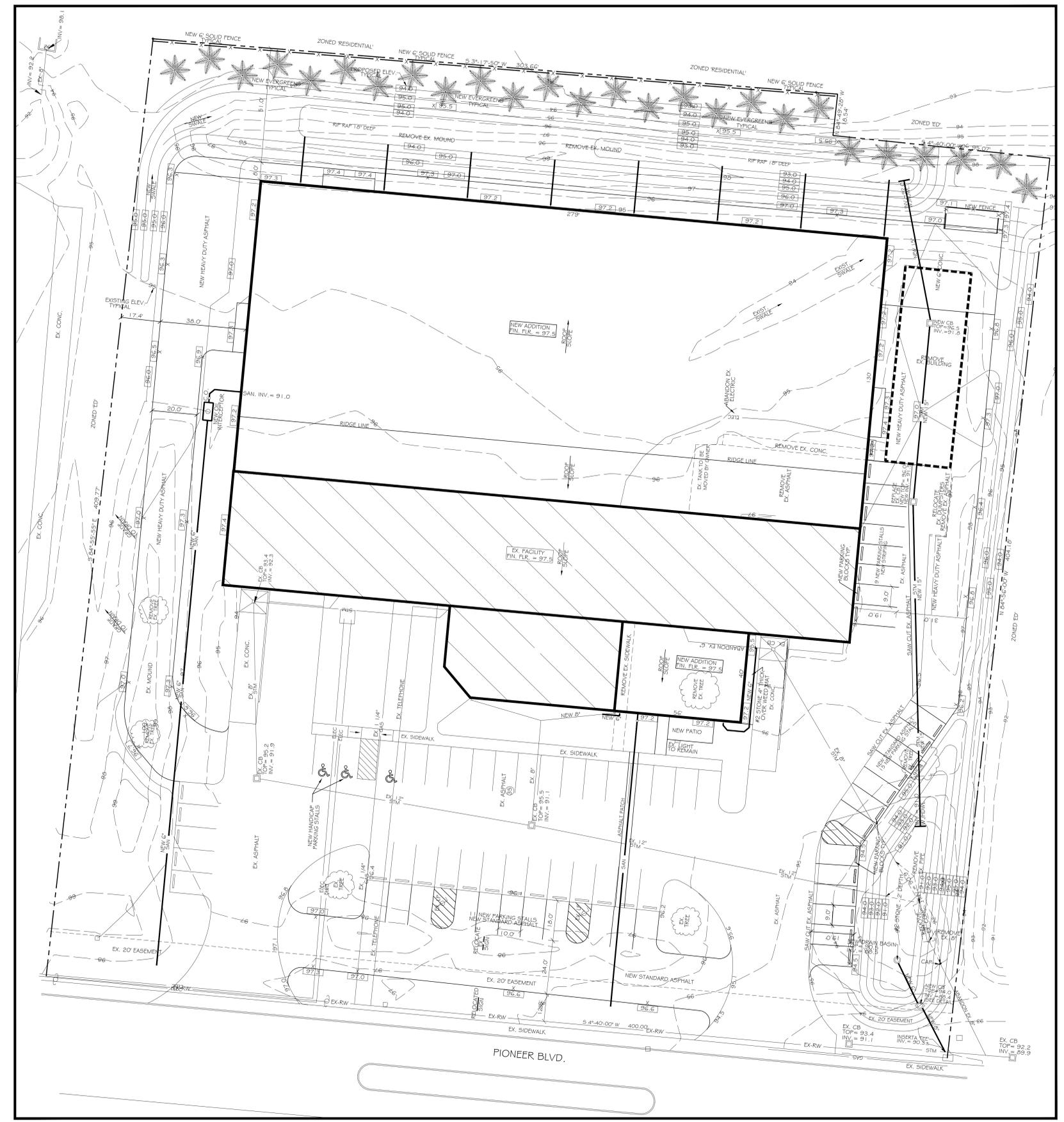
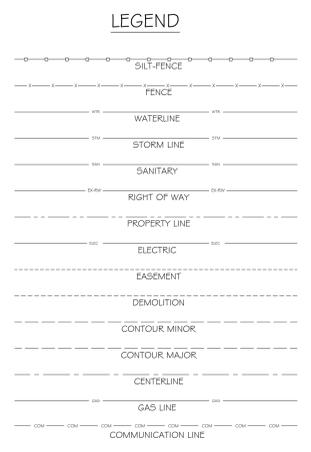
Job Number	E-44001
Date	03/21/24
Drawn By	JWM
Checked By	JWM

SITE PLAN & NOTES

C-1.1



LANDSCAPE LEGEND				
QTY.	SYMB.	COMMON NAME	BOTANICAL NAME	SIZE
26	*	EVERGREENS		6'
		ARBORVITAE, GREEN GIANT	THUJA PLICATA 'GREEN GIANT'	



LANDSCAPE PLAN SCALE : 1" = 20'-0"

Revisions		
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Checked By	JWM

LANDSCAPE PLAN
L-1.1

ELECTRICAL NOTES

OFFICE AREAS TO RECEIVE 50-60 FOOT CANDLES OF 2' x 4' RECESSED LED LIGHTING. LIGHTING IN CONFERENCE ROOMS TO HAVE DIMMER SWITCH.
EXISTING ELECTRICAL SYSTEMS IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

MANUFACTURING AREA TO RECEIVE 50 FOOT CANDLES OF SUSPENDED 2 x 4 LED HIGH BAY FIXTURES.

PROVIDE EXIT AND EMERGENCY LIGHTS AS REQUIRED.

SEE DOOR SCHEDULE FOR HOOK-UP OF ELECTRIC DOOR OPERATORS.

PROVIDE WALL PACK EXTERIOR SECURITY LIGHTING W/ PHOTOCELL AS REQUIRED.

PROVIDE HOOK-UP OF ALL HVAC EQUIPMENT. VERIFY REQUIREMENTS W/ HVAC SUBCONTRACTOR.

PROVIDE HOOK-UP OF OWNER CRANES.

INSTALL ALL SWITCHES, RECEPTACLES, PHONE OUTLETS, DATA OUTLETS, ETC., FOR A COMPLETE INSTALLATION. INSTALL FLOOR OUTLET IN MIDDLE OF NEW CONFERENCE ROOM FLOORS. EACH REFRIGERATOR, VENDING MACHINE AND MICROWAVE TO BE ON ITS OWN RECEPTACLE.

INSTALL RECEPTACLES ON COLUMNS AT 25' O/C AROUND PERIMETER OF MANUFACTURING ADDITION.

PHONE WIRING AND COMPUTER WIRING TO BE FURNISHED AND INSTALLED BY OWNER.

ELECTRICAL HOOK-UP OF OWNER MACHINERY IS NOT INCLUDED.

VERIFY CAPACITY OF EXISTING SERVICE AND INSTALL LARGER SERVICE IF REQUIRED.

WHERE FORKLIFTS OPERATE NEAR ELECTRICAL PANELS, PROVIDE HIGHWAY TYPE GUARDRAIL W/ FLARED ENDS MOUNTED ON W6X9 WIDEFLANGE POSTS W/ 1/2" TK. X 10" X 10" BASE PLATE ANCHORED TO CONCRETE FLOOR W/ (4) 3/4" DIA. EXPANSION ANCHORS. TOP OF GUARDRAIL TO BE 2'-6" A.F.F. GUARDRAIL TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. ELECTRICAL SUBCONTRACTOR TO COORDINATE W/ G.C. EXACT LOCATIONS.

PROVIDE METAL BUILDING GROUNDING AS REQUIRED.

ALL GROUNDING ELECTRODES PER N.E.C. 250.52 - METAL UNDERGROUND WATER PIPE, METAL FRAME OF THE BUILDING OR STRUCTURE, CONCRETE ENCASED ELECTRODE, GROUND RING, ROD AND PIPE ELECTRODES, AND / OR PLATE ELECTRODES THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE GROUNDING ELECTRODES EXIST, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN N.E.C. 250.52 (A) (4) THROUGH (A) (7) SHALL BE INSTALLED AND USED.

REFERENCE PROVISIONS REQUIRED DURING THE CONSTRUCTION OF THE FOUNDATION TO ALLOW THE REINFORCING (CONCRETE ENCASED ELECTRODE) TO BE BONDED TO THE REMAINDER OF THE GROUNDING ELECTRODE SYSTEM.

THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL ELECTRICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

HVAC NOTES

OFFICE ADDITION TO BE HEATED AND COOLED W/ SPLIT SYSTEM GAS FIRED FURNACE AND ELECTRIC AIR CONDITIONING UNIT. COOLING SYSTEM TO MAINTAIN 74°F INSIDE TEMPERATURE WITH 95°F OUTSIDE TEMPERATURE. HEATING SYSTEM TO MAINTAIN 72°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE. PROVIDE FRESH AIR AS REQUIRED.

EXISTING HVAC SYSTEM IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

RELOCATE EXISTING WALL LOUVER IN MANUFACTURING WALL AT NEW OFFICE ADDITION. ALSO RELOCATE EXISTING WALL MOUNTED EXHAUST FANS ON EXISTING EAST WALL OF MANUFACTURING OR PROVIDE ROOF EXHAUST FANS.

MANUFACTURING AREA TO BE HEATED TO 65°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE WITH GAS FIRED MAKE-UP AIR UNITS SIMILAR TO EXISTING OR OTHER ECONOMICAL OPTIONS. PROVIDE BUILDING VENTILATION WITH WALL MOUNTED EXHAUST FANS AND WALL MOUNTED INTAKE LOUVERS. HVAC SYSTEM NEEDS TO REMOVE WELDING FUMES.

NEW SHOP OFFICE TO BE HEATED AND COOLED W/ PACKAGED TERMINAL AIR CONDITIONING (PTAC) UNITS. COOLING SYSTEM TO MAINTAIN 74°F INSIDE TEMPERATURE W/ 95°F OUTSIDE TEMPERATURE. HEATING SYSTEM TO MAINTAIN 72°F INSIDE TEMPERATURE W/ 0°F OUTSIDE TEMPERATURE. PROVIDE FRESH AIR AS REQUIRED.

PROVIDE SMOKE DETECTORS IN HVAC EQUIPMENT AS REQUIRED.

PROVIDE TOILET EXHAUST BY HVAC SUBCONTRACTOR. ELECTRIC HOOK-UP BY ELECTRICAL SUBCONTRACTOR.

WALL MOUNTED LOUVERS AND WALL MOUNTED EXHAUST FANS IN METAL WALL PANEL SYSTEMS TO HAVE NO FLANGES.

THE MECHANICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL MECHANICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

PLUMBING NOTES

WATER LINES INSIDE OF BLDG. TO BE TYPE 'L' HARD COPPER. INSTALL WATER LINE TO NEW TRENCH AREA FOR FILLING LARGE TANKS.

WATER LINES OUTSIDE OF BLDG. TO BE TYPE 'K' SOFT COPPER.

SANITARY PIPING TO BE PVC PLASTIC.

GAS LINES TO BE BLACK STEEL SCHEDULE 40.

INSULATE ALL ABOVE GROUND HOT AND COLD WATER LINES.

WATER CLOSETS TO BE FLOOR MOUNTED, FLUSH VALVE.

URINALS TO BE WALL HUNG, FLUSH VALVE.

LAVATORIES TO BE WALL HUNG AND SET IN COUNTERTOPS. SEE LOCATIONS.

ELECTRIC WATER COOLERS TO BE WALL HUNG, DUAL HEIGHT, HANDICAP TYPE WITH WATER BOTTLE FILLER.

FLOOR DRAINS TO BE 5" DIAMETER POLISHED BRASS.

HOT WATER HEATER BY PLUMBING SUBCONTRACTOR.

PROCESS PIPING AND/OR DRAINS FOR OWNERS EQUIPMENT NOT INCLUDED.

WASH FOUNTAINS TO BE BRADLEY (OR EQUAL) 54" DIAMETER CIRCULAR DEEP BOWL PRECAST TERRAZZO W/ FOOT CONTROL COMPLETE W/ LIQUID SOAP DISPENSER.

INSTALL ONE EYE WASH STATION ALONG NORTH WALL OF MANUFACTURING.

EXISTING PLUMBING SYSTEM IN RENOVATED AREA TO BE REWORKED AS REQUIRED.

INSTALL NEW PLUMBING ITEMS AS SHOWN AND HOOK-UP TO EXISTING SYSTEM.

ALL SINK FAUCETS ARE TO BE WRIST BLADE TYPE FOR HANDICAPPED USE.

INSTALL STAINLESS STEEL SINKS AT COUNTER AREAS WHERE SHOWN W/ WRIST BLADE LEVERS AND LARGE GOOSENECK FAUCETS.

WATER CLOSETS SHALL BE EQUIPPED WITH SEATS OF SMOOTH, NON-ABSORBANT MATERIAL OF THE HINGED, OPEN-FRONT TYPE PER O.P.C. 420.3.

AIR COMPRESSOR AND AIR PIPING TO BE FURNISHED AND INSTALLED BY OWNER.

THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL PLUMBING DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT.

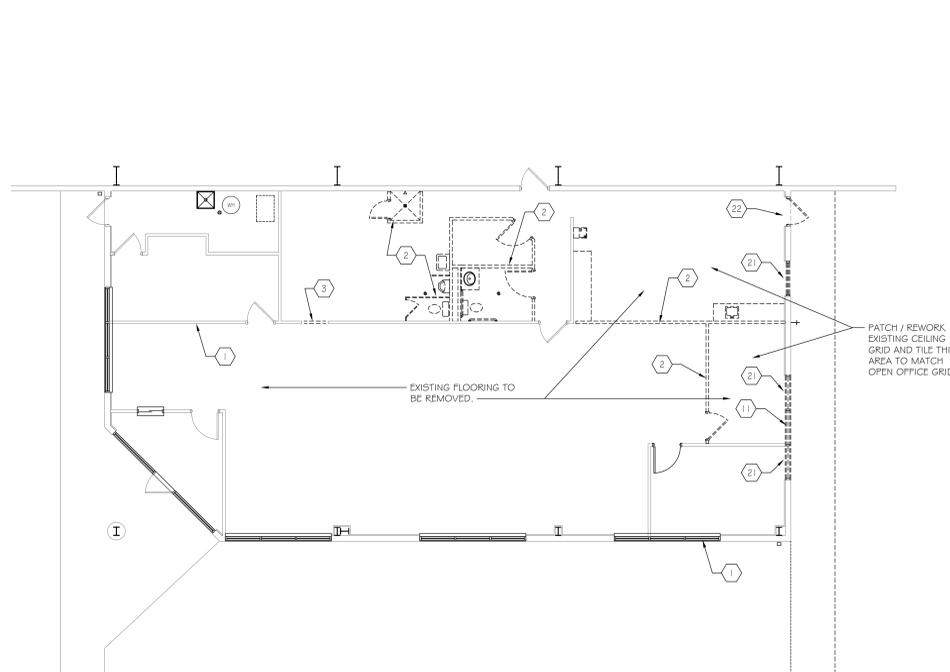
SPRINKLER NOTES

AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED IN THE BUILDING.

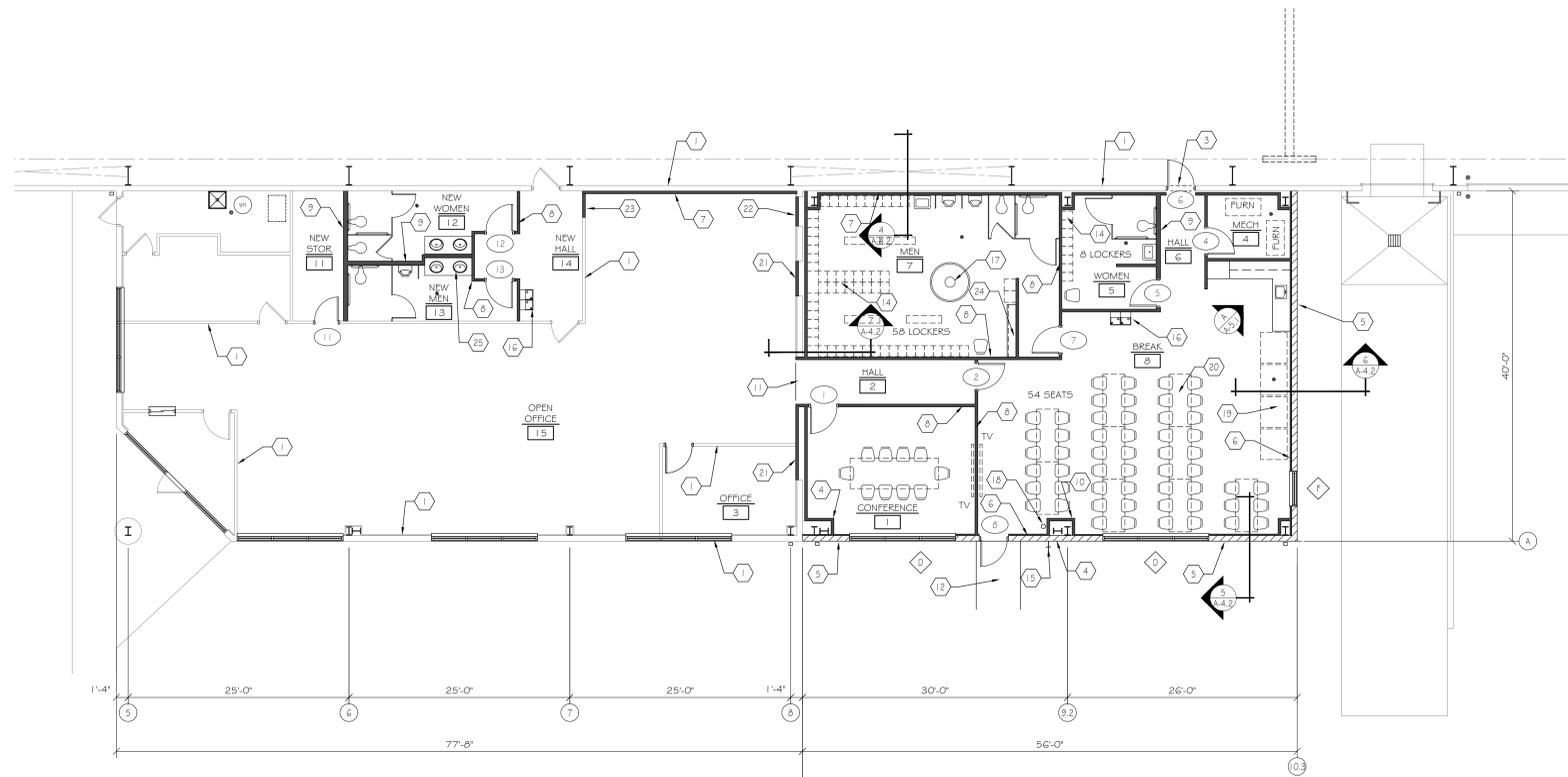
ONE EXISTING SPRINKLER HEAD IN SUPPLIES ROOM TO BE REMOVED. NO LONGER REQUIRED.

CONSTRUCTION NOTES

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING WALL CONSTRUCTION TO BE REMOVED.
- EXISTING WALL CONSTRUCTION TO BE REMOVED FOR INSTALLATION OF NEW DOOR AND FRAME. PATCH EXISTING WALL SURFACES AS REQUIRED.
- PORTAL FRAME BRACING.
- 8" THICK CONCRETE BLOCK WALL W/ MASONRY WALL REINFORCING EVERY THIRD COURSE, FOAM INSULATION, BOND BEAM, #5 VERTICAL REINFORCING GROUTED SOLID @ 4'-0" O/C AND MASONRY CONTROL JOINTS @ 24'-0" O/C MAXIMUM.
- 5/8" THICK GYPSUM DRYWALL ON ONE SIDE OF 2" RIGID INSULATION AND FURRING.
- 5/8" THICK GYPSUM DRYWALL ON ONE SIDE OF 3-5/8" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 3-1/2" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS.
- 5/8" THICK GYPSUM DRYWALL BOTH SIDES OF 3-5/8" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 3-1/2" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS.
- 5/8" THICK GYPSUM DRYWALL BOTH SIDES OF 6" THICK METAL STUDS @ 16" O/C, 25 GAUGE TO ABOVE CEILINGS W/ 6" THICK FIBERGLASS BATT INSULATION BETWEEN STUDS.
- BOX AROUND STEEL COLUMNS W/ 5/8" THICK GYPSUM DRYWALL ON METAL STUDS (BOX TO BE MINIMUM SIZE).
- REMOVE SECTION OF WALL AND INSTALL DRYWALL CASSED HEADER AT 8'-0" ABOVE FINISH FLOOR.
- 4" THICK POURED CONCRETE APRON REINFORCED WITH ONE LAYER OF 2# WWF ON 6" CUSHION FILL.
- 6" THICK POURED CONCRETE APRON REINFORCED WITH ONE LAYER OF 4# WWF ON 6" CUSHION FILL.
- LOCKERS AND BENCHES FURNISHED AND INSTALLED BY OWNER.
- FROST PROOF HOSE BIBB BY PLUMBING SUBCONTRACTOR.
- DUAL HEIGHT HANDICAP TYPE ELECTRIC WATER COOLER BY PLUMBING SUBCONTRACTOR.
- 54" DIAMETER CIRCULAR WASH FOUNTAIN BY PLUMBING SUBCONTRACTOR.
- FIRE EXTINGUISHERS FURNISHED AND INSTALLED BY OWNER. TOP MOUNTED AT 4'-0" AFF.
- VENDING MACHINES FURNISHED AND INSTALLED BY OWNER.
- FURNITURE FURNISHED AND INSTALLED BY OWNER.
- REMOVE EXISTING WINDOW AND INFILL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- REMOVE EXISTING DOOR AND INFILL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- INFILL EXISTING WALL OPENING WITH DRYWALL AND METAL STUDS AND INSULATION.
- NEW 6" LONG SHELF AND ROD BY GENERAL CONTRACTOR.
- NEW SOLID SURFACE COUNTERTOP. SEE DETAIL B SHEET A-6.1



EXISTING OFFICE DEMO PLAN SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN SCALE: 1/8" = 1'-0"

Revisions

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NOT FOR CONSTRUCTION

NEW BUILDING ADDITION
FOR
BUCKEYE FABRICATING
WARREN COUNTY
245 S. PIONEER BOULEVARD
SPRINGBORO, OHIO 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
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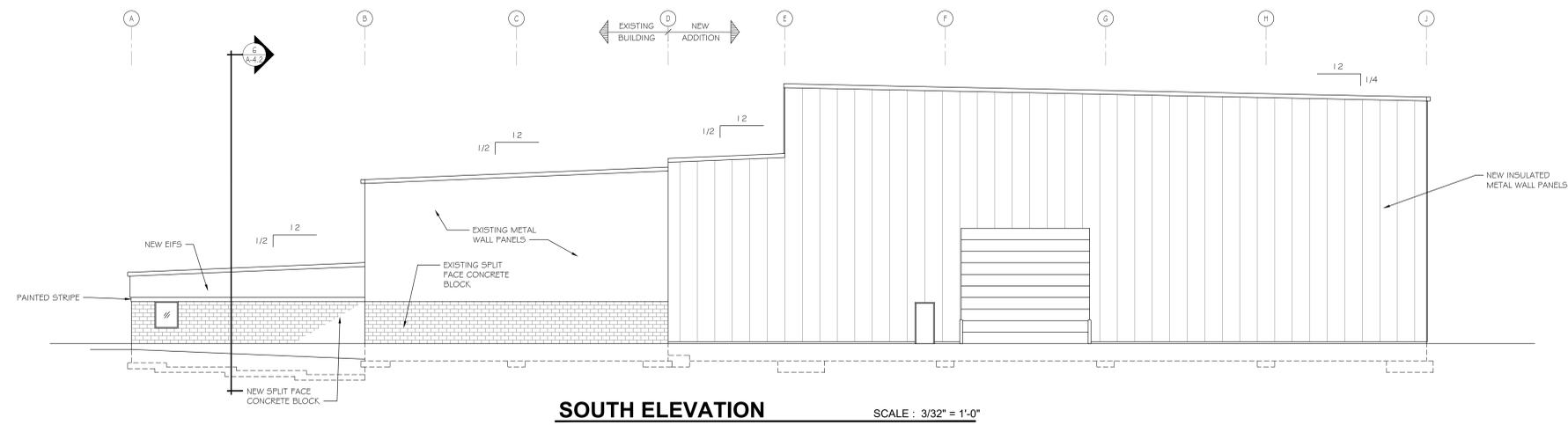
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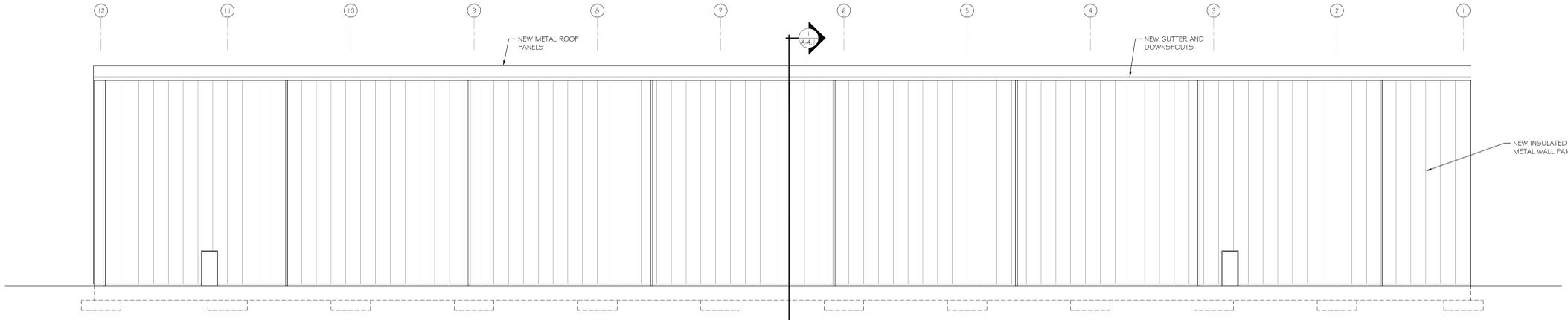
Job Number **E-44001**
Date **03/21/24**
Drawn By **JTS**
Checked By **JWM**

ENLARGED
FLOOR PLAN

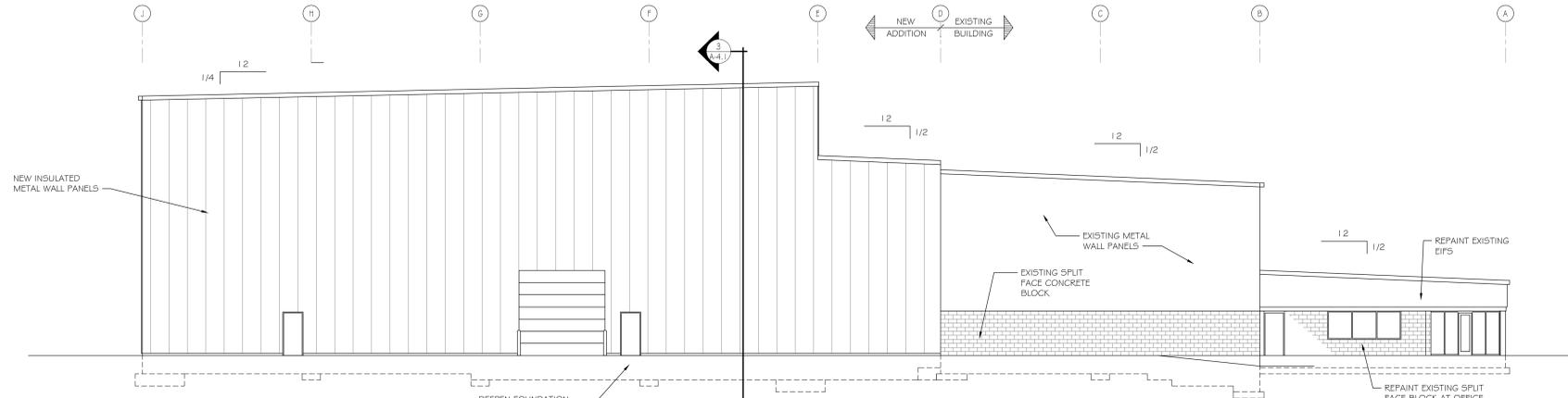
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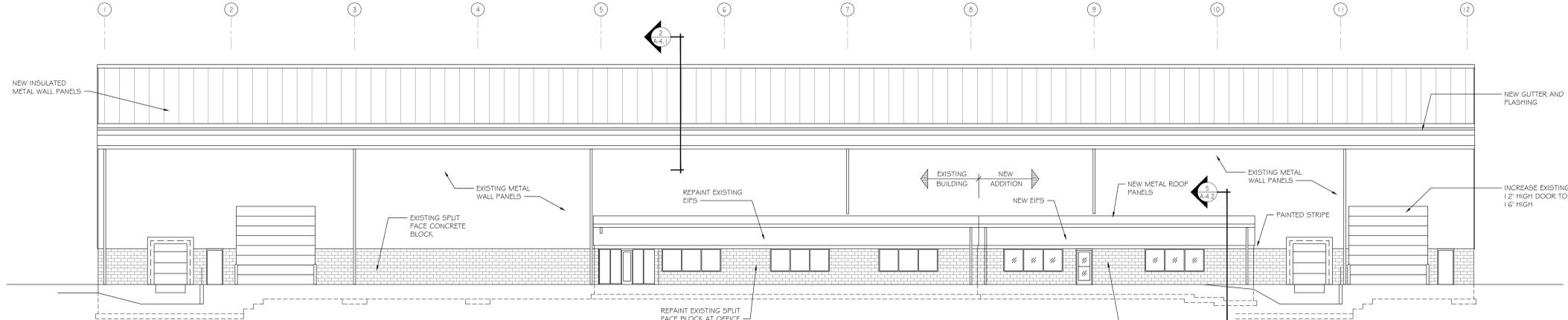
SOUTH ELEVATION SCALE : 3/32" = 1'-0"



EAST ELEVATION SCALE : 3/32" = 1'-0"



NORTH ELEVATION SCALE : 3/32" = 1'-0"



WEST ELEVATION SCALE : 3/32" = 1'-0"

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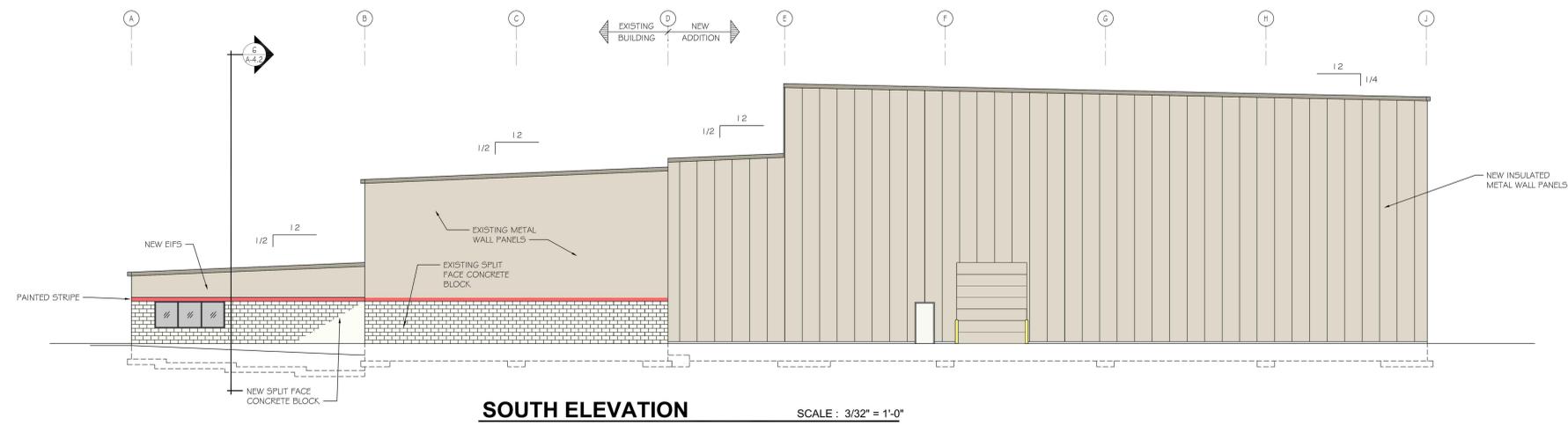
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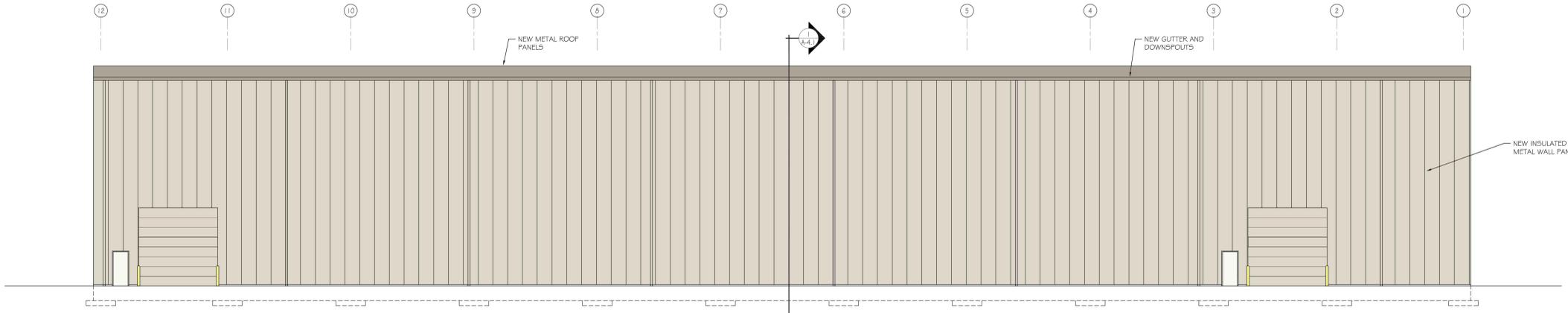
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EXTERIOR ELEVATIONS

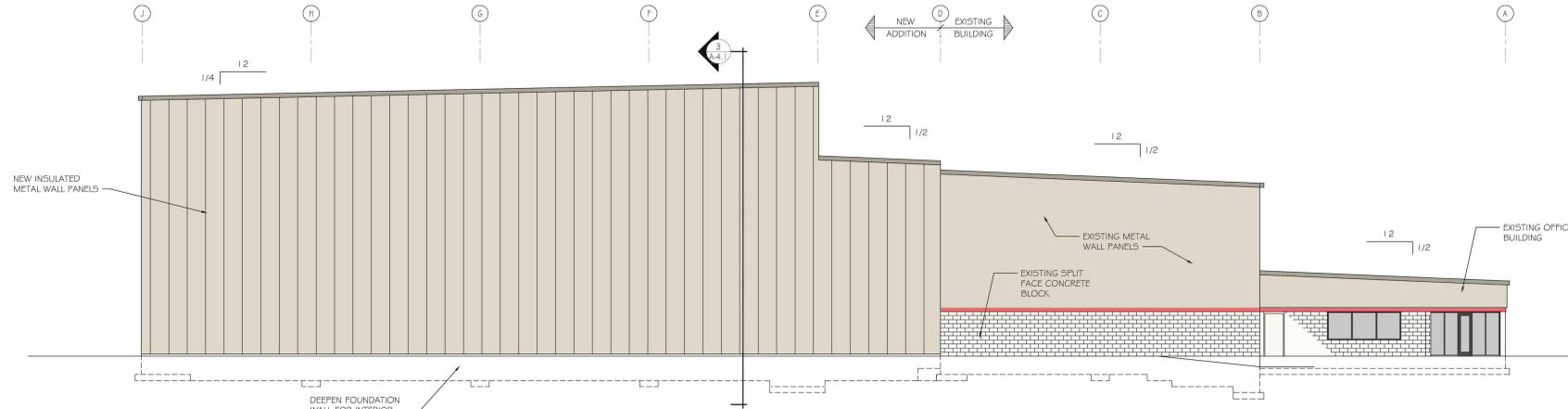
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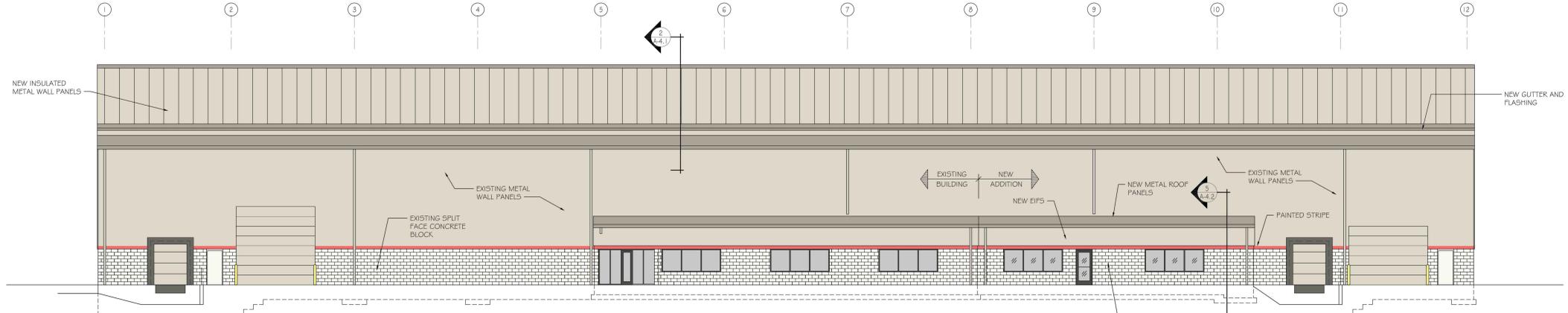
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E-44001
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Job Number **E-44001**
Date **02/07/24**
Drawn By **JTS**
Checked By **JWM**

EXTERIOR ELEVATIONS

A-3.1

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase Contract

APPLICANT NAME: M/I Homes of Cincinnati, LLC

Address 9349 Waterstone Blvd. Suite 100
Cincinnati, OH 45249

Telephone No. (513) 833-2206

Fax No. () N/A

Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Peter S. Morris, Successor Trustee

Address: 1525 S. Main Street
Springboro, OH 45066

Telephone No. (407) 786-5125

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): 08182000131 & 08182000132 Acreage: 35.62

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75 + existing house

Proposed Use: 75 for sale new homes with a typical lot size of 62'x135'

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



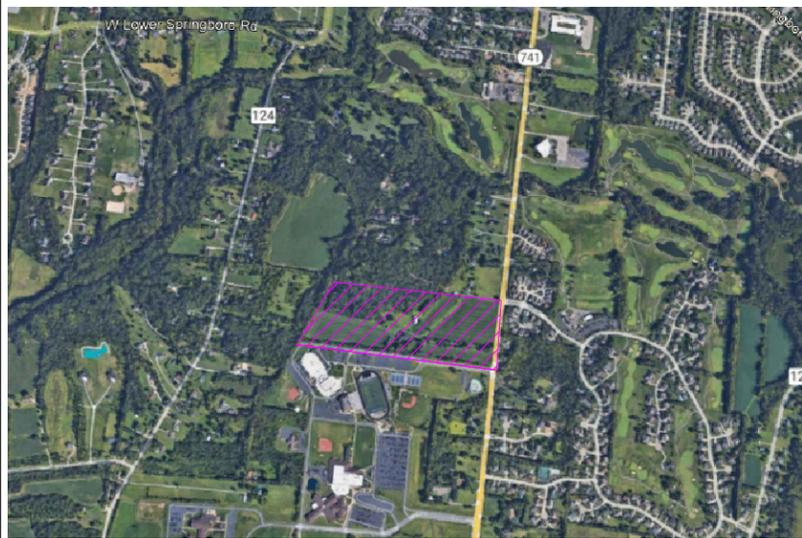
(Signature of Applicant and/or Agent)

2/21/24

(Date)

Justin Lanham

Printed Name



VICINITY MAP 1"=1000'



ZONING MAP: 1"=1000'

	R-1	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
	R-2	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
	R-3	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
	HBD	(HBD) HIGHWAY BUSINESS DISTRICT
	LBD	(LBD) LOCAL BUSINESS DISTRICT
	CBD	(CBD) CENTRAL BUSINESS DISTRICT
	UVD	(UVD) URBAN VILLAGE DISTRICT
	M-1	(M-1) LIGHT MANUFACTURING DISTRICT
	M-2	(M-2) HEAVY MANUFACTURING DISTRICT
	ED	(ED) EMPLOYMENT CENTER DISTRICT
	PUD	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
	PUD-MU	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
	PUD-O	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
	PUD-B	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
	PUD-R	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
	O-R	(O-R) OFFICE-RESIDENTIAL DISTRICT
	O	(O) OFFICE PARK DISTRICT
	ADD-1	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
	ADD-2	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

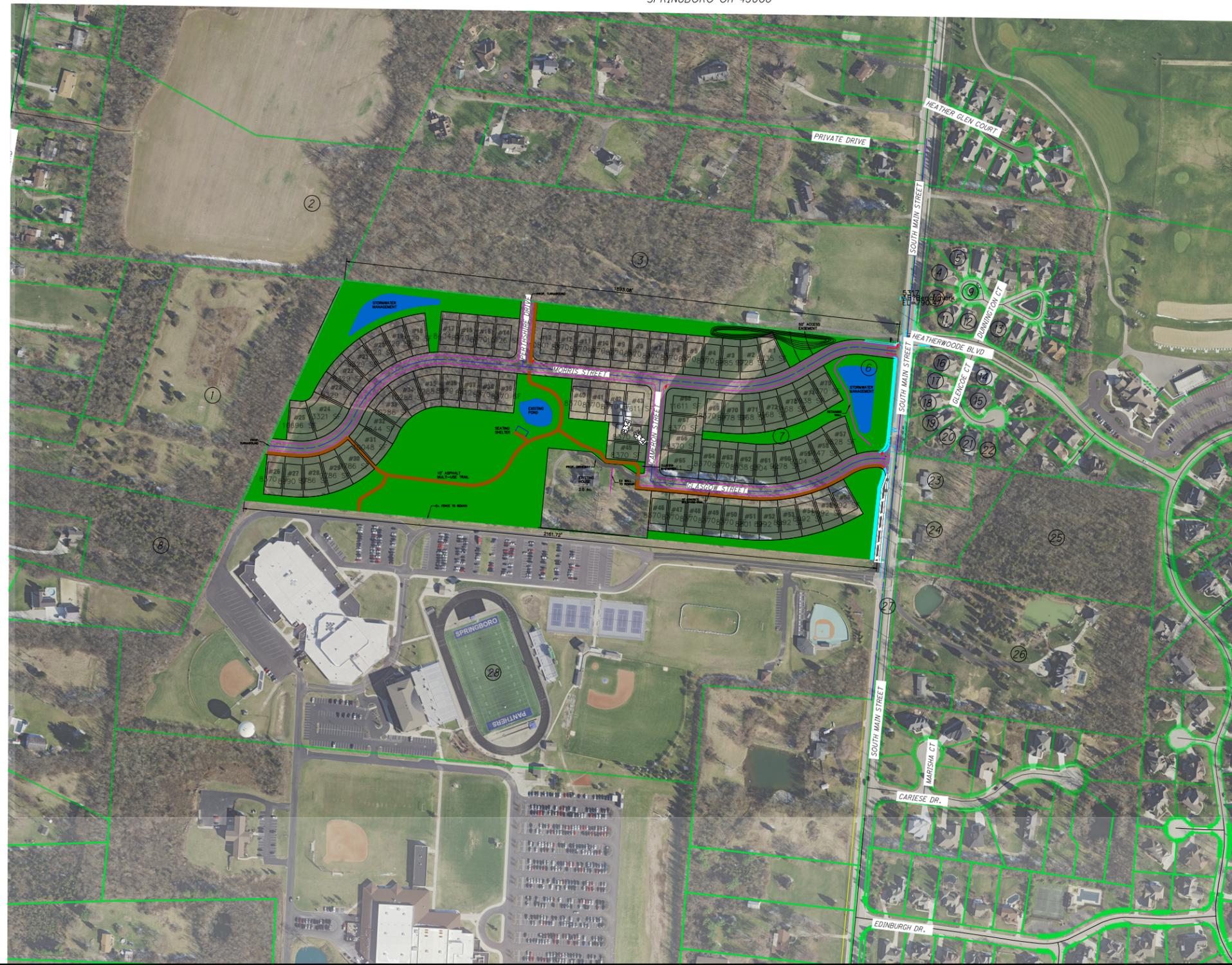
- 1 KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066
- 2 SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
STE 300
MIAMISBURG OH 45342
- 3 CALMES SANDRA L
1405 S MAIN ST
SPRINGBORO OH 45066
- 4 PENWELL PHILLIP L & BARBARA J
23 DUNNINGTON CT
SPRINGBORO OH 45066
- 5 BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066
- 6 MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066

- 7 MORRIS PETER S TRUSTEE
1525 S MAIN ST
SPRINGBORO OH 45066
- 8 FERGUSON REBECCA A
6584 WEIDNER RD
SPRINGBORO OH 45066
- 9 SIR EDWARDS GLEN OWNERS
ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066
- 10 CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066
- 11 MCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066
- 12 ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066

- 13 GOLLIHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
SPRINGBORO OH 45066
- 14 MUNTZ GARY W & MARY L
10 GLENCOE CT
SPRINGBORO OH 45066
- 15 BURCH KEVIN W
30 GLENCOE CT
SPRINGBORO OH 45066
- 16 BURNS PATRICK & PAMELA
5 GLENCOE CT
SPRINGBORO OH 45066
- 17 VALENTINO NICHOLAS V
15 GLENCOE CT
SPRINGBORO OH 45066
- 18 ASHBY HULAN C
25 GLENCOE CT
SPRINGBORO OH 45066

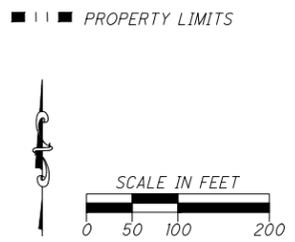
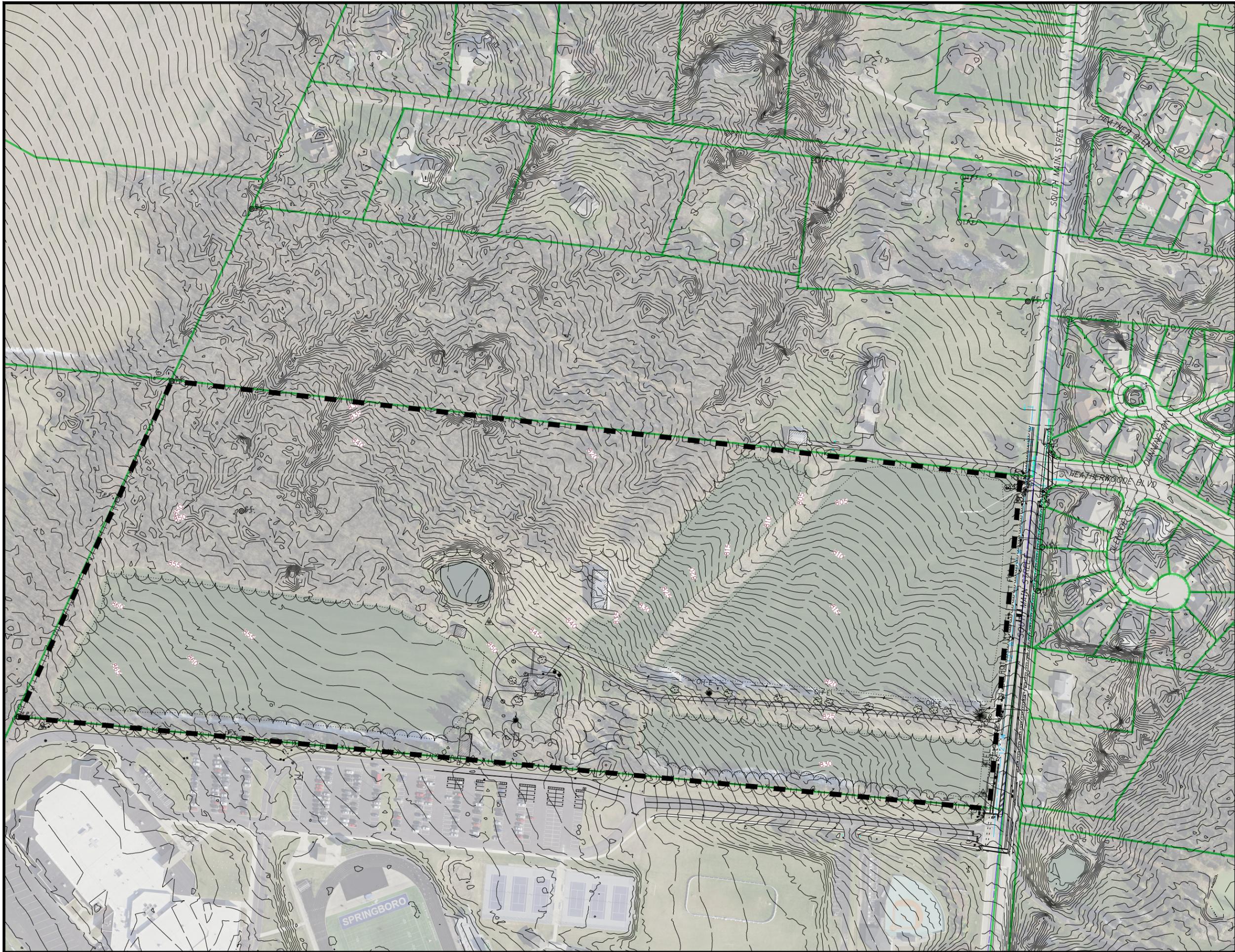
- 19 RUTLEDGE LARRY R JR
35 GLENCOE CT
SPRINGBORO OH 45066
- 20 HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
SPRINGBORO OH 45066
- 21 MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066
- 22 SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066
- 23 CARNES RALPH M & MELANIE A
5707 WEIDNER RD
SPRINGBORO OH 45066
- 24 CARNES MICHAEL A
1520 S MAIN ST
SPRINGBORO OH 45066

- 25 CRANE ROBERT M & REGINA
138 TIMBERSIDE CT
SPRINGBORO OH 45066
- 26 DO DAKLAK CAO & DAKBLA TRAN
1550 S MAIN ST
SPRINGBORO OH 45066
- 27 CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066
- 28 SPRINGBORO COMMUNITY
CITY SCHOOLS
1685 S MAIN ST
SPRINGBORO OH 45066



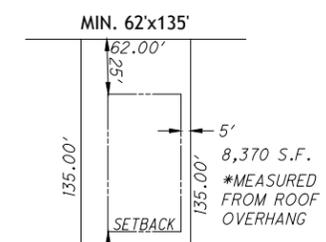
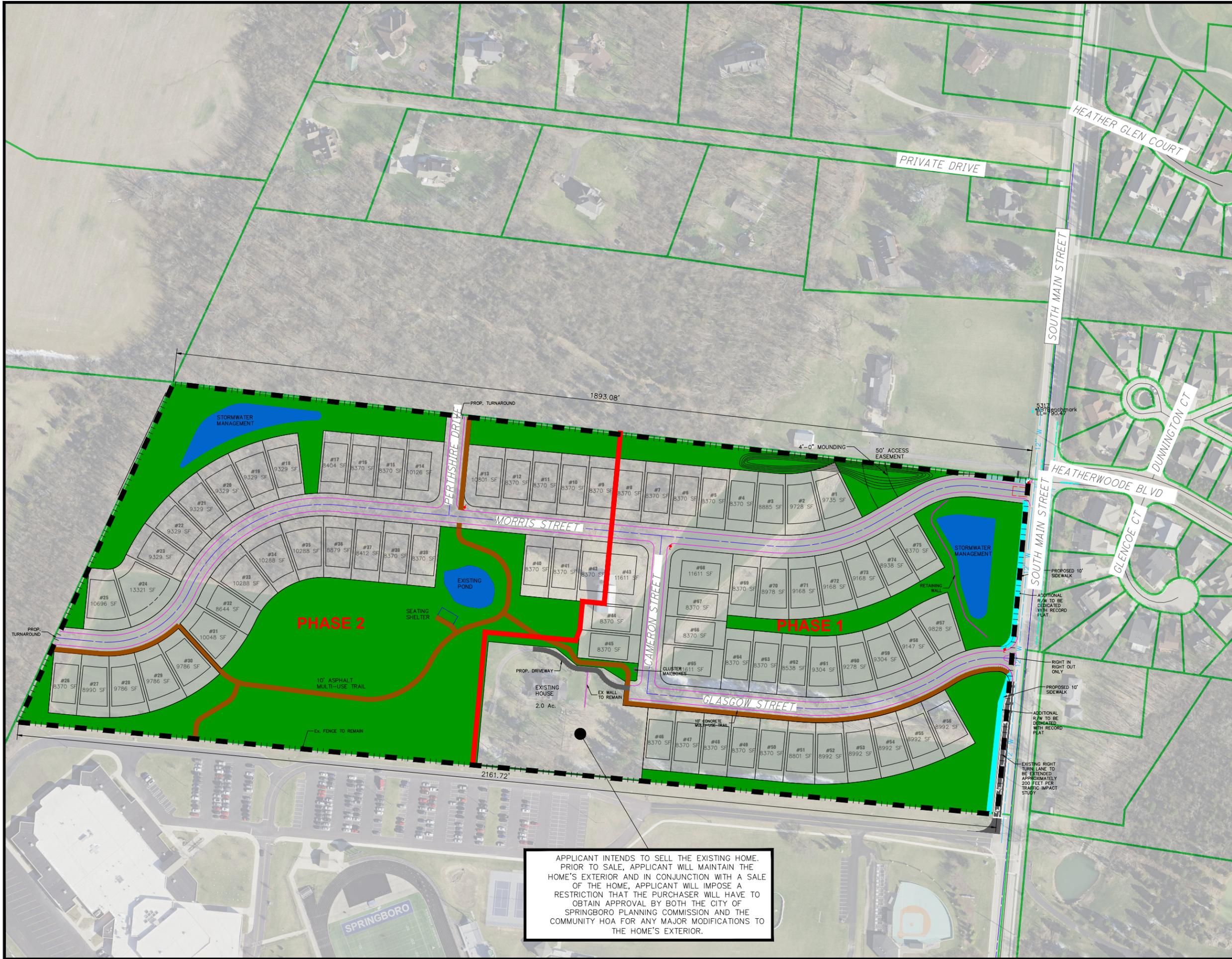
REVISIONS:

FILE NAME	VICINITY
DRAWN BY	R.J.L
CHECKED BY	R.J.L
PROJECT No.	WARSPR2303
DATE	04-19-2024
SHEET NUMBER	1 OF 12



**NORTHAMPTON
CITY OF SPRINGBORO
EXISTING CONDITIONS**

REVISIONS:
FILE NAME Ex GRADING
DRAWN BY R.J.L.
CHECKED BY R.J.L.
PROJECT No. WARSPR12303
DATE 04-19-2024
SHEET NUMBER 2 OF 12



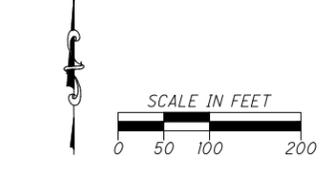
MIN. 62'x135'
 STREET
 MINIMUM LOT
 8,370 S.F.
 MIN. DWELING UNIT
 FLOOR AREA
 1,544 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
 INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.
 SUMMARY TABLE:
 PROPOSED USE: SINGLE FAMILY RESIDENCE
 NUMBER OF DWELLING UNITS: 75
 1 EXISTING HOUSE: 2.00 Ac.
 NET DENSITY OF RESIDENTIAL USES:
 75 UNITS / 35.62 Ac.
 = 2.11 UNITS / ACRE
 EXISTING ZONING: R-1 ZONING
 PROPOSED ZONING: PUD-R ZONING
 OPEN SPACE: 12.85 Ac. / 36.1%
 ACTIVE OPEN SPACE: 7.31 Ac. / 20.5%
 STORMWATER MANAGEMENT: 0.73 Ac. / 2%
 BUFFER AREA: 4.81 Ac. / 13.5%
 75 LOTS 62'x135'

FRONT SETBACK = 25'
 REAR SETBACK = 25'
 SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG
 PHASE 1 - 41 LOTS, 1 EXISTING HOUSE
 PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPOSED PHASE LINE
- PROPERTY LIMITS



APPLICANT INTENDS TO SELL THE EXISTING HOME. PRIOR TO SALE, APPLICANT WILL MAINTAIN THE HOME'S EXTERIOR AND IN CONJUNCTION WITH A SALE OF THE HOME, APPLICANT WILL IMPOSE A RESTRICTION THAT THE PURCHASER WILL HAVE TO OBTAIN APPROVAL BY BOTH THE CITY OF SPRINGBORO PLANNING COMMISSION AND THE COMMUNITY HOA FOR ANY MAJOR MODIFICATIONS TO THE HOME'S EXTERIOR.

NORTHAMPTON
CITY OF SPRINGBORO
CONCEPTUAL PLAN

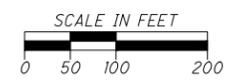
REVISIONS:

FILE NAME	PHASE
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	04-19-2024
SHEET NUMBER	3 OF 12



EROSION CONTROL PROVISIONS
WILL BE HANDLED IN THE
CONSTRUCTION PLANS WITH AN
OEPA SWPPP.

— PROPOSED CONTOURS
■ ■ ■ PROPERTY LIMITS



**NORTHAMPTON
CITY OF SPRINGBORO
PRELIMINARY GRADING PLAN**

REVISIONS:

FILE NAME
GRADING

DRAWN BY
R/JL

CHECKED BY
R/JL

PROJECT No.
WARSPR12303

DATE
04-19-2024

SHEET NUMBER

4 OF 12



LEGEND

- PROP. WATER MAIN
- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. STORM MAIN
- PROP. SANITARY MANHOLE
- PROP. SANITARY MAIN
- Ex. SANITARY MAIN
- Ex. WATER MAIN
- SETBACK LINE

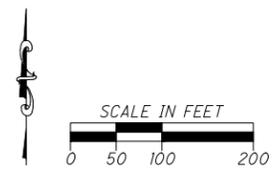
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

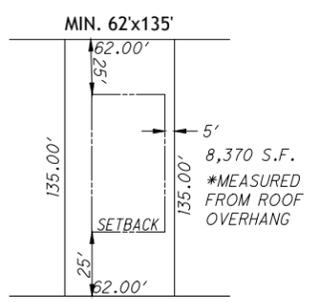
Choice One
Engineering

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

NORTHAMPTON
CITY OF SPRINGBORO
PRELIMINARY UTILITY PLAN

REVISIONS:
FILE NAME UTILITY
DRAWN BY R/JL
CHECKED BY R/JL
PROJECT No. WARSPR12303
DATE 04-19-2024
SHEET NUMBER 5 OF 12





MINIMUM LOT
8,370 S.F.
AVERAGE LOT
9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.

SUMMARY TABLE:

PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELLING UNITS: 75

1 EXISTING HOUSE: 2.00 Ac.

NET DENSITY OF RESIDENTIAL USES:
75 UNITS / 35.62 Ac.
= 2.11 UNITS / ACRE

EXISTING ZONING: R-1 ZONING

PROPOSED ZONING: PUD-R ZONING

OPEN SPACE: 12.85 Ac. / 36.1%
ACTIVE OPEN SPACE: 7.31 Ac. / 20.5%
STORMWATER MANAGEMENT: 0.73 Ac. / 2%
BUFFER AREA: 4.81 Ac. / 13.5%

75 LOTS 62x135'

FRONT SETBACK = 25'
REAR SETBACK = 25'
SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG

PHASE 1 - 41 LOTS, 1 EXISTING HOUSE
PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



REVISIONS:

FILE NAME
DIMENSION 1

DRAWN BY
R.J.L.

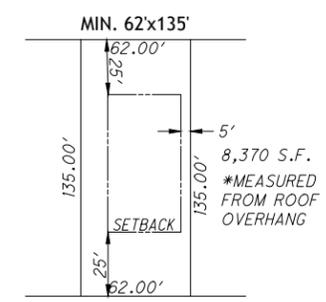
CHECKED BY
R.J.L.

PROJECT No.
WARSPR12303

DATE
04-19-2024

SHEET NUMBER

6 OF 12



STREET
MINIMUM LOT
 8,370 S.F.
AVERAGE LOT
 9,000 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH. INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 35.62 Ac.

SUMMARY TABLE:

PROPOSED USE: SINGLE FAMILY RESIDENCE
 NUMBER OF DWELLING UNITS: 75

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PHASE 1 - 41 LOTS, 1 EXISTING HOUSE

PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



REVISIONS:
FILE NAME DIMENSION 2
DRAWN BY R.J.L.
CHECKED BY R.J.L.
PROJECT No. WARSPR12303
DATE 04-19-2024
SHEET NUMBER 7 OF 12

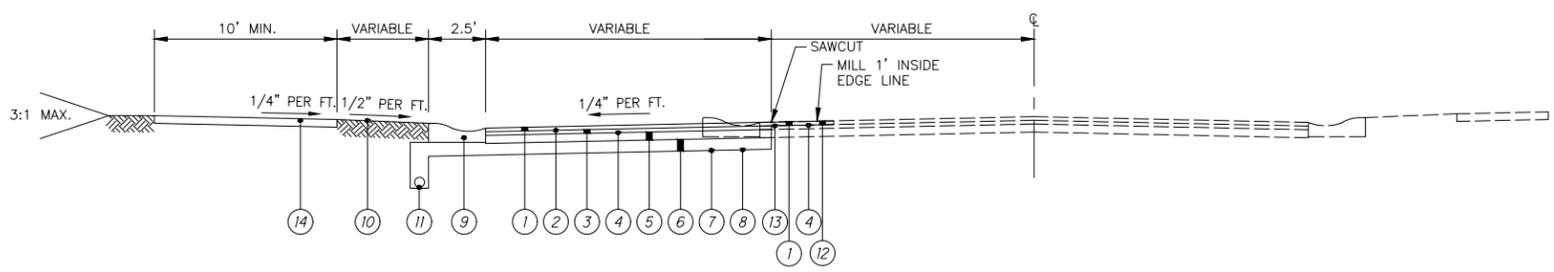
**NORTHAMPTON
CITY OF SPRINGBORO
EXISTING TREE LOCATION EXHIBIT**

REVISIONS:

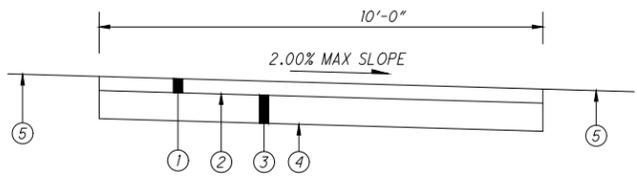
FILE NAME	TREES
DRAWN BY	RJL
CHECKED BY	RJL
PROJECT No.	WARSPR12303
DATE	04-19-2024
SHEET NUMBER	8 OF 12



SYMBOL IN PLAN	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	NUMBER OF TREES ON SITE TO REMAIN	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
●	4.00 - 6 INCHES	74 TREES	1 TREE	74 TREES
●	6.01 - 14 INCHES	95 TREES	2 TREES	190 TREES
●	14.01 - 20 INCHES	54 TREES	3 TREES	162 TREES
●	20.01 + INCHES	14 TREES	4 TREES	56 TREES
TOTALS		237 TREES	4 TREES	482 TREES

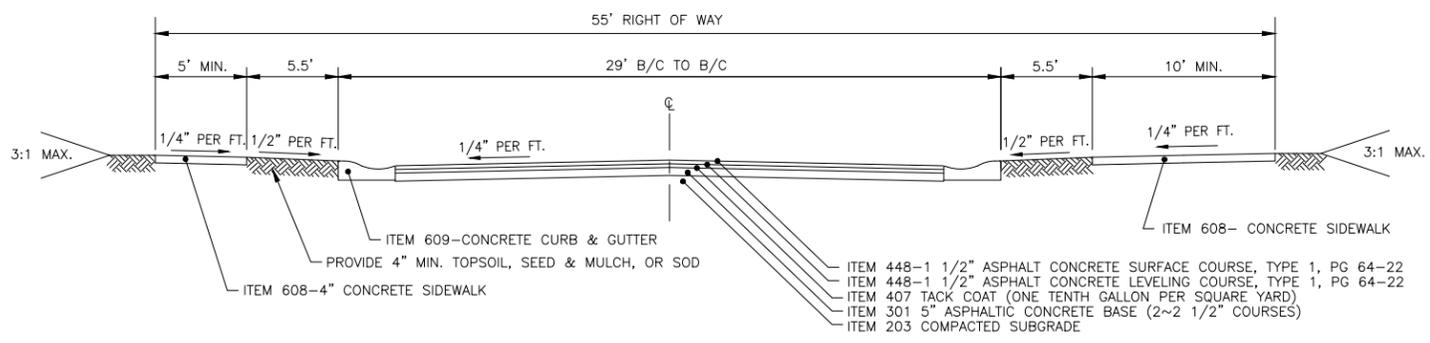


MAIN STREET - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

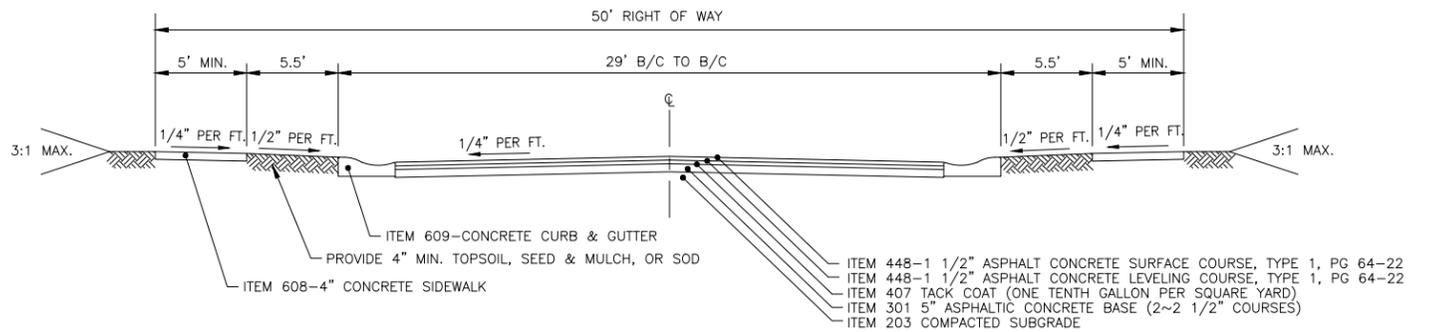


- LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG 64-22
 - ② ITEM 407 - NON-TRACKING TACK COAT @ 0.06 GAL./S.Y.
 - ③ ITEM 301 - 4-1/2" ASPHALT BASE
 - ④ ITEM 204 - SUBGRADE COMPACTION
 - ⑤ ITEM 659 - SEEDING AND MULCHING

- ① ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ② ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ③ ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ④ ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ⑤ ITEM 301 - 6" ASPHALT CONCRETE BASE
- ⑥ ITEM 304 - 8" AGGREGATE BASE (APPLY IN TWO EQUAL COURSES)
- ⑦ ITEM 204 - SUBGRADE COMPACTION
- ⑧ ITEM 204 - PROOF ROLLING
- ⑨ ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ⑩ ITEM 659 - SEEDING AND MULCHING
- ⑪ ITEM 605 - 6" BASE PIPE UNDERDRAIN
- ⑫ ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ⑬ ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ⑭ ITEM 608 - CONCRETE SIDEWALK



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH
PERTSHIRE RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

REVISIONS:
FILE NAME TYPICAL SECTION
DRAWN BY R.J.L.
CHECKED BY R.J.L.
PROJECT No. WARSPR12303
DATE 04-19-2024
SHEET NUMBER 9 OF 12

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SITE DATA:
 TOTAL SITE: 1,551,607 SF
 TOTAL IN R/W: 190,108 SF

LEGEND

217		SHADE TREE
123		EVERGREEN TREE
6		ORNAMENTAL TREE
346 TOTAL		

EXISTING TREES

QTY		
74		4"-6" TRUNK DIAMETER MEASURED AT DBH
95		6.01"-14" TRUNK DIAMETER MEASURED AT DBH
54		14.01"-20" TRUNK DIAMETER MEASURED AT DBH
14		20.01" + TRUNK DIAMETER MEASURED AT DBH

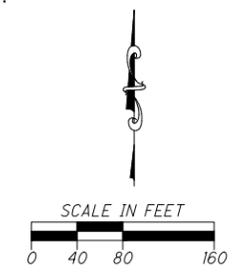
PROPOSED TREES

	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
SHADE TREE	24	185	8
EVERGREEN TREE	91	15	17
ORNAMENTAL TREE		6	

EXISTING TREES

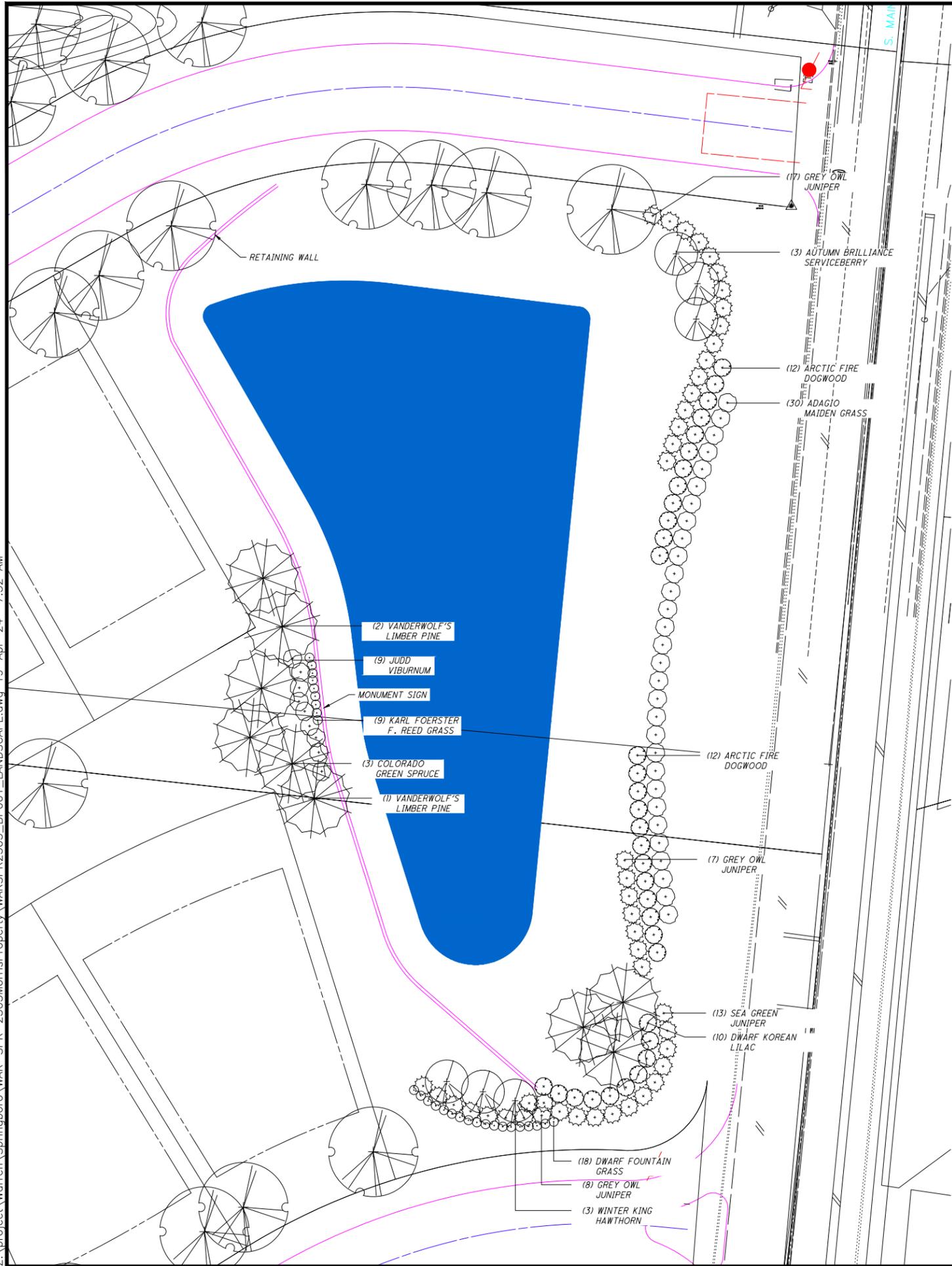
	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
	44		30
	52		43
	39		15
	9		5

NOTE:
 1. LANDSCAPE BUFFERS TO BE MAINTAINED BY HOA
 2. EXISTING TREES ALONG SOUTHERN PROPERTY LINE TO BE USED AS ADDITIONAL BUFFER



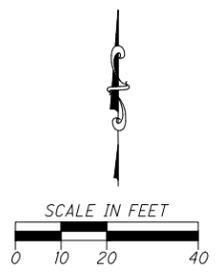
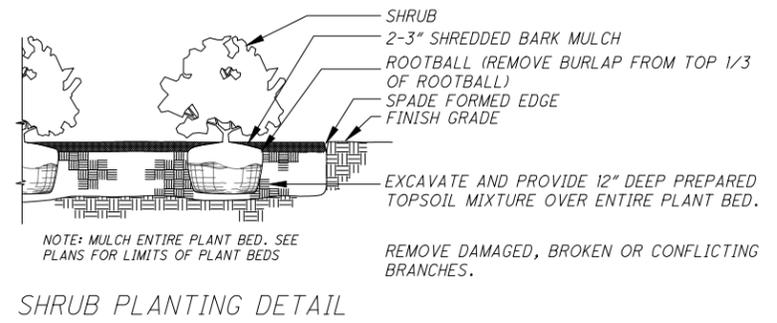
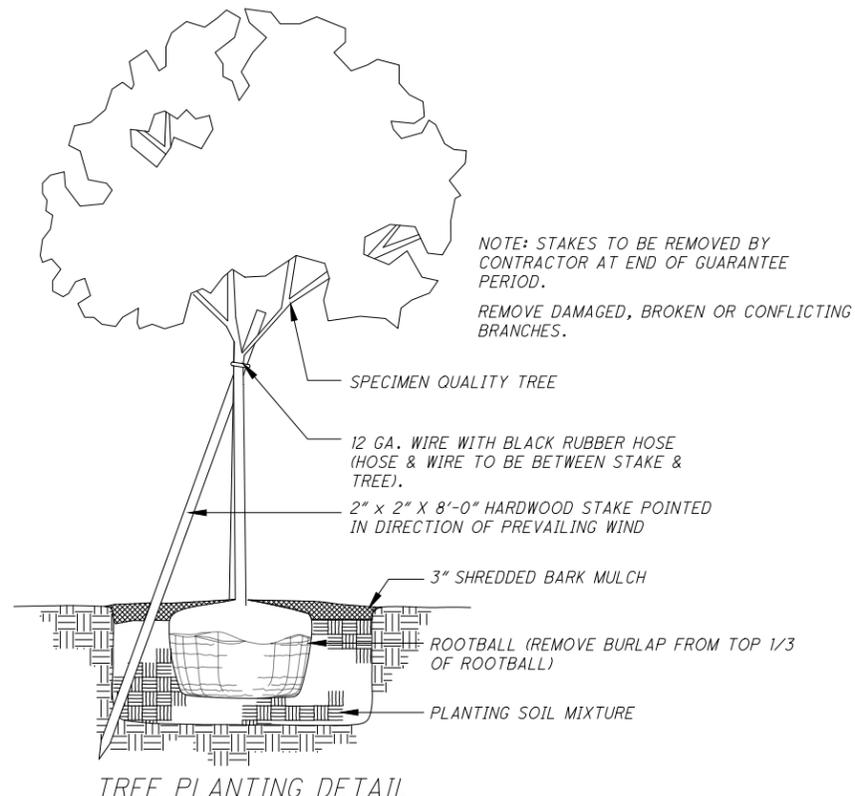
REVISIONS:

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PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
3	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER 'AUTUMN BRILLIANCE'	2" CAL.	B&B
3	WINTER KING HAWTHORN	CRATAEGUS V. 'WINTER KING'	2" CAL.	B&B
3	COLORADO GREEN SPRUCE	PICEA PUNGENS	7' HGT.	B&B
3	VANDERWOLF'S LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	7' HGT.	B&B
SHRUBS				
24	ARCTIC FIRE DOGWOOD	CORNUS S. 'ARCTIC FIRE'	24" SPR.	NO. 5 CONT.
32	GREY OWL JUNIPER	JUNIPER V. 'GREY OWL'	18" SPR.	NO. 3 CONT.
30	ADAGIO MAIDEN GRASS	MISCANTHUS S. 'ADAGIO'	CLUMP	NO. 3 CONT.
13	SEA GREEN JUNIPER	JUNIPERUS CH. 'SEA GREEN'	24" SPR.	B&B
9	JUDD VIBURNUM	VIBURNUM JUDDI	24" SPR.	B&B
9	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	CLUMP	NO. 2 CONT.



REVISIONS:

FILE NAME
ENTRY

DRAWN BY
R.J.L.

CHECKED BY
R.J.L.

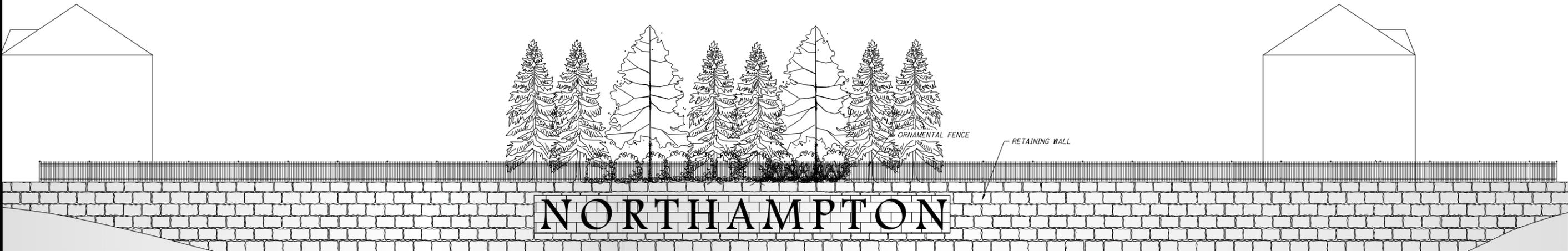
PROJECT No.
WARSPR2303

DATE
04-19-2024

SHEET NUMBER

11 OF 12

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NORTHAMPTON
CITY OF SPRINGBORO
LANDSCAPE PLAN - MONUMENT

REVISIONS:

FILE NAME
MONUMENT
DRAWN BY
R.J.L.
CHECKED BY
R.J.L.
PROJECT No.
WARSPR12303
DATE
04-19-2024
SHEET NUMBER

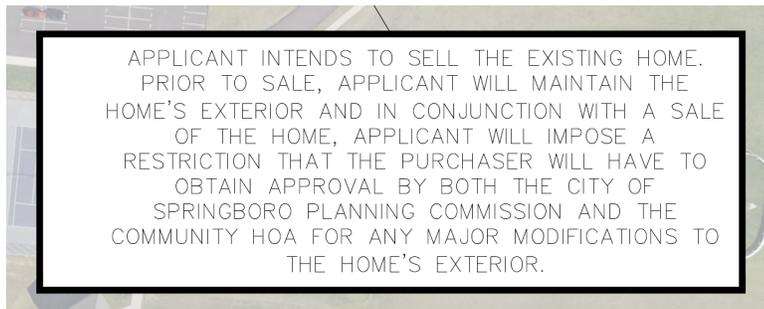
April 19, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton – Final Development Plan Staff Report
Enclosed: Gold Landscape Package (1 Page)
Proposed Cluster Mailboxes and Seating Shelter (1 Page)

Dear Mr. Boron,

We received your staff report for Northampton Final Development Plan dated April 5, 2024 and **AGREE** to all items with #2, #7, #10, #12, and #14 being incorporated into the attached plan. The proposed mechanism for the long-range protection of the Janney House and site within the subdivision (#8) was provided for in our March 22, 2024 submittal (sheet 3 of 12) and is included with this submittal as well (shown below).



1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code. Staff comments are as follows:
 - a. Existing trees identified on sheet 10 of 12 account for an equivalent of 482 trees.
Applicant to commit to those trees maintenance through the construction phase of the subdivision. These trees may be used against landscaping deficiencies in the plan except for street frontage and lot landscaping requirements.

- b. Provide 2 additional trees on north and south property line, and 4 on west property line within 10-foot permanent buffer.
 - c. Provide 3 additional shade/evergreen trees on South Main Street frontage.
 - d. Site landscaping to be provided at rate of one tree/3,000 square feet of site area, less proposed right-of-way. Provide right-of-way acreage proposed for the subdivision.
 - e. Provide 94 additional trees for the internal street system (3,600 linear feet of frontage, 1 tree/40 feet of frontage x 2=180 required, 86 provided).
3. Development signage is not subject to Planning Commission review, however preliminary review by Zoning Inspector for compliance with Sign Code indicates sign message area far exceeds code (40 square feet permitted, 500 square feet proposed). Coordinate with Zoning Inspector on that issue as well as directional and other signage.
 4. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks and 10-foot multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
 5. An HOA shall be developed to maintain all common elements, including but not limited to: detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
 6. Location of central mailbox unit(s) to be reviewed by the Postmaster.
 7. Provide an “eyebrow”/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
 8. Developer to propose mechanism for the long-range protection of the Janney House and site within the subdivision.
 9. Final configuration of the intersection of Glasgow and Cameron Street to be determined.
 10. Revise multiuse trail and sidewalks accordingly:
 - a. Bike path to continue north on Perthshire Drive, formerly Highlands Drive, and stubbed to the north property line.
 - b. Connect proposed sidewalk system to the adjacent school campus.
 - c. Widen path along South Main Street to 10 feet.
 - d. All multiuse trails to be built to current AASHTO standard.
 11. Roadway and utility improvements shall be per city specifications.



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 OFFICE

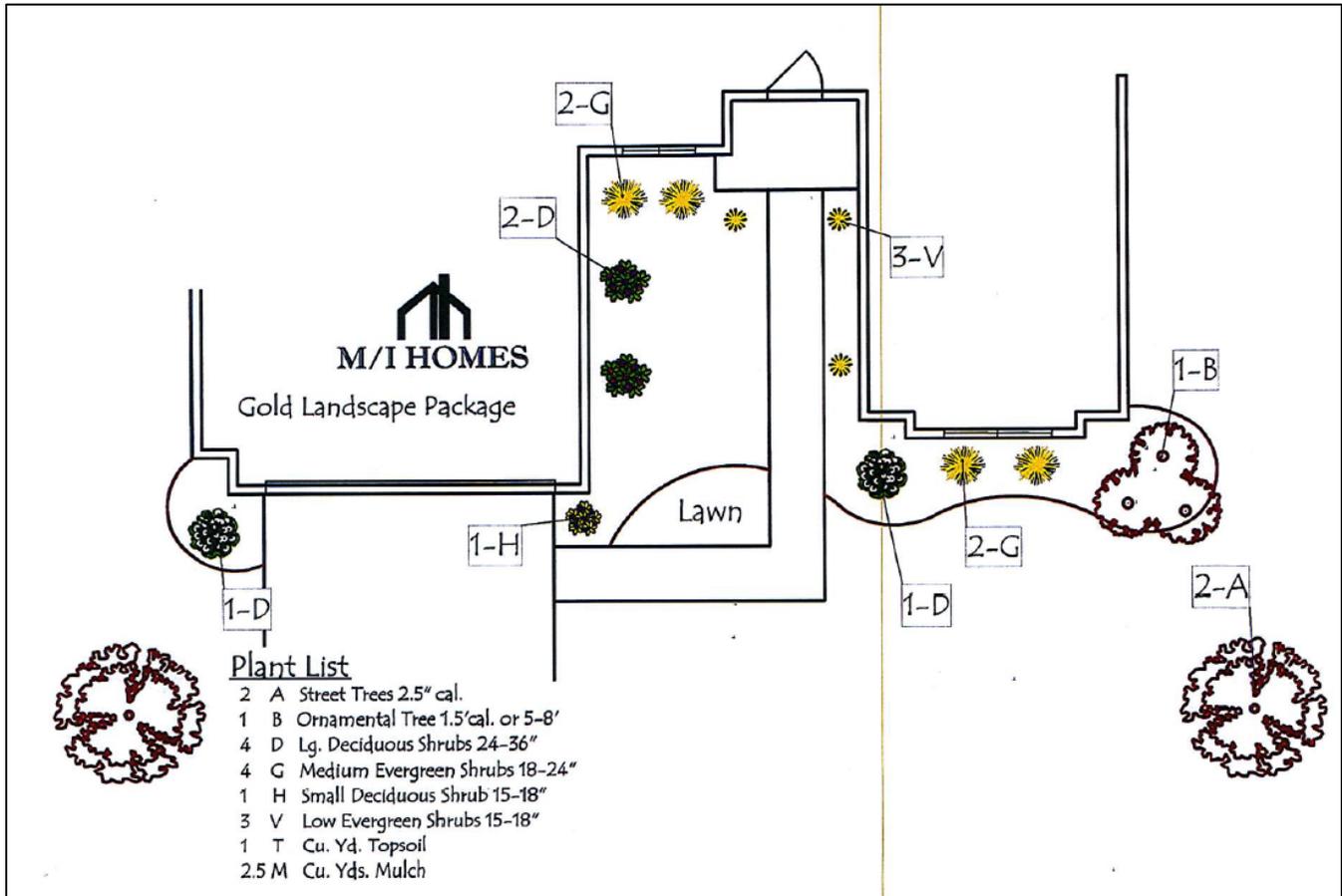
12. 50' cross access easement (not 20') to be provided to the parcel to the north from Morris Street near the main entrance to accommodate future 50 right of way for future connection. Show future connection on the plans. Future intersection shall meet all City Standards.
13. Dedicate the right-of-way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
14. Restate typical lot size as minimum lot size on sheet 3 of 12.
15. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
16. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to: water, sanitary, storm sewer and detention basin design.

Please do not hesitate to contact me with any questions.

Warm regards,

Justin Lanham
M/I Homes of Cincinnati, LLC
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249

Gold Landscape Package



Proposed Cluster Mailboxes



Proposed Seating Shelter Style



APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN FINAL DEVELOPMENT PLAN RECORD PLAN VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
 Agent
 Lessee Address 9349 Waterstone Blvd. Suite 100
 Signed Purchase Contract Cincinnati, OH 45249

Telephone No. (513) 267-4719
Fax No. () N/A
Email Address bwilkens@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Jeffery Bailey, Trustee

Address: 6821 Red-Lion Five Points Rd.
Springboro, OH 45066

Telephone No. (937) 689-2665

Property Address or General Location: 6821 Red-Lion Five Points Rd. Springboro, OH 45066

Parcel Number(s): 08122260030 & 08122010020 Acreage: 80.1

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 1.623 Number of Residential Units 130

Proposed Use: 130 new for sale homes

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

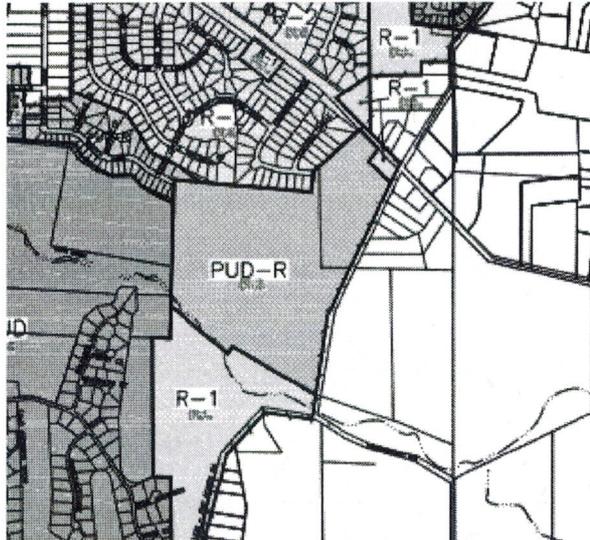

(Signature of Applicant and/or Agent)

4/11/24
(Date)

Brent Wilkens
Printed Name

Authorization to Discuss Bailey Property

Please allow this letter to authorize M/I Homes and its agents to discuss the Property identified below (PUD-R) with the City of Springboro, Warren County, and any other governmental jurisdictions as needed.



Jeff Bailey
By: Jeff Bailey

4-9-20
Date



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 OFFICE

April 10, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Bailey Farm – Final Development Plan
Enclosed: Proposed House Elevations and Floorplans (26 Pages)

Dear Mr. Boron,

M/I Homes is pleased to provide an Application for a Final Development Plan for Bailey Farm located at 6821 Red Lion Five Points Rd. Springboro, OH 45066. The plan is consistent with the approved General Plan and includes:

1. One hundred thirty (130) single-family detached homes as shown in the enclosed renderings. Home plans will comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. Typical lot sizes are 52' x 130' (6,760 sf) and 62' x 130' (8,060 sf). 42 of the 52' lots will be slab lots, 24 of the 52' lots will be basement lots and there will be 64 62' basement lots. Lots are fee simple. Front setbacks are 30', rear setbacks are 20' and the side setback is 5' on each side measured from roof overhang.
3. All streets are public in a 50' right-of-way including 29' back-to-back of curb and 5' sidewalk on both sides of the internal streets.
4. The project will be built in 3 phases with phase 1 including the entrance onto Red Lion Five Points Rd. and a total of 19 lots. Phase 1 is expected to be completed in 2024 and phase 2 in 2025. Site clearing and demo of existing structures may occur with phase 1 or be separated into phases accordingly.
5. HOA owned and maintained open space totals 45.16 acres which is 56.4% of the gross acreage. Typical HOA Conditions, Covenants, and Restrictions have been provided and shall govern the maintenance and operation of all open space, retention basins, structures in open space, signage, and central mailboxes.



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 OFFICE

6. Given the size of the property at 80.1 acres and required planting of 1 tree per 3,000 sf, a total of 1,163 trees are required. A tree survey was completed for the property identifying
7. 763 existing trees (to remain) of varying diameters which provide a total credit of 1,369 trees. We are proposing to plant 317 trees within open space and front yards.
8. The public 10' hike/bike path shall be constructed outside of the right-of-way along the property frontage on Red Lion Five Points Rd. and Lower Springboro Rd.
9. The existing northern pond and proposed retention basin will have fountains installed in them.
10. The residences abutting the lots on the northeastern portion of the property will be buffered with trees.
11. A rendering of the proposed style of the playground is enclosed. Central mailboxes have been proposed to serve all residents. There is a CBU proposed to serve the residents of phase 1. If necessary, at the completion of phase 2, this can be relocated to the west where the balance of the CBU's are proposed.

We appreciate your review and comment on the proposed Final Development Plan. Should you have any questions, please contact me.

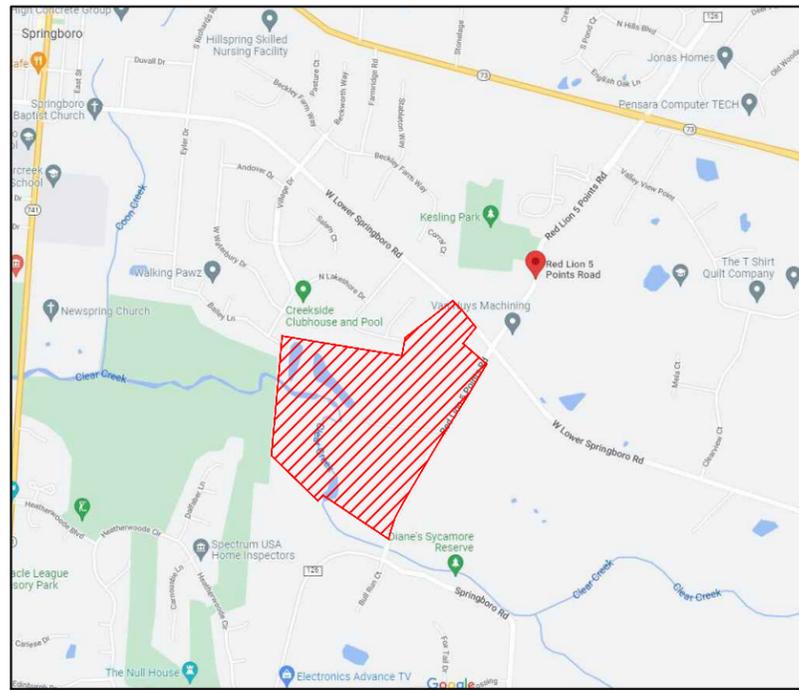
Respectfully,

Brent Wilkens

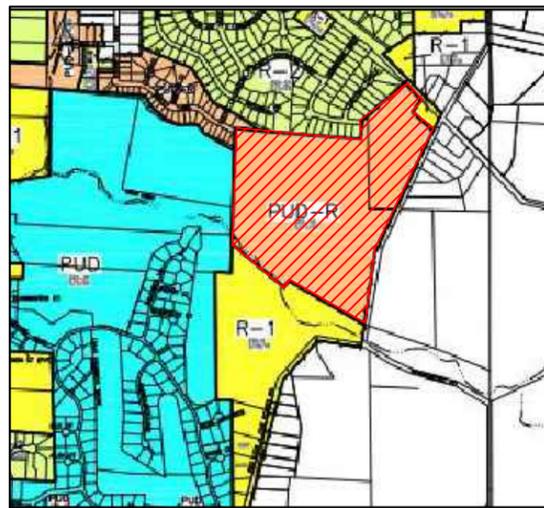
M/I Homes of Cincinnati, LLC
(513) 267-4719
bwilkens@mihomes.com

Conceptual Playground





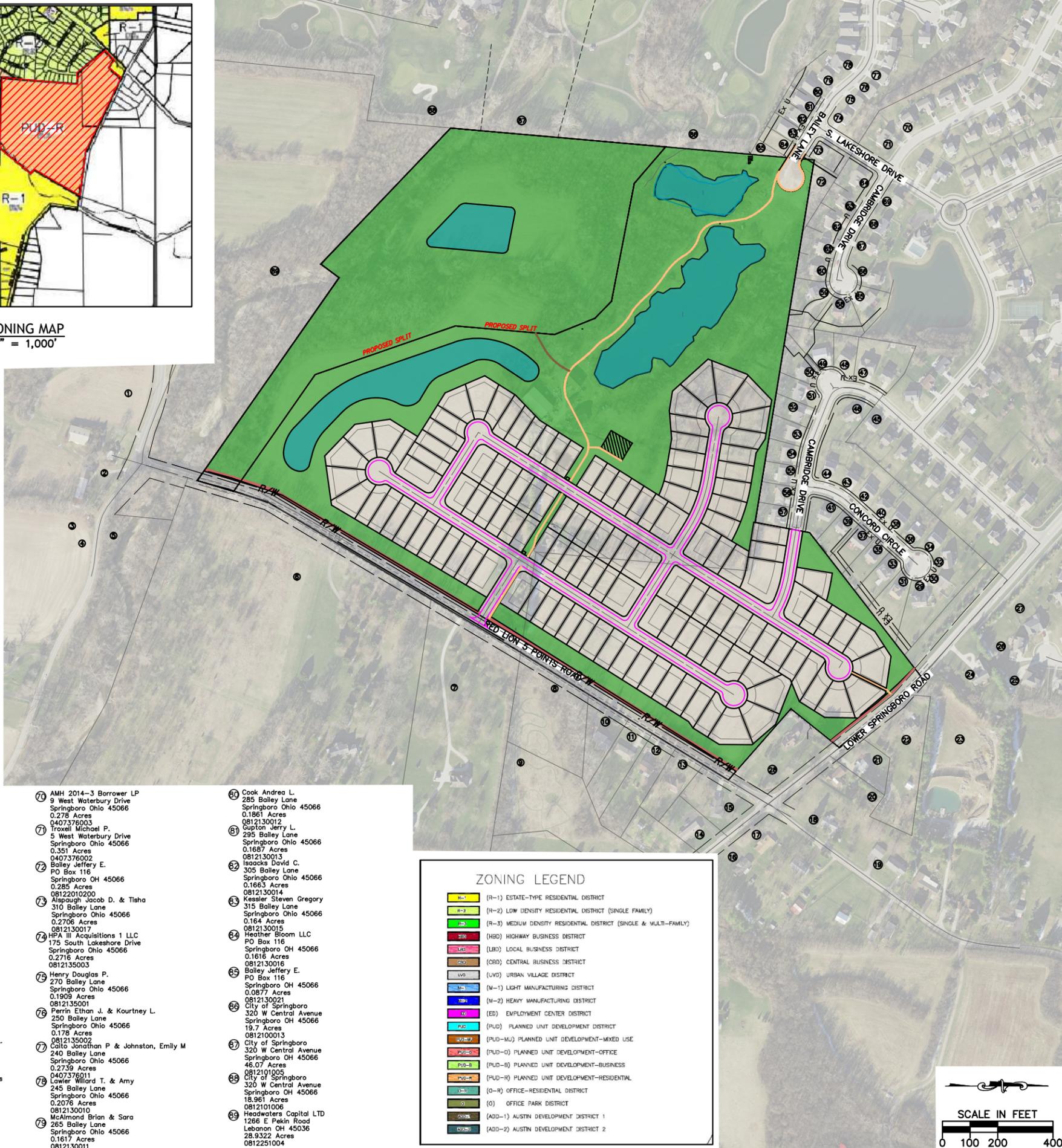
VICINITY MAP
1" = 1,000'



ZONING MAP
1" = 1,000'

PROPERTY OWNERS:

- | | | | | | |
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| <p>1 Headwaters Capital LTD
1266 E Pekin Road
Lebanon Ohio 45036
1,291.2 Acres
0812252005</p> <p>2 Morris Ryan S & Misty G
6498 Bull Run Court
Lebanon Ohio 45036
1,589.6 Acres
0812275001</p> <p>3 Davis Thomas W. Jr. & Tricia M.
6503 Fox Tail Drive
Lebanon Ohio 45036
2,923 Acres
0812430002</p> <p>4 Macduff Terrence, William & Shelly Lynn
6522 Fox Tail Drive
Lebanon Ohio 45036
2,697.2 Acres
0812430001</p> <p>5 Clearcreek Township
7593 Bunnell Hill Road
Springboro Ohio 45066
6,796 Acres
0812276005</p> <p>6 Sprout Thomas M.
PO Box 185
Springboro Ohio 45066
33,089.9 Acres
0812276004</p> <p>7 Sprout Samuel M. & Joann
6800 Red Lion-Five Points Road
Lebanon Ohio 45036
8,031.1 Acres
0812276003</p> <p>8 Davenport Renee Davis
6836 Red Lion-Five Points Road
Lebanon Ohio 45036
1,966 Acres
081228014</p> <p>9 Garland Brian P. & Paula
991 W Lower Springboro Road
Springboro Ohio 45066
3,009 Acres
081228017</p> <p>10 Norris Jennifer L.
PO Box 94
Springboro Ohio 45066
0.63 Acres
081228006</p> <p>11 Tucker Joel Andrew
6922 Red Lion-Five Points Road
Lebanon Ohio 45036
0.752 Acres
081228005</p> <p>12 Smith Harold Roy & Carol
1509 Hart Road
Lebanon Ohio 45036
0.865 Acres
081228004</p> <p>13 Stiles Austin J. & Conley Makayla N
6950 Red Lion-Five Points Road
Lebanon Ohio 45036
0.594 Acres
081228003</p> <p>14 Smith Peggy Ann
1055 Lower Springboro Road
Springboro Ohio 45066
N/A
081228002</p> <p>15 Graham Robert C. & Debbi
6990 Red Lion-Five Points Road
Lebanon Ohio 45036
0.63 Acres
081228001</p> <p>16 Mack Cynthia Faye
1064 Lower Springboro Road
Springboro Ohio 45066
0.954 Acres
081227005</p> <p>17 Patrick Lucinda J.
236 Lake Street
Delaware Ohio 43015
0.819 Acres
0407478006</p> | <p>18 Bailey Jeffrey E & Norris Jennifer
PO Box 116
Springboro Ohio 45066
1.23 Acres
0407476010</p> <p>19 Engleke Rebecca H. & Timothy L.
7089 Red Lion-Five Points Road
Springboro Ohio 45066
1.1 Acres
0407476006</p> <p>20 Thomas Theresa & Robert
1134 W Lower Springboro Road
Springboro Ohio 45066
0.57 Acres
0407476009</p> <p>21 Mousa Kevin M. & Lori
150 Lower Springboro Road
Springboro Ohio 45066
0.541 Acres
0407476008</p> <p>22 Rund Derek & Megan
1184 Lower Springboro Road
Springboro Ohio 45066
1,642 Acres
0407476007</p> <p>23 Swigart Steven F. & Brid
7147 Red Lion-Five Points Road
Springboro Ohio 45066
3,612.3 Acres
0407476019</p> <p>24 Marsh Vincent C & Mollie
1234 Lower Springboro Road
Springboro Ohio 45066
0,949.8 Acres
0407476016</p> <p>25 Rogers Timothy J & Gladys Rogers
50 Corral Court
Springboro Ohio 45066
0,4115 Acres
0407408027</p> <p>26 Eversding Bryan & Verdoorn Beth J.
60 Corral Court
Springboro Ohio 45066
0,5629 Acres
0407408028</p> <p>27 Brill John Michael
55 Corral Court
Springboro Ohio 45066
0,4944 Acres
0407420013</p> <p>28 Bremer James G & Lindsay
1129 Lower Springboro Road
Springboro OH 45066
1,47 Acres
0407477013</p> <p>29 Mast Jeffery A Jr. & Patricia
70 Concord Circle
Springboro Ohio 45066
0,552 Acres
0407477006</p> <p>30 Oesterlin Peter E. & Bev
80 Concord Circle
Springboro Ohio 45066
0,306 Acres
0407477005</p> <p>31 Patterson James B. Jr.
60 Concord Circle
Springboro Ohio 45066
0,482 Acres
0407477007</p> <p>32 Weinman Charles R. & Amy
75 Concord Circle
Springboro Ohio 45066
0,398 Acres
0407451029</p> <p>33 Slade Bob & Bowlin Andr
50 Concord Circle
Springboro Ohio 45066
0,349 Acres
0407477008</p> <p>34 Paradise James J.
35601 Meadowdale Drive
Solon Ohio 44139
0,24 Acres
0407451028</p> <p>35 Thomas Earl E. & Angela
40 Concord Circle
Springboro Ohio 45066
0,328 Acres
0407477009</p> | <p>36 James E. Marsh & Retta A.
55 Concord Circle
Springboro Ohio 45066
0,258 Acres
0407451027</p> <p>37 Crawford Victor T.
30 Concord Circle
Springboro Ohio 45066
0,305 Acres
0407477010</p> <p>38 Sams Laura C.
45 Concord Circle
Springboro Ohio 45066
0,258 Acres
0407451026</p> <p>39 Burt Robert F. & Kristin
20 Concord Circle
Springboro Ohio 45066
0,281 Acres
0407477011</p> <p>40 Flay Evan & Christine
35 Concord Circle
Springboro Ohio 45066
0,258 Acres
0407451025</p> <p>41 Selbel Johnathan & Heather
10 Concord Circle
Springboro Ohio 45066
0,341 Acres
0407477012</p> <p>42 Moran William C. & Pamela
25 Concord Circle
Springboro Ohio 45066
0,258 Acres
0407451024</p> <p>43 Kennedy Matthew J. & Rebekah L.
15 Concord Circle
Springboro Ohio 45066
0,306 Acres
0407451023</p> <p>44 Bell William E.
5 Concord Circle
Springboro Ohio 45066
0,412 Acres
0407451022</p> <p>45 PAG Holdings LTD
140 Cambridge Drive
Springboro Ohio 45066
0,263 Acres
0407451018</p> <p>46 FKH SFR Propco K
160 Cambridge Drive
Springboro Ohio 45066
0,446 Acres
0407451021</p> <p>47 Stull Michael J. & Tracy
125 Cambridge Drive
Springboro Ohio 45066
0,336 Acres
0407465011</p> <p>48 Freeman Benjamin T. & Caroline
PO Box 341262
Beavercreek OH 45434
0,285 Acres
0407465010</p> <p>49 MC George Asher
145 Cambridge Drive
Springboro Ohio 45066
0,394 Acres
0812201018</p> <p>50 Pag Holdings LTD
155 Cambridge Drive
Springboro Ohio 45066
0,342 Acres
0812201018</p> <p>51 Glenn John B. & Renee M.
165 Cambridge Drive
Springboro Ohio 45066
0,280 Acres
0812201017</p> <p>52 Szabo Brian P.
175 Cambridge Drive
Springboro Ohio 45066
0,261 Acres
0812201016</p> | <p>53 Pag Holdings LTD
185 Cambridge Drive
Springboro Ohio 45066
0,243 Acres
0812201015</p> <p>54 Farley William J. Jr.
195 Cambridge Drive
Springboro Ohio 45066
0,224 Acres
0812201014</p> <p>55 Pham Hui
205 Cambridge Drive
Springboro Ohio 45066
0,215 Acres
0812201013</p> <p>56 Wang Changzeng & Zhou R
215 Cambridge Drive
Springboro Ohio 45066
0,215 Acres
0812201012</p> <p>57 Kendel LLC
2331 Oakglen Ct
Dayton Ohio 45459
0,218 Acres
0812201011</p> <p>58 Angel Gary D. & Glyn An
85 East Waterbury Drive
Springboro Ohio 45066
0,429 Acres
0812201004</p> <p>59 Davis William E. & Sauer
85 East Waterbury Drive
Springboro Ohio 45066
0,478 Acres
0812201005</p> <p>60 Kennedy Christopher A.
69 East Waterbury Drive
Springboro Ohio 45066
0,249 Acres
0812201006</p> <p>61 Antill Michael L.
53 East Waterbury Drive
Springboro Ohio 45066
0,274 Acres
0812201007</p> <p>62 Boeck Michael & Jennifer
37 East Waterbury Drive
Springboro Ohio 45066
0,263 Acres
0812201008</p> <p>63 Murdock James C.
Springfield Ohio 45501
0,245 Acres
0812201009</p> <p>64 Stanifer, Charles
110 South Lakeshore Dr.
Springboro Ohio 45066
0,328 Acres
0812201010</p> <p>65 Bauer Adam M. & Randall R.
68 East Waterbury Drive
Springboro Ohio 45066
0,335 Acres
0407465006</p> <p>66 Owens Joseph S. & Tamara
52 East Waterbury Drive
Springboro Ohio 45066
0,306 Acres
0407465005</p> <p>67 Garbark Phillip R. & Ren
38 East Waterbury Drive
Springboro Ohio 45066
0,293 Acres
0407465004</p> <p>68 Allen Charles, Gregory & Jennifer L.
24 East Waterbury Drive
Springboro Ohio 45066
0,238 Acres
0407465003</p> <p>69 American Homes 4 Rent, Properties
Seven LLC
10 East Waterbury Drive
Springboro Ohio 45066
0,288 Acres
0407465002</p> | <p>70 AMH 2014-3 Borrower LP
9 West Waterbury Drive
Springboro Ohio 45066
0,274 Acres
0812201007</p> <p>71 Cook Andrea L.
285 Bailey Lane
Springboro Ohio 45066
0,1861 Acres
0812130012</p> <p>72 Trovelli Michael P.
5 West Waterbury Drive
Springboro Ohio 45066
0,351 Acres
0407376002</p> <p>73 Bailey Jeffery E.
PO Box 116
Springboro OH 45066
0,285 Acres
08122010200</p> <p>74 Alspaugh Jacob D. & Tisha
315 Bailey Lane
Springboro Ohio 45066
0,2706 Acres
0812130017</p> <p>75 HWA #1 Acquisitions 1 LLC
175 South Lakeshore Drive
Springboro Ohio 45066
0,2716 Acres
0812135003</p> <p>76 Henry Douglas P.
270 Bailey Lane
Springboro Ohio 45066
0,1909 Acres
0812135001</p> <p>77 Perrin Ethan J. & Kourtney L.
250 Bailey Lane
Springboro Ohio 45066
0,178 Acres
0812135002</p> <p>78 Catto Jonathan P & Johnston, Emily M
240 Bailey Lane
Springboro Ohio 45066
0,238 Acres
0,2739 Acres
0407376011</p> <p>79 Lower Willard T. & Amy
245 Bailey Lane
Springboro Ohio 45066
0,2076 Acres
0812130010</p> <p>80 McAlmond Brian & Sara
265 Bailey Lane
Springboro Ohio 45066
0,1617 Acres
0812130011</p> | <p>80 Cook Andrea L.
285 Bailey Lane
Springboro Ohio 45066
0,1861 Acres
0812130012</p> <p>81 Kessler Steven Gregory
315 Bailey Lane
Springboro Ohio 45066
0,1687 Acres
0812130013</p> <p>82 Isaacks David C.
305 Bailey Lane
Springboro Ohio 45066
0,1663 Acres
0812130014</p> <p>83 Heather Bloom LLC
PO Box 116
Springboro OH 45066
0,164 Acres
0812130015</p> <p>84 Bailey Jeffery E.
PO Box 116
Springboro OH 45066
0,0877 Acres
0812130021</p> <p>85 City of Springboro
320 W Central Avenue
Springboro OH 45066
19,7 Acres
0812100013</p> <p>86 City of Springboro
320 W Central Avenue
Springboro OH 45066
46,07 Acres
0812100005</p> <p>87 City of Springboro
320 W Central Avenue
Springboro OH 45066
18,961 Acres
0812100006</p> <p>88 Headwaters Capital LTD
1266 E Pekin Road
Lebanon OH 45036
28,932.2 Acres
0812251004</p> |
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ZONING LEGEND

	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
	(HBD) HIGHWAY BUSINESS DISTRICT
	(LBD) LOCAL BUSINESS DISTRICT
	(CBD) CENTRAL BUSINESS DISTRICT
	(LVD) URBAN VILLAGE DISTRICT
	(M-1) LIGHT MANUFACTURING DISTRICT
	(M-2) HEAVY MANUFACTURING DISTRICT
	(ED) EMPLOYMENT CENTER DISTRICT
	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
	(PUD-M) PLANNED UNIT DEVELOPMENT-MIXED USE
	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
	(OR) OFFICE-RESIDENTIAL DISTRICT
	(O) OFFICE PARK DISTRICT
	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

SCALE IN FEET



EROSION CONTROL PROVISIONS WILL BE HANDLED IN THE CONSTRUCTION PLANS WITH AN OEPA SWPPP.

—1028— PROPOSED CONTOURS
 ■■■■ PROPERTY LIMITS

-  EXISTING FLOODWAY
-  EXISTING FLOODPLAIN
-  PROPOSED WALKING PATH
-  PROPOSED HIKE/BIKE PATH



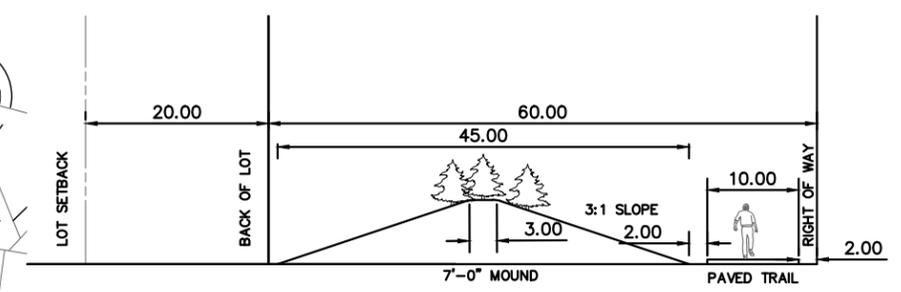
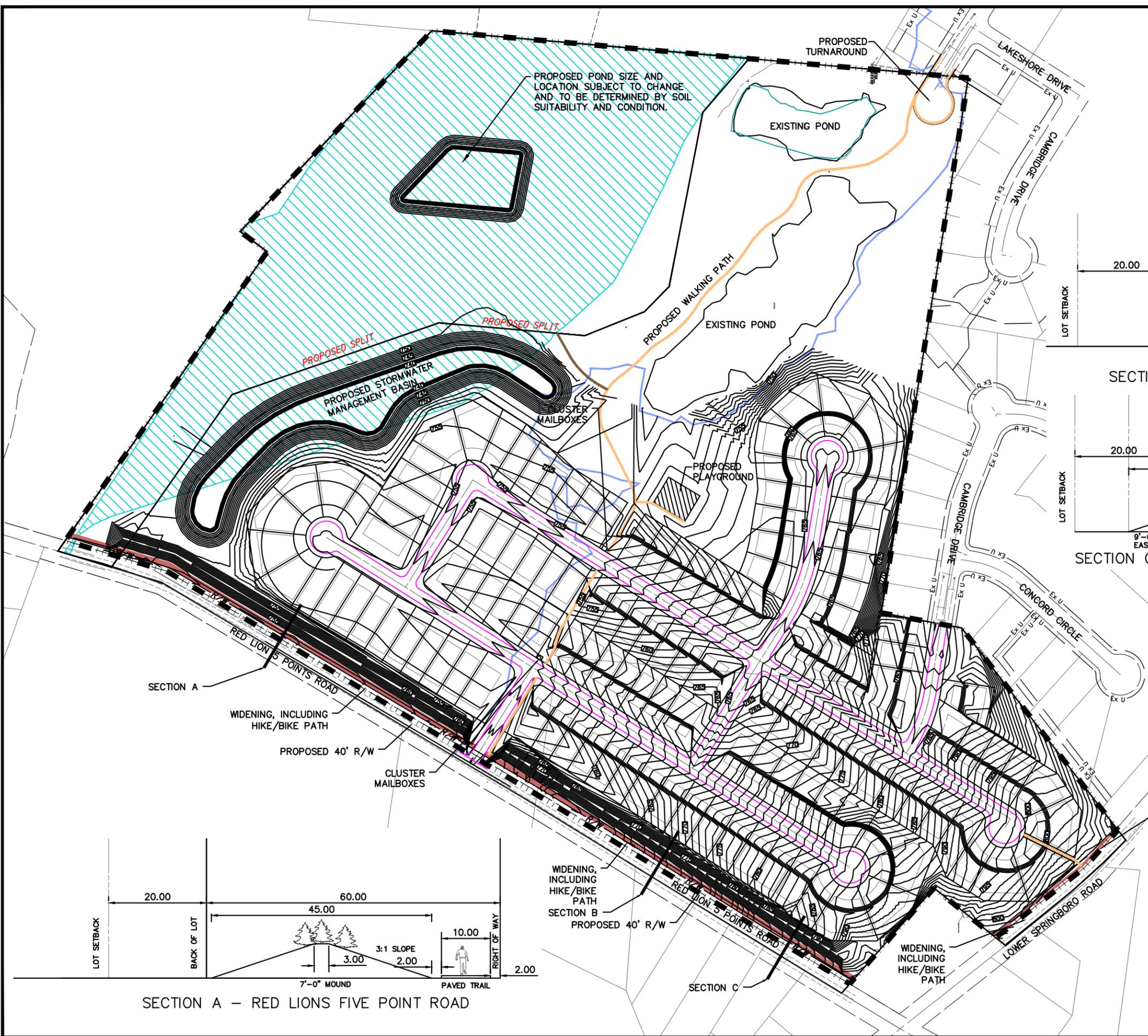
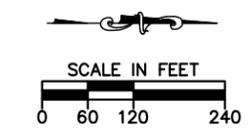
SCALE IN FEET



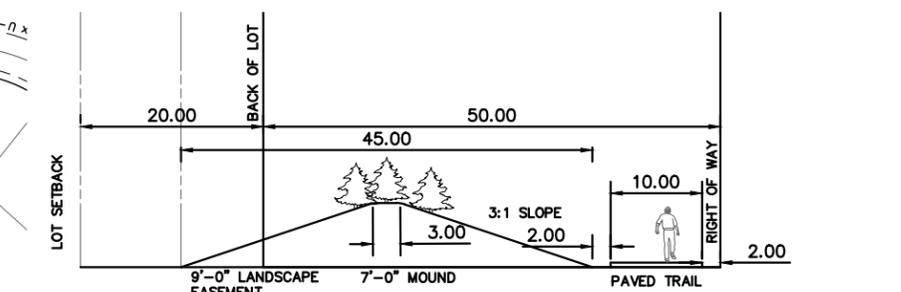
**BAILEY FARM
 CITY OF SPRINGBORO
 EXISTING CONDITIONS**

REVISIONS:

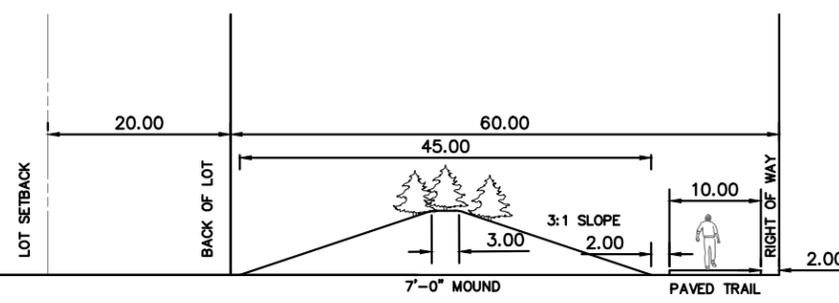
FILE NAME	EXISTING
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	2 OF 11



SECTION B - RED LIONS FIVE POINT ROAD



SECTION C - RED LIONS FIVE POINT ROAD



SECTION A - RED LIONS FIVE POINT ROAD

A HYDROLOGIC AND HYDRAULIC MODEL WILL BE DEVELOPED TO SHOW THE PROPOSED IMPROVEMENTS HAVE NO RISE IN THE FLOODWAY ELEVATIONS.

ALL PROPOSED STREETS WILL BE A MINIMUM OF 12" ABOVE THE FLOODPLAIN ELEVATION.

ALL PROPOSED LOT PADS WILL BE A MINIMUM OF 18" ABOVE THE FLOODPLAIN ELEVATION.

EROSION CONTROL PROVISIONS WILL BE HANDLED IN THE CONSTRUCTION PLANS WITH AN OEPA SWPPP.

- PROPOSED CONTOURS
- PROPERTY LIMITS
- EXISTING FLOODWAY
- EXISTING FLOODPLAIN
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH
- PROPOSED PARK CONNECTION

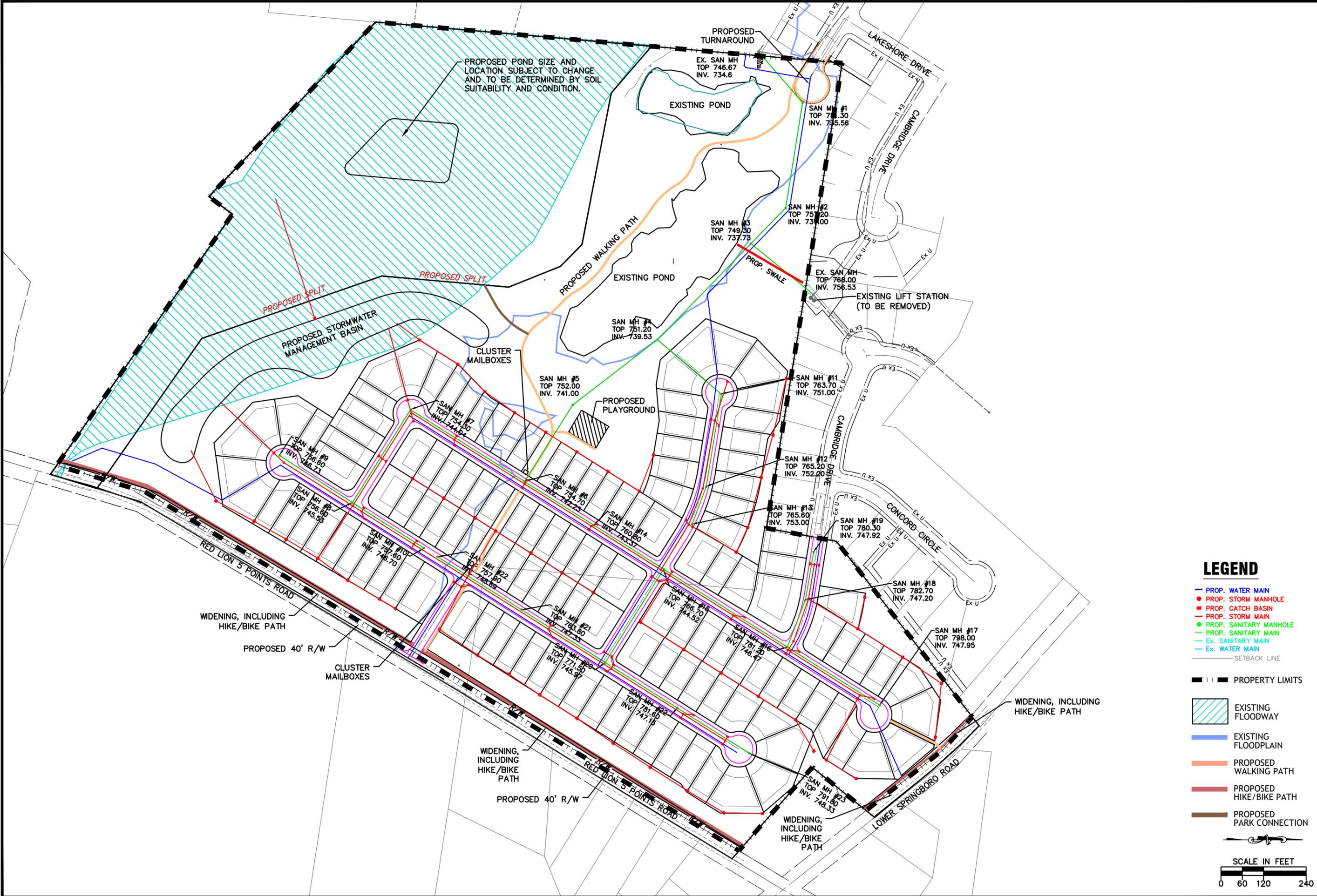
REVISIONS:

FILE NAME	GRADING
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	4 OF 11

**BAILEY FARM
CITY OF SPRINGBORO
PRELIMINARY UTILITY PLAN**

REVISIONS:

FILE NAME	UTILITY
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	5 OF 11



LEGEND

- PROP. WATER MAIN
- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. STORM MAIN
- PROP. SANITARY MANHOLE
- PROP. SANITARY MAIN
- EX. SANITARY MAIN
- EX. WATER MAIN
- SETBACK LINE
- PROPERTY LIMITS
- EXISTING FLOODWAY
- EXISTING FLOODPLAIN
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH
- PROPOSED PARK CONNECTION

SCALE IN FEET

0 60 120 240



NATURAL OPEN SPACE

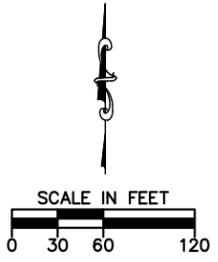
PROPOSED SPLIT

PROPOSED SPLIT

GREENSPACE BUFFER WITH MOUND

RED LION 3 POINTS ROAD

- — — — — PROPERTY LIMITS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- EXISTING FLOODWAY
- EXISTING FLOODPLAIN
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH
- PROPOSED PARK CONNECTION



BAILEY FARM
CITY OF SPRINGBORO
LOT DIMENSIONING PLAN

REVISIONS:

FILE NAME	SOUTH
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	6 OF 11

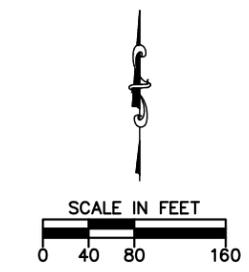
**BAILEY FARM
CITY OF SPRINGBORO
LOT DIMENSION PLAN**

REVISIONS:

FILE NAME	NORTH
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	7 OF 11



- PROPERTY LIMITS
- PROPOSED WALKING PATH
- EXISTING FLOODWAY
- STORMWATER MANAGEMENT BASIN
- PROPOSED PARK CONNECTION
- PROPOSED HIKE/BIKE PATH
- EXISTING FLOODPLAIN
- OPEN SPACE MAINTAINED BY HOA



**BAILEY FARM
 CITY OF SPRINGBORO
 EXISTING TREE LOCATION EXHIBIT**

REVISIONS:

FILE NAME	TREE EXHIBIT
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	04-19-2024
SHEET NUMBER	8 OF 11

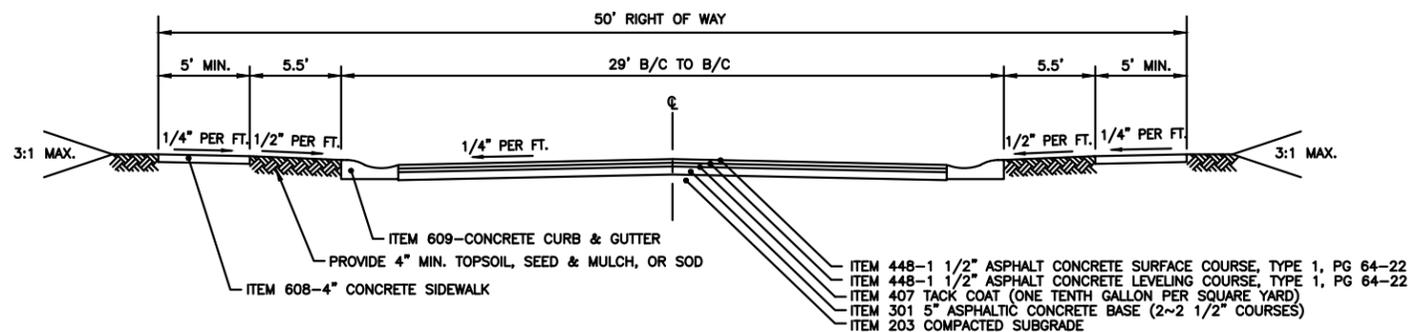


PROPOSED POND SIZE AND LOCATION SUBJECT TO CHANGE AND TO BE DETERMINED BY SOIL SUITABILITY AND CONDITION.

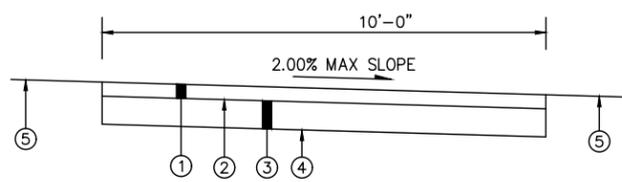
SYMBOL IN PLAN	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	NUMBER OF TREES ON SITE TO REMAIN	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
●	4.00 - 6 INCHES	351 TREES	1 TREE	351 TREES
●	6.01 - 14 INCHES	253 TREES	2 TREES	506 TREES
●	14.01 - 20 INCHES	124 TREES	3 TREES	372 TREES
●	20.01 + INCHES	35 TREES	4 TREES	140 TREES
TOTALS		763 TREES		1,369 TREES

- EXISTING FLOODWAY
- EXISTING FLOODPLAIN
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH
- PROPOSED PARK CONNECTION

SCALE IN FEET
 0 60 120 240

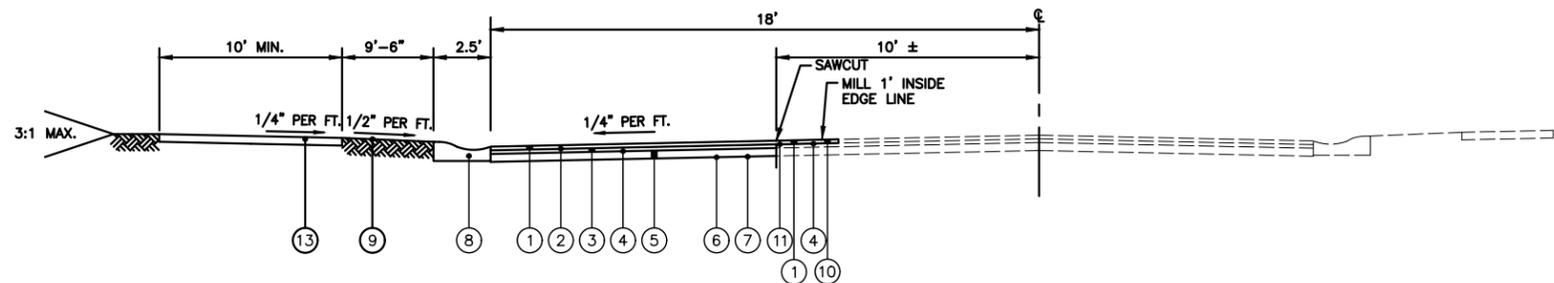


BAILEY FARM RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE



BAILEY FARM HIKE/BIKE PATH/WALKING PATH - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

- LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG 64-22
 - ② ITEM 407 - NON-TRACKING TACK COAT @ 0.06 GAL./S.Y.
 - ③ ITEM 301 - 4-1/2" ASPHALT BASE
 - ④ ITEM 204 - SUBGRADE COMPACTION
 - ⑤ ITEM 659 - SEEDING AND MULCHING



LOWER SPRINGBORO ROAD - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

- ① ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ② ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ③ ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ④ ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ⑤ ITEM 301 - 5" ASPHALT CONCRETE BASE
- ⑥ ITEM 204 - SUBGRADE COMPACTION
- ⑦ ITEM 204 - PROOF ROLLING
- ⑧ ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ⑨ ITEM 659 - SEEDING AND MULCHING
- ⑩ ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ⑪ ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ⑫ ITEM 608 - CONCRETE SIDEWALK
- ⑬ PROP. HIKE/BIKE PATH

REVISIONS:

FILE NAME
TYPICAL SECTION

DRAWN BY
JLH

CHECKED BY
JSP

PROJECT No.
WARSPR2202

DATE
04-19-2024

SHEET NUMBER

REVISIONS:

FILE NAME
OVERALL LP

DRAWN BY
JLH

CHECKED BY
JSP

PROJECT No.
WARSPR2202

DATE
04-19-2024

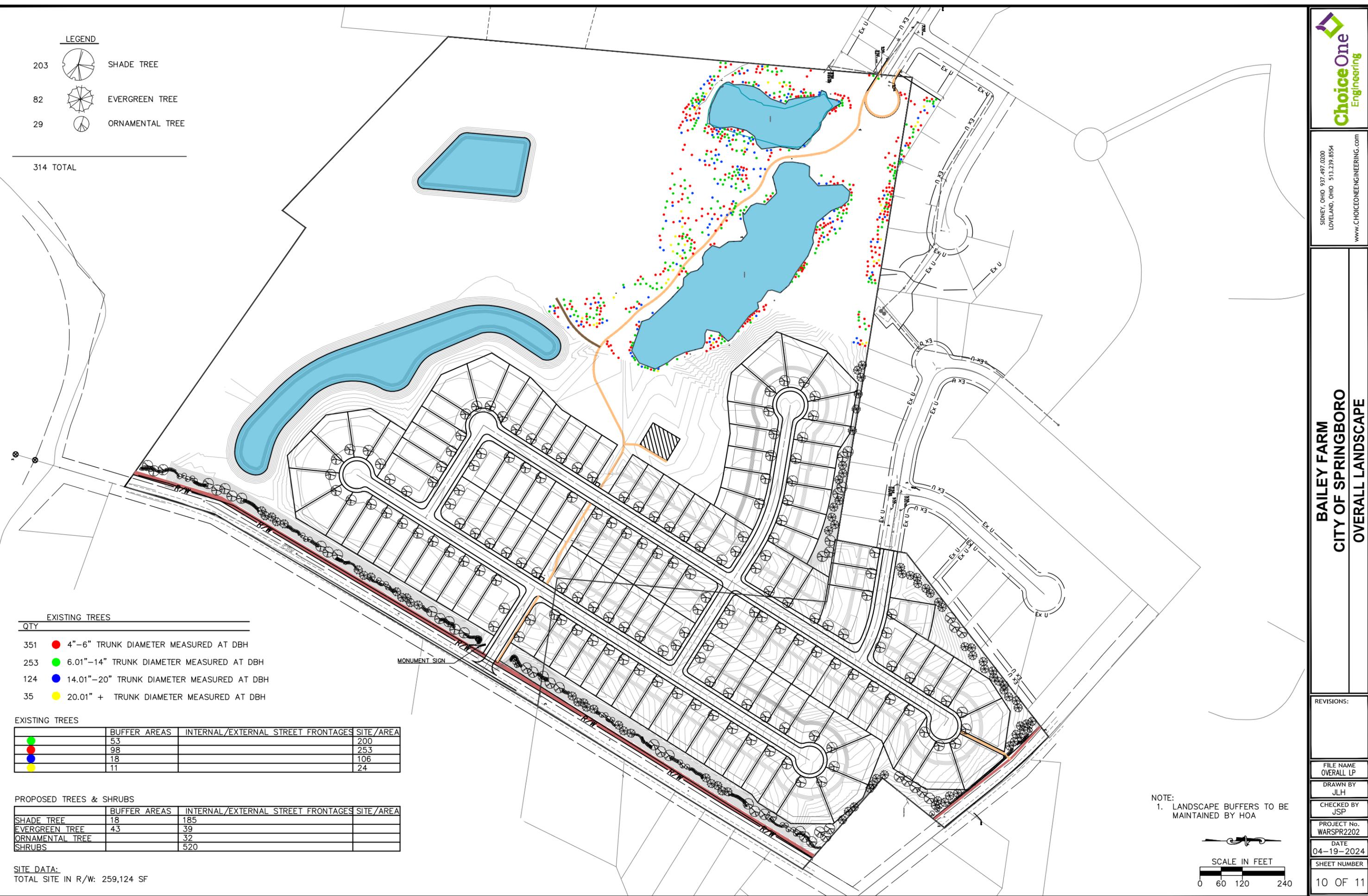
SHEET NUMBER

10 OF 11

LEGEND

- 203  SHADE TREE
- 82  EVERGREEN TREE
- 29  ORNAMENTAL TREE

314 TOTAL



EXISTING TREES

- | QTY | DESCRIPTION |
|-----|---------------------------------------------|
| 351 | ● 4"-6" TRUNK DIAMETER MEASURED AT DBH |
| 253 | ● 6.01"-14" TRUNK DIAMETER MEASURED AT DBH |
| 124 | ● 14.01"-20" TRUNK DIAMETER MEASURED AT DBH |
| 35 | ● 20.01" + TRUNK DIAMETER MEASURED AT DBH |

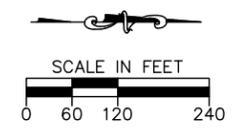
EXISTING TREES	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
●	53		200
●	98		253
●	18		106
●	11		24

PROPOSED TREES & SHRUBS

	BUFFER AREAS	INTERNAL/EXTERNAL STREET FRONTAGES	SITE/AREA
SHADE TREE	18	185	
EVERGREEN TREE	43	39	
ORNAMENTAL TREE		32	
SHRUBS		520	

SITE DATA:
TOTAL SITE IN R/W: 259,124 SF

NOTE:
1. LANDSCAPE BUFFERS TO BE MAINTAINED BY HOA



REVISIONS:

FILE NAME
MONUMENTSIGN

DRAWN BY
JLH

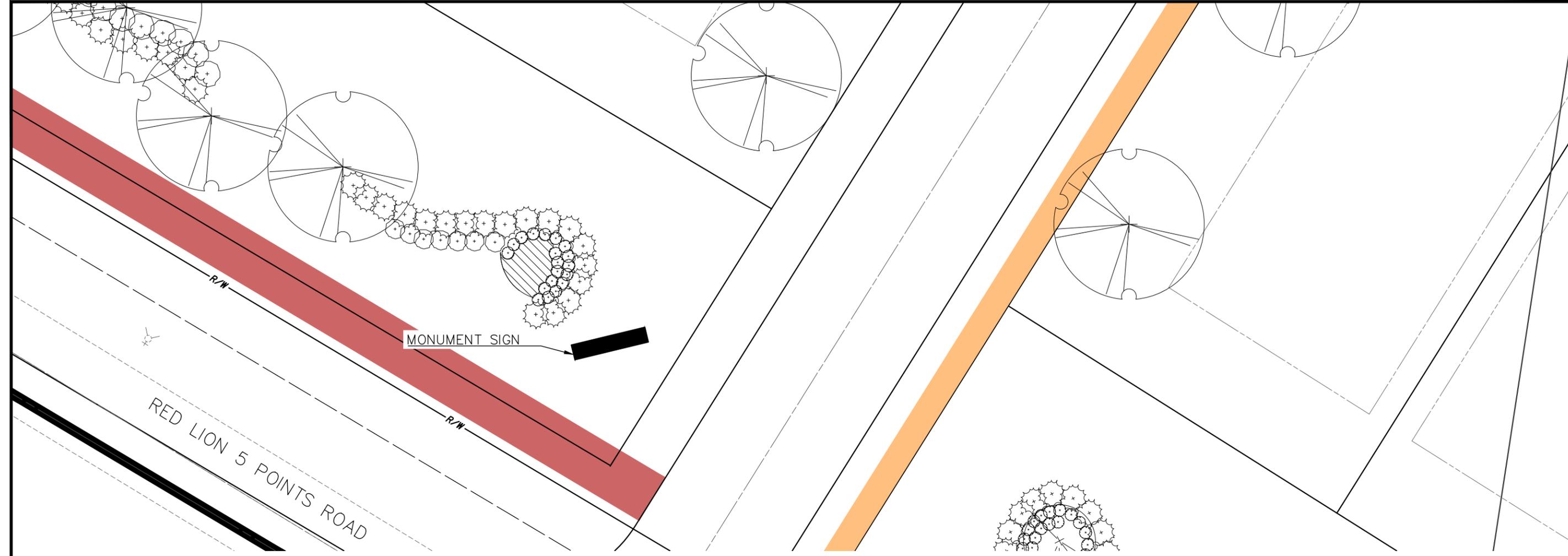
CHECKED BY
JSP

PROJECT No.
WARSPR2202

DATE
04-19-2024

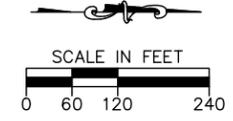
SHEET NUMBER

11 OF 11



EXAMPLE SIGN

NOTE:
1. FINAL DESIGN WILL BE WORKED OUT WITH ZONING INSPECTOR



Proposed Products – 52' Lots

- Avery – 1,476 SF
- Faulkner – 1,544 SF
- Brody – 1,626 SF
- Cameron – 1,715 SF
- Cooper – 1,776 SF
- Melville – 1,865 SF
- Ellison – 1,998 SF
- Wallace – 2,213 SF
- Dawson – 2,461 SF
- Inglewood – 2,558 SF
- Cooke – 2,624 SF
- Hampton – 2,869 SF
- Dillon – 2,913 SF
- Barrett – 3,035 SF
- Fairview – 3,322 SF

- 15 Unique House Plans (8 Ranch Plans & 7 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Sales Price Range
 - \$400,000 to \$600,000
- Range of Floor Plan Sizes
 - 1,514 sf to 3,387 sf

Proposed Products – 62' Lots

- Clayton – 1,927 SF
- Cheswicke – 2,188 SF
- Serenity – 2,330 SF
- Tolbert – 2,869 SF
- Ainsley II – 3,175 SF
- Nicholas – 3,390 SF
- Keating – 3,598 SF
- Monroe – 3,852 SF
- Ellsworth – 4,689 SF
- Hyde Park – 3,372 SF

- 10 Unique House Plans (3 Ranch Plans & 7 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Sales Price Range
 - \$500,000 to \$700,000
- Range of Floor Plan Sizes
 - 1,927 sf to 4,807 sf





AVERY



M/I HOMES

Bailey Farm

4/10/2024

Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

Note: Other elevation materials available and may be required by community. See M/I Homes.com for more elevations.



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Bailey Farm

4/10/2024



BRODY



M/I HOMES

Bailey Farm

4/10/2024



CAMERON



M/I HOMES

Bailey Farm

4/10/2024

Cooper



Square Feet: 1,776
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



Note: Other elevation materials available and may be required by community. See M/I Homes.com for more elevations.



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M/I HOMES

Bailey Farm

4/10/2024

Melville

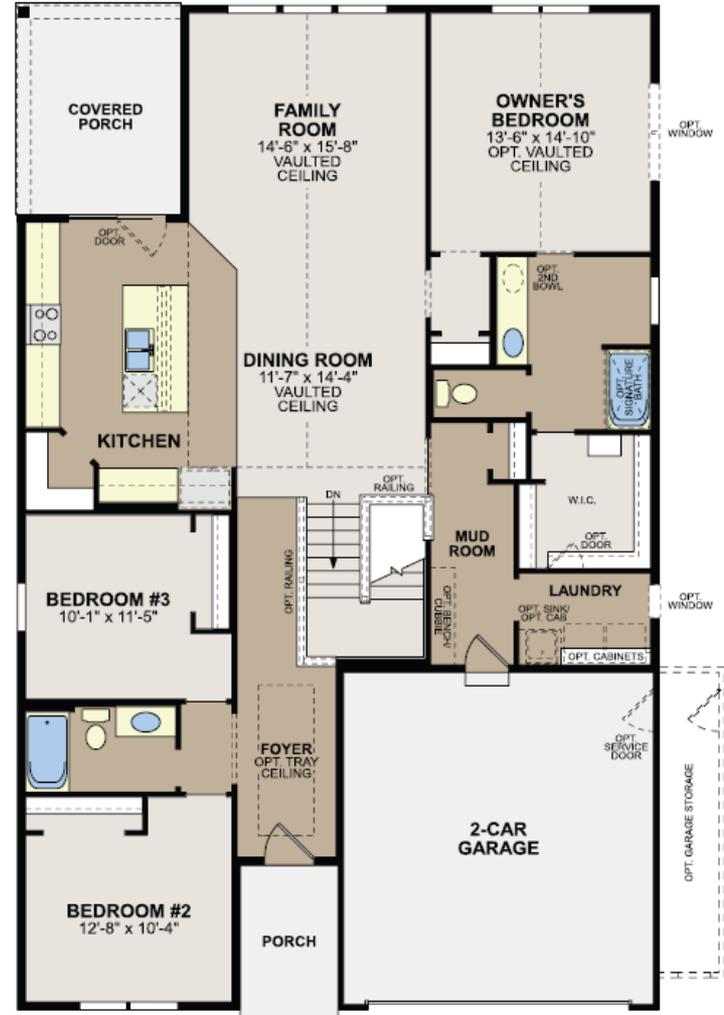


Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



*Note: Other elevation materials available and may be prepared by community. See M/I Homes.com for more elevations.



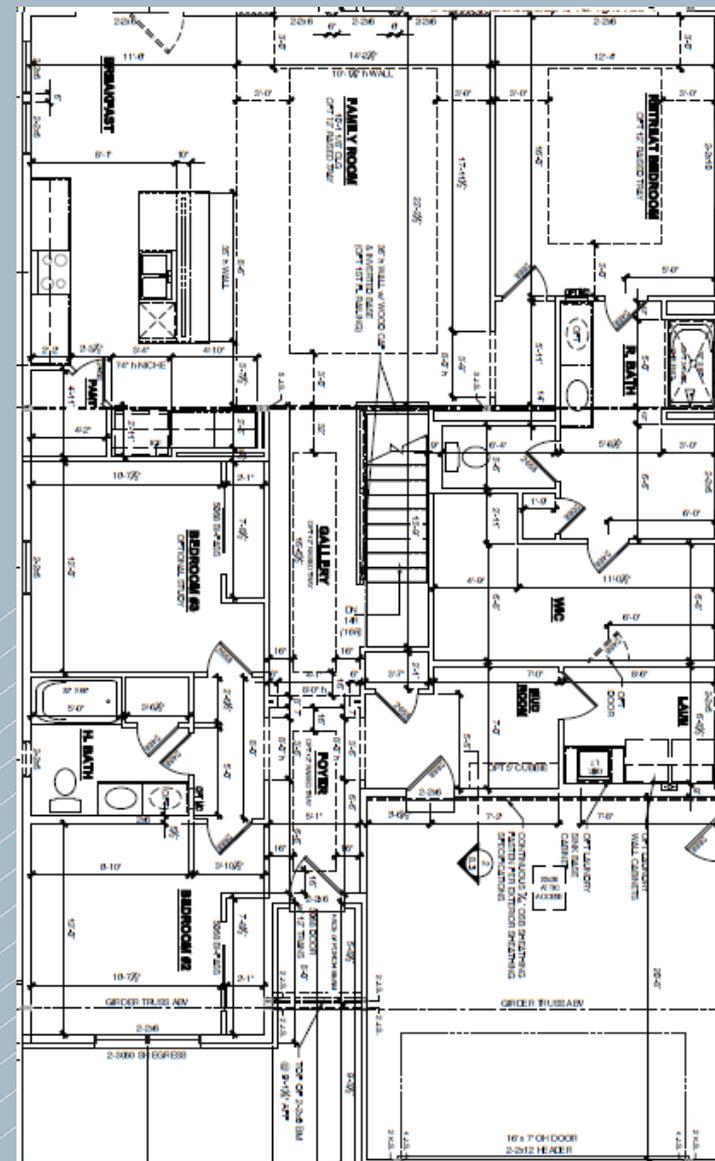
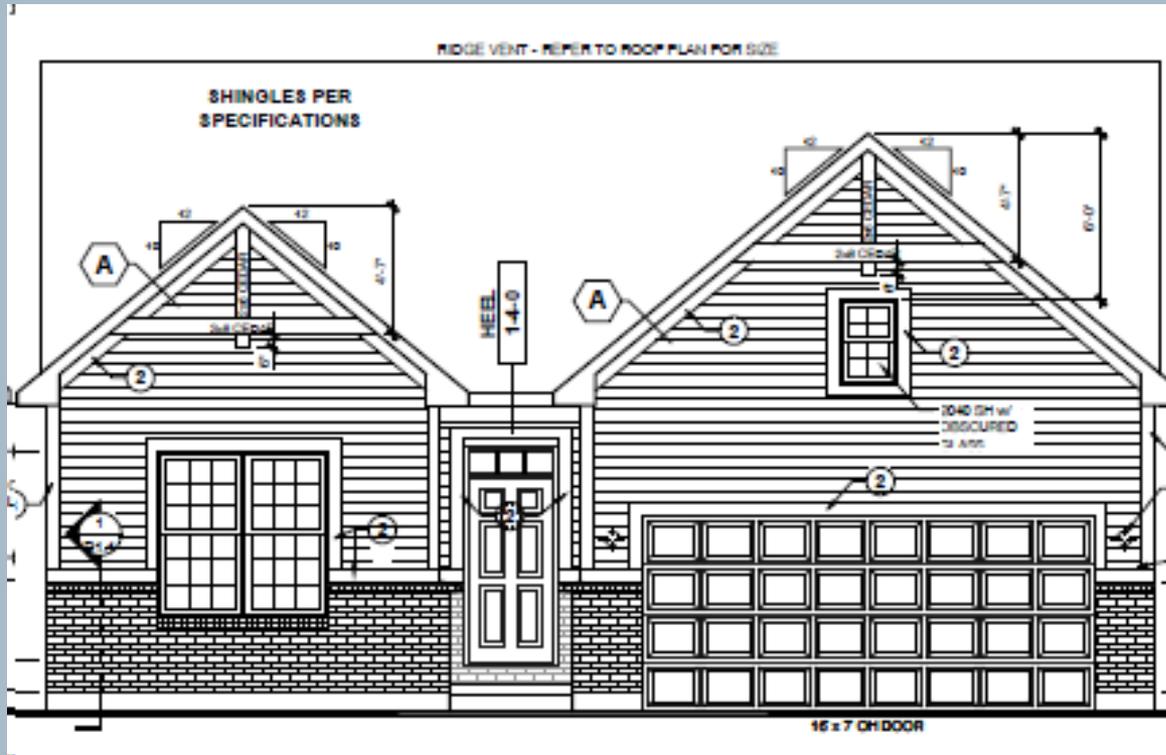
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Bailey Farm

4/10/2024



ELLISON



M/I HOMES

Bailey Farm

4/10/2024

Dawson



Elevation B



Elevation A



Elevation D - Shown w/Opt Stone

Square Feet: 2,461
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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M/I HOMES

Bailey Farm

4/10/2024

Cooke



Elevation C - Shown w/Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Bailey Farm

4/10/2024

Hampton



Elevation B - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,869
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Dillon



Elevation C



Elevation A



Elevation B

Square Feet: 2,913
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Barrett



Elevation B - Shown w/Opt Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation C - Shown w/Opt Coach Lights



Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Clayton



Elevation C



Elevation B



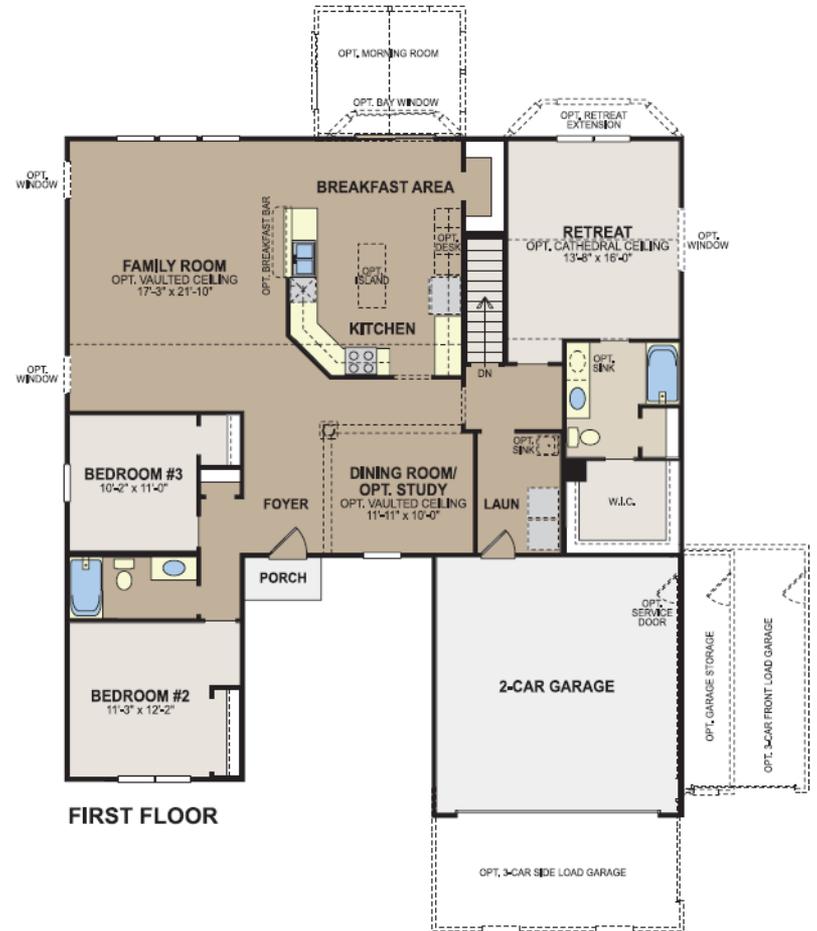
Elevation D



Elevation E - Shown w/Opt Stone

Square Feet: 1,927
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



FIRST FLOOR

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M/I HOMES

Bailey Farm

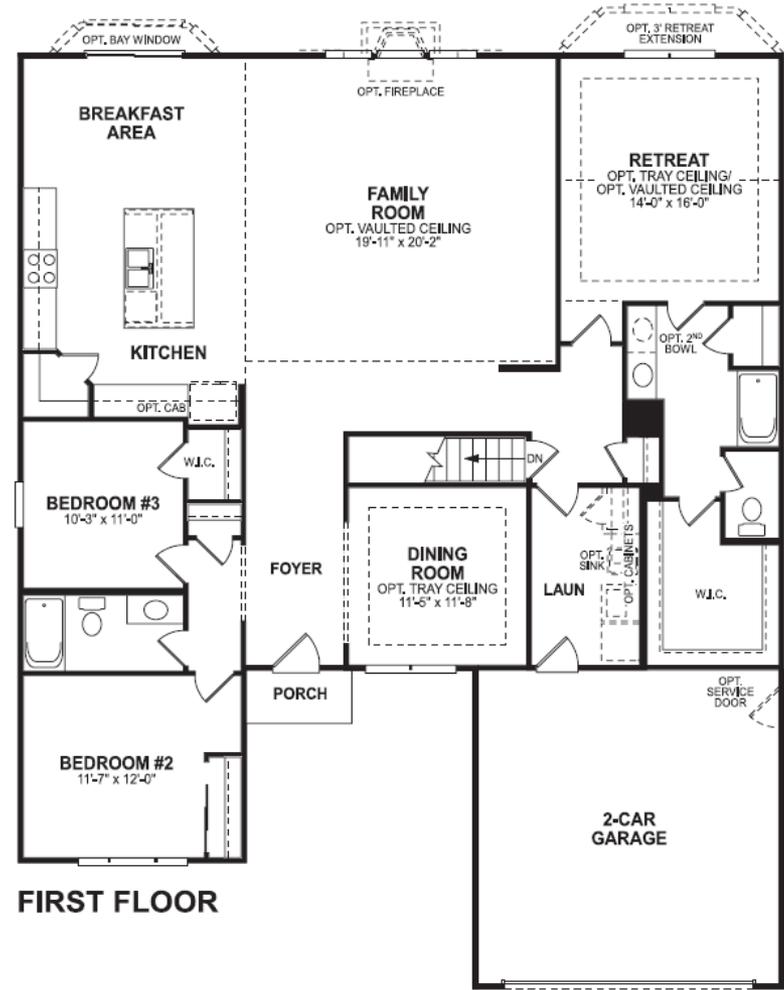
4/10/2024

Cheswicke



Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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M/I HOMES

Bailey Farm

4/10/2024

Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



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Bailey Farm

4/10/2024

Ainsley II



Elevation D - Shown w/Opt Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/Opt Study



Elevation E

Square Feet: 3,175
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



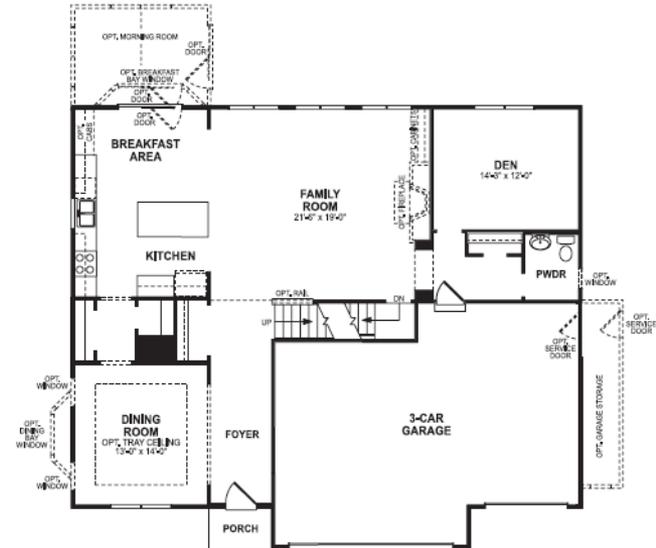
Elevation G



Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Monroe



Elevation B - Shown w/Opt Garage Doors and Coach Lights



Elevation A



Elevation C - Shown w/Opt Stone



Elevation D - Shown w/Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Ellsworth



Square Feet: 4,689
Bedrooms: 4
Full Baths: 3

Half Baths: 1
Garages: 3
Stories: 2



FIRST FLOOR



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M/I HOMES

Bailey Farm

4/10/2024

Hyde Park



Elevation C - Shown w/ Opt Brick and Coach Lights



Elevation A - Shown w/Opt Coach Lights

Elevation B - Shown w/Opt Brick and Coach Lights

Elevation D - Shown w/Opt Brick and Coach Lights

Elevation E - Shown w/Opt Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024



BUNNELL HILL
DEVELOPMENT COMPANY, INC

3000 HENKLE DRIVE SUITE G LEBANON, OH 45036 | TEL: 513.932.6090 FAX: 513.932.1237 | WWW.HSABH.COM

April 18, 2024

To Whom It May Concern,

Michael T. Schueler as owner and representative member of Eastbrook Farms Inc., Bunnell Hill Development and of parcel #0414301005 Located in Springboro Ohio, authorize John S. Del Verne and or Bayer Becker, to present a preliminary plan for the proposed Eastbrook Farms Subdivision on my behalf.

Sincerely,

Eastbrook Farms Inc.

Roger Wells
Senior Developer
Bunnell Hill Development

Office: 513.932.6010
Direct: 513.228.6201
Cell: 513.470.2884
Rwells@hsabh.com



Real Estate Services | **Development** | Construction





April 30, 2024

Dear Property Owner,

This notice is being sent as a courtesy to residents living adjacent to property that is proposed to be developed as a single-family residential subdivision. The Springboro Planning Commission will hold a meeting on Wednesday, May 8, 2024 beginning at 6:00 p.m. in Council Chambers in the Springboro City Building, 320 West Central Avenue, to review on a preliminary basis the development of a 45-lot residential subdivision on 13.18 acres of land located northeast of the corner of West Central Avenue and Clearcreek-Franklin Road by Eastbrook Farms, Inc., Lebanon, property owner. The proposed development and property owner share the same name. See the enclosed vicinity map for the relative location of the subject property.

The 13.18-acre subject property subject is part of a larger, 83.12-acre parcel also owned by Eastbrook Farms, Inc. The remaining 69.94 acres of the Eastbrook Farm is not subject to this development proposal. The 69.94-acre parcel is zoned O, Office District, a zoning designation that allows offices, banks, nursing homes, veterinary clinics, personal service establishments, and other uses. Again, there are no plans for that area's development currently.

The 13.18-acre parcel is zoned R-2, Low Density Residential District, a zoning designation that dates to April 2002. The R-2 District was applied to this portion of the Eastbrook Farms by the Planning Commission and City Council to protect the residential neighborhood to the north from non-residential development to the south. The neighborhood to the north—which includes Tamarack Hills, Royal Tamarack, Royal Springs, and Royal Meadows—is also zoned R-2, a category that allows up to four units per acre on lots with a minimum area of 9,000-square feet. The review taking place at the May 8 Planning Commission meeting is part of the City's subdivision regulation review process. As part of that process, the applicant is required to present a plan to Planning Commission for the subdivision of property meeting or exceeding the R-2 requirements for lots, proposing rights-of-way and street and sidewalk connections to the City's existing network with a minimum of two street connections. Proposals for home design are also required to determine their compliance with City code requirements, and a landscape buffer is required for the development. While there is no open space requirement through the subdivision review process, some open space is proposed for the 13.18-acre site. There is no City Council review at this stage of the subdivision approved process.

For the proposed subdivision, Eastbrook Farms, Inc., is proposing 45 lots ranging from 9,375 (34 of the lots are this size) to 14,337 square feet in area, street connections at Clearcreek-Franklin Road and Evergreen Drive. Open space is proposed for a parcel in the interior of the subdivision, as well as the east end of the property along Twin Creek. Two stub streets are proposed to the south of the subdivision, and a detention pond is also proposed to the south.

Planning Commission meetings are public meetings where applications for approval are reviewed by members of Planning Commission, following the consideration of City staff technical comments, and comments offered by the public. No vote on the Eastbrook Farms, Inc. proposal will be taken on May 8. The Planning Commission will determine at the conclusion of the review if formal review and approval of the subdivision may take place at a subsequent meeting, as soon as June 12, or if additional preliminary discussion is necessary.

If you wish to address the Planning Commission regarding the proposed plan you may do so in person at the May 8 Planning Commission meeting. If you cannot attend the meeting but would like to comment on the proposal, you may submit your comments in writing along with your name and address to the attention of September Bee, Planning Commission Secretary, by mail to 320 West Central Avenue, Springboro, Ohio 45066; by fax to (937) 748-0815; or by e-mail to september.bee@cityofspringboro.com. All comments received by 4:30 p.m. on May 8 will be forwarded to Planning Commission members at the meeting.

A copy of the Eastbrook Farms, Inc. is available for review in the Building & Zoning Department at the Springboro City Building between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, legal holidays excluded. The plans may also be reviewed on the City website at <https://www.cityofspringboro.com/383/Planning-Commission-Submissions>. Look for "Materials for May 8, 2024." No additional notifications will be mailed about this proposal while it is under review by Planning Commission, however all items submitted to the City will be available through the Planning Commission page on the City website at the location indicated above.

For more information on the submitted subdivision contact Dan Boron, Planner, at (937) 748-6183, or danb@cityofspringboro.com.

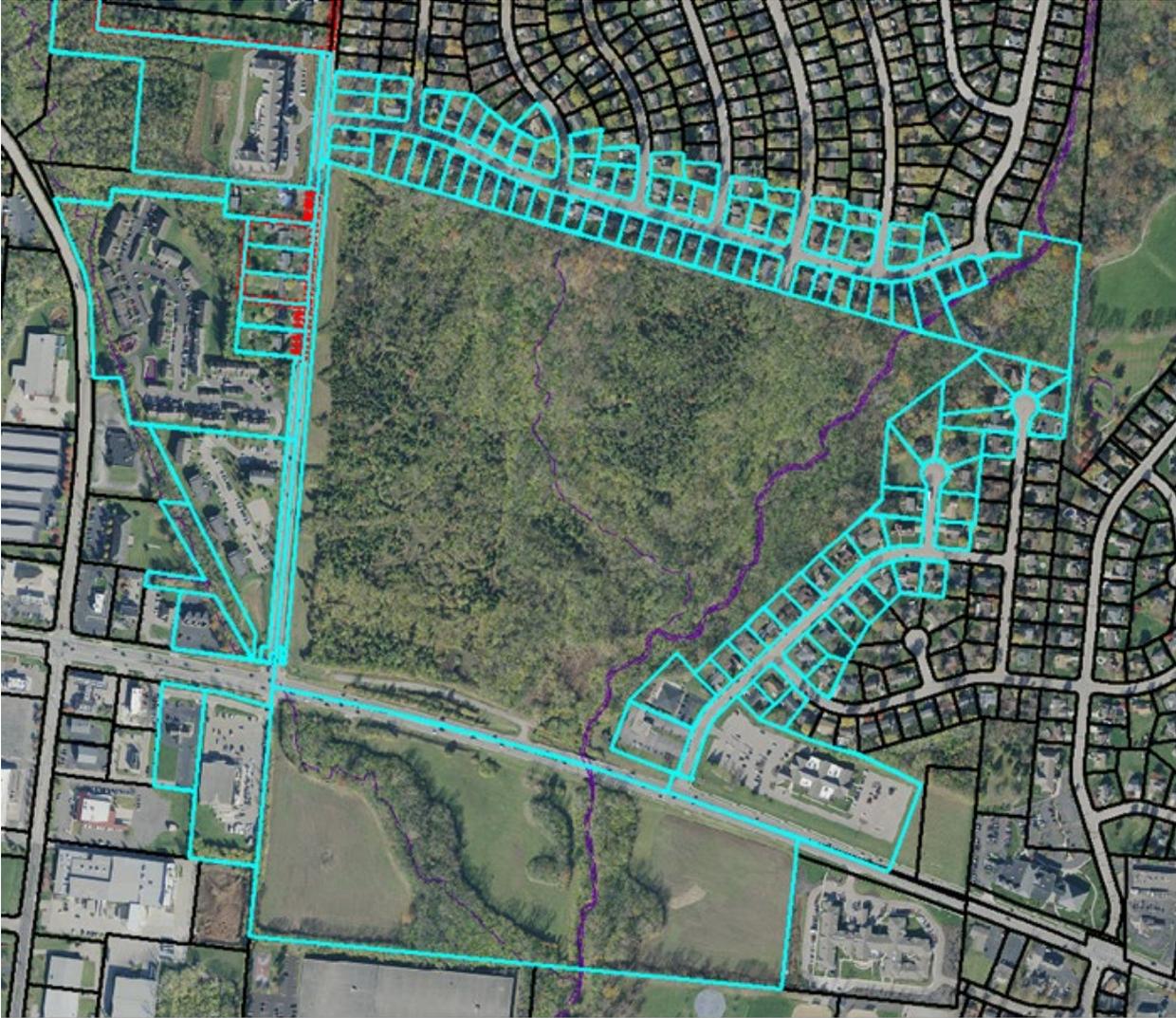
Sincerely,



Chris Pozzuto, City Manager
City of Springboro

cc: Dan Boron, Planner
September Bee, Planning Commission Secretary

**300 Foot Halo Addresses, Eastbrook Farms
NE Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, Springboro, OH 45066**



NOTES:

- LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND DRAWN BASED OFF RECORD DRAWINGS FROM THE CITY OF SPRINGBORO.
- THE FINAL PLAN FOR THE SUBDIVISION WILL SHOW EXISTING VEGETATION ONCE SITE SURVEY IS COMPLETED.
- MINOR PLAN ADJUSTMENTS MAY BE MADE UPON COMPLETION OF THE SITE SURVEY & DETAILED PLANS.
- PER THE PRELIMINARY WATERS ASSESSMENT SUMMARY LETTER PREPARED BY RAMBOLL DATED NOVEMBER 7, 2023, TWIN CREEK AND WETLAND WERE IDENTIFIED AS JURISDICTIONAL. NO OTHER JURISDICTIONAL WATERS WERE LOCATED ON THE SITE.
- A LANDSCAPE PLAN WILL BE SUBMITTED TO THE CITY FOR REVIEW WITH THE SITE CONSTRUCTION DRAWINGS.
- A TRAFFIC IMPACT STUDY WAS SUBMITTED TO THE CITY FOR REVIEW ON APRIL 10, 2024.
- LOCATION OF CUBS IS TO BE SHOWN WITH DETAILED PLAN SUBMISSION.

INDEX OF SHEETS:

- PL1.0 PRELIMINARY PLAN
- PL1.1 PRELIMINARY GRADING PLAN

EASTBROOK FARMS

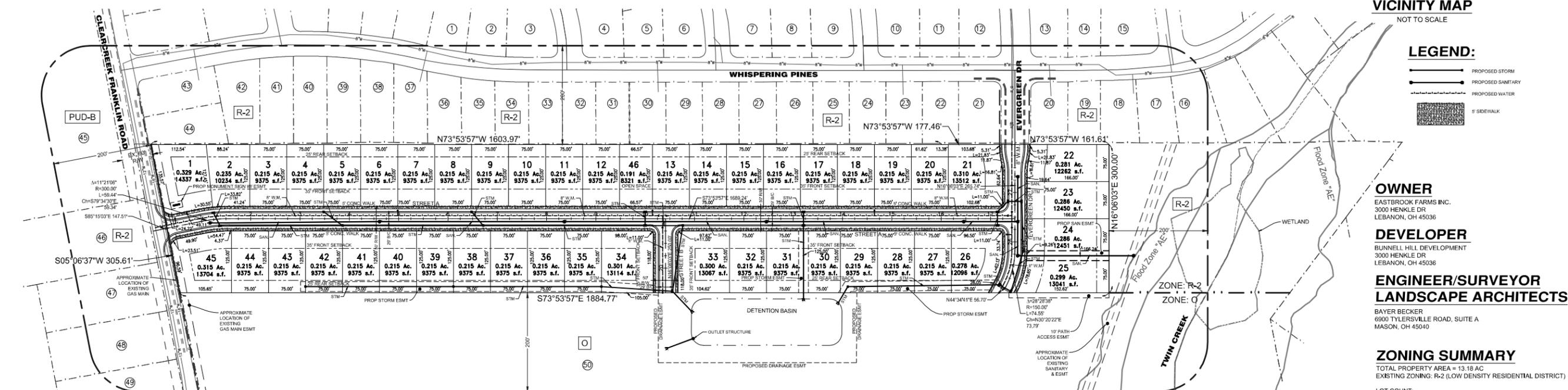
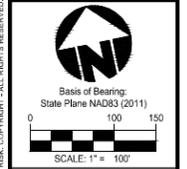
PRELIMINARY PLAN

SECTION 14, TOWN 2, RANGE 5

CITY OF SPRINGBORO

WARREN COUNTY

APRIL 19, 2024



VICINITY MAP
NOT TO SCALE

LEGEND:

- PROPOSED STORM
- PROPOSED SANITARY
- PROPOSED WATER
- 5' SIDEWALK

OWNER

EASTBROOK FARMS INC.
3000 HENKLE DR
LEBANON, OH 45036

DEVELOPER

BUNNELL HILL DEVELOPMENT
3000 HENKLE DR
LEBANON, OH 45036

**ENGINEER/SURVEYOR
LANDSCAPE ARCHITECTS**

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OH 45040

ZONING SUMMARY

TOTAL PROPERTY AREA = 13.18 AC
EXISTING ZONING: R-2 (LOW DENSITY RESIDENTIAL DISTRICT)

LOT COUNT:
45 SINGLE FAMILY LOTS
1 OPEN SPACE LOTS
TOTAL LOTS: 46

DENSITY:
45 UNITS/13.18AC = 3.41 UNITS/AC

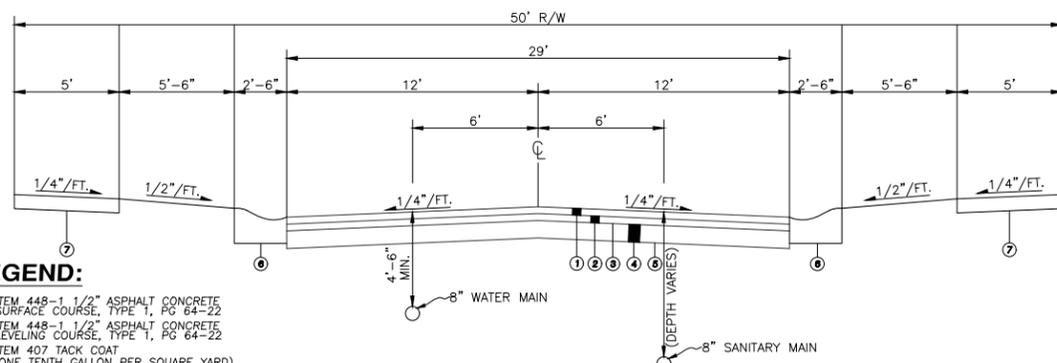
REQUIRED SETBACKS:
FRONT: 35'
REAR: 25'
SIDE: 5'

OPEN SPACE:
OPEN SPACE PROVIDED: 0.19 AC (1.4%)

*R-2 DEVELOPMENT STANDARDS DO NOT REQUIRE OPEN SPACE

ADJACENT PROPERTY OWNERS:

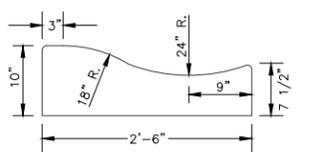
- | | | |
|-----------------------------------------------------------|------------------------------------------------------------------|----------------------------------------------------------------|
| 1 RAABE, GIANNINA FRANCESCA
PARCEL#0414105037 | 19 KURTZ, CHARLENE
PARCEL#0414179002 | 36 FRECHETTE MARC J & CARRILLO MARIA G
PARCEL#0414153009 |
| 2 ARCHER, MATTHEW & AMANDA N
PARCEL#0414105038 | 20 TILLMAN, BEVERLY A.
PARCEL#0414179001 | 37 BAUER SCOTT C. & SHAVONNE L., TRUSTEES
PARCEL#0414153008 |
| 3 MORT, JUSTIN W.
PARCEL#0414105039 | 21 BERRIOS, YACMET A COLON
PARCEL#0414153024 | 38 WEHNER MARLENE C., REVOC LIVING TRUST
PARCEL#0414153007 |
| 4 SHAFFER, TYREL
PARCEL#0414151027 | 22 BAKER, GARY L. SR. & PENNINGTON, MELISSA
PARCEL#0414153023 | 39 WOOLERY, BRENT T. & SHIRLEY A.
PARCEL#0414153006 |
| 5 HAMLIN, KURT J & MORGAN G
PARCEL#0414151028 | 23 BLAKE, MORGAN T. & KARI
PARCEL#0414153022 | 40 THOMPSON, JAMES E. & LAUREL A.
PARCEL#0414153005 |
| 6 FRASIER, BRANDON J & BYRON R
PARCEL#0414151029 | 24 ESTEP, KYLE & AMY
PARCEL#0414153021 | 41 SLOAN, MALACHI, III
PARCEL#0414153004 |
| 7 KEMPER, CYNTHIA A. & COX, EVA MAE
PARCEL#0414152037 | 25 GREER, ANDREW
PARCEL#0414153020 | 42 BLAKLEY, ANDREW D
PARCEL#0414153003 |
| 8 LOWE, BONNIE L.
PARCEL#0414152038 | 26 ASHLEY, RUSTY
PARCEL#0414153019 | 43 TROMBLEY, SUSANNE
PARCEL#0414153001 |
| 9 DAHM, SARAH M.
PARCEL#0414152039 | 27 DAVIDSON, BRITTANY
PARCEL#0414153018 | 44 COX, ROGER T. & MARY ANN
PARCEL#0414153002 |
| 10 TONKIN, KELLY E. & SNEED, BRADLEY
PARCEL#0414176041 | 28 SPITLER, ELLIOT B.
PARCEL#0414153017 | 45 SANCTUARY OF SPRINGBORO OHIO
PARCEL#0420276017 |
| 11 PATRICK, SAMUEL & JACQUELINE
PARCEL#0414176042 | 29 BODEY, MICHAEL & LINDA
PARCEL#0414153016 | 46 CHAMBERLAIN, JACKLIN
PARCEL#0420276001 |
| 12 WOLFE, JOHN R.
PARCEL#0414176043 | 30 MALONE, JULIET T
PARCEL#0414153015 | 47 CAULEY, CLAYTON R.
PARCEL#0420276002 |
| 13 LUTHER, LINDA S., TRUSTEE
PARCEL#0414177031 | 31 CLARK, RUBY I.
PARCEL#0414153014 | 48 NGUYEN, DANH THI & HUONG T
PARCEL#0420276003 |
| 14 ROSS, MICHELE L. ETAL
PARCEL#0414177032 | 32 FRECHETTE MARC J & CARRILLO MARIA
PARCEL#0414153013 | 49 THOMAS, JANIS D.
PARCEL#0420276004 |
| 15 DERMIS, GEORGE & SONIA
PARCEL#0414177033 | 33 VAN LEEUWEN, ANDREW R. & MELANIE
PARCEL#0414153012 | 50 EASTBROOK FARMS INC
PARCEL#0414301005 |
| 16 SHEFFLER, TEENA MARIE
PARCEL#0414326001 | 34 WOODS, JOYCE A.
PARCEL#0414153011 | |
| 17 FERGUSON, CHRISTINA
PARCEL#0414179004 | 35 CUMMINS, DANIEL & DEANNA
PARCEL#0414153010 | |
| 18 NADEAU, JAMES R.
PARCEL#0414179003 | | |



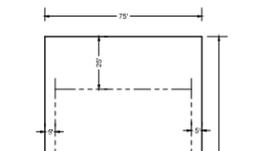
LEGEND:

- 1 ITEM 448-1 1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG 64-22
- 2 ITEM 448-1 1/2" ASPHALT CONCRETE LEVELING COURSE, TYPE 1, PG 64-22
- 3 ITEM 407 TACK COAT (ONE TENTH GALLON PER SQUARE YARD)
- 4 ITEM 301 5" ASPHALTIC CONCRETE BASE (2-2 1/2" COURSES)
- 5 ITEM 204 SUBGRADE COMPACTION
- 6 ITEM 609 CONCRETE CURB AND GUTTER
- 7 ITEM 608 CONCRETE WALK

TYPICAL LOCAL STREET SECTION
NOT TO SCALE



CONCRETE CURB & GUTTER
NOT TO SCALE



TYPICAL LOT DETAIL
SCALE: 1"=40'

LOT AREA: 9,000 SF MINIMUM (75'X120')
SETBACKS: 35' REAR SETBACK
25' FRONT SETBACK
5' SIDE SETBACK
MINIMUM BUILDING FLOOR AREA=1,250 SF

**EASTBROOK FARMS
PRELIMINARY PLAN**
SECTION 14, TOWN 2, RANGE 5
CITY OF SPRINGBORO
WARREN COUNTY

PRELIMINARY PLAN

bayer becker
www.bayerbecker.com
6900 TYLERSVILLE ROAD, SUITE A
MASON, OH 45040 - 513.336.6600

Drawing: 23-0256 PP
Drawn by: ACE
Checked by: JSD
Issue Date: 04/19/2024

PL1.0

Plot time: Apr 18, 2024 - 5:26pm
Drawing name: J:\2023\23-0256\PL1\DWG\23-0256 PP.dwg - Layout Tab: Preliminary Plan



THE AMELIA

DESIGNER COLLECTION

1,683-2,990 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



American Classic



Coastal Cottage



Modern Retreat



Modern Prairie



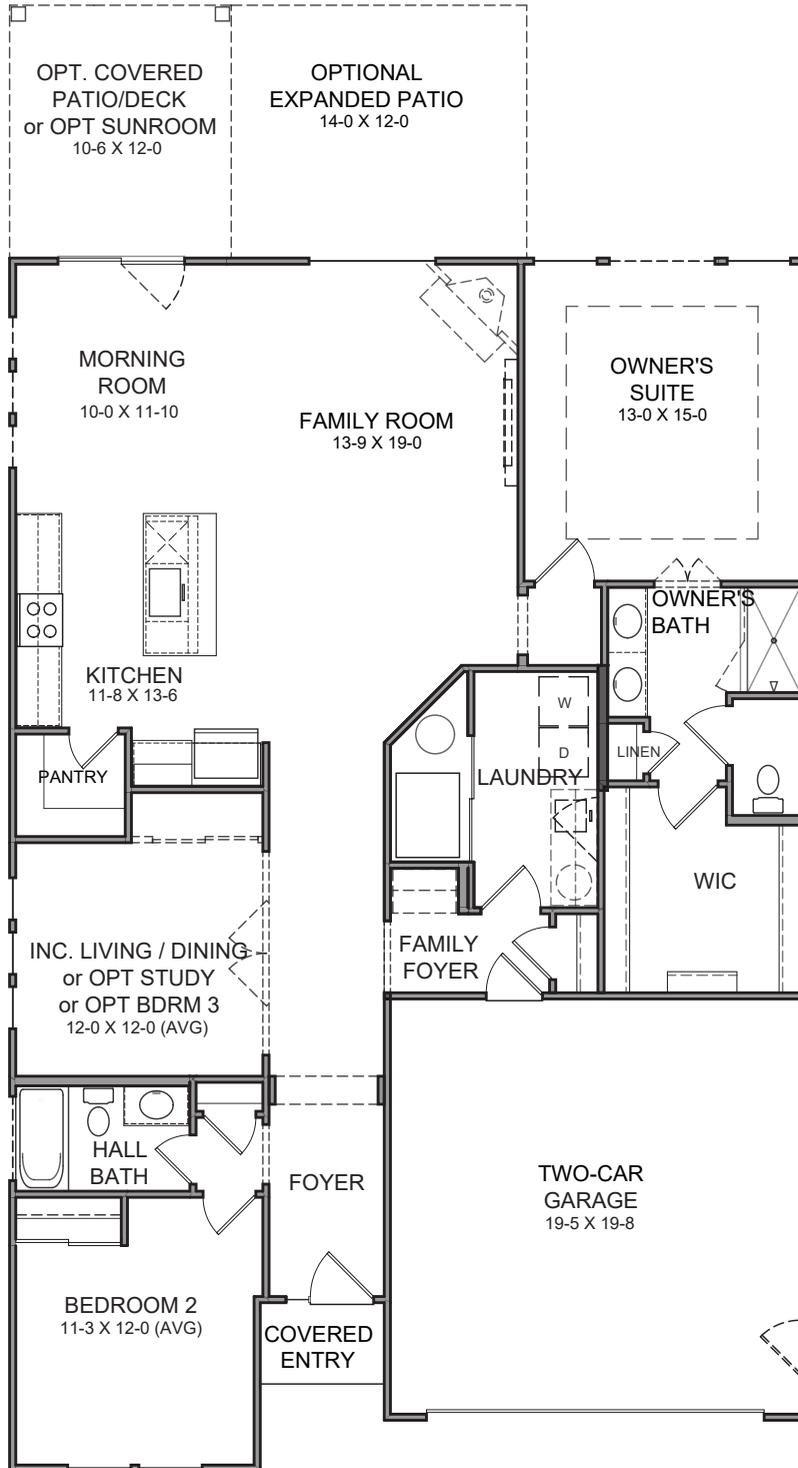
Modern Farmhouse



Nantucket Retreat



Photos, Options,
Virtual Tours
& More



Design Features:

- Extra Large Family Room, open to Kitchen
- Optional Basement or Optional Loft
- Optional Sunroom with Optional Expanded Patio and Deck Options
- Optional direct access to Laundry from Owner's Walk-in Closet
- 6 Optional Exterior Designs



THE CAMDEN

DESIGNER COLLECTION

1,859-2811 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

Coastal Cottage



American Classic

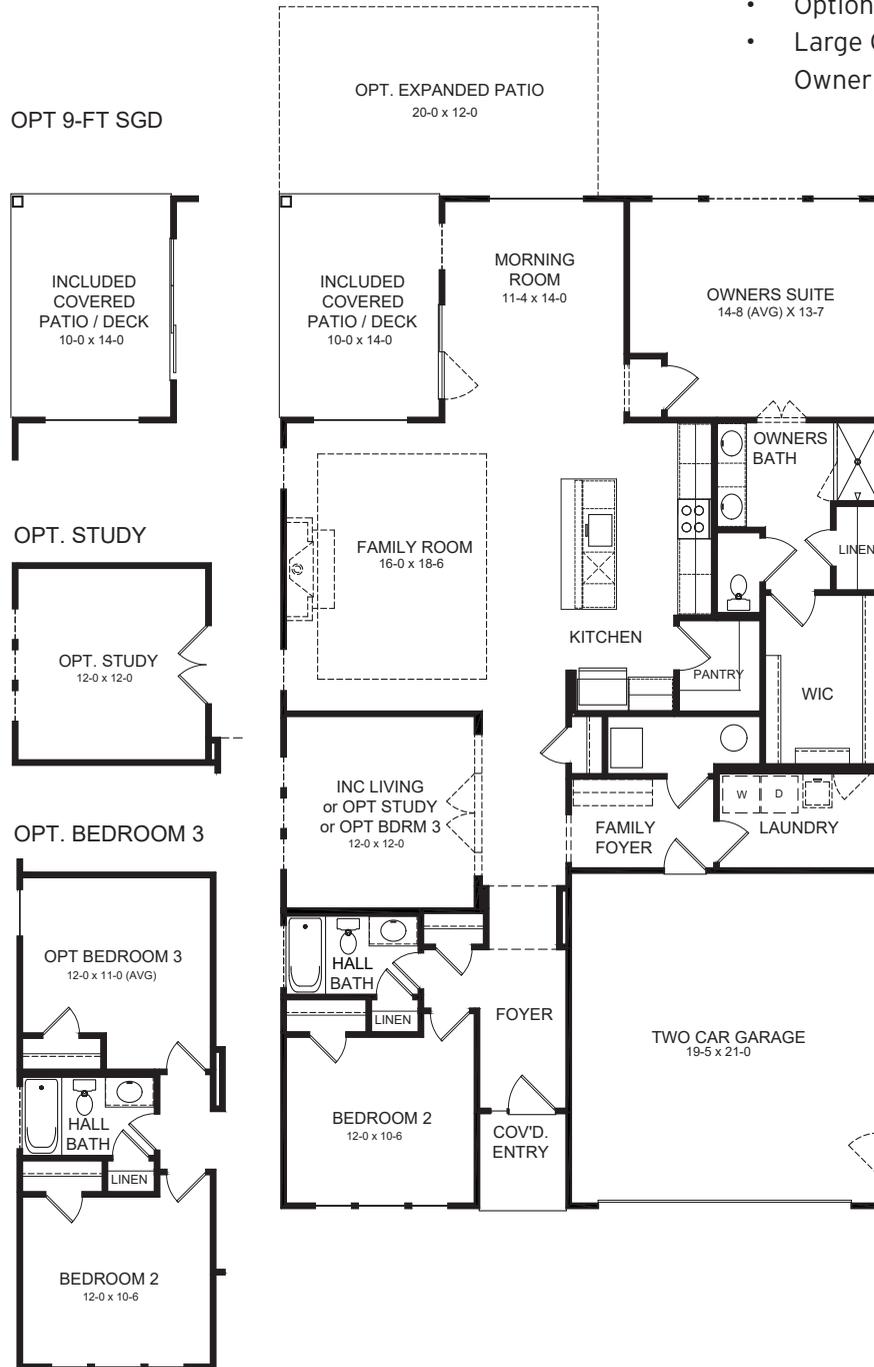


Modern Retreat

Design Features:

- Spacious and centralized Family Room and Kitchen
- Included Outdoor Space, visible from Main Living and Dining functions
- Optional Study or Optional Bedroom 3
- Optional Basement or Optional Loft
- Large Owner's Walk-in Closet and Optional Owner's Luxury Shower

INCLUDED FIRST FLOOR DESIGN





THE EDENTON

DESIGNER COLLECTION

1,501-2440 SQFT

1 Story/Opt. Loft

2-3 Bedrooms

2-3 Baths

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Photos, Options,
Virtual Tours
& More

American Classic



Coastal Cottage

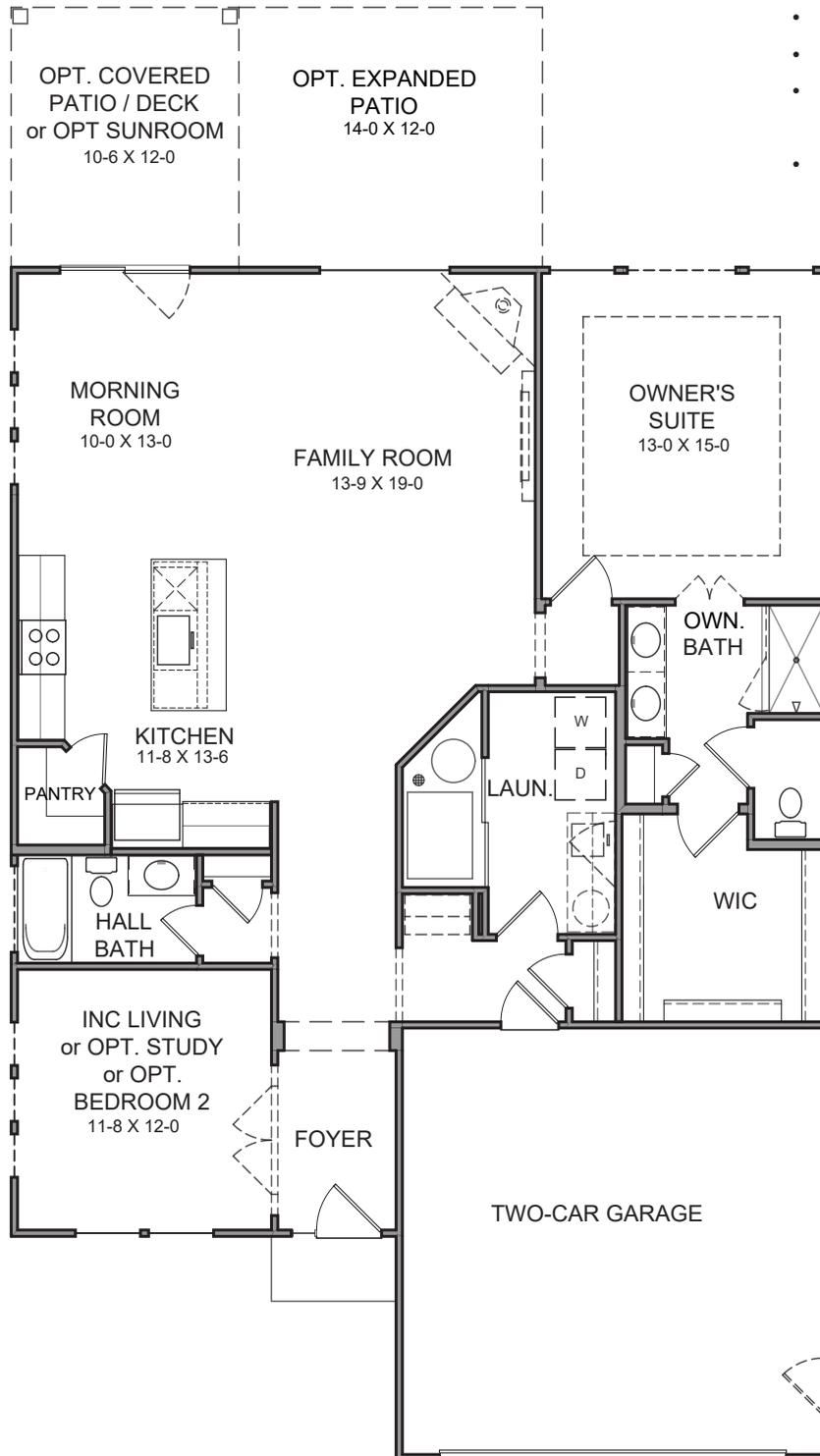


Modern Retreat



Design Features:

- Extra Large Family Room, open to Kitchen
- Optional Basement or Optional Loft
- Optional Sunroom with Optional Expanded Patio and Deck Options
- Optional direct access to Laundry from Owner's Walk-in Closet





THE MAXWELL

DESIGNER COLLECTION

1,856-3023 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

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Photos, Options,
Virtual Tours
& More

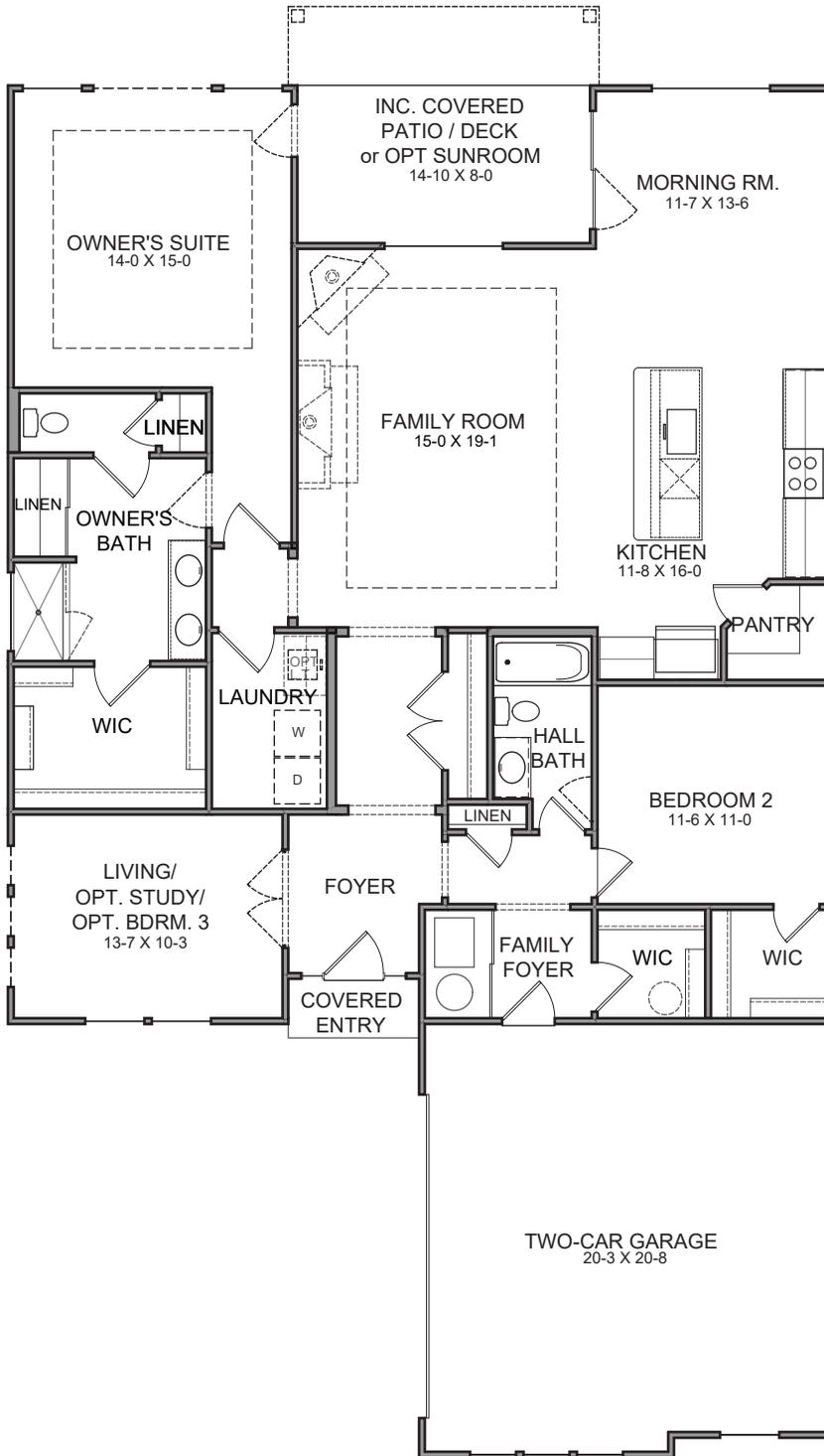
American Classic



Coastal Cottage



Modern Retreat



Design Features:

- Courtyard entry garage
- Expansive Family Room
- Morning Room connected to included outdoor living
- Optional Basement or Optional Loft
- Optional Study or Optional Bedroom 3



THE MORGAN

DESIGNER COLLECTION

1,810-2,762 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

Coastal Cottage

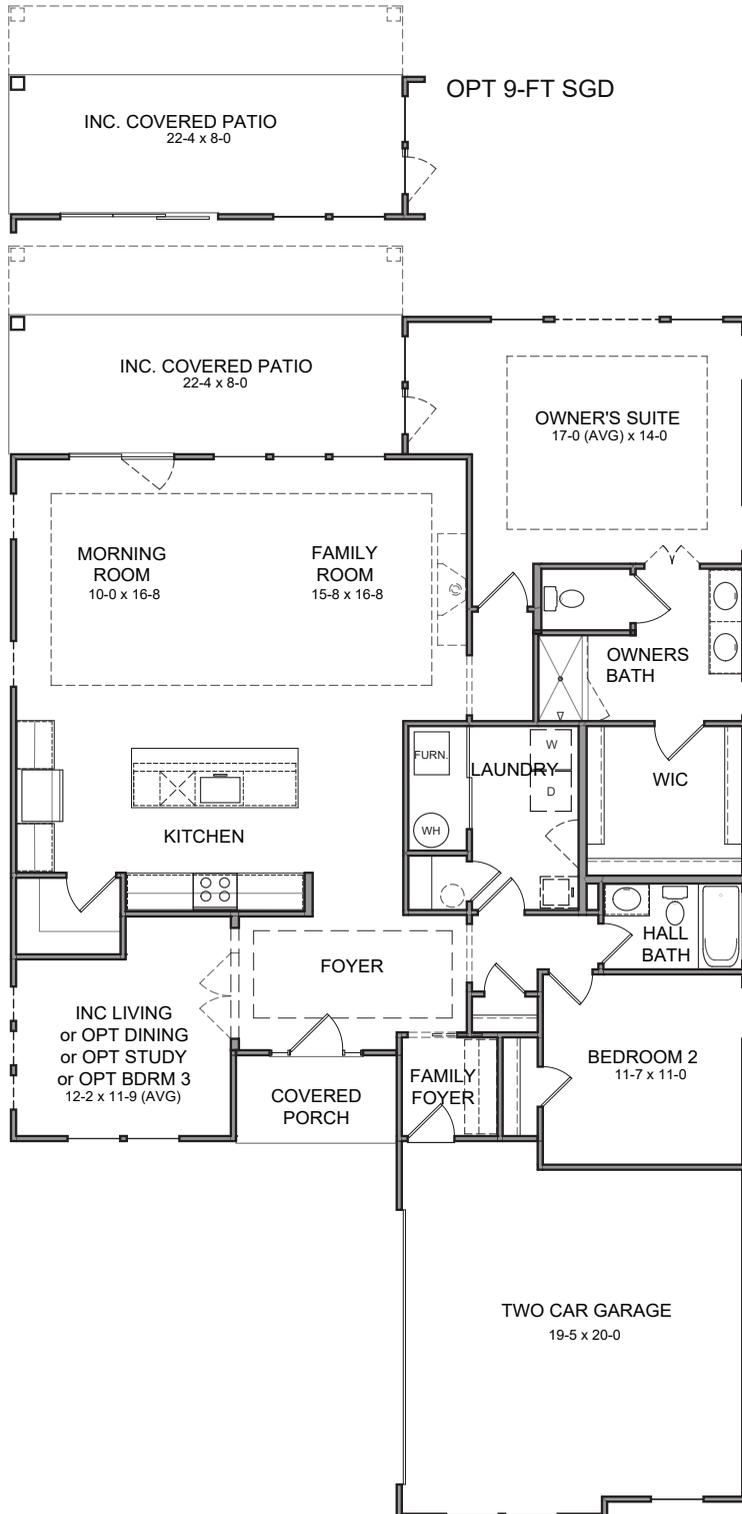


American Classic



Modern Retreat

INCLUDED FIRST FLOOR DESIGN



Design Features:

- Courtyard entry garage
- Included, very large Outdoor Living
- Foyer provides easy circulation to all main functions
- Optional Raised ceiling in Family Room and Foyer
- Optional Basement or Optional Loft
- Private Hall to Owner's Suite
- Owner's Suite Bath is spacious with extra large Walk-in Closet and Optional door to Laundry



THE WILMINGTON

DESIGNER COLLECTION

1,725-3,063 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

American Classic

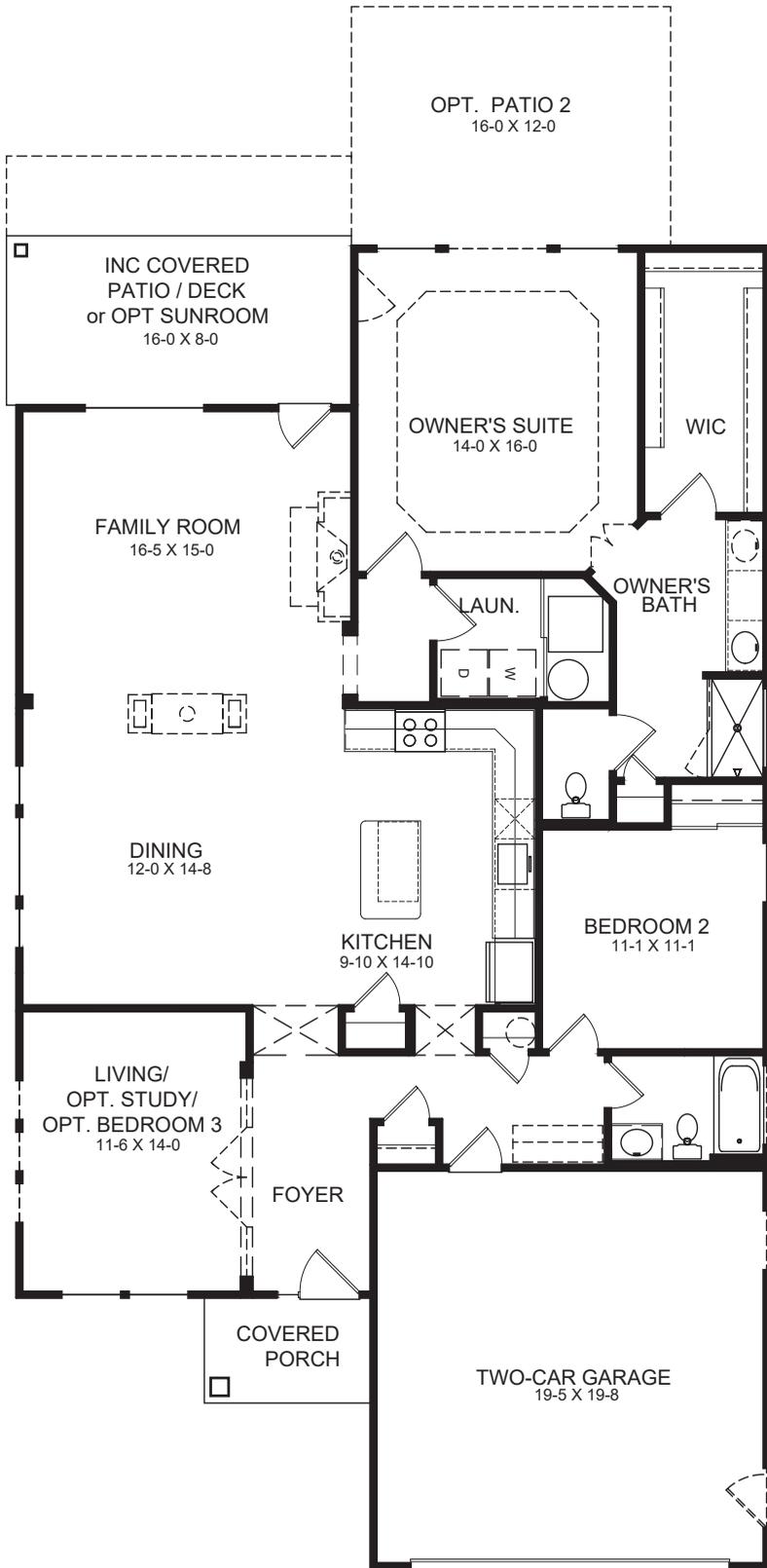


Coastal Cottage



Modern Retreat





Design Features:

- Large Dining space integrated with Kitchen
- Optional Basement or Optional Loft
- Included Outdoor Living
- Optional Study or Optional Bedroom 3
- Private Entry to Owner's Suite
- Extra Large Owner's Walk-in Closet



THE AVERY DESIGNER COLLECTION

2,535 SQFT

2 Story

4 Bedrooms

2-4 Baths



Photos, Options,
Virtual Tours
& More

Urban Modern



Coastal Cottage



Modern Farmhouse



Western Craftsman

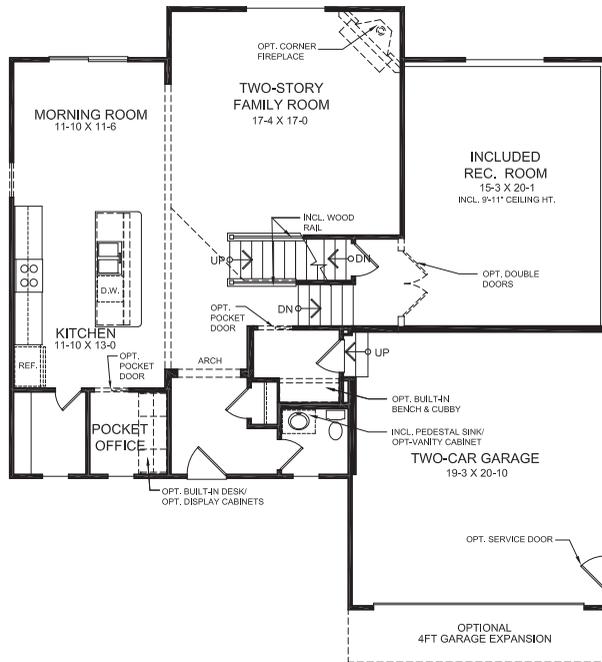
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RVSD
02/24

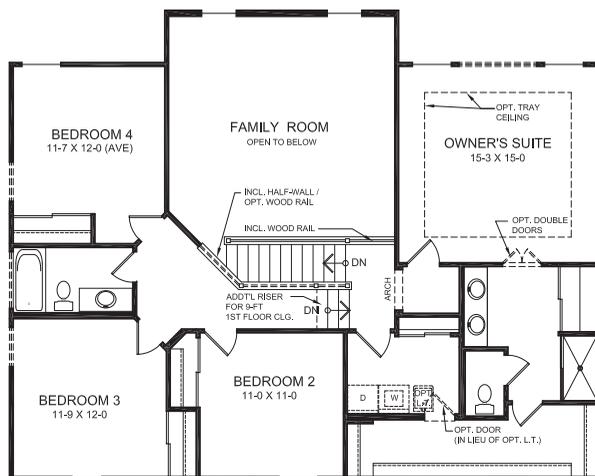
Main Level



Main Level Features

- Unique Five-Level Design
- Included Family Foyer
- Included Pocket Office with Optional Built-in Desk
- Two-story Family Room
- Open Kitchen Design with Large Island
- Walk-in Pantry
- Included Recreation Room just down from the Family Room
- Optional Guest Suite

Upper Level



Upper Level Features

- Owner's Suite Located on it's Own Private Level
- Over-sized Walk-in Closet
- Convenient Optional Door from Owner's Walk-in Closet to Laundry
- Variety of Owner's Level Bath Optional Configurations
- 3 Additional Bedrooms and Full Bath Located on their Own Level
- Upper Level Balcony Provides Dynamic Views into Family Room Below

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THE BLAIR

DESIGNER COLLECTION

3,029-3,735 SQFT

2 Story

4-5 Bedrooms

2-5 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Modern Farmhouse



American Classic



Urban Modern



Cambridge Cottage



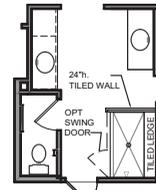
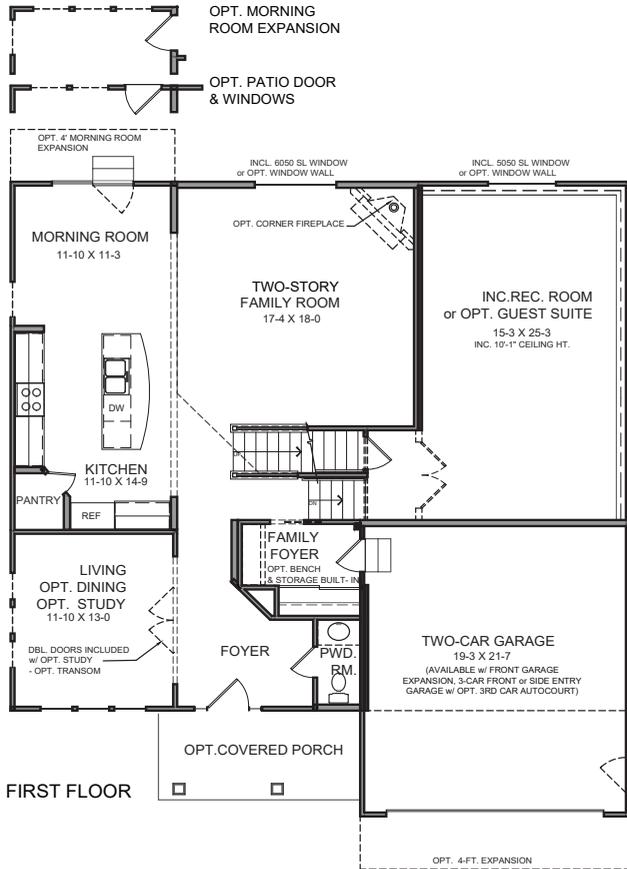
Coastal Classic



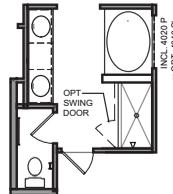
Photos, Options,
Virtual Tours
& More

DESIGN FEATURES:

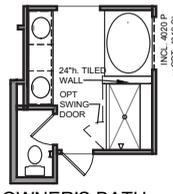
- 5-Level Design with Two-Story Family Room
- Owner's Suite on its own level with Private Entry
- Spacious Rec Room or Optional Guest Suite
- Large Owner's Bath with split vanities and large walk-in closet



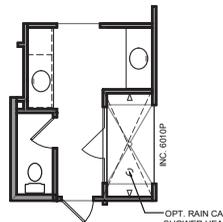
OWNER'S BATH
w/ OPT. DELUXE SHOWER



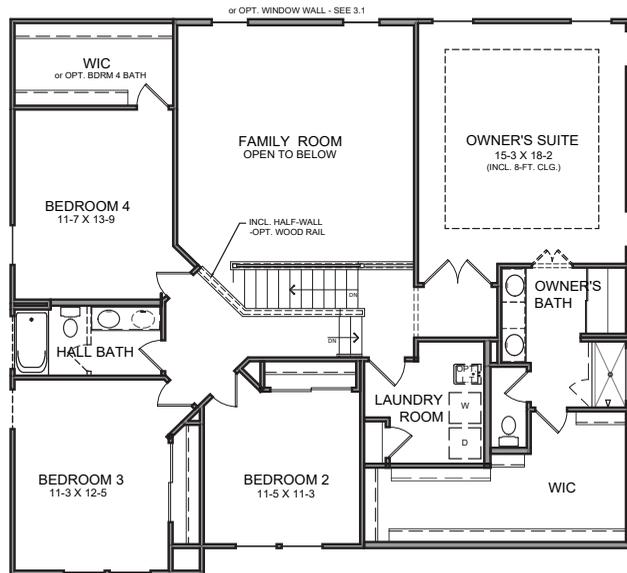
OWNER'S BATH
w/ OPT. GARDEN BATH



OWNER'S BATH
w/ OPT. DELUXE GARDEN BATH



OWNER'S BATH
w/ OPT. LUXURY SHOWER





THE CALVIN DESIGNER COLLECTION

2,069 SQFT

1 Story

3-4 Bedrooms

2-3 Baths



Photos, Options,
Virtual Tours
& More

Modern Farmhouse



Western Craftsman



Cambridge Cottage



Nantucket Retreat

VIEW FLOORPLANS ON FISCHERHOMES.COM

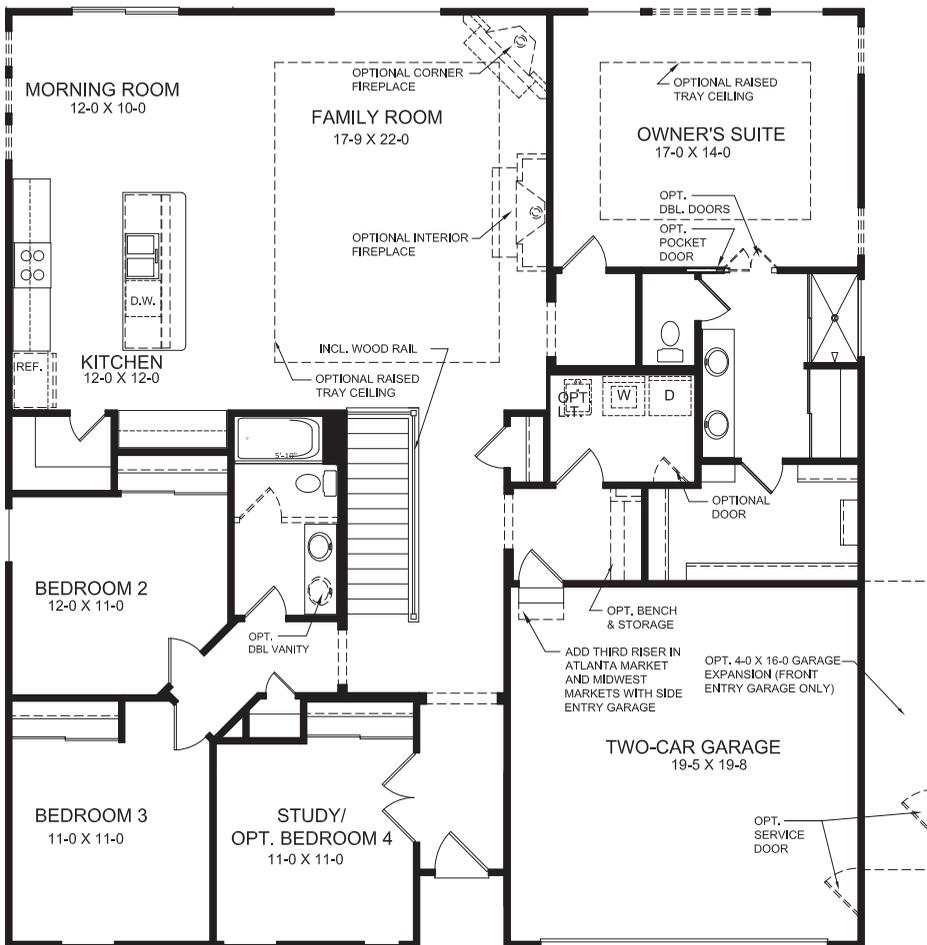


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02/24

Main Level

Main Level Features



- Three Bedroom with Study
- Optional 4th Bedroom
- Open Family Room with Optional Fireplace
- Large Owner's Suite with Walk-in Closet
- Open Kitchen Design with Large Island
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Luxury Shower
- Optional Finished Lower Level

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THE CHARLES DESIGNER COLLECTION

2,457 SQFT

2 Story

3-6 Bedrooms

2.5-4.5 Baths



Photos, Options,
Virtual Tours
& More

Coastal Classic



Pacific Craftsman



Modern Farmhouse



Cambridge Cottage

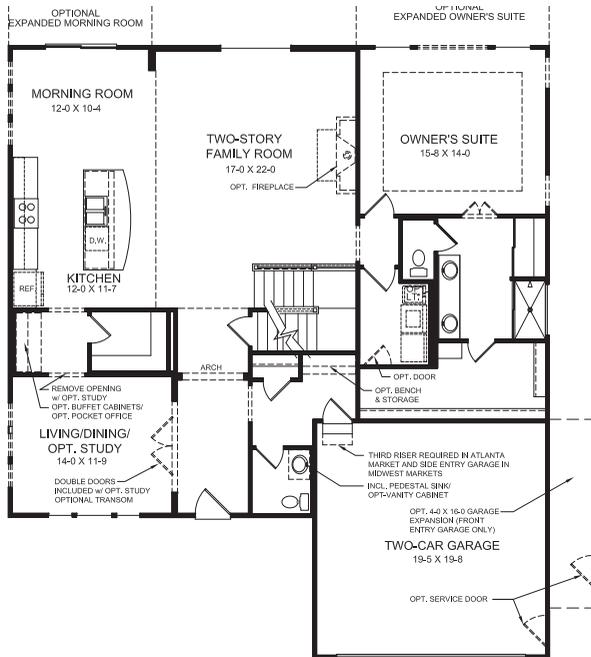
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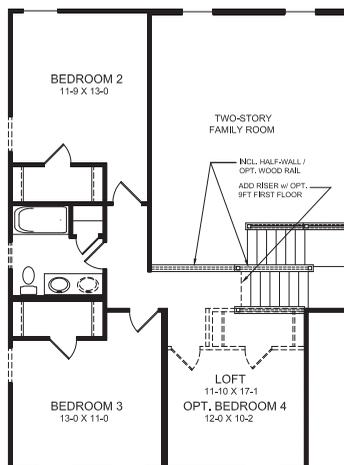
Main Level



Main Level Features

- Spacious Entry Foyer
- Included Living/Opt. Dining/Opt. Study Flex Space
- Optional First Floor Guest Suite with Private Bath
- Soaring Two-Story Family Room
- First Floor Owner's Suite Includes Private Bath and large Walk-in Closet
- First Floor Laundry with Optional Door to Owner's Walk-in-closet
- Convenient Family Foyer with Optional Built-in Bench and Storage
- Open Kitchen with Large Island and Over-sized Walk-in Pantry
- Optional Buffet Cabinets/Optional Pocket Office Cabinets
- Optional 4ft Owner's Suite Expansion
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Owner's Suite

Upper Level



Upper Level Features

- Includes Two Spacious Bedrooms with Walk-in Closets
- Includes Loft Open to Family Room
- Optional Fourth Bedroom with Walk-in Closet in lieu of Loft
- Included Hall Bath

VIEW FLOORPLANS ON FISCHERHOMES.COM





THE DELANEY DESIGNER COLLECTION

1,782-2,255 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Photos, Options,
Virtual Tours
& More

Urban Modern



Cambridge Cottage



Modern Farmhouse



Nantucket Retreat

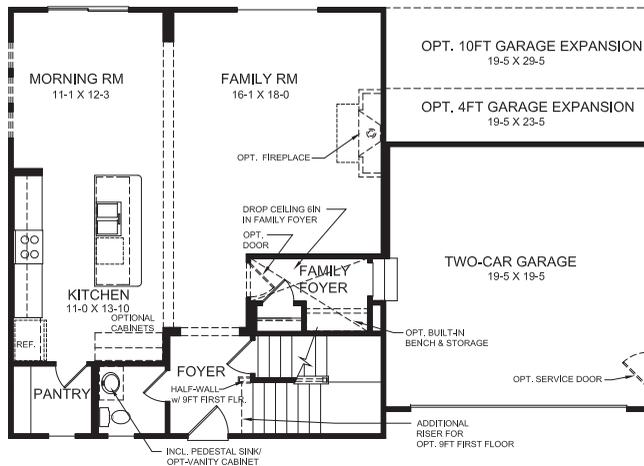
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RVSD
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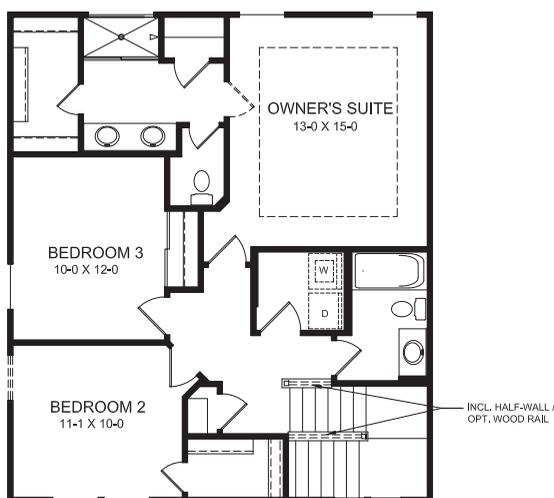
Main Level



Main Level Features

- Open Family Room, Kitchen, & Morning Room Design
- Kitchen Design Includes Large Island with Seating and Walk-in Pantry
- Included Family Foyer
- Optional Expanded Morning Room
- Optional Fireplace

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Optional Owner's Bath with Separate Shower & Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- Optional Luxury Shower
- 3 Bedrooms
- Alternate Second Floor Design with 4 Bedrooms
- Second Floor Laundry

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02/24



THE FOSTER DESIGNER COLLECTION

2,954-3,980 SQFT

2 Story

4-6 Bedrooms

2-4 Baths



Photos, Options,
Virtual Tours
& More

Hillstone Craftsman



Modern Farmhouse



American Farmhouse



Pacific Craftsman

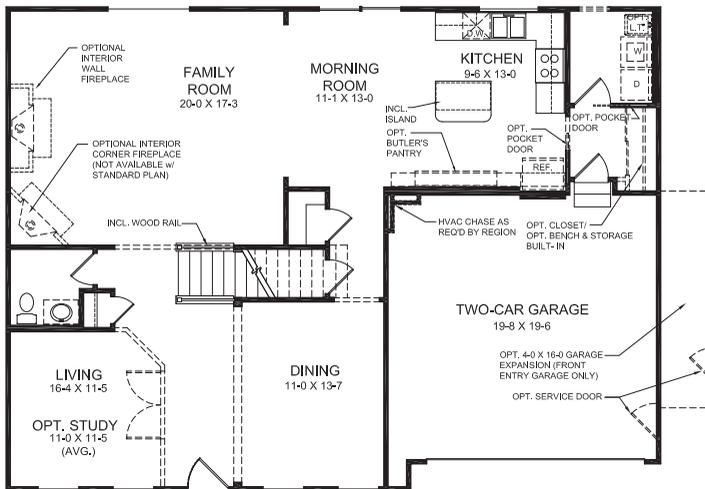
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02/24

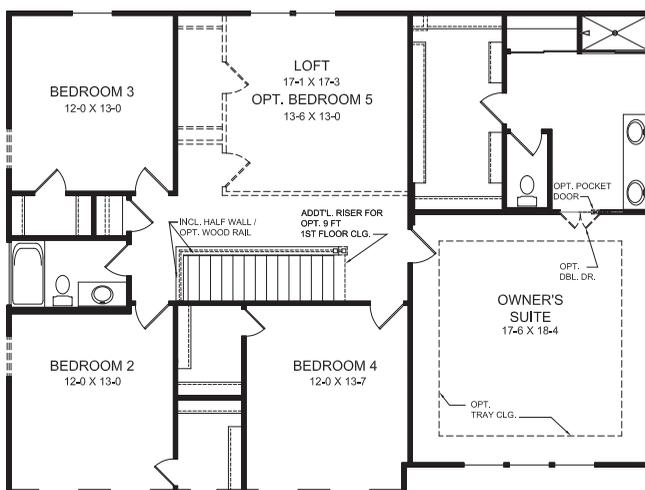
Main Level



Main Level Features

- Open Living Room and Dining Room
- Optional Study in Lieu of Living Room
- Expansive Family Room Open to Morning Room and Kitchen
- Included Island and Optional Butler's Pantry
- Convenient Oversized First Floor Laundry
- Optional Bay Window
- Optional Sunroom with Gourmet Kitchen Island
- Optional Fireplace
- Optional Guest Suite

Upper Level



Upper Level Features

- Spacious Owner's Suite with Oversized Walk-in Closet
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- 4 Bedrooms with Loft
- Walk-in Closets in all 4 Bedrooms
- Optional 5th Bedroom in Lieu of Loft
- Optional Tray Ceiling in Owner's Suite

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RVSD
02/24



THE GRANDIN DESIGNER COLLECTION

2,711-3,831 SQFT

2 Story

4-5 Bedrooms

2-5 Baths



Photos, Options,
Virtual Tours
& More

Urban Modern



Coastal Classic



Cambridge Cottage



Western Craftsman

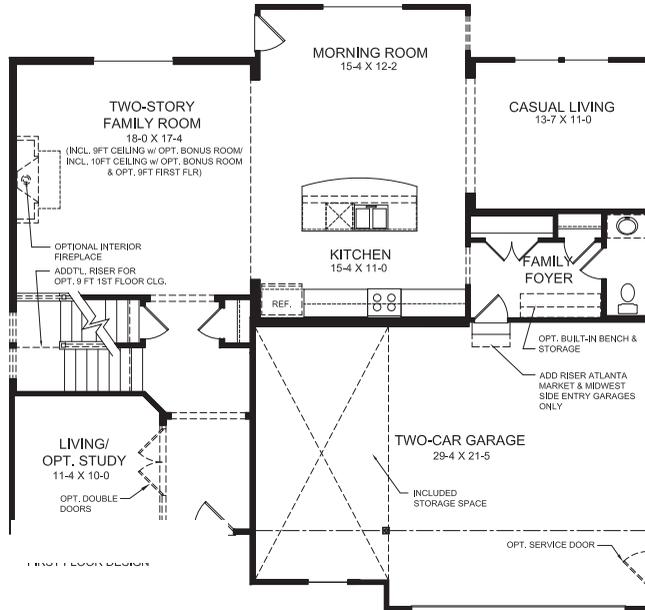
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RVSD
02/24

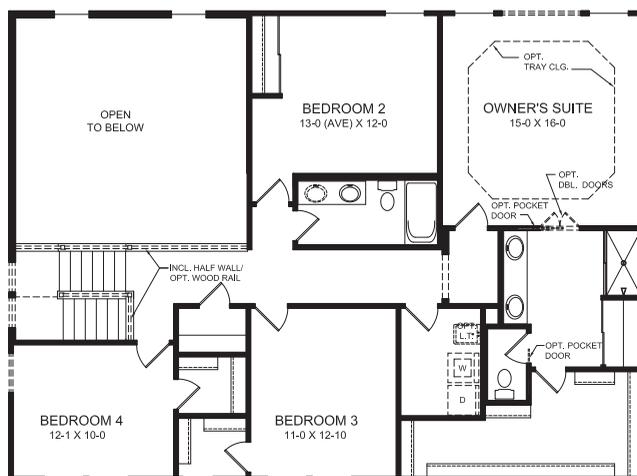
Main Level



Main Level Features

- Soaring Two-story Family Room
- Living Room/Optional Study Located in Front of the Home
- Open Kitchen Design with Expansive Island with Seating and Light-filled Morning Room
- Casual Living Space Open to Kitchen, Family Room and Morning Room located in Rear of the Home
- Optional Private Guest Suite in Lieu of Casual Living Space
- Optional Pocket Office & First Floor Laundry with Walk-in Pantry in Lieu of Casual Living Space
- Spacious Family Foyer with Coat Closet
- Included Over-sized Garage with Large Storage Area
- Optional Built-in Appliances

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling & Large Walk-in Closet
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- 4 Bedrooms
- Optional Expansive Bonus Room in Lieu of Two-Story Family Room
- Convenient 2nd Floor Laundry
- Optional 3rd Full Bath

VIEW FLOORPLANS ON FISCHERHOMES.COM





THE KEATON DESIGNER COLLECTION

2,069-2,108 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Photos, Options,
Virtual Tours
& More

American Farmhouse



Western Craftsman



Modern Farmhouse



American Classic

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RVSD
02/24



THE MAGNOLIA DESIGNER COLLECTION

1,621-1,805 SQFT

1 Story

3-4 Bedrooms

2-3 Baths



Photos, Options,
Virtual Tours
& More

Hillstone Craftsman



Western Craftsman



Modern Farmhouse



Cambridge Cottage

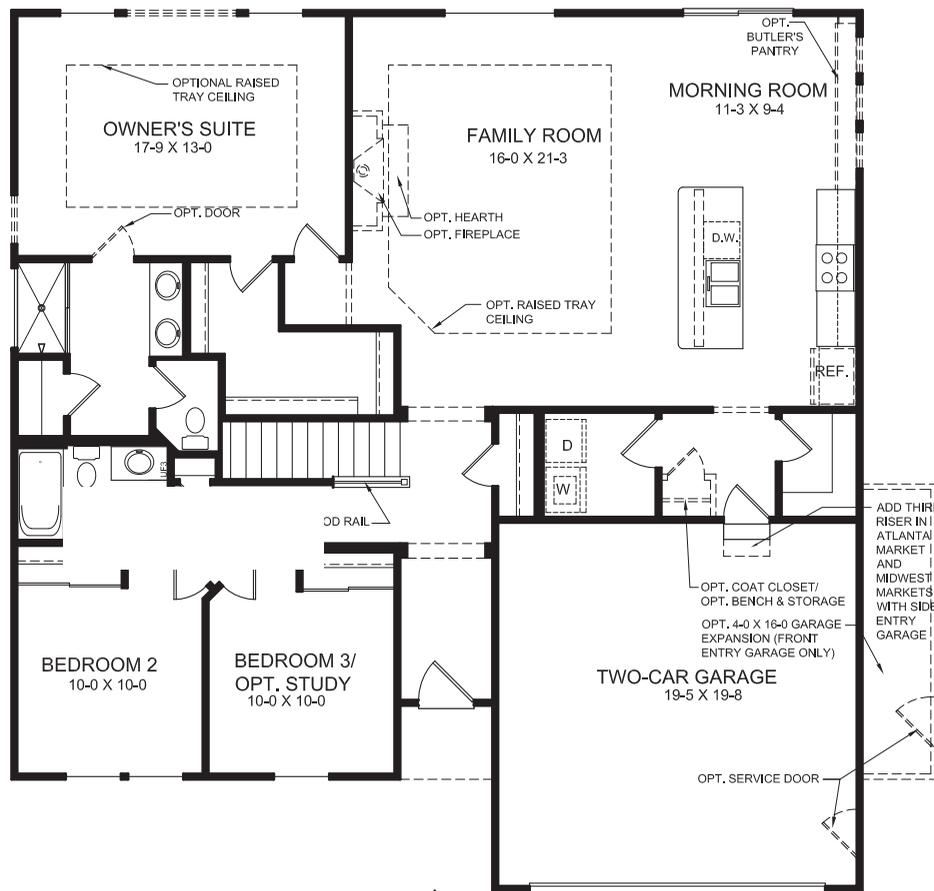
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RVSD
02/24

Main Level



Main Level Features

- Three Bedroom with Optional Study in Lieu of Third Bedroom
- Open Family Room with Optional Fireplace
- Large owner's Suite with Walk-in Closet
- Open Kitchen/Morning Room
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub Bath
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Luxury Shower
- Optional Finished Lower Level

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RVSD
02/24



THE MILES DESIGNER COLLECTION

2,437 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Photos, Options,
Virtual Tours
& More

Modern Farmhouse



Coastal Classic



Cambridge Cottage



Nantucket Retreat

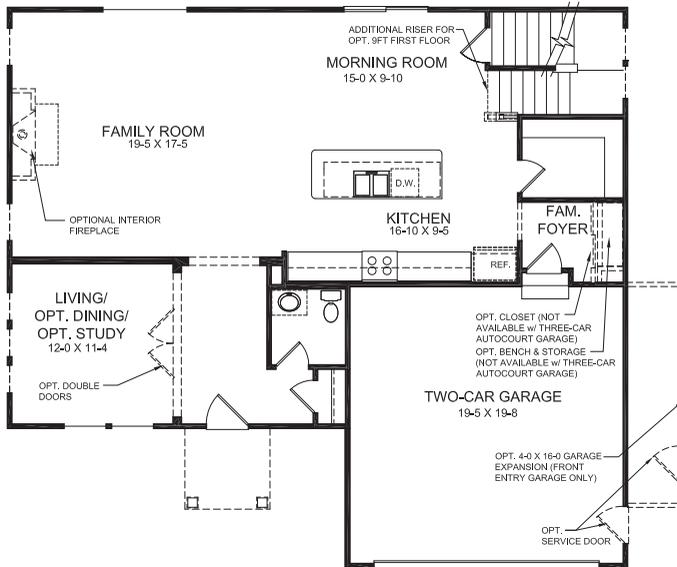
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RVSD
02/24

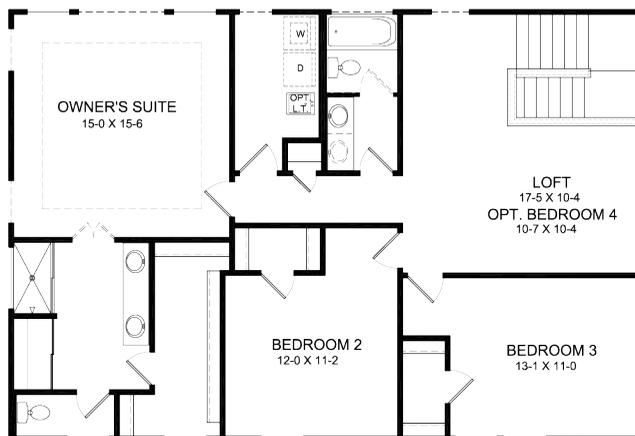
Main Level



Main Level Features

- Flexible Living/Dining/Optional Study Located in Front of the Home
- Spacious Family Room
- Open Kitchen Design with Expansive Island Seating
- Optional Morning Room Bay Window Adds Abundance of Natural Light
- Optional Morning Room Expansion Adds Additional Space and Windows
- Large Walk-in Pantry
- Optional Pocket Office Relocates Walk-in Pantry
- Stair Conveniently Located Off Kitchen/Morning Room
- Included Family Foyer with Optional Coat Closet or Optional Built-in Bench and Storage

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Variety of Owner's Bath Shower and Tub Configurations Available
- Three Bedrooms with Included Loft. Optional Fourth Bedroom in lieu of Loft
- Laundry Room Conveniently Located on Second Floor

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THE SPRINGFIELD DESIGNER COLLECTION

1,805 SQFT

1 Story

2-3 Bedrooms

2-3 Baths



Photos, Options,
Virtual Tours
& More

Urban Modern



Modern Farmhouse



American Classic



Coastal Cottage

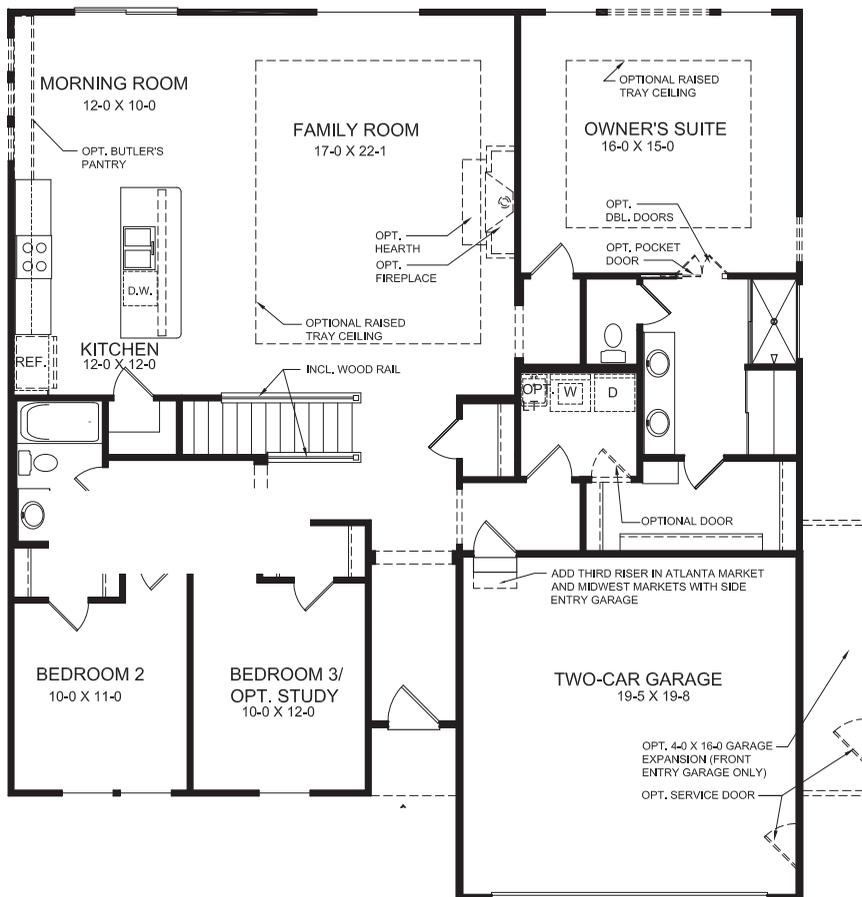
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RVSD
02/24

Main Level



Main Level Features

- Three Bedroom with Optional Study in Lieu of Third Bedroom
- Open Family room with Optional Fireplace
- Large Owner's Suite with Walk-in Closet
- Open Kitchen/Morning Room
- Optional 4ft Morning Room Expansion
- Optional Butler's Pantry Cabinets
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub Bath
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Door from Owner's Walk-in Closet to Laundry
- Optional Luxury Shower
- Optional Finished Lower Level

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RVSD
02/24



THE WYATT DESIGNER COLLECTION

2,731 SQFT

2 Story

4-5 Bedrooms

2.5-4.5 Baths



Photos, Options,
Virtual Tours
& More

Modern Farmhouse



American Classic



Nantucket Retreat



Cambridge Cottage

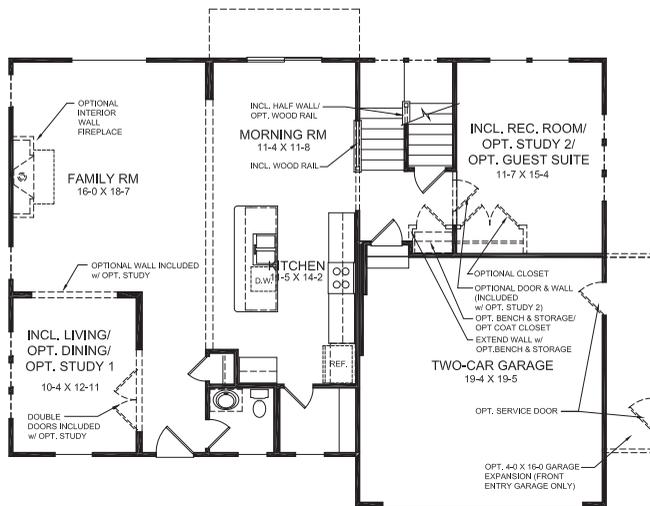
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RVSD
02/24

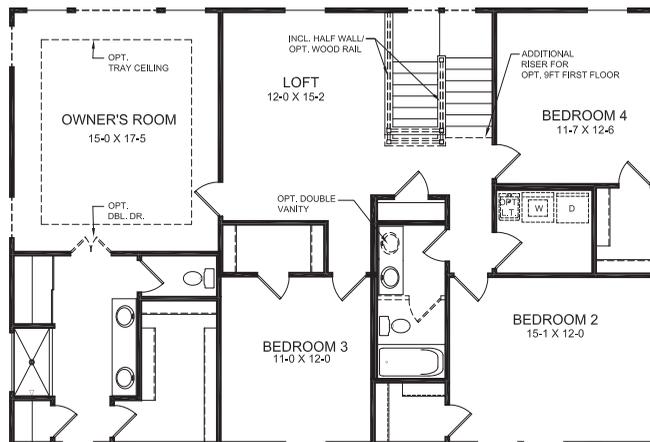
Main Level



Main Level Features

- Flexible Living/Dining/Optional Study Located in Front of the Home
- Open Concept First Floor Design Promotes Connection Between Family Room, Morning Room and Kitchen
- Kitchen Features an Expansive Island with Seating
- Large Walk-in Pantry
- Optional Morning Room Expansion Adds Additional Space and Windows
- Optional Pocket Office and Pantry Cabinet in Lieu of Walk-in Pantry
- Stairs Conveniently Located off Kitchen/Morning Room
- Included Family Foyer with Optional Coat Closet or Optional Built-in Bench and Storage
- Included Rec. Room/ Optional Private Study Located in Rear of Home
- Optional Private Guest Suite with Full Bath in Lieu of Rec. Room

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Variety of Owner's Bath Shower and Tub Configurations Available
- Four Total Bedrooms all with Walk-in Closets
- Includes Large, Open Loft
- Laundry Room Conveniently Located on Second Floor

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COMcheck Software Version COMcheckWeb Envelope Compliance Certificate

Project Information

Energy Code: 90.1 (2010) Standard
 Project Title: Springfield truck repair shop
 Location: Springfield, Ohio
 Climate Zone: 5a
 Project Type: New Construction
 Vertical Glazing / Wall Area: 3%

Construction Site:

Owner/Agent:

Designer/Contractor:

Building Area

Floor Area

1-Automotive Facility - Nonresidential

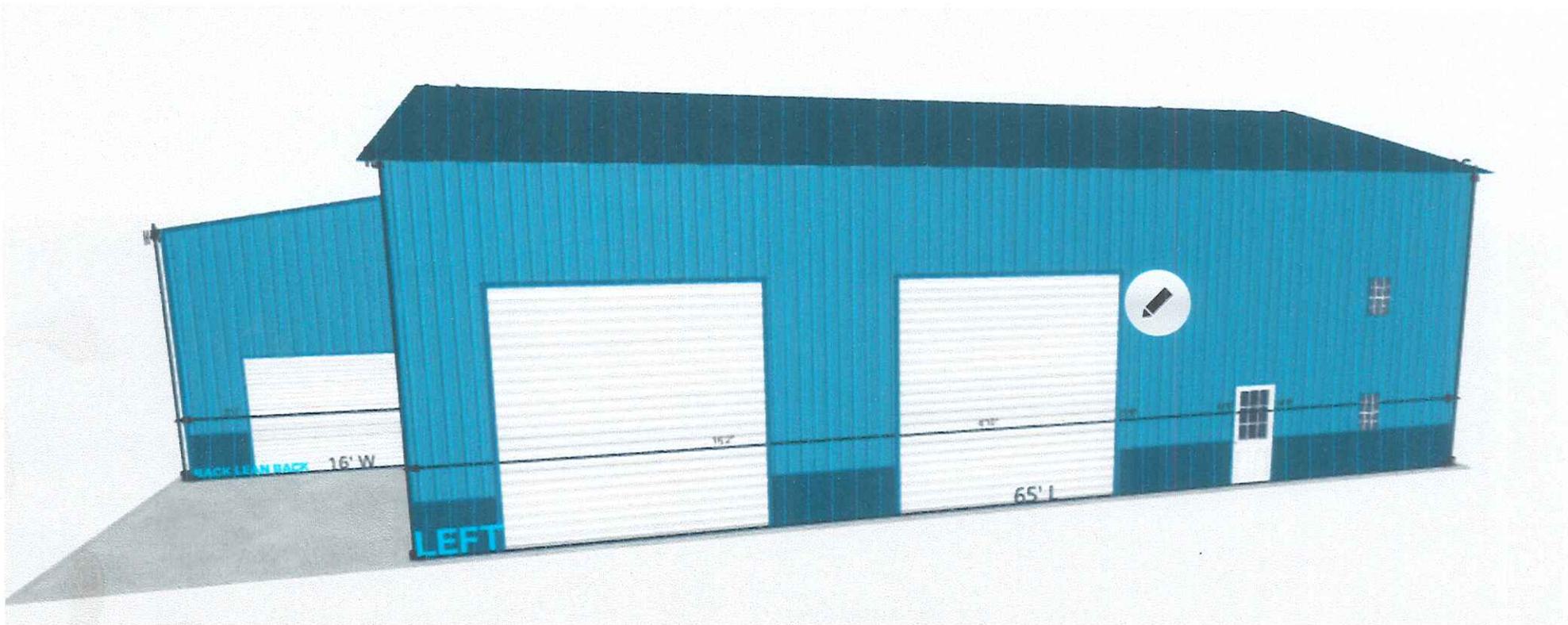
2600

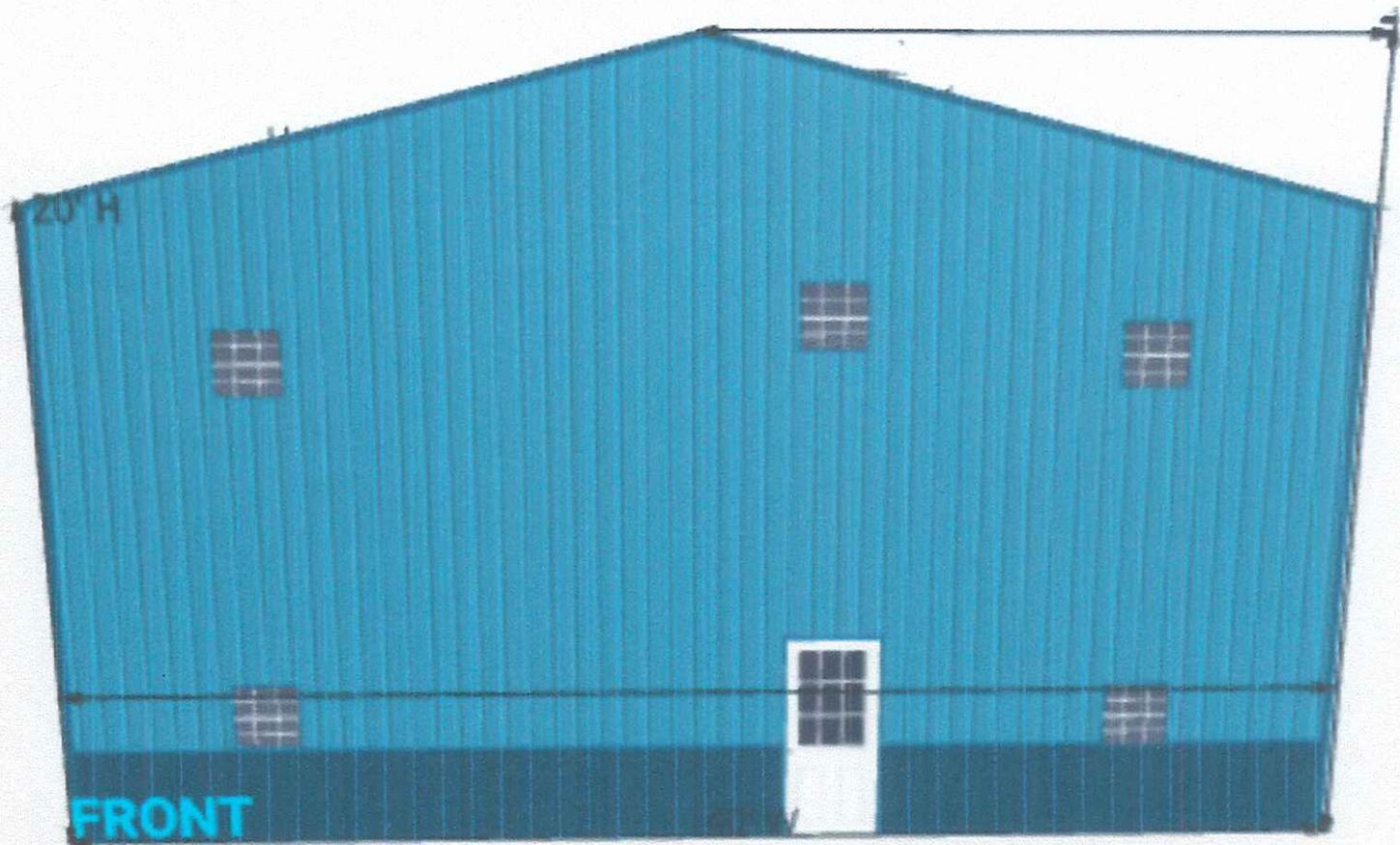
Envelope Assemblies

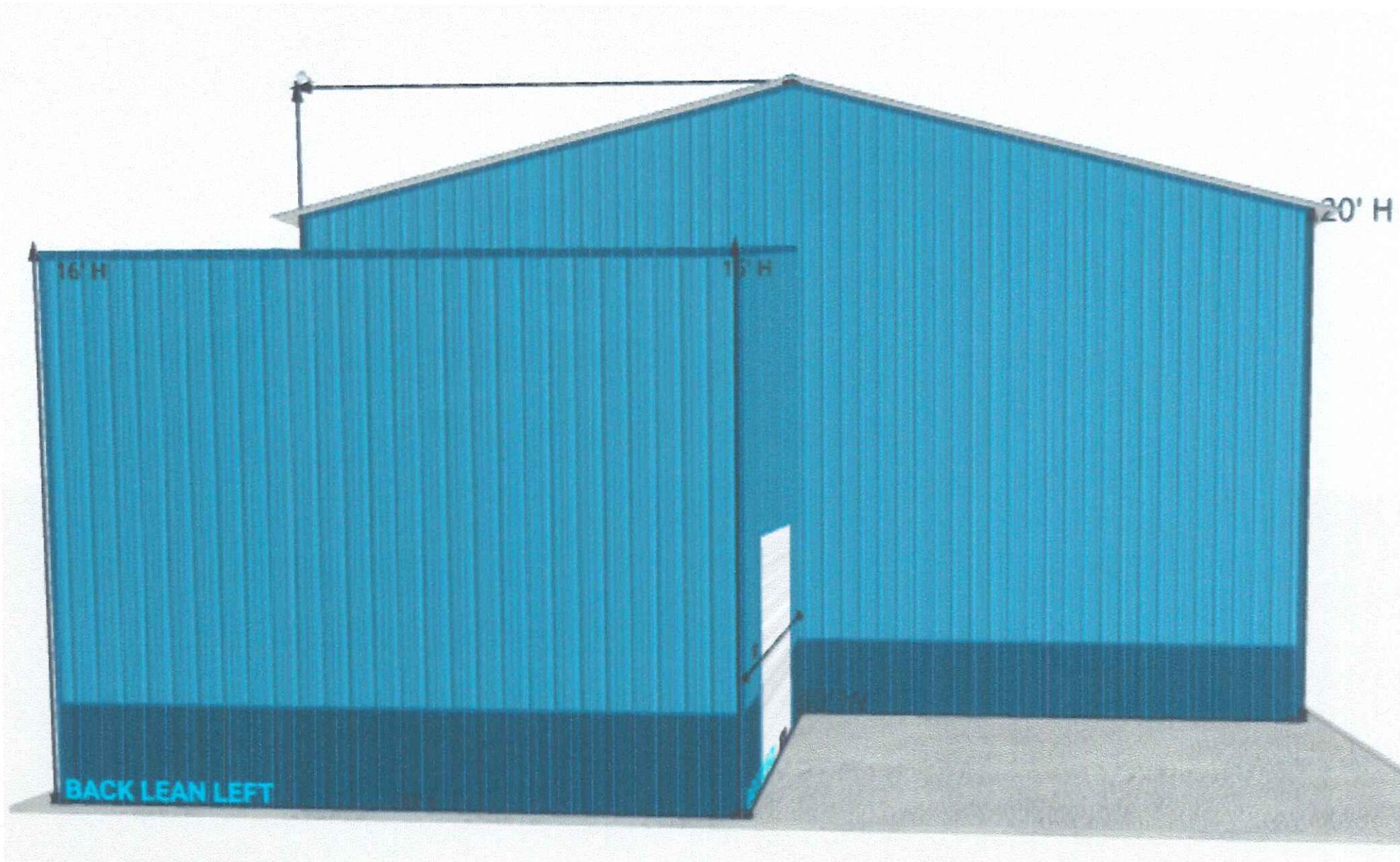
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor ^(a)
Roof: Metal Building, Screw Down, Liner System without Thermal Blocks, [Bldg. Use 1 - Automotive Facility]	2600	38.0	0.0	0.044	0.055
Floor: Unheated Slab-On-Grade, Vertical 3 ft., [Bldg. Use 1 - Automotive Facility] (b)	210	---	10.0	0.510	0.510
NORTH					
Ext. Wall: Metal Building Wall, Single Layer Mineral Fiber (compressed at girt), [Bldg. Use 1 - Automotive Facility]	800	19.0	0.0	0.084	0.089
EAST					
Ext. Wall: Metal Building Wall, Single Layer Mineral Fiber (compressed at girt), [Bldg. Use 1 - Automotive Facility]	1300	19.0	0.0	0.084	0.089
SOUTH					
Ext. Wall: Metal Building Wall, Single Layer Mineral Fiber (compressed at girt), [Bldg. Use 1 - Automotive Facility]	800	19.0	0.0	0.084	0.089
WEST					
Ext. Wall: Metal Building Wall, Single Layer Mineral Fiber (compressed at girt), [Bldg. Use 1 - Automotive Facility]	1300	19.0	0.0	0.084	0.089
Window: Vinyl Frame: Operable, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.59, VT 0.64, [Bldg. Use 1 - Automotive Facility]	112	---	---	0.600	0.350
Door: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Automotive Facility]	534	---	---	0.240	0.500

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

(b) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.





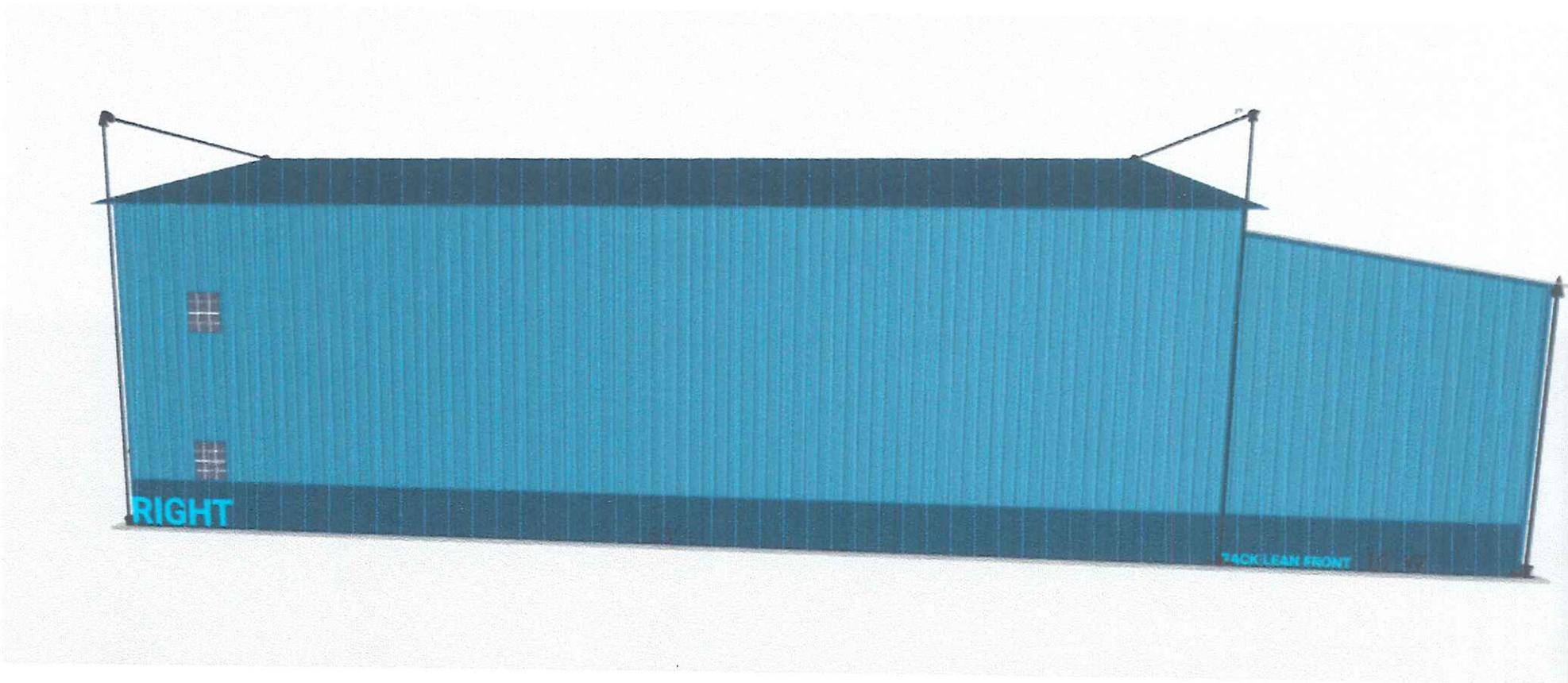


16' H

15' H

20' H

BACK LEAN LEFT



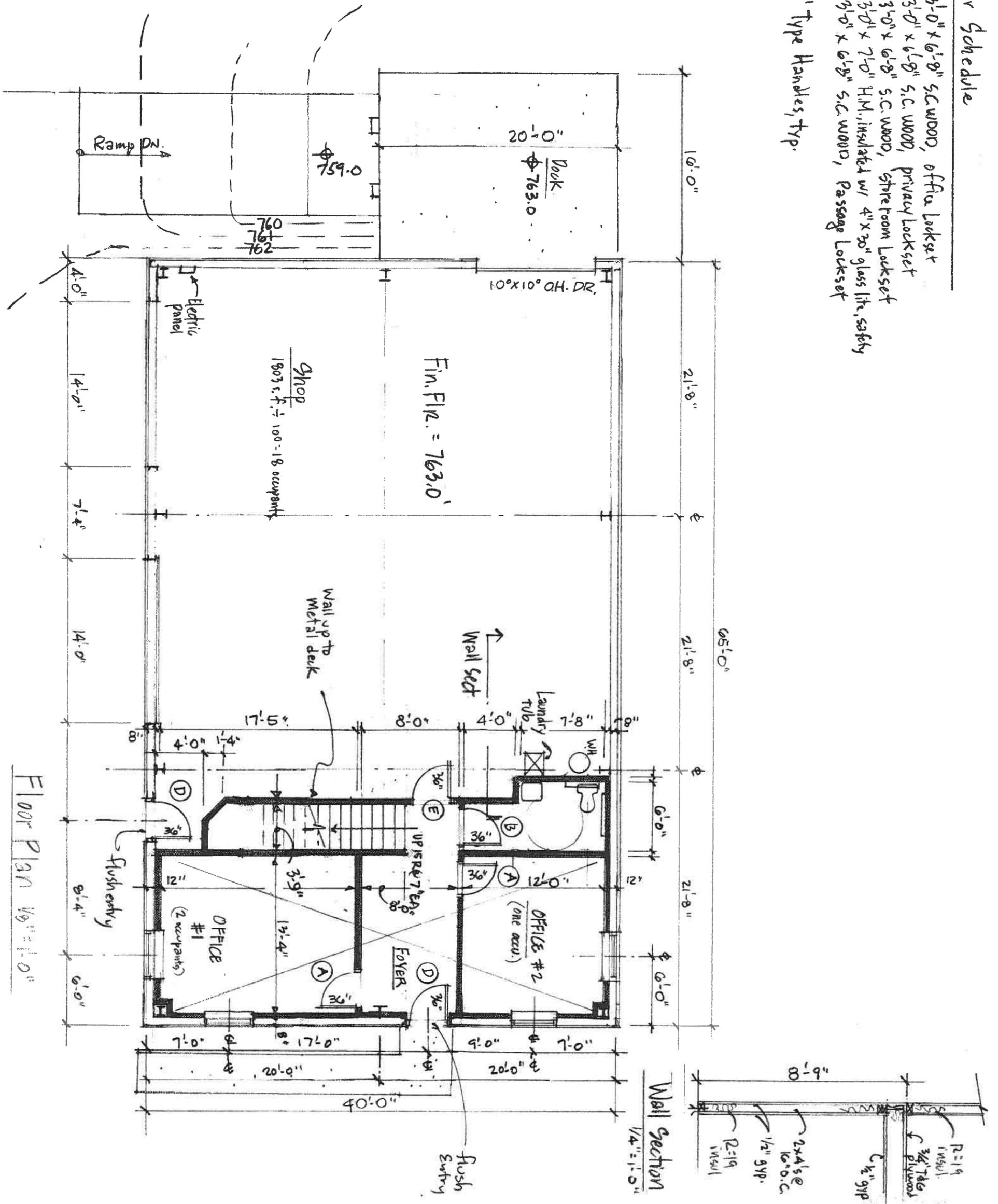


Concrete Bulk Storage Site



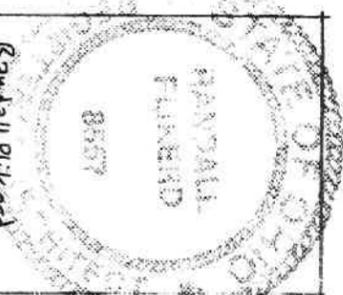
Door Schedule

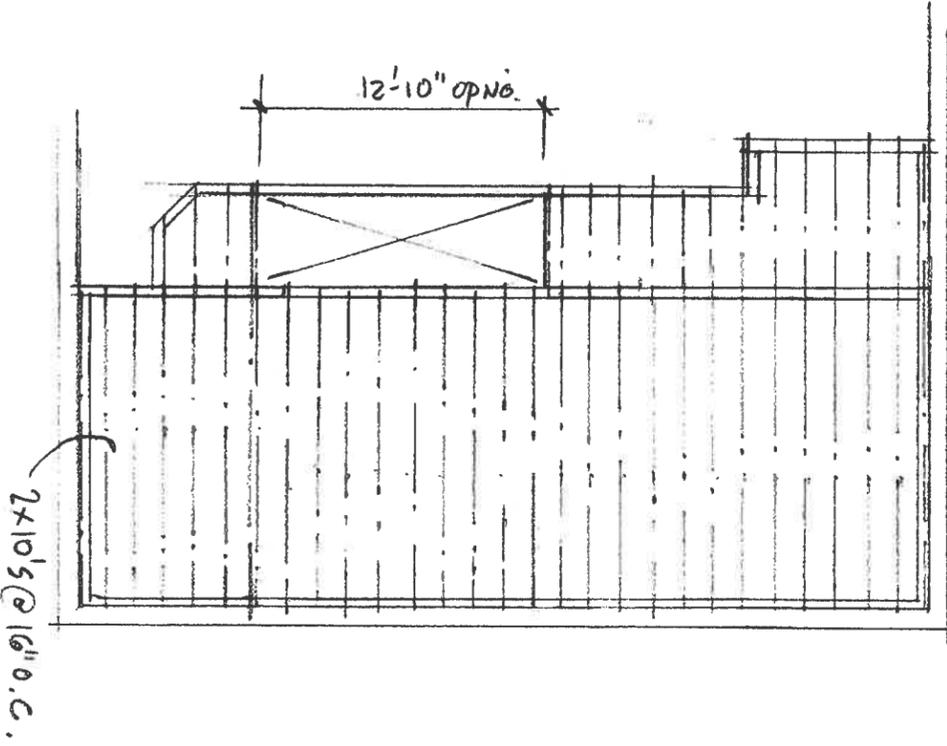
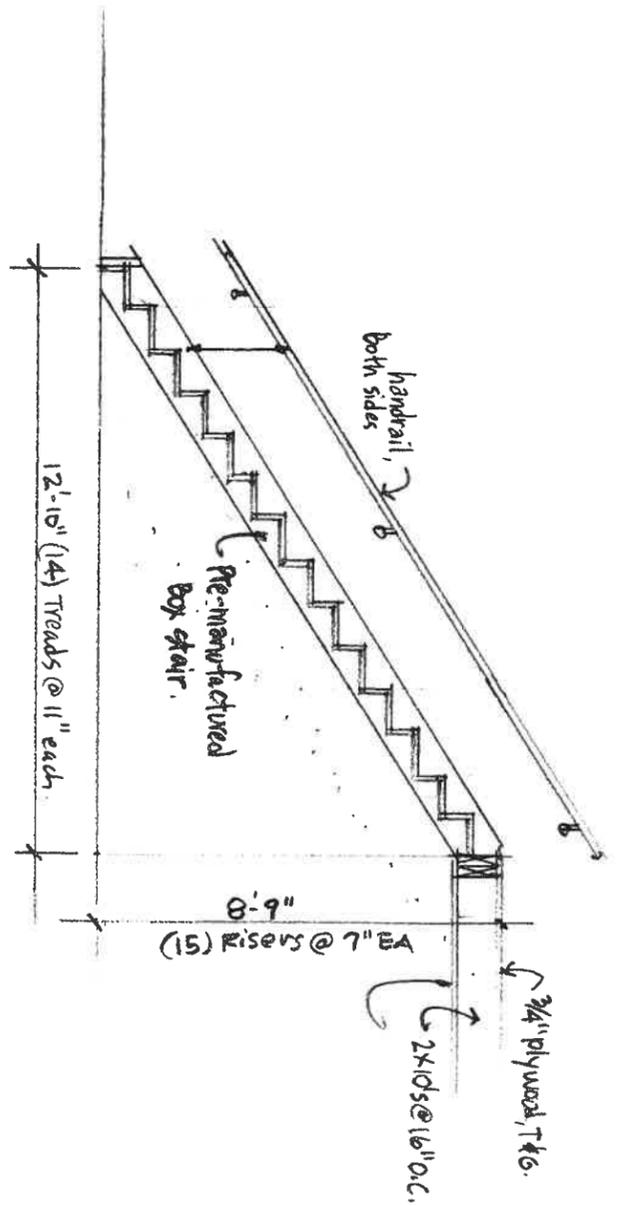
- A 3'-0" x 6'-8" S.C. WOOD, office lockset
 - B 3'-0" x 6'-8" S.C. WOOD, privacy lockset
 - C 3'-0" x 6'-8" S.C. WOOD, store room lockset
 - D 3'-0" x 7'-0" H.M. insulated w/ 4" x 30" glass lite, safety
 - E 3'-0" x 6'-8" S.C. WOOD, Passage Lockset
- Lever Type Handles, typ.



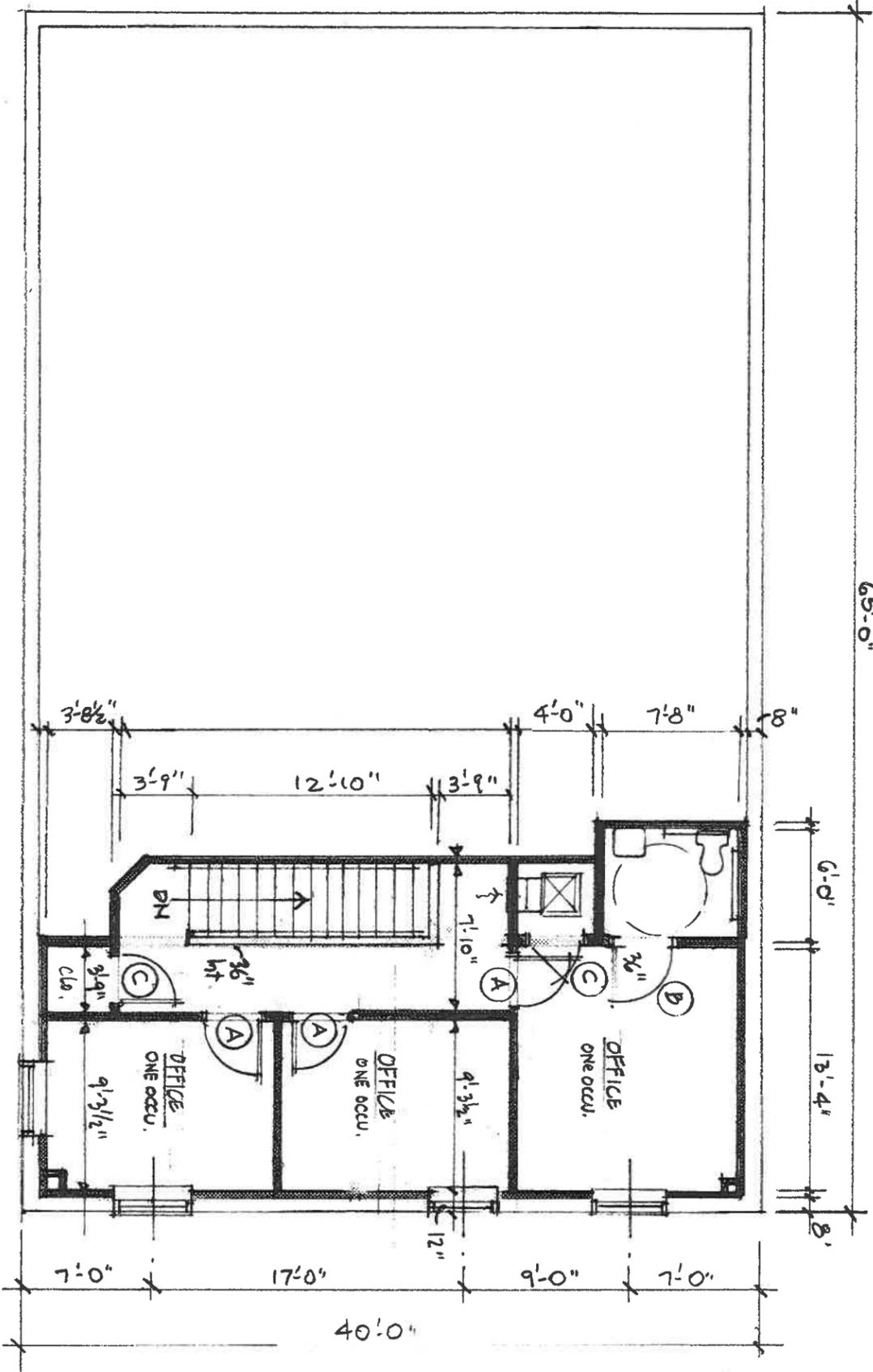
Floor Plan 1/2" = 1'-0"

	<p>Truck Repair Shop 65 Commercial Way Springboro, Ohio</p>	<p>Randall Plikerd, architect 2870 Harris Place Norwood, Ohio 45212 513-307-3544</p>	<p><i>Randall Plikerd</i> Lic # 8557 Exp. 12.31.2025</p>
--	---------------------------------------------------------------------	--------------------------------------------------------------------------------------------------	------------------------------------------------------------------



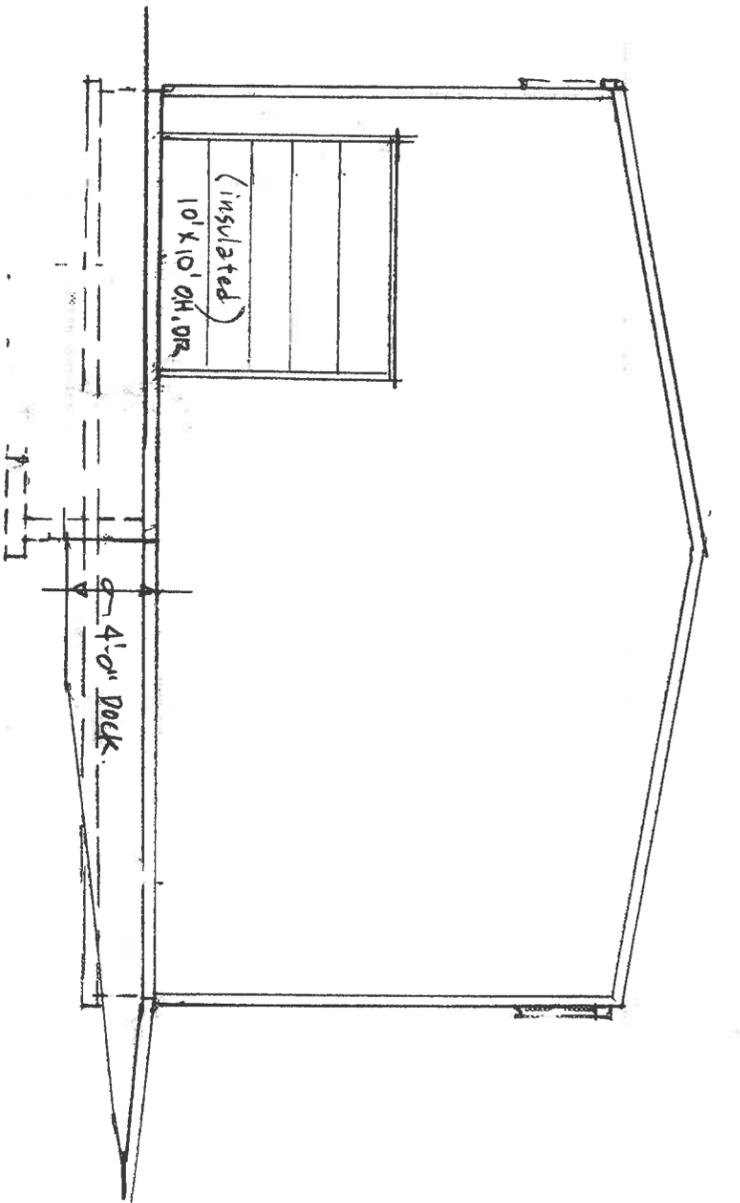


Mezzanine Framing Plan
1/8" = 1'-0"

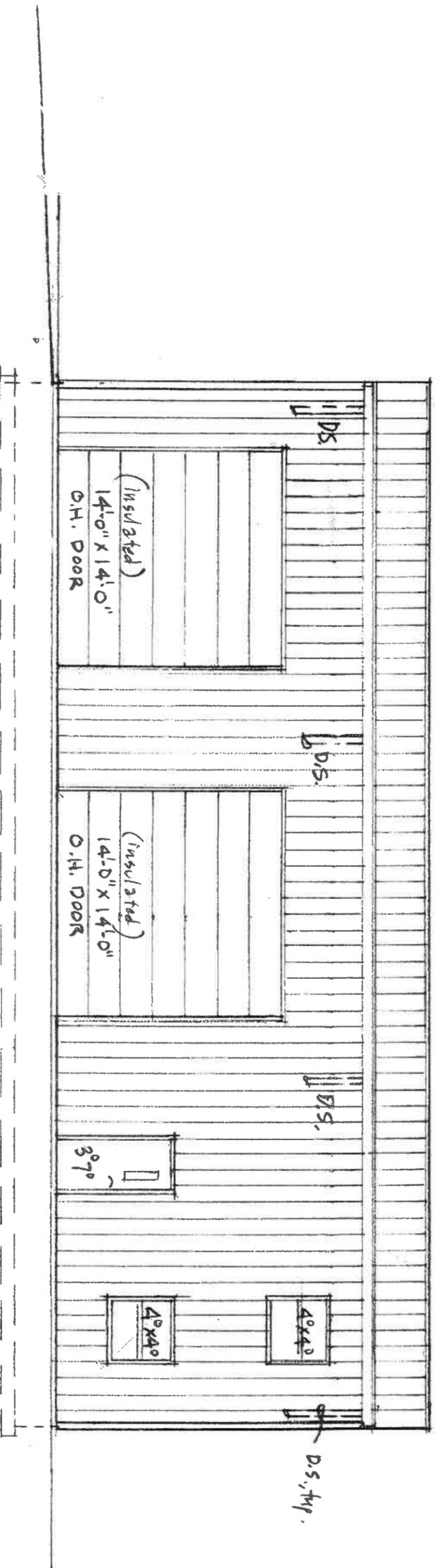
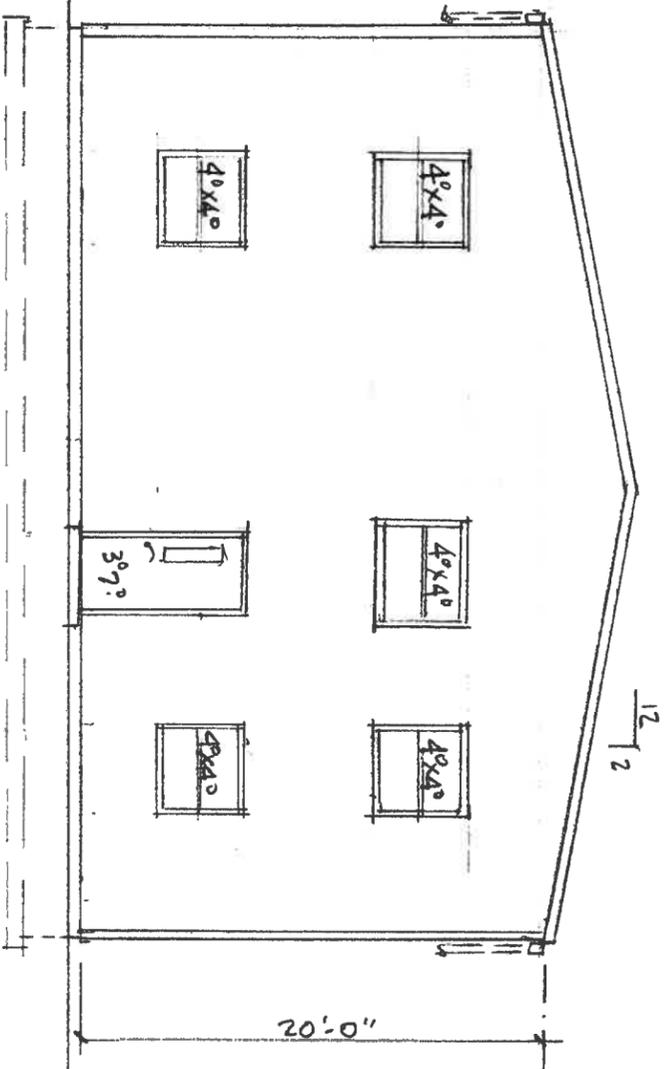


Mezzanine Floor Plan 1/8" = 1'-0"

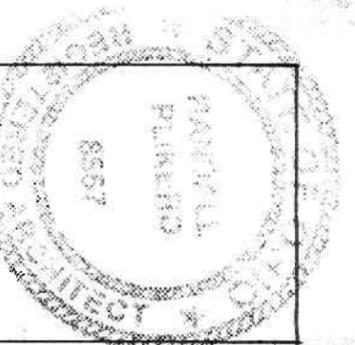
	11.15.2023	Truck Repair Shop 65 Commercial Way Springboro, Ohio	Randall Plikerd, architect 2870 Harris Place Norwood, Ohio 45212 513-307-3544	
	RANDALL PLIKERD ARCHITECT LICENSE # 8557 EXPIRES 12-31-2025			



Right Side Elevation 1/8"=1'-0"



Front Elevation 1/8"=1'-0"



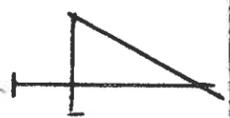
Randall Plikerd
Lic.# 8557
Exp. 12.31.2025

Randall Plikerd

Randall Plikerd, architect
2870 Harris Place
Norwood, Ohio 45212
513-307-3544

Truck Repair Shop
65 Commercial Way
Springboro, Ohio

11.15.2023



City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, April 10, 2024

I. Call to Order

Mr. Boron stated that the Chair and Vice Chair were unavailable for the meeting, and the meeting would be presided over by Stephen Harding.

Stephen Harding, Planning Commission member and City Council representative, called the Wednesday, April 10, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Stephen Harding, Robert Dimmitt, Matt Leedy, John Sillies, and Mike Thompson.

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director; and September Bee, Planning Commission Secretary.

Mr. Sillies motioned to excuse Ms. Iverson and Mr. Pearson. Mr. Dimmitt seconded the motion.

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

II. Approval of Minutes

March 13, 2024 Planning Commission Minutes

Mr. Harding asked for corrections or additions to the minutes. There were none.

Mr. Thompson motioned to approve the March 13, 2024 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (5 yes - 0 no)

III. Agenda Items

A. Final Approval

Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software

B. Final Approval

Record Plan, The Ascent, Section Four, southwest terminus of West Tech Boulevard

Agenda items A and B are listed together, A being the site plan for new Caesar Creek Software building on West Tech Boulevard, and B being the record plan to create the lot for the building and the dedication of public right-of-way with The Ascent Business Park.

Background Information—Site Plan

The agenda item is a request for site plan review filed by Synergy Building Systems seeking approval to allow the construction of a 37,500-square foot office building at the southwest terminus of West Tech Boulevard. The

subject property is located west of the intersection of Pinnacle Point Drive and West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address; addresses are not assigned by the Springboro Engineering Department until later in the site development process. The two-story building would serve as the second location for Caesar Creek Software; their existing building is located immediately north. The proposed site is located entirely in the Warren County portion of The Ascent/South Tech Business Park.

The site plan includes references to a 30,000-square foot future building on the south side of the site. While this is helpful to this site plan review to determine the placement of the building and other details, the implications of that addition (additional parking, buffering, architectural details, etc.) will be reviewed later.

The subject property is zoned ADD-1, Austin Development District 1. The ADD-1 district was created to manage development of land in the South Tech Business Park. The ADD-1 was an outcome of the Austin Center Land Use and Development Plan, a long-range plan developed by the City of Springboro in cooperation with Miamisburg, Miami Township, the Montgomery County Transportation Improvement District (MCTID), and others, to coordinate development of land near the then-proposed Austin Boulevard interchange of I-75. The ADD-1 includes its own permitted land uses, as well as design and development standards addressing architecture, landscaping/buffering, and other site development standards.

Zoning in vicinity of the subject property is exclusively ADD-1. Adjacent land uses include offices to the north and west for Shiver Security, Caesar Creek Software's original building, and Mayfield Brain and Spine (currently nearing completion).

This item was reviewed on a preliminary basis at the March 13 Planning Commission meeting. At that time, the Planning Commission authorized this item to be placed on the April 10 meeting agenda for final approval. This item does not require approval by City Council. The applicant intends to move forward with construction as soon as practicable.

Staff Recommendation—Site Plan

City staff recommends approval of the site plan contingent on the following comments:

1. When developed, the future building addition will need to include a 35-foot landscape buffer area adjacent to the proposed public roadway to the southwest.
2. Indicate lot coverage for site at build-out; maximum lot coverage for the ADD-1 is 85%.
3. Revised lighting plan is consistent with code for illumination levels and maximum to minimum, and average to minimum ratios. Confirm that any architectural lighting proposed for the building complies with code provisions (5.0 foot-candle maximum) and confirm proposed color-temperature of exterior lighting is 3500 Kelvin or less.
4. Provide additional trees on West Tech Boulevard frontage, and foundation plantings adjacent to building.
5. Signage to be consistent with Chapter 1281 of Planning & Zoning Code and Section 1268(f)(6) of ADD-1 requirements. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Revisions to the existing water and/or sewer to be reviewed by Montgomery County. Provide approval notification from the county for our files.

Background information—Record Plan

This agenda item is a request for record plan approval of The Ascent, Section Four, located at the west end of West Tech Road, submitted by Van Atta Engineering, Inc. The record plan contains two buildable lots, with lot 14 being the future site of Clear Creek Software, for a total area of 6.9 acres. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation—Record Plan

Staff recommends approval of the record plan subject to the following conditions.

1. Revise the title to be The Ascent Section Four.
2. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Harding called for the applicants to approach the podium for questions and comments.

Mr. Tim Parker, of Synergy Building, 3500 Pentagon Boulevard, Beavercreek, OH introduced himself to Planning Commission and staff.

Mr. Boron gave a summary of this agenda item. He stated that the site plan review was brought before the last Planning Commission meeting on March 13 for Preliminary Review. This area is subject to the Austin Development District-1 (ADD-1) development standards. The site plan review has only small, minor comments related to items such as lot coverage, landscaping requirements for future additions to the building, lighting issues and signage issues that may occur long-term.

Mr. Harding asked Mr. Parker if he had any questions or comments regarding Agenda Item A.

Mr. Parker said the revised plans Synergy submitted addressed staff comments. With regards to staff comment number 1, the 35-foot landscape buffer area will be included on the site. Regarding comment number 2, they are well below the maximum lot coverage of 85%. Architectural lighting, staff comment number 3, has been confirmed to be within the maximum range allowed and will be re-confirmed after installation of the lighting fixtures.

Mr. Parker went on the address staff comment number 4 regarding additional trees and foundation plantings adjacent to the building. There is a gas line easement that is causing a restriction for landscaping, so now the landscaping will run along the gas line easement on the Caesar Creek Software side of the line. There are existing trees along West Tech Boulevard that were not shown on previous plans; they will remain in place as shown on the revised drawings most recently submitted. More detailed plans will be supplied as they work with City staff on final details.

Mr. Parker said that the existing water and/or sewer has been reviewed and approved by Montgomery County and has been submitted to City staff as requested.

Mr. Harding and Mr. Boron said that before voting on Agenda Item A, City staff and Planning Commission would discuss Agenda Item B, the related Record Plan submitted for approval by the applicant. Mr. Boron asked Mr. Dudas for his comments.

Mr. Dudas said staff have very minor comments and asked Mr. Parker if he had any questions regarding the staff comments.

Mr. Parker said they have no questions at this time.

Mr. Harding if there were any further questions or comments regarding Agenda Items A and B from City staff or Planning Commission members. There were none.

Mr. Harding called for a motion to approve Agenda Item A, Final Approval, Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software.

Mr. Dimmitt made a motion to approve the Final Approval, Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software. Mr. Sillies seconded the motion.

Mr. Harding called for roll call.

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (5-0)

Mr. Harding said the motion is approved unanimously.

Mr. Harding called for a motion to approve Agenda Item B, Final Approval, Record Plan, southwest terminus of West Tech Boulevard.

Mr. Thompson made a motion to approve the Final Approval, Record Plan, The Ascent, southwest terminus of West Tech Boulevard. Mr. Sillies seconded the motion.

Mr. Harding called for roll call.

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (5-0)

Mr. Harding said the motion is approved unanimously.

C. Final Approval Record Plan, Wadestone subdivision, Phase 2

Background Information

These agenda items are request for record plan approval of the Wadestone subdivision, Phase 2, located at 2515 West Factory Road, submitted by Grand Communities, LLC. The record plan includes a portion of the west side of the overall subdivision, the Wade-Wray component, and contains 9 single-family buildable lots in the R-1, Estate-Type Residential District, portion of the site. The plat also contains 30 single-family buildable lots in the east side of the Wadestone subdivision, the Swope-Hills component, in the PUD-R, Planned Unit Development-Residential, portion of the site, with an overall area of the Phase 2 record plan being 24.6 acres. An additional access point is being created from West Factory Road, opposite Catalpa Drive.

Record plan review is the final stage of the subdivision regulation approval process for conventional zoning sites like the R-1 District as well as for the PUD approval process. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to compliance with the following comments:

Staff Comments—Wadestone subdivision, Phase 2

Staff recommends approval of the record plan subject to the following conditions.

1. Vacate existing electric easement as recorded in D.B 398, PG 407 and state as such on record plan.
2. Revise note 1 on sheet 2 to state no vehicle access to West Factory Road from Reserve "G".
3. Revise note 5 on sheet 2 to state lots 21 and 22 base flood elevations; also verify base flood elevation, as it is shown incorrectly.

4. Check legend to match iron pin symbolism.
5. Add total record plan acreage on title sheet under the "March 2024" heading.
6. Add minimum dwelling unit size for lots 28 through 50.
7. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Harding commented that amended staff comments had been submitted to Planning Commission members and staff prior to this meeting. Those amended comments will be added to the record as approved by Mr. Boron and Mr. Dudas.

Mr. Harding called for any representative for the applicant to approach the podium for questions or comments.

Mr. Boron said that no representative for Grand Communities, LLC was present for the meeting. He deferred comments to Mr. Dudas.

Mr. Dudas commented that City staff have are minor in nature and refer to Section Phase 2, split zoning. Portions of the property are zoned R-1 to the west; the remainder is zoned PUD-R to the east. An additional entrance off West Factory Road with a bridge, so now the site will have two dedicated entrance/exit routes.

The R-1 section has 9 lots and 30 lots in the PUD-R section. Staff recommends approval contingent upon all the comments being met and then it will go before City Council for Final Approval.

Mr. Harding asked if there were any questions or comments from Planning Commission members and staff.

Mr. Sillies asked about the number of lots in each section of the subdivision.

Mr. Dudas said there are 27 R-1 lots, of which 18 were platted in Phase 1 on the west side; the remaining 9 lots are being platted with this Phase; to east there are an additional 77 lots.

Mr. Harding asked if there were any other comments. There were none.

Mr. Harding called for a motion to approve Agenda Item C, Final Approval, Record Plan, Wadestone subdivision, Phase 2.

Mr. Thompson made a motion to approve the Final Approval, Record Plan, Wadestone subdivision, Phase 2. Mr. Dimmitt seconded the motion.

Mr. Harding called for roll call.

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (5-0)

Mr. Harding said the motion is approved unanimously.

Planning Commission members and staff moved to the conference table for further discussion regarding the remaining Preliminary Review items on the agenda.

**D. Preliminary Review
Site Plan Review, 245 South Pioneer Drive, building addition for Buckeye Fabricating**

Background Information

This agenda item is a request for site plan review filed by Ferguson Construction on behalf of Buckeye Fabricating, property owner, seeking approval to allow the construction of a 36,270-square foot addition to Buckeye Fabricating's existing building located at 245 South Pioneer Drive. The proposed addition would be situated on the rear/east portion of the property, an area set aside for future expansion, storm water detention, and a buffer between the Buckeye Fabricating operation and residential areas to the east. The two vehicular access points from South Pioneer Drive would remain unchanged, however the internal circulation system would be modified with the addition of paved area on the west/front portion of the site, and an expanded parking and service areas on the south side of the property. A storage building on the south side of the property would be removed to accommodate the expansion.

The subject property is zoned ED, Employment Center District. The ED allows the existing business and its expansion as proposed. The ED allows for the establishment of setbacks at the time of the site plan review process to provide businesses flexibility for the use of their sites. There is no lot coverage maximum in the ED.

Zoning in the vicinity of the subject property is ED to the north (Acceleation, 235 South Pioneer Drive), south Numed Pharma, 265 South Pioneer Drive), southeast (private residence, 2754 West Factory Road), and west (General Dynamics, 200 South Pioneer Drive). To the east are a number of residences in Franklin Township zoned R2, Two-Family Residential District, that front West Factory Road.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. Provide building population for determination of off-street parking requirement.
2. Dumpsters to be screened. Provide plans for exterior materials for final approval.
3. Following preliminary review provide a lighting plan for new or replace site and building lighting consistent with Chapter 1273 of Planning and Zoning Code including photometric analysis and use of fixtures with a cut-off design. Areas of concern include light trespass and glare to adjacent residential area to the east.
4. Provide landscaping on south and north property lines.
5. Signage including directional signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.
7. Provide detention and storm sewer design calculations and pipe slopes.
8. Sanitary sewer lateral shall be at minimum 2% slope. Provide details.
9. Provide graphical scale on all applicable sheets.
10. Additional engineering comments reserved until such time as details are provided.

Discussion:

Mr. Harding announced the Preliminary Review, Site Plan Review, 245 South Pioneer Drive, building addition for Buckeye Fabricating. He asked for any representatives for this project to approach the podium and introduce themselves.

Gerad Miller, Buckeye Fabricating, Jeff King and Brent Given, Ferguson Construction, Dayton, Street were present to answer any questions or comments from Planning Commission members and staff.

Mr. Miller explained that their goal is to expand Buckeye Fabricating's manufacturing space, as well as some of their office space. The existing building office space will be expanded to include additional lunch room, break room and locker room to help accommodate additional staff to be hired once the expansion is completed.

The manufacturing space at the back of the building is to add additional capacity for large, customized, over-sized industrial vessels and process tanks. The space will be open with bridge cranes that run across the over the entire length of the building to enable movement of equipment. The layout and function of the new addition will be the same as their existing facility, but on a much larger scale. Maximum staff after the increase will be approximately 65 employees; additional parking spaces have been added to allow adequate parking for staff. A cold storage building on the site will be removed and the product currently stored in that building will be moved indoors into the new building.

Mr. King said that they had received the staff comments and have submitted their responses. They intend to comply will all requests.

Mr. Dimmitt asked about the impact the heavy equipment would have on the public roadway.

Mr. Miller said that their products are designed to be able to be transported over the road on a regular semi-truck.

Mr. Sillies asked about the flammability of the products to be used in the production process; are additional fire suppression measures required above what would be required for a traditional manufacturing facility.

Mr. Miller stated they had provided a second access road to the side of the building to allow for easy emergency and fire vehicles access to their site. He added that although their process requires a lot of welding, the fire risk is extremely low because their products are made of metal. Most of the welding requires the use of inert Argon gas; little flammable acetylene is used. All flammable materials are allocated to a designated safe storage space segregated from all the other chemicals used.

Mr. Boron said that the plans will be reviewed by the Clearcreek Fire District and any comments they may have will be addressed during the Building Code Review. Mr. Boron said that if this preliminary item is approved for final approval, the applicants could appear before Planning Commission at the next meeting to be held on May 8 with a submittal deadline of Friday, April 19 at noon.

Mr. King explained the existing building elevation will be brought up to the standards of the new addition. The existing office will be painted. It will be a little bit higher than what Buckeye currently has. The door size has been increased to allow for better usage of the facility. The same materials as what is currently onsite will be used for the new addition to keep the overall aesthetic of the building.

Mr. Sillies asked how this new addition will affect any neighboring properties.

Mr. Boron stated that all setbacks and buffer requirements have been met. Additional landscaping along the sides of the building will be installed. There is no landscaping requirement on the property's frontage. Some existing trees will be removed to allow for expansion of the detention pond, but these trees will be replaced once construction is completed.

Mr. Harding asked if there were any other questions or concerns. There were none.

Planning Commission members and staff thanked the applicants for attending and reminded them of the submittal deadline of Friday, April 19.

E. Preliminary Review

Site Plan Review, 785 West Central Avenue (SR 73), proposed Seven Brew Coffee

Background Information

This agenda item is a proposal submitted by Woolpert's Cincinnati office for site plan review approval to construct a Seven Brew drive-through coffee shop at 785 West Central Avenue (SR 73). The property is the site of the now-closed Long John Silver's restaurant. The property is zoned HBD, Highway Business District, a zoning category that permits the use.

While the property had direct frontage on West Central Avenue, access will be from the common drive to the Midway Plaza shopping center immediately to the west.

Existing zoning for the vicinity of the subject property is exclusively HBD, including to the north on the north side of the West Central Avenue the developing Sheetz gas station/convenience store/drive-through restaurant (800 West Central Avenue), and to its east a multi-tenant office building, and on the south side of West Central Avenue, McDonald's (775 West Central Avenue), and to the south and west the Midway Plaza shopping center (815-875 West Central Avenue) and its outparcels.

Staff Comments

1. Provide indication of building population at maximum shift for determination of off-street parking requirement.
2. Revise architectural plans to show tripartite building design consisting of a top, middle, and base.
3. Please verify what brake metal is.
4. Primary entrance to be on front (north) elevation.
5. Indicate plans for the screening of the proposed dumpster. All mechanical and other equipment to be screened.
6. Indicate lot coverage (85% maximum permitted) for site.
7. Signage subject to review by Zoning Inspector outside of the site plan review process including ground, wall, and directional signage. Applicant is advised that message area for all ground- and wall-mounted signage is limited to 35 square feet (50 when no ground sign is provided).
8. Obsolete signs currently on the property to be removed.
9. Following preliminary review, develop landscaping plan that includes screening of proposed drive-through operation from West Central Avenue frontage, parking areas, and site landscaping.
10. Following preliminary review, develop lighting plan for site and building consistent with Chapter 1273 of Planning and Zoning Code, including photometric analysis, light fixtures that comply with cut-off fixture requirements.
11. Provide completed traffic study for review. Complete all study recommendations prior to final approval by Planning Commission.
12. Create record plan dedicating the existing right-of-way along West Central Avenue.
13. Provide storm water detention for any additional impervious area created due to site re-development. Provide calculations accordingly.
14. Parking to be minimum 9 feet from property line.
15. Additional engineering comments reserved until such time as details are provided.

Discussion:

Mr. Harding called for the applicants for the preliminary review of the site plan for 785 West Central Avenue (SR 73), a proposed new building and site redevelopment, Seven Brew Coffee to discuss their application.

Ms. Sarah Kramer, Woolpert Cincinnati, and Mr. Matthew Wegmuth, Anchor Point, introduced themselves.

Mr. Sillies asked the applicants for a summary of how Seven Brew Coffee operates.

Mr. Wegmuth said that they were founded in Arkansas and are a growing coffee company across the country. They have a drive-through only concept with operating hours between 7:00 am and 11:00 pm. There will be no food offered; only coffee and other beverages will be served. They have a quick-service operation where from the time the order is placed to the time of pickup is designed to be only three minutes. There will be a double drive-through to help with the customer flow. They will be re-developing the entire site with a new building that will be a 500 square foot prefabricated building.

Mr. Harding asked for any questions or comments from the applicants.

Ms. Kramer said they were concerned about the lack of parking spaces that would be available for their employees and customers on the site as it is currently configured. Would any kind of variance be available to help add additional parking without having to utilize the common parking lot in the shopping center.

Mr. Boron said that the property owner could be approached by the applicant to determine if he was willing to allow overflow parking onto the lot.

Mr. Wegmuth stated they were concerned, from a safety standpoint, about their employees being required to walk from the open lot to their building. There will be four to ten employees onsite with additional parking spaces required during shift change. Currently there are ten spaces available and would like to add up to an additional ten spaces.

Mr. Leedy asked how long the queue for the cars would be without overflowing onto the street.

Ms. Kramer said the queue would hold up to 12 cars.

Mr. Dimmitt asked about which side of the building would be the service side.

Mr. Wegmuth said the service/presentation window would be on the east side of the building.

Mr. Sillies asked what the applicants were asking for with regards to the parking.

Ms. Kramer stated they were hoping for leniency on the spacing between the property line and the parking. They would like to have it reduced from nine feet to four and a half feet. Any relief that could be granted would be helpful. She also stated that along the rear of the property there is a pinch point and utility easement that restricts where the dumpster enclosure can be built.

Mr. Boron said that the intent of the nine foot easement/buffer was to allow for landscaping and buffering along SR 73 similar to a neighboring business. Parking is not permitted in this area.

Mr. Thompson asked if the City or Planning Commission had approved the nine-foot easement in the past.

Mr. Dudas said the City had not granted this request in the past.

Mr. Boron said that the applicants are encouraged to appear before Planning Commission on a preliminary basis at first, and then if not approved, they can go through the Board of Zoning Appeals process as a last resort.

Moving on through the remainder of the staff comments, Mr. Boron asked the applicant to explain what brake metal is.

Ms. Kramer and Mr. Wegmuth said brake metal is a type of aluminum used for exterior buildings.

Mr. Boron also noted that while the primary entrance is noted on the plans for the west side of the building, a front door facing the north (SR 73) is required per the City's Building Code as well as for aesthetics.

Mr. Wegmuth said that having a front door is not an option for this building. It is a prefabricated building and the area along the front of the building on the interior is their coffee preparation area. A door is not an option in that location.

Mr. Boron said the only option to have this requirement changed would be to file an appeal with the Board of Zoning Appeals.

Mr. Boron discussed the proposed signage and said that many of the details regarding signage can be worked out with the Building and Zoning Department. At this point, the proposed signage by the applicant is too much over what is required by the City. The existing signage on the property will be removed entirely.

Mr. Boron added that a new lighting plan would be required to be developed with the new building.

Ms. Kramer inquired about the Traffic Information Study (TIS) recently completed for the new Sheetz on SR 73. Is that information available as part of a public information report? If so, would that already complete study suffice for Seven Brew's TIS submittal?

Mr. Dudas said that the traffic engineer would be the person to consult for question. It would be up to him to decide if the Sheetz study would be acceptable.

Mr. Boron said that for the Preliminary Review to move forward, a TIS would have to be submitted before further review could occur. The right-of-way dedication would need to be submitted for review along with the TIS.

Planning Commission members and staff thanked the applicants for attending.

F. Preliminary Review

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on a 35.62-acre site. This item was reviewed on a preliminary basis at the March 13 Planning Commission meeting at which time the applicant was directed to submit plans for an additional preliminary review to address comments from members of Planning Commission and City staff.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the

property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code. Staff comments are as follows:
 - a. Existing trees identified on sheet 10 of 12 account for an equivalent of 482 trees. Applicant to commit to those trees' maintenance through the construction phase of the subdivision. These trees may be used against landscaping deficiencies in the plan except for street frontage and lot landscaping requirements.
 - b. Provide 2 additional trees on north and south property line, and 4 on west property line within 10-foot permanent buffer.
 - c. Provide 3 additional shade/evergreen trees on South Main Street frontage.
 - d. Site landscaping to be provided at rate of one tree/3,000 square feet of site area, less proposed right-of-way. Provide right-of-way acreage proposed for the subdivision.
 - e. Provide 94 additional trees for the internal street system (3,600 linear feet of frontage, 1 tree/40 feet of frontage x 2=180 required, 86 provided).

3. Development signage is not subject to Planning Commission review, however preliminary review by Zoning Inspector for compliance with Sign Code indicates sign message area far exceeds code (40 square feet permitted, 500 square feet proposed). Coordinate with Zoning Inspector on that issue as well as directional and other signage.
4. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks and 10-foot multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
5. An HOA shall be developed to maintain all common elements, including but not limited to detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
6. Location of central mailbox unit(s) to be reviewed by the Postmaster.
7. Provide an "eyebrow"/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
8. Developer to propose mechanism for the long-range protection of the Janney House and site within the subdivision.
9. Final configuration of the intersection of Glasgow and Cameron Street to be determined.
10. Revise multiuse trail and sidewalks accordingly:
 - a. Bike path to continue north on Perthshire Drive, formerly Highlands Drive, and stubbed to the north property line.
 - b. Connect proposed sidewalk system to the adjacent school campus.
 - c. Widen path along South Main Street to 10 feet.
 - d. All multiuse trails are to be built to current AASHTO standard.
11. Roadway and utility improvements shall be per city specifications.
12. 50' cross access easement (not 20') to be provided to the parcel to the north from Morris Street near the main entrance to accommodate future 50 right of way for future connection. Show future connection on the plans. Future intersections shall meet all City Standards.
13. Dedicate the right-of-way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
14. Restate typical lot size as minimum lot size on sheet 3 of 12.
15. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
16. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to water, sanitary, storm sewer and detention basin design.

Discussion:

Justin Lanham and Brent Wilkens, M/I Homes Cincinnati, and Jeff Puthoff, Choice One Engineering Sidney, were present to answer questions and comments from Planning Commission members and staff.

Mr. Harding asked the representative for the Preliminary Review, Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision to approach the podium.

Mr. Puthoff said he had spoken with Mr. Chad Dixon, City Engineer, previously and were trying to work out a way to align the new entrance to Northampton with Heatherwoode Boulevard if future development occurs. This is being considered for long-term future design so that Morris Street would be accessible to that intersection if developed.

Mr. Lanham distributed a list of responses to the staff comments. He said that M/I Homes is on board with all the staff comments; the addition of the 10-foot multi-use trail along SR 741 and with the stub street will be incorporated into the next Final Development Plan to be submitted along with the addition of more trees as required.

Item number 8 has been addressed regarding the preservation of the historic Janney Home located on the property. They would like to find a buyer who would be willing to restore the home. The HOA would have authority to determine how the site can be utilized and modified once the property has been sold.

Mr. Boron said that if the property does not sell within a reasonable amount of time, the City's Building and Property Maintenance Code would apply and efforts would have to be made by the HOA to maintain the structures and existing landscaping. The City Attorney, Mr. Jerry McDonald, will be consulted to see what legal options are available for restricting the deed for this portion of the property.

Planning Commission members and staff determined that the final decision regarding the disposition of the Janney House could be determined in a future meeting.

Mr. Harding told Mr. Lanham M/I Homes could move forward and work with Mr. Boron regarding what will need to be received by the submittal deadline on April 19 for the next meeting to be held on May 8.

Planning Commission members and staff thanked Mr. Lanham and Mr. Puthoff for attending the meeting and answering their questions.

IV. Guest Comments

Mr. Harding asked if there were any guest comments. There were none.

V. Planning Commission and Staff Comments

Mr. Harding asked if there were any further questions or comments from Planning Commission members and staff. There were none.

Mr. Boron commented that the next meeting will be on Wednesday, May 8.

VI. Adjournment

Mr. Harding called for a motion to adjourn.

*Mr. Sillies motioned to adjourn the April 10, 2024 Planning Commission Meeting at 7:43 pm
Mr. Thompson seconded the motion.*

Vote: Harding, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes (5 yes - 0 no)

Mr. Harding said that the motion is approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary

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