

Agenda
City of Springboro Planning Commission Meeting
Wednesday, September 11, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. August 14, 2024 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Record Plan, 1331 South Main Street, replat two lots
 - B. Final Approval, Site Plan Review, 88 Remick Boulevard, Coffman YMCA, building addition
 - C. Final Approval, Planning and Zoning Code Text, adult use marijuana prohibition
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, September 11, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Record Plan, 1331 South Main Street, replat of two lots

Background Information

This agenda item is a request for record plan approval for Tucker Subdivision Section 1A, located at 1331 South Main Street, submitted by the property owner Joseph Bockelman. The record plan is adjusting the common side lot line of exiting lots 2 and 3, to make the setbacks for an existing garage compliant. The plan contains a total of 4.4957 acres. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan for Tucker Subdivision, Section 1A, subject to the following conditions:

1. Move the signature block for lot 3 underneath the notary signature for lot 2.
2. Provide the lienholder acknowledgements for both existing lots, if required. Otherwise, remove from plan.
3. Add the Declaration of Covenants, Restrictions & Conditions as shown on the original platted Tucker Subdivision.
4. Submit to Warren County for review and revise accordingly.

B. Final Approval

Site Plan Review, 88 Remick Boulevard, Coffman Family YMCA, building addition

Background Information

This agenda item is based on a request filed by Ferguson Construction, representing the YMCA of Greater Dayton, property owner, seeking approval for the construction of an 1,872-square foot addition to the Coffman Family YMCA building located at 88 Remick Boulevard. As indicated in the submitted plans, the YMCA proposes to construct the addition on the rear/north side of the existing YMCA building. The addition will serve as a cross-fit training area. A new outdoor turf area is also proposed for this portion of the building along with a new access drive.

The existing building and site were developed beginning in 1999 when the property was in Clearcreek Township, and have been added onto from time to time, most recently in 2016. The YMCA and what is now the LedgeStone Office Building were annexed into the City of Springboro in 2000.

The subject property is zoned O, Office. The O District permits the existing YMCA use and the proposed addition. The LedgeStone Office Building located immediately to the south of the property is also zoned O, Office District. Lands to the northeast (The Villas at the Point II condominiums), east (YMCA-owned recreational fields) and southeast (Southwest Church) are zoned PUD, Planned Unit Development, and are part of the Settlers Walk PUD. Lands to the north and northwest are unincorporated lands within Clearcreek Township, Warren County, and Miami Township, Montgomery County, and are owned and operated by the City of Dayton Aviation Division as Dayton-Wright Brothers Airport. The YMCA leases a small area of airport property immediately north of the YMCA building that is used as ball fields.

Staff Recommendation

City staff recommends approval of the site plan for the addition to the Coffman Family YMCA with the following conditions:

1. Exterior lighting, if proposed for the building addition and vicinity, to comply with Chapter 1273, Exterior Lighting, of Planning and Zoning Code.
2. Provide storm water detention due to changes in impervious surface, along with design calculations.

C. Final Approval Planning & Zoning Text Amendment, Sign Code

Jerry McDonald, Law Director, has prepared the enclosed text amendment to the Planning and Zoning Code that would prohibit adult use marijuana in the City. Adult use marijuana was approved by Ohio voters under State Issue 2 in November 2023; thereafter, City Council adopted a moratorium on the acceptance of applications to permit operators while the state (which did not accept application for operators until last month) composed rules for cultivators, processors, and dispensaries. Following discussion on the matter earlier this year, City Council directed Jerry McDonald to prepare legislation to ban adult use marijuana operators.

The proposed legislation would add to the list of prohibited uses in Section 1263.02, Prohibited Uses and Uses Not Expressly Permitted. This is the same code section where the medical marijuana ban was executed in 2017.

Jerry McDonald will be in attendance to answer questions from the Planning Commission and the public on this matter.

The information contained in this report is based on material provided to the City of Springboro as of Friday, September 6, 2024 at 11:00 a.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent (surveyor)
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Thomas K. Marsh
Address: 8529 Byers Rd.
Miamisburg, OHIO 45324
Telephone No. (937) 847-2660
Fax No. (937) 847-2670
Email Address: mdougallmarsh@woh.rr.com

PROPERTY OWNER NAME (IF OTHER): Joe Bockelman
Address: 1331 S. MAIN ST.
Springboro, OHIO
Telephone No. (513) 375-7992

Property Address or General Location: 1321 & 1327 S. MAIN ST. SPRINGBORO
Parcel Number(s): 0818200042, 0818200043 Zoning District: _____
Proposed Use: Residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Thomas K. Marsh
(Signature of Applicant and/or Agent)

8/15/24
(Date)

Thomas K. Marsh
Printed Name





BEARINGS BASED ON THE SOUTH LINE OF TUCKER
SUBDIVISION RECORDED IN PLAT BOOK 22, PAGE 83
(S 89°00'00"E)

50 0 50 100 150
GRAPHIC SCALE: 1"= 50' JOB#6576

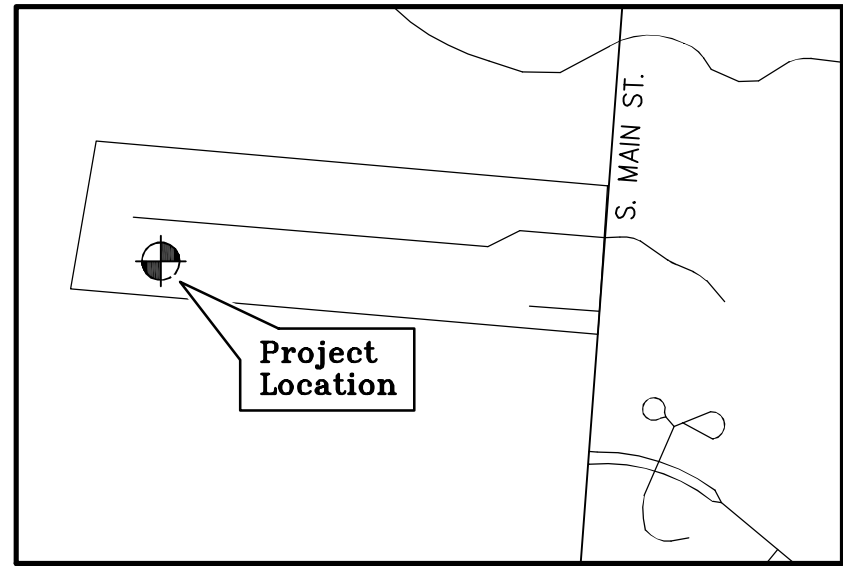
Monument Legend

- ⊗ Indicates 5/8" iron pin found (unless otherwise noted)
- Indicates 5/8" iron pin set
- ⊗ Indicates Iron Pipe found
- ▲ Indicates MAG nail found (unless otherwise noted)
- △ Indicates MAG nail set
- Indicates Railroad Spike found

REFERENCES

DEED: LOT 2 - JOSEPH BOCKELMAN AND BARBARA A. DRIEHAUS - O.R. 715, PAGE 831
LOT 3 - ROBERT S. SMITH AND SUSAN J. SMITH - O.R. 1005, PAGE 485

PLAT: TUCKER SUBDIVISION - PLAT BOOK 22, PAGE 83



Vicinity Map
No Scale

RECORD PLAN

Tucker Subdivision, Section 1A

Being a Replat of Lot 2 and Lot 3 of the Tucker
Subdivision as recorded in Plat Book 22, Page 83

LOCATED IN

Section 18, Town 3, Range 4 East

Clearcreek Township, Municipality of Springboro,
Warren County, Ohio

CONTAINING 4.4957 Acres

June 2024

DEVELOPER:
ROBERT S. SMITH AND
SUSAN J. SMITH
1327 S. MAIN STREET
SPRINGBORO, OHIO 45066

DEVELOPER:
JOSEPH BOCKELMAN AND
BARBARA A. DRIEHAUS
1331 S. MAIN STREET
SPRINGBORO, OHIO 45066

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN
RECORDED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE
SAID RECORD PLAN AND DO DEDICATE THE STREETS AS SHOWN HEREON TO
THE PUBLIC USE FOREVER.

SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF:

OWNER: LOT 2

BY: _____
JOSEPH BOCKELMAN

BY: _____
BARBARA A. DRIEHAUS

STATE OF OHIO, S.S.

BE IT REMEMBERED, THAT ON THIS ____ DAY OF _____, 20____, BY
BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC FOR THE SAID COUNTY
AND STATE, PERSONALLY CAME JOSEPH BOCKELMAN AND BARBARA A.
DRIEHAUS WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE
FOREGOING RECORD PLAN TO BE HIS/HER VOLUNTARY ACT AND DEED. IN
THE TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND, AND AFFIXED
MY OFFICIAL SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC (MY COMMISSION EXPIRES: _____)

OWNER: LOT 3

BY: _____
ROBERT S. SMITH

BY: _____
SUSAN J. SMITH

STATE OF OHIO, S.S.

BE IT REMEMBERED, THAT ON THIS ____ DAY OF _____, 20____, BY
BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC FOR THE SAID COUNTY
AND STATE, PERSONALLY CAME ROBERT S. SMITH AND SUSAN J. SMITH WHO
ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING RECORD
PLAN TO BE HIS/HER VOLUNTARY ACT AND DEED. IN THE TESTIMONY
WHEREOF, I HAVE HEREUNTO SET MY HAND, AND AFFIXED MY OFFICIAL SEAL
ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC (MY COMMISSION EXPIRES: _____)

LIENHOLDER ACKNOWLEDGEMENT:

LIENHOLDER: _____

STATE OF _____, S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____
DAY OF _____, 20____ BY _____
OF _____ AS LIENHOLDER.

NOTARY PUBLIC (MY COMMISSION EXPIRES: _____)

MUNICIPALITY OF SPRINGBORO APPROVALS:

APPROVED AND ACCEPTED BY COUNCIL OF THE MUNICIPALITY OF SPRINGBORO THIS
____ DAY OF _____, 20____

CLERK OF COUNCIL

CITY ENGINEER

COUNTY AUDITOR

TRANSFERRED ON THIS ____ DAY OF _____, 20____.

DEPUTY _____ COUNTY AUDITOR _____

COUNTY RECORDER

FILE NO. _____

RECEIVED ON THIS ____ DAY OF _____, 20____ AT ____ .M.

RECORDED ON THIS ____ DAY OF _____, 20____ AT ____ .M.

RECORDED IN PLAT BOOK NO. _____ PAGE _____

FEE _____

DEPUTY _____ WARREN COUNTY RECORDER _____

SURVEY NOTES:

- ALL DEED, SURVEY AND PLAN RECORDS SHOWN HEREON
WERE USED IN THE PERFORMANCE OF THIS SURVEY.
- LINE OF OCCUPATION (WHERE EXISTING) IN GENERAL
AGREE WITH PROPERTY LINES.
- ALL MONUMENTATION FOUND IN GOOD CONDITION
UNLESS NOTED OTHERWISE.
- IRON PINS SET ARE 30" x 5/8" REBAR WITH PLASTIC
CAP STAMPED "MARSH 7735"
- SURVEY PREPARED IN THE ABSENCE OF A COMPLETE
AND UP TO DATE TITLE REPORT.

Prepared by:
McDougall - Marsh
Land Surveyors
8529 Byers Road, Miamisburg, Ohio 45342
Tel: 937-847-2660 - Fax 937-847-2670
www.mcdougallmarsh.com

DEED REFERENCE

THE WITHIN SUBDIVISION OF 4.4957 ACRES IS SITUATED IN SECTION 18, TOWN 3, RANGE 4
EAST, CLEARCREEK TOWNSHIP, MUNICIPALITY OF SPRINGBORO, WARREN COUNTY, OHIO AND
BEING A REPLAT OF LOT 2 AND LOT 3 OF TUCKER SUBDIVISION RECORDED IN PLAT BOOK
22, PAGE 83. LOT 2 CONVEYED TO JOSEPH BOCKELMAN AND BARBARA A. DRIEHAUS BY O.R.
715, PAGE 831 AND LOT 3 CONVEYED TO ROBERT S. SMITH AND SUSAN J. SMITH BY O.R.
1005, PAGE 485 OF THE DEED RECORDS OF WARREN COUNTY, OHIO.

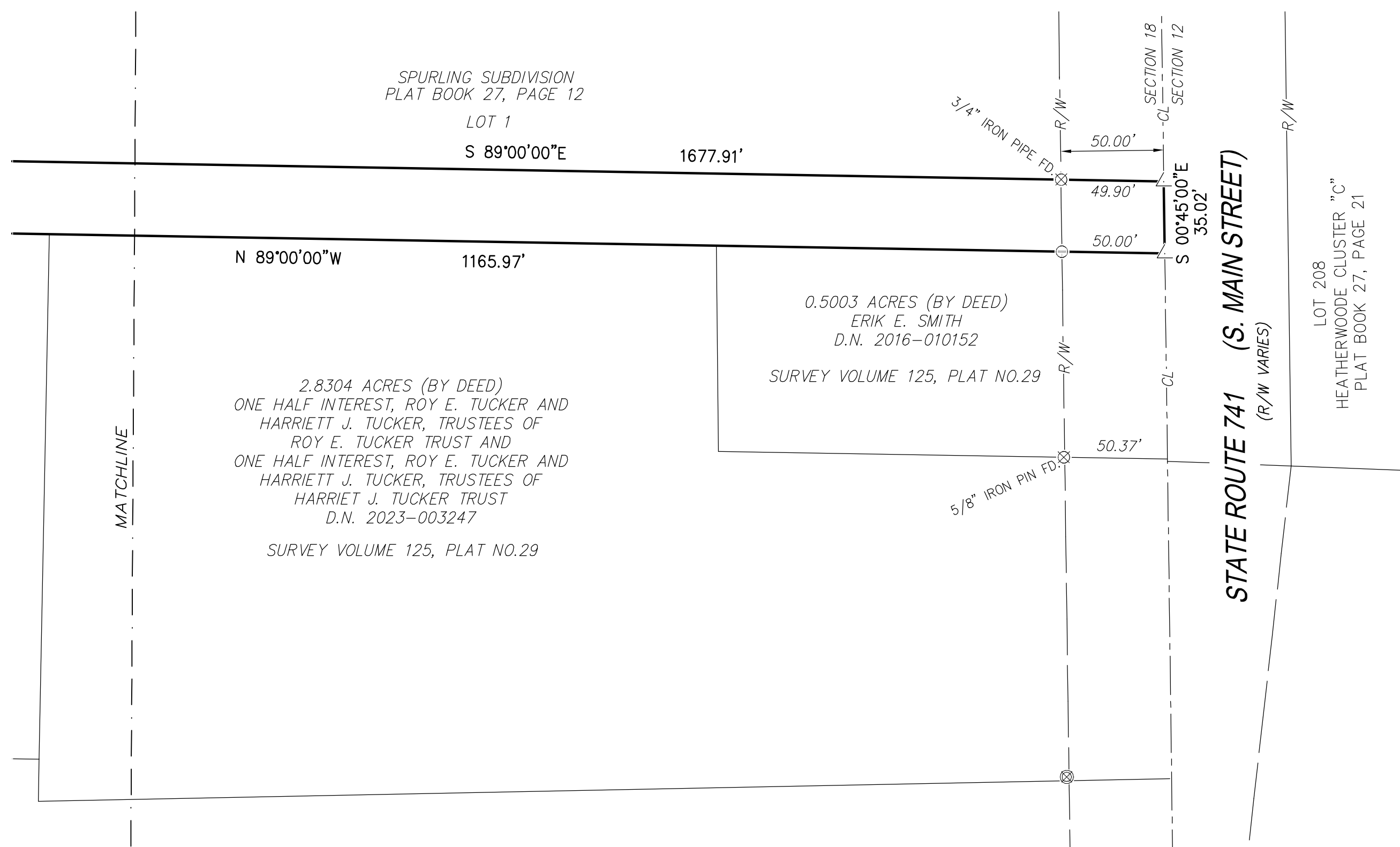
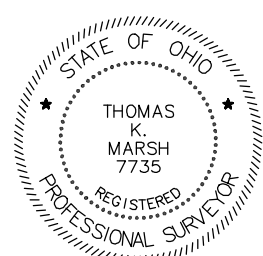
CERTIFICATION:

I HEREBY CERTIFY THAT THE PLAT/SUBDIVISION WAS PREPARED IN ACCORDANCE WITH
O.A.C. CHAPTER 4733.37 STANDARDS FOR PLAT OF SURVEY AND ALSO CONFORMS TO
THE O.R.C. CHAPTER 711 STANDARDS FOR RECORD PLANS AND WAS CONDUCTED UNDER
MY DIRECT SUPERVISION, BASED ON FIELDWORK IN AUGUST 2024. ALL MEASUREMENTS
ARE CORRECT AND MONUMENTS ARE TO BE AS SHOWN. CURVE DISTANCES ARE
MEASURED ON THE ARC. IRON PINS TO BE SET AT ALL LOT CORNERS.

MCDUGALL - MARSH LAND SURVEYORS

BY: _____
THOMAS K. MARSH P.S. #7735

DATE: _____



LOT 208
HEATHERWOODE CLUSTER "C"
PLAT BOOK 27, PAGE 21

STATE ROUTE 741 (S. MAIN STREET)

(R/W VARIES)

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

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☐ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Ferguson Construction

Address 400 Canal St, Sidney, Ohio 45365

Telephone No. (937) 498-2381

Fax No. ()

Email Address jmcgovern@ferguson-construction.com

PROPERTY OWNER NAME (IF OTHER): Young Men's Christian Association of Greater Dayton

Address: 111 West First Street, Suite 300, Dayton, Ohio 45042

Telephone No. (937) 223-5201

Property Address or General Location: 88 Remick Blvd., Miamisburg 45342

Parcel Number(s): 0409180004 **Zoning District:** O

Proposed Use: Proposed addition for cross-fit area to be added on to existing building.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

08/20/2024
(Date)

Caleb Johnson
Printed Name



City of Springboro
Springboro, OH 45066

Dear Dan Boron & Tad Stoll,

Subject: Authorization for Permit Application

I am writing to formally notify the City of Springboro that the Coffman YMCA authorizes Ferguson Construction to act on our behalf in applying for the necessary permits for an addition to our facility.

The proposed addition will extend our fitness center by approximately 1,700 square feet on the north side of the building. Ferguson Construction is fully authorized to handle all aspects of the permit application process related to this project.

Should you have any questions or require further information, please contact Ferguson Construction directly or reach out to Dale Brunner at 937-223-5201.
Thank you for your attention to this matter.

Sincerely,

Dale Brunner
President/CEO
YMCA of Greater Dayton

GENERAL NOTES

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS, STOCK PILE AND RESPAED. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW ELEVATIONS SHOWN. WASTE EXCESS MATERIAL ON-SITE.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

EXISTING ASPHALT PAVING IN BUILDING AREAS CAN BE SAW CUT AS SHOWN, SCARIFIED AND USED AS GRANULAR FILL. (ASPHALT IS TO BE BROKEN INTO MAX. 3'-4" PIECES)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 4" CONCRETE WITH 21# W.W.F. ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY.

SITE CONCRETE

SITE CONCRETE SHALL BE 4" THICK (4,000 PSI - AIR ENTRAINED) WITH 21# W.W.F. ON 6" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE. (EXCEPT FOR SIDEWALKS AND DOOR STOOPS)

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 ST IB PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE ODOT HW-1.2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

EXCAVATING CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY DRAWING DISCREPANCIES OF UTILITIES DISCOVERED THAT ARE NOT SHOWN ON THE SITE PLAN.

ASPHALT NOTES

STANDARD ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 1-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 7" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

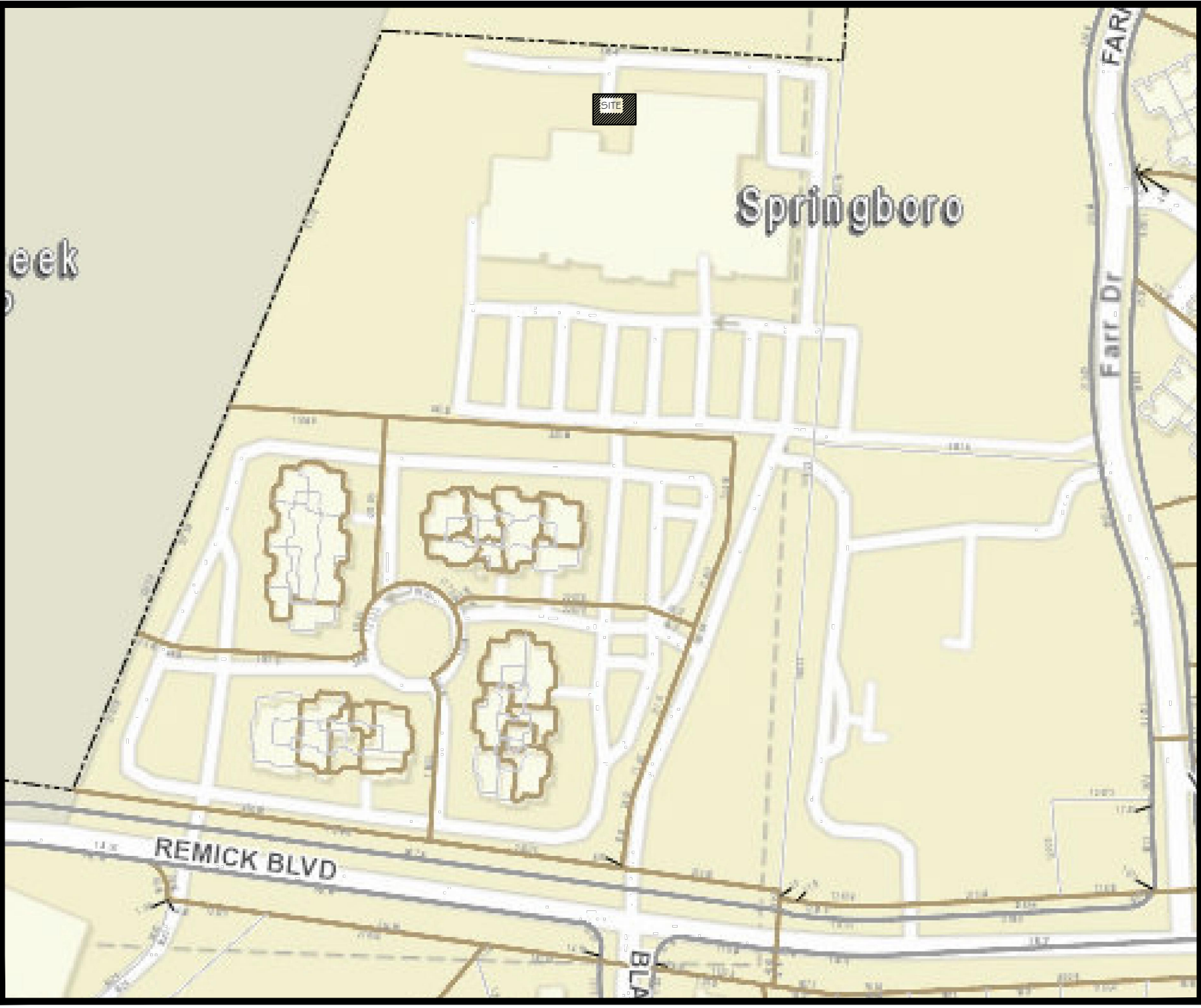
CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN (3) WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL / SQ. YD.).

ASPHALT CONTRACTOR IS RESPONSIBLE FOR SAW-CUTS AND A.C. SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

SEEDING AND LANDSCAPING

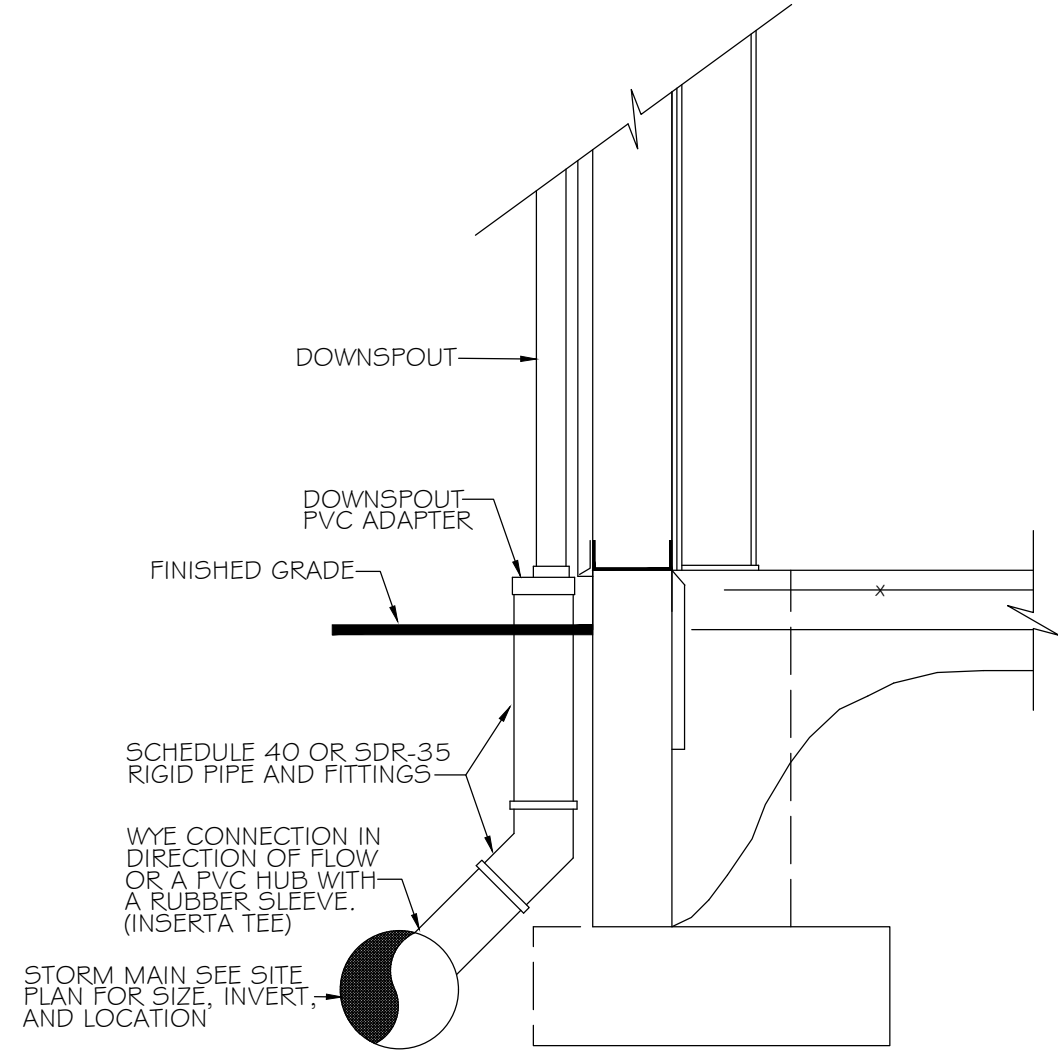
AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED, (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED

CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.

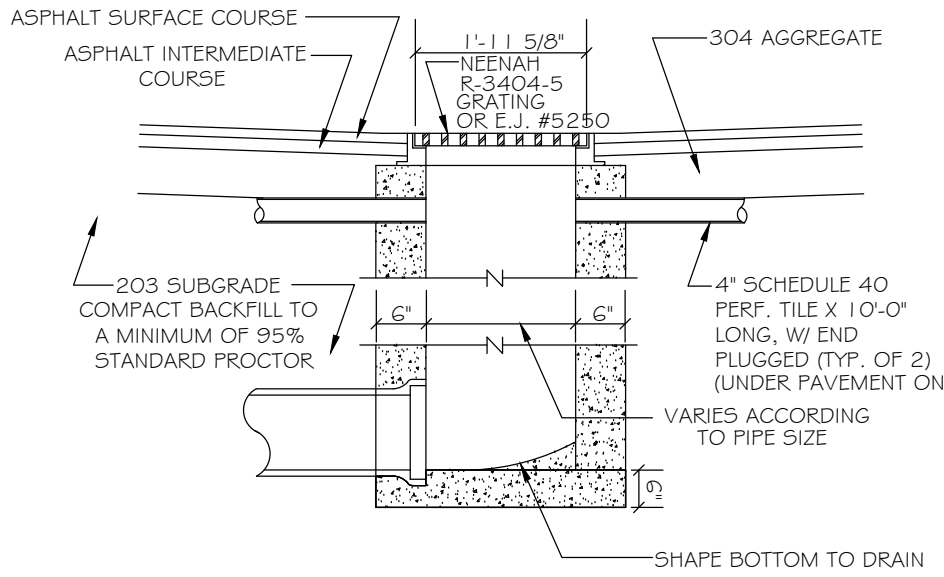


VICINITY MAP

SCALE : N.T.S.

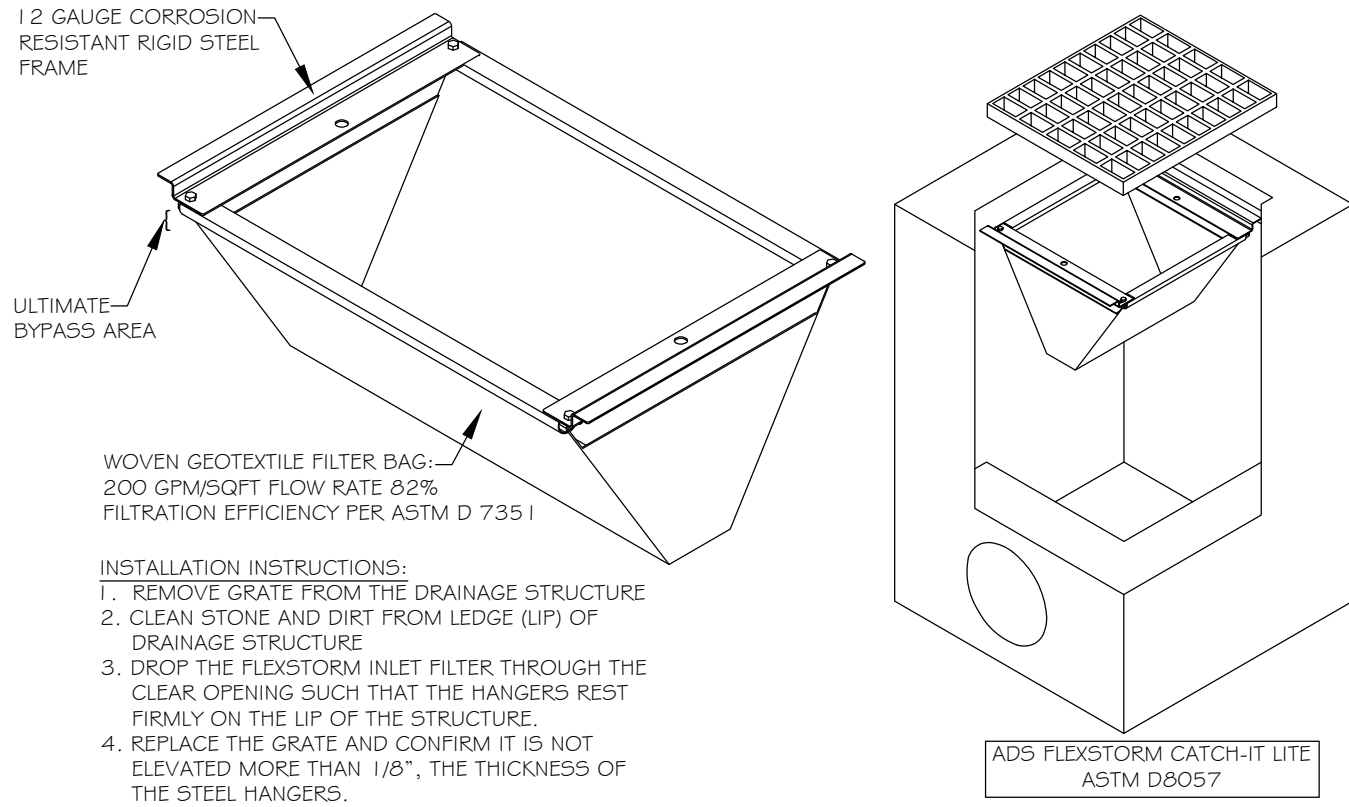


DOWNSPOUT DETAIL



CATCH BASIN DETAIL

FOR ASPHALT AREAS



FLEXSTORM DETAIL

TRENCH DETAIL NOTES

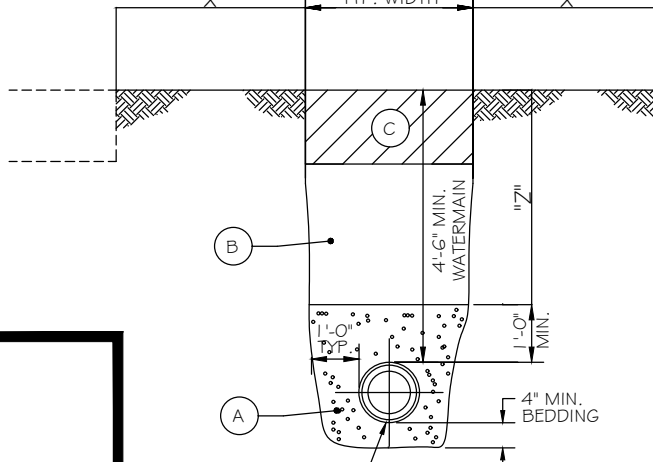
A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, ODOT G03 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.

B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS CAN BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.

C. DENSITY TEST ON GRANULAR BACKFILL OF 95% OF ASTM D698 STANDARD PROCTOR. CURVE MAY BE REQUIRED TO BE PERFORMED BY A COMMERCIAL TESTING LAB SATISFACTORY TO THE MUNICIPALITY.

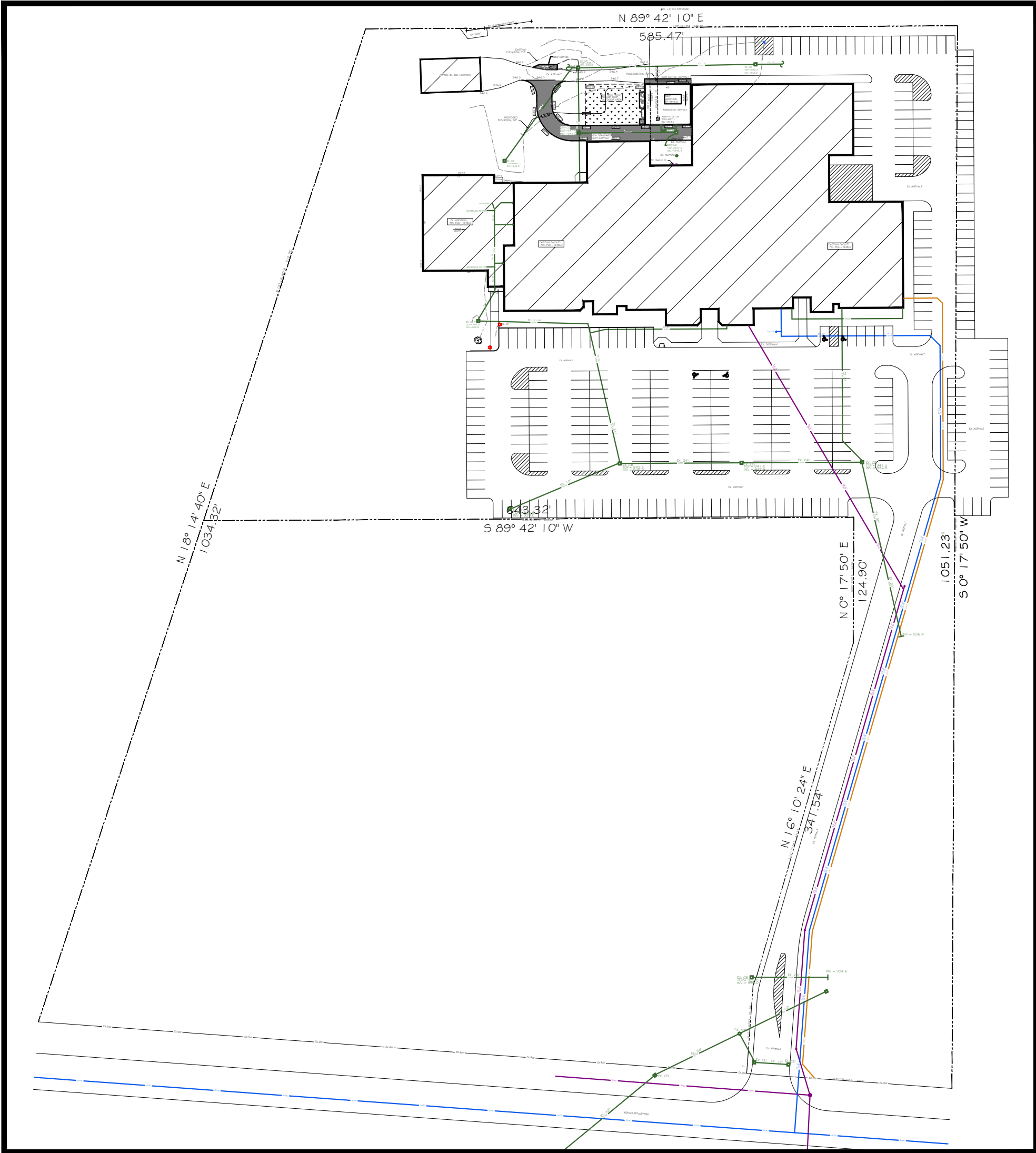
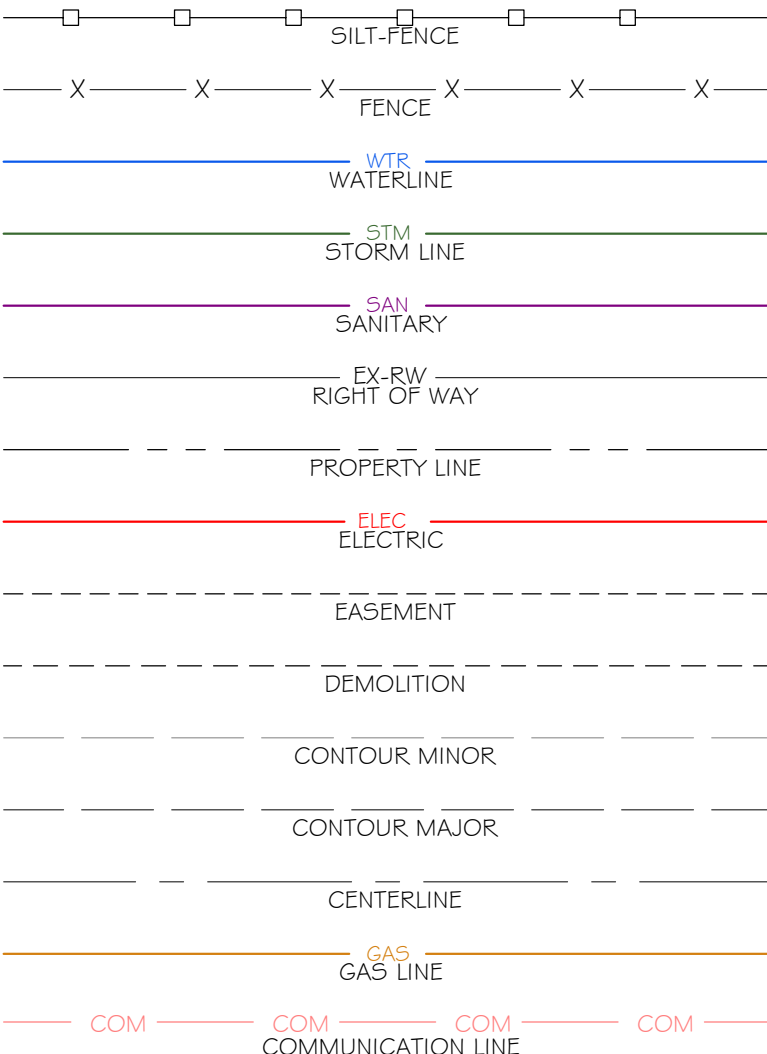
D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.

E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



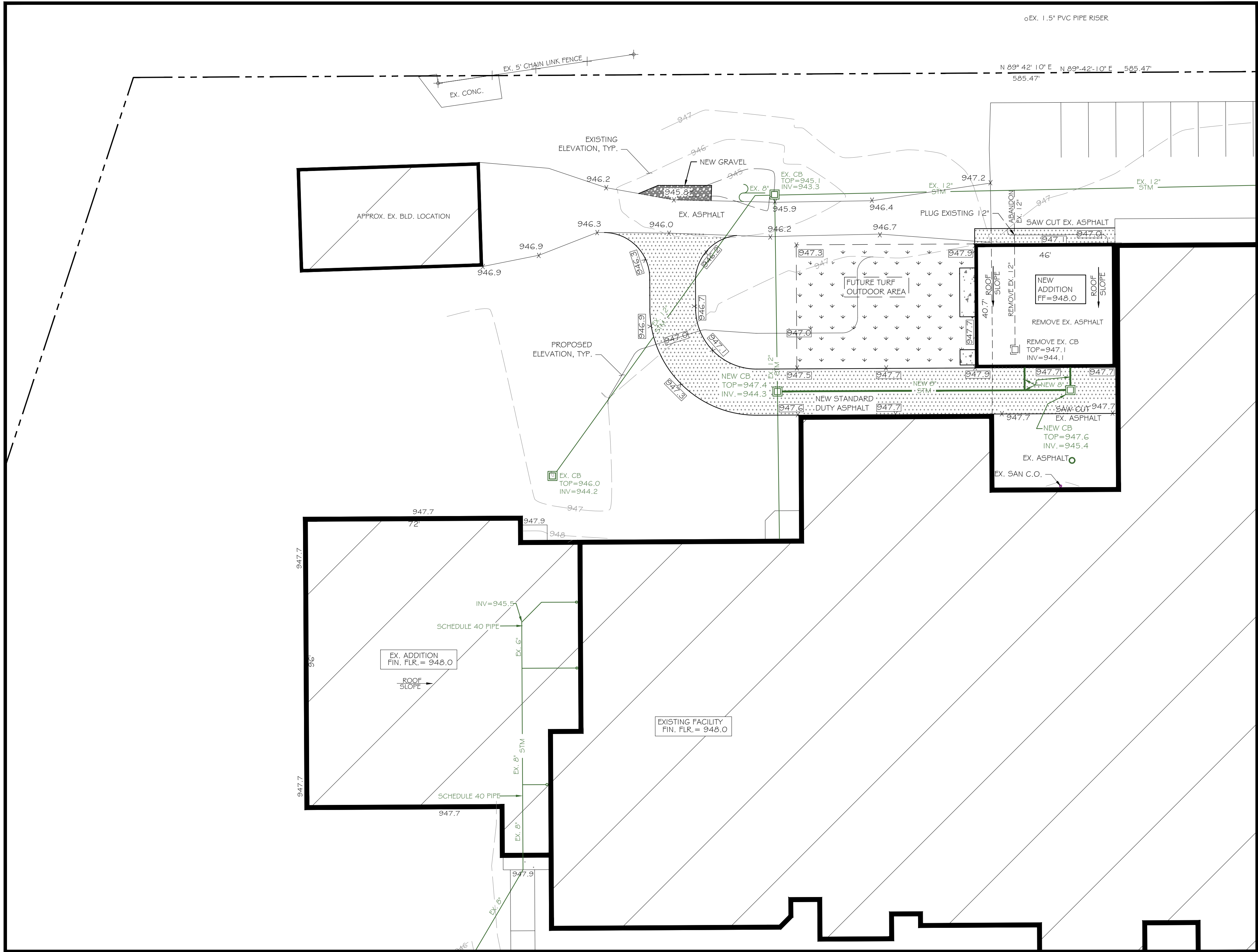
TRENCH DETAIL

LEGEND



PROPERTY PLAN

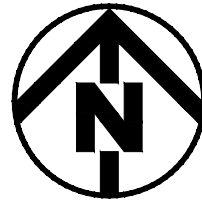
SCALE : 1" = 100' -0"



SITE PLAN

SCALE : 1" = 20' -0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



Revisions

#	Date	Description

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Ferguson Construction Company

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NOT FOR CONSTRUCTION

NEW ADDITION FOR
COFFMAN FAMILY

Y.M.C.A.

WARREN COUNTY
88 REMICK BLVD.
SPRINGBORO, OH 45066



Sidney, Ohio

400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio

825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio

3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana

7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number 24-D4121

Date 08/20/24

Drawn By CTJ

Checked By JWM

SITE PLAN

C-1.1

BUILDING ADDITION FOR
COFFMAN FAMILY YMCA

WARREN COUNTY
88 REMICK BLVD.
SPRINGBORO, OHIO 45066

INDEX OF DRAWINGS		
SHEET #	SHEET ISSUE DATE	SHEET NAME
C-1.1	8/20/24	SITE PLAN
A-1.0	8/20/24	CODE NOTES AND FLOOR PLANS
A-3.1	8/20/24	ELEVATIONS AND SECTIONS
A-5.1	8/20/24	SCHEDULES, DETAILS, AND FOUNDATION PLAN

BUILDING CODE NOTES - 2024 O.B.C.

SCOPE OF WORK

A NEW 1,871 SF CROSS FIT GYM ADDITION TO EXISTING 76,109 SF MULTI-USE, YMCA BUILDING.
THE BUILDING IS 2-B CONSTRUCTION, FULLY SUPPRESSED, WITH FIRE ALARM.

SCOPE OF WORK ALSO INCLUDES MECHANICAL AND ELECTRICAL WORK.

BUILDING IS A NON-SEPARATED, MIXED-USE UNLIMITED AREA BUILDING PER 507.4, AND 507.6, OF A-3/B OCCUPANCY WITH ACCESSORY USE OF LESS THAN 10% OF STORAGE, THERE IS NO HIGH-FILED COMBUSTIBLE STORAGE OR HAZARDOUS MATERIALS STORED IN THE BUILDING.

BUILDING DATA AND 2024 O.B.C. SUMMARY
OBC CHAPTERS 3-6 SUMMARY

1. NEW ADDITION AREA - 1,871 SF
USE GROUP - A-3
CONSTRUCTION TYPE - II-B
NO. OF STORIES - 1
- 1.1. EXISTING BUILDING AREA - 76,109 SF
USE GROUP - A-3, B
CONSTRUCTION TYPE - II-B
NO. OF STORIES - 1
- 1.2. TOTAL BUILDING AREA - 77,980 SF
2. SPECIAL DETAILED REQUIREMENT - OBC CHAPTER 4
- 2.1. NOT APPLICABLE
3. MIXED USE AND OCCUPANCY 508 AND TABLE 508.4.
- 3.1. NON-SEPARATED MIXED USE PER 508.3.

BUILDING AREA CALCULATIONS

CALCULATIONS FOR BUILDING HEIGHT AND AREA PER OBC SECTIONS 504 & 506

1. BASE ALLOWABLE HEIGHT, STORIES, & AREA PER OBC TABLES 504.3, 504.4, & 506.2

A-3, SUPPRESSED, II-B, 75 FT, 3 STORIES, & 38,000 SF

B, SUPPRESSED, II-B, 75 FT, 4 STORIES, & 92,000 SF

- 1.1. MOST STRINGENT - A-3 - 75 FT, 3 STORIES & 38,000 SF

3. UNLIMITED AREA BUILDING PER OBC SECTION 507
4. ACTUAL HEIGHT, STORIES, & AREA
- 4.1. HEIGHT = 28 FT
- 4.2. STORIES = 1 STORY (W/ EXISTING MEZZANINE TRACK)
- 4.3. AREA = 77,980 SF

FIRE PROTECTION SYSTEMS

1. FIRE SUPPRESSION SYSTEMS PER OBC SECTION 903
- 1.1. THE EXISTING BUILDING WET SPRINKLER SYSTEM WILL BE EXTENDED INTO THE PROPOSED BUILDING ADDITION.
2. PORTABLE FIRE EXTINGUISHERS PER OBC SECTION 906
- 2.1. PORTABLE FIRE EXTINGUISHERS ARE TO BE PROVIDED PER OBC 906.1.
3. FIRE ALARM SYSTEM PER OBC SECTION 907
- 3.1. EXTEND EXISTING ALARM SYSTEM INTO THE NEW BUILDING ADDITION AS REQUIRED.

MEANS OF EGRESS

1. LENGTH OF EXIT ACCESS TRAVEL PER OBC TABLE 1017.2
- 1.1. USE GROUP A WITH SPRINKLERS = 300 FT
- 1.2. USE GROUP B WITH SPRINKLERS = 250 FT
- 1.3. ACTUAL MAXIMUM LENGTH OF TRAVEL = < 250 FT
2. EGRESS WIDTH PER OCCUPANT PER OBC 1005.3
- 2.1. ALL EXISTING EXITS REMAIN UNALTERED. NEW ADDITION IS BOTH COMPLIANT AS A SINGLE EXIT SPACE OR SECONDARY EGRESS THROUGH EXISTING BUILDING.

ACCESSIBILITY

PER OBC CHAPTER 11

1. ACCESSIBLE BUILDINGS AND FACILITIES PER OBC SECTION 1102
- 1.1. ALL PORTIONS OF THE NEW BUILDING WILL BE ACCESSIBLE FOR USE BY THE PHYSICALLY HANDICAPPED PER ANSI A117.1 REQUIREMENTS.
- 1.2. HANDICAPPED ACCESSIBLE TOILET FACILITIES COMPLYING WITH ACCESSIBILITY REQUIREMENTS ARE PROVIDED FOR BOTH MEN AND WOMEN.

STRUCTURAL LOADS

PER OBC CHAPTER 16

1. SEE SHEET A-5.1 FOR STRUCTURAL LOADS PER OBC 1603.1.1 - 1603.1.6.
2. FLOOR LIVE LOADS PER OBC TABLE 1607.1.
- 2.1. A-3 - EXERCISE SPACES - 100 PSF LIVE LOAD
3. CONCRETE FOUNDATIONS DESIGNED FOR SUB-SURFACE BEARING ON ASSUMED 1,500 PSF SOIL PER OBC TABLE 1806.2.

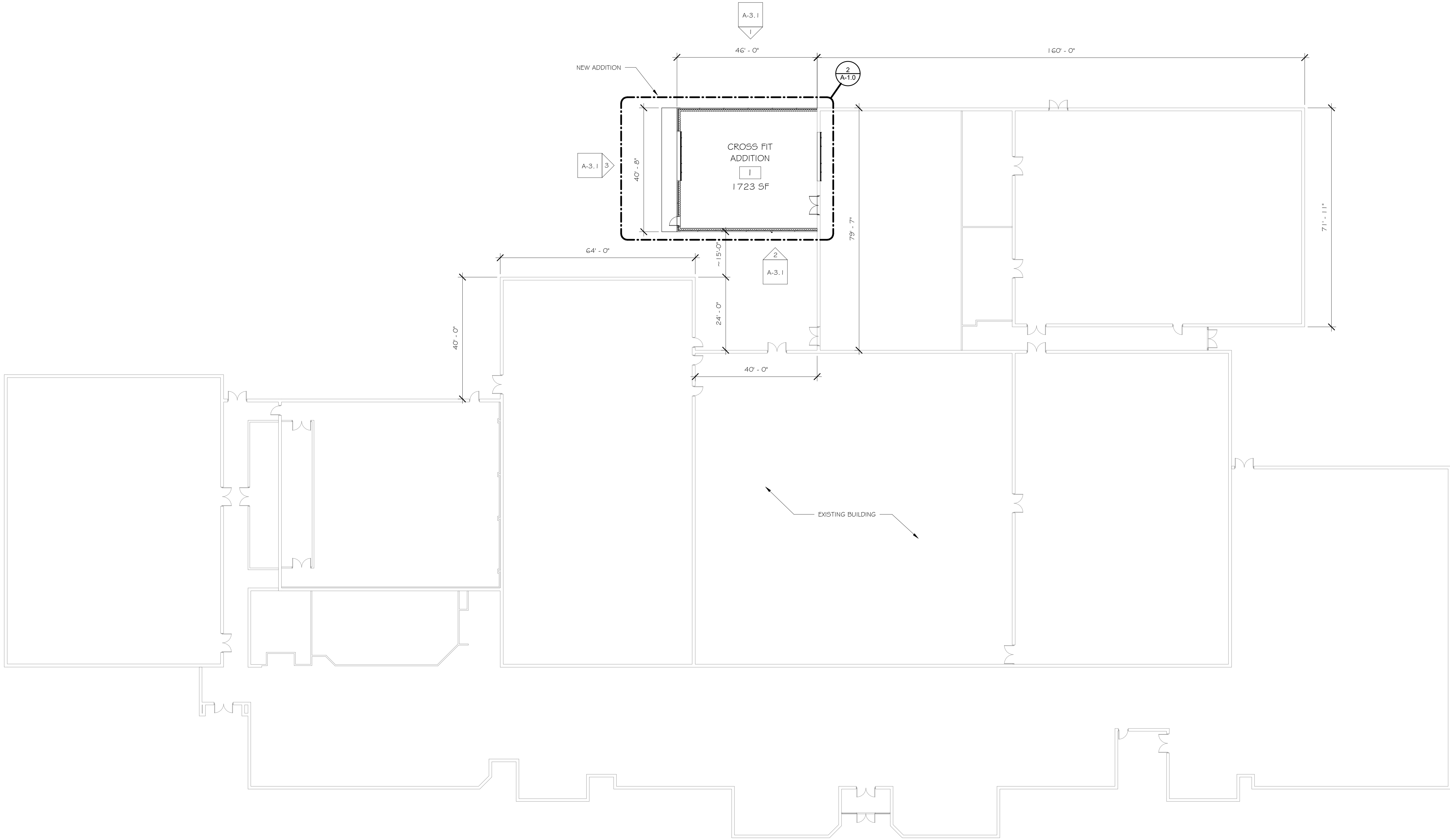
ROOM/OCCUPANT LOAD SCHEDULE				
ROOM #	ROOM NAME	NET AREA	OCC. GROUP	OCC. LOAD
1	CROSS FIT ADDITION	1723 SF	EXER.	35
Grand total: 1		1723 SF		35

WALL LEGEND	
WALL TAG	WALL DESCRIPTION
B-1.2	3-5/8" BRICK VENEER, 1-3/4" AIR GAP, TYVEK WRAP OVER 1-1/2" TK. RIGID INSULATION ON 8" CMU, EXTEND TO DECK, W/ MASONRY REINFORCING EVERY THIRD COURSE, AND #5 VERT. REINFORCING EVERY 4'-0" OC.

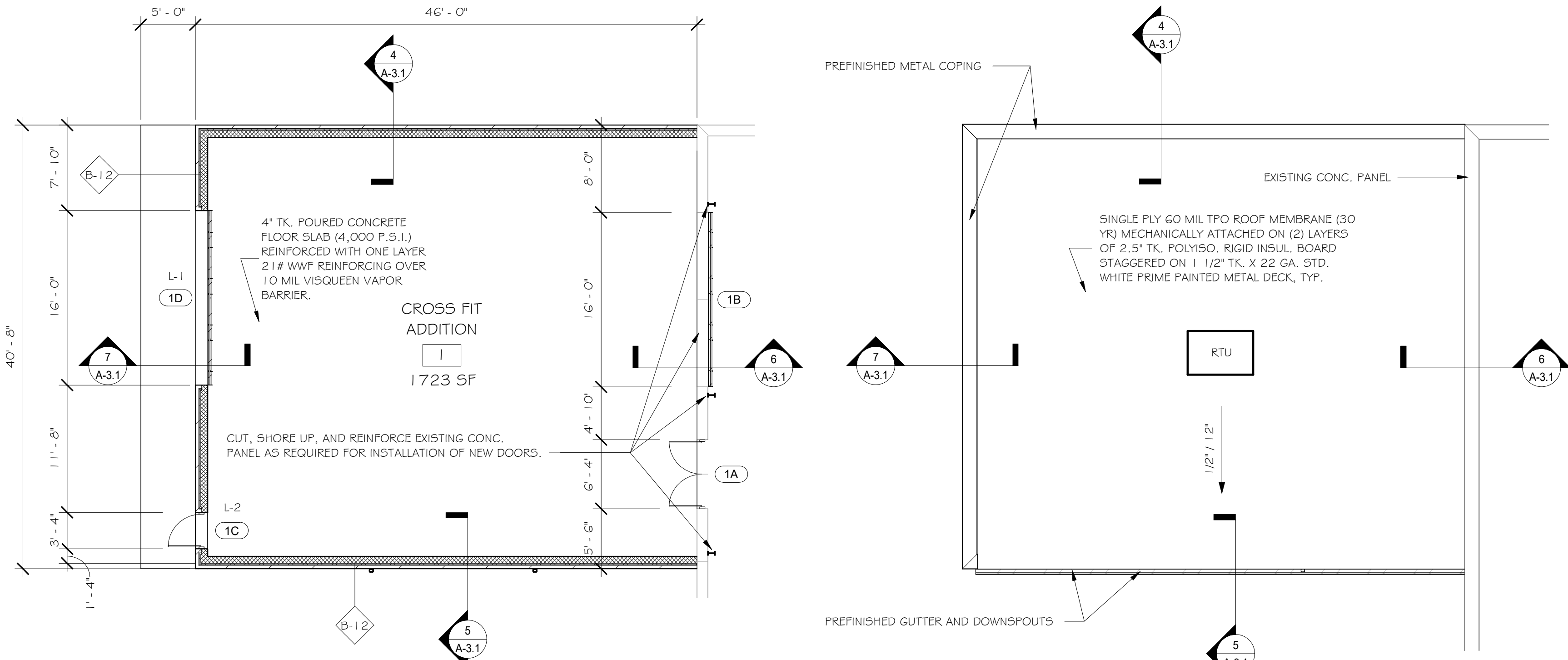
LINTEL SCHEDULE	
MARK	SIZE
L-1	W8 X 18 STEEL BEAM W/ 5/16" TK. X 13-1/2" WIDE PLATE W/ 8" BEARING EACH END
L-2	7 5/8" WIDE X 7 5/8" HIGH BOLD BEAM W/ (2) #5 REBAR, 6x6x5/16 ANGLE ANCHORED TO CMU W/ 8" BEARING EACH END.

LINTEL NOTES

1. ALL STEEL BEAMS TO BE 36 K.S.I. MIN. AND REINFORCING BARS TO BE 60 K.S.I. MIN.
2. LINTELS HAVE BEEN DESIGNED WITHOUT CONCENTRATED LOADS WITHIN THE CROSSHATCHED AREA.
3. ALL LINTELS TO BEAR ON SOLID CONCRETE BLOCK FILLED WITH CONCRETE AND (1) #6 DIA. REBAR VERTICAL IN EACH CORE.
4. ALL EXTERIOR STEEL LINTELS TO BE GALVANIZED.



1 BUILDING PLAN
1/16" = 1'-0"



2 ENLARGED PLAN
1/8" = 1'-0"

3 ROOF PLAN
1/8" = 1'-0"

Revisions

#	Date	Description

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NOT FOR CONSTRUCTION

BUILDING ADDITION FOR
COFFMAN FAMILY YMCA
WARREN COUNTY
88 REMICK BLVD.
SPRINGBORO, OHIO 45066



Sidney, Ohio

400 Canal Street
Sidney, OH 45385-0726
Phone: (937) 498-2381

Dayton, Ohio

825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio

3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana

7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number 24-D2124

Date 8/20/24

Drawn By JMS

Checked By JWM

CODE NOTES AND
FLOOR PLANS

A-1.0

Revisions		
#	Date	Description

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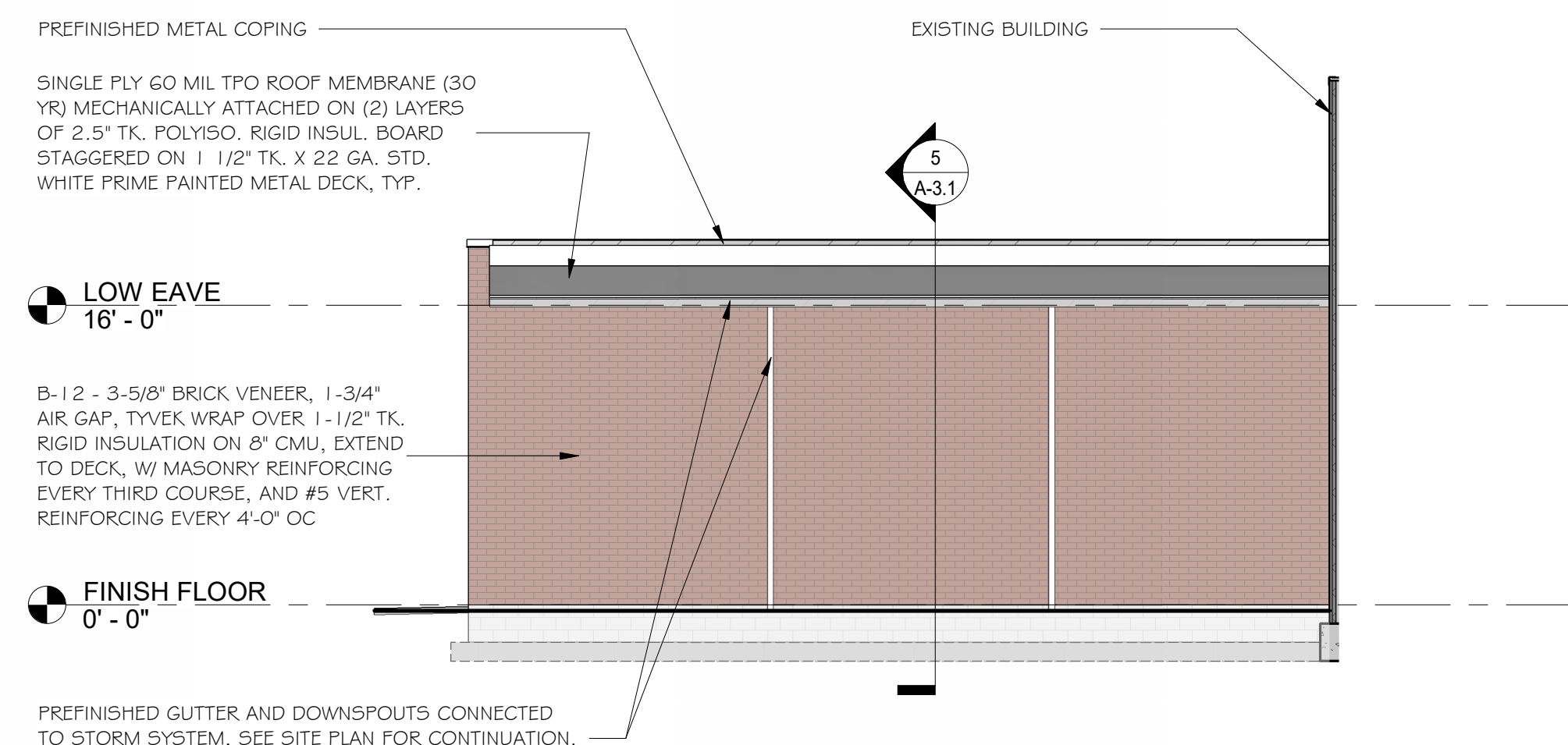
Drawn By	IMS
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ELEVATIONS AND SECTIONS

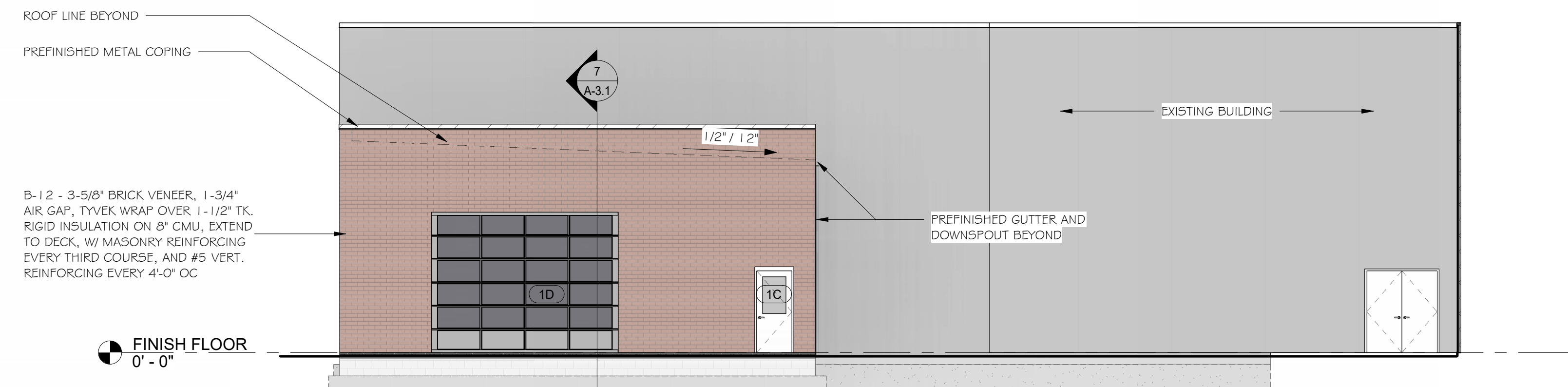
A-3.1



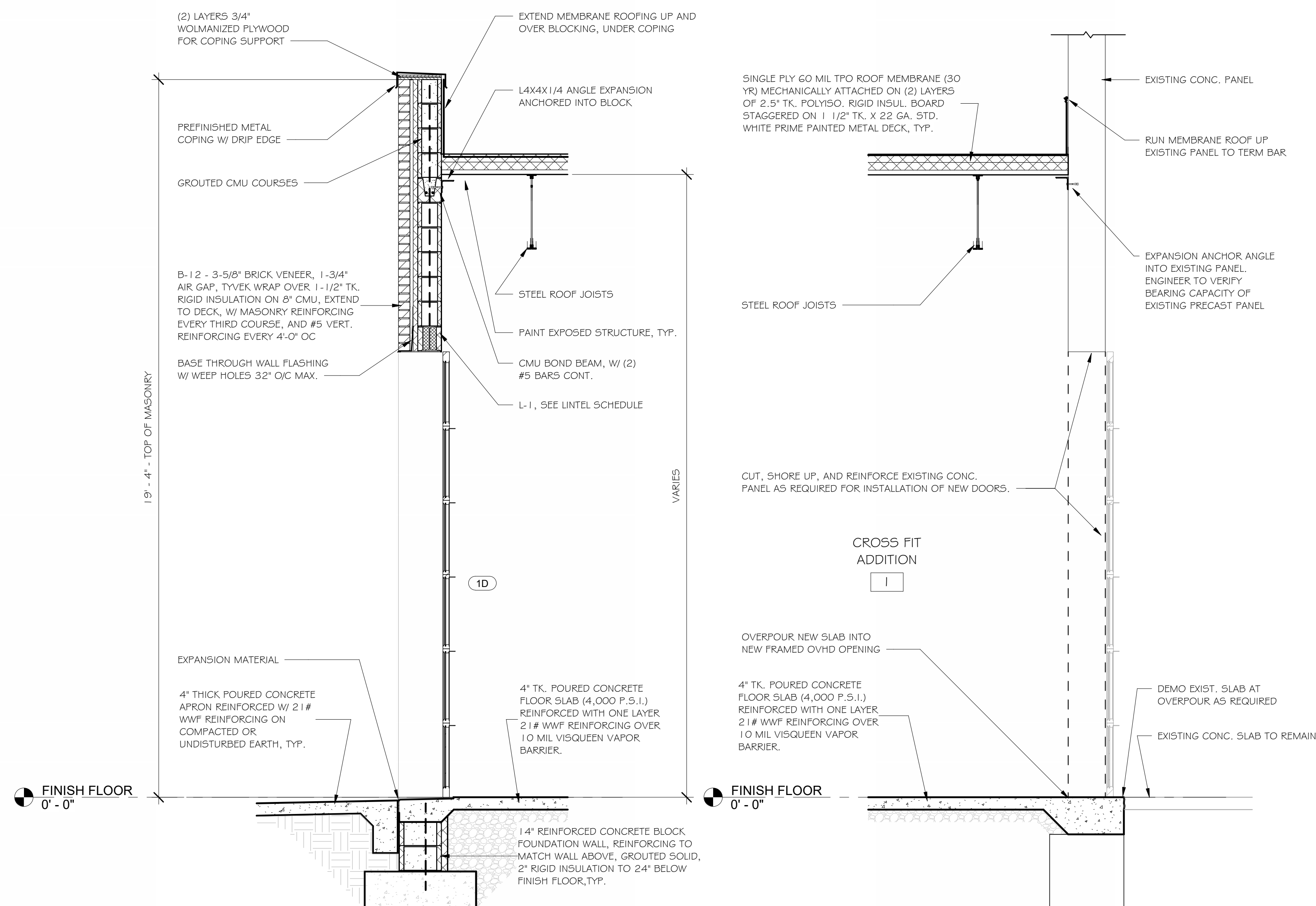
1 NORTH
1/8" = 1'-0"



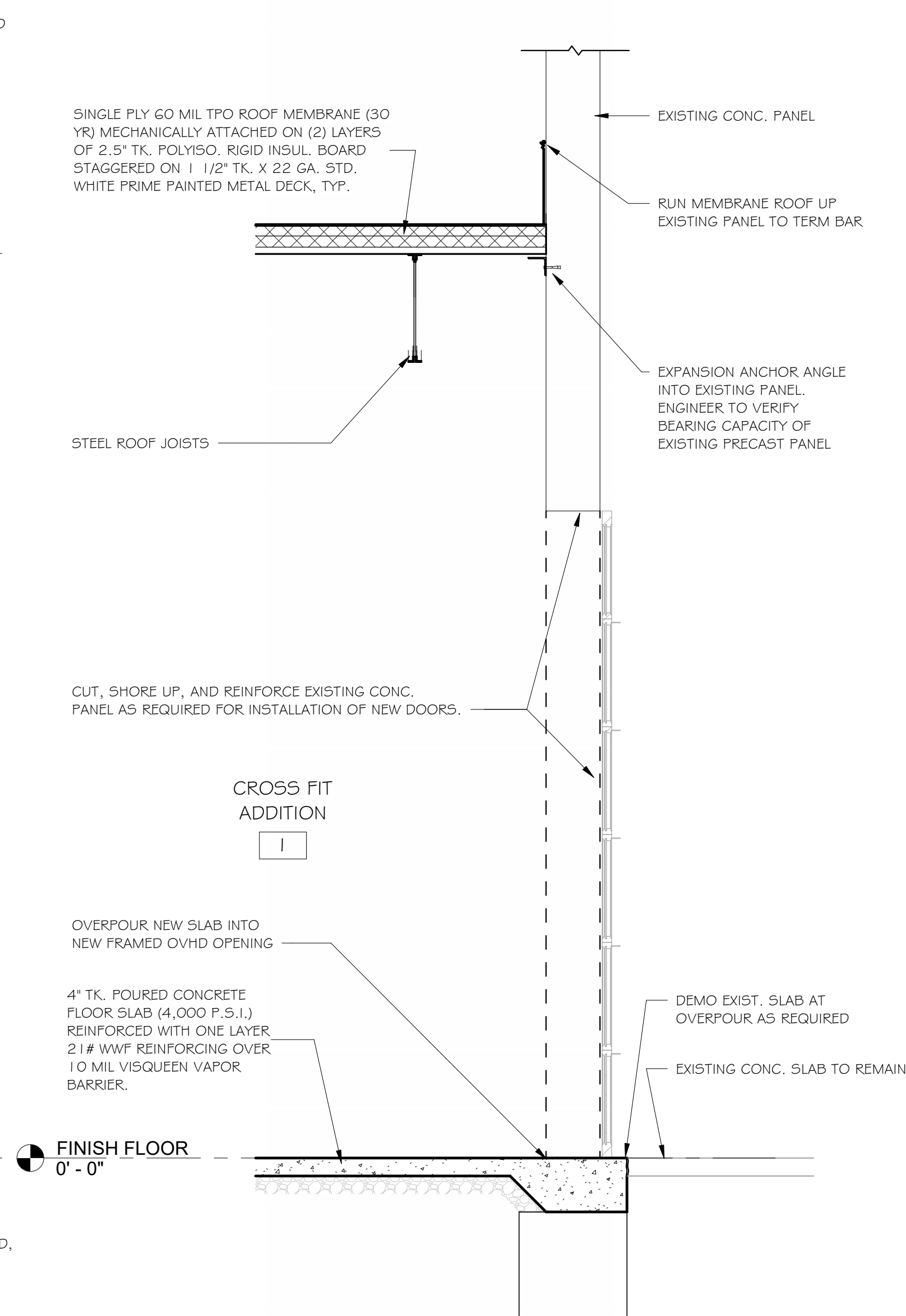
2 SOUTH
1/8" = 1'-0"



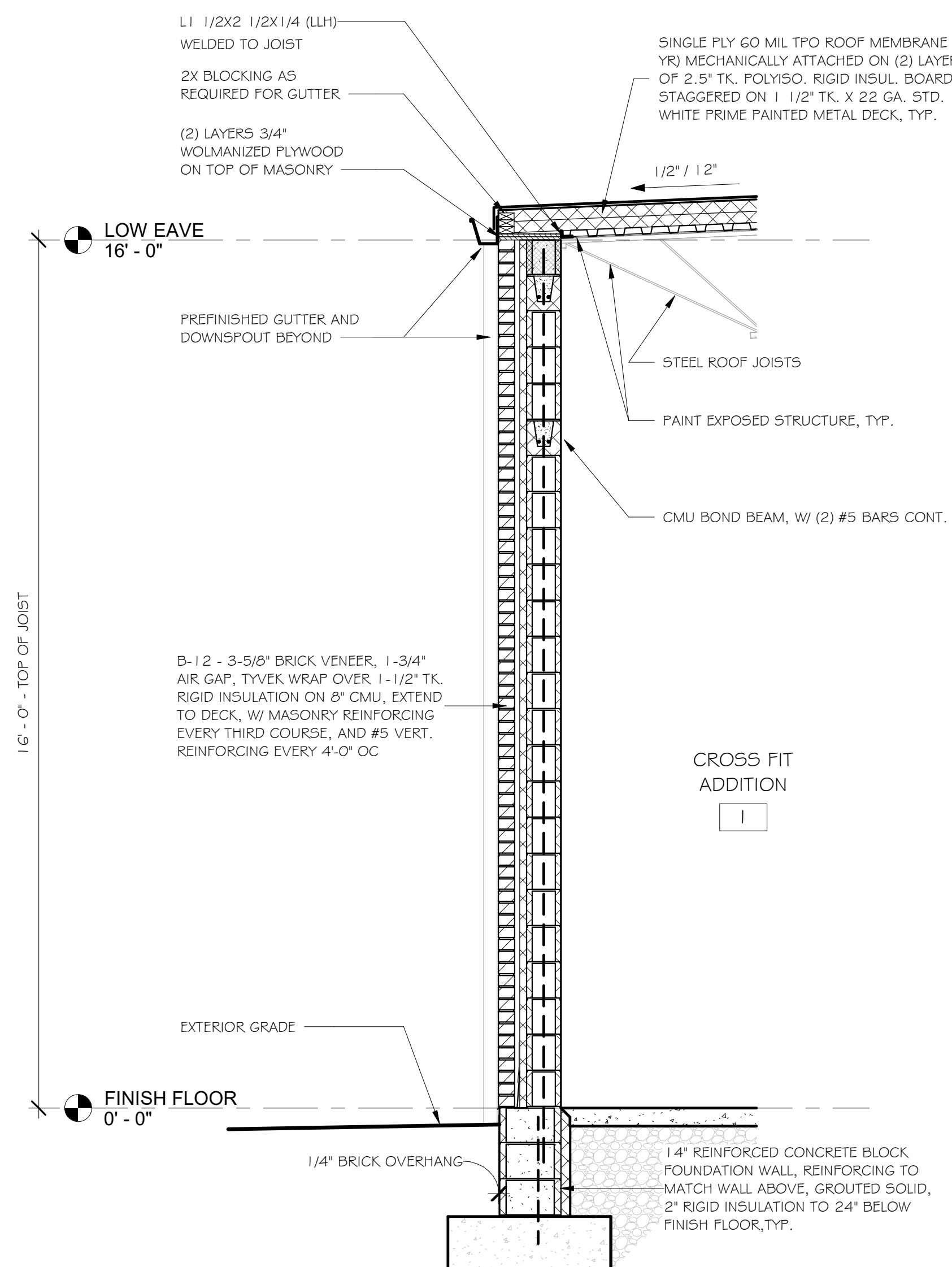
3 WEST
1/8" = 1'-0"



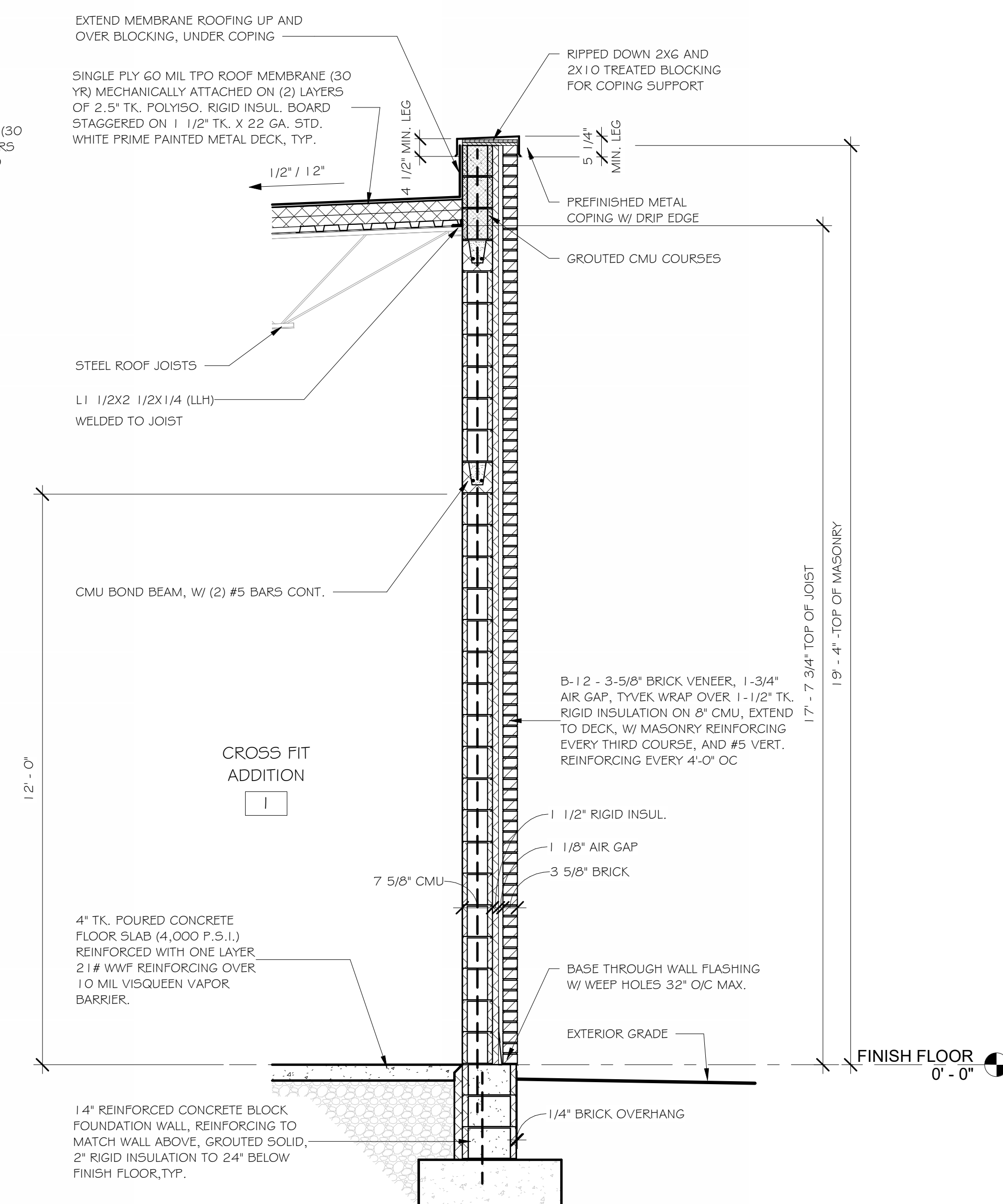
7 WEST WALL SECTION
1/2" = 1'-0"



6 EAST WALL SECTION
1/2" = 1'-0"



5 SOUTH WALL SECTION
1/2" = 1'-0"



4 NORTH WALL SECTION
1/2" = 1'-0"

DOOR SCHEDULE															
DOOR						FRAME				HARDWARE				COMMENTS	
MARK	# OF DOORS	WIDTH	HEIGHT	ELEV.	MATERIAL	GLAZING	ELEV.	DETAIL	MATERIAL	DEPTH	THRESHOLD	LOCK	CLOSER		WEATHER STRIPPING
A	2	3'-0"	7'-0"	HG	HM	YES	A	1	HM	5 3/4"	-	PASS	YES	-	
B	1	16'-0"	12'-0"	OVHD	STL	YES	-	2	STL	8"	-	BY DR. MANUF.	ELEC	-	
C	1	3'-0"	7'-0"	HG	HM	YES	B	1	HM	5 3/4"	YES	LOCK	YES	YES	
D	1	16'-0"	12'-0"	OVHD	STL	YES	-	2	STL	8"	-	BY DR. MANUF.	ELEC	YES	

DOOR NOTES

- AT THE BOTTOM OF EXTERIOR H.M. DOORS PROVIDE A CONCEALED DOUBLE SEALING SWEEP MADE OF SYNTHETIC MATERIAL, MODEL NO. P5074 AS MANUFACTURED BY FAS-SEAL (OR EQUAL). WEATHERSTRIP TO BE RECESSED IN THE BOTTOM CHANNEL OF THE DOOR.
- ALL H.M. DOORS INSTALLED IN EXTERIOR MASONRY WALLS TO INCLUDE SNAP-IN METALS CAPS INSTALLED IN THE TOP OF THE DOOR BY DOOR SUPPLIER.
- ALL H.M. DOORS AND FRAMES INSTALLED IN EXTERIOR MASONRY WALLS TO INCLUDE A DRIP STRIP MODEL NO. 1GA BY NATIONAL GUARD PRODUCTS, INC. (OR EQUAL) MOUNTED TO THE HEAD OF THE FRAME.
- ALL EXTERIOR H.M. DOORS SHALL INCLUDE MORTISE LOCKS AND LEVER HANDLES. CYLINDER LOCK AND KEYING BY HARDWARE SUPPLIER.
- ALL INTERIOR H.M. DOORS AND WOOD DOORS ARE TO INCLUDE WALL STOPS OR FLOOR STOPS WHERE REQUIRED.

HARDWARE NOTES

HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES SHALL BE PROHIBITED ON ALL EGRESS DOORS. THE USE OF MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS IS PROHIBITED. REFER TO SECTION 1009.0 GENERAL MEANS OF EGRESS OF THE OHIO BUILDING CODE.

ALL DOORS TO BE FURNISHED W/ APPROVED HANDICAP ACCESSIBLE HARDWARE W/ LEVER TYPE HANDLES AND HANDICAPPED TYPE CLOSERS.

ALL LOCKS TO BE ON A MASTER-KEYED SYSTEM APPROVED BY THE OWNER.

THE MAXIMUM FORCE REQUIRED FOR PUSHING AND/OR PULLING OPEN AN INTERIOR DOOR EQUIPPED WITH AN AUTOMATIC DOOR CLOSER SHALL BE 5 POUNDS PER ICC A117.1 SECTION 404.2.8.

DOOR LOCKS WILL COMPLY WITH OBC SECTION 1010.2. ALL EXTERIOR EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOORS WITH LOCKS ARE TO PREVENT INGRESS INTO THE SPACE.

GLAZING NOTE

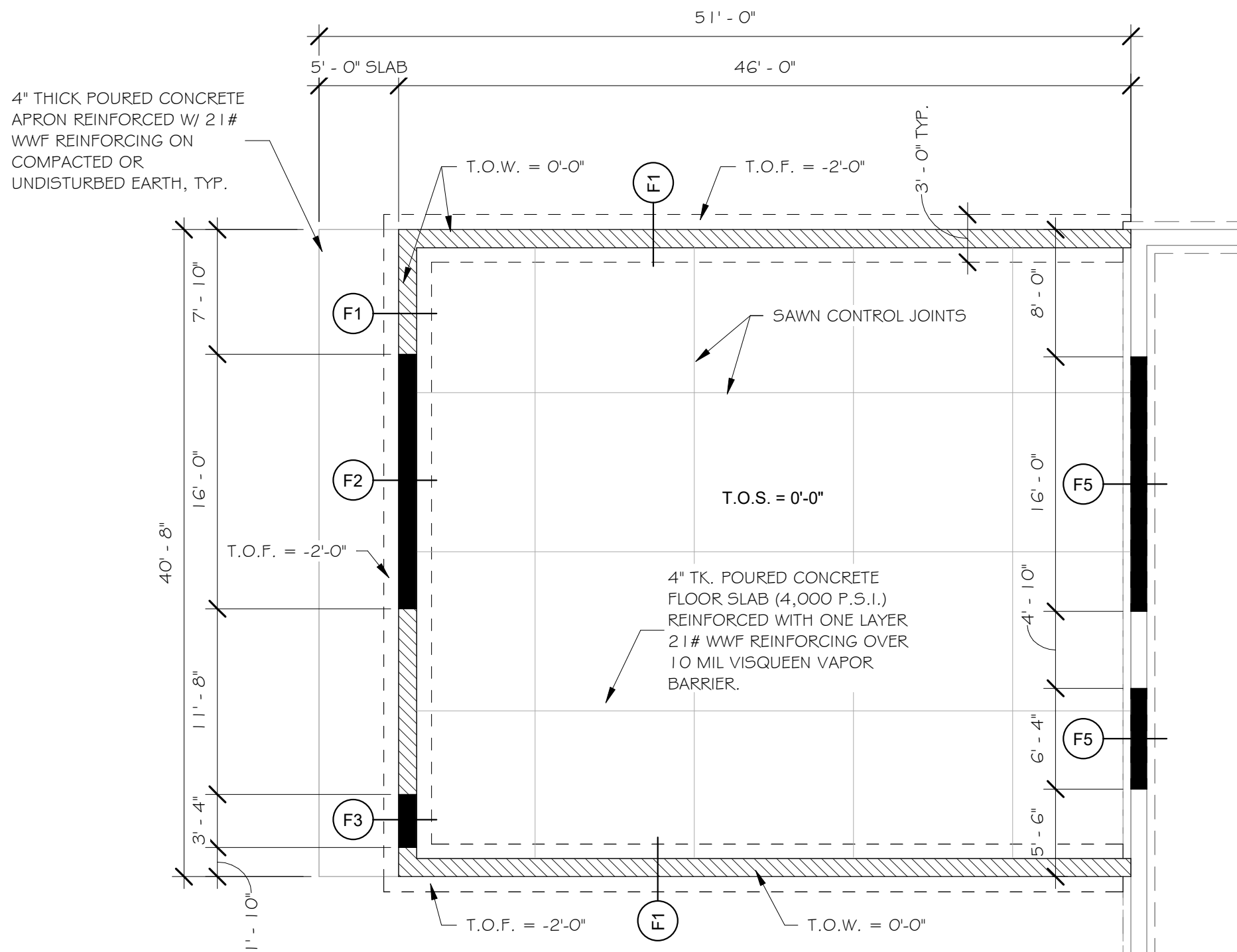
GLASS IN EXTERIOR DOORS, STORM DOORS, INTERIOR DOORS, SLIDING DOORS, FIXED PANELS ADJACENT TO DOORS, SHOWER DOORS AND TUB ENCLOSURES SHALL COMPLY W/ HUMAN IMPACT LOADS SECTION 2406.1 OF THE OHIO BUILDING CODE AND PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16 CFR PART 1201, SAFETY STANDARD FOR ARCHITECTURAL GLAZING.

STRUCTURAL DESIGN NOTES

- DESIGN UNIFORM LOADS:
 - ROOF LIVE LOAD: (PER OBC 1603.1.2, 41607.12)
ROOF LIVE LOAD = 20 PSF
 - ROOF SNOW LOAD: (PER OBC 1603.1.3, 41608)
GROUND SNOW LOAD P_g = 20 PSF
ROOF SNOW LOAD = 20 PSF
SNOW EXPOSURE FACTOR C_e = 1.0
THERMAL FACTOR C_t = 1.0
 - WIND LOAD: (PER OBC 1603.1.4 41609)
NOMINAL DESIGN WIND SPEED (3 SEC. GUST) V_{asd} = 69 MPH
ULTIMATE DESIGN WIND SPEED (3 SEC. GUST) V_{ult} = 115 MPH
WIND LOAD IMPORTANCE FACTOR = 1.0
INTERNAL PRESSURE / SUCTION COEFFICIENT = ± 0.18
WIND EXPOSURE FACTOR = C
ENCLOSURE CLASSIFICATION = ENCLOSED
- EARTHQUAKE LOAD: (PER OBC 1603.1.5 41613)
LATERAL FORCE RESISTING SYSTEM USING EQUIVALENT FORCE PROCEDURE
SEISMIC DESIGN CATEGORY = B
SITE CLASS = D
SEISMIC IMPORTANCE FACTOR = 1.00
BASIC SEISMIC FORCE RESISTING SYSTEM =
NOT SPECIFICALLY DETAILED FOR SEISMIC
- WEIGHT OF FIXED SERVICE EQUIPMENT: (PER OBC 1606.3)
COLLATERAL LOAD = 5 PSF
- CONCRETE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST "AMERICAN CONCRETE INSTITUTE" RECOMMENDATIONS.
- ALL FOUNDATION EXCAVATIONS TO BE FIELD INSPECTED TO VERIFY SUITABLE SOIL CONDITIONS PRIOR TO PLACEMENT OF CONCRETE.

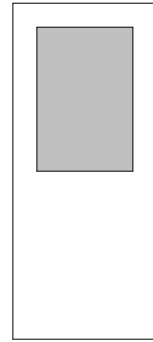
LEGEND

T.O.S. =	TOP OF SLAB
T.O.W. =	TOP OF WALL
T.O.F. =	TOP OF FOOTING
T.O.P. =	TOP OF PIER



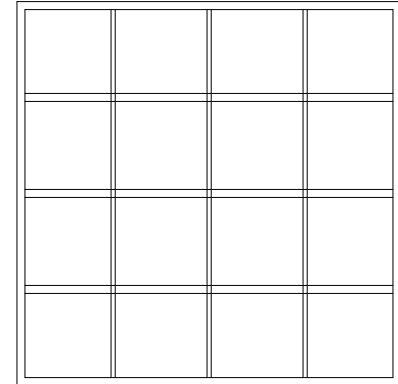
4 FOUNDATION PLAN
1/8" = 1'-0"

HG



FLUSH PANEL DOOR W/
24" x 36" TEMPERED
GLASS HALF-LITE

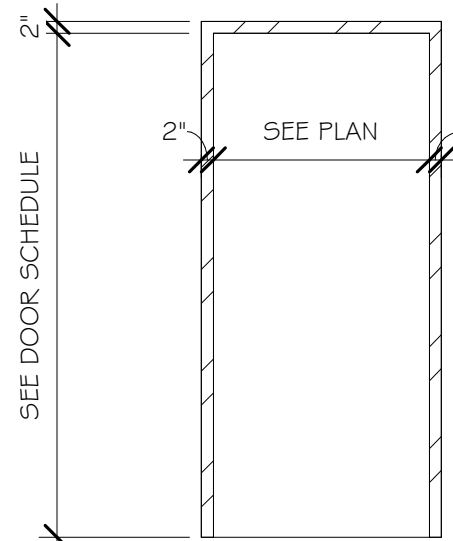
OVHD



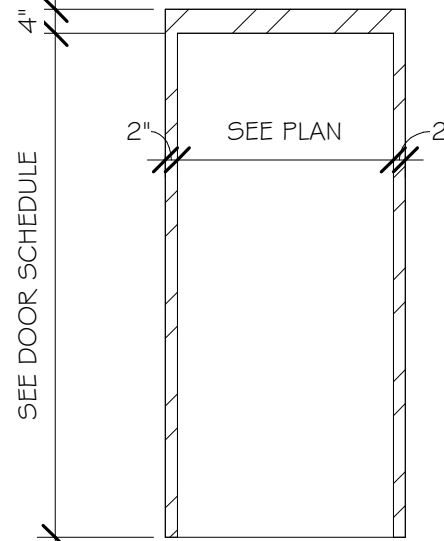
GLAZED SECTIONAL ALUMINUM
OVERHEAD DOOR, UNINSULATED
AT INTERIOR, (R=1.75 MIN.) AT
EXTERIOR LOCATION W/ STEEL BACKER
PANELS, MAXIMUM HIGH LIFT TRACK

2 DOOR ELEVATIONS
1/4" = 1'-0"

A

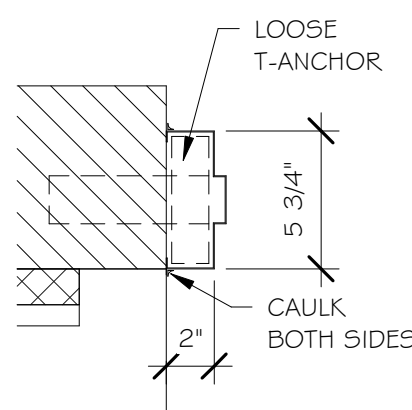


B



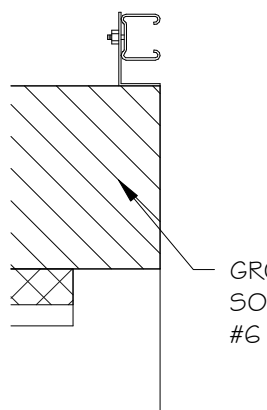
3 FRAME ELEVATIONS
3/8" = 1'-0"

1



H.M. FRAME IN MASONRY OR
PRECAST CONCRETE WALLS
(FRAMES IN MASONRY
WALLS TO BE WELDED.)

2



DOOR TRACK ON
MASONRY JAMB

1 FRAME DETAILS
1 1/2" = 1'-0"

CONCRETE SLAB NOTES

4" TK. POURED CONCRETE FLOOR SLAB (4,000 P.S.I.) REINFORCED WITH ONE LAYER 2#1 W/WF WIRE MESH REINFORCING OVER 10 MIL VISQUEEN VAPOR BARRIER.

ALL SLABS TO BE INSTALLED OVER 6" CUSHION OF GRANULAR MATERIAL. SLAB SURFACE TO BE TROWEL SMOOTH AND SEALED WITH CONSTRUCTION JOINTS AND / OR SAWN CONTROL JOINTS WILL BE UTILIZED TO CONTROL CONTRACTION OF THE SLAB (SEE FND. PLAN FOR LOCATIONS). 1/2" EXPANSION JOINT TO BE INSTALLED AT ALL COLUMN PIERS. 2" X 24" DP. RIGID FOAM INSULATION TO BE INSTALLED AT SLAB PERIMETER.

MINIMUM FLOOR SLAB THICKNESS TO BE PER O.B.C. SECTION 1907 WITH THE REQUIRED G-MIL POLYETHYLENE VAPOR RETARDER.

AT INTERIOR AND EXTERIOR RAMP AREAS, AND EXTERIOR SIDEWALKS, BROOM FINISH CONCRETE TO PROVIDE SLIP RESISTANT SURFACES.

CONCRETE FOUNDATION NOTES

ALL REINFORCED CONCRETE FOUNDATIONS ARE OF 3,000 PSI.

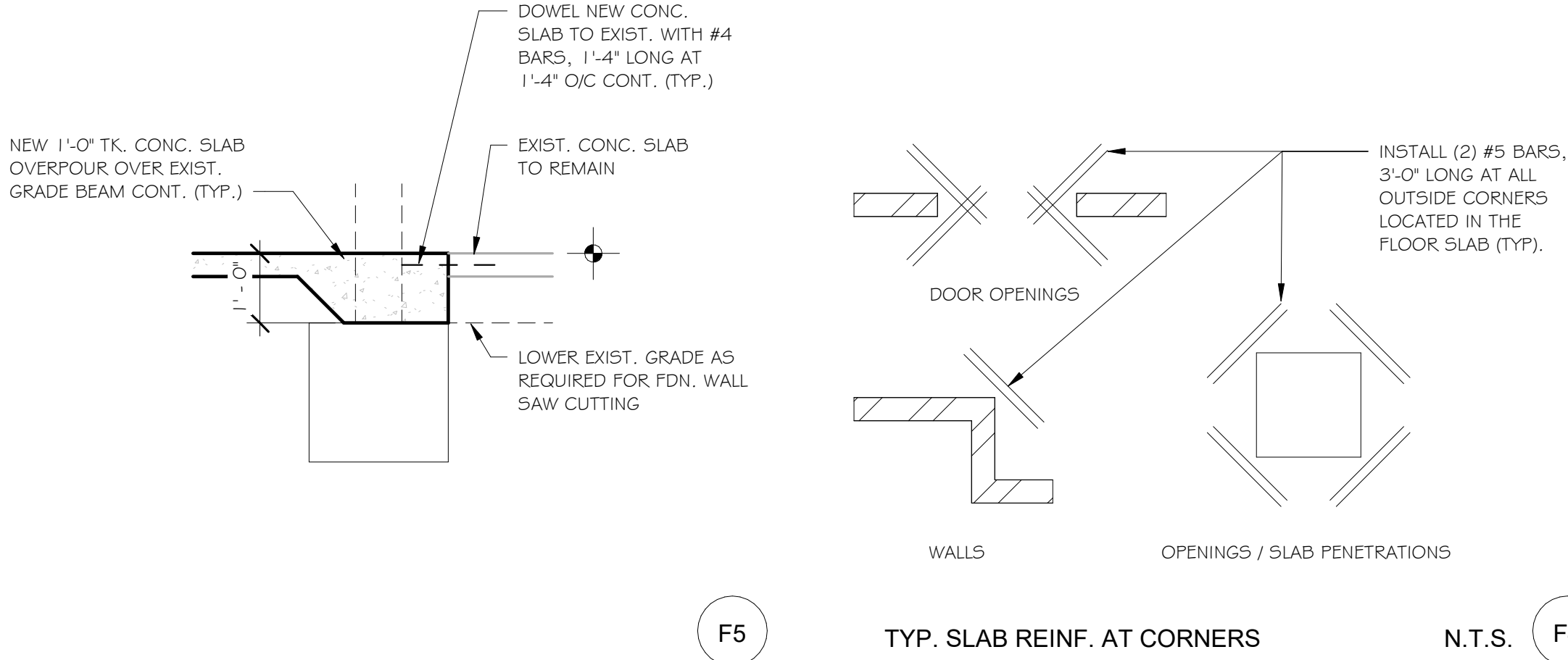
ALL EXTERIOR FLAT CONCRETE SLABS TO BE 4,000 PSI, AIR ENTRAINED, UNLESS NOTED OTHERWISE.

CONCRETE FOUNDATIONS DESIGNED FOR SUB-SURFACE BEARING ON ASSUMED 1,500 PSF SOIL PER OBC TABLE 1606.2.

ALL REINFORCING STEEL TO BE MINIMUM 60 KSI-YIELD STRENGTH.

CONCRETE FLOOR ELEVATION NOTE

THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED ONE UNIT VERTICAL IN 50 UNITS HORIZONTAL (2% SLOPE).



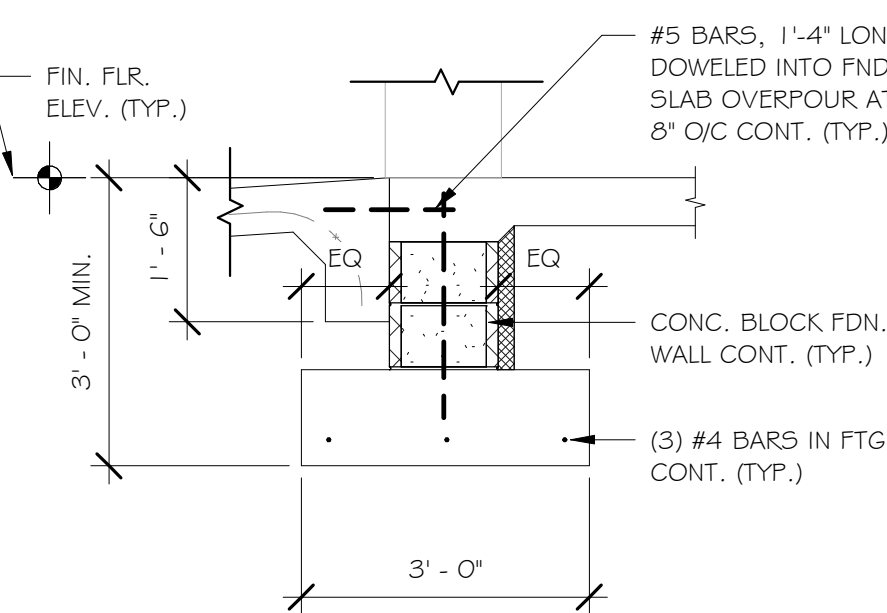
F5

TYP. SLAB REINF. AT CORNERS

N.T.S. F4

NOTE:
SEE WALL SECTIONS AND FLOOR PLAN FOR WALL REINFORCING THAT EXTENDS INTO THE FOOTING (TYP.)

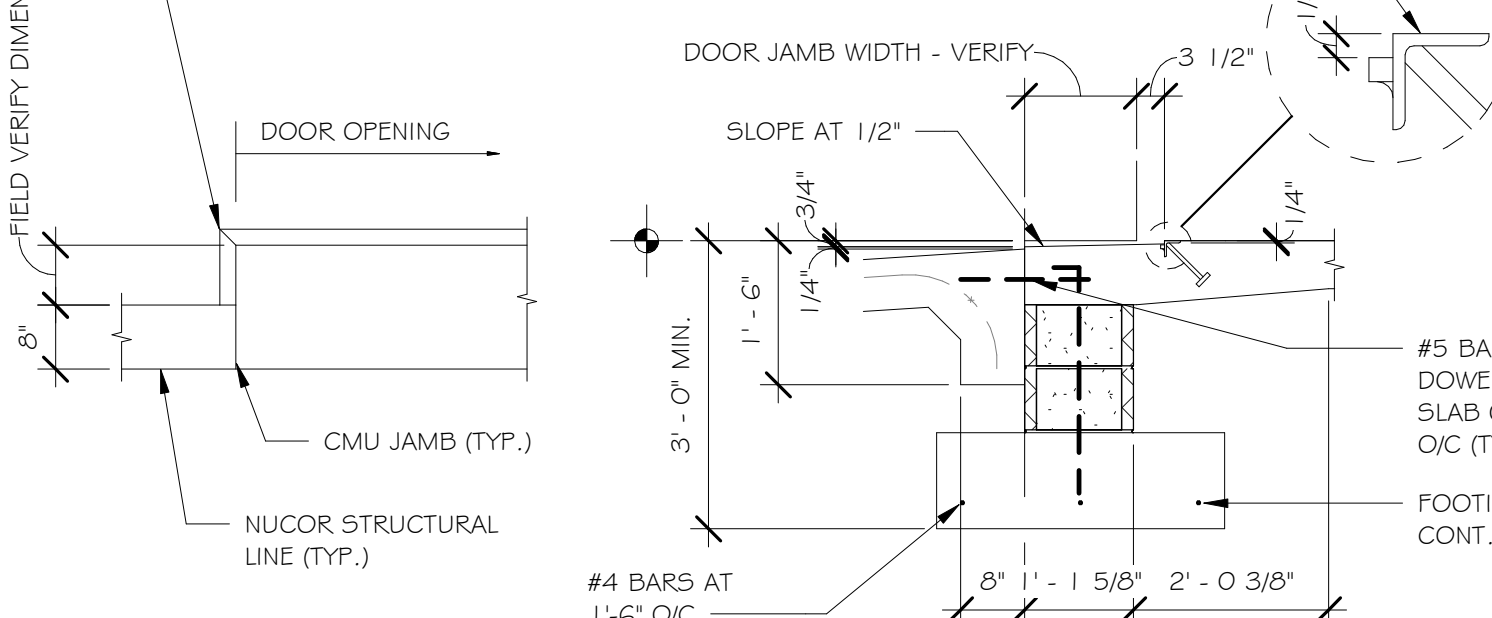
DRILL AND EPOXY ANCHOR VERTICAL REINFORCING INTO THE STRIP FOOTING (TYP.)



F3

NOTE:
FIELD VERIFY W/ DOOR SUPPLIER DIMENSION OF SLAB RECESS FAST FACE OF DOOR JAMB

2" X 2" X 1/4" ANGLE WITH 1/2" DIAMETER X 6" LONG ANCHORS AT 2'-0" O/C WITH 1/2" X 1/2" BAR TACK WELDED AT BOTTOM TO THE ANGLE CONT. (TYP.)



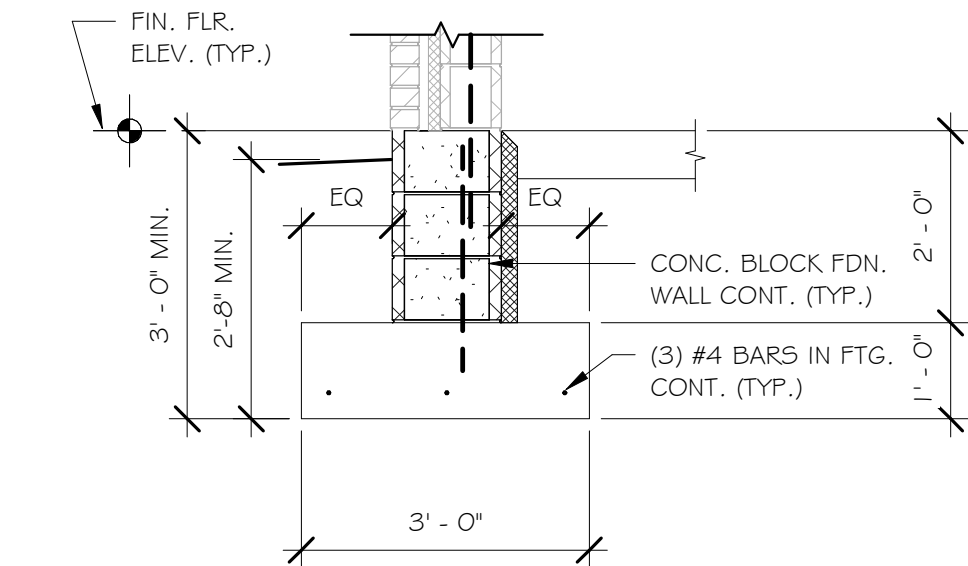
F2

5 FOUNDATION DETAILS
1/2" = 1'-0"

NOTE:
SEE WALL SECTIONS AND FLOOR PLAN FOR WALL REINFORCING THAT EXTENDS INTO THE FOOTING (TYP.)

DRILL AND EPOXY ANCHOR VERTICAL REINFORCING INTO THE STRIP FOOTING (TYP.)

ALL MASONRY COURSES BELOW GRADE TO BE GROUTED SOLID (TYP.)



F1

Revisions

#	Date	Description

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Phone: (317) 477-3615

Job Number 24-D2124

Date 8/20/24

Drawn By JMS

Checked By JWM

SCHEDULES,
DETAILS, AND
FOUNDATION PLAN

A-5.1

CITY OF SPRINGBORO
ORDINANCE NO. _____

AN ORDINANCE AMENDING PART TWELVE, PLANNING AND ZONING CODE; TITLE SIX, ZONING; CHAPTER 1263, PERMITTED USES BY DISTRICT; SECTION 1263.02, PROHIBITED USES AND USES NOT EXPRESSLY PERMITTED TO PROHIBIT ADULT USE MARIJUANA OPERATORS

WHEREAS, pursuant to the Constitution of the State of Ohio and the Charter of the City of Springboro, the City has the power to enact laws that are for the health, safety, and welfare of the citizens of Springboro, including zoning laws and business regulations; and

WHEREAS, State Issue 2, a ballot initiative “To Commercialize, Regulate, Legalize, and Tax the Adult Use of Cannabis” was approved by State of Ohio voters on November 7, 2023, and became effective on December 7, 2023, and was subsequently codified as Chapter 3780 of the Ohio Revised Code; and

WHEREAS, pursuant to Ohio Revised Code 3780.25, the legislative authority of a municipal corporation may adopt an ordinance to prohibit or limit the number of adult use cannabis operators permitted within the municipal corporation; and

WHEREAS, the City believes that a law prohibiting adult use marijuana cultivators, processors, and dispensaries within the municipal corporation is in the best interest for the health, safety, and welfare of the citizens of the City of Springboro and desires a zoning code amendment to prohibit such facilities; and

WHEREAS, The Planning Commission reviewed a proposed amendment to Zoning Code Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” at its September 11, 2024 meeting and approved a recommendation to City Council;

NOW, THEREFORE, THE MUNICIPALITY OF SPRINGBORO HEREBY ORDAINS:

Section I

Chapter 1263: Permitted Uses by District, Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” Subsection (b) is hereby amended by addition a new section (b)(4) to read as follows:

(b) Prohibited Uses. The following uses are prohibited in all zoning districts:

(4) Adult Use Cannabis

- A. The cultivation, processing and dispensing of adult use cannabis as defined in Chapter 3780 of the Ohio Revised Code are prohibited uses in all zoning districts.
- B. This prohibition shall not be applicable to the extent it limits any research related to marijuana conducted at a state university, academic medical center,

or private research and development organization as part of a research protocol approved by an institutional review board or equivalent entity.

- C. This prohibition shall not prohibit or restrict limit home grow of adult use cannabis authorized under Ohio Revised Code Chapter 3780 or prohibit or restrict an activity that is otherwise authorized by Ohio Revised Code Chapter 3780.

Section II

All other provisions of Chapter 1263: Permitted Uses by District, Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” not expressly changed herein remain in full force and effect.

Section III

It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this legislation were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were taken in meetings open to the public and in conformance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section IV

This Ordinance shall take effect thirty (30) days after its adoption, the earliest date allowed by law.

Adopted: _____, 2024

John H. Agenbroad, Mayor

ATTEST:

Lori A. Martin, Clerk of Council

This Ordinance was prepared by Marcella McHenry, Assistant Law Director.

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, August 14, 2024

I. Call to Order

Becky Iverson, Chair, called the Wednesday, August 14, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Christ Pearson, Robert Dimmitt, Steve Harding, Matt Leedy, and John Sillies.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Pearson motioned to excuse Mr. Thompson. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes – 0 no)

II. Approval of Minutes

July 10, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Sillies motioned to approve the July 10, 2024 Planning Commission minutes. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, abstain; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (5 yes - 1 abstain - 0 no)

III. Agenda Items

A. Final Approval

Record Plan, 325 Stolle Drive, Settlers Walk PUD, Planned Unit Development, replat

Background Information

This agenda item is a request for record plan approval for Stonebridge subdivision Section 1A of the Settlers Walk PUD, Planned Unit Development, located at the northeast corner of Lytle-Five Points Road and Hickory Hills Drive, submitted by the property owner Bob Trick. The record plan combines two existing platted lots (No. 3 & 4) to one new lot containing 1.18 acres for the purpose of building an accessory structure that meets setback requirements. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan subject to the following conditions:

1. Revise all 2023-year callouts to 2024.
2. Revise top left title block from "Covenants and Restrictions – Settler Walk" to read "Owner Approval."

3. Remove property line that extends east of the southeast lot corner pin.
4. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Robert Trick, property owner, 325 Stolle Drive, was present to answer questions from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this project entails combining two lots, both owned by Mr. Trick, into one property to allow for a garage to be built within approved setback requirements. The HOA has approved the change. Approval by Planning Commission in the form of a recommendation to City Council is requested. Following action by City Council, the record plan can move forward with the County Engineer's Office requirements.

Mr. Trick said that he has made all changes recommended in the staff comments and has submitted the drawings to Warren County. The County has approved these plans. He would like to appear before City Council on September 5, 2024 if possible. All building permits have been approved by Springboro's Building and Zoning Department. Mr. Trick said they would be clearing a portion of the lot to allow for the garage and new driveway, but trees and brush will be kept as a buffer to Lytle-Five Points Road.

Ms. Iverson asked if there were any questions or comments. There were none.

Mr. Harding made a motion to approve the Final Approval, Record Plan, 325 Stolle Drive, Settlers Walk PUD, Planned Unit Development, replat. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval

Final Development Plan, 245 Advanced Drive, addition to Corvexxe

Background Information

This agenda item is a request for final approval of a final development plan for an addition to Corvexxe, located at 245 Advanced Drive. As indicated in the submitted materials, a 27,000-square foot addition is proposed for the existing 12,000-square foot facility. The existing building was approved by the Planning Commission in July 2008 for Restaurant Parts & More. The addition will be located on the rear/south side of the property and will include a loading dock on the front/north elevation of the addition.

The subject property has frontage on Advanced Drive. Most adjacent land includes other properties in the Stoltz Industrial Park that are occupied by the following businesses: Advanced Engineering to the northeast at 240-250 Advanced Drive, to the east Atlantic Emergency at 260 Advanced Drive, and Honest Abe Roofing to the north at 235 Advanced Drive. To the west is one of two undeveloped properties remaining in the industrial park. Immediately to the south is the City of Springboro's Clearcreek Park.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. That zoning designation permits the use of the property for office and light industrial development. Clearcreek Park to the south is zoned R-1, Estate-Type Rural Residence District.

Staff Recommendation

City staff recommends approval of the final development plan with the following conditions.

1. Confirm that wall pack fixture color-temperature is 3500 Kelvin or less.
2. Revise photometric analysis to include no points more than 6.0 foot-candles.
3. Proposed arborvitae to be a minimum of 6 feet at time of planting.
4. Provide revisions to the detention basin due to changes in impervious surface, along with design calculations.
5. Extend the 12-inch storm sewer on the west side of the building to extend beyond the proposed grading limits, as the outlet is being buried, as currently shown.
6. Provide parking lot/stall dimensions and typical section.

Discussion:

Mr. Chris Hinkle, Dryden Builders, was present to answer any questions or comments from the Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this is a request for a building addition at Corvexxe, located on the west end of the cul-de-sac on Advanced Drive. This building was initially built for Restaurants Parts and More; Corvexxe has occupied the building for five years. The city operates a lift station right next to the property. This is a large addition to the existing building; as this is an existing site, this item can proceed to final approval in just one meeting. The lighting plan and some landscaping clarifications, along with some proposed utility information are addressed in the staff comments.

Ms. Iverson asked Mr. Hinkle if he had any questions for Planning Commission members or staff.

Mr. Hinkle replied that he did not have any questions; he has already spoken with staff, and they have addressed any issues for this project internally and have re-submitted their plans to Mr. Dudas and Mr. Dixon addressing the comments.

Ms. Iverson asked if there were any questions or comments. There were none.

Mr. Pearson made a motion to approve the Final Approval, Final Development Plan, 245 Advanced Drive, addition to Corvexxe. Mr. Harding seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said the motion was approved unanimously.

IV. Guest Comments

Ms. Iverson called for guest comments. There were none.

V. Planning Commission and Staff Comments

Ms. Iverson asked if there were any further questions or comments from Planning Commission members or staff.

Mr. Boron said he had some brief comments regarding upcoming text changes to the City's Sign Code and Lighting Ordinance. Staff is proposing to revise the lighting and sign codes to address the intensity of the lighting coming from inside the building along with the intensity of the lighting on signs themselves. Planning Commission members will be asked to review these changes on a preliminary basis at the September 11 meeting, with formal approval at the October meeting.

Ms. Iverson asked if these revisions would apply to all businesses in the city.

Mr. Boron replied yes. This past winter Mr. Boron and Mr. Dan Fitzpatrick, the City's zoning inspector, went around town in the evenings and using light meter readings, inspected multiple signs located throughout the city. They found multiple locations, not just vape shops, that were not in compliance with the current code.

The City is currently operating on a moratorium for vape/smoke shops. Once that moratorium expires, applications will be accepted for proposed vape/smoke shops, but the new rules would apply to their signage and lighting.

Mr. Dimmitt asked if the existing vape shops in town would be grandfathered in using the old lighting and sign codes.

Mr. Boron replied that the existing shops would be conforming under the old rules, but any changes made to their signage/lighting would be subject to the new rules. This will apply to all existing and future businesses throughout the city.

Ms. Iverson asked if other communities have moved to limit the number of vape stores and regulate the lighting.

Mr. Boron said only one local community, Franklin, has a ban on these kinds of businesses, but that is reportedly being challenged.

Mr. Harding asked if the code could be changed to designate certain zoning areas as acceptable sites for vape shops.

Mr. Boron replied yes, but there are some legal questions regarding targeting one specific type of business. This is why the City has chosen to change the lighting and signage requirements moving forward. Again, all businesses would be subject to these requirements.

As part two of this discussion, Mr. Boron said that recently there have been numerous requests for installation of murals and artistic graphics throughout the community for the purpose of art versus advertising for a business. Staff will be writing regulations that will allow these murals under certain circumstances in certain parts of the city.

Mr. Leedy asked who would be responsible for approving or not approving these murals.

Mr. Boron said that it was more than likely the Planning Commission, but it could also involve the Architectural Review Board as well in the case of the Historic District. The content of the sign cannot be limited, but the materials, size and location of the mural can be determined by Planning Commission and staff.

Mr. Boron commented that the next meeting will be on Wednesday, September 11 at 6:00 pm in the Council Chambers. The deadline for submittals for the September 11 meeting is Friday, August 23 at noon.

Mr. Sillies asked if any of the new construction that may occur on the Easton Farm property would come before the Commission for approval.

Mr. Boron said development of the front portion of the property will be subject to review by Planning Commission members, but nothing has been proposed as of now.

Ms. Iverson asked for any further questions or comments. There were none.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the August 14, 2024 Planning Commission Meeting at 6:28 pm

Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary