

Agenda
City of Springboro Planning Commission Meeting
Wednesday, September 11, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. August 14, 2024 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Record Plan, 1331 South Main Street, replat two lots
 - B. Final Approval, Site Plan Review, 88 Remick Boulevard, Coffman YMCA, building addition
 - C. Final Approval, Planning and Zoning Code Text, adult use marijuana prohibition
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, September 11, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Record Plan, 1331 South Main Street, replat of two lots

Background Information

This agenda item is a request for record plan approval for Tucker Subdivision Section 1A, located at 1331 South Main Street, submitted by the property owner Joseph Bockelman. The record plan is adjusting the common side lot line of exiting lots 2 and 3, to make the setbacks for an existing garage compliant. The plan contains a total of 4.4957 acres. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan for Tucker Subdivision, Section 1A, subject to the following conditions:

1. Move the signature block for lot 3 underneath the notary signature for lot 2.
2. Provide the lienholder acknowledgements for both existing lots, if required. Otherwise, remove from plan.
3. Add the Declaration of Covenants, Restrictions & Conditions as shown on the original platted Tucker Subdivision.
4. Submit to Warren County for review and revise accordingly.

B. Final Approval

Site Plan Review, 88 Remick Boulevard, Coffman Family YMCA, building addition

Background Information

This agenda item is based on a request filed by Ferguson Construction, representing the YMCA of Greater Dayton, property owner, seeking approval for the construction of an 1,872-square foot addition to the Coffman Family YMCA building located at 88 Remick Boulevard. As indicated in the submitted plans, the YMCA proposes to construct the addition on the rear/north side of the existing YMCA building. The addition will serve as a cross-fit training area. A new outdoor turf area is also proposed for this portion of the building along with a new access drive.

The existing building and site were developed beginning in 1999 when the property was in Clearcreek Township, and have been added onto from time to time, most recently in 2016. The YMCA and what is now the LedgeStone Office Building were annexed into the City of Springboro in 2000.

The subject property is zoned O, Office. The O District permits the existing YMCA use and the proposed addition. The Ledgestone Office Building located immediately to the south of the property is also zoned O, Office District. Lands to the northeast (The Villas at the Point II condominiums), east (YMCA-owned recreational fields) and southeast (Southwest Church) are zoned PUD, Planned Unit Development, and are part of the Settlers Walk PUD. Lands to the north and northwest are unincorporated lands within Clearcreek Township, Warren County, and Miami Township, Montgomery County, and are owned and operated by the City of Dayton Aviation Division as Dayton-Wright Brothers Airport. The YMCA leases a small area of airport property immediately north of the YMCA building that is used as ball fields.

Staff Recommendation

City staff recommends approval of the site plan for the addition to the Coffman Family YMCA with the following conditions:

1. Exterior lighting, if proposed for the building addition and vicinity, to comply with Chapter 1273, Exterior Lighting, of Planning and Zoning Code.
2. Provide storm water detention due to changes in impervious surface, along with design calculations.

C. Final Approval

Planning & Zoning Text Amendment, Sign Code

Jerry McDonald, Law Director, has prepared the enclosed text amendment to the Planning and Zoning Code that would prohibit adult use marijuana in the City. Adult use marijuana was approved by Ohio voters under State Issue 2 in November 2023; thereafter, City Council adopted a moratorium on the acceptance of applications to permit operators while the state (which did not accept application for operators until last month) composed rules for cultivators, processors, and dispensaries. Following discussion on the matter earlier this year, City Council directed Jerry McDonald to prepare legislation to ban adult use marijuana operators.

The proposed legislation would add to the list of prohibited uses in Section 1263.02, Prohibited Uses and Uses Not Expressly Permitted. This is the same code section where the medical marijuana ban was executed in 2017.

Jerry McDonald will be in attendance to answer questions from the Planning Commission and the public on this matter.

The information contained in this report is based on material provided to the City of Springboro as of Friday, September 6, 2024 at 11:00 a.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:**
 Agent (Surveyor)
 Lessee
 Signed Purchase Contract

Thomas K. Marsh

8529 Byers Rd.

Miamisburg, OHIO 45324

Telephone No. (937) 847-2660

Fax No. (937) 847-2670

Email Address mcougallmarsh@woh.rr.com

PROPERTY OWNER NAME (IF OTHER): Joe Bockelman

Address: 1331 S. MAIN St.

Springboro, Ohio

Telephone No. (513) 375-7992

Property Address or General Location: 1331 & 1327 S.MAIN ST. SPRINGBORO

Parcel Number(s): 081820 00 42, 08182000 43 Zoning District: _____

Proposed Use: Residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Thomas K. Marsh
(Signature of Applicant and/or Agent)

8/15/24
(Date)

Thomas K. Marsh
Printed Name

RECEIVED
AUG 15 2024
Springboro
Planning Department

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

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Owner **APPLICANT NAME:** Ferguson Construction
 Agent
 Lessee **Address:** 400 Canal St, Sidney, Ohio 45365
 Signed Purchase
Contract

Telephone No. (937) 498-2381

Fax No. ()

Email Address jmcgovern@ferguson-construction.com

PROPERTY OWNER NAME (IF OTHER): Young Men's Christian Association of Greater Dayton
Address: 111 West First Street, Suite 300, Dayton, Ohio 45042

Telephone No. (937) 223-5201
Property Address or General Location: 88 Remick Blvd., Miamisburg 45342
Parcel Number(s): 0409180004 **Zoning District:** O
Proposed Use: Proposed addition for cross-fit area to be added on to existing building.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

08/20/2024
(Date)

Caleb Johnson
Printed Name



City of Springboro
Springboro, OH 45066

Dear Dan Boron & Tad Stoll,

Subject: Authorization for Permit Application

I am writing to formally notify the City of Springboro that the Coffman YMCA authorizes Ferguson Construction to act on our behalf in applying for the necessary permits for an addition to our facility.

The proposed addition will extend our fitness center by approximately 1,700 square feet on the north side of the building. Ferguson Construction is fully authorized to handle all aspects of the permit application process related to this project.

Should you have any questions or require further information, please contact Ferguson Construction directly or reach out to Dale Brunner at 937-223-5201.

Thank you for your attention to this matter.

Sincerely,

Dale Brunner
President/CEO
YMCA of Greater Dayton

BUILDING ADDITION FOR
COFFMAN FAMILY YMCA

WARREN COUNTY
88 REMICK BLVD.
SPRINGBORO, OHIO 45066

Revisions		
#	Date	Description

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NOT FOR CONSTRUCTION

INDEX OF DRAWINGS			
SHEET #	SHEET ISSUE DATE	SITE PLAN	SHEET NAME
G-1.I	8/20/24		SITE PLAN
A-1.O	8/20/24		CODE NOTES AND FLOOR PLANS
A-3.I	8/20/24		ELEVATIONS AND SECTIONS
A-5.I	8/20/24		SCHEDULES, DETAILS, AND FOUNDATION PLAN

BUILDING CODE NOTES - 2024 O.B.C.

SCOPE OF WORK

A NEW 1,871 SF CROSS FIT GYM ADDITION TO EXISTING 76,109 SF MULTI-USE, YMCA BUILDING.

THE BUILDING IS 2-B CONSTRUCTION, FULLY SUPPRESSED, WITH FIRE ALARM.

SCOPE OF WORK ALSO INCLUDES MECHANICAL AND ELECTRICAL WORK.

BUILDING IS A NON-SEPARATED, MIXED-USE UNLIMITED AREA BUILDING PER 507.4, AND 507.6, OF A-3/B OCCUPANCY WITH ACCESSORY USE OF LESS THAN 10% OF STORAGE, THERE IS NO HIGH-PILE COMBUSTIBLE STORAGE OR HAZARDOUS MATERIALS STORED IN THE BUILDING.

BUILDING DATA AND 2024 O.B.C. SUMMARY
OBC CHAPTERS 3-6 SUMMARY

1. NEW ADDITION AREA - 1,871 SF
USE GROUP - A-3
CONSTRUCTION TYPE - II-B
NO. OF STORIES - 1
- 1.1. EXISTING BUILDING AREA - 76,109 SF
USE GROUP - A-3, B
CONSTRUCTION TYPE - II-B
NO. OF STORIES - 1
- 1.2. TOTAL BUILDING AREA - 77,980 SF
2. SPECIAL DETAILED REQUIREMENT - OBC CHAPTER 4
 - 2.1. NOT APPLICABLE
3. MIXED USE AND OCCUPANCY 508 AND TABLE 508.4.
- 3.1. NON-SEPARATED MIXED USE PER 508.3.

BUILDING AREA CALCULATIONS
CALCULATIONS FOR BUILDING HEIGHT AND AREA PER OBC SECTIONS 504 & 506

1. BASE ALLOWABLE HEIGHT, STORIES, & AREA PER OBC TABLES 504.3, 504.4, & 506.2
 - A-3, SUPPRESSED, II-B - 75 FT, 3 STORIES, & 38,000 SF
 - B, SUPPRESSED, II-B - 75 FT, 4 STORIES, & 92,000 SF
- 1.1. MOST STRINGENT - A-3 - 75 FT, 3 STORIES & 38,000 SF
3. UNLIMITED AREA BUILDING PER OBC SECTION 507
4. ACTUAL HEIGHT, STORIES, & AREA
 - 4.1. HEIGHT = 28 FT
 - 4.2. STORIES = 1 STORY (W/ EXISTING MEZZANINE TRACK)
 - 4.3. AREA = 77,980 SF

FIRE PROTECTION SYSTEMS
FIRE SUPPRESSION SYSTEMS PER OBC SECTION 903

- 1.1. THE EXISTING BUILDING WET SPRINKLER SYSTEM WILL BE EXTENDED INTO THE PROPOSED BUILDING ADDITION.
2. PORTABLE FIRE EXTINGUISHERS PER OBC SECTION 906
 - 2.1. PORTABLE FIRE EXTINGUISHERS ARE TO BE PROVIDED PER OBC 906.1.
3. FIRE ALARM SYSTEM PER OBC SECTION 907
 - 3.1. EXTEND EXISTING ALARM SYSTEM INTO THE NEW BUILDING ADDITION AS REQUIRED.

MEANS OF EGRESS

1. LENGTH OF EXIT ACCESS TRAVEL PER OBC TABLE 1017.2
 - 1.1. USE GROUP A WITH SPRINKLERS = 300 FT
 - 1.2. USE GROUP B WITH SPRINKLERS = 250 FT
 - 1.3. ACTUAL MAXIMUM LENGTH OF TRAVEL < 250 FT
2. EGRESS WIDTH PER OCCUPANT PER OBC 1005.3
 - 2.1. ALL EXISTING EXITS REMAIN UNALTERED, NEW ADDITION IS BOTH COMPLIANT AS A SINGLE EXIT SPACE OR SECONDARY EGRESS THROUGH EXISTING BUILDING.

ACCESSIBILITY
PER OBC CHAPTER 11

- 1.1. ALL PORTIONS OF THE NEW BUILDING WILL BE ACCESSIBLE FOR USE BY THE PHYSICALLY HANDICAPPED PER ANSI A117.1 REQUIREMENTS.
- 1.2. HANDICAPPED ACCESSIBLE TOILET FACILITIES COMPLYING WITH ACCESSIBILITY REQUIREMENTS ARE PROVIDED FOR BOTH MEN AND WOMEN.

STRUCTURAL LOADS
PER OBC CHAPTER 16

1. SEE SHEET A-5.1 FOR STRUCTURAL LOADS PER OBC 1603.1.1 - 1603.1.6.
2. FLOOR LIVE LOADS PER OBC TABLE 1607.1.
 - 2.1. A-3 - EXERCISE SPACES - 100 PSF LIVE LOAD
3. CONCRETE FOUNDATIONS DESIGNED FOR SUB-SURFACE BEARING ON ASSUMED 1,500 PSF SOIL PER OBC TABLE 1606.2.

COFFMAN FAMILY YMCA

WARREN COUNTY
88 REMICK BLVD.
SPRINGBORO, OHIO 45066

FERGUSON CONSTRUCTION
www.ferguson-construction.com

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Dayton, Ohio
825 S. Ludlow St.
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Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number 24-D2124
Date 8/20/24
Drawn By JMS
Checked By JWM

CODE NOTES AND FLOOR PLANS

A-1.0

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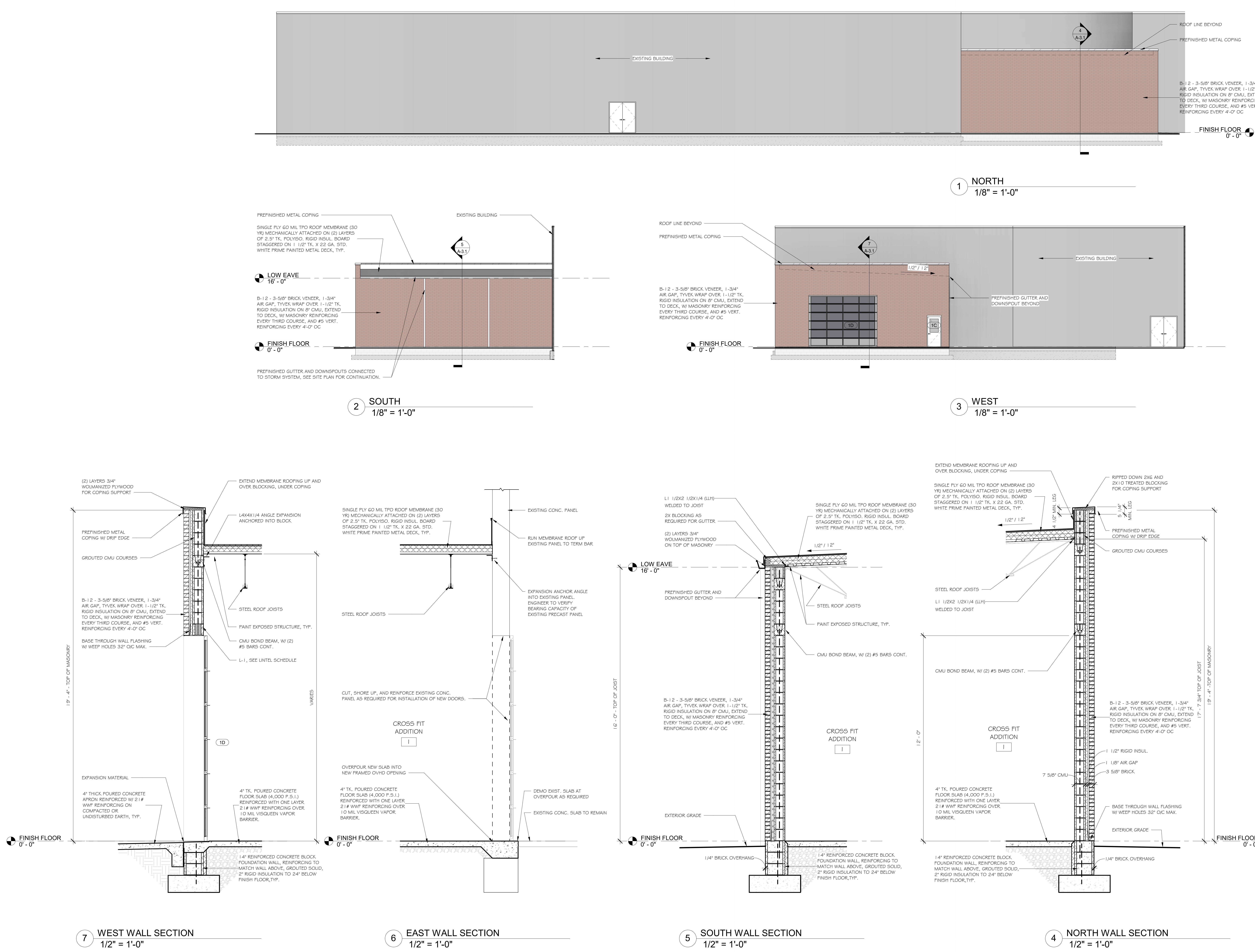
Indianapolis, Indiana

Number 24-D2124

8/20/24
own By JMS
cked By JWM

ELEVATIONS AND SECTIONS

A-3.1



Revisions

#	Date	Description

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COFFMAN FAMILY YMCA

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CONSTRUCTION

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DOOR SCHEDULE											
MARK	# OF DOORS	WIDTH	HEIGHT	ELEV.	MATERIAL	GLAZING	ELEV.	DETAIL	MATERIAL	DEPTH	THRESHOLD
I.A	2	3'-0"	7'-0"	HG	HM	YES	A	I	HM	5 3/4"	PASS
I.B	1	1'6"-0"	7'-0"	OVHD	STL	YES	2	STL	8"	-	BY DR. MANUF.
I.C	1	3'-0"	7'-0"	HG	HM	YES	B	I	HM	5 3/4"	LOCK
I.D	1	1'6"-0"	12'-0"	OVHD	STL	YES	-	2	STL	8"	BY DR. MANUF.
											ELEC
											YES

DOOR NOTES

- AT THE BOTTOM OF EXTERIOR H.M. DOORS PROVIDE A CONCEALED DOUBLE SEALING SWEEP MADE OF SYNTHETIC MATERIAL, MODEL NO. P5074 AS MANUFACTURED BY FAS-SEAL (OR EQUAL). WEATHERSTRIP TO BE RECEDED IN THE BOTTOM CHANNEL OF THE DOOR.
- ALL H.M. DOORS INSTALLED IN EXTERIOR MASONRY WALLS TO INCLUDE SNAP-IN METALS CAPS INSTALLED IN THE TOP OF THE DOOR BY DOOR SUPPLIER.
- ALL H.M. DOORS AND FRAMES INSTALLED IN EXTERIOR MASONRY WALLS TO INCLUDE A Drip STRIP MODEL NO. I-6A BY NATIONAL GUARD PRODUCTS, INC. (OR EQUAL) MOUNTED TO THE HEAD OF THE FRAME.
- ALL EXTERIOR H.M. DOORS SHALL INCLUDE MORTISE LOCKS AND LEVER HANDLES, CYLINDER LOCK AND KEYING BY HARDWARE SUPPLIER.
- ALL INTERIOR H.M. DOORS AND WOOD DOORS ARE TO INCLUDE WALL STOPS OR FLOOR STOPS WHERE REQUIRED.

HARDWARE NOTES

HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS, AND OTHER SIMILAR DEVICES SHALL BE PROHIBITED ON ALL EGRESS DOORS. THE USE OF MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS IS PROHIBITED. REFER TO SECTION 1003.0 GENERAL MEANS OF EGRESS OF THE OHIO BUILDING CODE.

ALL DOORS TO BE FURNISHED W/ APPROVED HANDICAP ACCESSIBLE HARDWARE W/ LEVER TYPE HANDLES AND HANDICAPPED TYPE CLOSERS.

ALL LOCKS TO BE ON A MASTER-KEYED SYSTEM APPROVED BY THE OWNER.

THE MAXIMUM FORCE REQUIRED FOR PUSHING AND/OR PULLING OPEN AN INTERIOR DOOR EQUIPPED WITH AN AUTOMATIC DOOR CLOSER SHALL BE 5 POUNDS PER ICC A117.1 SECTION 404.2.8. DOOR LOCKS WILL COMPLY WITH OBC SECTION 1010.2. ALL EXTERIOR EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOORS WITH LOCKS ARE TO PREVENT INGRESS INTO THE SPACE.

GLAZING NOTE

GLASS IN EXTERIOR DOORS, STORM DOORS, INTERIOR DOORS, SLIDING DOORS, FIXED PANELS ADJACENT TO DOORS, SHOWER DOORS AND TUB ENCLOSURES SHALL COMPLY W/ HUMAN IMPACT LOADS SECTION 2406.1 OF THE OHIO BUILDING CODE AND PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16 CFR PART 1201, SAFETY STANDARD FOR ARCHITECTURAL GLAZING.

STRUCTURAL DESIGN NOTES

1. DESIGN UNIFORM LOADS:

1.1. ROOF LIVE LOAD: (PER OBC 1603.1.2, 4 1607.12)

ROOF LIVE LOAD = 20 PSF

1.2. ROOF SNOW LOAD: (PER OBC 1603.1.3, 4 1608)

GROUND SNOW LOAD P_{sd} = 20 PSF

ROOF SNOW LOAD = 20 PSF

SNOW EXPOSURE FACTOR C_{ex} = 1.0THERMAL FACTOR C_t = 1.0

1.3. WIND LOAD: (PER OBC 1603.1.4 & 1609)

NOMINAL DESIGN WIND SPEED (3 SEC. GUST) V_{ad} = 85 MPHULTIMATE DESIGN WIND SPEED (3 SEC. GUST) V_{ult} = 115 MPH

WIND LOAD IMPORTANCE FACTOR = 1.0

INTERNAL PRESSURE / SUCTION COEFFICIENT = ± 0.18

WIND EXPOSURE FACTOR = C

ENCLOSURE CLASSIFICATION = ENCLOSED

1.4. EARTHQUAKE LOAD: (PER OBC 1603.1.5 & 1613)

LATERAL FORCE RESISTING SYSTEM USING EQUIVALENT FORCE PROCEDURE

SEISMIC DESIGN CATEGORY = B

SITE CLASS = D

SEISMIC IMPORTANCE FACTOR = 1.00

BASIC SEISMIC FORCE RESISTING SYSTEM =

NOT SPECIFICALLY DETAILED FOR SEISMIC

1.5. WEIGHT OF FIXED SERVICE EQUIPMENT: (PER OBC 1606.3)

COLLATERAL LOAD = 5 PSF

2. CONCRETE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST "AMERICAN CONCRETE INSTITUTE" RECOMMENDATIONS.

3. ALL FOUNDATION EXCAVATIONS TO BE FIELD INSPECTED TO VERIFY SUITABLE SOIL CONDITIONS PRIOR TO PLACEMENT OF CONCRETE.

CONCRETE SLAB NOTES

4" TK. POURED CONCRETE FLOOR SLAB (4,000 P.S.I.) REINFORCED WITH ONE LAYER 2# W/WF REINFORCING OVER 10 MIL VISQUEEN VAPOR BARRIER.

ALL GLASS TO BE INSTALLED OVER 6" CUSHION OF GRANULAR MATERIAL. SUB SURFACE TO BE TROWELED SMOOTH AND SEALED WITH CONSTRUCTION JOINTS AND / OR SAWN CONTROL JOINTS WILL BE UTILIZED TO CONTROL CONTRACTION OF THE SLAB (SEE FND. PLAN FOR LOCATIONS). 1/2" EXPANSION JOINT TO BE INSTALLED AT ALL COLUMN PIERS. 2" X 24" DP. RIGID FOAM INSULATION TO BE INSTALLED AT SLAB PERIMETER.

MINIMUM FLOOR SLAB THICKNESS TO BE PER OBC SECTION 1907 WITH THE REQUIRED 6-MIL POLYETHYLENE VAPOR RETARDER.

AT INTERIOR AND EXTERIOR RAMP AREAS, AND EXTERIOR SIDEWALKS, BROOM FINISH CONCRETE TO PROVIDE SLIP RESISTANT SURFACES.

CONCRETE FOUNDATION NOTES

ALL REINFORCED CONCRETE FOUNDATIONS ARE OF 3,000 PSI.

ALL EXTERIOR FLAT CONCRETE SLABS TO BE 4,000 PSI, AIR ENTRAINED, UNLESS NOTED OTHERWISE.

CONCRETE FOUNDATIONS DESIGNED FOR SUB-SURFACE BEARING ON ASSUMED 1,500 PSF SOIL PER OBC TABLE 1806.2.

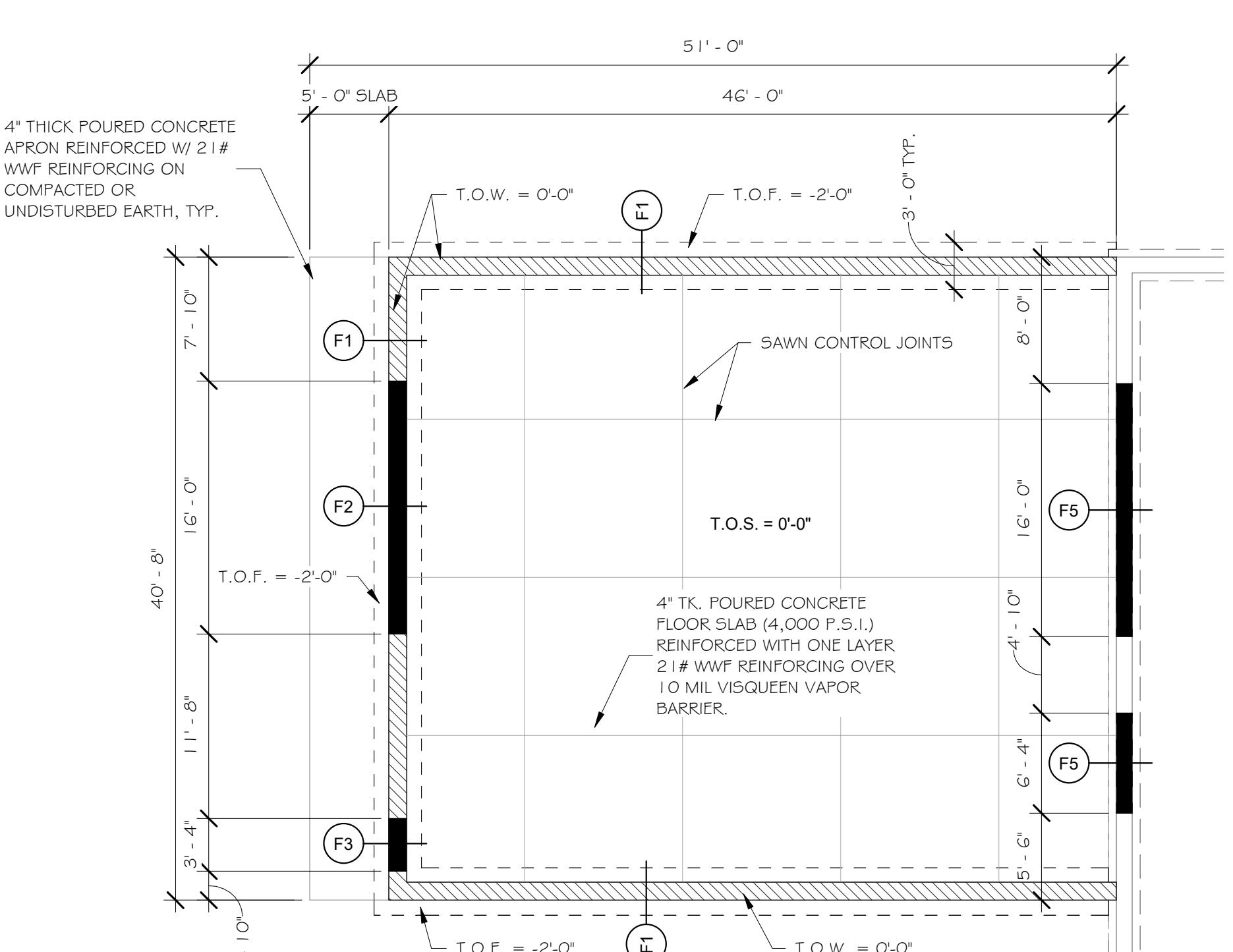
ALL REINFORCING STEEL TO BE MINIMUM 60 KSI YIELD STRENGTH.

CONCRETE FLOOR ELEVATION NOTE

THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED ONE UNIT VERTICAL IN 50 UNITS HORIZONTAL (2% SLOPE).

LEGEND

T.O.S.	=	TOP OF SLAB
T.O.W.	=	TOP OF WALL
T.O.F.	=	TOP OF FOOTING
T.O.P.	=	TOP OF PIER

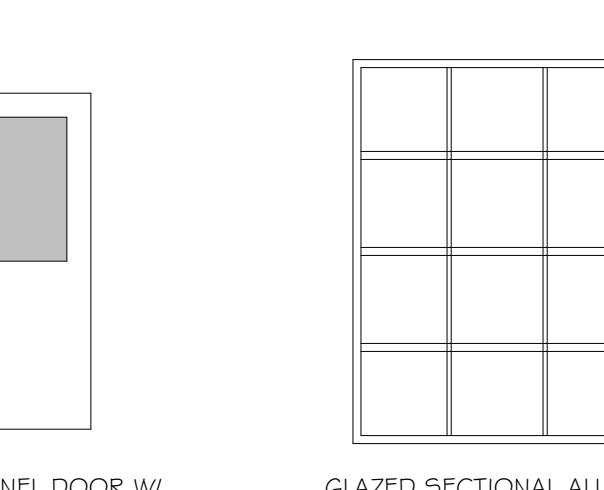


4 FOUNDATION PLAN

1/8" = 1'-0"

HG

OVHD

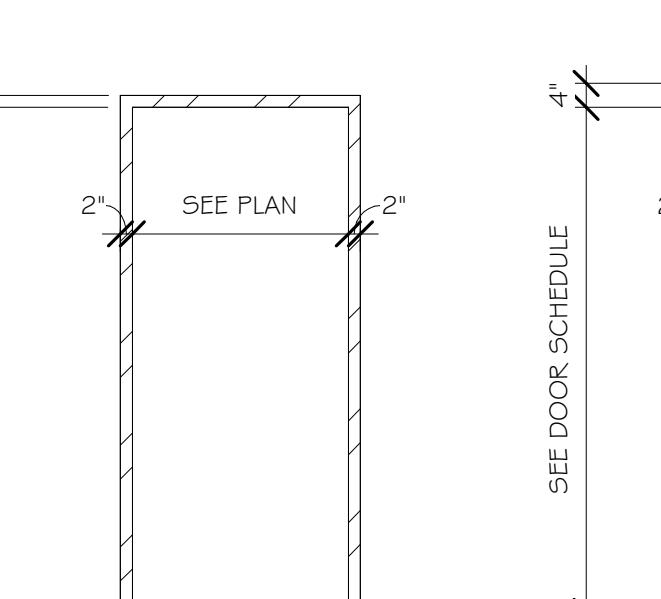


FLUSH PANEL W/ 24" X 36" TEMPERED GLASS HALF LITE

GLAZED SECTIONAL ALUMINUM OVERHEAD DOOR, UNSUPPORTED AT INTERIOR, (R-1.75 MIN) AT EXTERIOR LOCATION W/ STEEL BACKER PANELS, MAXIMUM HIGH LIFT TRACK

A

B



SEE DOOR SCHEDULE

SEE DOOR SCHEDULE

ROOM FINISH SCHEDULE

ROOM	NAME	AREA	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT	COMMENTS
I	CROSS FIT ADDITION	1723 SF	RFT	RUB	CB	-	VARIES	

ALL INTERIOR FINISHES MUST COMPLY WITH O.B.C. CHAPTER 8.

CB - CONCRETE BLOCK

EXP. STRUCT. - EXPOSED STRUCTURAL

RUB - 4" HIGH COVE RUBBER BASE W/ FIELD CUT CORNERS

RPT - Poured rubber floor

CAULKING NOTES

1. POLYURETHANE CAULKING TO BE A THREE-PART POLYURETHANE SEALANT, AND SHALL PROVIDE A ONE (1) YEAR WARRANTY, AS MANUFACTURED BY TREMCO, SONNEBORN, PECORA, MASTER MECHANICS, OR EQUAL. COLOR SHALL MATCH ADJOINING SURFACES.

2. LATEX CAULKING TO BE A ONE-PART LATEX MATERIAL, AND SHALL PROVIDE A ONE (1) YEAR WARRANTY, AS MANUFACTURED BY TREMCO, SONNEBORN, PECORA, MASTER MECHANICS, OR EQUAL. COLOR SHALL MATCH ADJOINING SURFACES.

3. THE CAULKING SUBCONTRACTOR SHALL SEAL THE FOLLOWING:

1. MASONRY CONTROL JOINTS-INTERIOR & EXTERIOR (POLYURETHANE)
2. H.M. DOOR AND WINDOW FRAMES IN MASONRY WALLS (LATEX)
3. FILL SAW JOINTS IN FLOOR SLAB (POLYURETHANE)

PAINTING NOTES

1. ONE COAT PRIMER AND ONE COAT ENAMEL ON ALL OVERHEAD DOOR JAMBs, HEADS ANGLES, AND OTHER EXPOSED MISCELLANEOUS METALS.
2. ONE COAT PRIMER AND ONE COAT INDUSTRIAL GRADE ACRYLIC LATEX ON ALL HOLLOW METAL DOORS AND FRAMES.
3. ONE COAT BLOCK FILLER AND TWO COATS SEMI-GLOSS LATEX ON ALL INTERIOR CONCRETE BLOCK.

4. ALL EXPOSED STRUCTURAL STEEL TO RECEIVE ONE REGULAR PRIME COAT SHOP APPLIED AND ONE COAT SEMI-GLOSS SHERWIN-WILLIAMS DTM ACRYLIC SPRAY (OR EQUAL). INCLUDE PAINTING OF EXPOSED SERVICE PIPING, DUCTWORK AND CONDUIT.
5. ALL FINISH COATS OF PAINT TO PROVIDE ADEQUATE COVERAGE.

2 DOOR ELEVATIONS

1/4" = 1'-0"

3 FRAME ELEVATIONS

3/8" = 1'-0"

1 FRAME DETAILS

1 1/2" = 1'-0"

4 FOUNDATION PLAN

1/8" = 1'-0"

5 FOUNDATION DETAILS

1/2" = 1'-0"

6 FOUNDATION SCHEDULE

1/8" = 1'-0"

7 ROOM FINISH SCHEDULE

1/8" = 1'-0"

8 CAULKING NOTES

CITY OF SPRINGBORO
ORDINANCE NO. _____

AN ORDINANCE AMENDING PART TWELVE, PLANNING AND ZONING CODE; TITLE SIX, ZONING; CHAPTER 1263, PERMITTED USES BY DISTRICT; SECTION 1263.02, PROHIBITED USES AND USES NOT EXPRESSLY PERMITTED TO PROHIBIT ADULT USE MARIJUANA OPERATORS

WHEREAS, pursuant to the Constitution of the State of Ohio and the Charter of the City of Springboro, the City has the power to enact laws that are for the health, safety, and welfare of the citizens of Springboro, including zoning laws and business regulations; and

WHEREAS, State Issue 2, a ballot initiative “To Commercialize, Regulate, Legalize, and Tax the Adult Use of Cannabis” was approved by State of Ohio voters on November 7, 2023, and became effective on December 7, 2023, and was subsequently codified as Chapter 3780 of the Ohio Revised Code; and

WHEREAS, pursuant to Ohio Revised Code 3780.25, the legislative authority of a municipal corporation may adopt an ordinance to prohibit or limit the number of adult use cannabis operators permitted within the municipal corporation; and

WHEREAS, the City believes that a law prohibiting adult use marijuana cultivators, processors, and dispensaries within the municipal corporation is in the best interest for the health, safety, and welfare of the citizens of the City of Springboro and desires a zoning code amendment to prohibit such facilities; and

WHEREAS, The Planning Commission reviewed a proposed amendment to Zoning Code Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” at its September 11, 2024 meeting and approved a recommendation to City Council;

NOW, THEREFORE, THE MUNICIPALITY OF SPRINGBORO HEREBY ORDAINS:

Section I

Chapter 1263: Permitted Uses by District, Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” Subsection (b) is hereby amended by addition a new section (b)(4) to read as follows:

(b) Prohibited Uses. The following uses are prohibited in all zoning districts:

(4) Adult Use Cannabis

- A. The cultivation, processing and dispensing of adult use cannabis as defined in Chapter 3780 of the Ohio Revised Code are prohibited uses in all zoning districts.
- B. This prohibition shall not be applicable to the extent it limits any research related to marijuana conducted at a state university, academic medical center,

or private research and development organization as part of a research protocol approved by an institutional review board or equivalent entity.

C. This prohibition shall not prohibit or restrict limit home grow of adult use cannabis authorized under Ohio Revised Code Chapter 3780 or prohibit or restrict an activity that is otherwise authorized by Ohio Revised Code Chapter 3780.

Section II

All other provisions of Chapter 1263: Permitted Uses by District, Section 1263.02 “Prohibited Uses and Uses Not Expressly Permitted” not expressly changed herein remain in full force and effect.

Section III

It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this legislation were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were taken in meetings open to the public and in conformance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section IV

This Ordinance shall take effect thirty (30) days after its adoption, the earliest date allowed by law.

Adopted: _____, 2024

John H. Agenbroad, Mayor

ATTEST:

Lori A. Martin, Clerk of Council

This Ordinance was prepared by Marcella McHenry, Assistant Law Director.

**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, August 14, 2024**

I. Call to Order

Becky Iverson, Chair, called the Wednesday, August 14, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Christ Pearson, Robert Dimmitt, Steve Harding, Matt Leedy, and John Sillies.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Pearson motioned to excuse Mr. Thompson. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes – 0 no)

II. Approval of Minutes

July 10, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Sillies motioned to approve the July 10, 2024 Planning Commission minutes. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, abstain; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (5 yes - 1 abstain - 0 no)

III. Agenda Items

A. Final Approval

Record Plan, 325 Stolle Drive, Settlers Walk PUD, Planned Unit Development, replat

Background Information

This agenda item is a request for record plan approval for Stonebridge subdivision Section 1A of the Settlers Walk PUD, Planned Unit Development, located at the northeast corner of Lytle-Five Points Road and Hickory Hills Drive, submitted by the property owner Bob Trick. The record plan combines two existing platted lots (No. 3 & 4) to one new lot containing 1.18 acres for the purpose of building an accessory structure that meets setback requirements. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan subject to the following conditions:

1. Revise all 2023-year callouts to 2024.
2. Revise top left title block from "Covenants and Restrictions – Settler Walk" to read "Owner Approval."

3. Remove property line that extends east of the southeast lot corner pin.
4. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Robert Trick, property owner, 325 Stolle Drive, was present to answer questions from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this project entails combining two lots, both owned by Mr. Trick, into one property to allow for a garage to be built within approved setback requirements. The HOA has approved the change. Approval by Planning Commission in the form of a recommendation to City Council is requested. Following action by City Council, the record plan can move forward with the County Engineer's Office requirements.

Mr. Trick said that he has made all changes recommended in the staff comments and has submitted the drawings to Warren County. The County has approved these plans. He would like to appear before City Council on September 5, 2024 if possible. All building permits have been approved by Springboro's Building and Zoning Department. Mr. Trick said they would be clearing a portion of the lot to allow for the garage and new driveway, but trees and brush will be kept as a buffer to Lytle-Five Points Road.

Ms. Iverson asked if there were any questions or comments. There were none.

Mr. Harding made a motion to approve the Final Approval, Record Plan, 325 Stolle Drive, Settlers Walk PUD, Planned Unit Development, replat. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval

Final Development Plan, 245 Advanced Drive, addition to Corvexxe

Background Information

This agenda item is a request for final approval of a final development plan for an addition to Corvexxe, located at 245 Advanced Drive. As indicated in the submitted materials, a 27,000-square foot addition is proposed for the existing 12,000-square foot facility. The existing building was approved by the Planning Commission in July 2008 for Restaurant Parts & More. The addition will be located on the rear/south side of the property and will include a loading dock on the front/north elevation of the addition.

The subject property has frontage on Advanced Drive. Most adjacent land includes other properties in the Stoltz Industrial Park that are occupied by the following businesses: Advanced Engineering to the northeast at 240-250 Advanced Drive, to the east Atlantic Emergency at 260 Advanced Drive, and Honest Abe Roofing to the north at 235 Advanced Drive. To the west is one of two undeveloped properties remaining in the industrial park. Immediately to the south is the City of Springboro's Clearcreek Park.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. That zoning designation permits the use of the property for office and light industrial development. Clearcreek Park to the south is zoned R-1, Estate-Type Rural Residence District.

Staff Recommendation

City staff recommends approval of the final development plan with the following conditions.

1. Confirm that wall pack fixture color-temperature is 3500 Kelvin or less.
2. Revise photometric analysis to include no points more than 6.0 foot-candles.
3. Proposed arborvitae to be a minimum of 6 feet at time of planting.
4. Provide revisions to the detention basin due to changes in impervious surface, along with design calculations.
5. Extend the 12-inch storm sewer on the west side of the building to extend beyond the proposed grading limits, as the outlet is being buried, as currently shown.
6. Provide parking lot/stall dimensions and typical section.

Discussion:

Mr. Chris Hinkle, Dryden Builders, was present to answer any questions or comments from the Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this is a request for a building addition at Corvexxe, located on the west end of the cul-de-sac on Advanced Drive. This building was initially built for Restaurants Parts and More; Corvexxe has occupied the building for five years. The city operates a lift station right next to the property. This is a large addition to the existing building; as this is an existing site, this item can proceed to final approval in just one meeting. The lighting plan and some landscaping clarifications, along with some proposed utility information are addressed in the staff comments.

Ms. Iverson asked Mr. Hinkle if he had any questions for Planning Commission members or staff.

Mr. Hinkle replied that he did not have any questions; he has already spoken with staff, and they have addressed any issues for this project internally and have re-submitted their plans to Mr. Dudas and Mr. Dixon addressing the comments.

Ms. Iverson asked if there were any questions or comments. There were none.

Mr. Pearson made a motion to approve the Final Approval, Final Development Plan, 245 Advanced Drive, addition to Corvexxe. Mr. Harding seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said the motion was approved unanimously.

IV. Guest Comments

Ms. Iverson called for guest comments. There were none.

V. Planning Commission and Staff Comments

Ms. Iverson asked if there were any further questions or comments from Planning Commission members or staff.

Mr. Boron said he had some brief comments regarding upcoming text changes to the City's Sign Code and Lighting Ordinance. Staff is proposing to revise the lighting and sign codes to address the intensity of the lighting coming from inside the building along with the intensity of the lighting on signs themselves. Planning Commission members will be asked to review these changes on a preliminary basis at the September 11 meeting, with formal approval at the October meeting.

Ms. Iverson asked if these revisions would apply to all businesses in the city.

Mr. Boron replied yes. This past winter Mr. Boron and Mr. Dan Fitzpatrick, the City's zoning inspector, went around town in the evenings and using light meter readings, inspected multiple signs located throughout the city. They found multiple locations, not just vape shops, that were not in compliance with the current code.

The City is currently operating on a moratorium for vape/smoke shops. Once that moratorium expires, applications will be accepted for proposed vape/smoke shops, but the new rules would apply to their signage and lighting.

Mr. Dimmitt asked if the existing vape shops in town would be grandfathered in using the old lighting and sign codes.

Mr. Boron replied that the existing shops would be conforming under the old rules, but any changes made to their signage/lighting would be subject to the new rules. This will apply to all existing and future businesses throughout the city.

Ms. Iverson asked if other communities have moved to limit the number of vape stores and regulate the lighting.

Mr. Boron said only one local community, Franklin, has a ban on these kinds of businesses, but that is reportedly being challenged.

Mr. Harding asked if the code could be changed to designate certain zoning areas as acceptable sites for vape shops.

Mr. Boron replied yes, but there are some legal questions regarding targeting one specific type of business. This is why the City has chosen to change the lighting and signage requirements moving forward. Again, all businesses would be subject to these requirements.

As part two of this discussion, Mr. Boron said that recently there have been numerous requests for installation of murals and artistic graphics throughout the community for the purpose of art versus advertising for a business. Staff will be writing regulations that will allow these murals under certain circumstances in certain parts of the city.

Mr. Leedy asked who would be responsible for approving or not approving these murals.

Mr. Boron said that it was more than likely the Planning Commission, but it could also involve the Architectural Review Board as well in the case of the Historic District. The content of the sign cannot be limited, but the materials, size and location of the mural can be determined by Planning Commission and staff.

Mr. Boron commented that the next meeting will be on Wednesday, September 11 at 6:00 pm in the Council Chambers. The deadline for submittals for the September 11 meeting is Friday, August 23 at noon.

Mr. Sillies asked if any of the new construction that may occur on the Easton Farm property would come before the Commission for approval.

Mr. Boron said development of the front portion of the property will be subject to review by Planning Commission members, but nothing has been proposed as of now.

Ms. Iverson asked for any further questions or comments. There were none.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

*Mr. Harding motioned to adjourn the August 14, 2024 Planning Commission Meeting at 6:28 pm
Mr. Dimmitt seconded the motion.*

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary