

Agenda
City of Springboro Planning Commission Meeting
Wednesday, January 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order

- II. Approval of Minutes
 - A. November 13, 2024 Planning Commission Meeting

- III. Appointment of Officers for 2025—Chair, Vice Chair

- IV. Agenda Items
 - A. Final Approval, Minor Change to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), addition of home plans and exterior elevations to approved list

 - B. Final Approval, Record Plan, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street (SR 741), right-of-way dedication and creation of six lots

- V. Guest Comments

- VI. Planning Commission and Staff Comments

- VII. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, January 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

IV. Agenda Items

A. Final Approval

Minor Revision to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street, addition

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, owner, and developer, requesting approval of a minor revision to the approved general plan for the Northampton PUD-R, Planned Unit Development-Residential, located at 1525 South Main Street (SR 741). The Northampton subdivision was rezoned to PUD-R by City Council in January 2024 following review and approval by Planning Commission in late 2023, a public hearing and three readings of the rezoning ordinance by City Council. The subdivision includes 75 single-family lots plus the existing Janney House. The companion general plan resolution was also approved by City Council in January 2024. M/I Homes has also obtained approval of the final development plan from Planning Commission at their May 8, 2024 meeting, and record plan approval of phase one of the subdivision at the November 13 Planning Commission meeting.

M/I Homes proposed to add nine house plans to the list of homes approved for the subdivision. This change is defined as a minor revision to the approved general plan, with approval of the revision by Planning Commission per the terms of the PUD code, Chapter 1266 of the Planning and Zoning Code. All proposed housing plans are included in the meeting materials.

Staff Recommendation

City staff recommends approval of the minor revision to the general plan site plan for the Northampton PUD-R, Planned Unit Development-Residential, subject to the following comment:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).

B. Final Approval

Record Plan, Easton Farm, Section One, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street, dedication of right-of-way and creation of six lots

Background Information

This agenda item is a request for record plan approval submitted by Easton Farm Partners for Easton Farm, Section One. The record plan subject property in question is the 103.1382-acre Easton Farm parcel located at 605 North Main Street (SR 741). The record plan dedicates right-of-way and creates six lots.

The property was subject to a rezoning and general plan application filed by Easton Farm Partners in 2021. The rezoning and general plan were denied by City Council and the applicant sued the City. In September 2022, the City and Easton Farm Partners entered into a settlement agreement through which the Court ordered that the be property be rezoned to PUD-MU, Planned Unit Development Mixed Use, and that the attached "bubble diagram" serve as the property layout. The rezoning and bubble diagram provides for mixed-use commercial and multi-family residential components fronting North Main Street, single-family residential in the interior, and preservation of the Easton farmstead on the west side of the property.

While record plan review and approval typically takes place following further development of PUDs in the form of a final development plan or series of them for larger sites, this record plan is being requested now as a result of further negotiations between the parties to the court action. This plan will create six lots, including a 59.8472-acre parcel to be purchased by the City, and a 13.0813-acre parcel to accommodate the Easton farmstead.

The submittal of final development plan, with uses and design standards or plans for the component properties, would be a condition of approval of the record plan. The final development plans would be submitted for review and approval to Planning Commission.

Once approved, the record plan will proceed to City Council for their consideration.

Staff Recommendation

Staff recommends approval of the record plan for Easton Farm, Section One, contingent on meeting the following conditions:

1. Locate existing structures on Lot 6 and dimension setbacks.
2. Remove the Declaration Reference on Sheet 1 of 2.
3. Revise the Gardner Road callout to be Anna Drive.
4. Provide base flood elevations along Flood Zone AE.
5. Revise plan per Warren County comments, if any.
6. Final development plan to be submitted to Planning Commission for review and approval prior to development on proposed lots in this record plan consistent with September 2022 settlement agreement. Final development plan to include uses, design standards, site plan(s), and building elevations.

The information contained in this report is based on material provided to the City of Springboro as of Friday, January 3, 2025 at 10:00 a.m.



Cincinnati Division
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513.248.5400 OFFICE

December 20, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton – Minor Modification
Enclosed: 9 Additional House Plans & Elevations

Dear Mr. Boron,

At your request, M/I Homes is requesting approval to offer the enclosed house plans at Northampton. The house plans approved with the General Plan for Northampton were between 1,544sf – 3,322sf. These 9 additional plans include ranch and two-story homes ranging in size from 1,927sf – 3,852sf with a variety of elevations, materials, colors, and layouts.

We would request the City allow future house plans added to Northampton be considered and approved by staff if consistent with the approved General Plan. Should you have any questions, please contact me.

Respectfully,

Justin Lanham

M/I Homes of Cincinnati, LLC
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
(513) 551-3954
ilanham@mihomes.com

NORTHAMPTON

10 Approved House Plans

- | | | | |
|------------|---------|-------------|---------|
| • Faulkner | 1,544sf | • Inglewood | 2,558sf |
| • Cooper | 1,776sf | • Cooke | 2,624sf |
| • Melville | 1,865sf | • Dillon | 2,913sf |
| • Serenity | 2,330sf | • Barrett | 3,035sf |
| • Dawson | 2,461sf | • Fairview | 3,322sf |

9 Additional House Plans Enclosed

- | | | | |
|--------------|---------|-------------|---------|
| • Clayton | 1,927sf | • Hyde Park | 3,372sf |
| • Cheswicke | 2,188sf | • Nicholas | 3,390sf |
| • Morrison | 2,763sf | • Keating | 3,598sf |
| • Tolbert | 2,869sf | • Monroe | 3,852sf |
| • Ainsley II | 3,175sf | | |



M/I HOMES

NORTHAMPTON

Clayton



Elevation C



Elevation B



Elevation D



Elevation E - Shown w/Opt Stone

Square Feet: 1,927
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



FIRST FLOOR

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NORTHAMPTON

Cheswicke



Elevation F - Shown with Opt. Dormer



Elevation D - Shown w/Opt Stone



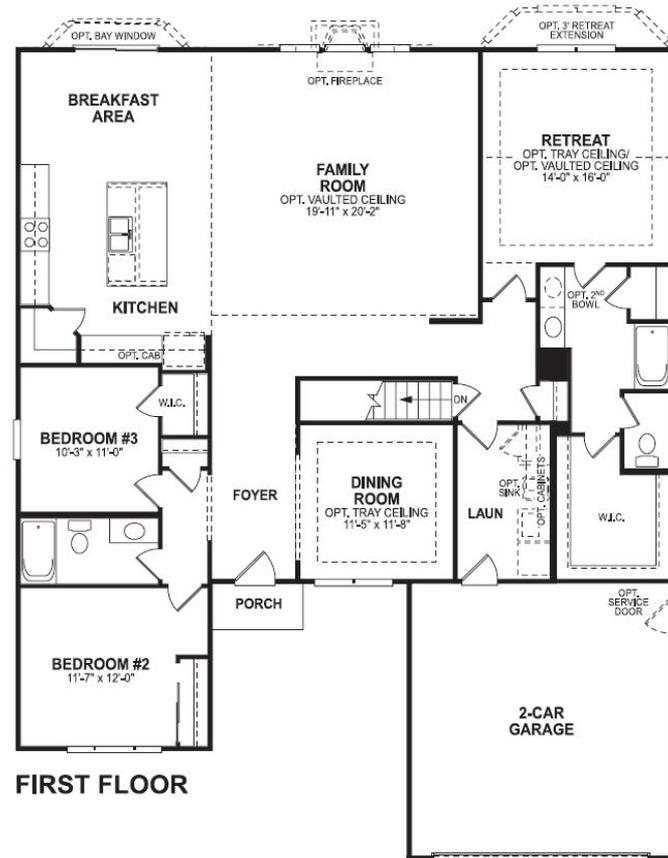
Elevation E - Shown w/Opt Dormers



Elevation G - Shown w/Opt Stone and Dormer

Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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NORTHAMPTON

Morrison



Elevation E - Shown with optional coach lights



Elevation A



Elevation C



Elevation D

Square Feet: 2,763
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Ainsley II



Elevation D - Shown w/Opt Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/Opt Study



Elevation E

Square Feet: 3,175
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Hyde Park



Elevation C - Shown w/ Opt Brick and Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation B - Shown w/Opt Brick and Coach Lights



Elevation D - Shown w/Opt Brick and Coach Lights



Elevation E - Shown w/Opt Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



Elevation G



Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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NORTHAMPTON

Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Monroe



Elevation B - Shown w/Opt Garage Doors and Coach Lights



Elevation A



Elevation C - Shown w/Opt Stone



Elevation D - Shown w/Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



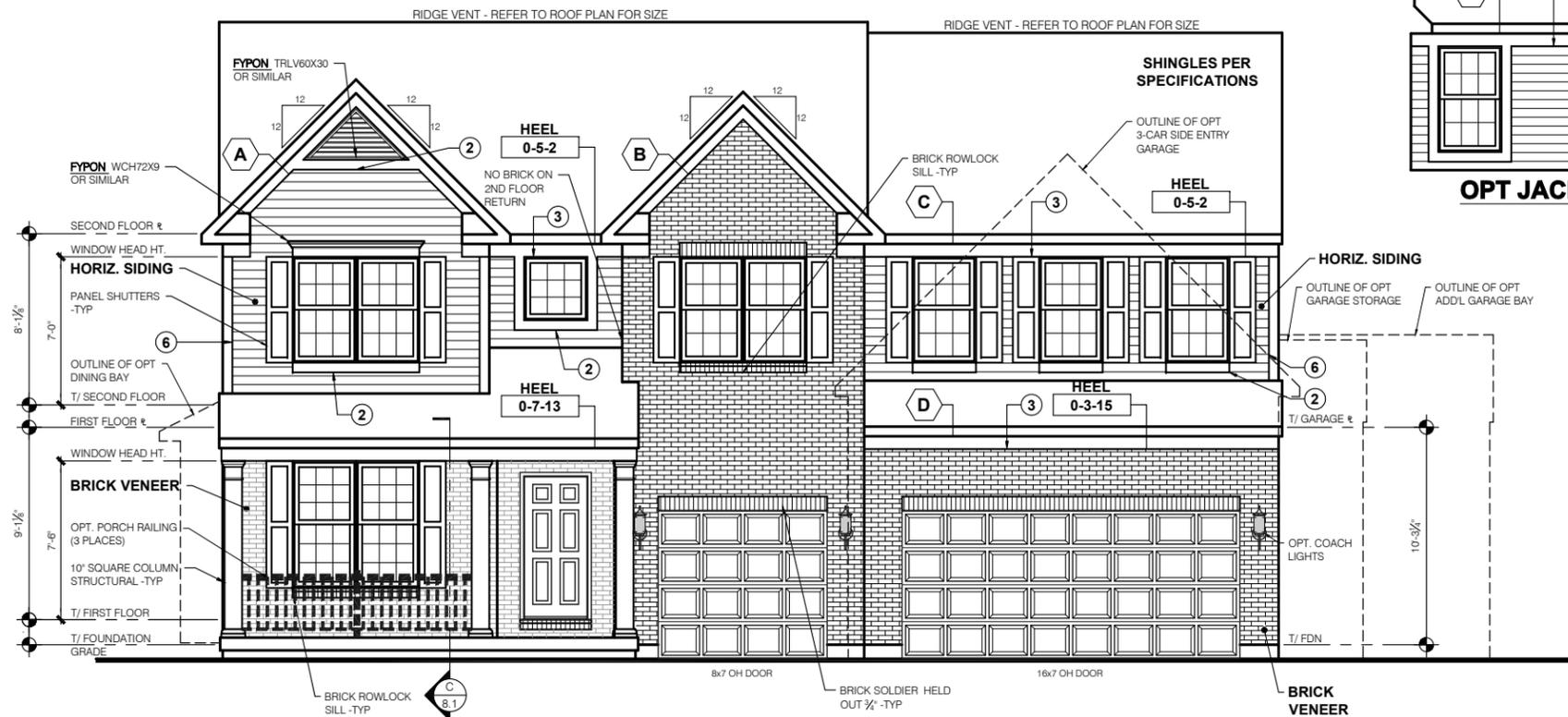
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SECOND FLOOR

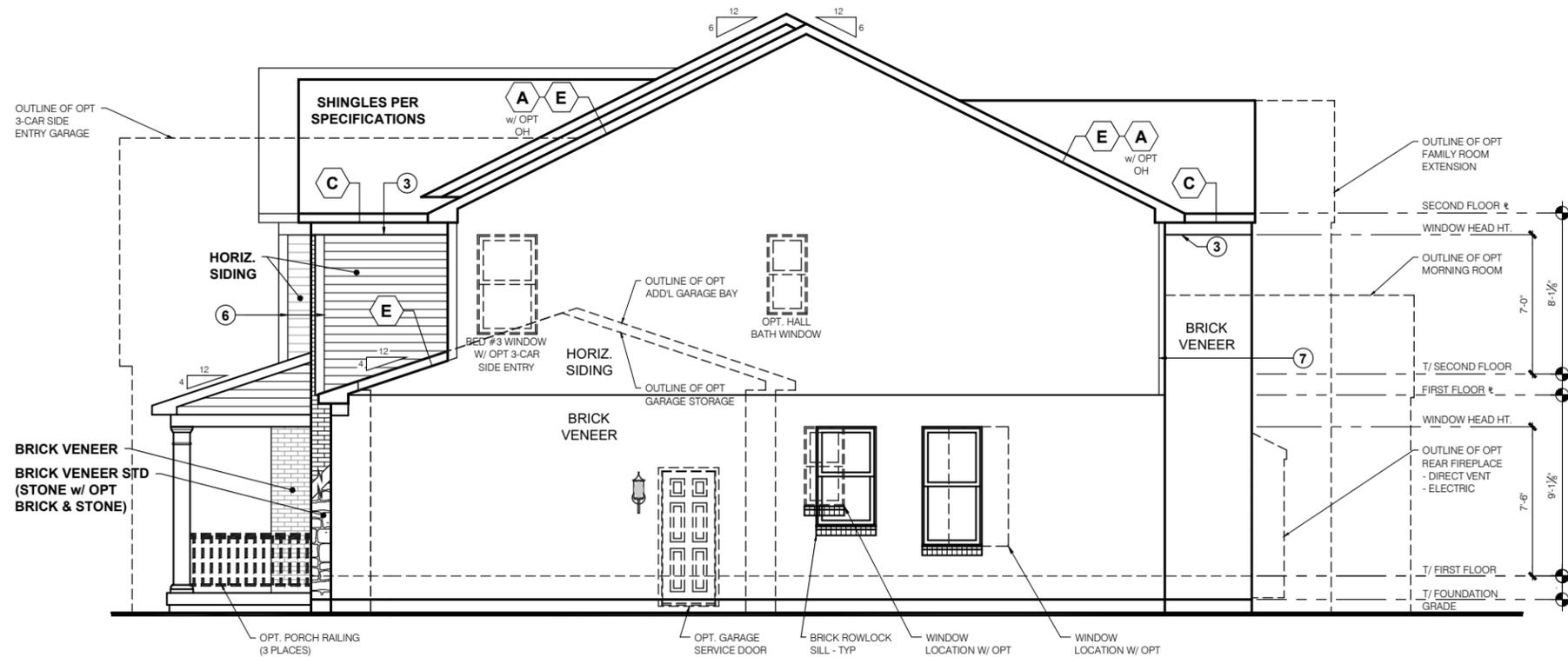
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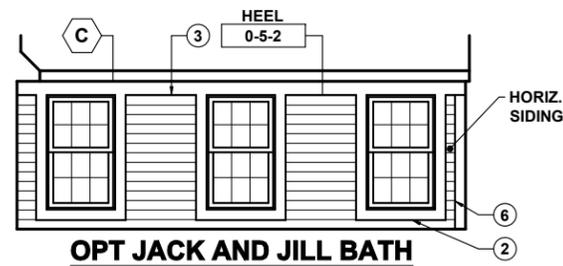
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FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "A"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



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**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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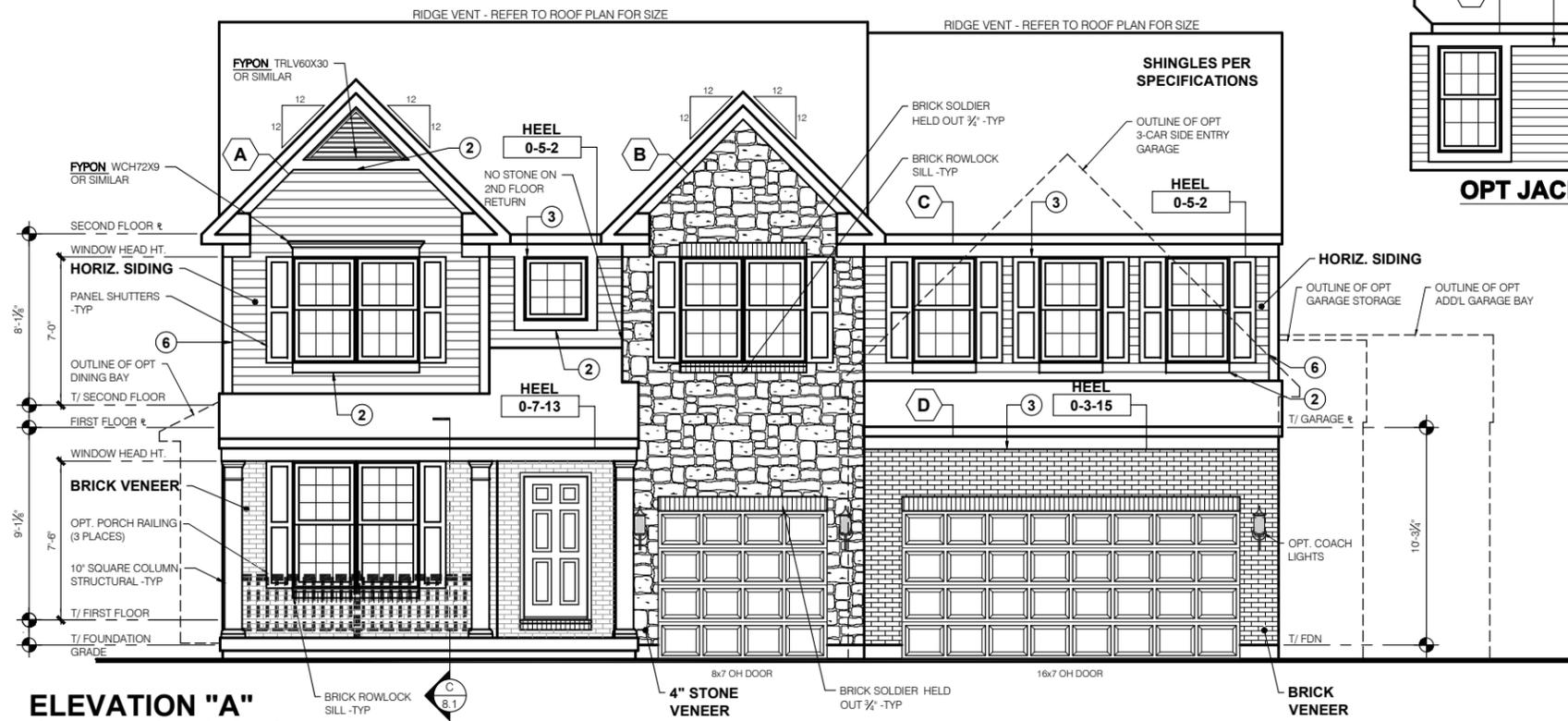
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11x17 PRINTS ARE 1/2" SCALE

AINSLEY II BX
FINAL
3-1-24

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LSP Rev:	---
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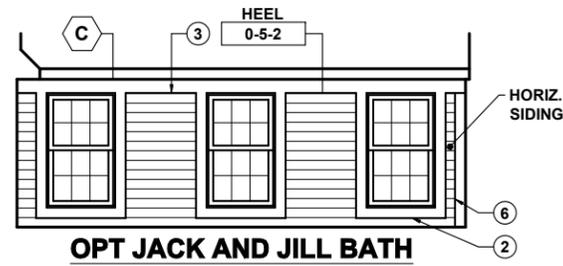
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**ELEVATION "A"
OPT BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

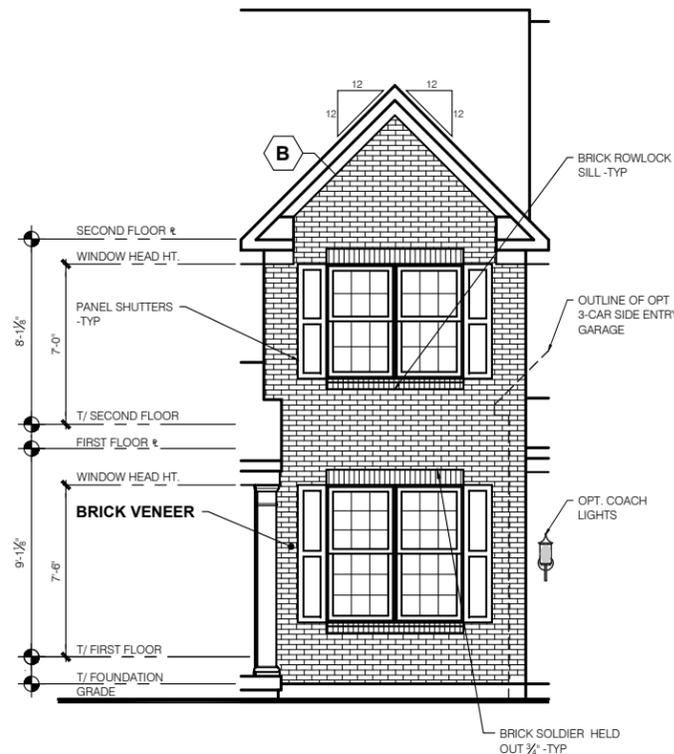
STONE SHOWN IS 4" NOMINAL CAST STONE



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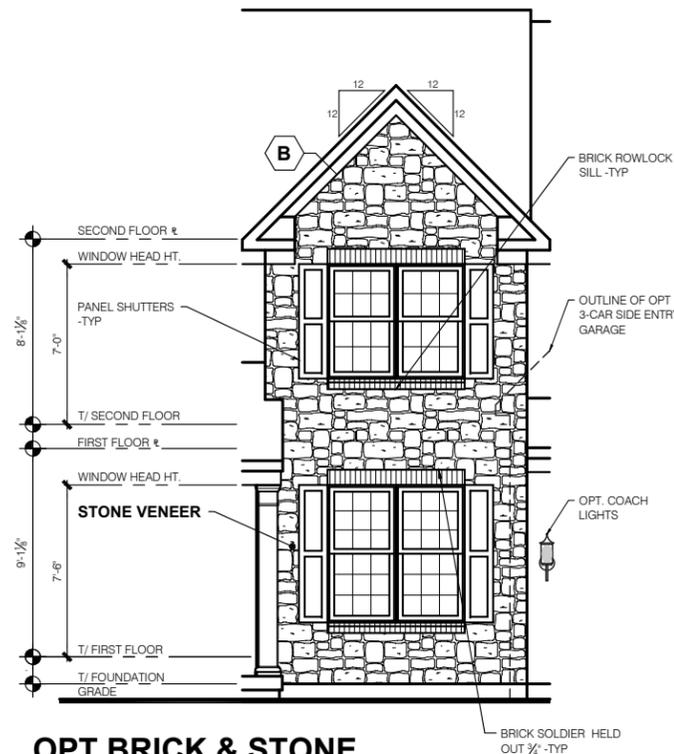
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**ELEVATION "A" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



**OPT BRICK & STONE
ELEVATION "A" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"

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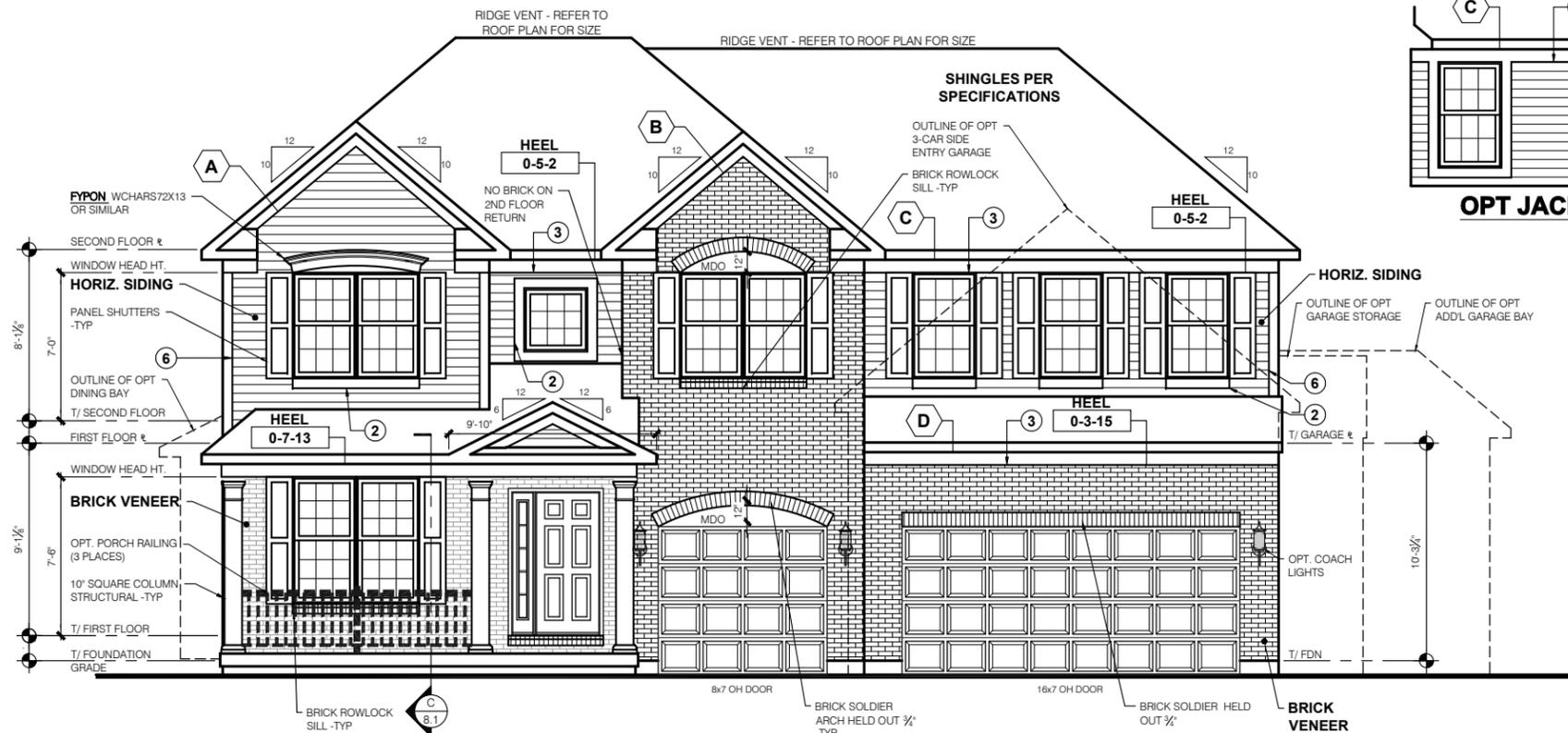
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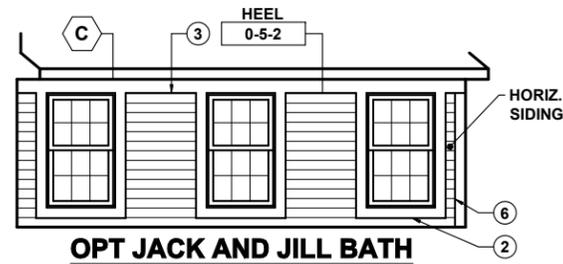
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**ELEVATION "B"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



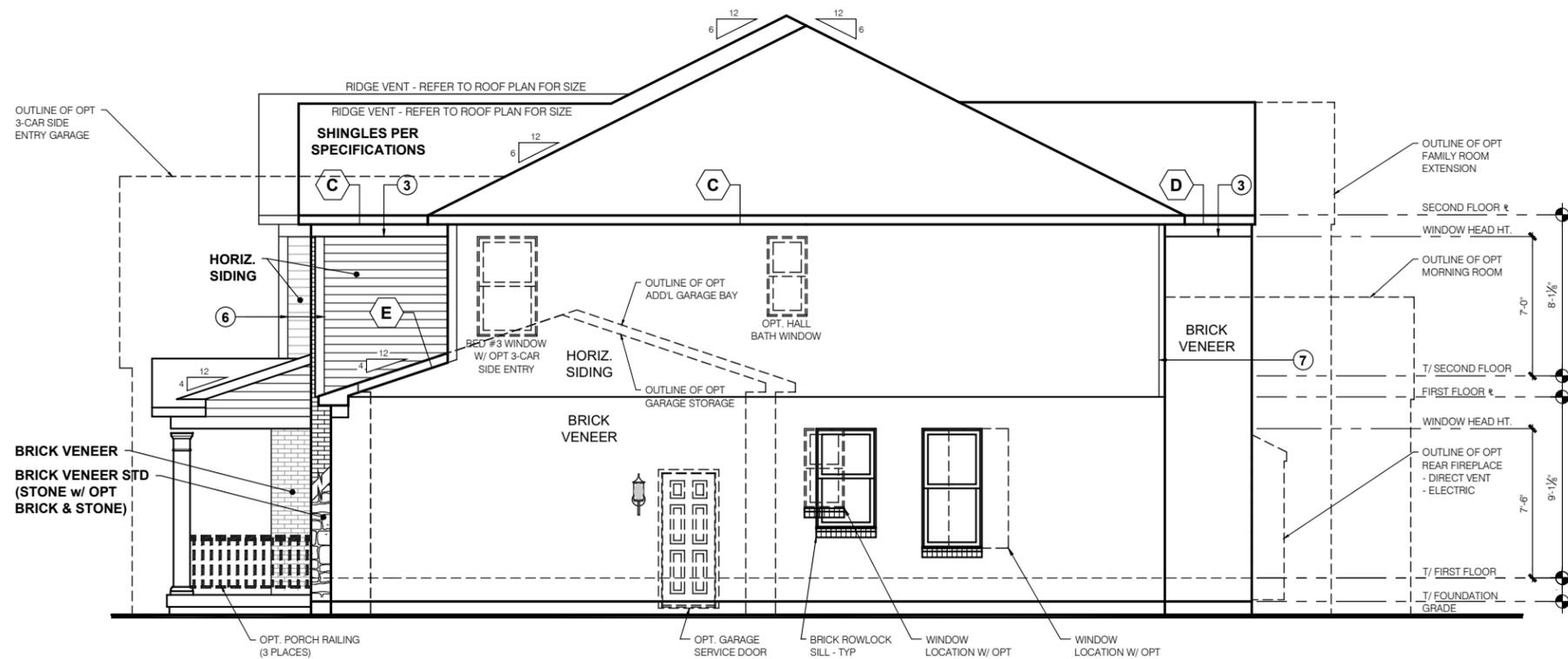
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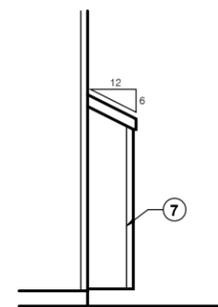
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**ELEVATION "B"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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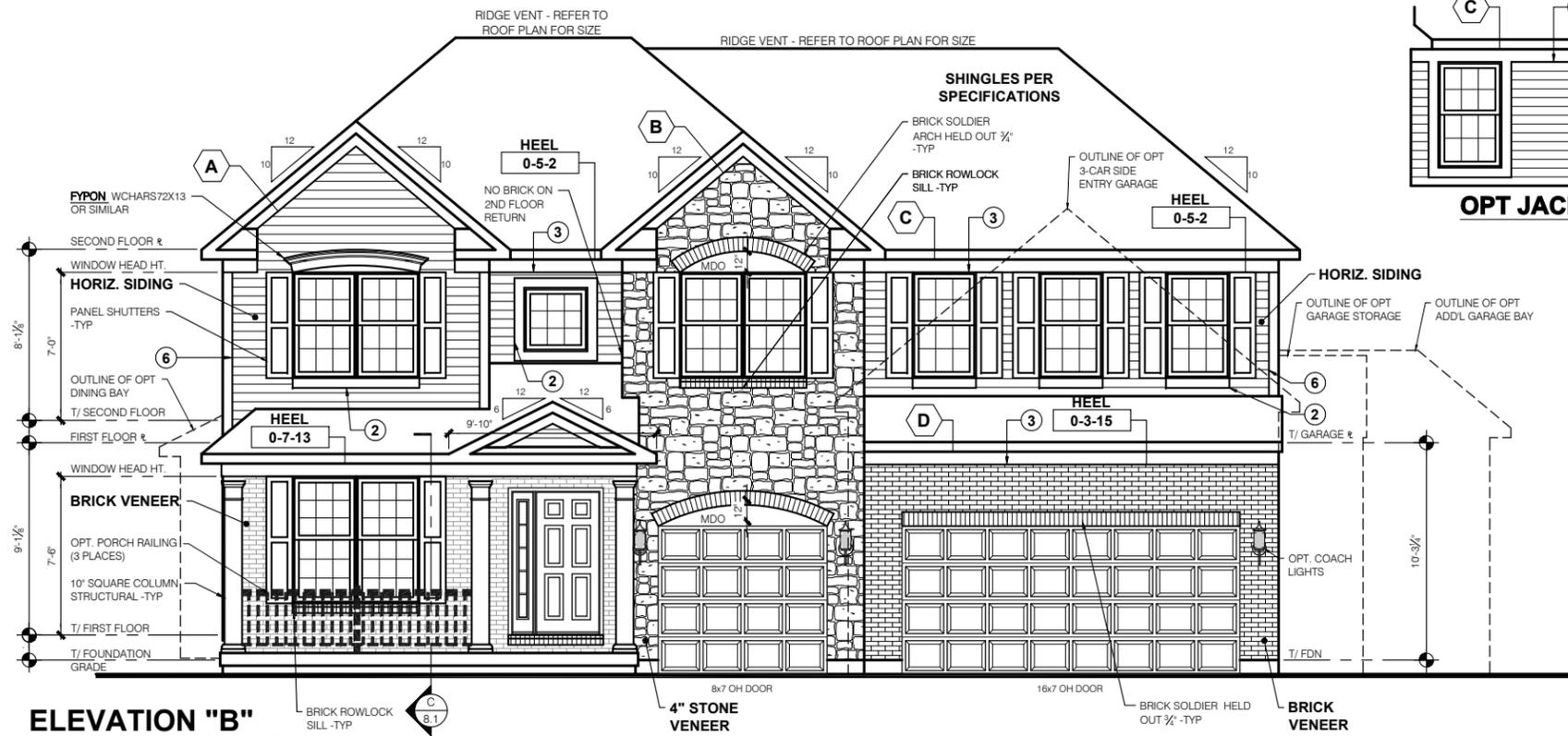
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Sheet Title:	Front and Garage Elevations

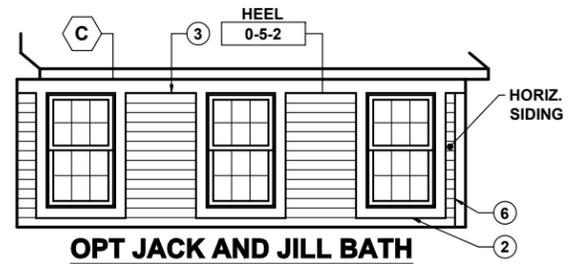
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**ELEVATION "B"
OPT BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

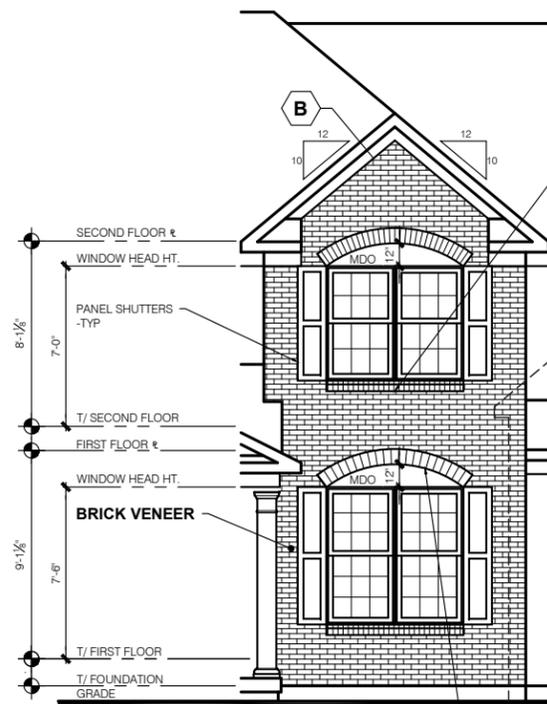
STONE SHOWN IS 4" NOMINAL CAST STONE



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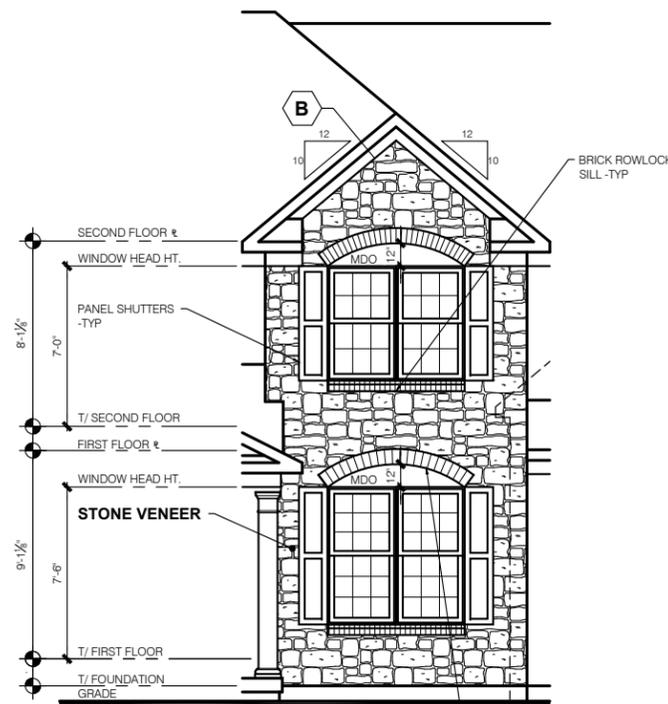
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**ELEVATION "B" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



**OPT BRICK & STONE
ELEVATION "B" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"

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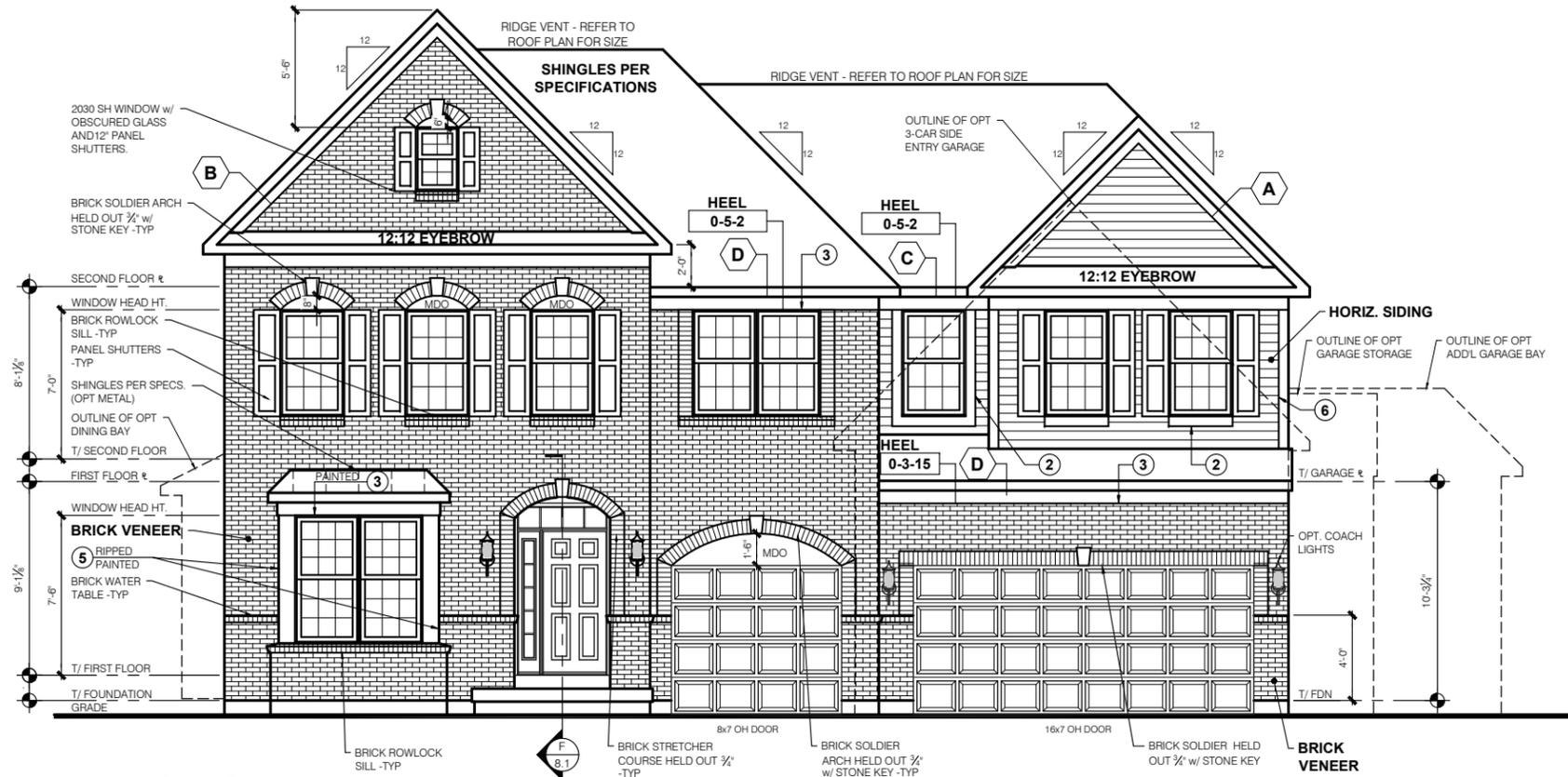
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Sheet Title:	Front Elevations - Material Options

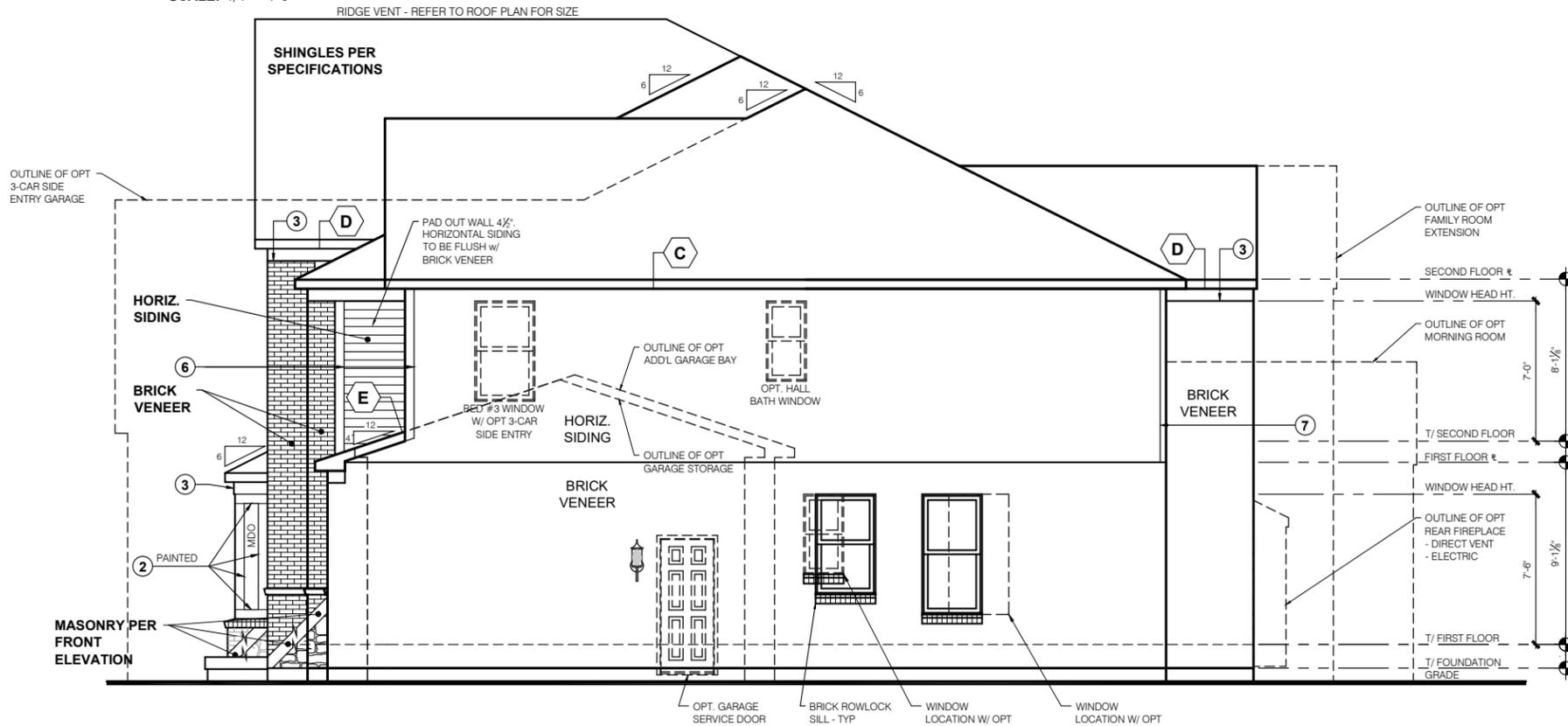
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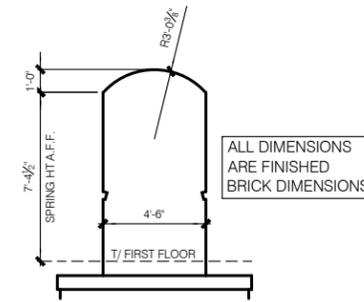
**ELEVATION "C"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "C"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**ARCHED
ENTRY DETAIL**

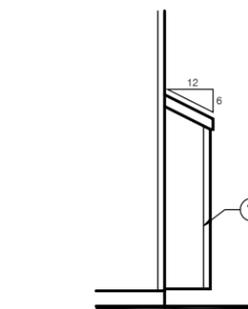
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**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

Issued Date: 3-24-14
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19 ---
20 ---

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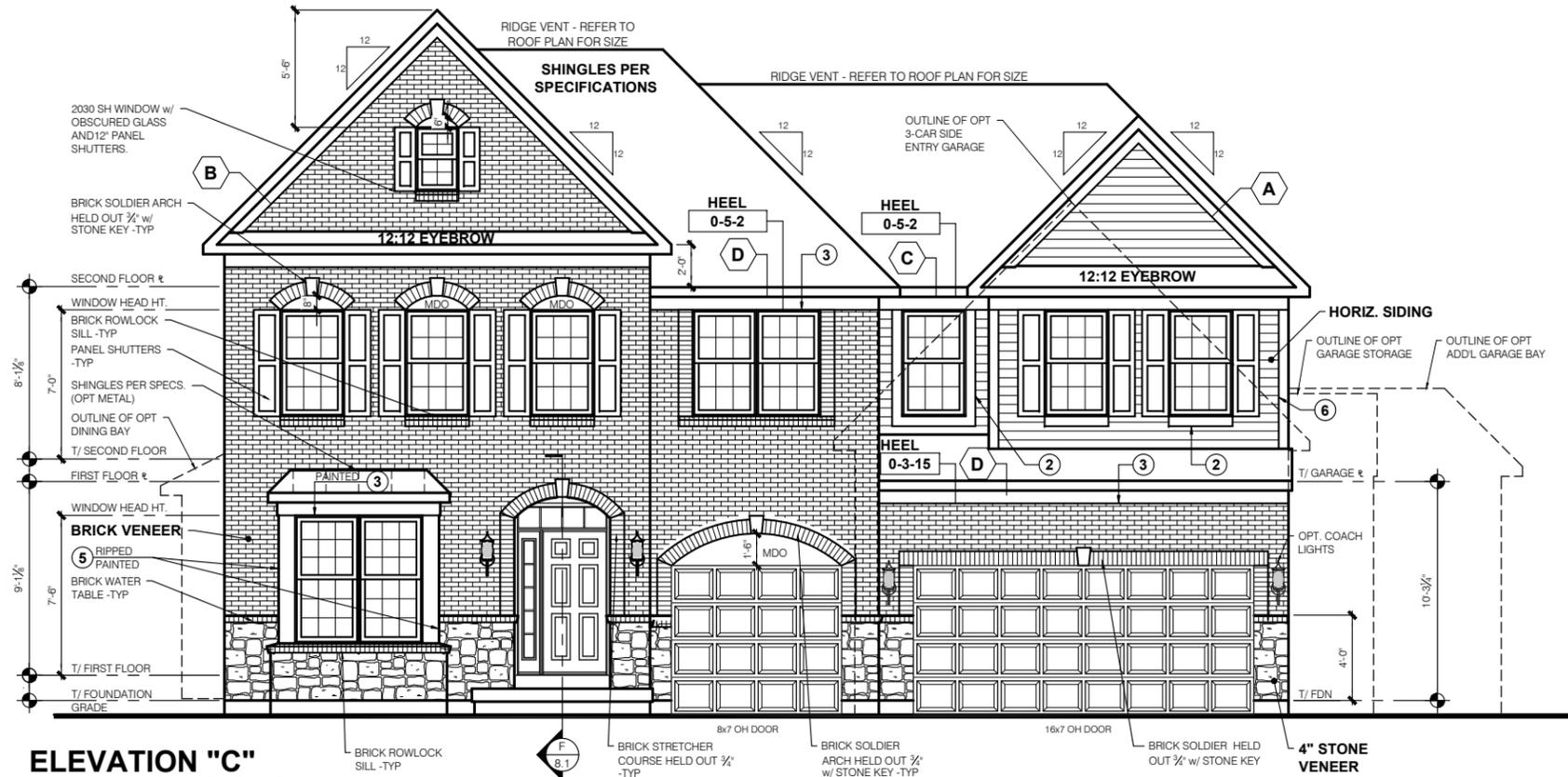
CLASSIC SERIES

M/I HOMES

AINSLEY II BX
FINAL
3-1-24

11x17 PRINTS ARE 1/2 SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations
Sheet:
1.0C



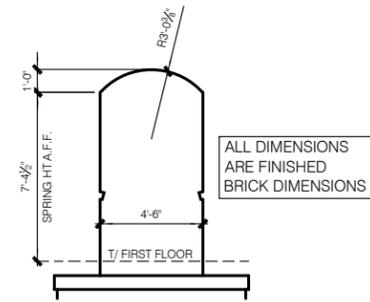
**ELEVATION "C"
OPT BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

**ARCHED
ENTRY DETAIL**

SCALE: 1/4" = 1'-0"

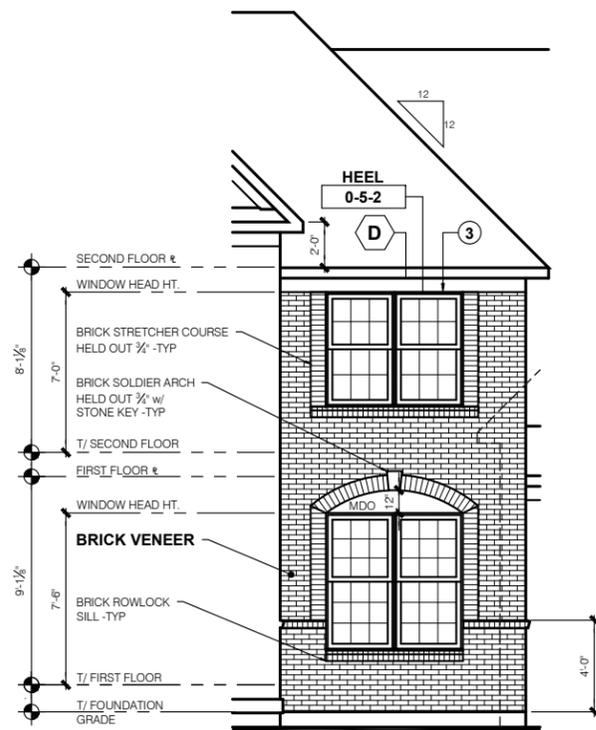


TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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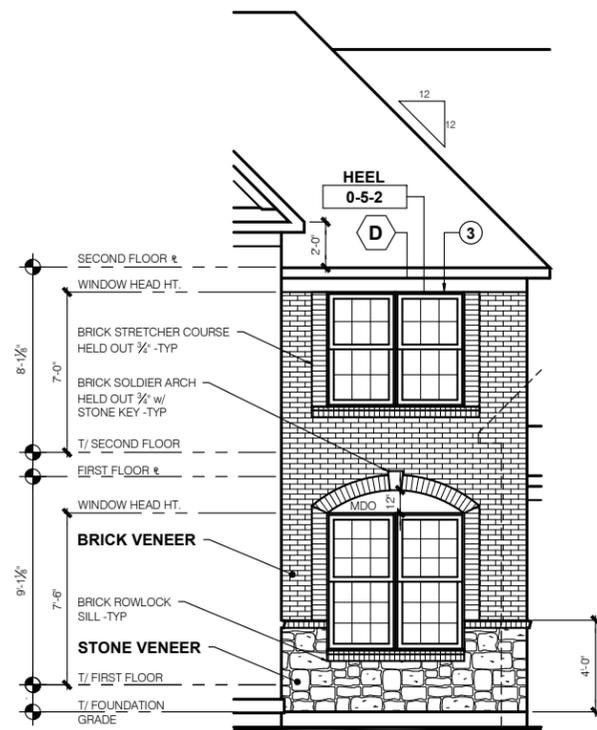
SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



**ELEVATION "C" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



**OPT BRICK & STONE
ELEVATION "C" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"

CLASSIC SERIES



M/I HOMES

AINSLEY II BX

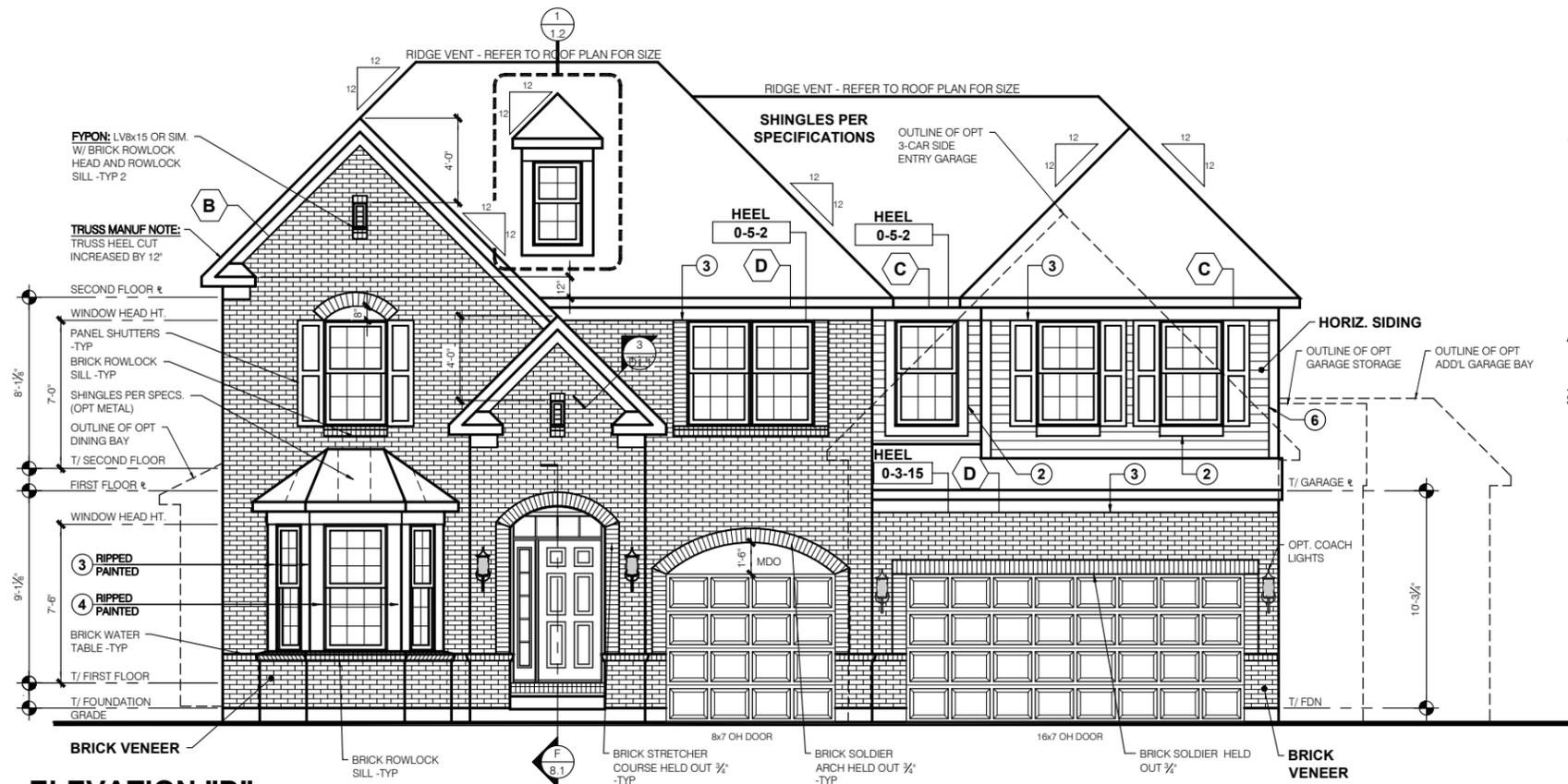
FINAL
3-1-24

11x17 PRINTS ARE 1/2 SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

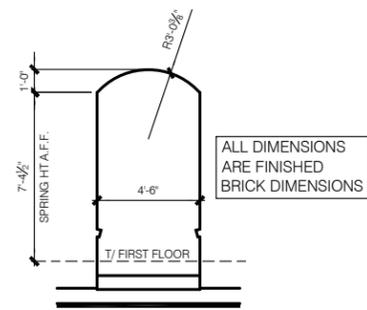
Sheet:
1.2C

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**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ARCHED
ENTRY DETAIL**

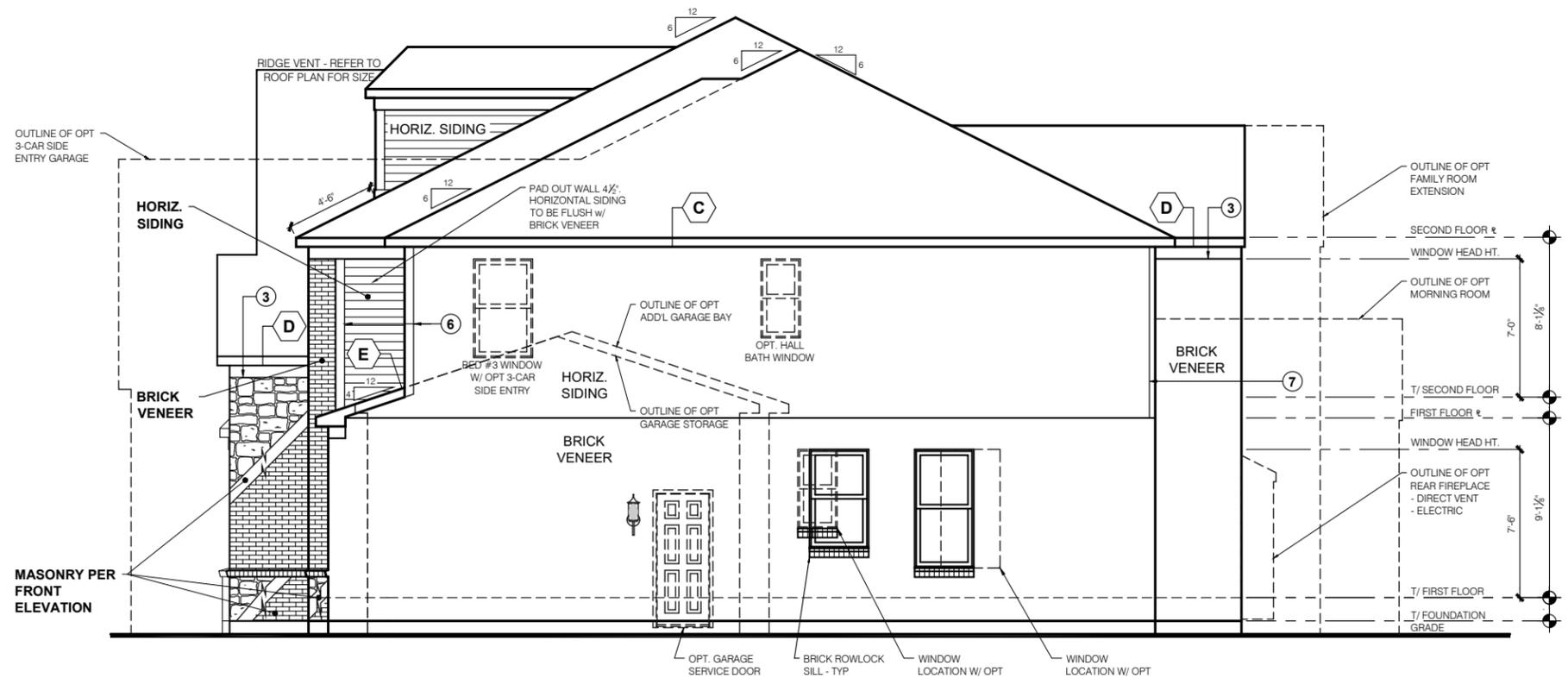
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

⑧ SEE SHEET D1.0 FOR EAVE DETAILS

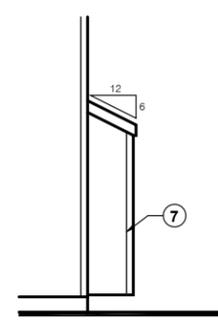
**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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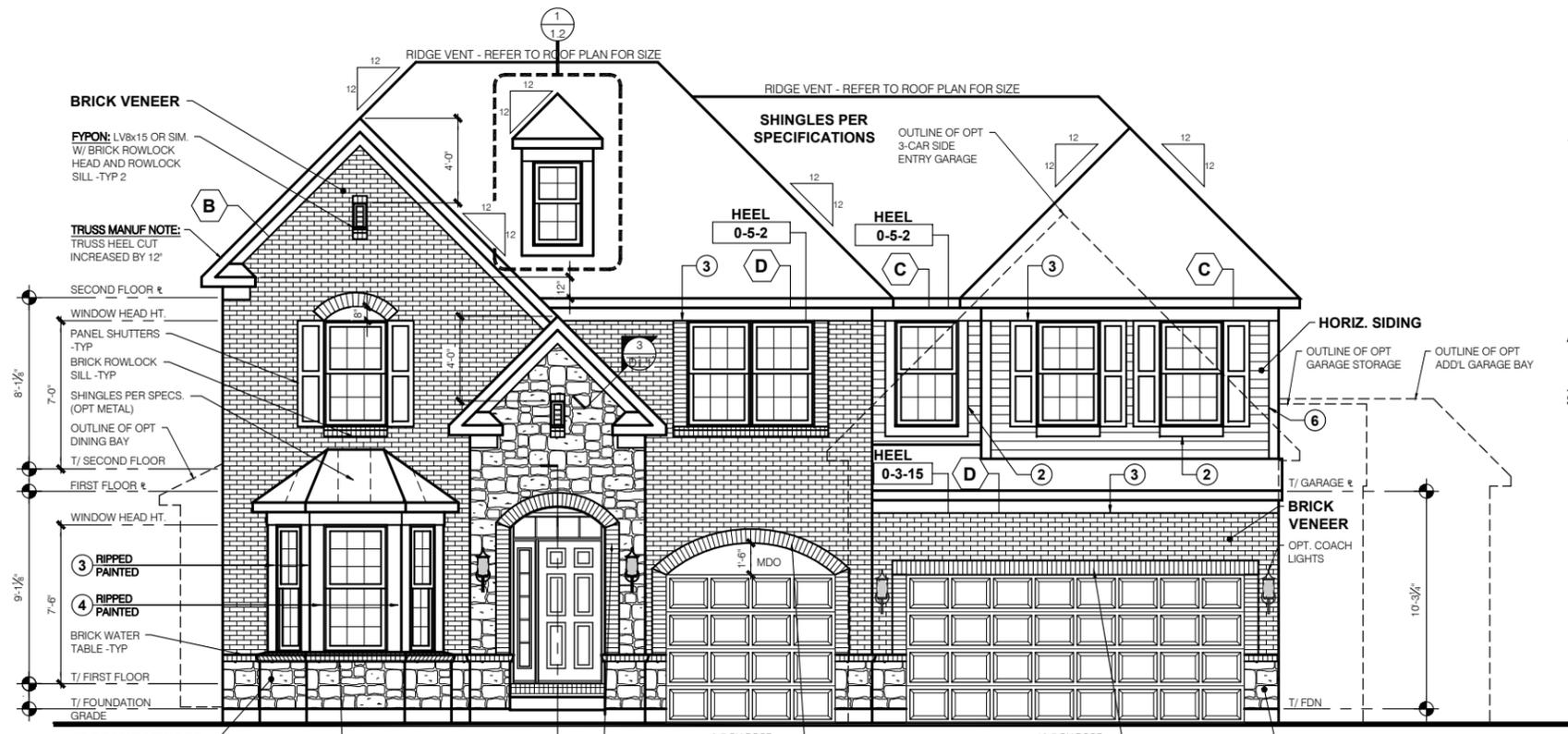
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11x17 PRINTS ARE 1/2" SCALE

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FINAL
3-1-24

Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

Sheet:
1.0D



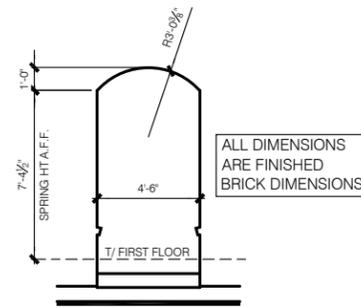
**ELEVATION "D"
OPT BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

**ARCHED
ENTRY DETAIL**

SCALE: 1/4" = 1'-0"



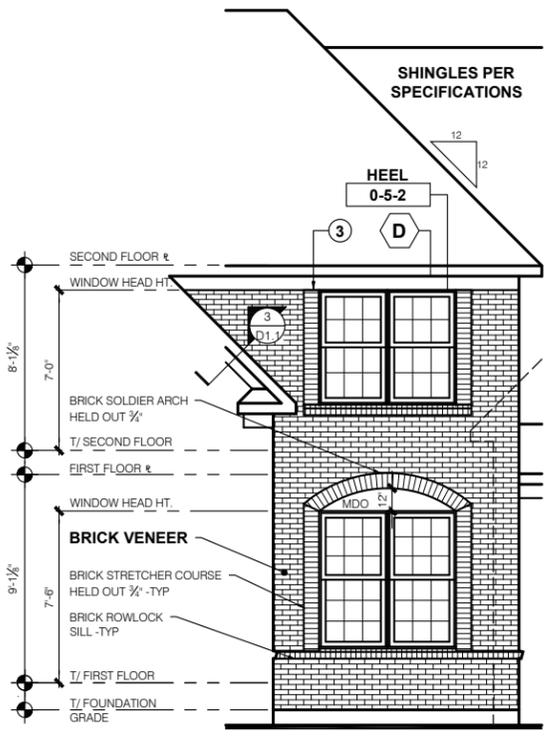
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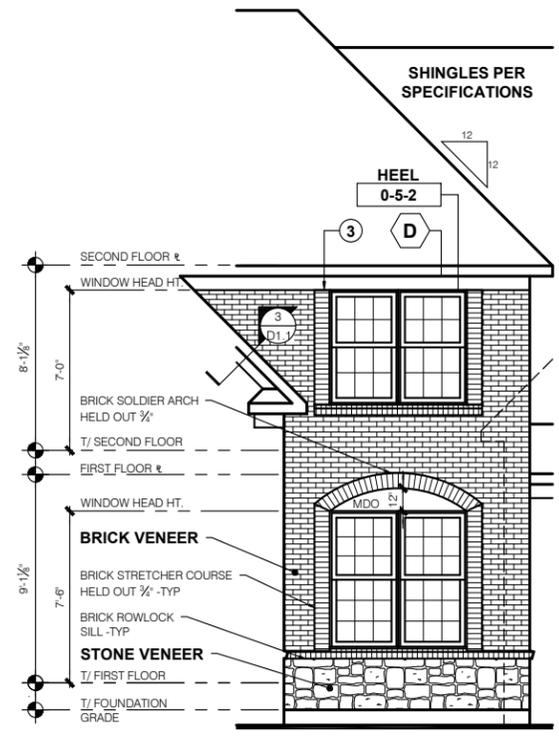
SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



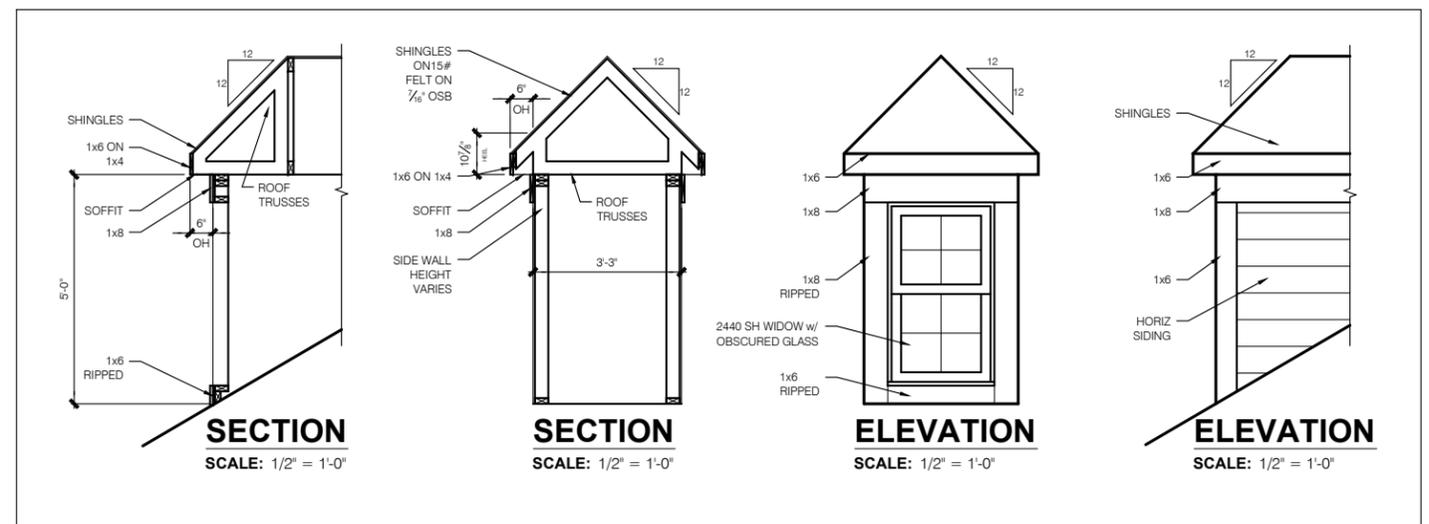
**ELEVATION "D" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



**OPT BRICK & STONE
ELEVATION "D" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



1 DORMER DETAIL

SCALE: 1/2" = 1'-0"

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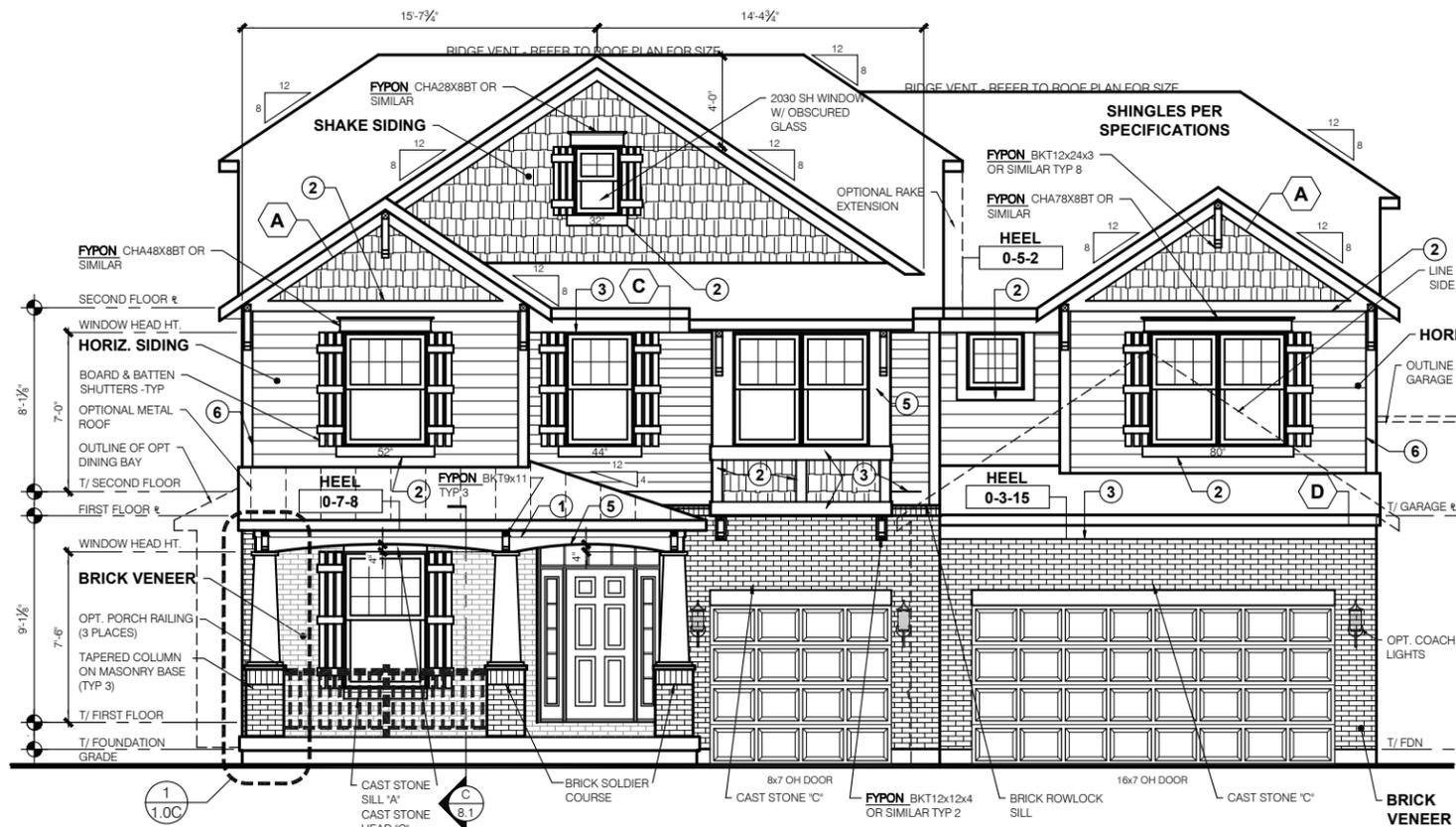
11x17 PRINTS ARE 1/2" SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title: Front Elevations - Material Options

Sheet:

1.2D

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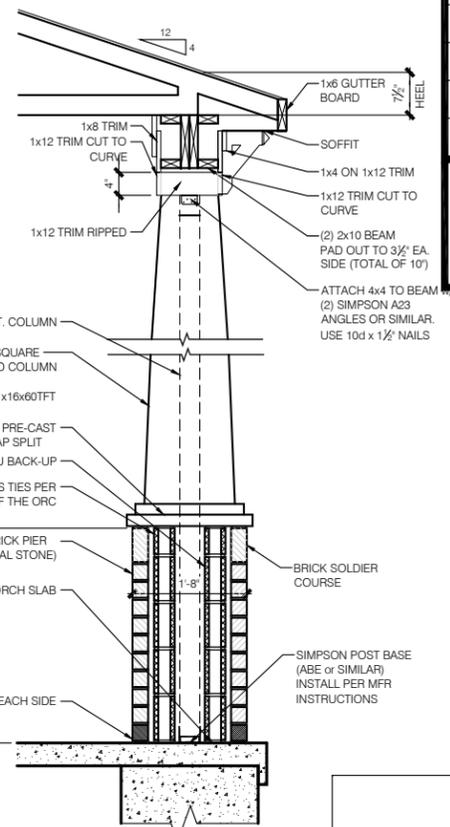
**ELEVATION "E" (CRAFTSMAN)
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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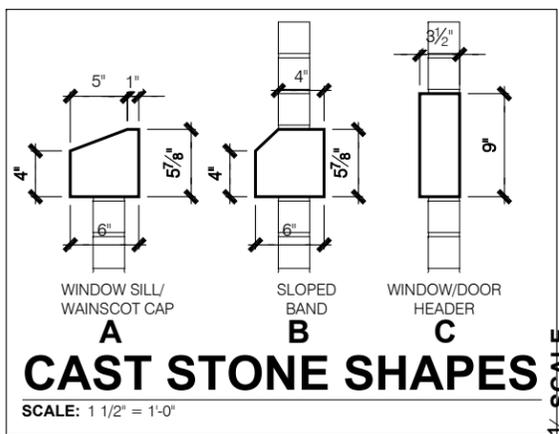
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**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



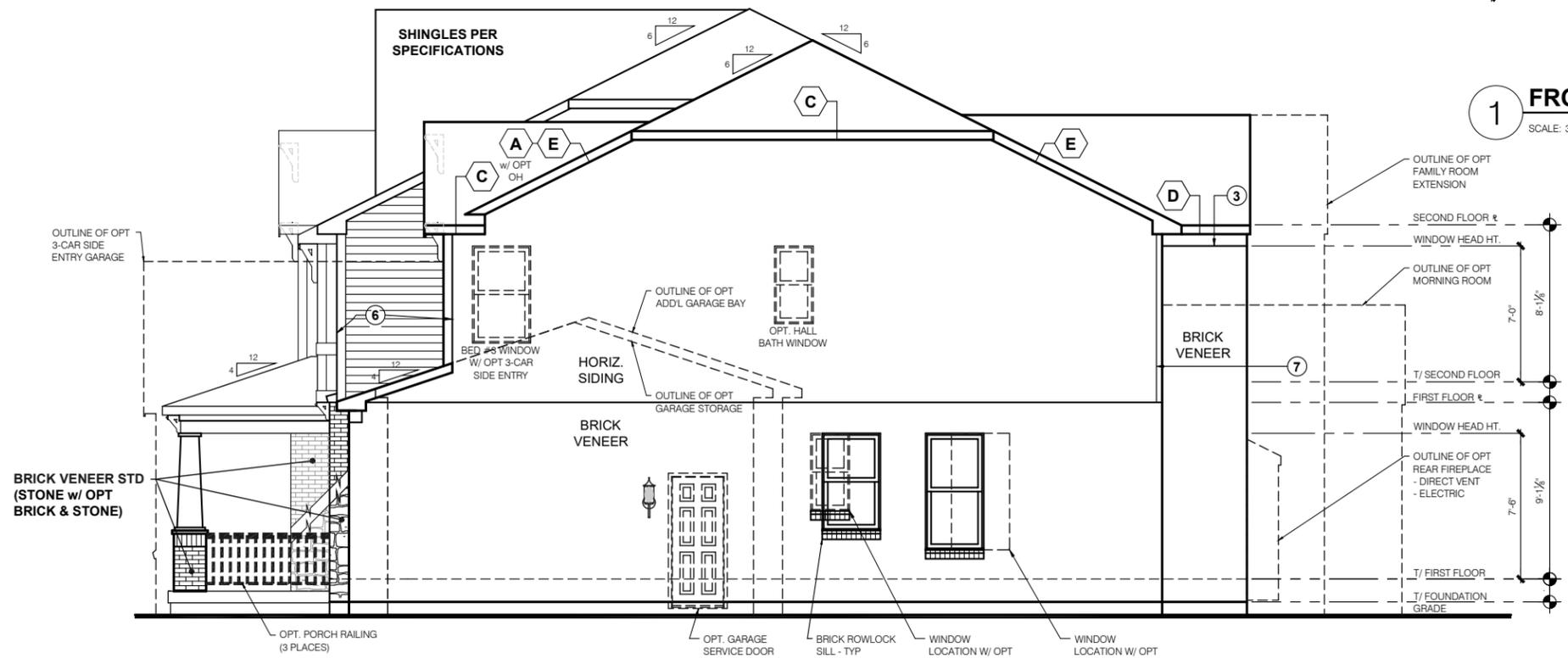
1 FRONT PORCH COLUMN

SCALE: 3/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"



**ELEVATION "E" (CRAFTSMAN)
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CLASSIC SERIES

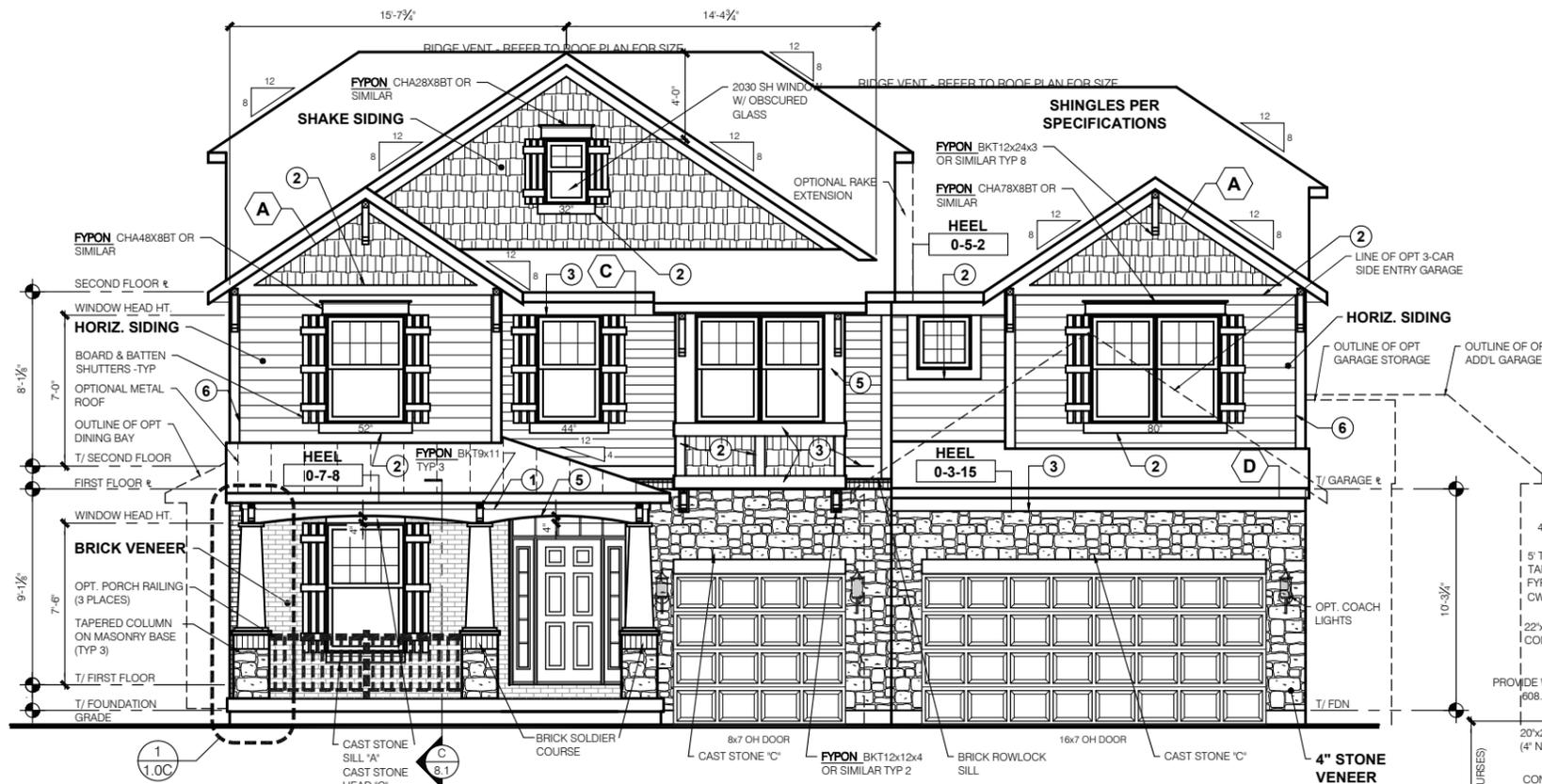
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11x17 PRINTS ARE 1/2" SCALE

Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

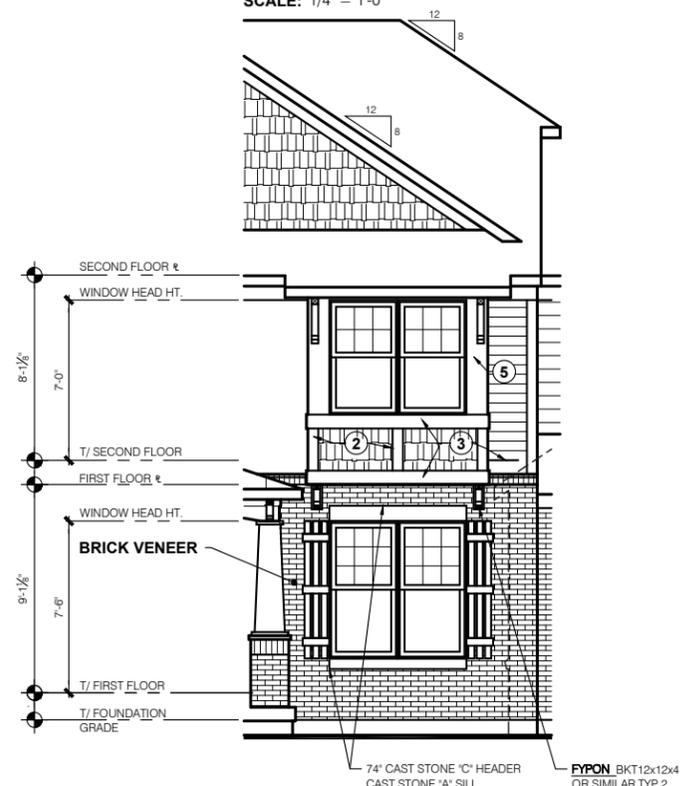
Sheet:
1.0E



OPT BRICK & STONE ELEVATION "E" (CRAFTSMAN) FRONT ELEVATION

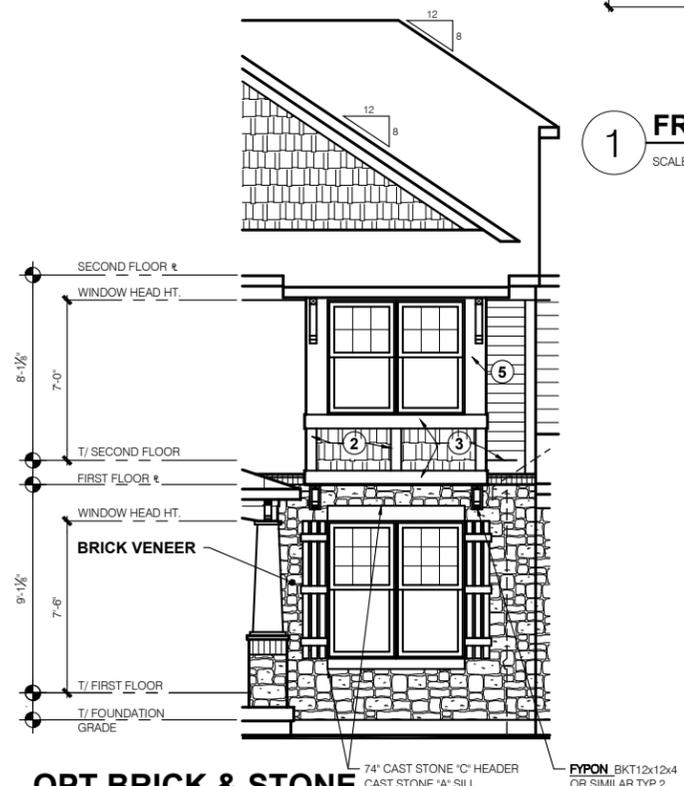
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



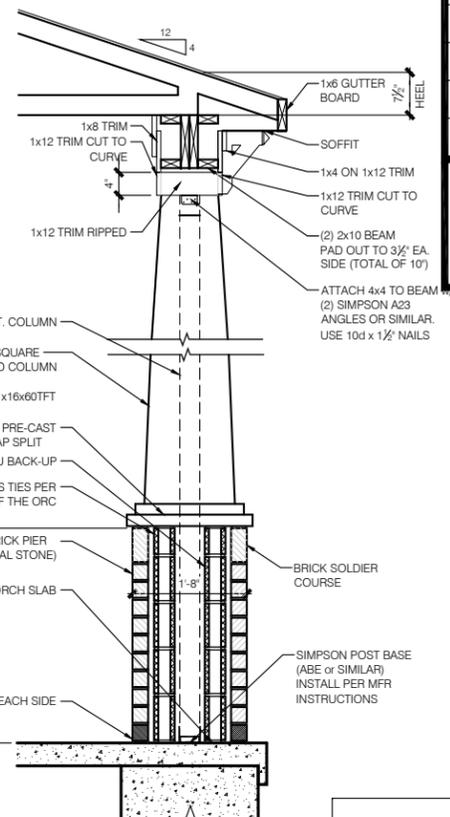
ELEVATION "E" FRONT ELEVATION OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



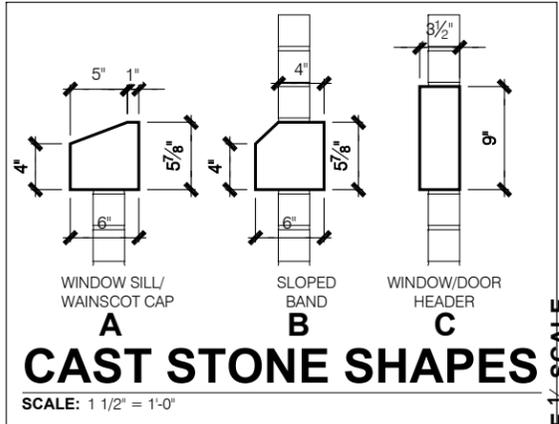
OPT BRICK & STONE ELEVATION "E" FRONT ELEVATION OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



1 FRONT PORCH COLUMN

SCALE: 3/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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SEE SHT C1.1 FOR LINTEL SCHEDULE

CLASSIC SERIES

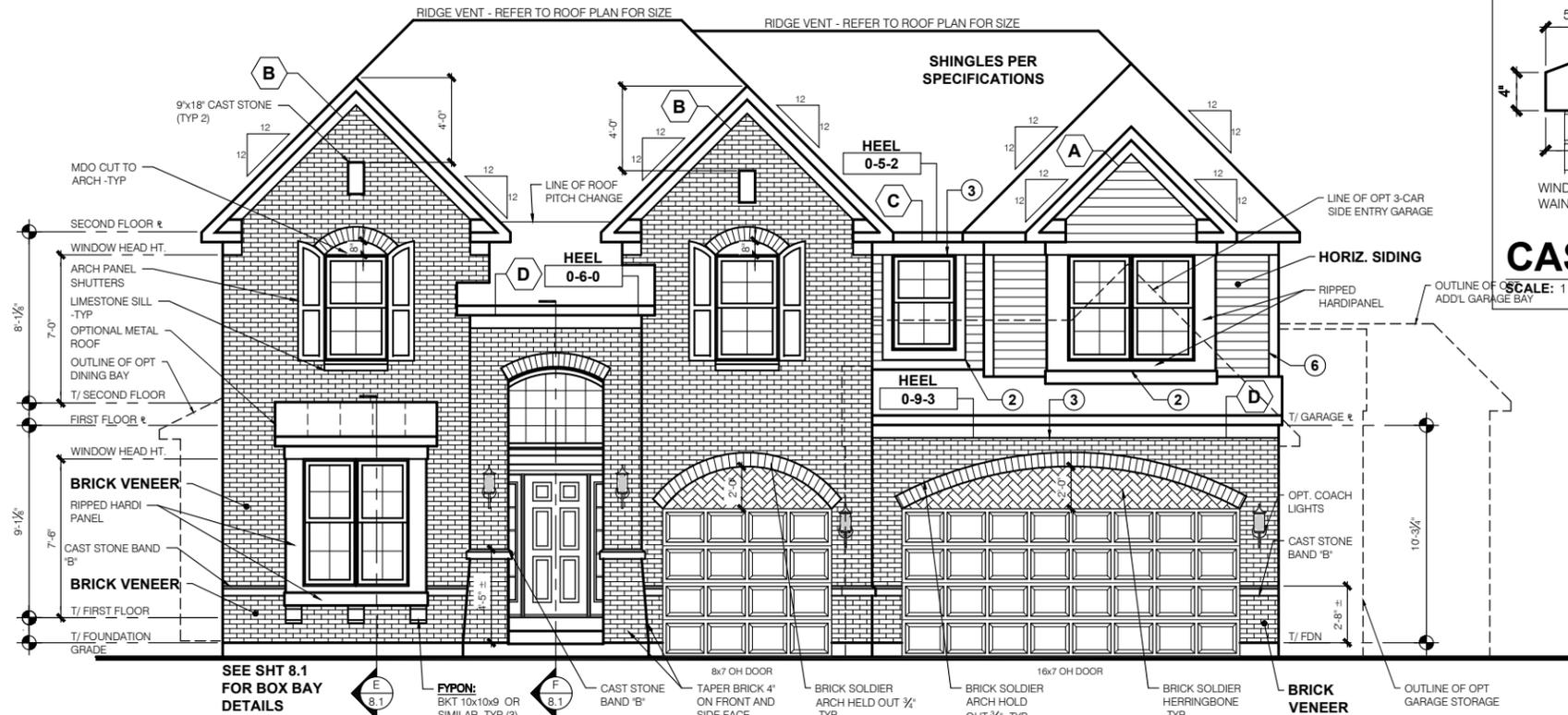
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FINAL
3-1-24

11x17 PRINTS ARE 1/2" SCALE

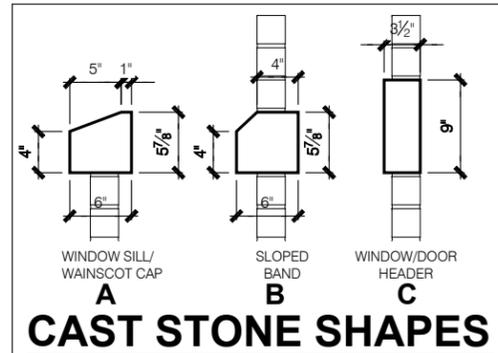
Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title: Front Elevations - Material Options

Sheet: 1.2E



**ELEVATION "F"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR TRIM FINISH

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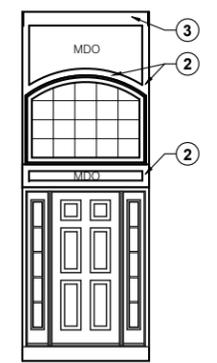
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
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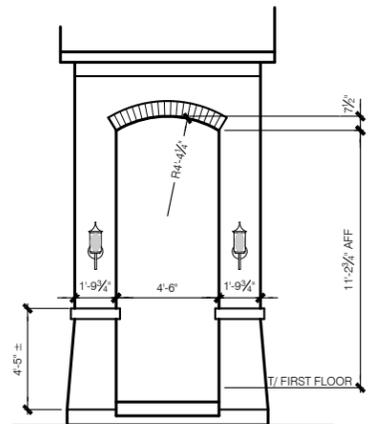
SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



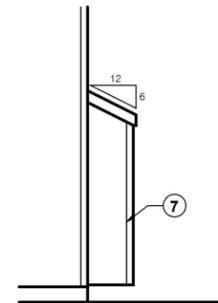
ENTRY WALL

SCALE: 1/4" = 1'-0"



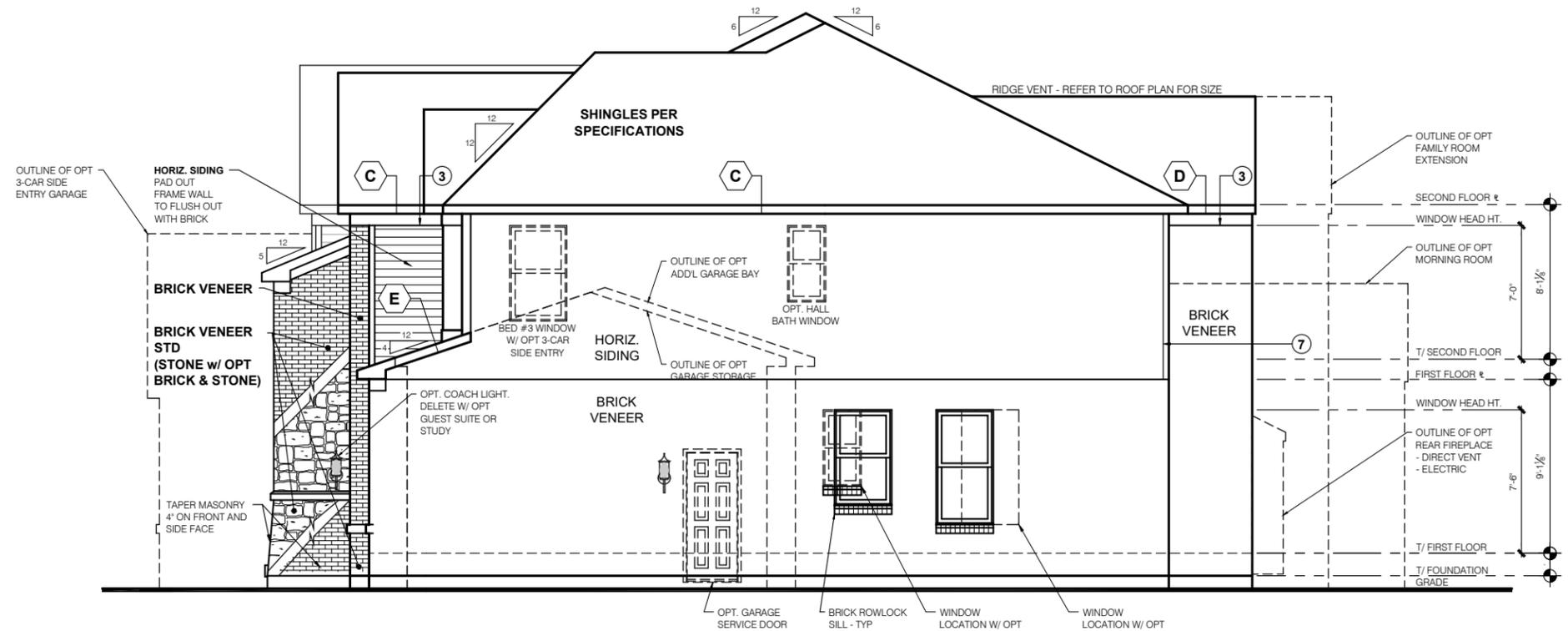
ARCH DETAIL

SCALE: 1/4" = 1'-0"



**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CLASSIC SERIES



M/I HOMES

AINSLEY II BX

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3-1-24

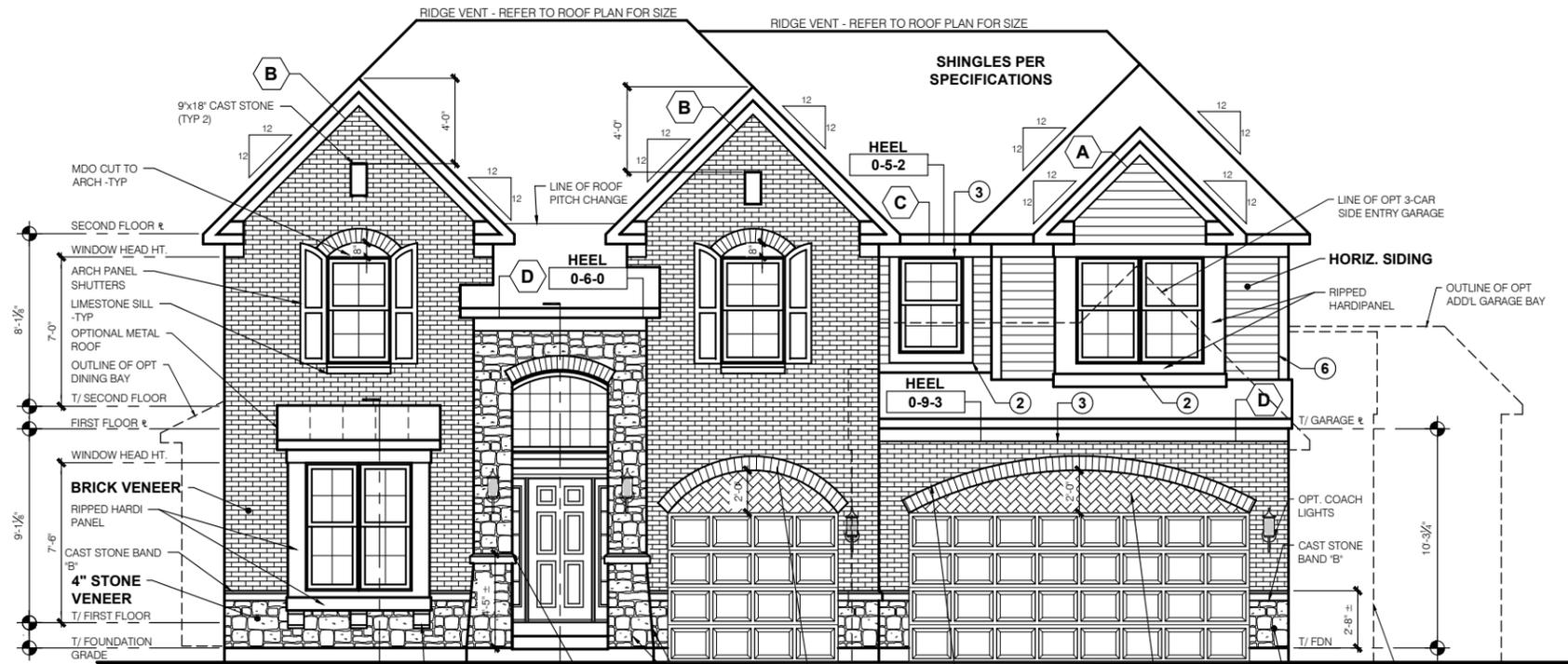
11x17 PRINTS ARE 1/2 SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

Sheet:
1.0F

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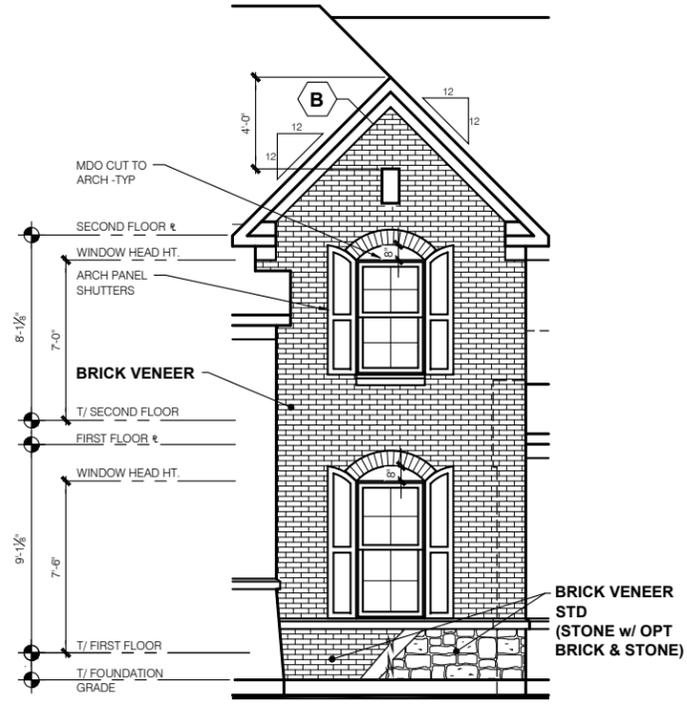
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ELEVATION "D" OPT BRICK & STONE FRONT ELEVATION

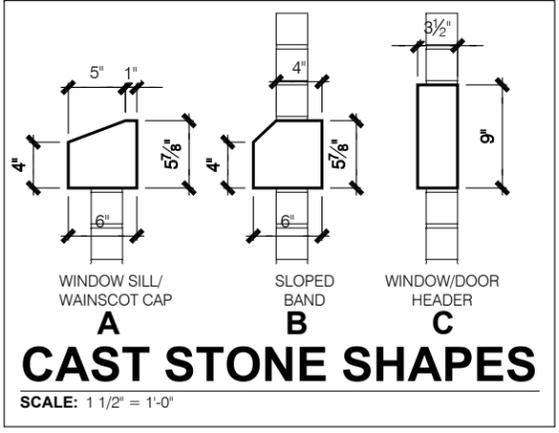
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



ELEVATION "F" FRONT ELEVATION OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



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SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE

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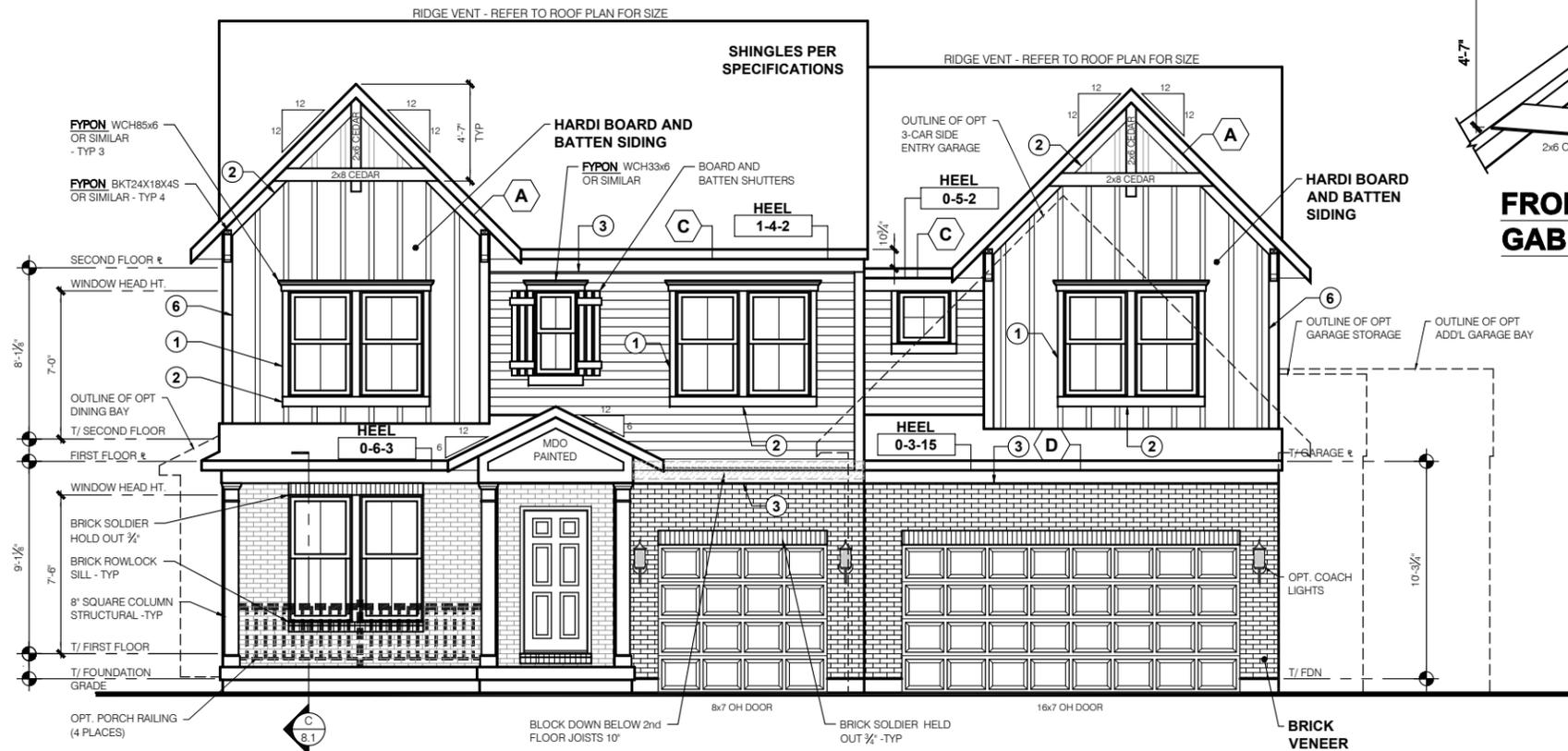
11x17 PRINTS ARE 1/2" SCALE

AINSLY II BX
FINAL
3-1-24

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

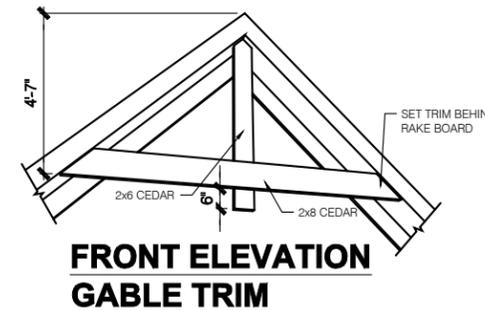
Sheet:

1.2F



**ELEVATION "G"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



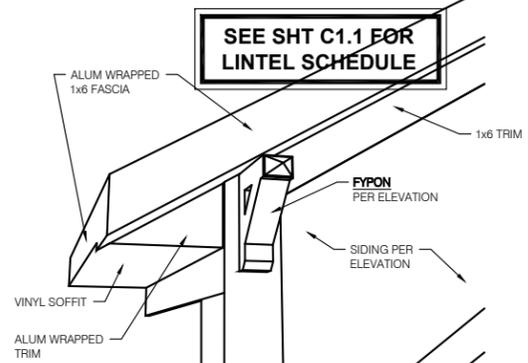
**FRONT ELEVATION
GABLE TRIM**

TYPICAL EXTERIOR TRIM FINISH	
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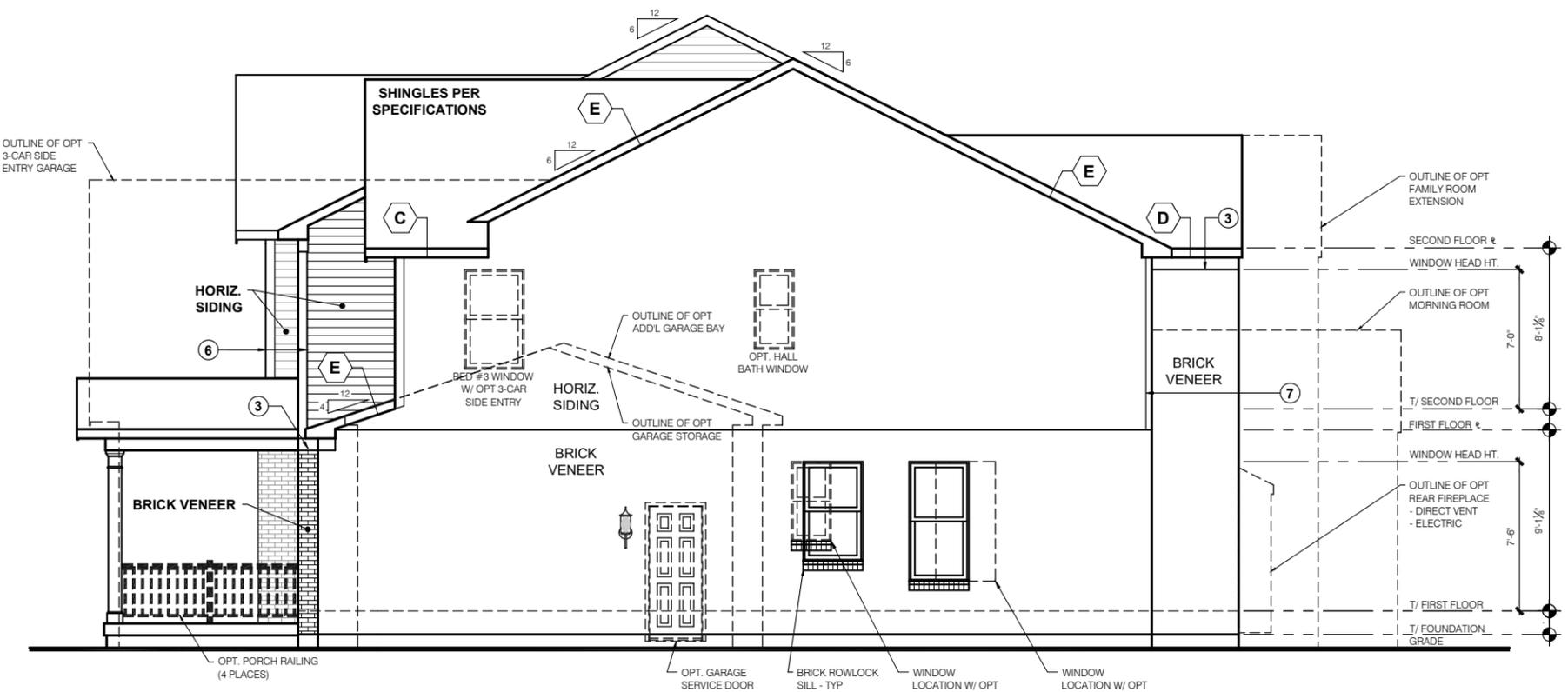
NOTES:

1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

SEE SHEET D1.0 FOR EAVE DETAILS



2 EAVE DETAIL
SCALE: NTS



**ELEVATION "G"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

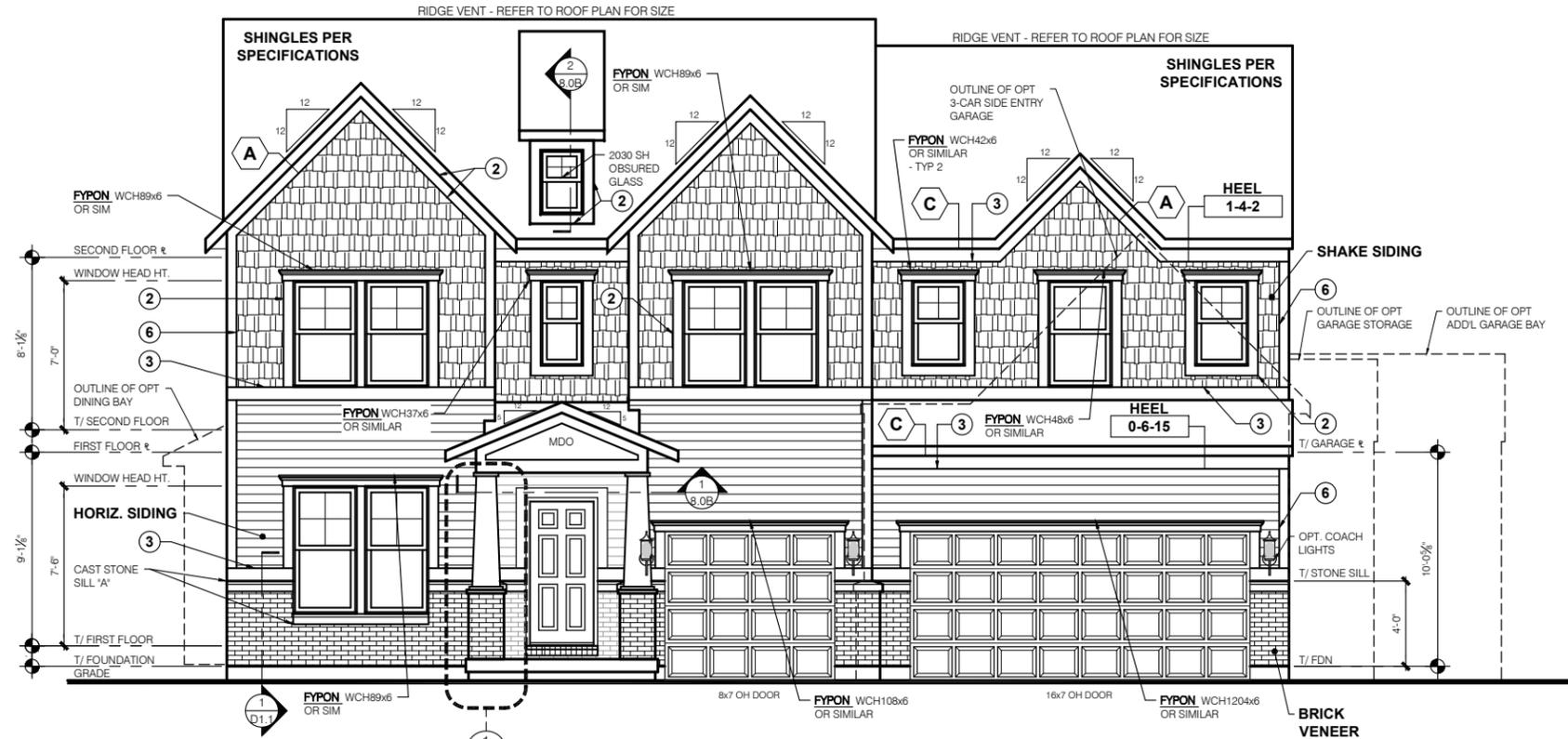
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11x17 PRINTS ARE 1/2 SCALE

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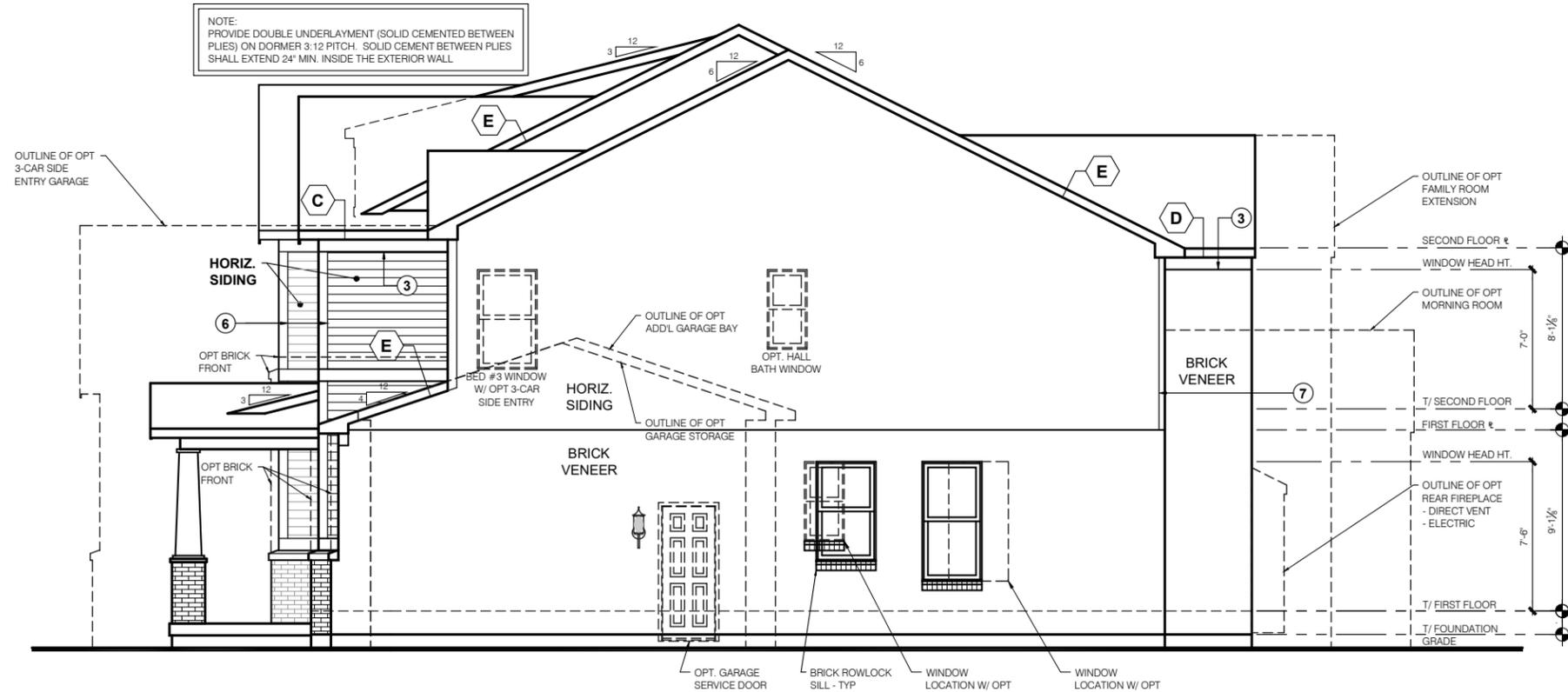
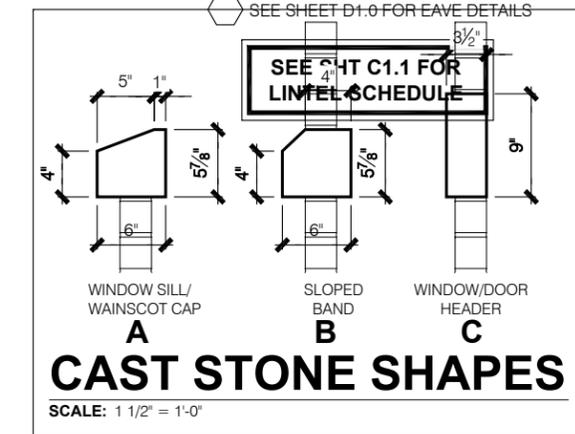
**ELEVATION "H"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

NOTES:
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

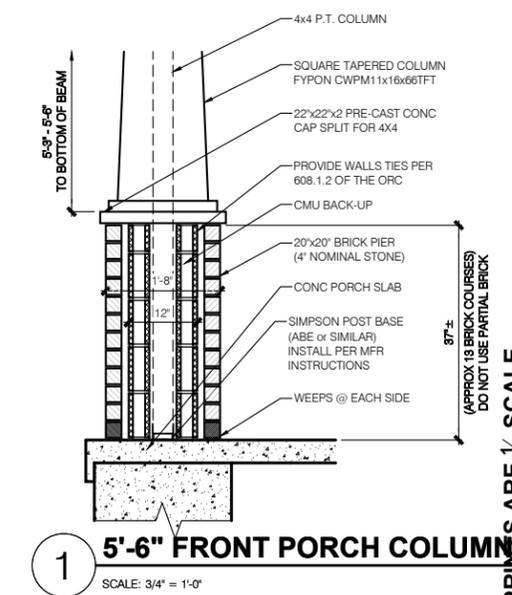


**ELEVATION "H"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



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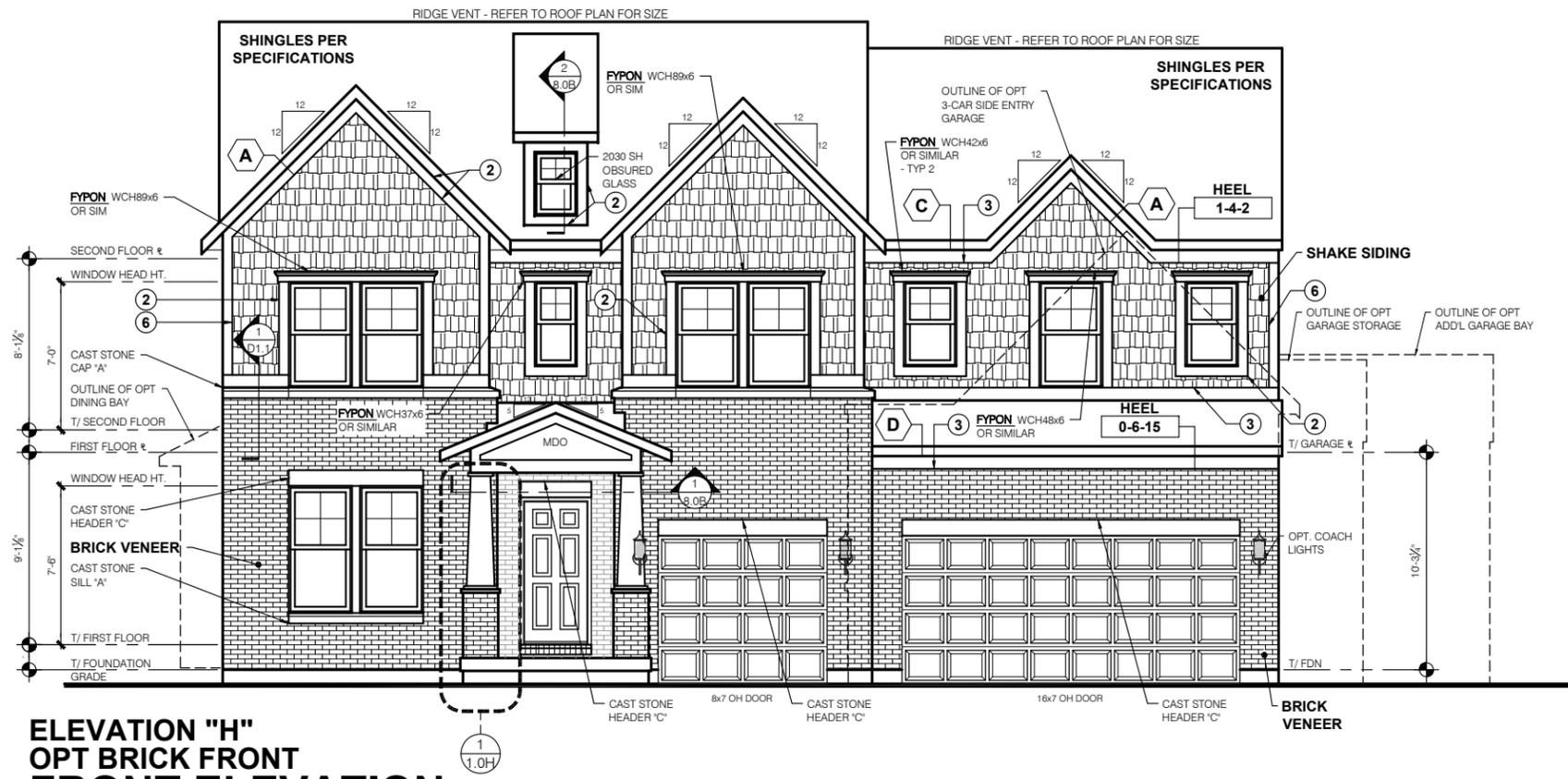
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11x17 PRINTS ARE 1/2 SCALE

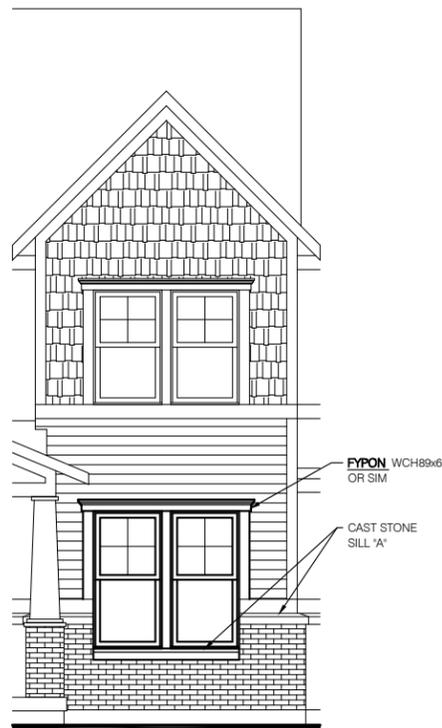
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LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

Sheet:
1.0H



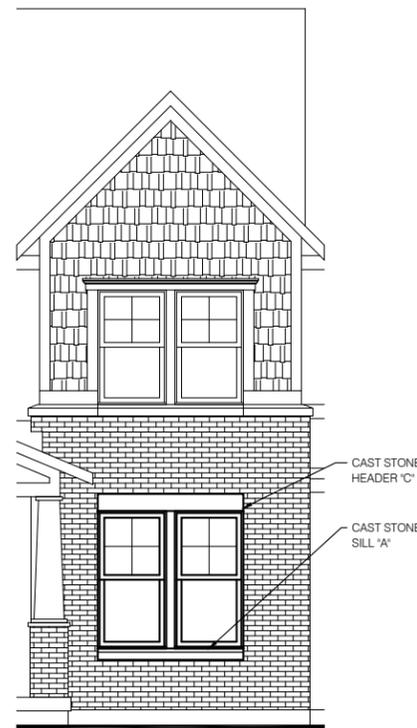
**ELEVATION "H"
OPT BRICK FRONT
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "H" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"



**OPT BRICK FRONT
ELEVATION "H" FRONT ELEVATION
OPT STUDY / GUEST SUITE**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
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⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

NOTES:
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
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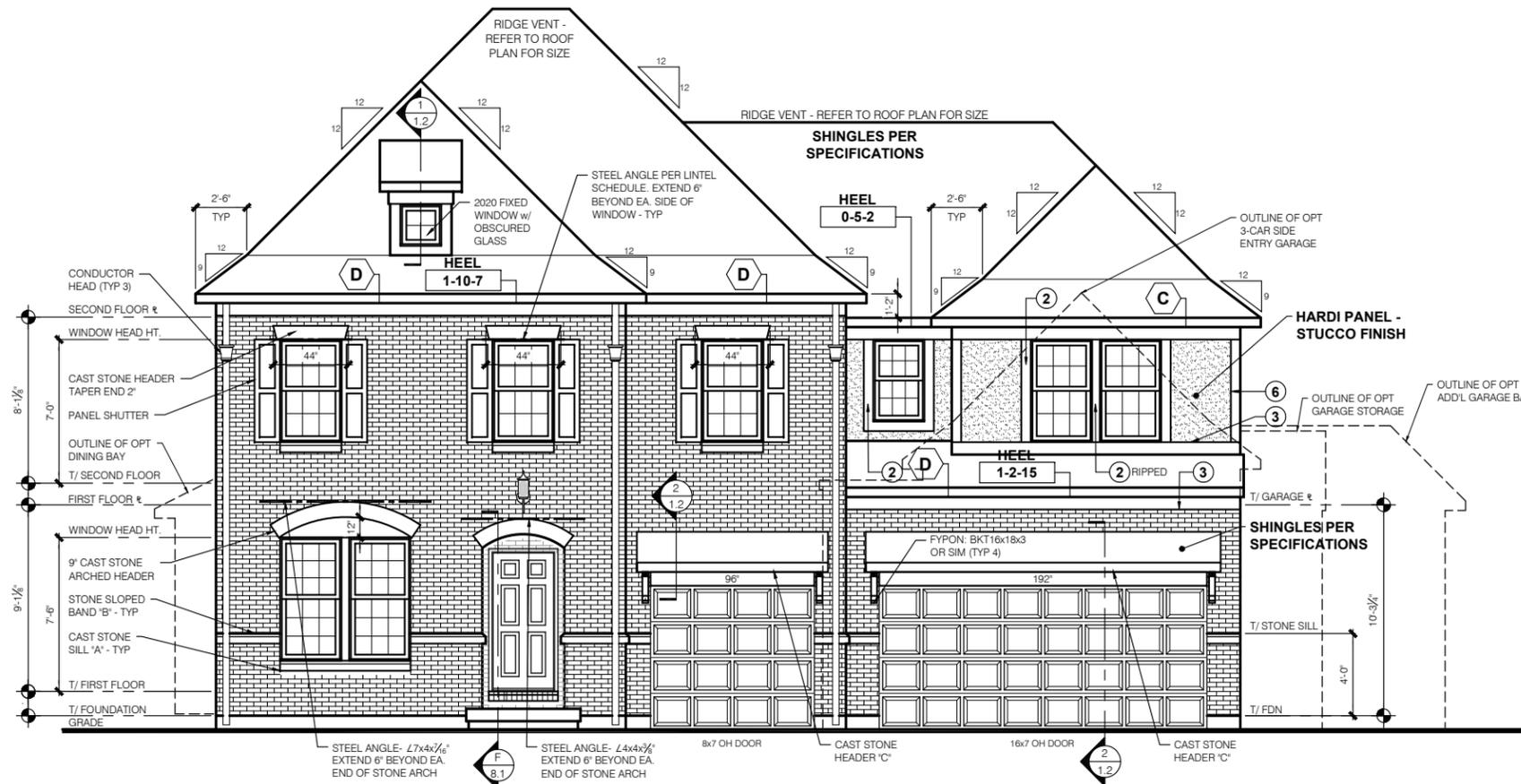
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LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

Sheet:
1.2H

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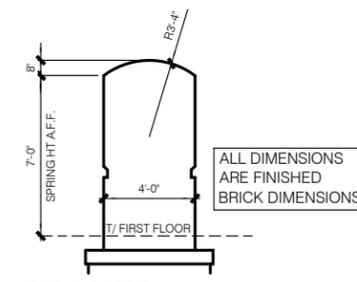
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**ELEVATION "J"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



ARCHED ENTRY DETAIL

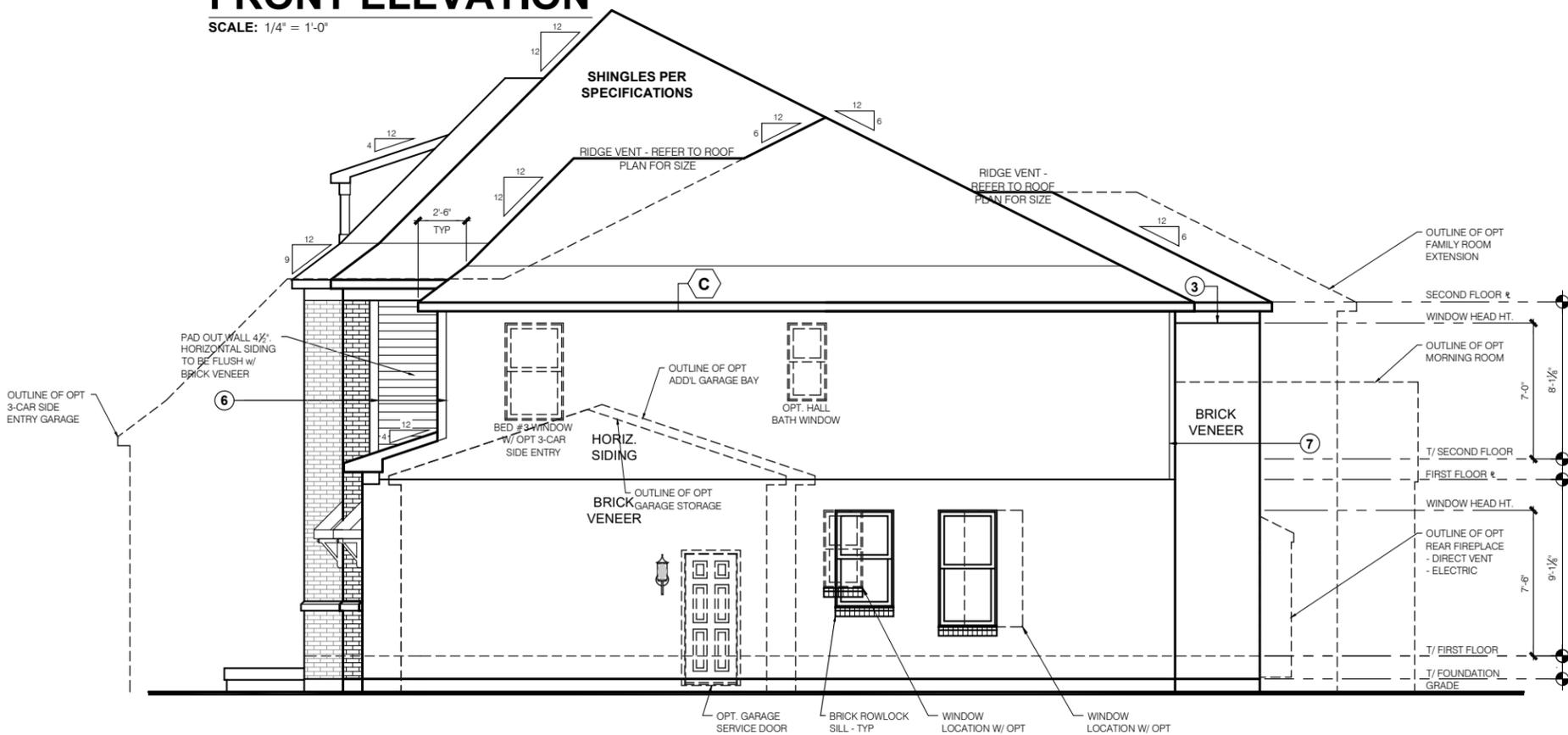
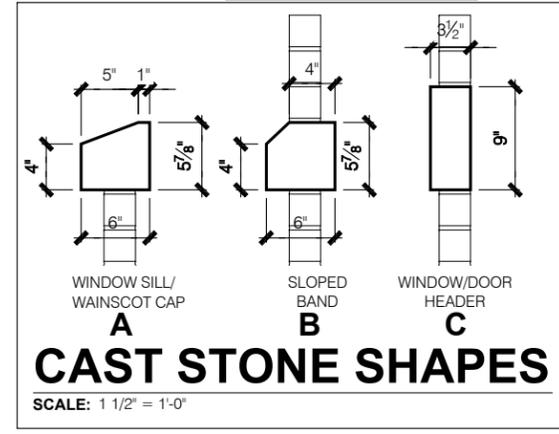
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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⑤	= 12" TRIM
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NOTES:
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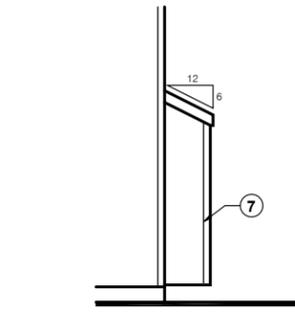
SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE



**ELEVATION "J"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT REAR FIREPLACE
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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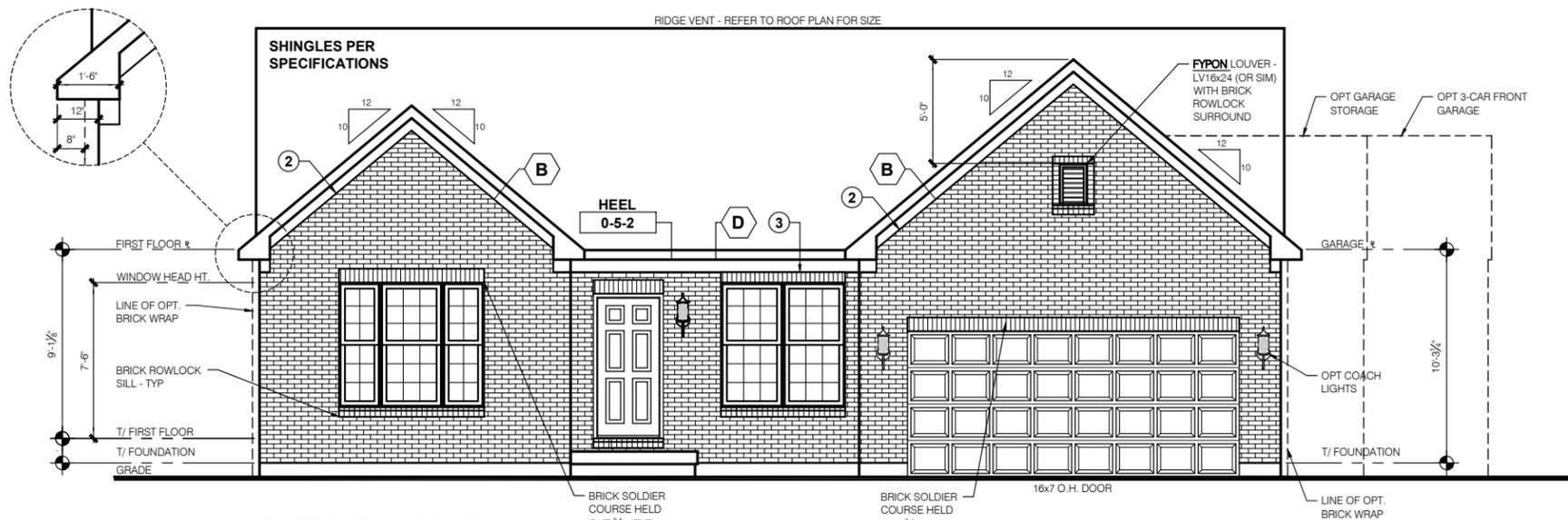
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11x17 PRINTS ARE 1/2" SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage Elevations

Sheet:
1.0J



**ELEVATION "A"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

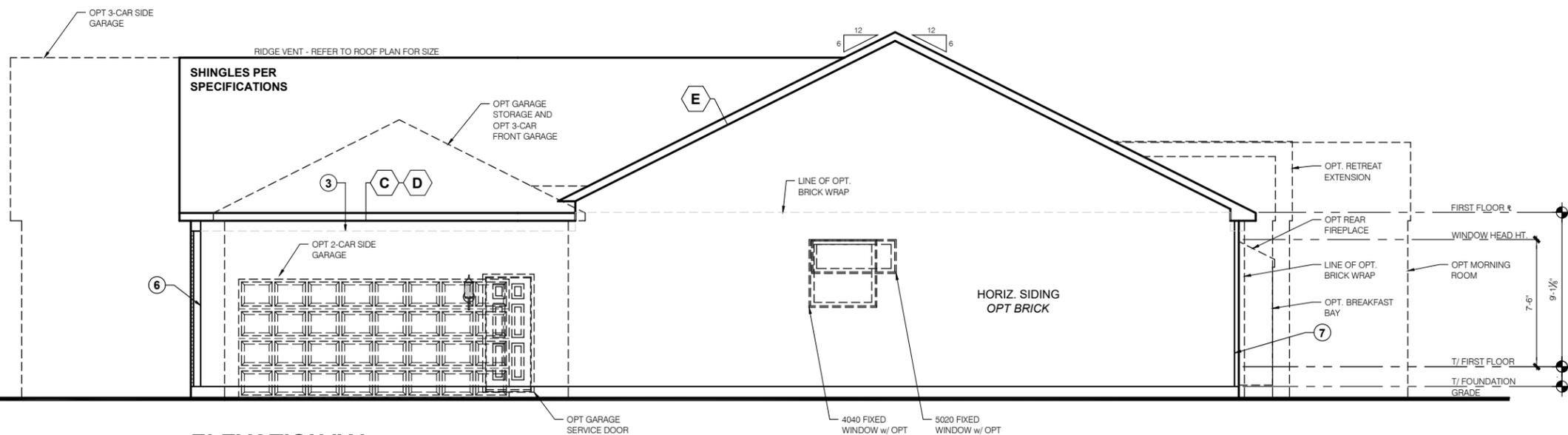
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DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
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**ELEVATION "A"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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2-1-24

11x17 PRINTS ARE 1/2 SCALE

Job #: ---
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
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 Side Elevations

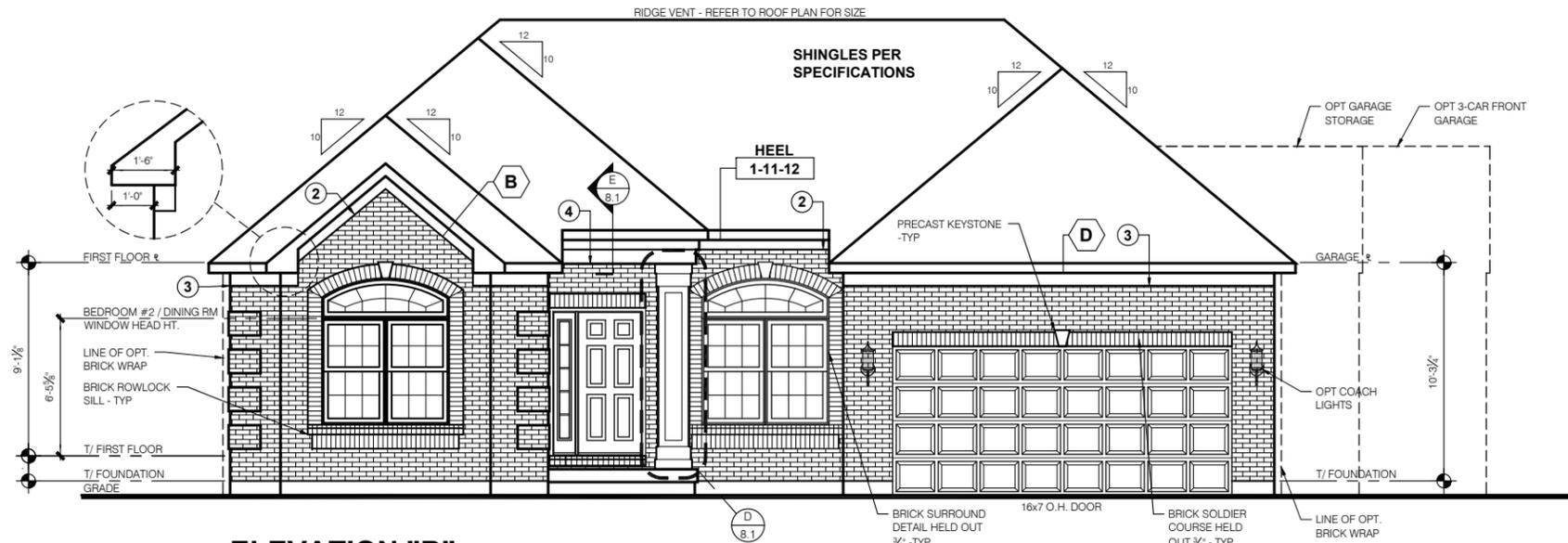
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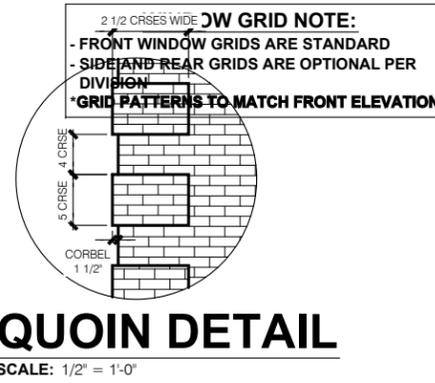
NO BONUS ROOM

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**ELEVATION "B"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



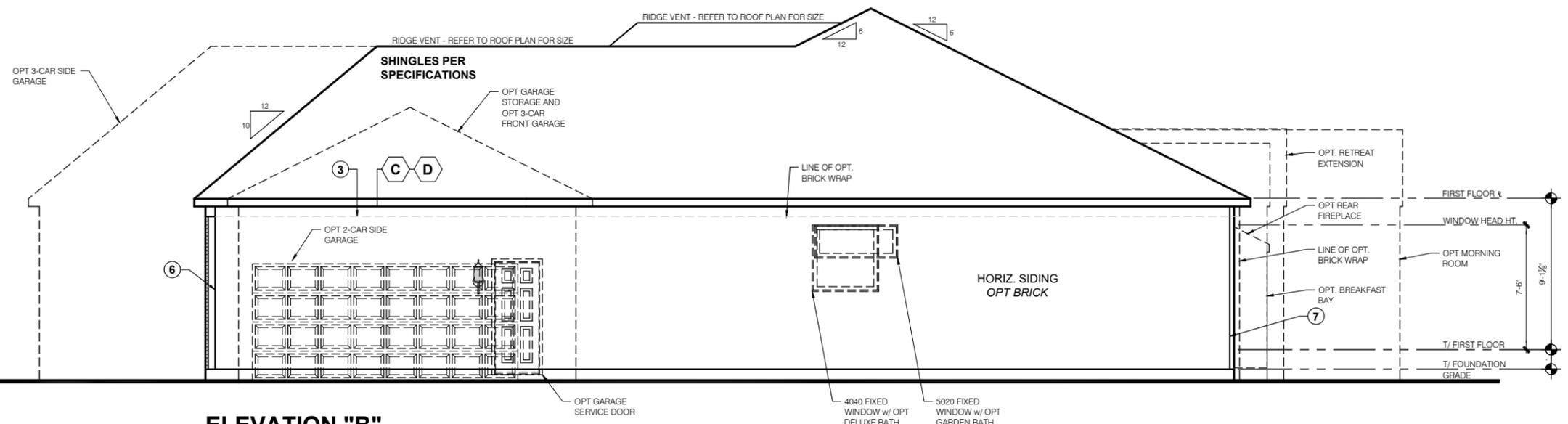
QUOIN DETAIL
SCALE: 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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SEE SHEET D1.0 FOR EAVE DETAILS

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**ELEVATION "B"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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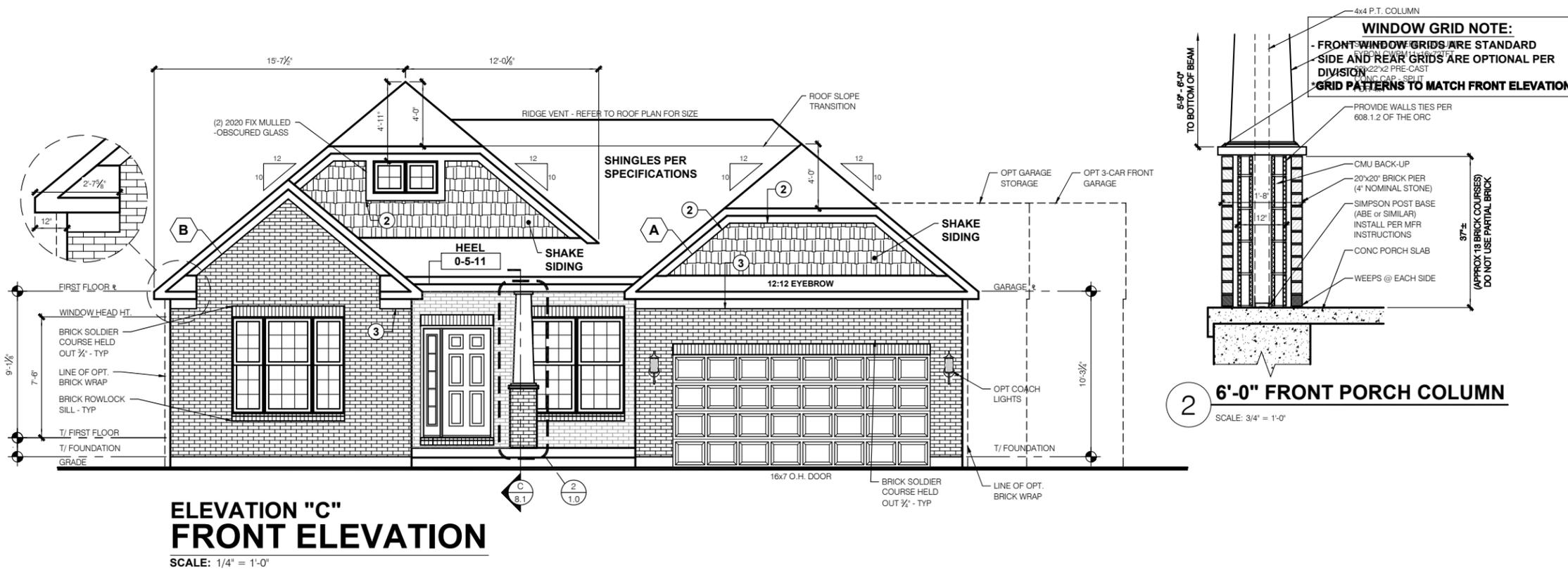
Cheswicke
FINAL
2-1-24

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Side Elevations

Sheet:

1.0B

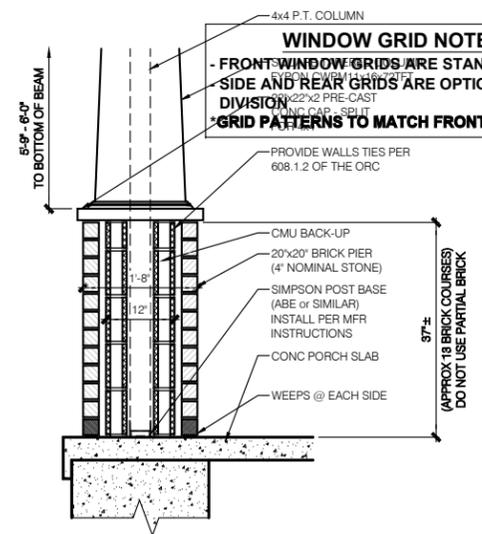
NO BONUS ROOM



**ELEVATION "C"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

2 6'-0" FRONT PORCH COLUMN
SCALE: 3/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
- GRID PATTERNS TO MATCH FRONT ELEVATION



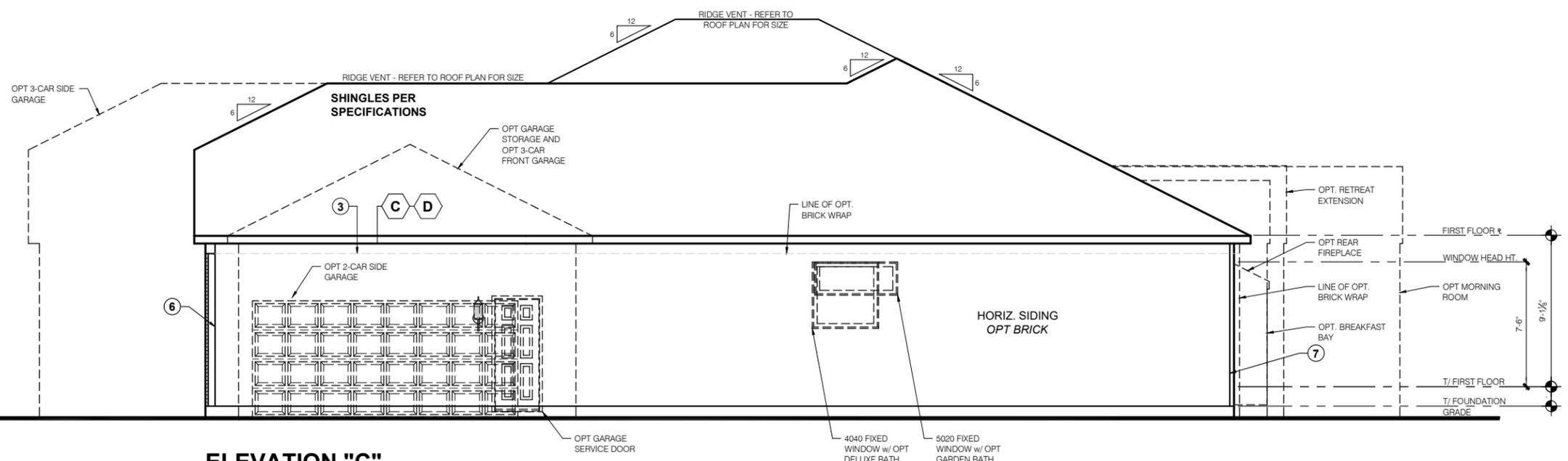
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**ELEVATION "C"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

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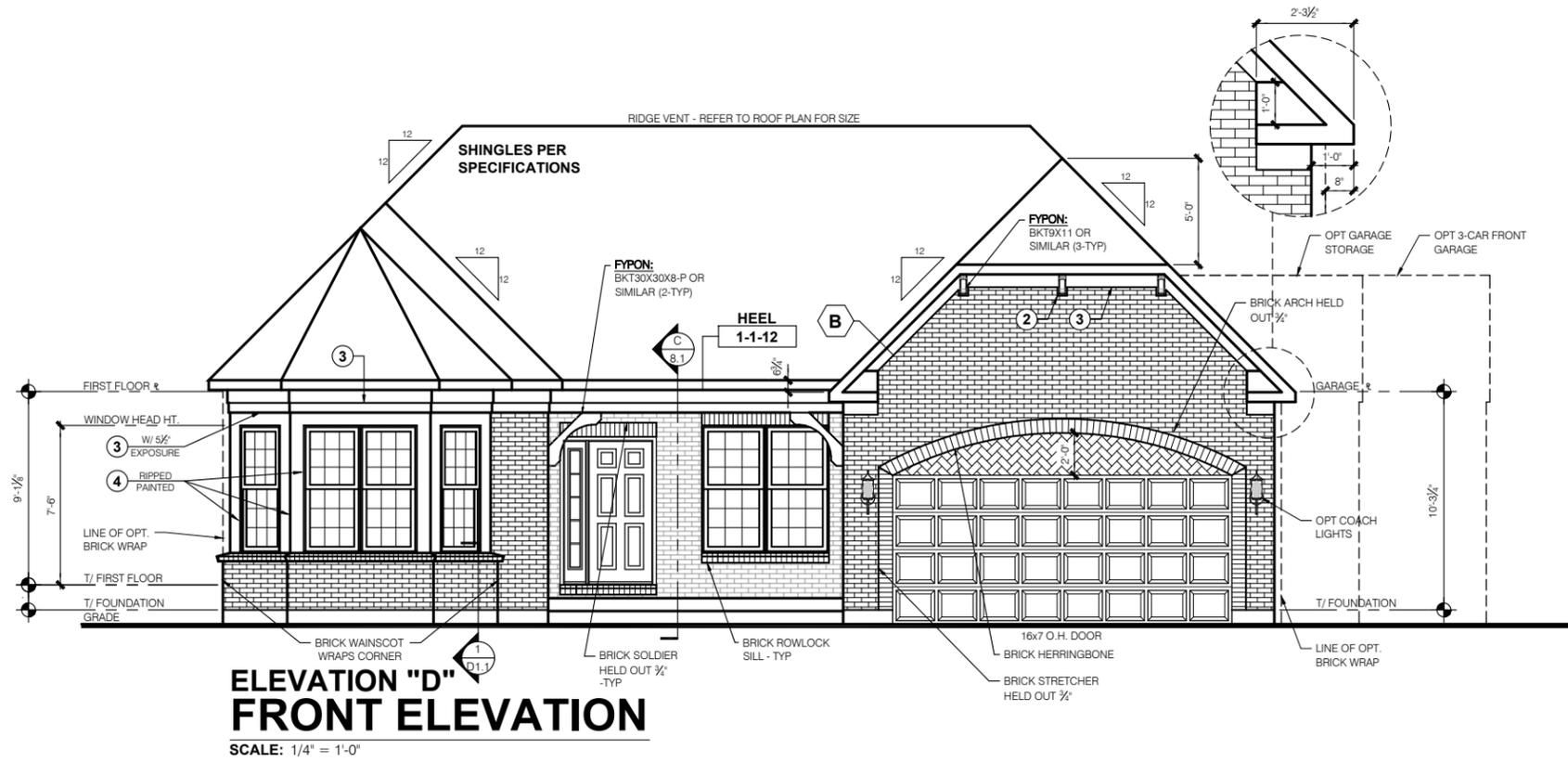
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FINAL
2-1-24

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Side Elevations

Sheet:
1.0C

NO BONUS ROOM



**ELEVATION "D"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

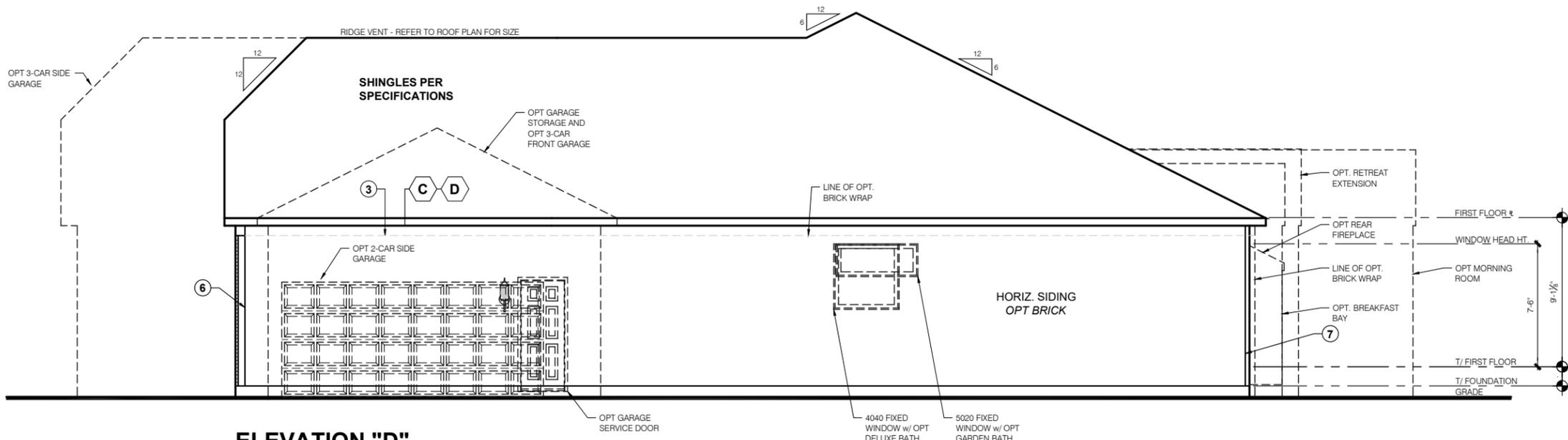
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



**ELEVATION "D"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

NO BONUS ROOM

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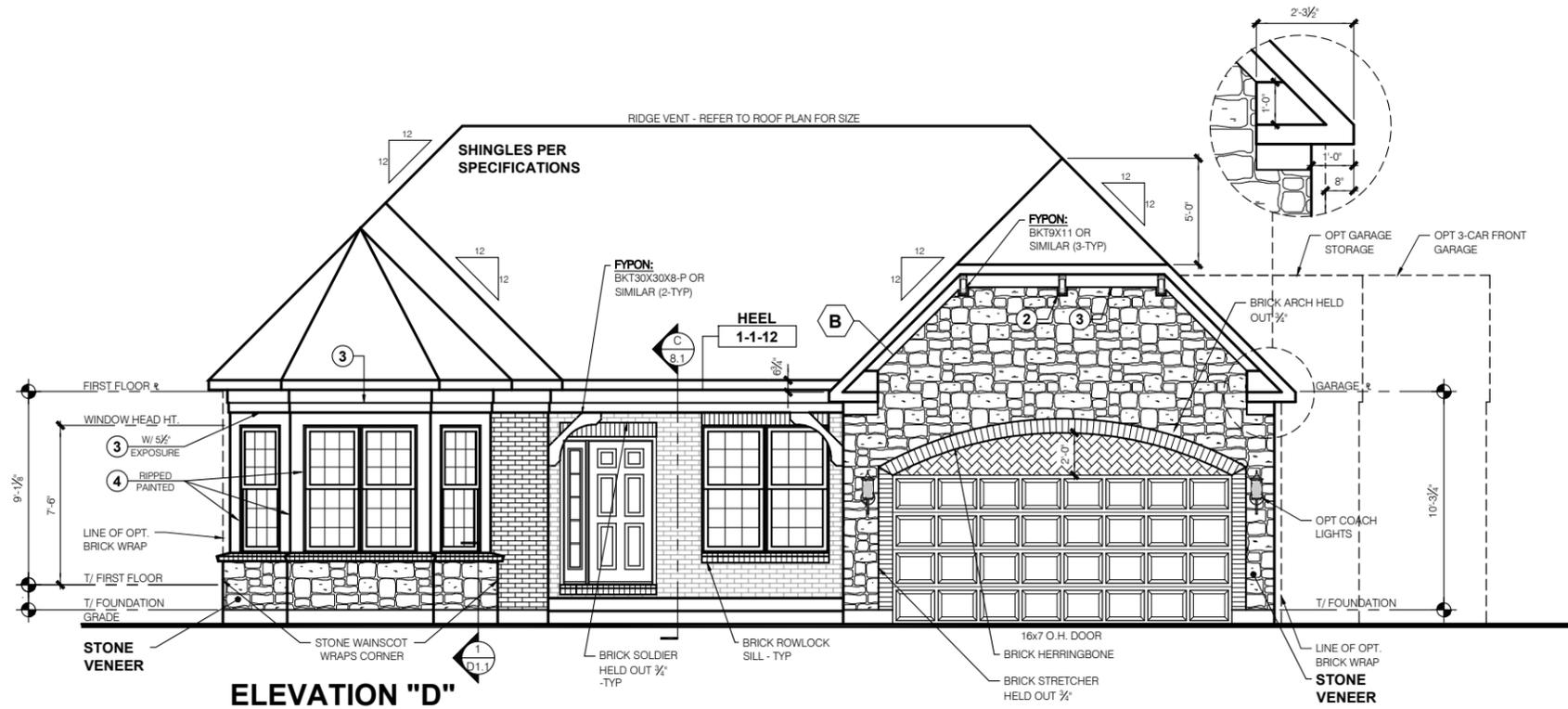
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11x17 PRINTS ARE 1/2 SCALE

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2-1-24

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Side Elevations

Sheet:
1.0D



ELEVATION "D"
OPT BRICK & STONE
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

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11x17 PRINTS ARE 1/2 SCALE

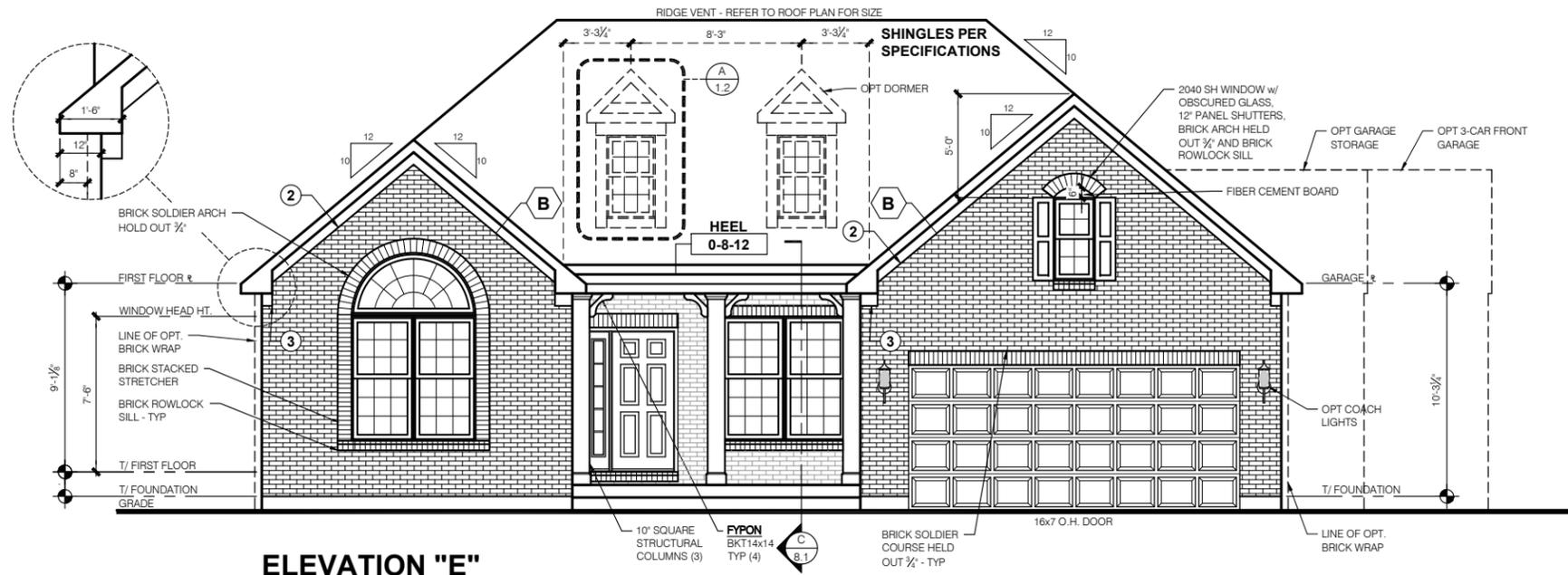
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LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title :	Front Elevation Options

Sheet:
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**ELEVATION "E"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

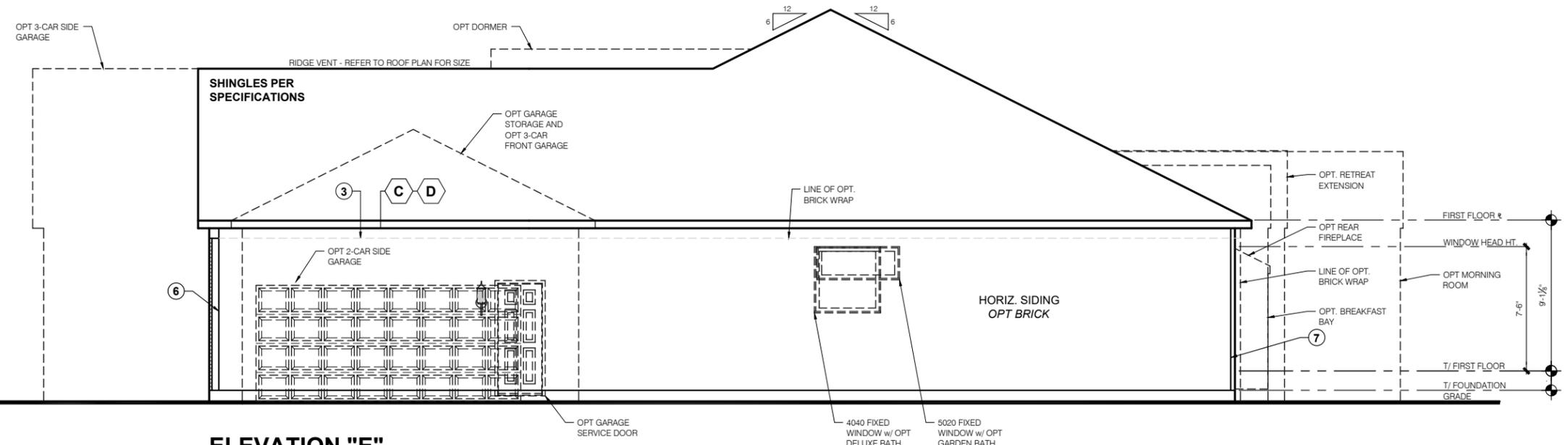
TYPICAL EXTERIOR TRIM FINISH
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SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE



**ELEVATION "E"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

NO BONUS ROOM

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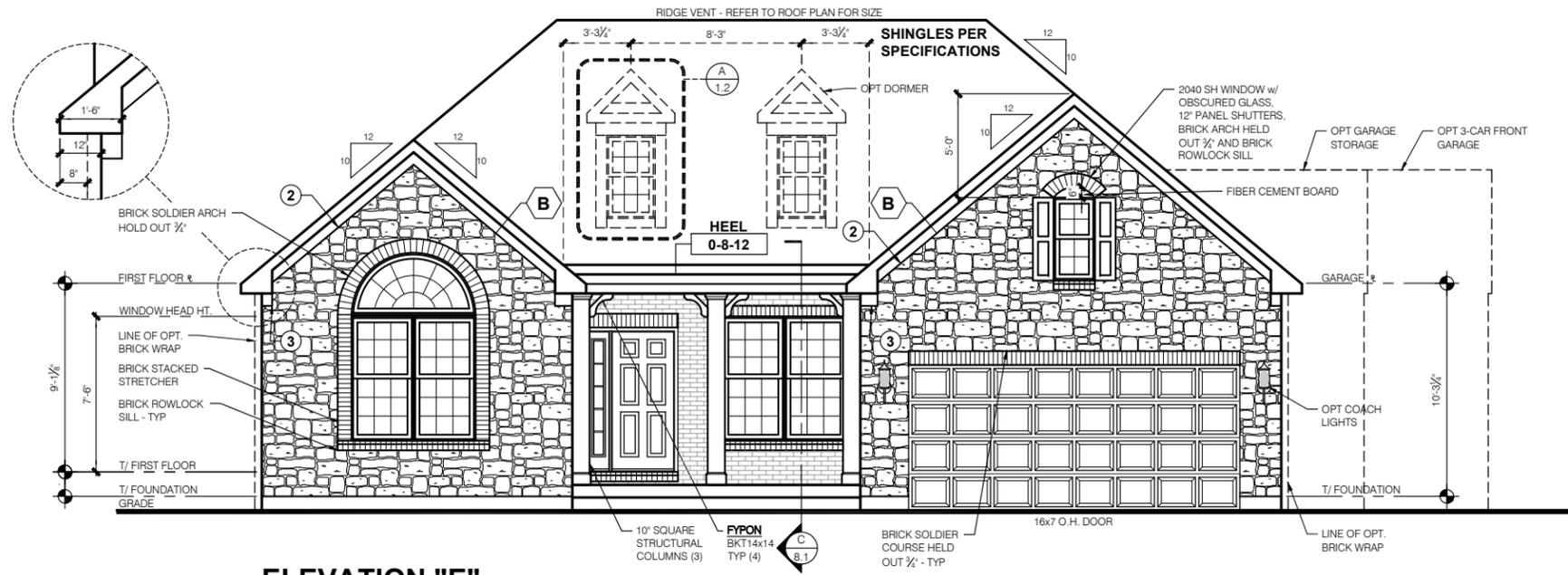
11x17 PRINTS ARE 1/2 SCALE

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 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Elevations

Sheet:

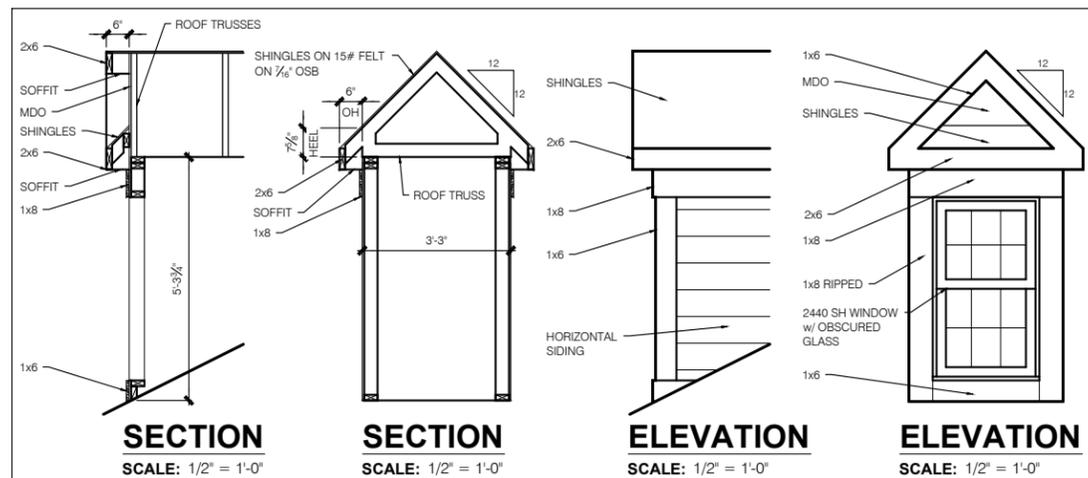
1.0E



**ELEVATION "E"
OPT BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



A OPT DORMER DETAIL

SCALE: 1/2" = 1'-0"

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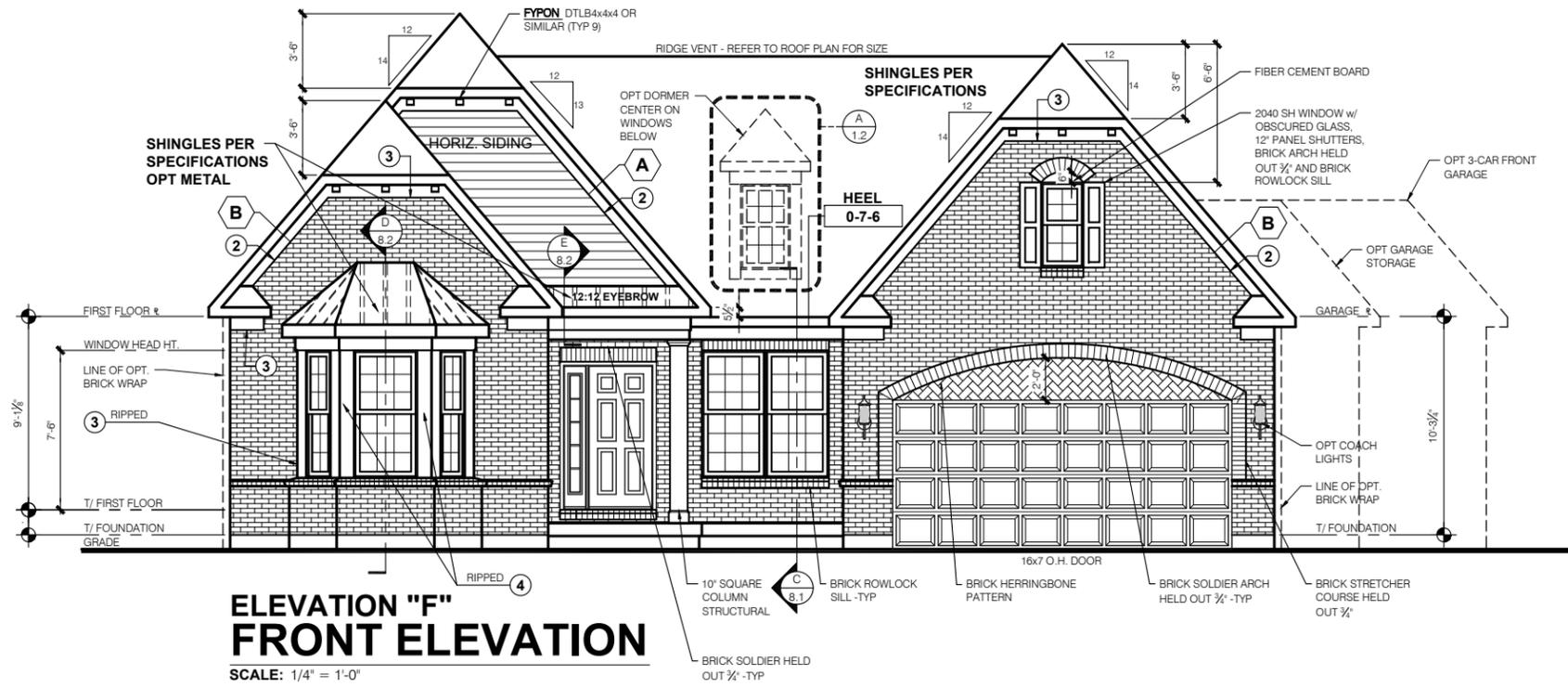


Cheswicke
FINAL
2-1-24

11x17 PRINTS ARE 1/2" SCALE

Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Options

Sheet:
1.2E



**ELEVATION "F"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

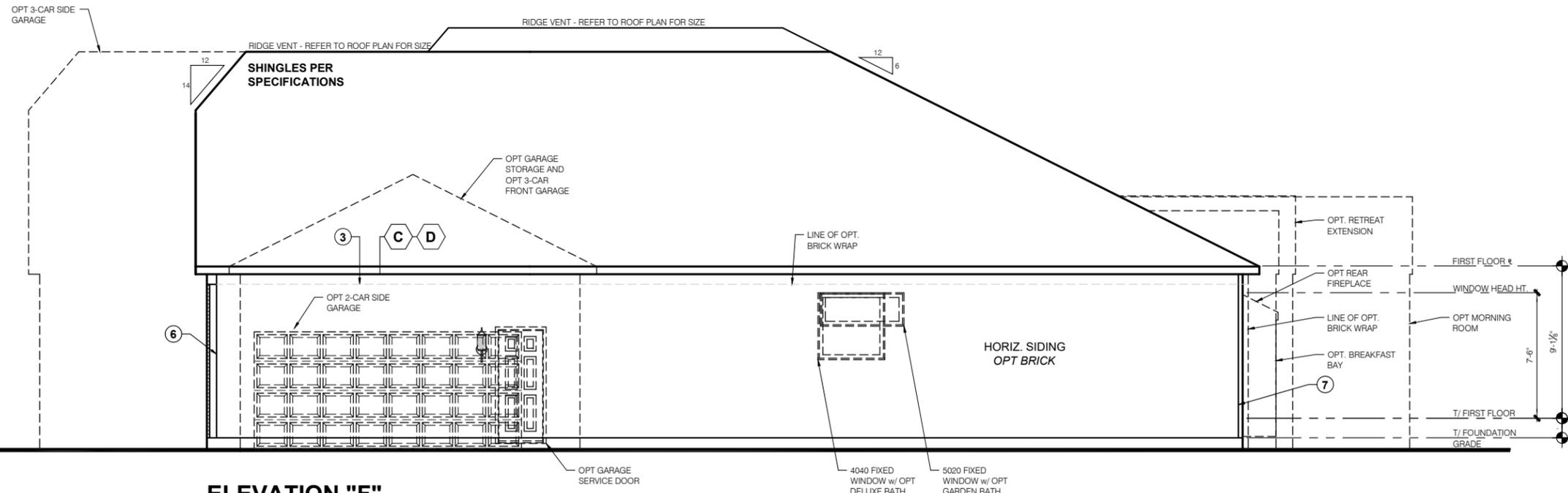
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
- ⑦ REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



**ELEVATION "F"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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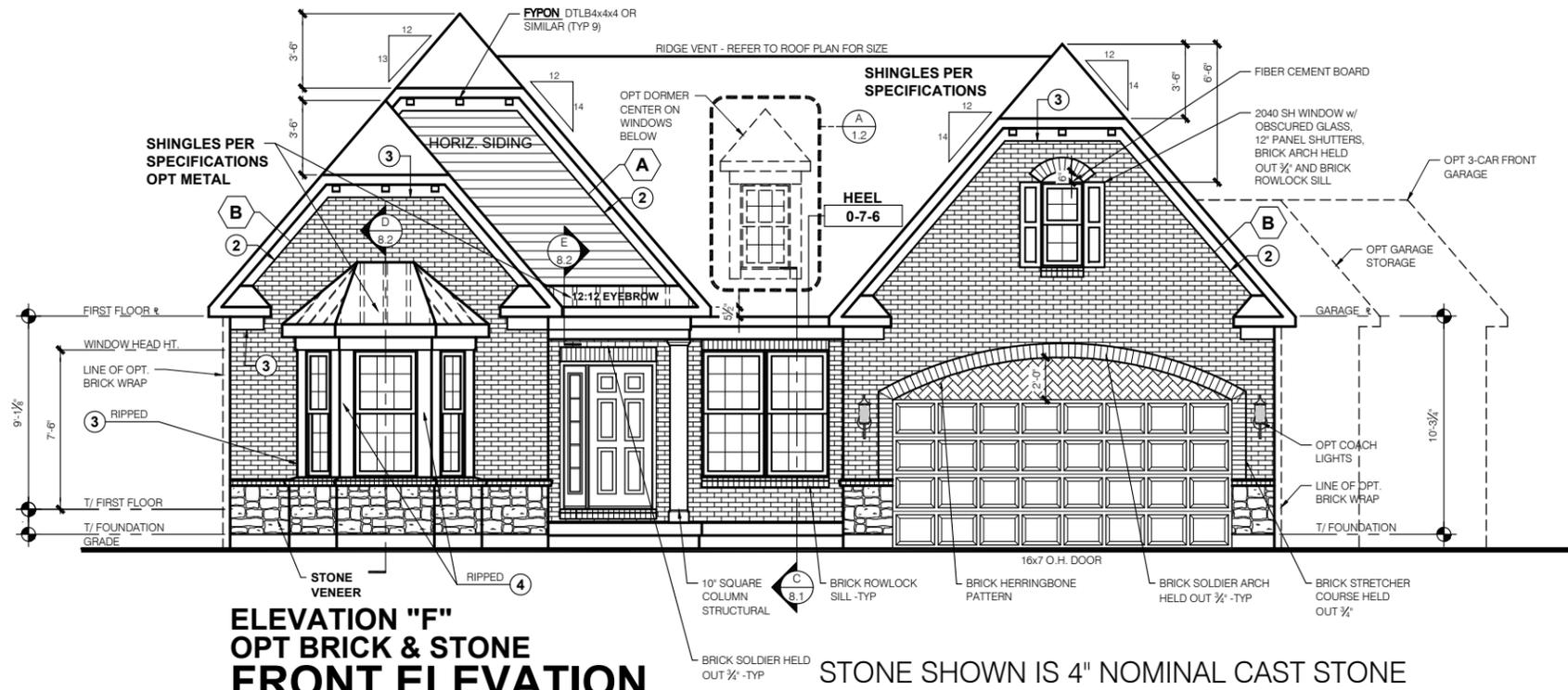
11x17 PRINTS ARE 1/2 SCALE

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FINAL
2-1-24

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LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

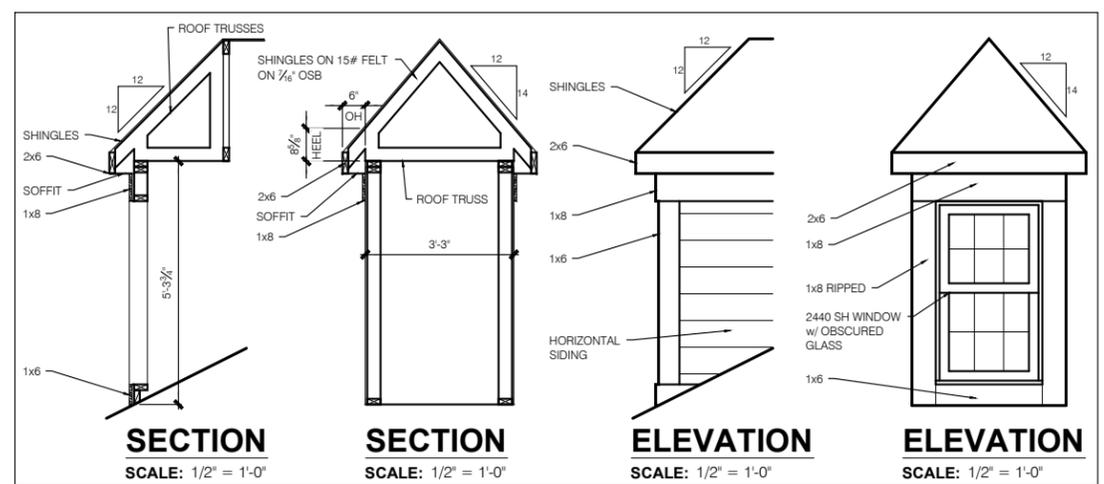
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1.0F

NO BONUS ROOM



**ELEVATION "F"
OPT BRICK & STONE
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



A OPT DORMER DETAIL
SCALE: 1/2" = 1'-0"

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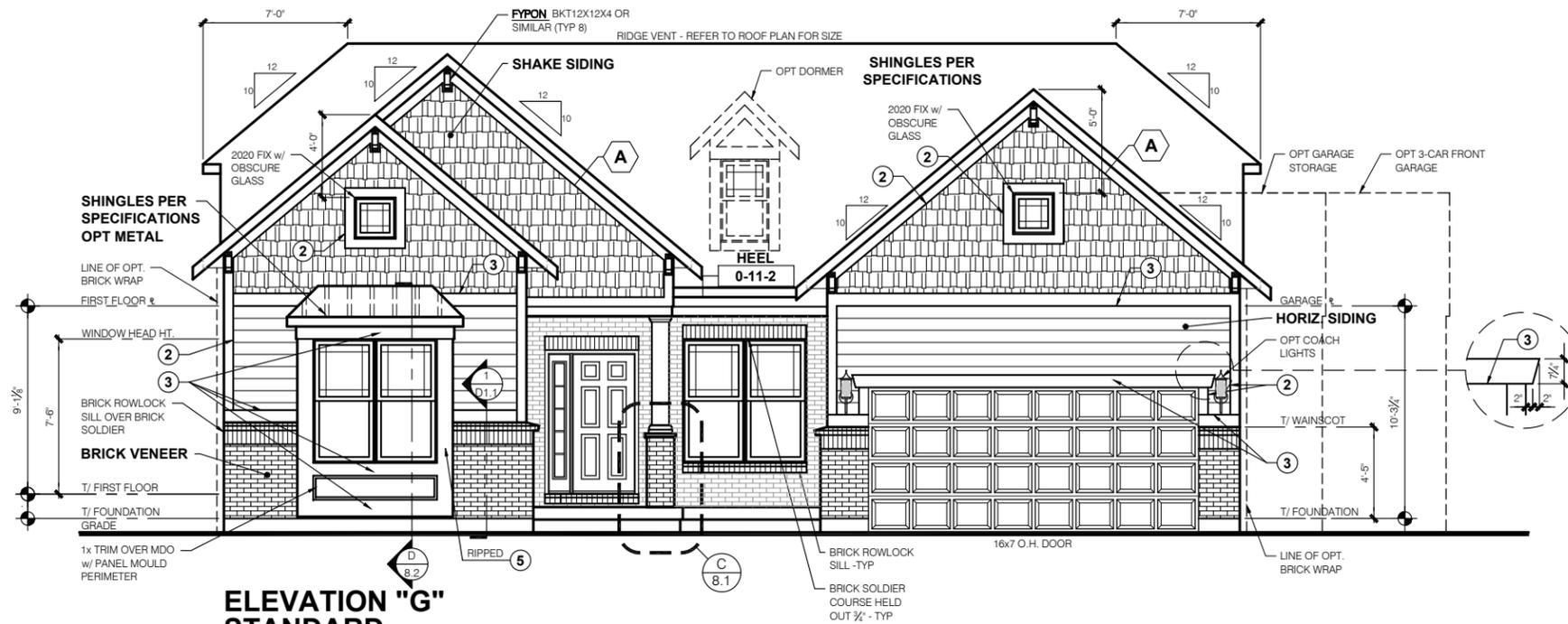


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11x17 PRINTS ARE 1/2 SCALE

Job #:	---
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LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Options

Sheet:
1.1F



**ELEVATION "G"
STANDARD
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

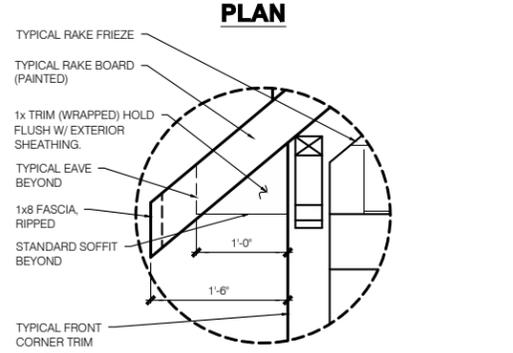
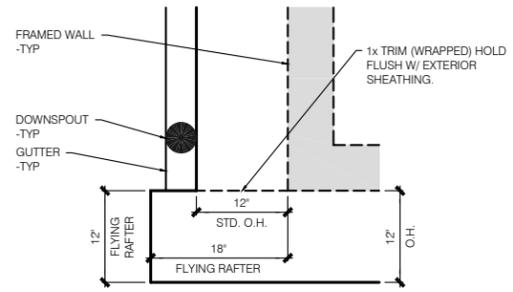
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
- ⑦ REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

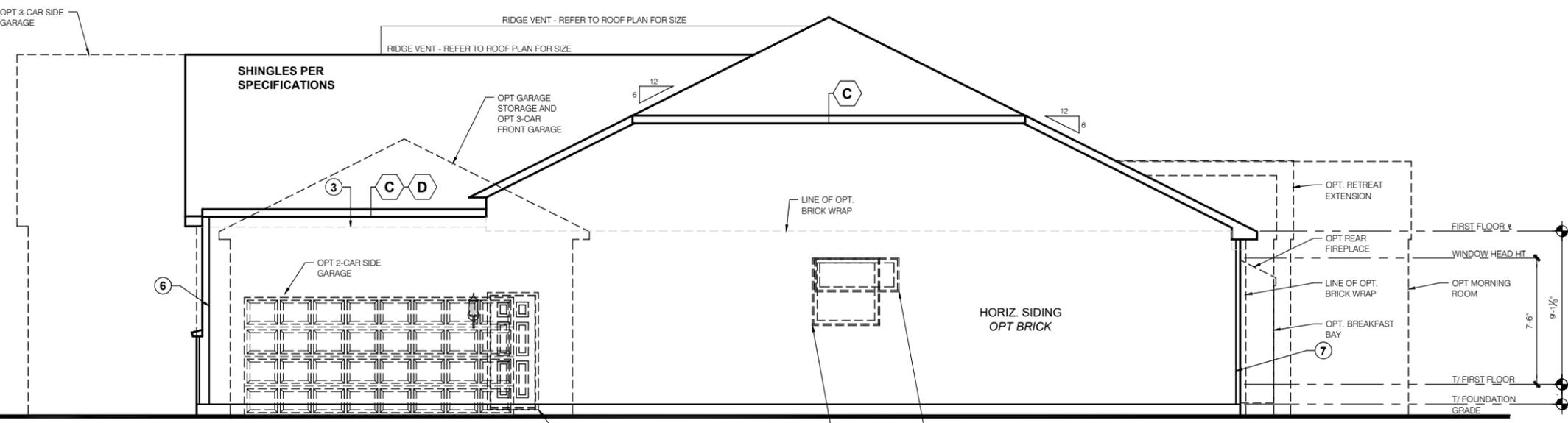
DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



1 FLYING RAFTER DETAIL
SCALE: 1" = 1'-0"



**ELEVATION "G"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

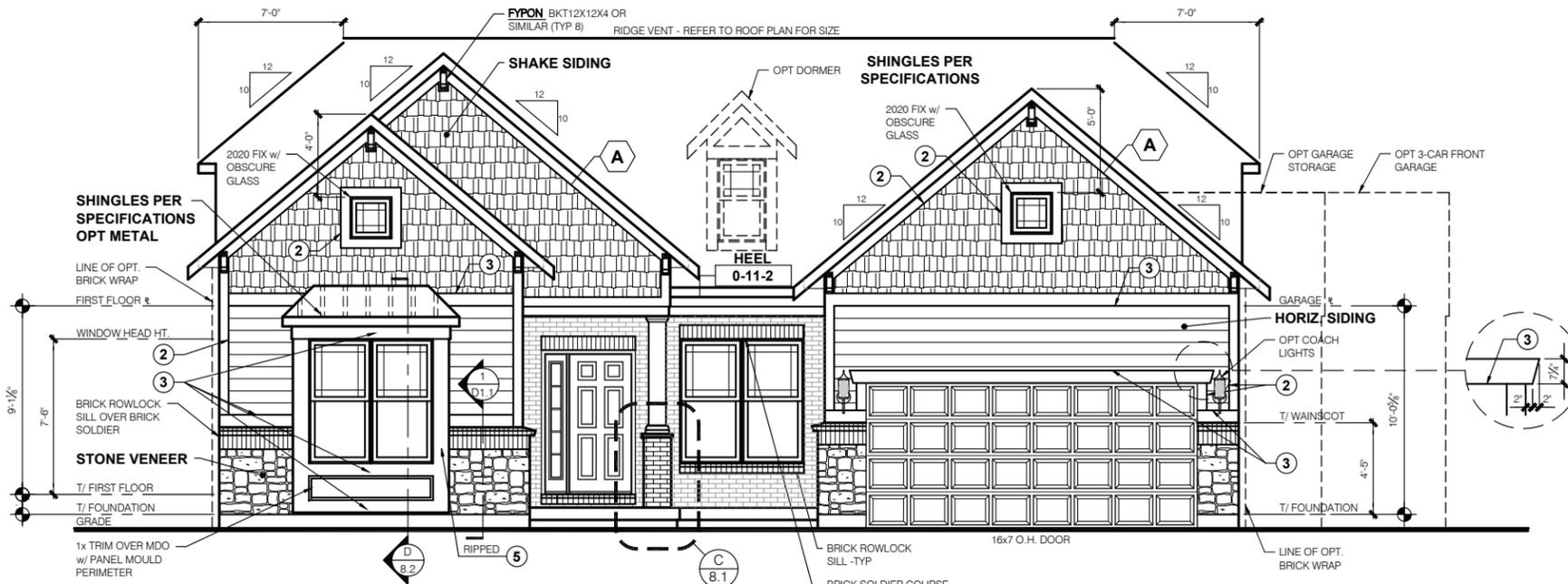
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Sheet Title :
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Elevations

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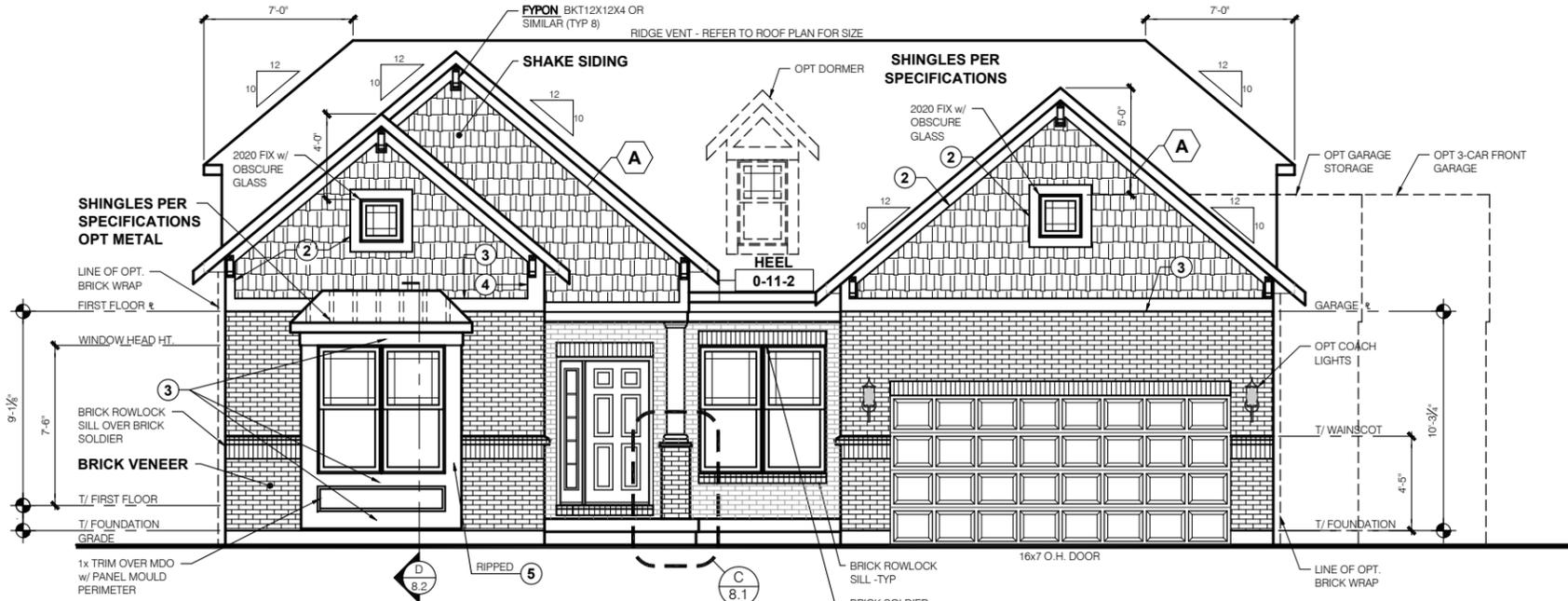
NO BONUS ROOM



**ELEVATION "G"
STONE WAINSCOT
FRONT ELEVATION**

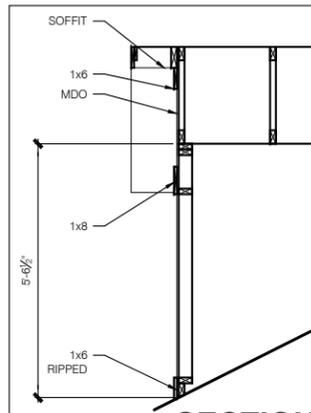
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

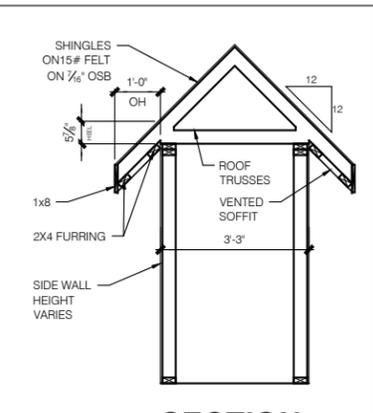


**ELEVATION "G"
BRICK FRONT
FRONT ELEVATION**

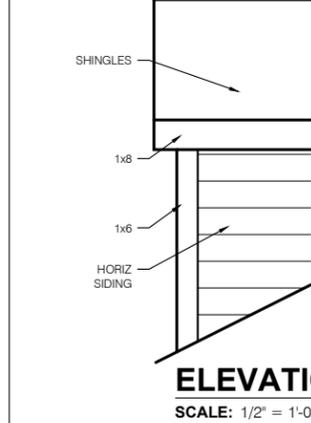
SCALE: 1/4" = 1'-0"



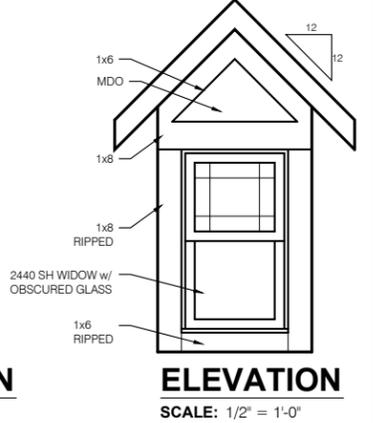
SECTION
SCALE: 1/2" = 1'-0"



SECTION
SCALE: 1/2" = 1'-0"



ELEVATION
SCALE: 1/2" = 1'-0"



ELEVATION
SCALE: 1/2" = 1'-0"

A OPT DORMER DETAIL
SCALE: 1/2" = 1'-0"

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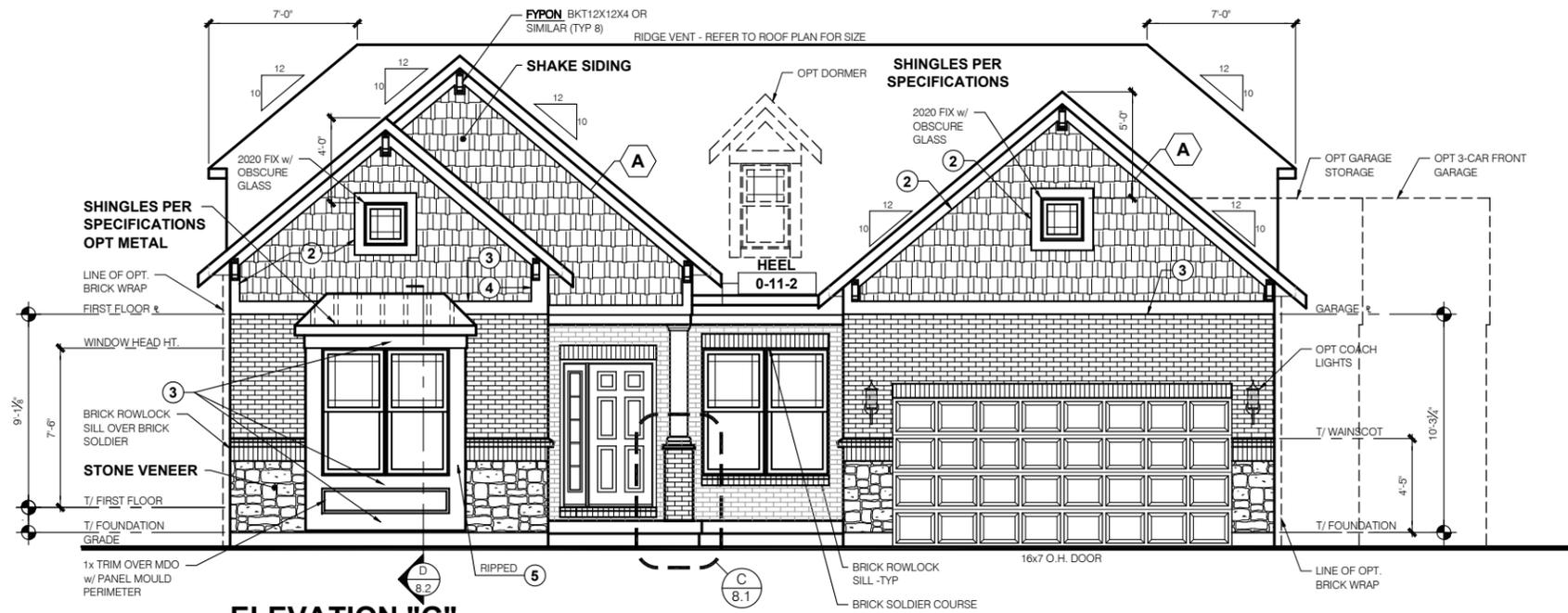
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11x17 PRINTS ARE 1/2 SCALE

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Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Options - 1

Sheet:
1.2G



**ELEVATION "G"
BRICK & STONE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

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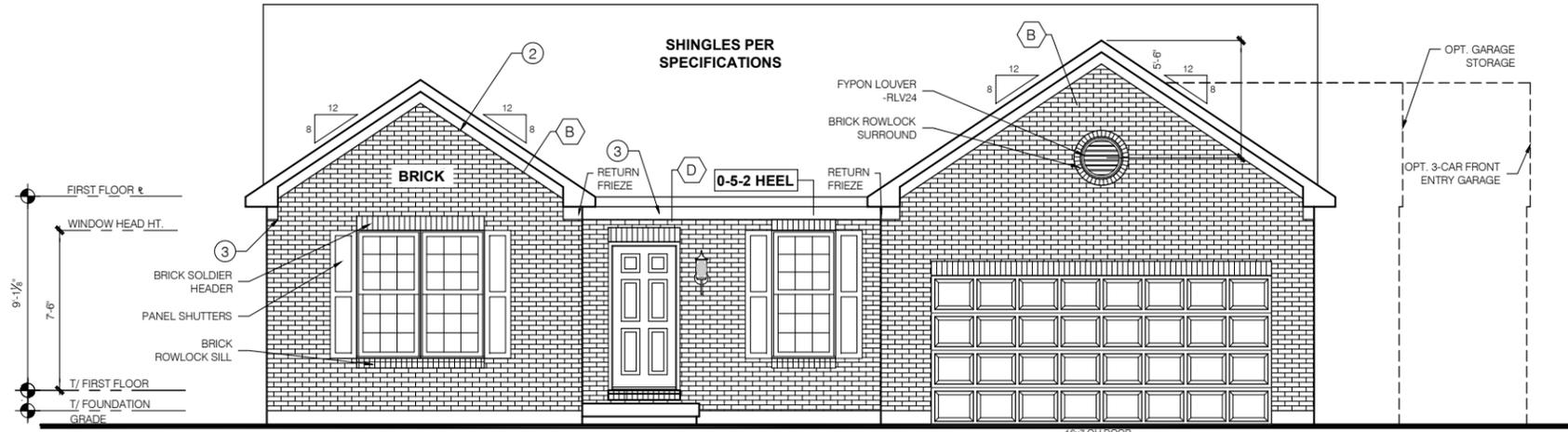
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LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Options - 2

Sheet:
1.3G



ELEVATION "A"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

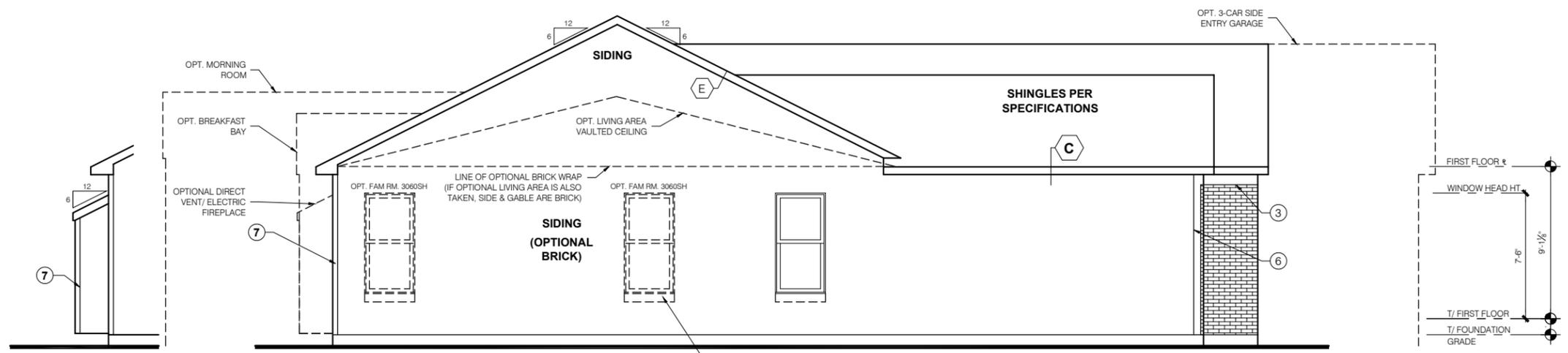
1	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
 IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES: WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	6"				
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x3/8"	6"
16'-11"	5"x3 1/2"x3/8"	6"x3 1/2"x3/8"	7"x4"x3/8"	7"x4"x3/8"	8"x4"x1/2"	6"



REAR DIRECT
VENT/ ELECTRIC
FIREPLACE

WITH 9' PLATE
SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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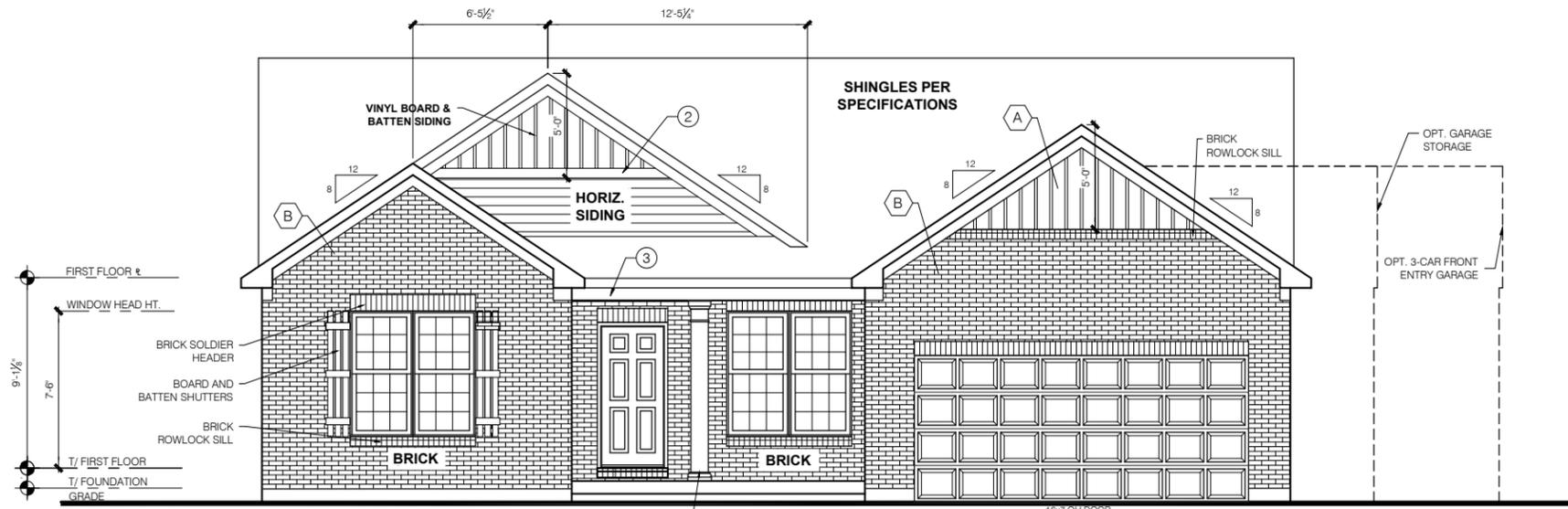
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 FINAL
 8-14-2023

11x17 PRINTS ARE 1/2" SCALE

Client: New Kitchens
 LSP Date: Date-Start
 LSP By: Name
 LSP Rev: ---
 Sheet Title :
 Front and Side
 Elevations

Sheet:
1.0A



ELEVATION "B"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

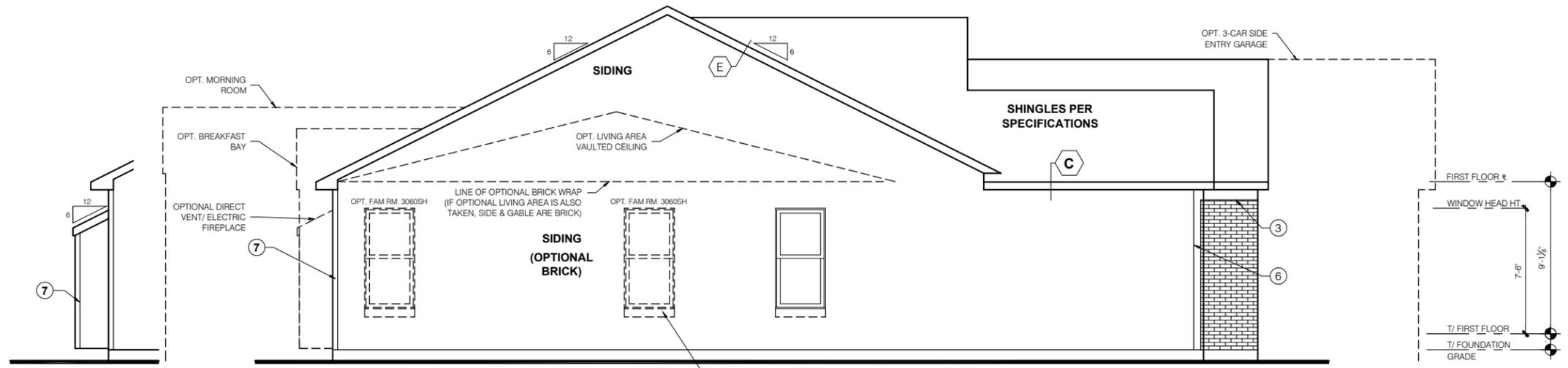
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2" x 3 1/2" x 1/4"	6"				
8'-11"	3 1/2" x 3 1/2" x 1/4"	3 1/2" x 3 1/2" x 1/4"	3 1/2" x 3 1/2" x 1/4"	4" x 3 1/2" x 1/4"	5" x 3 1/2" x 3/8"	6"
16'-11"	5" x 3 1/2" x 3/8"	6" x 3 1/2" x 3/8"	7" x 4" x 3/8"	7" x 4" x 3/8"	8" x 4" x 1/2"	6"



REAR DIRECT VENT/ ELECTRIC FIREPLACE

WITH 9' PLATE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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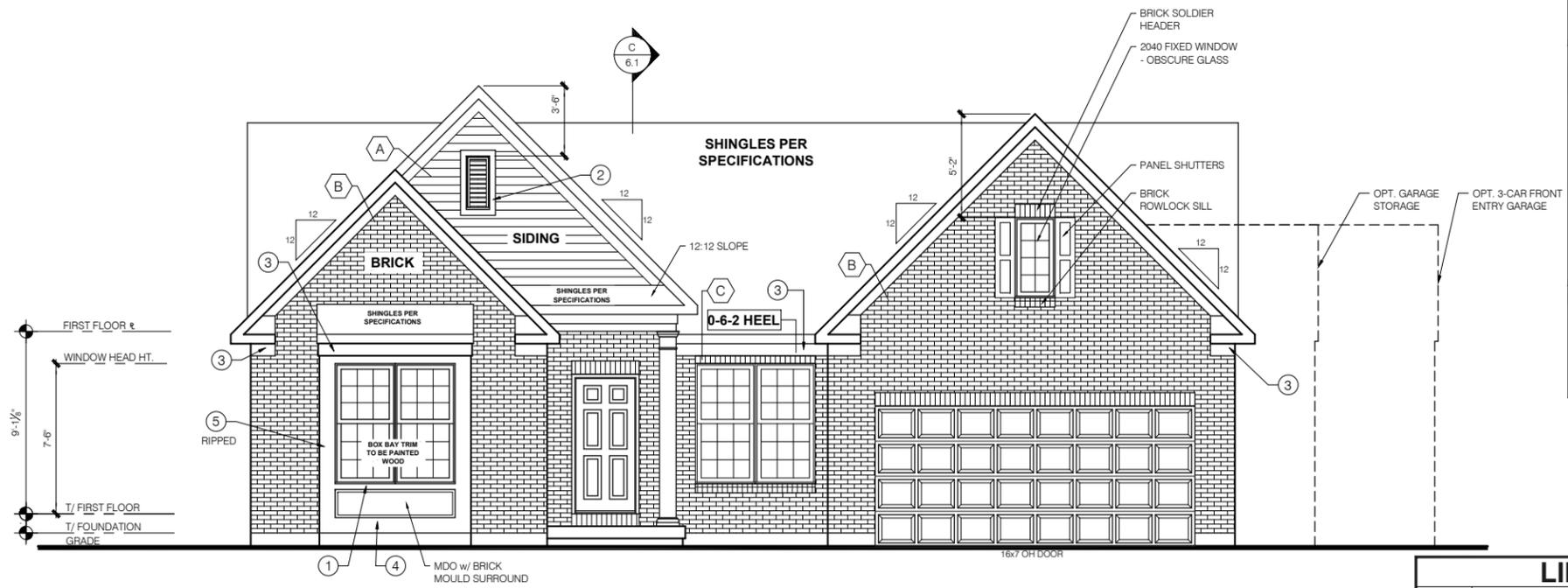
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11x17 PRINTS ARE 1/2" SCALE

Clayton
 FINAL
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Project: New Kitchens
 LSP Date: Date-Start
 LSP By: Name
 LSP Rev: ---
 Sheet Title :
 Front and Side Elevations
 Sheet:
1.0B



ELEVATION "C"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

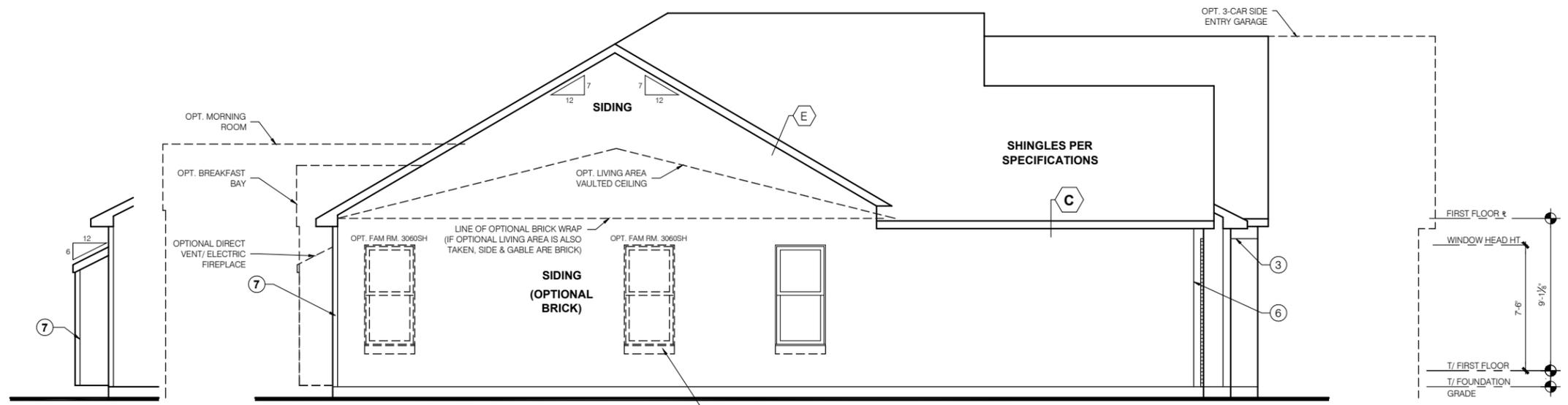
1	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	6"				
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x3/8"	6"
16'-11"	5"x3 1/2"x3/8"	6"x3 1/2"x3/8"	7"x4"x3/8"	7"x4"x3/8"	8"x4"x1/2"	6"



REAR DIRECT VENT/ ELECTRIC FIREPLACE

WITH 9' PLATE
SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

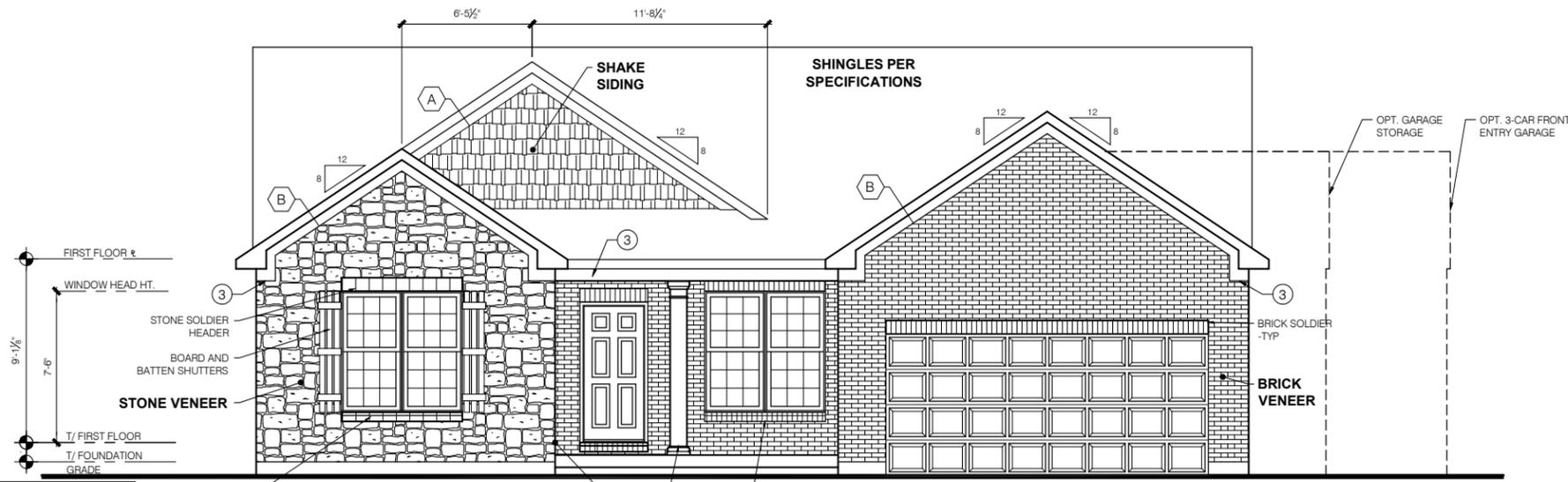
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11x17 PRINTS ARE 1/2 SCALE

Client:	New Kitchens
LSP Date:	Date-Start
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Sheet Title:	Front and Side Elevations
Sheet:	1.0C



TYPICAL EXTERIOR TRIM FINISH
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1	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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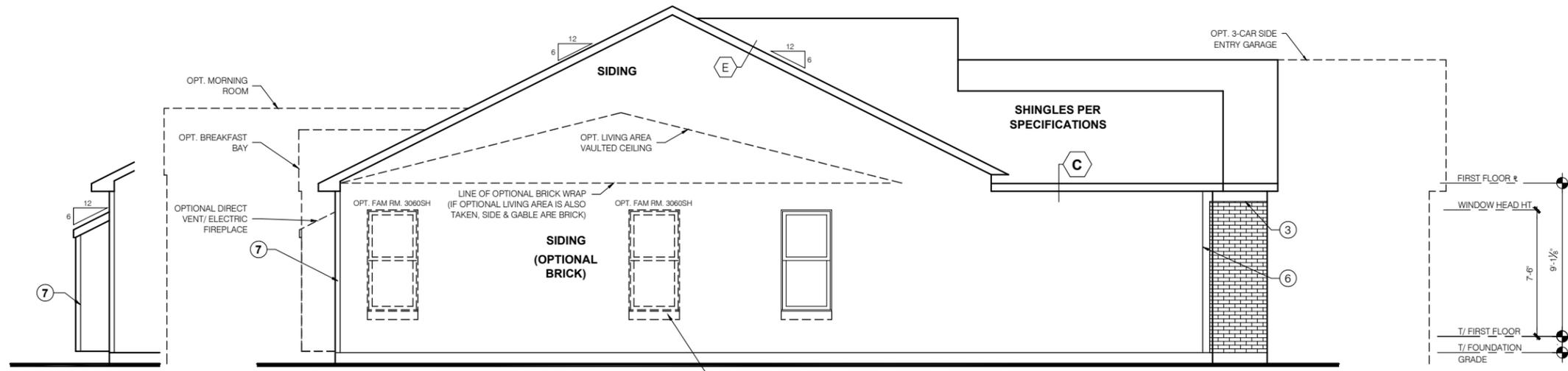
- STONE VENEER INSTALLATION NOTES:**
1. APPLY OSB SHEATHING TO ALL AREAS THAT WILL HAVE STONE APPLIED.
 2. INSTALL AND FLASH ALL WINDOWS AND DOORS. FLASHING SHOULD EXTEND PAST ANY TRIM THAT WILL BE APPLIED LATER.
 3. APPLY ICE AND WATER SHIELD TO ALL INSIDE AND OUTSIDE CORNERS THAT WILL HAVE STONE ADJACENT TO THEM. EXTEND TO 18" EACH SIDE OF CORNER.
 4. INSTALL WEEP SCREEN BELOW BOTTOM COURSE OF STONE
 5. APPLY 2 LAYERS TYVEK OR OTHER WEATHER PROOF MEMBRANE OVER OSB AND ICE AND WATER SHIELD. LAP OVER WEEP SCREEN FLANGE
 6. APPLY METAL LATH AND SCRATCH COAT OF MORTAR.
 7. INSTALL ALL TRIM, FYPONS, ETC.. OVER SCRATCH COAT. INSTALL PRESSURE TREATED BLOCKS SO THAT SHUTTERS ARE ON TOP OF STONE.
 8. INSTALL STONE VENEER.

**ELEVATION "D"
 BRICK FRONT W/ 9' PLATE
 FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2" x 3 1/2" x 1/2"	6"				
8'-11"	3 1/2" x 3 1/2" x 1/2"	3 1/2" x 3 1/2" x 1/2"	3 1/2" x 3 1/2" x 1/2"	4" x 3 1/2" x 1/2"	5" x 3 1/2" x 1/2"	6"
16'-11"	5" x 3 1/2" x 1/2"	6" x 3 1/2" x 1/2"	7" x 4" x 3/8"	7" x 4" x 3/8"	8" x 4" x 1/2"	6"

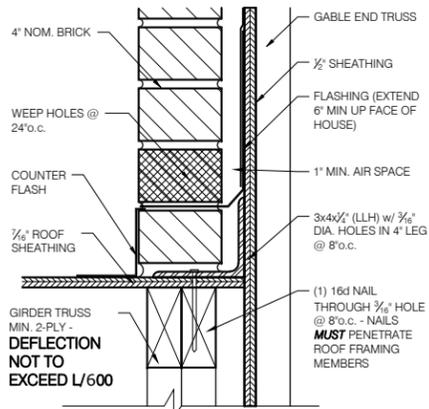


**REAR DIRECT
 VENT/ ELECTRIC
 FIREPLACE**

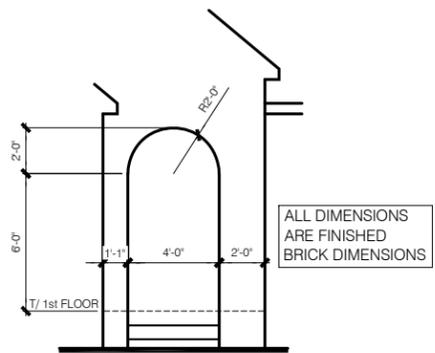
**WITH 9' PLATE
 SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

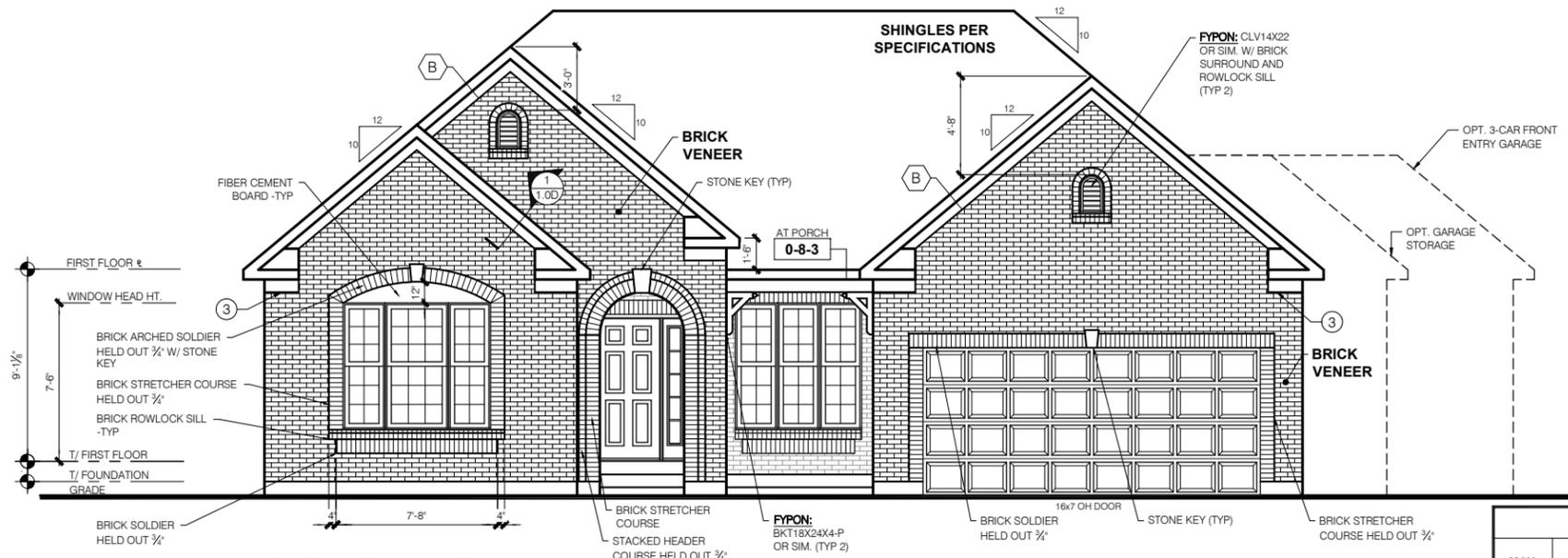
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 LSP Rev: ---
 Sheet Title :
 Front and Side
 Elevations
 Sheet:
 1.0D



1 BRICK GABLE DETAIL
SCALE: 3/8" = 1'-0"



ARCHED ENTRY DETAIL
SCALE: 1/4" = 1'-0"



ELEVATION "E"
BRICK FRONT W/ 9' PLATE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
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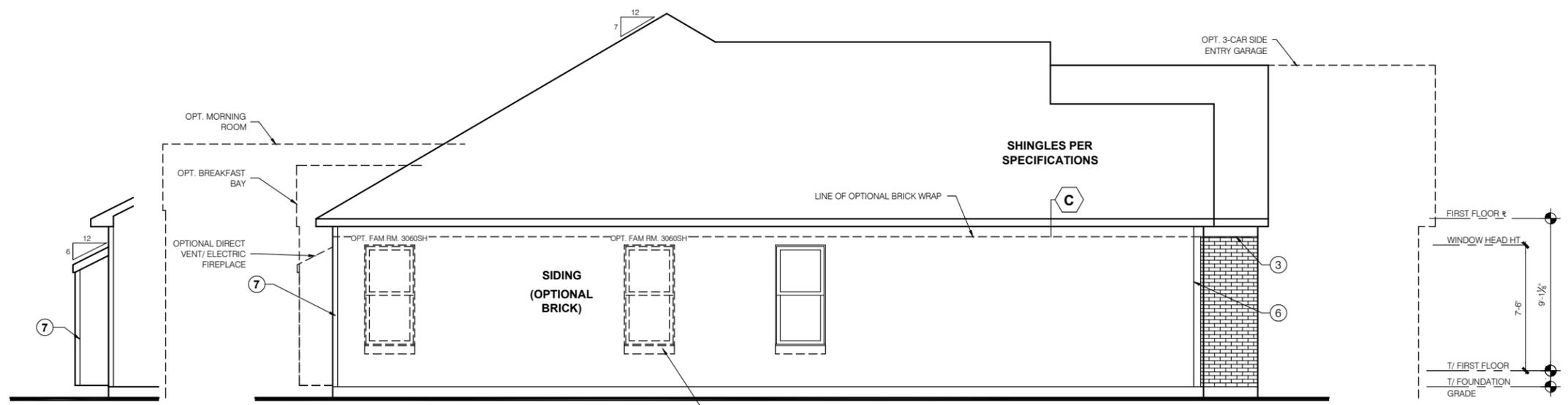
1	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES: WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3'-0"	3 1/2" x 3 1/2" x 1/2"	6"				
8'-11"	3 1/2" x 3 1/2" x 1/2"	3 1/2" x 3 1/2" x 1/2"	3 1/2" x 3 1/2" x 1/2"	4" x 3 1/2" x 1/2"	5" x 3 1/2" x 1/2"	6"
16'-11"	5" x 3 1/2" x 1/2"	6" x 3 1/2" x 1/2"	7" x 4" x 3/8"	7" x 4" x 3/8"	8" x 4" x 1/2"	6"



REAR DIRECT VENT/ ELECTRIC FIREPLACE

WITH 9' PLATE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

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Clayton
FINAL
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BASE PLAN REVISION:
24 8-14-2023
25 -
26 -
27 -

Project: New Kitchens
LSP Date: Date-Start
LSP By: Name
LSP Rev: ---
Sheet Title: Front and Side Elevations
Sheet: 1.0E



**ELEVATION "A"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "A" OPT STUDY, GUEST
SUITE OR SIDE ENTRY GARAGE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

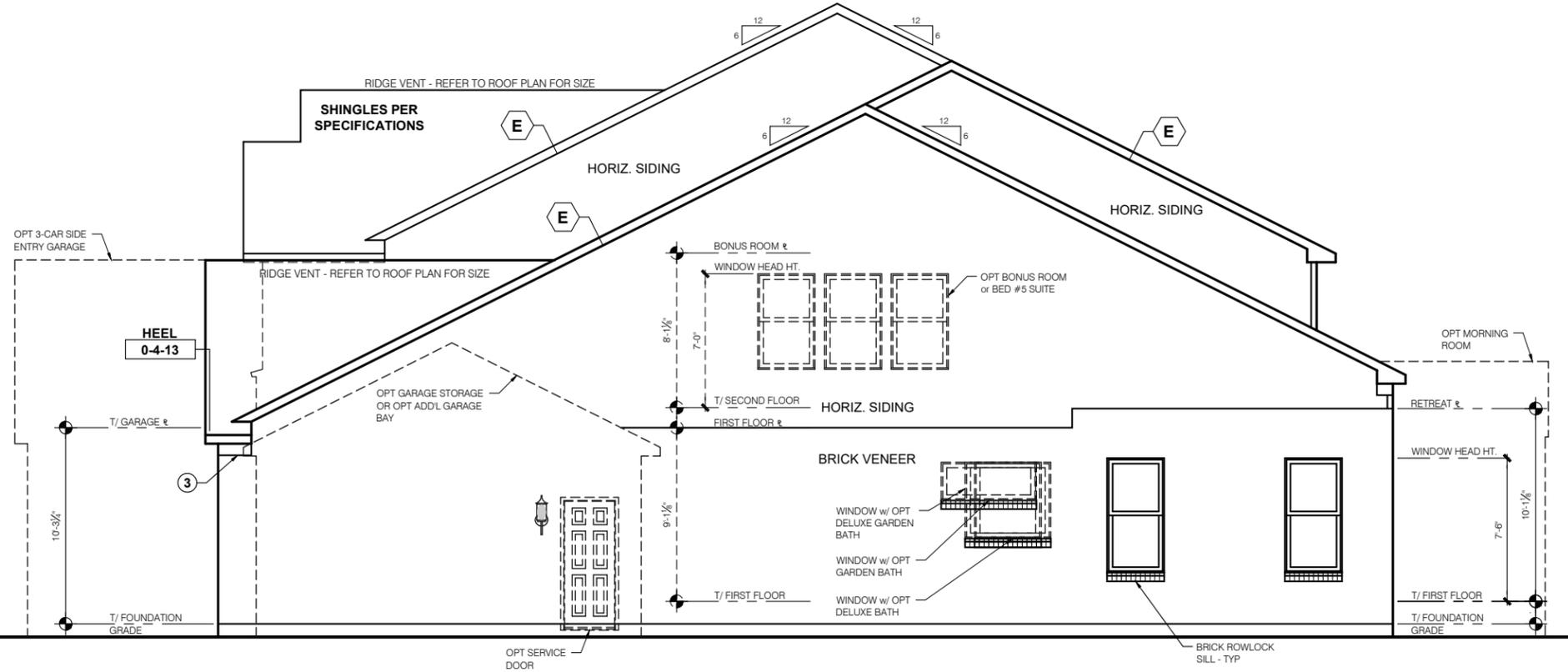
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

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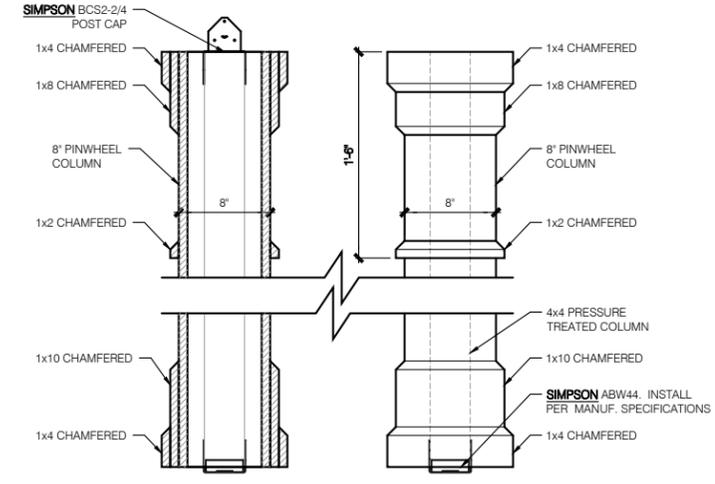
SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



**ELEVATION "A"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

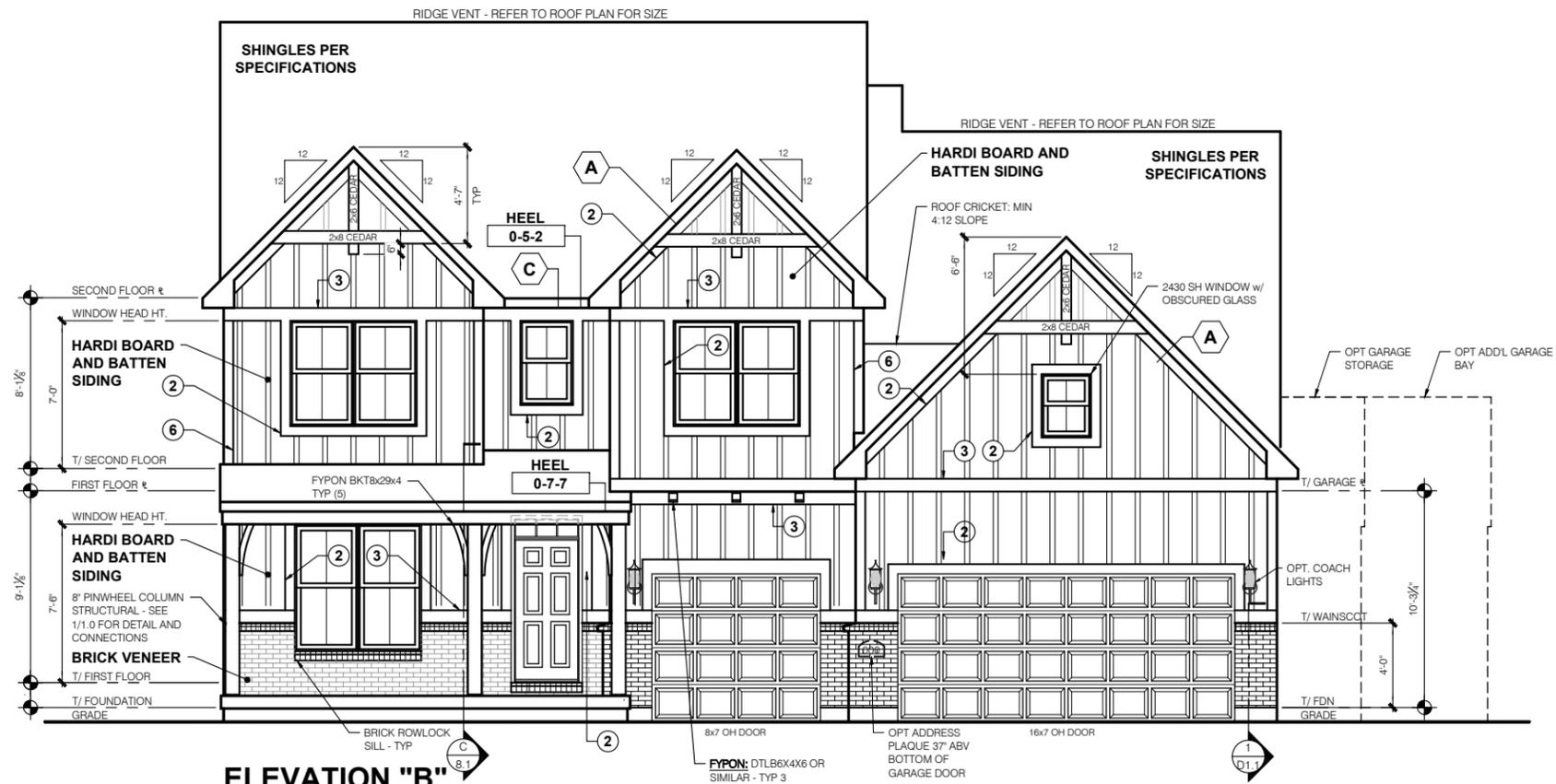


1 8" TRIMMED PINWHEEL FRONT PORCH COLUMN
SCALE: NTS

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 11x17 PRINTS ARE 1/2" SCALE
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 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Elevations -1
 Sheet:
 1.0A

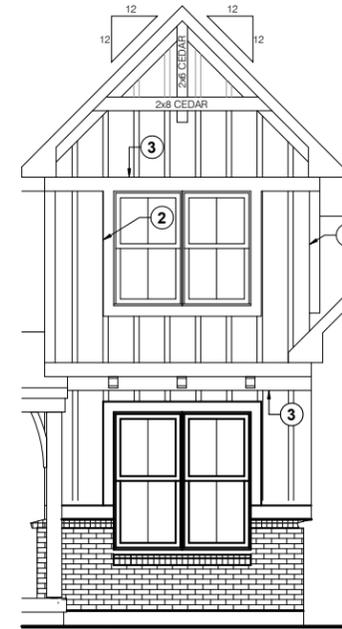
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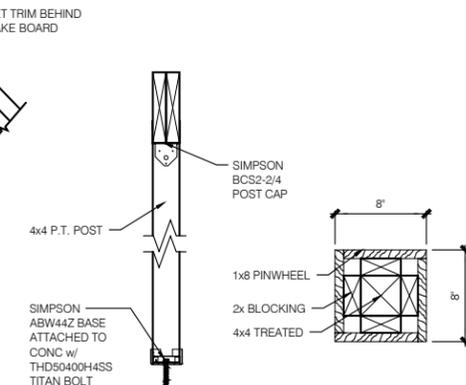
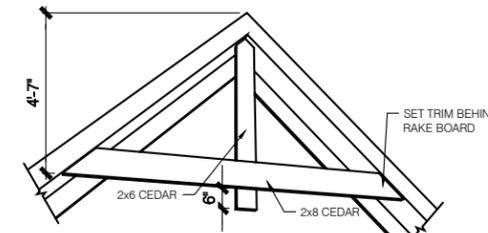


**ELEVATION "B"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION
GABLE TRIM**

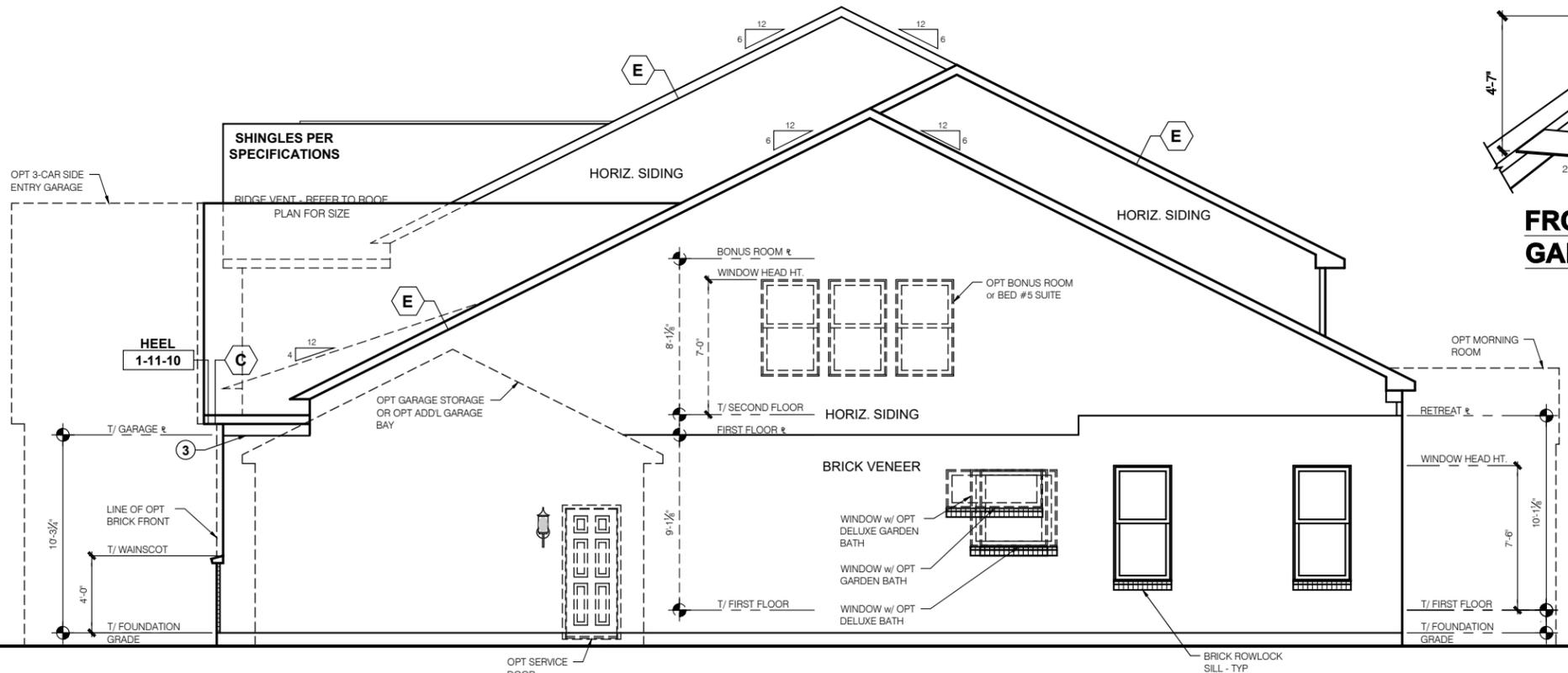


1 8" TRIMMED PINWHEEL FRONT PORCH COLUMN
SCALE: NTS

TYPICAL EXTERIOR TRIM FINISH	
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SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE



**ELEVATION "B"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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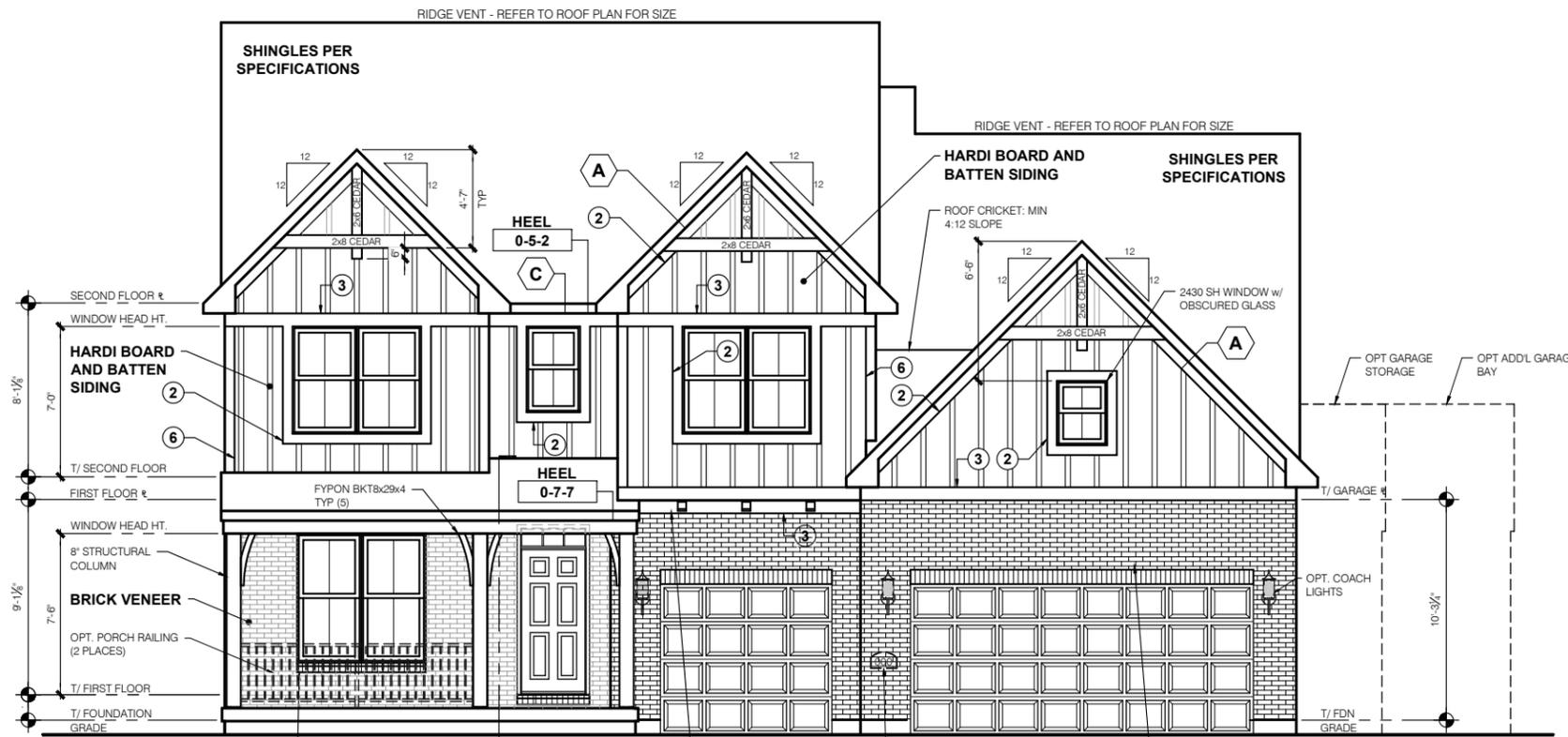
11x17 PRINTS ARE 1/2 SCALE

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations -1

Sheet:
1.0B

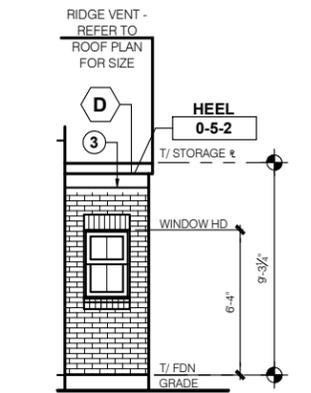
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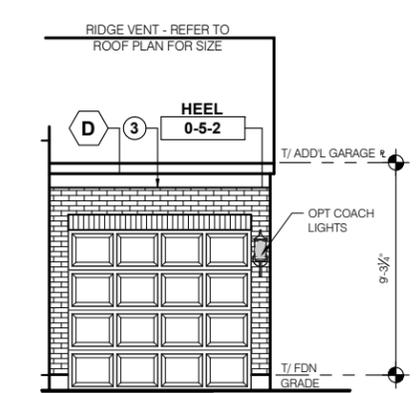
ELEVATION "B" OPT BRICK FRONT FRONT ELEVATION

SCALE: 1/4" = 1'-0"



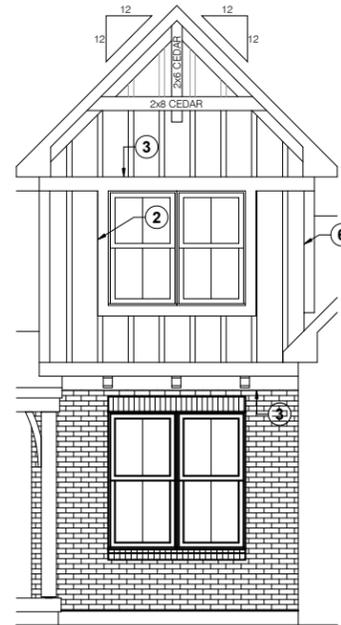
ELEV "B" OPT BRICK FRONT GARAGE STORAGE FRONT ELEV

SCALE: 1/4" = 1'-0"



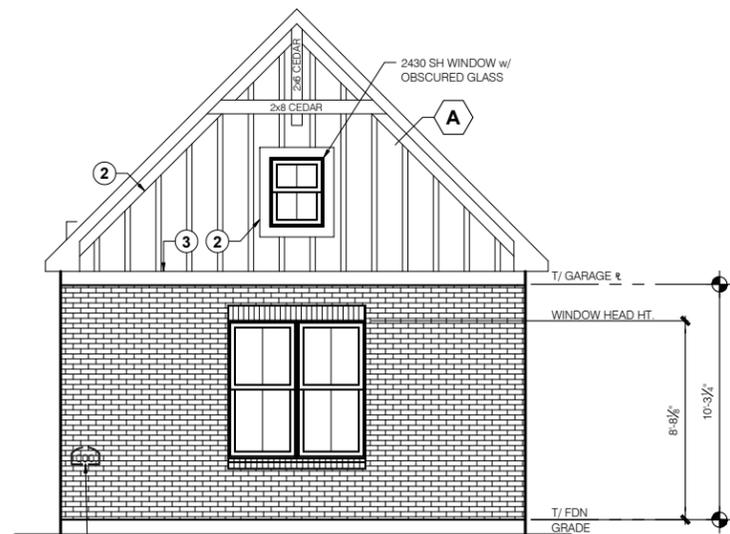
ELEV "B" OPT BRICK FRONT ADD'L GARAGE BAY FRONT ELEV

SCALE: 1/4" = 1'-0"



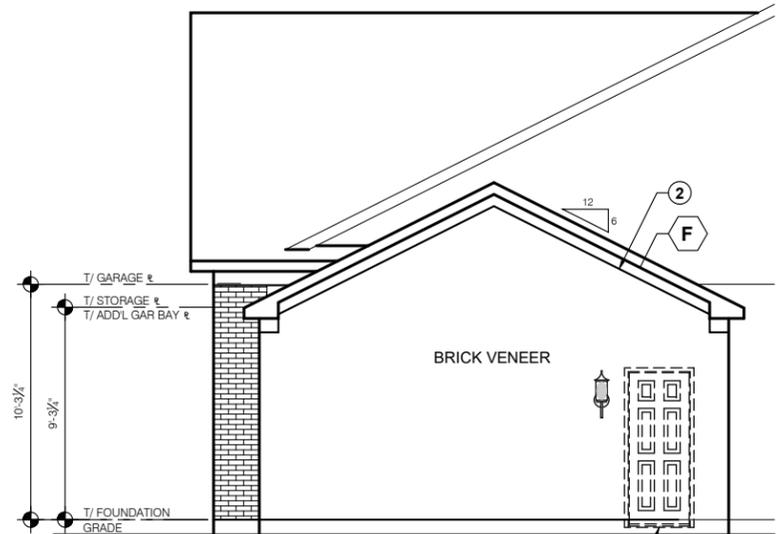
ELEVATION "B" OPT STUDY, GUEST SUITE OR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "B" - OPT BRICK FRONT 2- CAR & 3-CAR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "B" - OPT BRICK FRONT STORAGE OR ADD'L GARAGE BAY GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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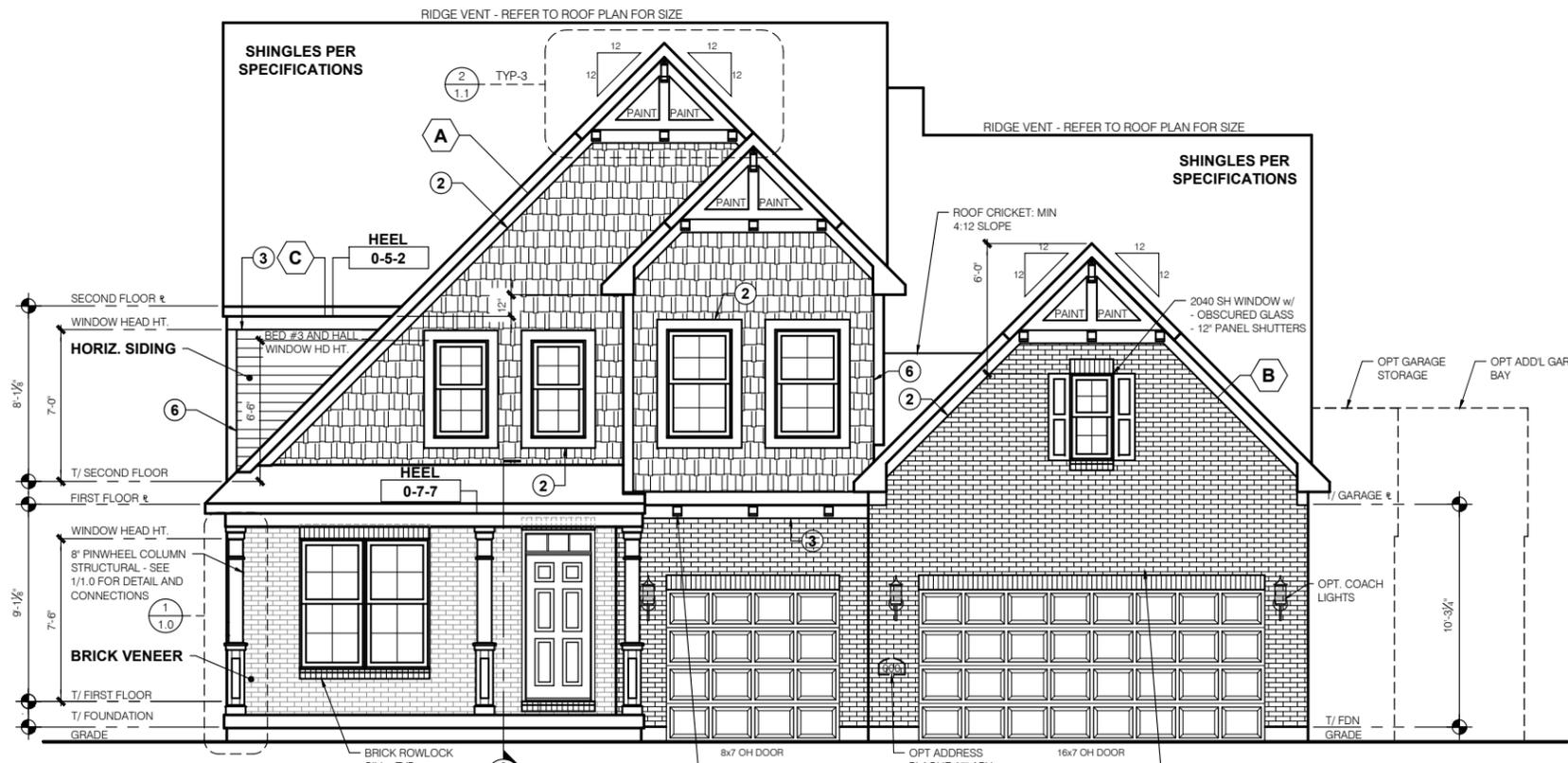
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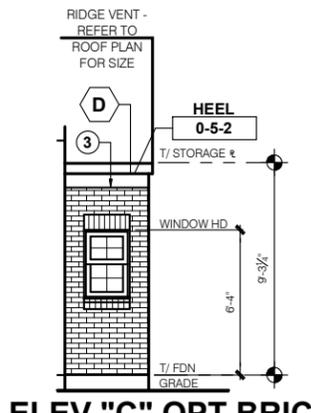
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11x17 PRINTS ARE 1/2" SCALE

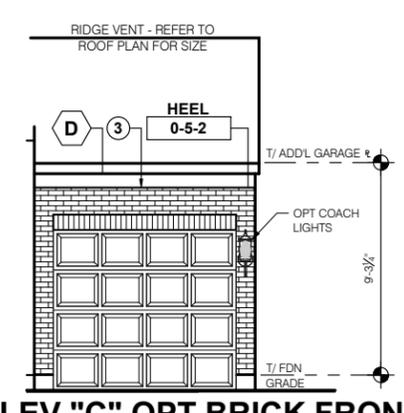
Job #: ---
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front Elevation
 Options -6
 Sheet:
1.5B



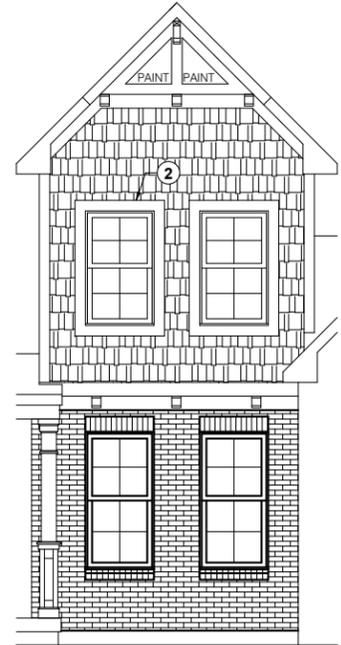
ELEVATION "C" OPT BRICK FRONT FRONT ELEVATION
SCALE: 1/4" = 1'-0"



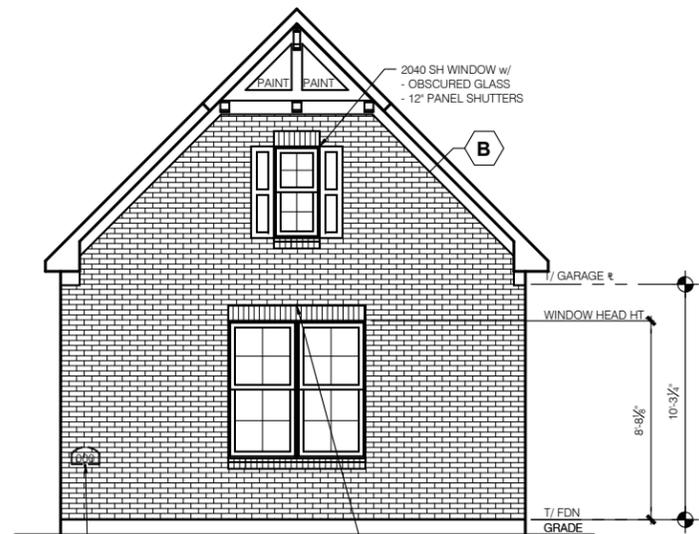
ELEV "C" OPT BRICK FRONT GARAGE STORAGE FRONT ELEV
SCALE: 1/4" = 1'-0"



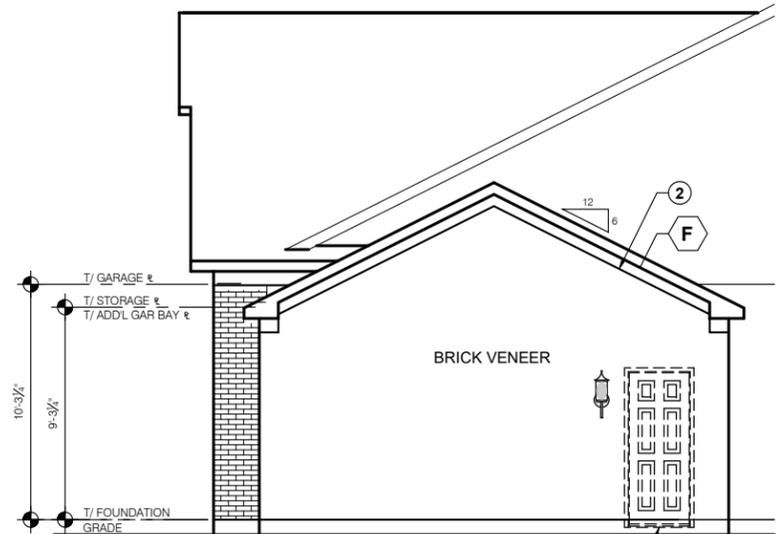
ELEV "C" OPT BRICK FRONT ADD'L GARAGE BAY FRONT ELEV
SCALE: 1/4" = 1'-0"



ELEVATION "C" OPT STUDY, GUEST SUITE OR SIDE ENTRY GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION "C" - OPT BRICK FRONT 2-CAR & 3-CAR SIDE ENTRY GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION "C" - OPT BRICK FRONT STORAGE OR ADD'L GARAGE BAY GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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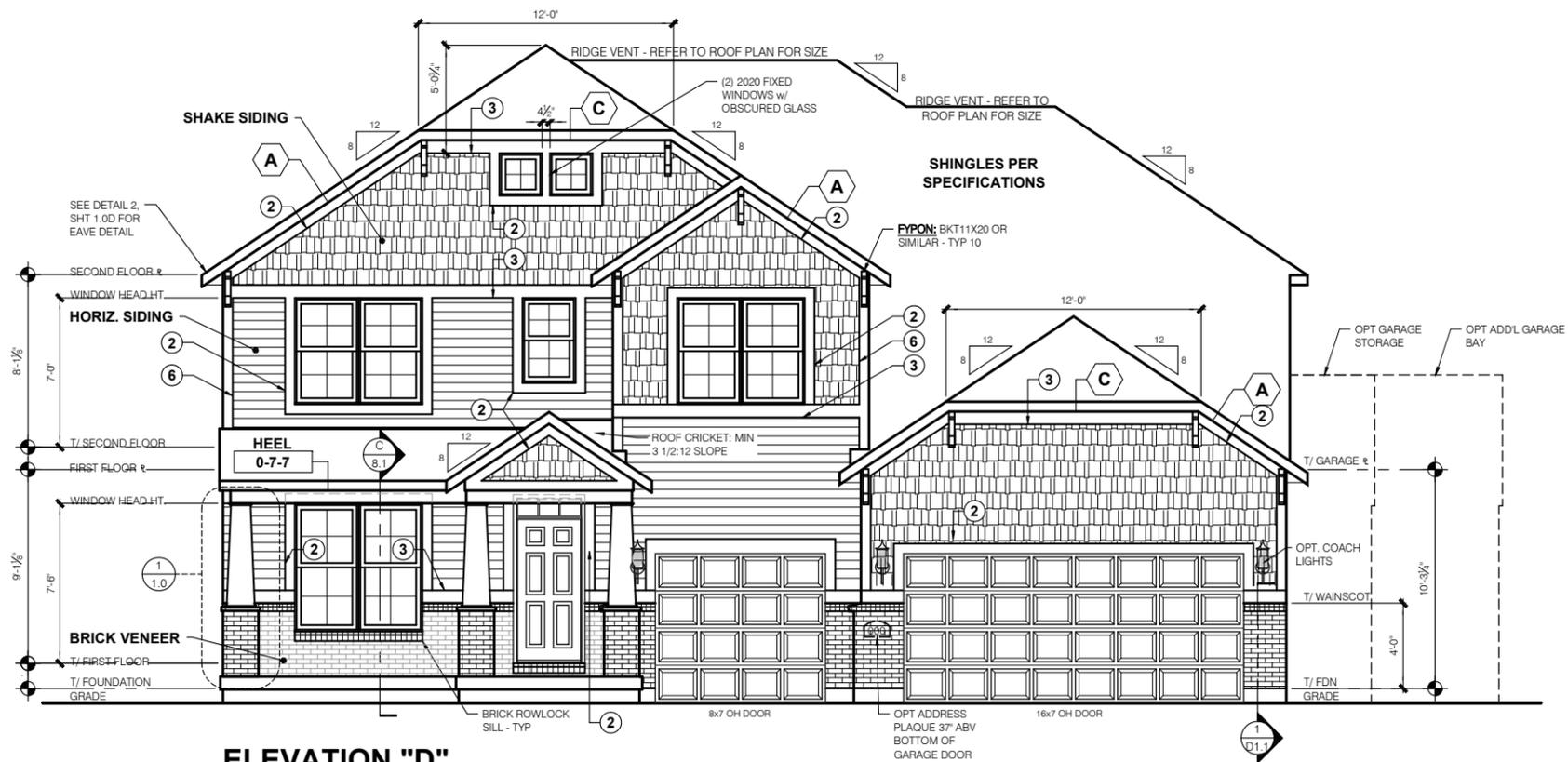
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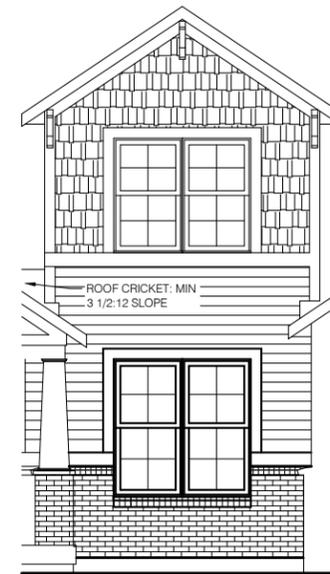
Job #: ---
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front Elevation
 Options -6
 Sheet:
1.5C

11x17 PRINTS ARE 1/2" SCALE



**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "D" OPT STUDY, GUEST
SUITE OR SIDE ENTRY GARAGE
FRONT ELEVATION**

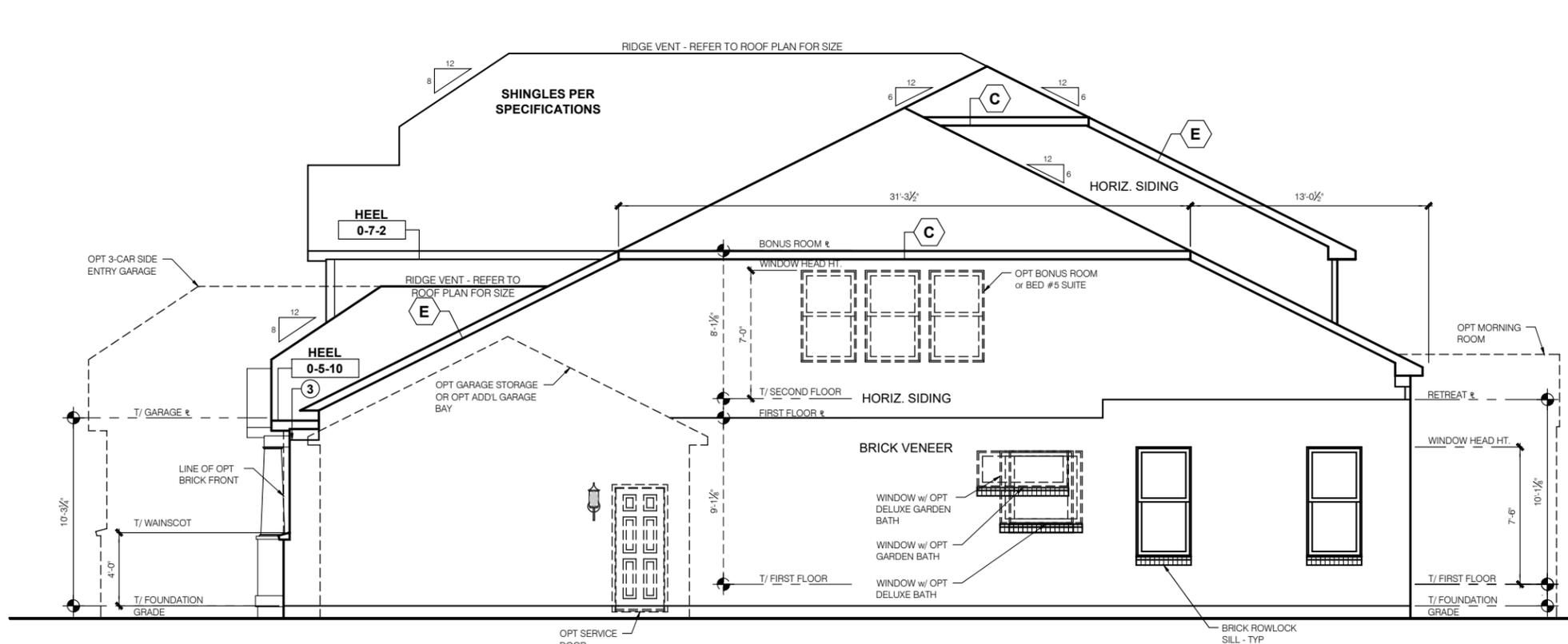
SCALE: 1/4" = 1'-0"

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SEE SHEET D1.0 FOR EAVE DETAILS

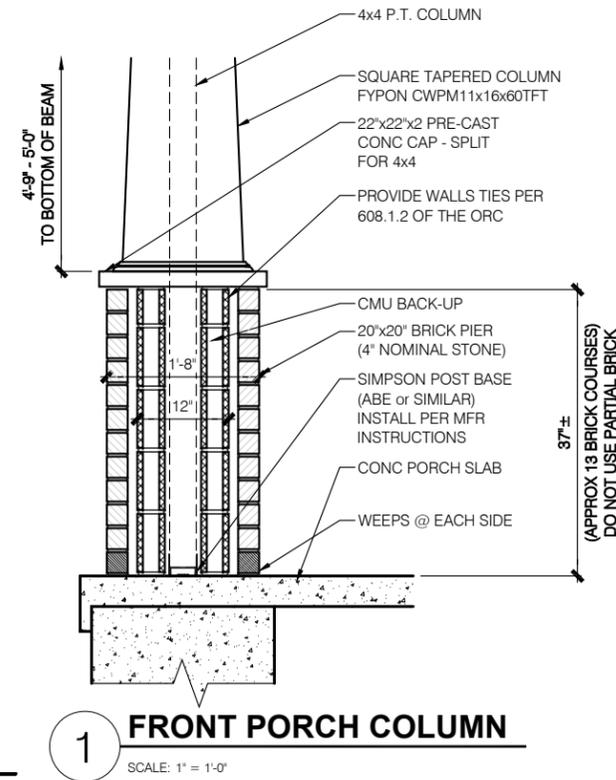
**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



1 FRONT PORCH COLUMN

SCALE: 1" = 1'-0"

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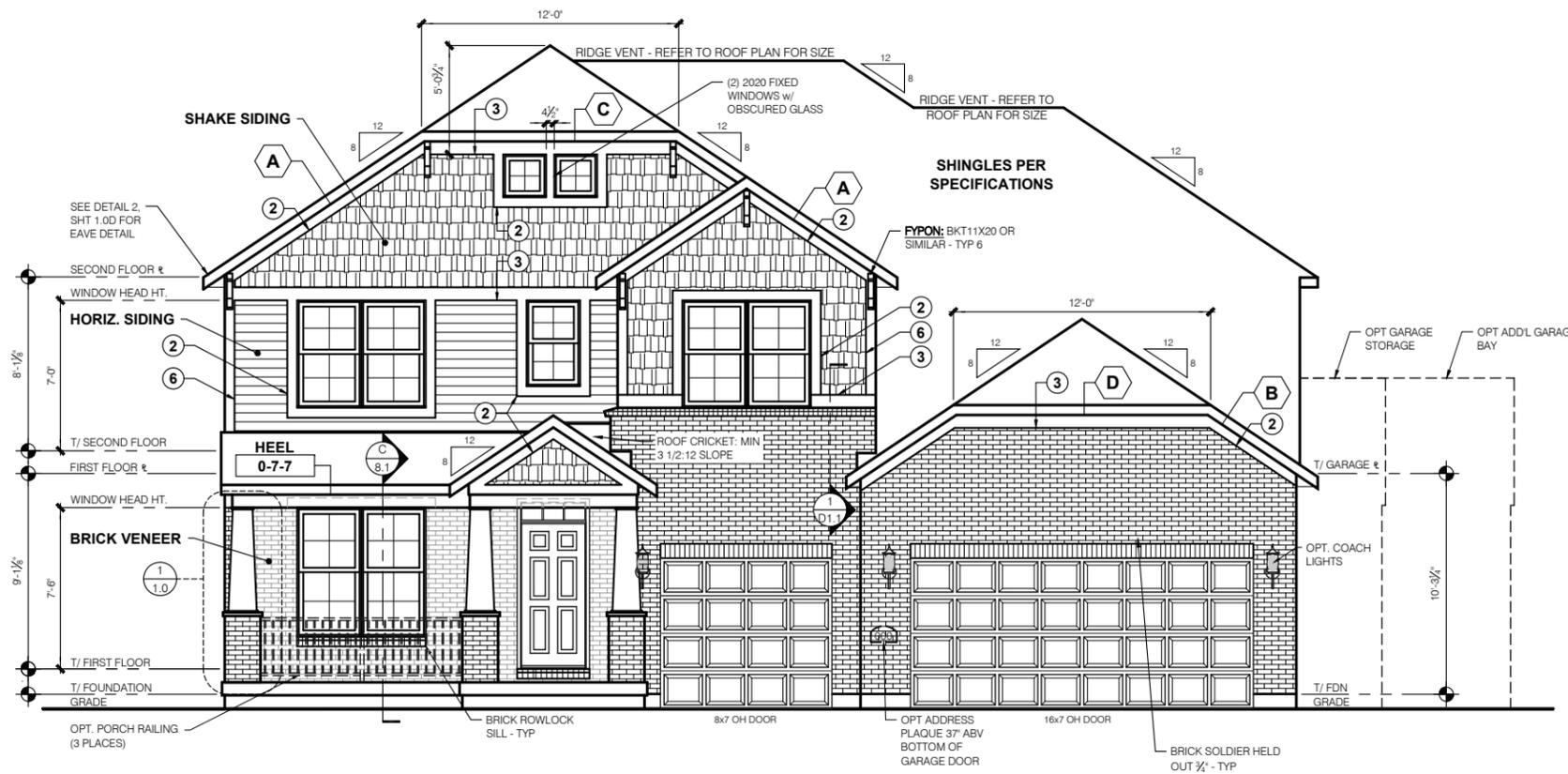
11x17 PRINTS ARE 1/2 SCALE

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2-15-24

Job #: ---
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations -1

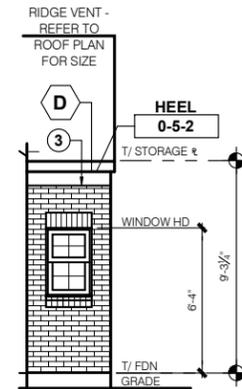
Sheet:
1.0D

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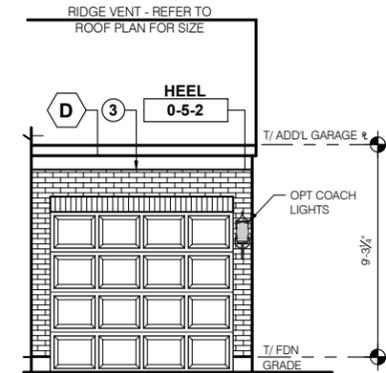
ELEVATION "D" OPT BRICK FRONT FRONT ELEVATION

SCALE: 1/4" = 1'-0"



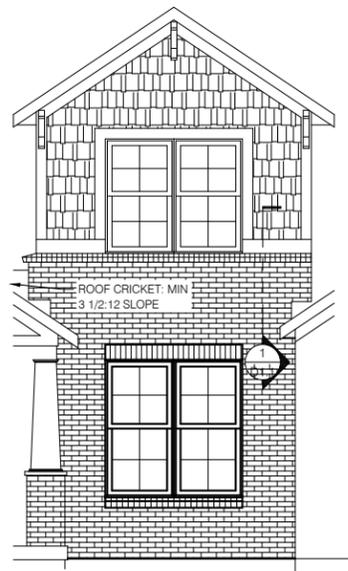
ELEV "D" OPT BRICK FRONT GARAGE STORAGE FRONT ELEV

SCALE: 1/4" = 1'-0"



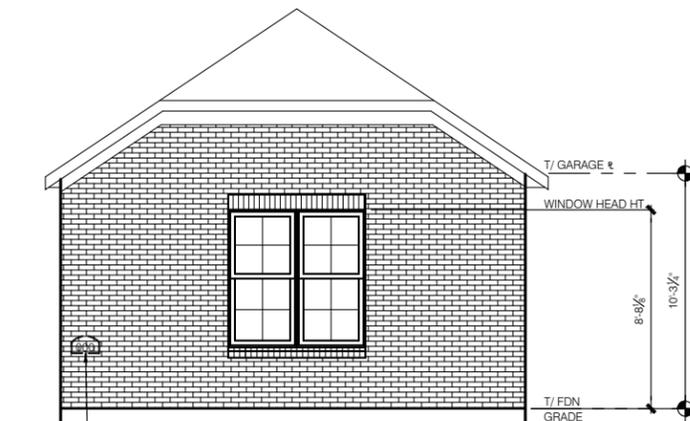
ELEV "D" OPT BRICK FRONT ADD'L GARAGE BAY FRONT ELEV

SCALE: 1/4" = 1'-0"



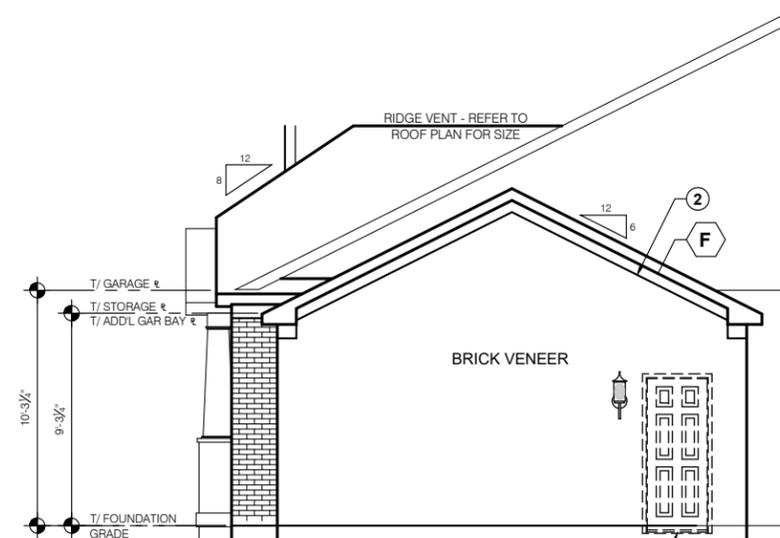
ELEVATION "D" OPT STUDY, GUEST SUITE OR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "D" - OPT BRICK FRONT 2-CAR & 3-CAR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "D" - OPT BRICK FRONT STORAGE OR ADD'L GARAGE BAY GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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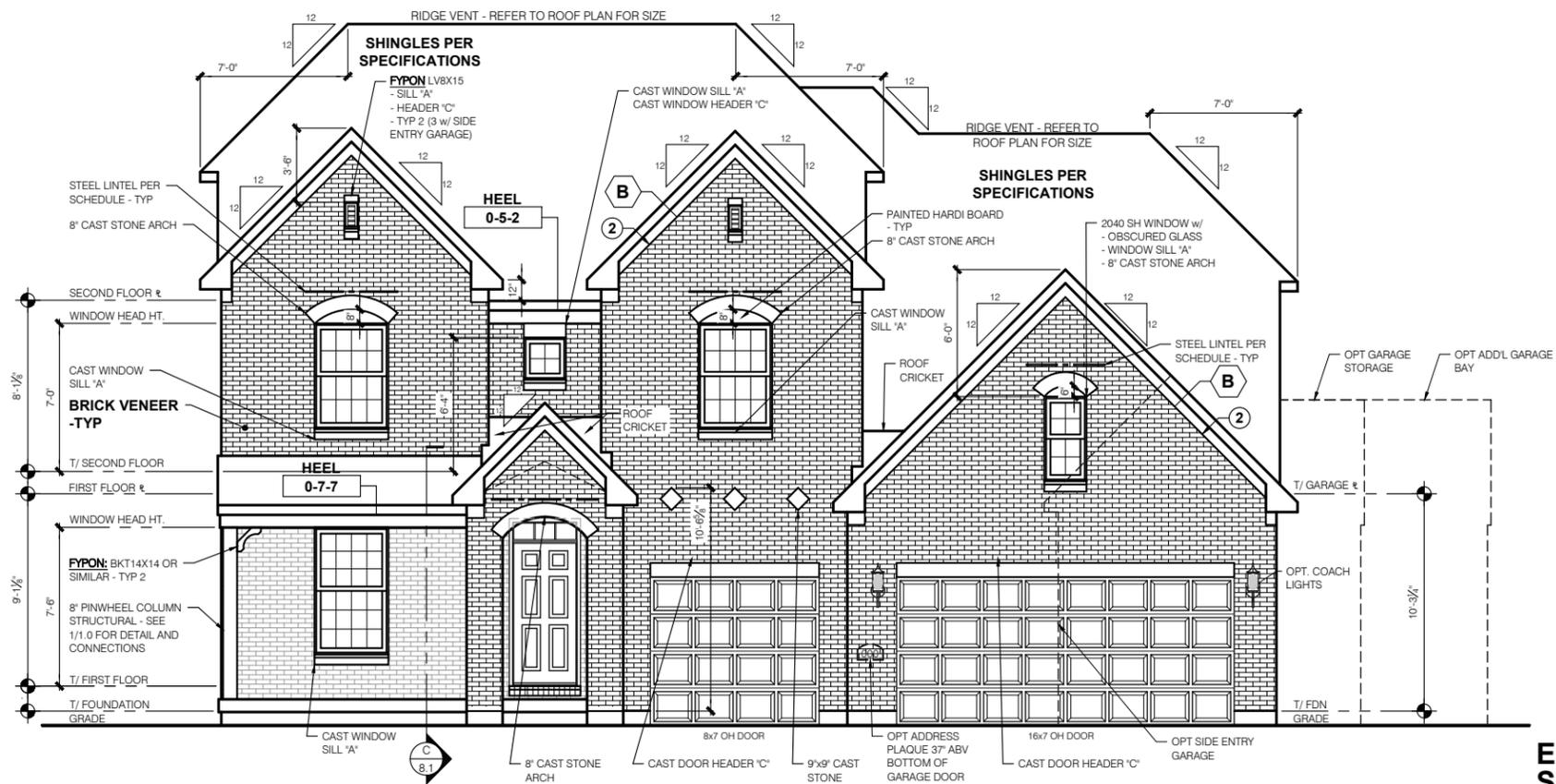


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2-15-24

11x17 PRINTS ARE 1/2" SCALE

Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Options -6

Sheet:
1.5D



**ELEVATION "E"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEV "E" OPT STUDY, GUEST
SUITE OR SIDE ENTRY GARAGE
FRONT ELEVATION**

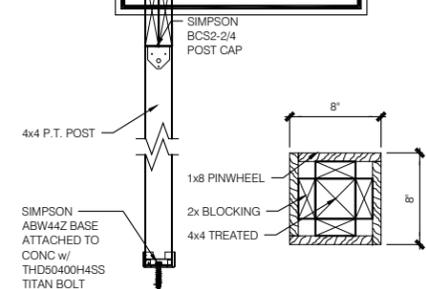
SCALE: 1/4" = 1'-0"

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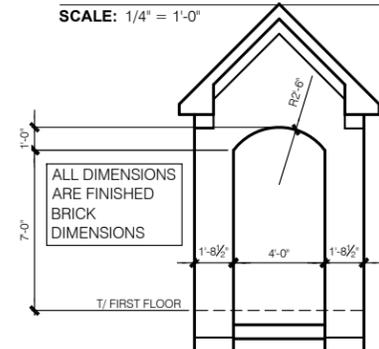
SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
INTEL SCHEDULE



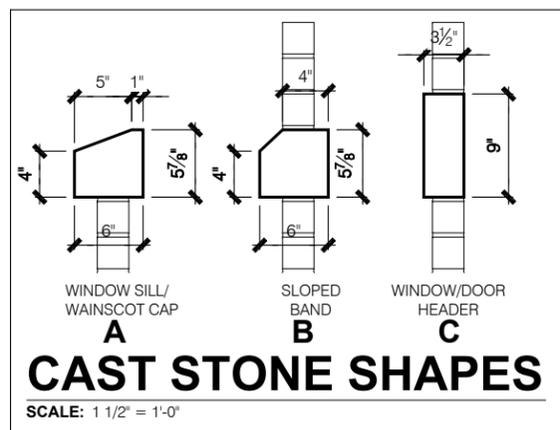
**FRONT PORCH
8" TRIMMED PINWHEEL COLUMN**

SCALE: NTS



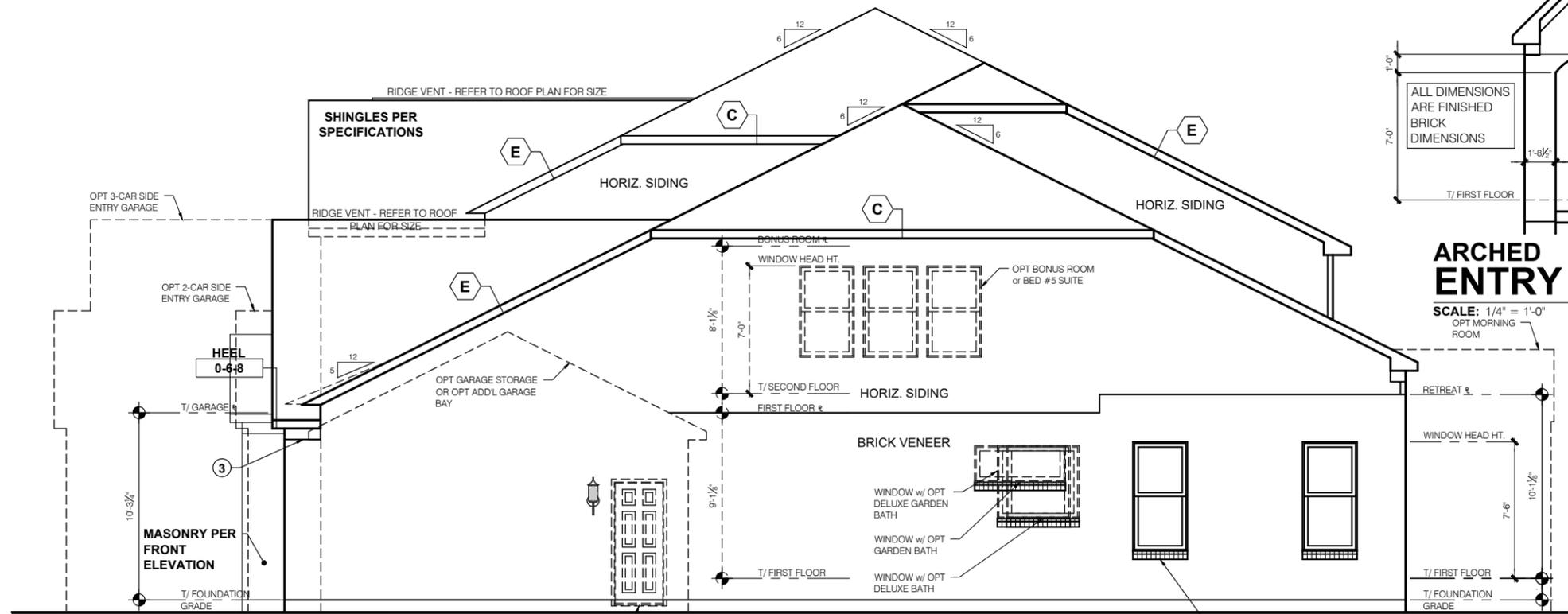
**ARCHED
ENTRY DETAIL**

SCALE: 1/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"



**ELEVATION "E"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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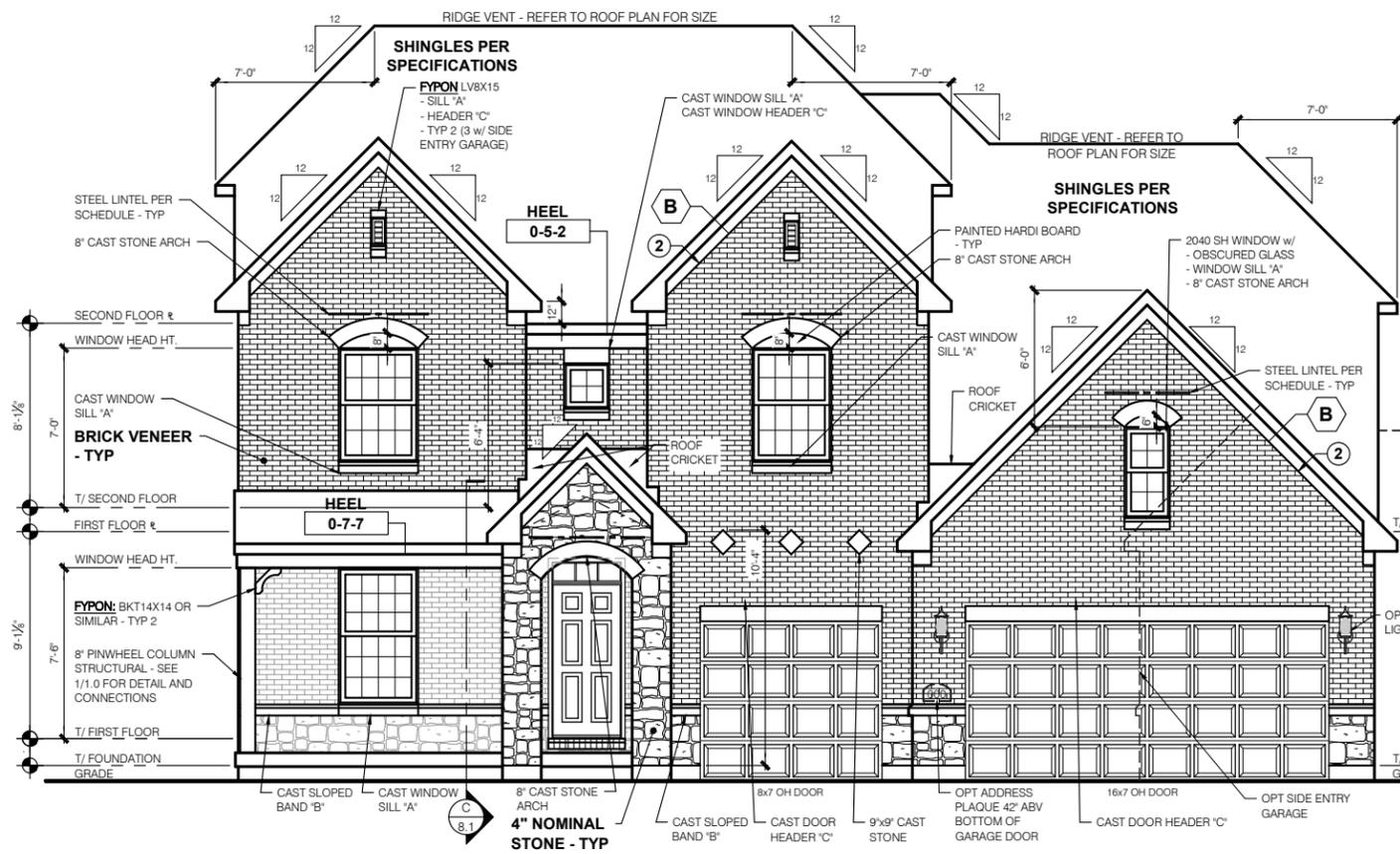
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11x17 PRINTS ARE 1/2 SCALE

Job #: ###
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations -1
Sheet:
1.0E



ELEVATION "E" OPT BRICK & STONE FRONT FRONT ELEVATION

SCALE: 1/4" = 1'-0"

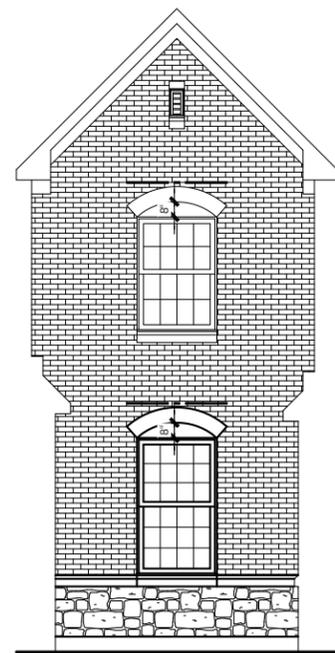
STONE SHOWN IS 4" NOMINAL CAST STONE

ELEV "E" OPT BRICK & STONE GARAGE STORAGE FRONT ELEV

SCALE: 1/4" = 1'-0"

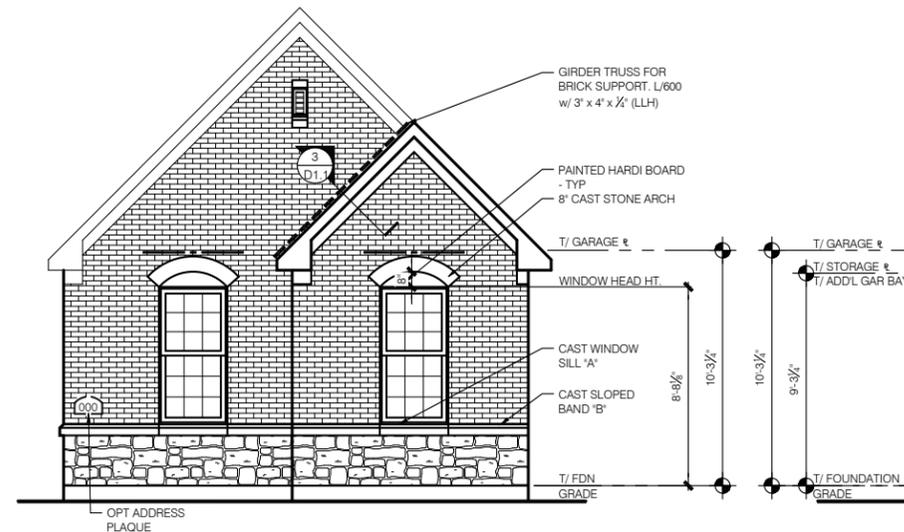
ELEV "E" OPT BRICK & STONE ADD'L GARAGE BAY FRONT ELEV

SCALE: 1/4" = 1'-0"



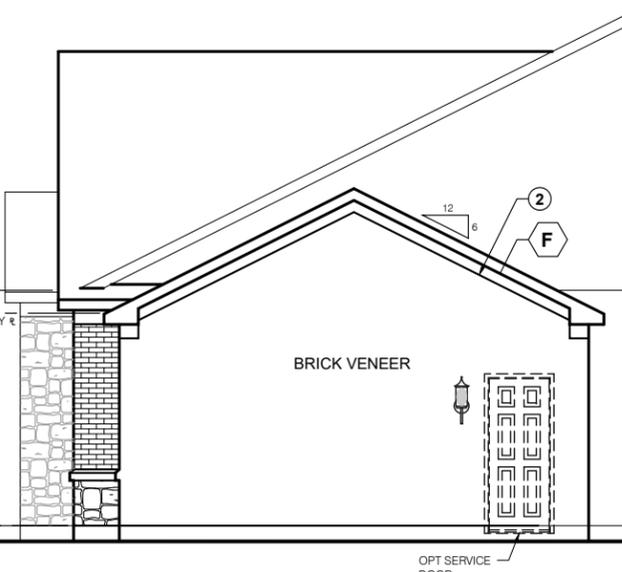
ELEVATION "E" OPT STUDY, GUEST SUITE OR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEV "E" - OPT BRICK & STONE FRONT 2-CAR & 3-CAR SIDE ENTRY GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEV "E" - OPT BRICK & STONE FRONT STORAGE OR ADD'L GARAGE BAY GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

Job #: ###

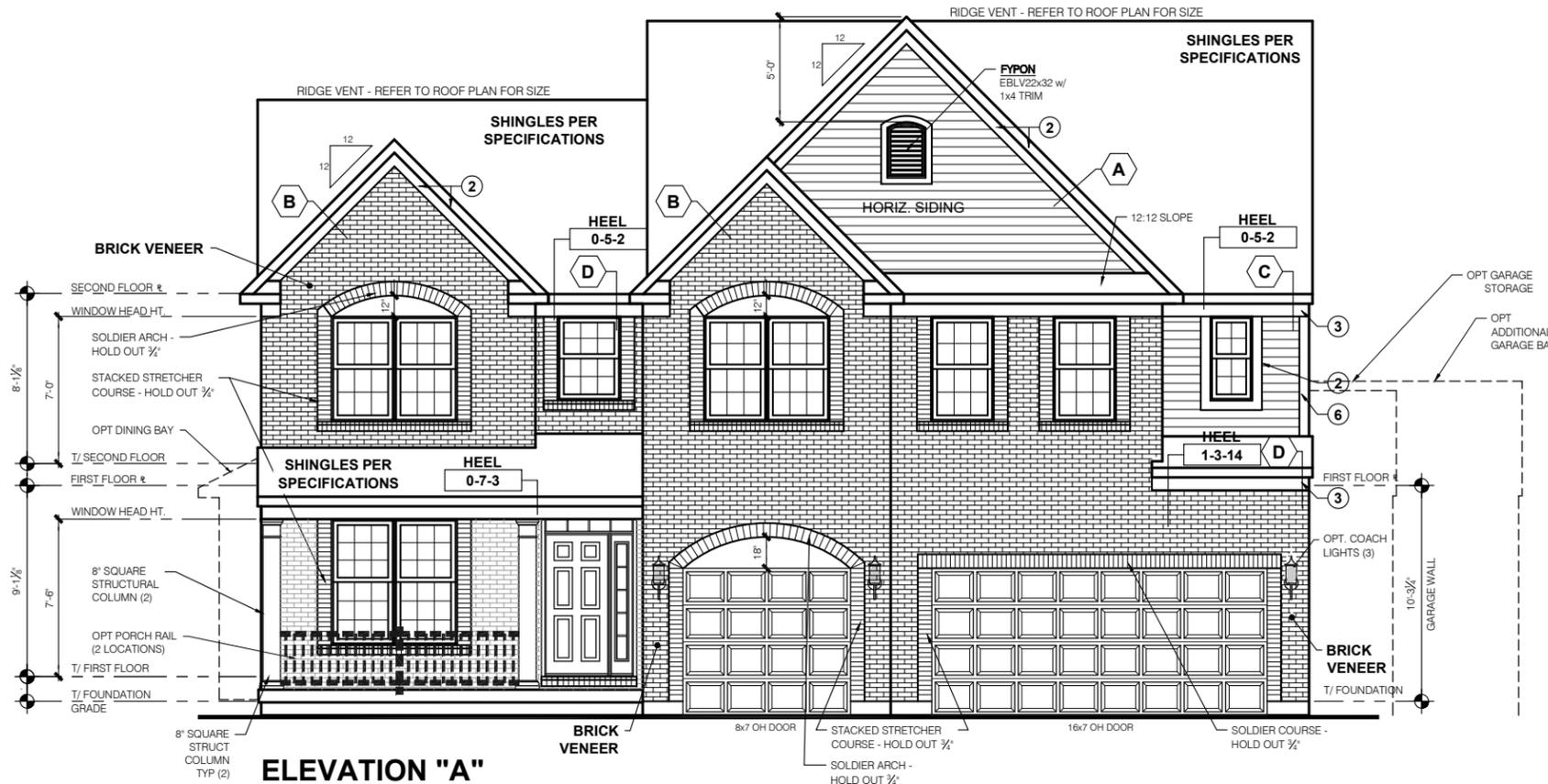
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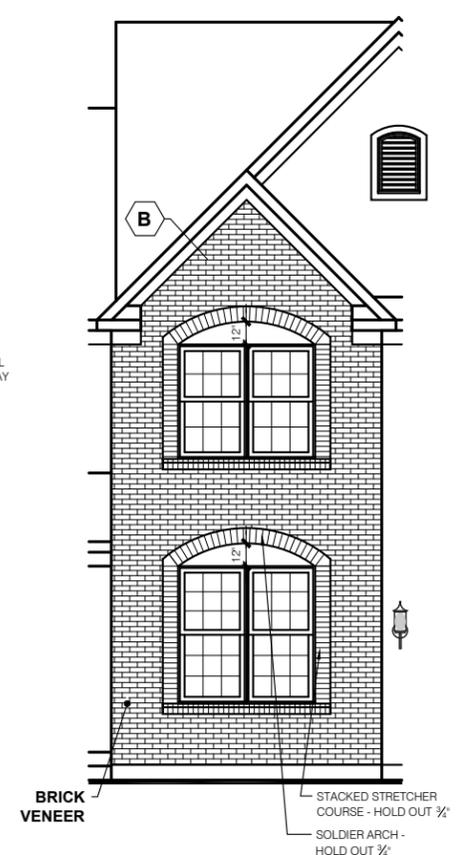
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Front Elevation
Options -6

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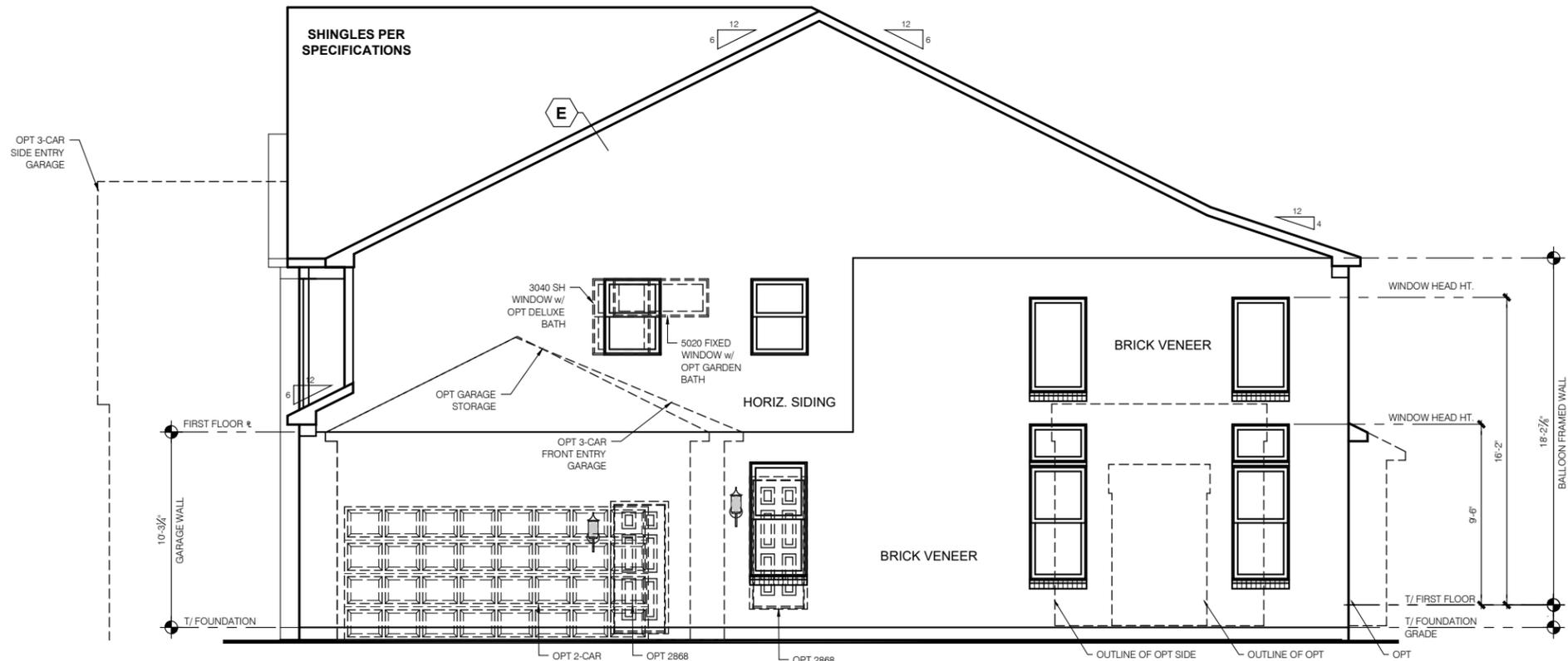
**ELEVATION "A"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"



**ELEVATION "A"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
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③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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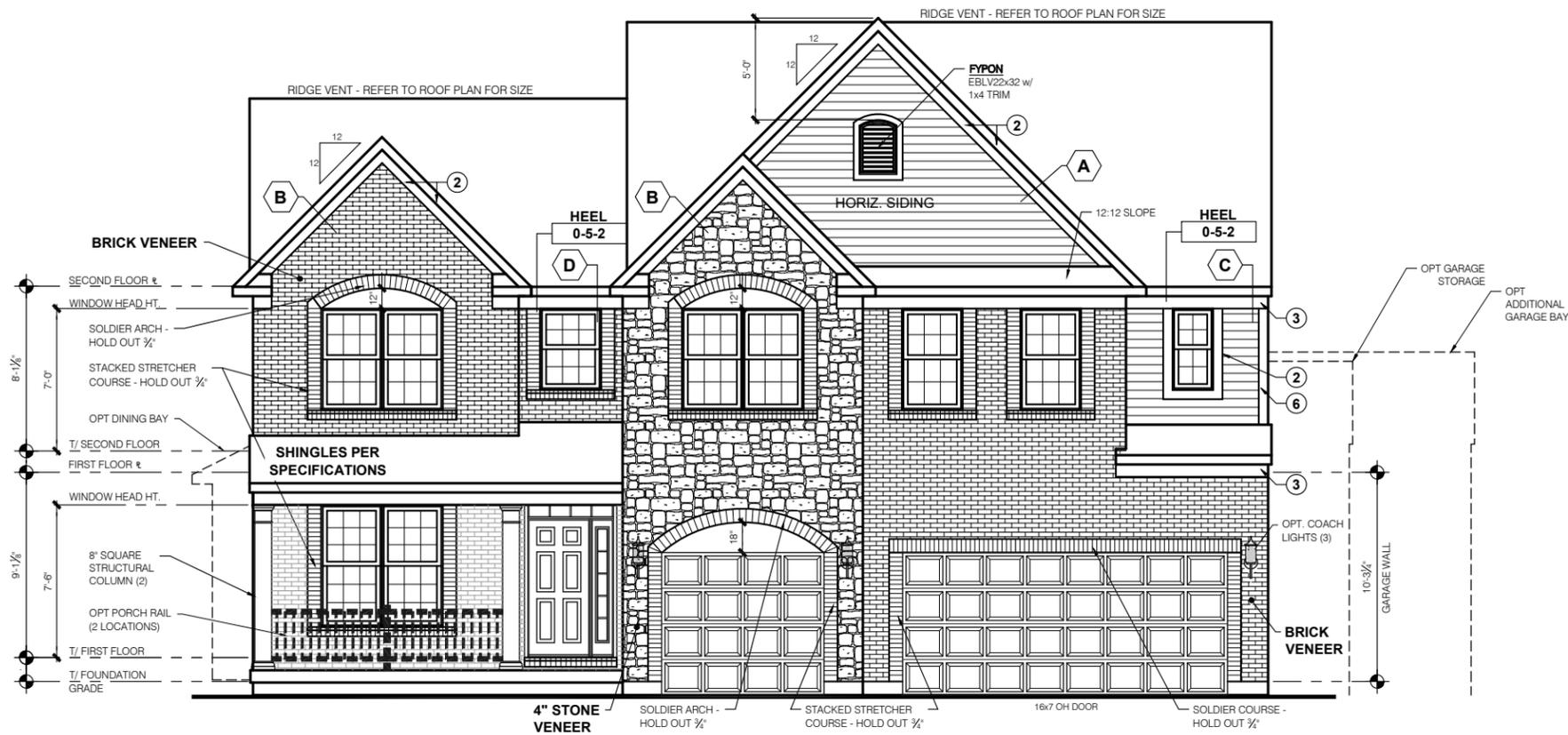
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11x17 PRINTS ARE 1/2" SCALE

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 FINAL
 2-1-24

Job #: ---
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Elevations

Sheet:
1.0A



ELEVATION "A" - OPT STONE FRONT ELEVATION

STONE SHOWN IS 4" NOMINAL CAST STONE

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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11x17 PRINTS ARE 1/2 SCALE

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LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevations - Material Options
Sheet:	---

EXTERIOR OPTIONS

- SIDE AND REAR ROOF OVERHANGS - BY COMMUNITY ONLY
- BRICK/STONE ON FRONT PER ELEVATION
- WINDOW GRIDS ON SIDES AND REAR
- 1ST FLOOR BRICK WRAP
- FULL BRICK SIDES AND REAR
- FRONT PORCH RAILING PER ELEVATION
- METAL ROOF PER ELEVATION

FOUNDATION OPTIONS

- FULL BASEMENT STANDARD - 8' HIGH WALLS
 - 9' HIGH WALLS
- HALF BATH ROUGH-IN IN BASEMENT
- FULL BATH ROUGH-IN IN BASEMENT
- FINISHED HALF BATH IN BASEMENT
 - HIGH VANITIES
- FINISHED FULL BATH IN BASEMENT
 - HIGH VANITIES
 - MEDICINE CABINET
- FINISHED BASEMENT #1 (DOES NOT INCLUDE BATH)
- FINISHED BASEMENT #2 (DOES NOT INCLUDE BATH)
- FINISHED BASEMENT #3 (DOES NOT INCLUDE BATH)
- WALK-OUT DOOR (SGD) *PER GRADE*
- BASEMENT WINDOWS (4040 SLIDERS) *PER GRADE*
- WATER SOFTENER ROUGH IN

GARAGE OPTIONS

- 2-CAR SIDE ENTRY GARAGE
- 3-CAR FRONT ENTRY GARAGE
(ONLY AVAILABLE w/ OPT GUEST SUITE OR STUDY ILO GARAGE BAY)
- 3-CAR SIDE ENTRY GARAGE
- ADDITIONAL FRONT LOAD GARAGE BAY
(USED w/ 3-CAR FRONT ENTRY STANDARD PLANS)
- GARAGE STORAGE
- GARAGE SERVICE DOOR: NOT AVAIL w/ SIDE ENTRY GARAGES

KITCHEN OPTIONS

- STANDARD KITCHEN (42" WALL CABINETS, RANGE)
- GOURMET KITCHEN (ADDS COOKTOP, HOOD & OVEN CABINET)
 - 42" WALL CABINETS
 - MICROWAVE CABINET IN ISLAND
 - STACKED WALL CABINETS
 - MICROWAVE CABINET IN ISLAND
 - STACKED WALL CABINETS WITH GLASS
 - MICROWAVE CABINET IN ISLAND
- LUXE KITCHEN (ADDS COOKTOP, HOOD & OVEN CABINET)
 - 42" WALL CABINETS
 - STANDARD ISLAND
 - MICROWAVE CABINET IN ISLAND
 - WATERFALL ISLAND
 - MICROWAVE CABINET IN ISLAND
 - STACKED WALL CABINETS
 - STANDARD ISLAND
 - MICROWAVE CABINET IN ISLAND
 - WATERFALL ISLAND
 - MICROWAVE CABINET IN ISLAND
 - STACKED WALL CABINETS WITH GLASS
 - STANDARD ISLAND
 - MICROWAVE CABINET IN ISLAND
 - WATERFALL ISLAND
 - MICROWAVE CABINET IN ISLAND

BREAKFAST OPTIONS

- PATIO DOOR ILO SGD (5068 OR 6068 PER PLAN)
- BREAKFAST BAY - REAR
 - PATIO DOOR ILO SGD (5068 OR 6068 PER PLAN)

DINING ROOM OPTIONS

- 2x6 TRAY CEILING (DROPPED TRAY)
- DINING BAY - SIDE

FAMILY ROOM OPTIONS

- COFFERED CEILING - PER PLAN

FIREPLACE- SIDE

- DIRECT VENT
- ELECTRIC
- STONE FIREPLACE: RAISED HEARTH

FIREPLACE/MEDIA- SIDE

- DIRECT VENT
- ELECTRIC

FIRST FLOOR OPTIONS

- 1ST FLOOR RAILS ILO HALF WALL
(RAKED STAIR RAILS & INTERMEDIATE LANDINGS PER PLAN)
- BEDROOM #5 ILO DEN: INCLUDES FULL BATH
 - MEDICINE CABINET
- BUTLER PANTRY ILO BULK STORAGE
 - STANDARD 42" WALL CABINETS
 - GOURMET CABINETS
 - 42" WALL CABINETS
 - STACKED WALL CABINETS
 - STACKED WALL CABINETS WITH GLASS
 - LUXE CABINETS
 - 42" WALL CABINETS
 - STACKED WALL CABINETS
 - STACKED WALL CABINETS WITH GLASS
- STUDY ILO GARAGE BAY
 - STANDARD SOLID DOUBLE DOORS
 - STUDY FRENCH DOORS (GLASS)
- GUEST SUITE ILO GARAGE BAY: INCLUDES FULL BATH
 - MEDICINE CABINET

MUD OPTIONS

- 2868 DOOR ILO 3060 SH WINDOW
- BENCH/CUBBIES
- CABINETS I.L.O. DROP ZONE

LAUNDRY ROOM OPTIONS

- LAUNDRY ROOM WALL CABINETS ILO SHELF - OPT #1
- LAUNDRY ROOM BASE CABINETS w/ SINK - OPT #2
- LAUNDRY TUB ROUGH
- LAUNDRY TUB FINISHED

HALL BATH OPTIONS

- STANDARD BATH
(SINGLE BOWL)
 - DOUBLE BOWL
 - MEDICINE CABINET

BEDROOM #4 OPTIONS

- BEDROOM #4 BATHROOM
 - MEDICINE CABINET

RETREAT OPTIONS

- RETREAT TRAY CEILING
- DOUBLE DOOR

RETREAT BATH OPTIONS

- STANDARD BATH
(SINGLE BOWL, TUB/SHOWER COMBO)
 - DOUBLE BOWL
- SIGNATURE BATH - SINGLE BOWL
(60" SHOWER ILO OF TUB/SHOWER COMBINATION)
 - DOUBLE BOWL
- DELUXE BATH
(DOUBLE BOWL, SOAKING TUB, SHOWER PAN, GLASS ENCLOSURE)
- GARDEN BATH
(DOUBLE BOWL, MUD PAN SHOWER, GLASS ENCLOSURE)
- MEDICINE CABINET

SECOND FLOOR OPTIONS

- 2ND FLOOR RAILS ILO HALF WALL
(FLAT RAILS ON 2ND FLOOR)
- JACK & JILL BATH
 - MEDICINE CABINET
- BONUS ROOM
- DELETE 2nd FLOOR NICHE

I HAVE REVIEWED THE ABOVE OPTIONS AVAILABLE IN THIS PLAN AND UNDERSTAND THAT ANY CHANGES AFTER THIS DATE MIGHT NOT BE ACCEPTED.

CUSTOMER _____ DATE _____

CUSTOMER _____ DATE _____

OPTIONS LIST

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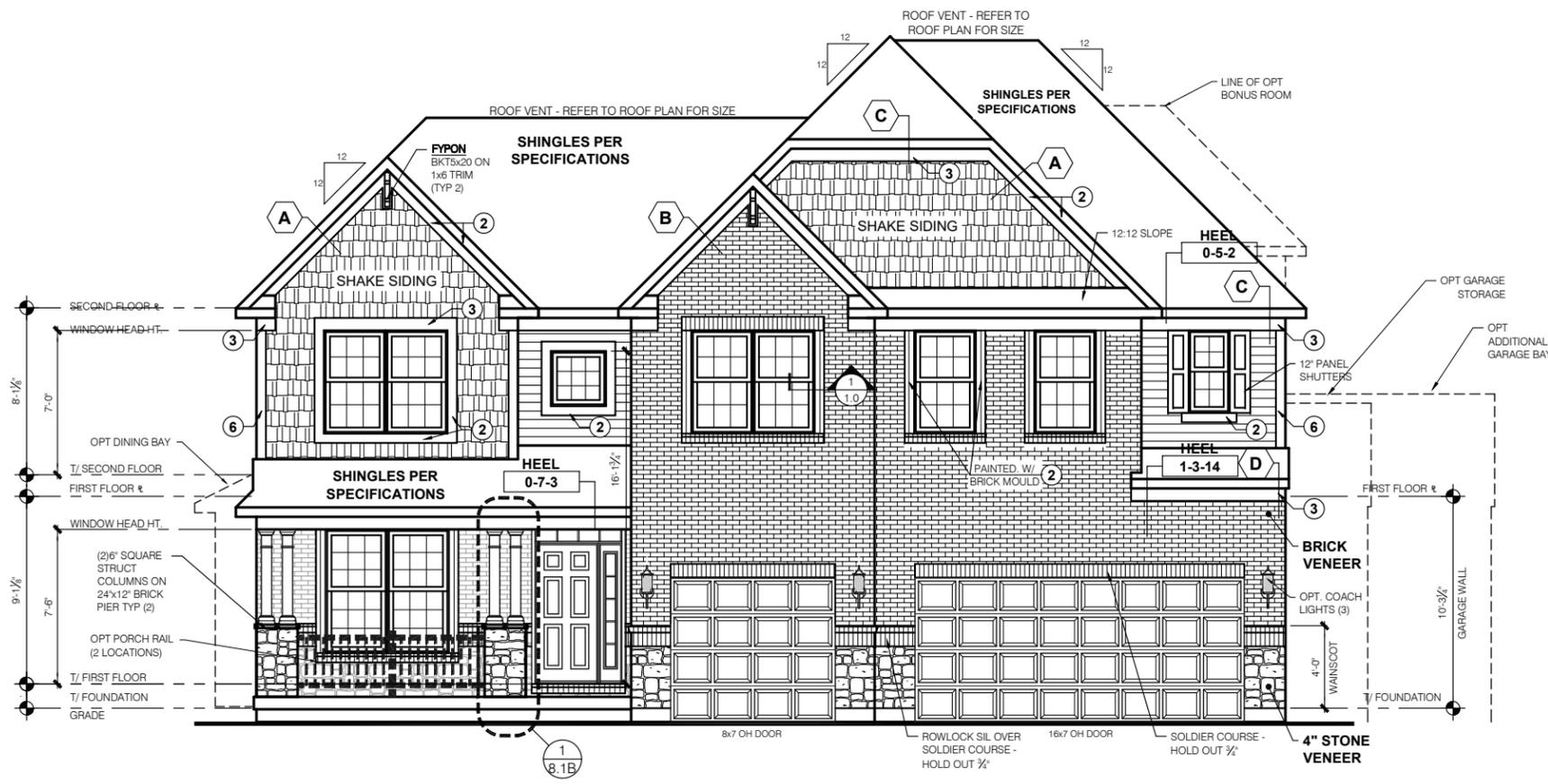
11x17 PRINTS ARE 1/2 SCALE

Job #: ---
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 LSP By: BY
 LSP Rev: ---

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 Option List

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C1.2



ELEVATION "B" - OPT STONE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

OPT STUDY/GUEST SUITE

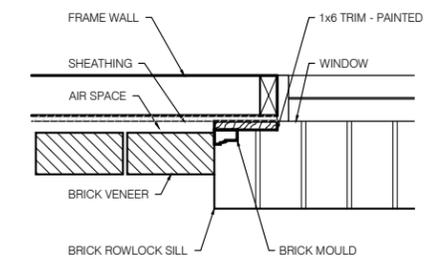
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⑧ SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE



1 WINDOW TRIM DETAIL

SCALE: N.T.S.

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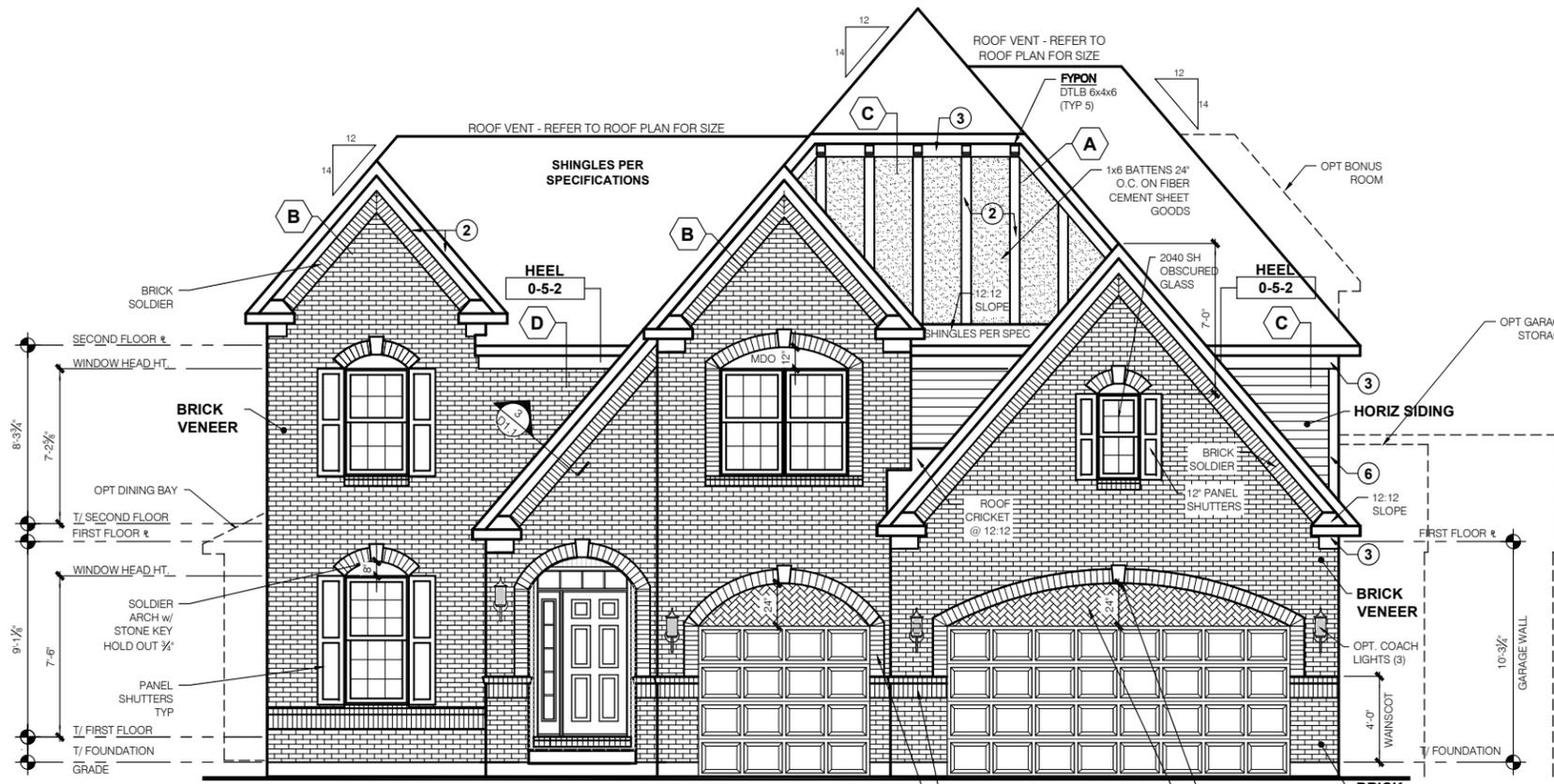
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11x17 PRINTS ARE 1/2" SCALE

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Sheet Title:	Front Elevations - Material Options

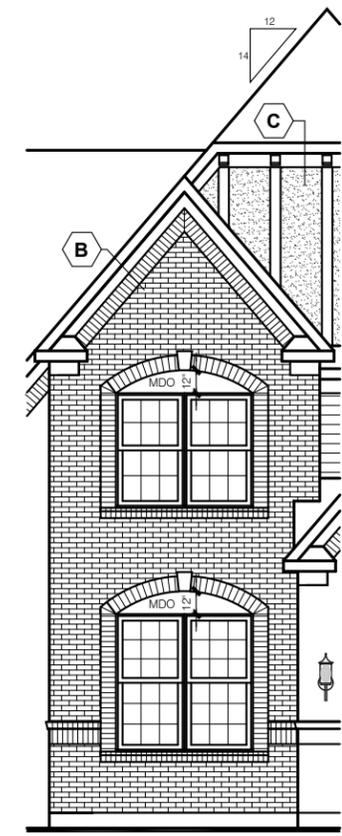
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**ELEVATION "C"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



OPT STUDY/GUEST SUITE

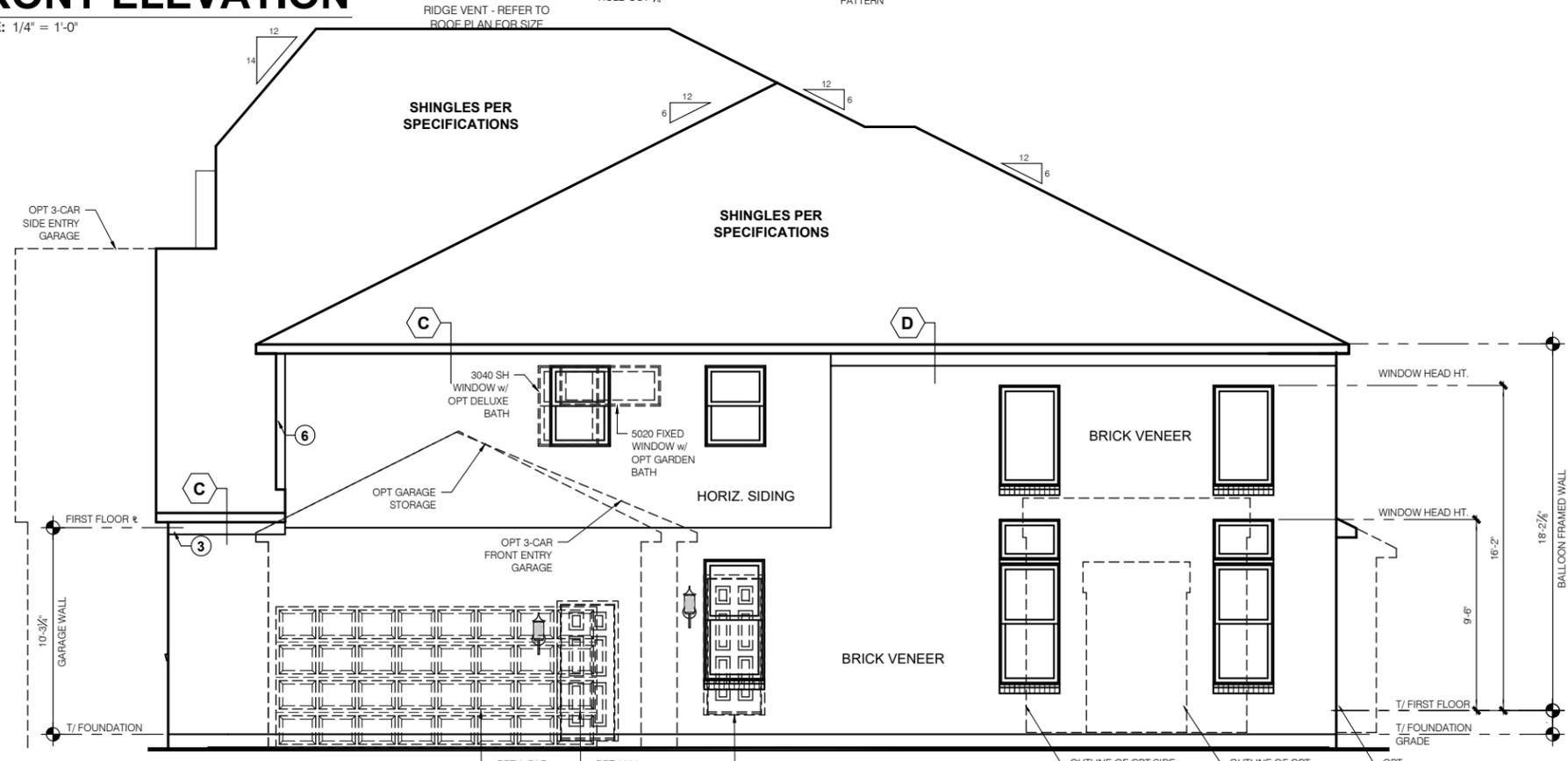
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LINTEL SCHEDULE**



**ELEVATION "C"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

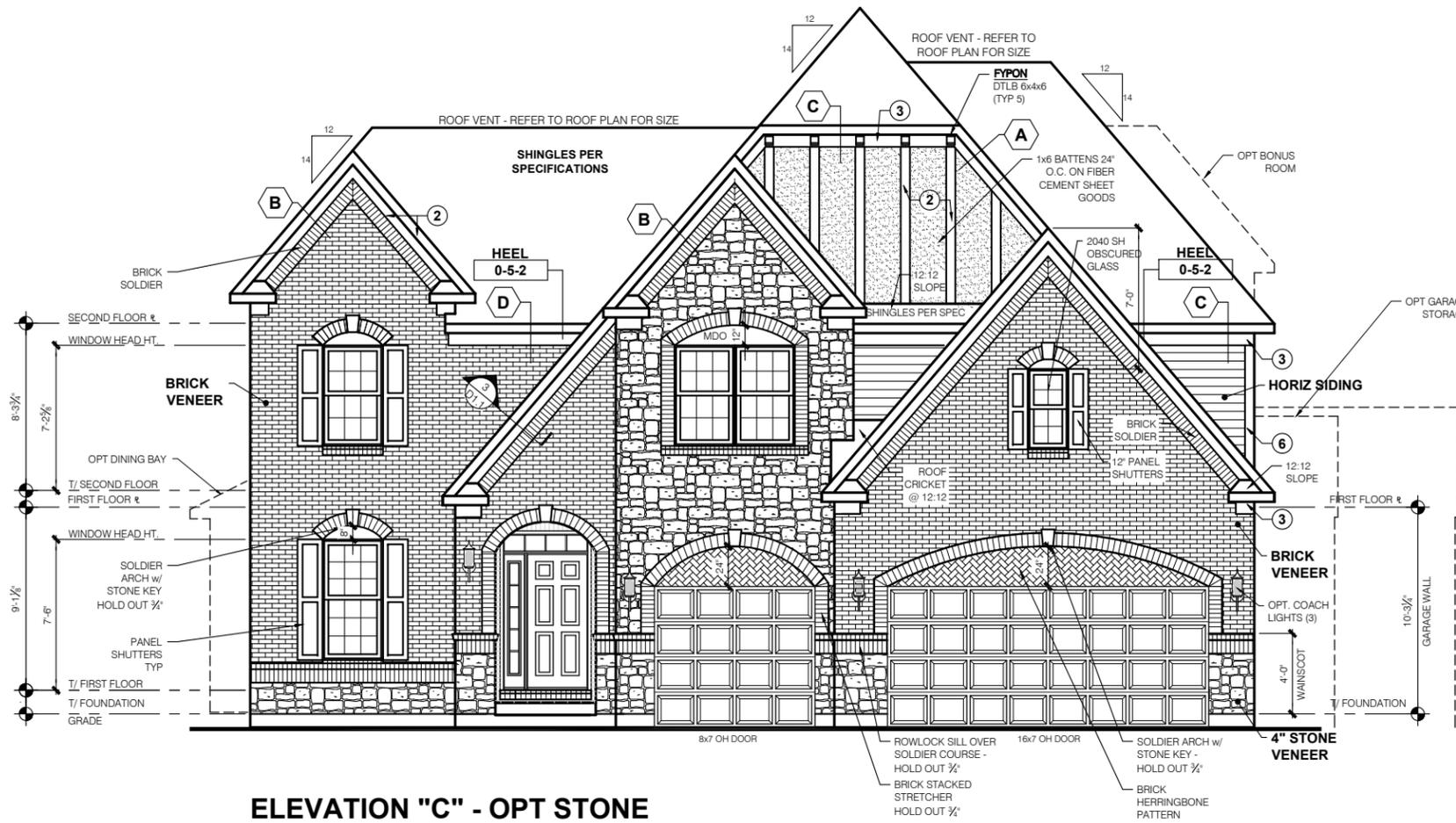
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Front and Garage
Elevations

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ELEVATION "C" - OPT STONE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



OPT STUDY/GUEST SUITE

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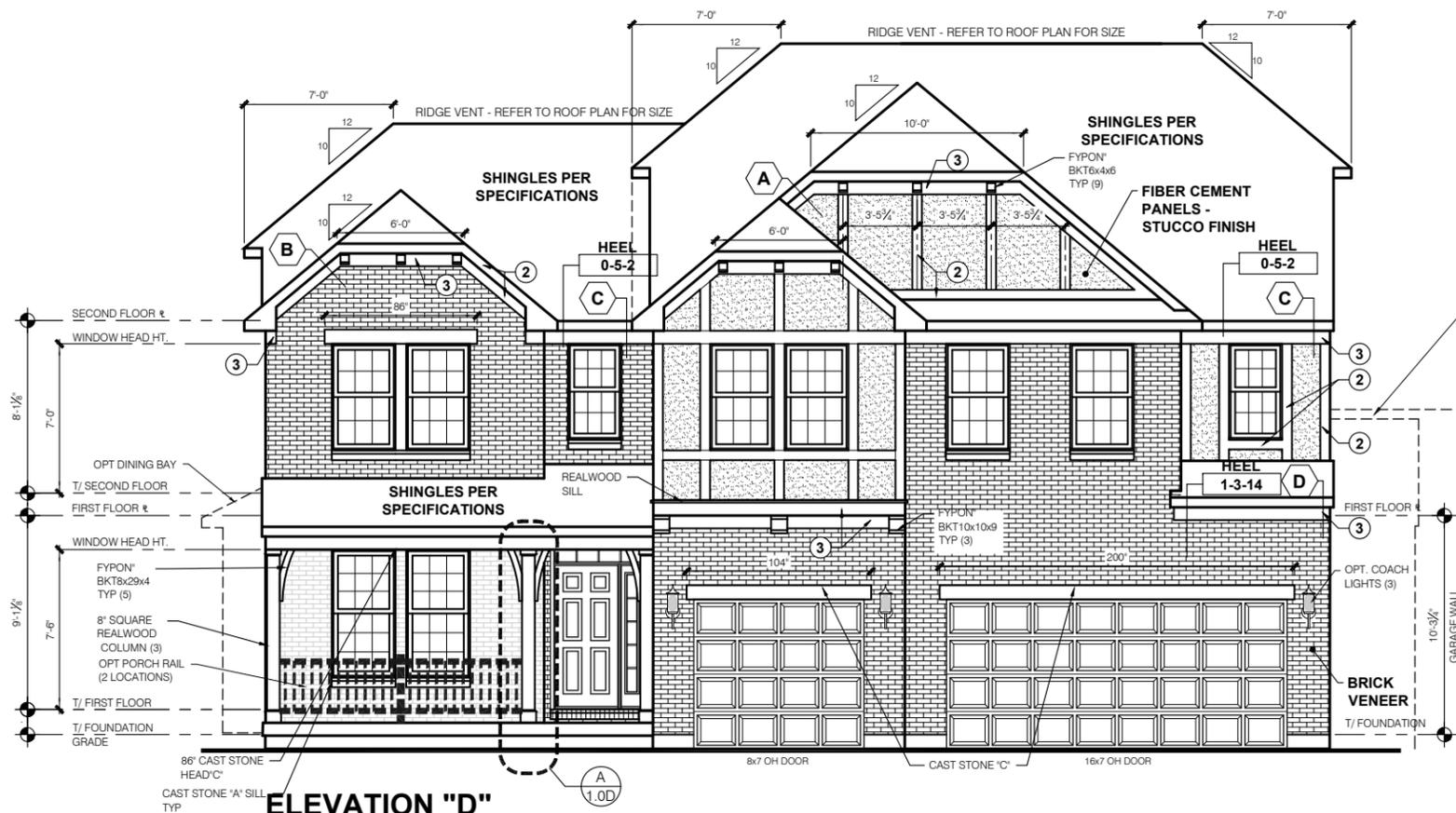
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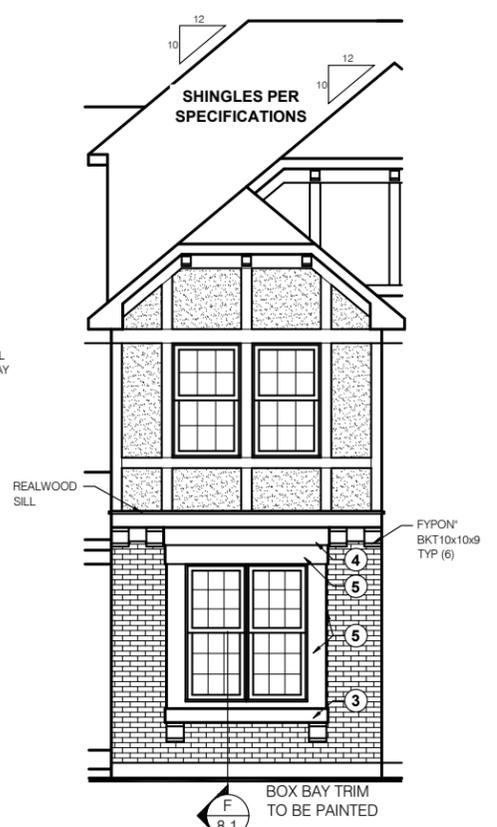
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Front Elevations -
Material Options

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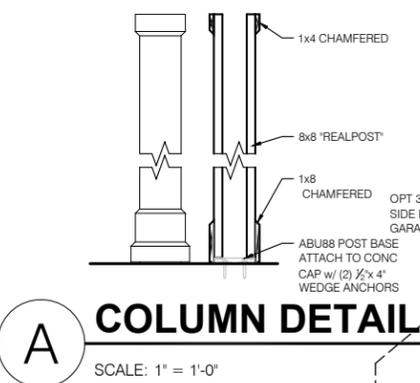
**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



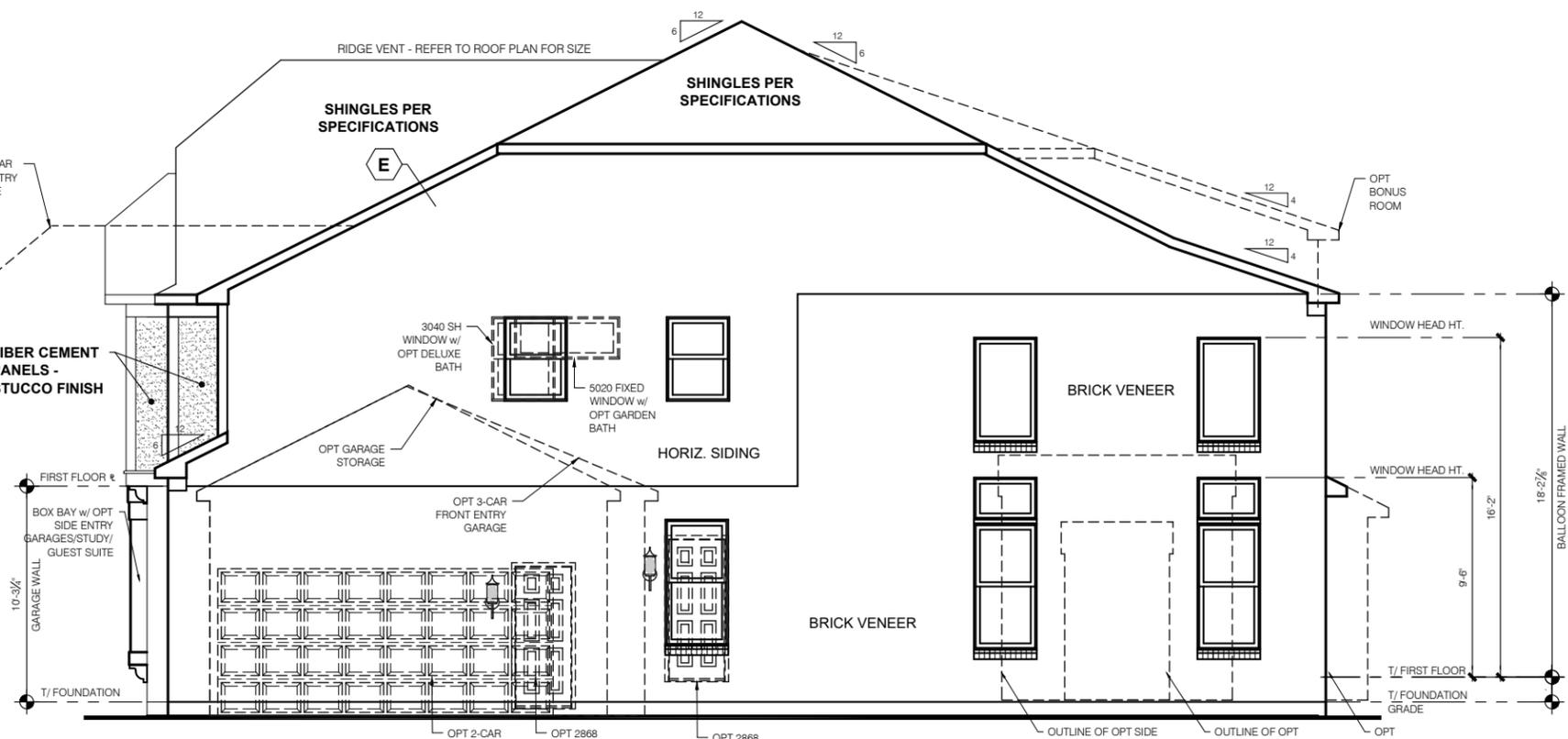
**OPT SIDE ENTRY GARAGES/
OPT STUDY/GUEST SUITE**

SCALE: 1/4" = 1'-0"



A COLUMN DETAIL

SCALE: 1" = 1'-0"



**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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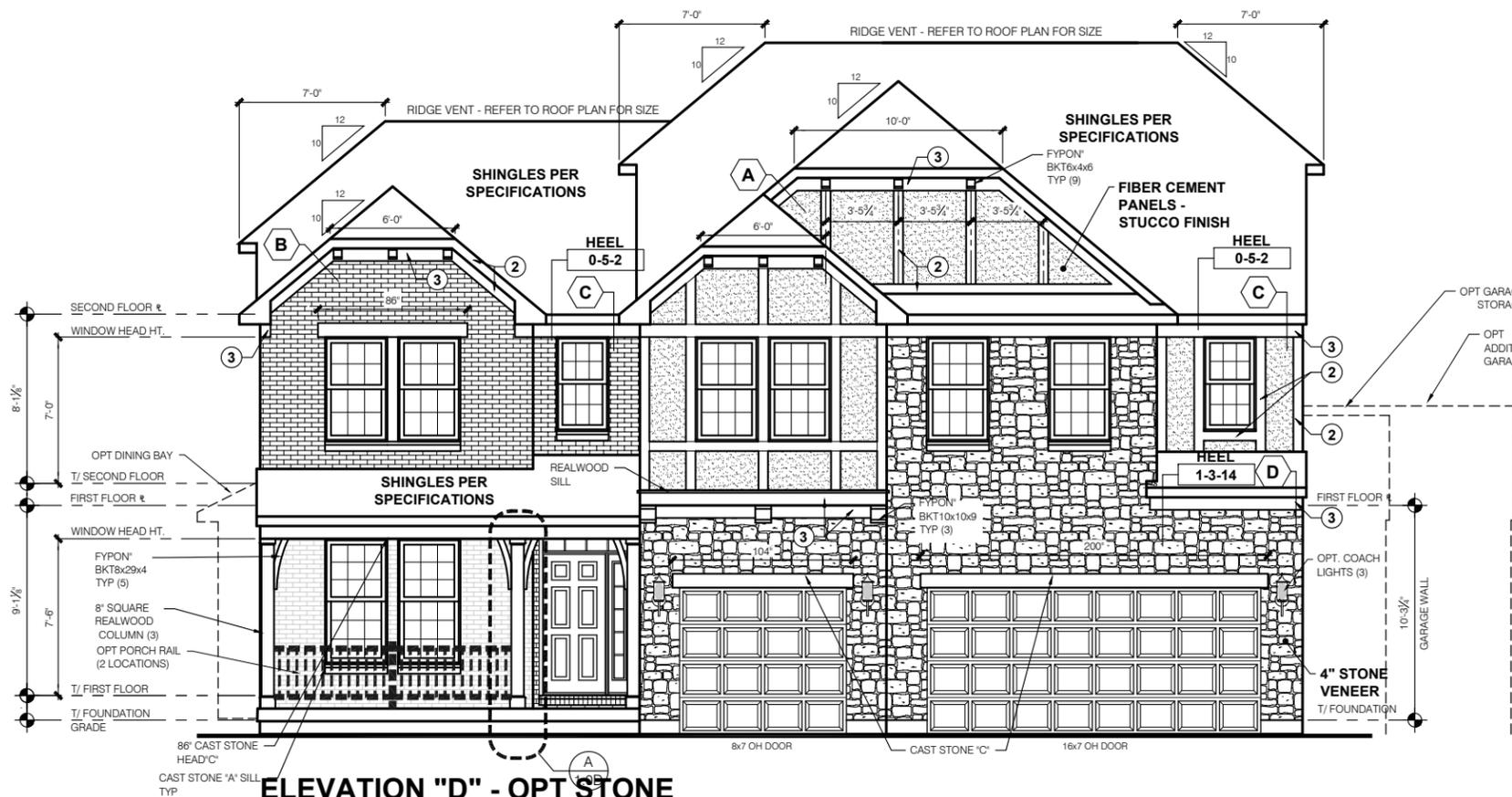
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Elevations

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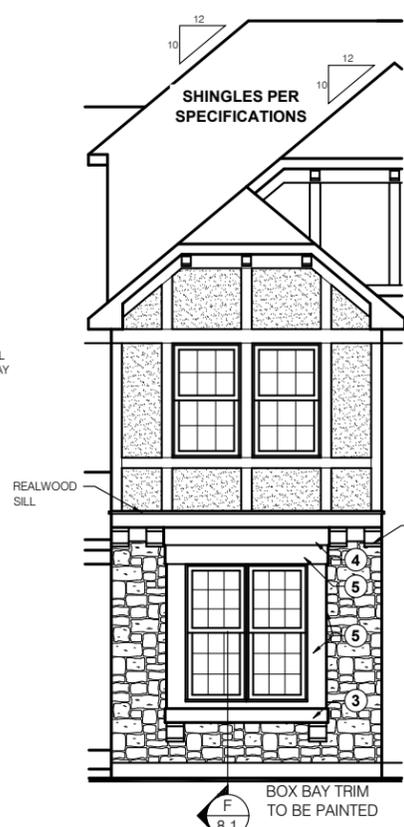
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ELEVATION "D" - OPT STONE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

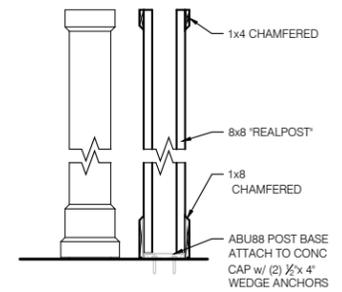


OPT SIDE ENTRY GARAGES / OPT STUDY/GUEST SUITE
SCALE: 1/4" = 1'-0"

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SEE SHEET D1.0 FOR EAVE DETAILS

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A COLUMN DETAIL
SCALE: 3/4" = 1'-0"

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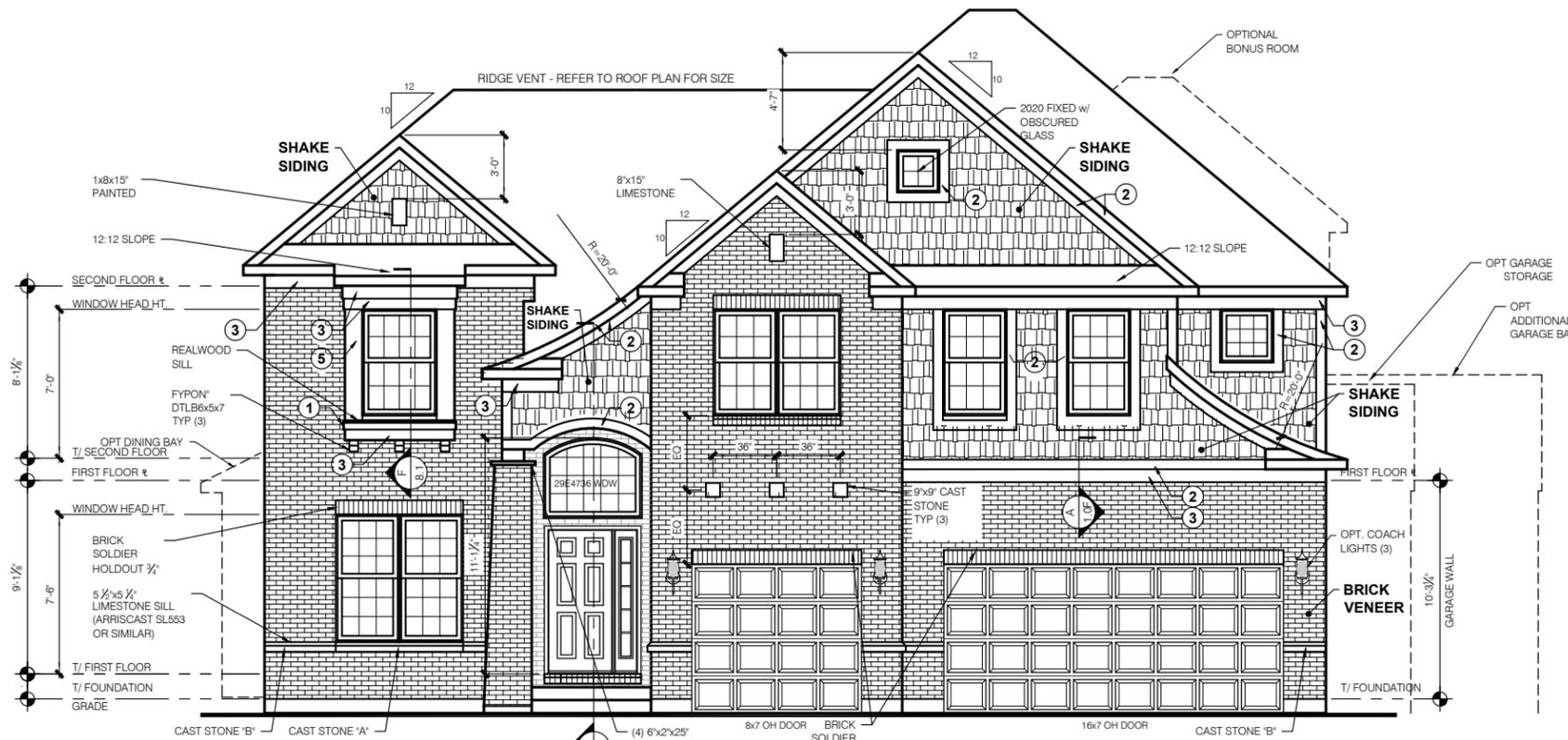
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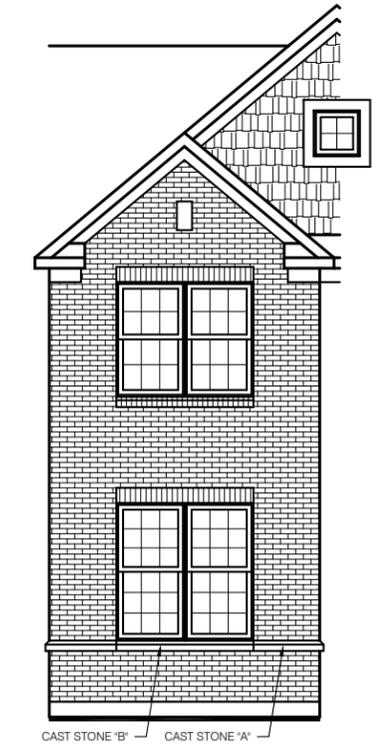
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 LSP Rev: ---
 Sheet Title:
 Front Elevations -
 Material Options

Sheet:
1.2D



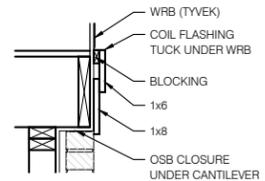
**ELEVATION "F"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



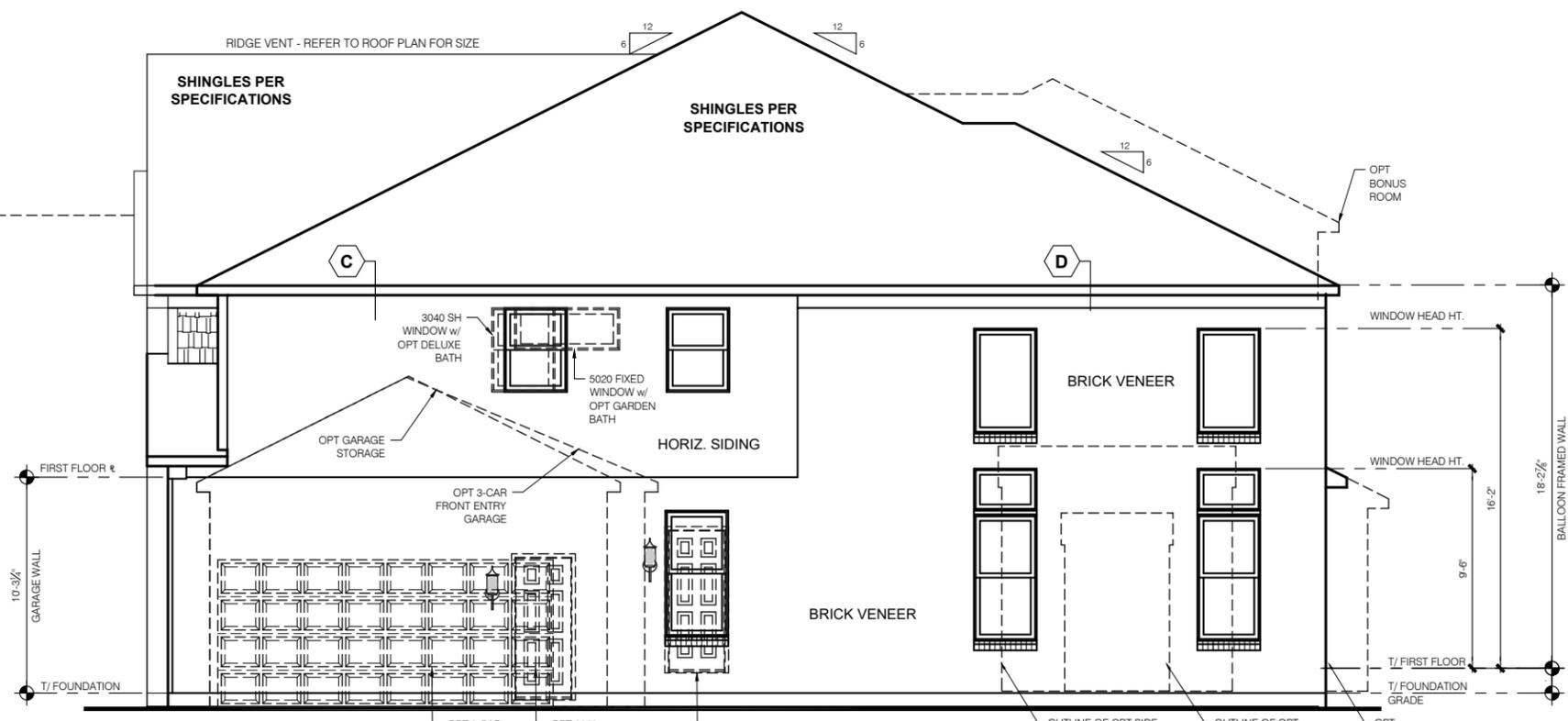
OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"



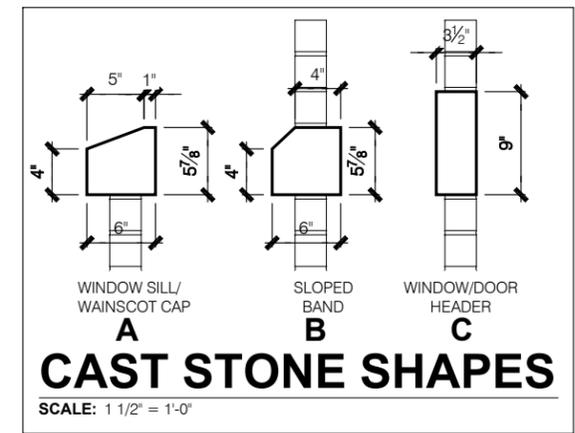
TRIM DETAIL

SCALE: 1" = 1'-0"



**ELEVATION "F"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE

CLASSIC SERIES

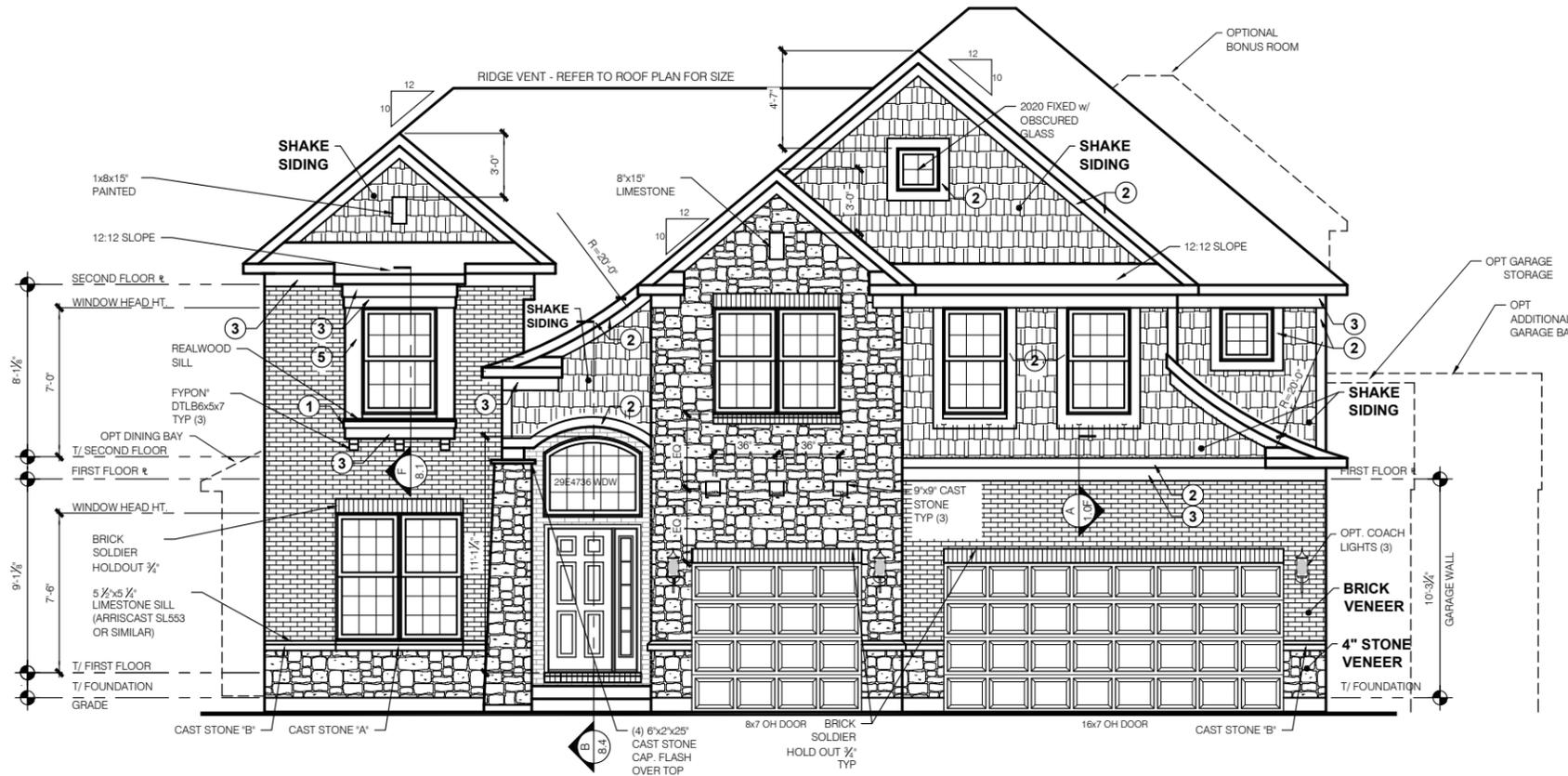

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11x17 PRINTS ARE 1/2" SCALE

Job #: ---
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Elevations

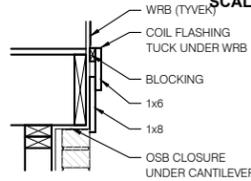
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ELEVATION "F" - OPT STONE FRONT ELEVATION

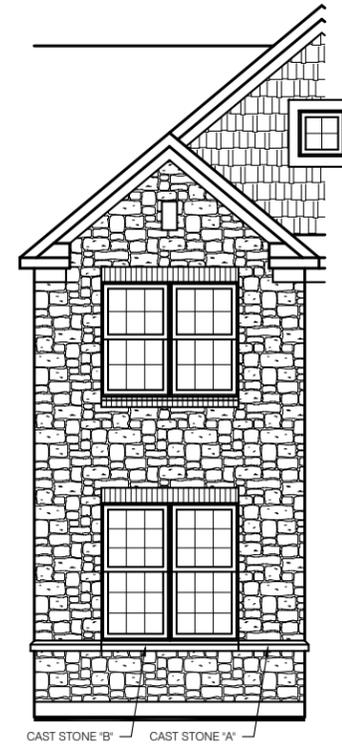
STONE SHOWN IS 4" NOMINAL CAST STONE

SCALE: 1/4" = 1'-0"



A TRIM DETAIL

SCALE: 1" = 1'-0"



OPT STUDY/GUEST SUITE

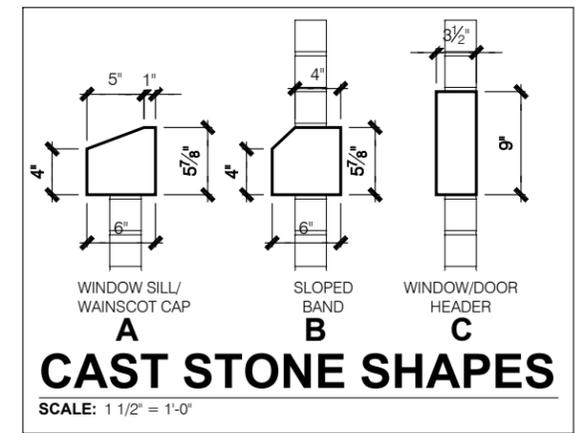
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

CLASSIC SERIES

11x17 PRINTS ARE 1/2" SCALE


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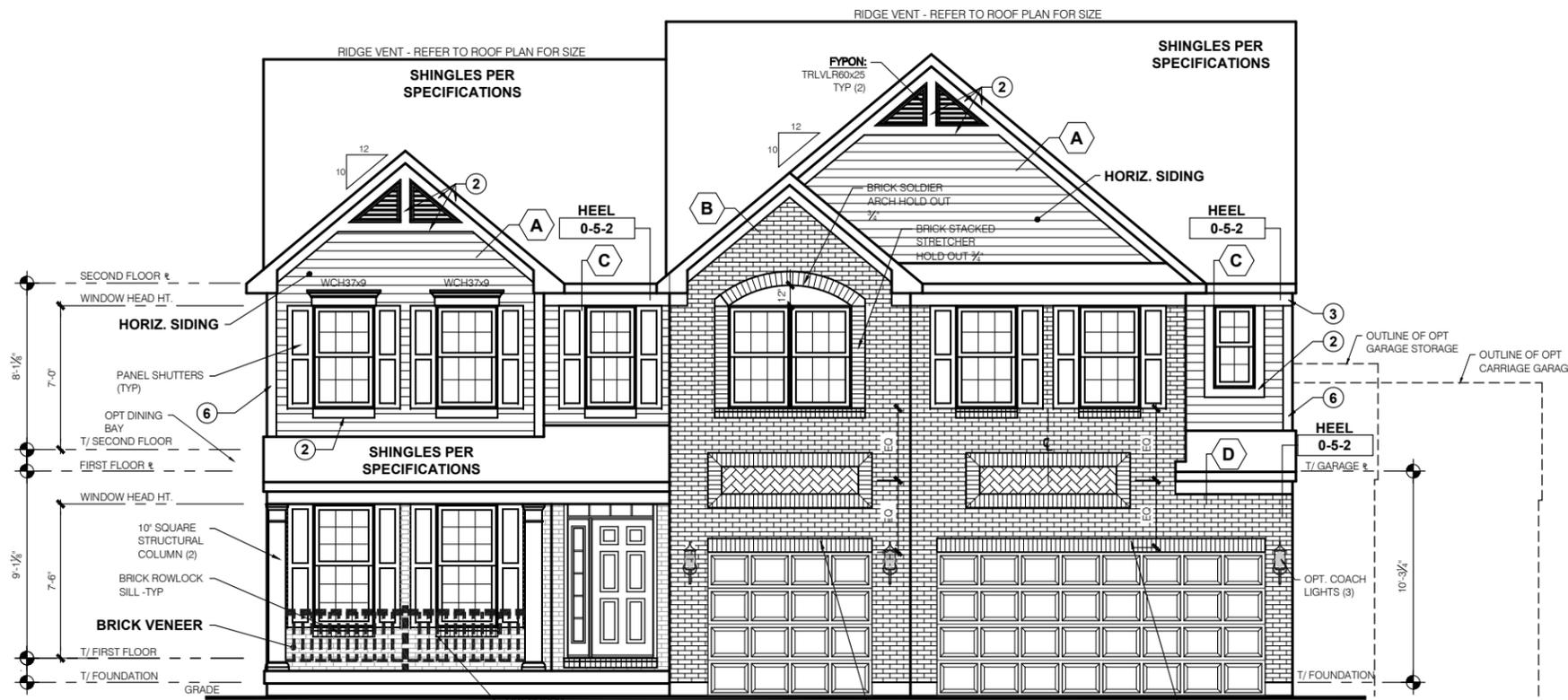
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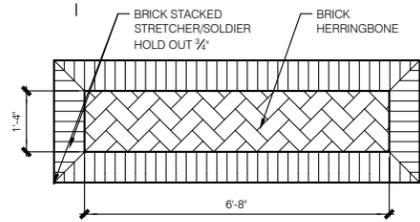
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 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front Elevations -
 Material Options

Sheet:

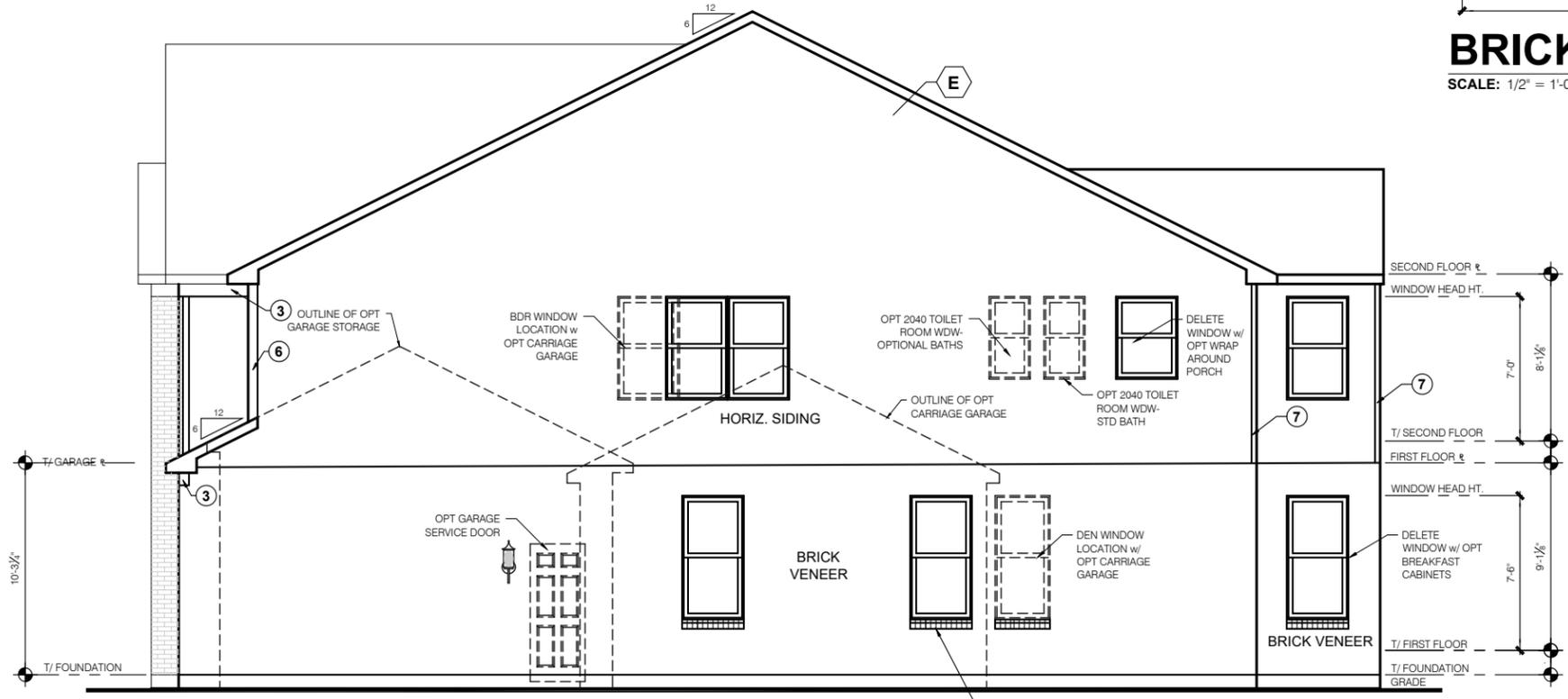
1.2F



**ELEVATION "A"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



BRICK DETAIL
SCALE: 1/2" = 1'-0"



**ELEVATION "A"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
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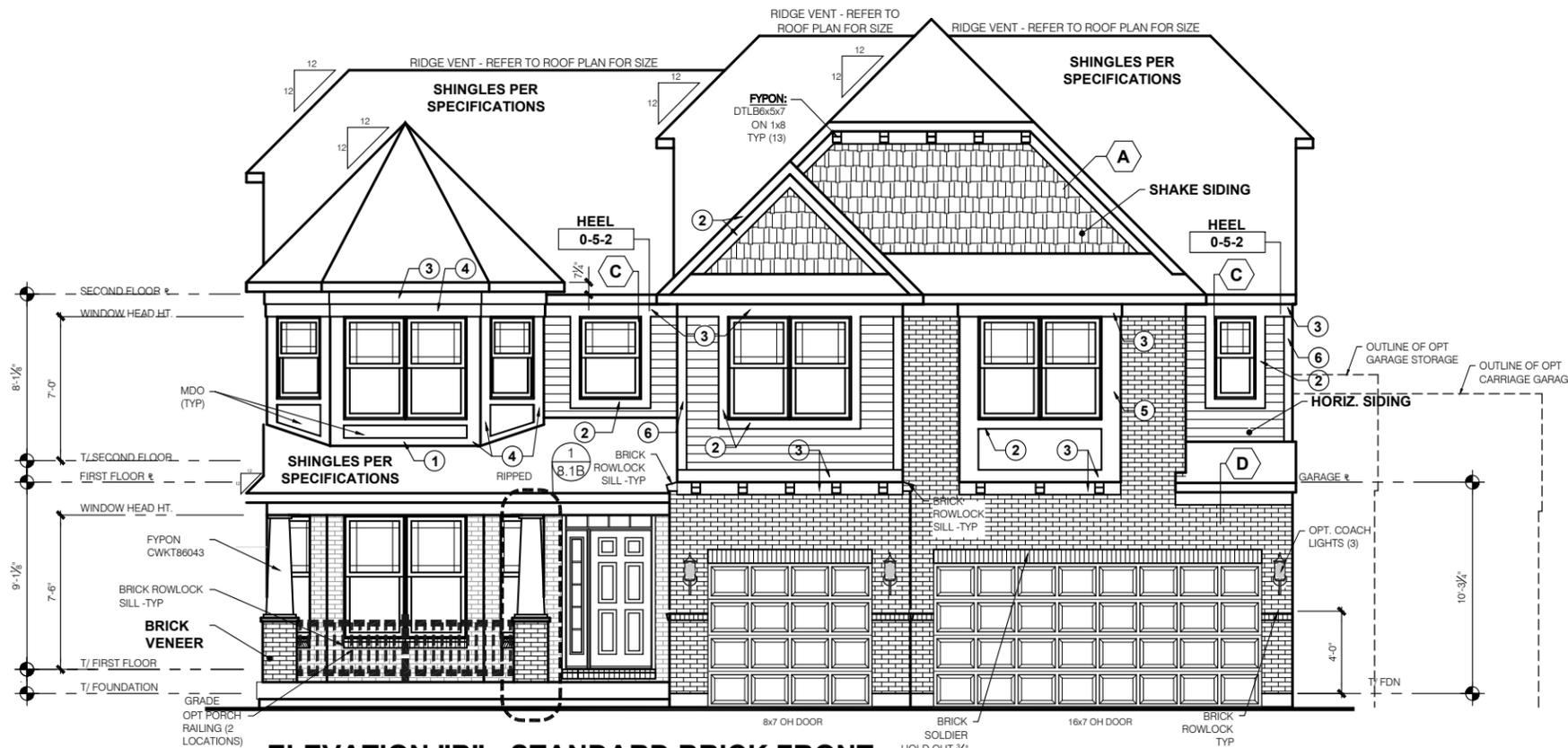
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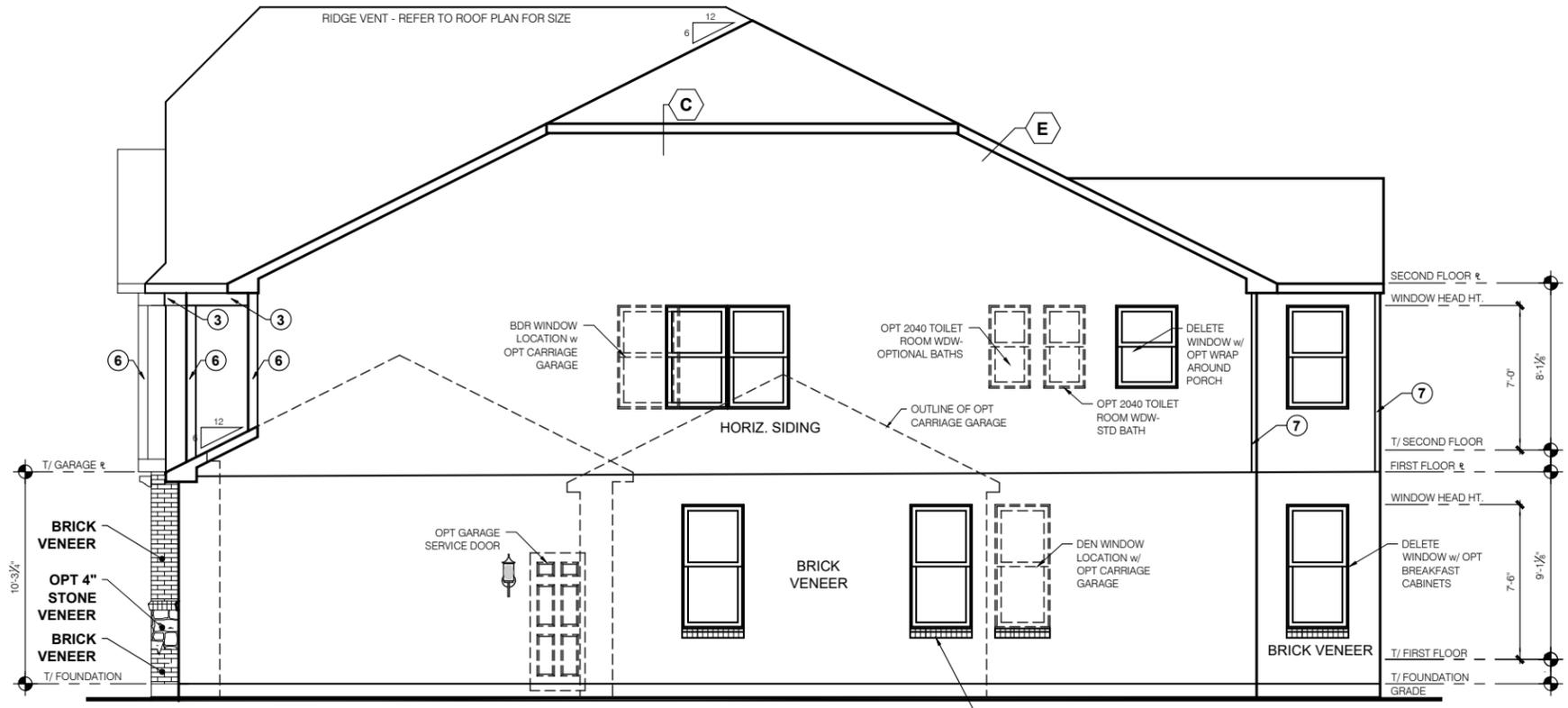
11x17 PRINTS ARE 1/2 SCALE

Job #:	###
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

Sheet:
1.0A



ELEVATION "B" - STANDARD BRICK FRONT FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



ELEVATION "B" GARAGE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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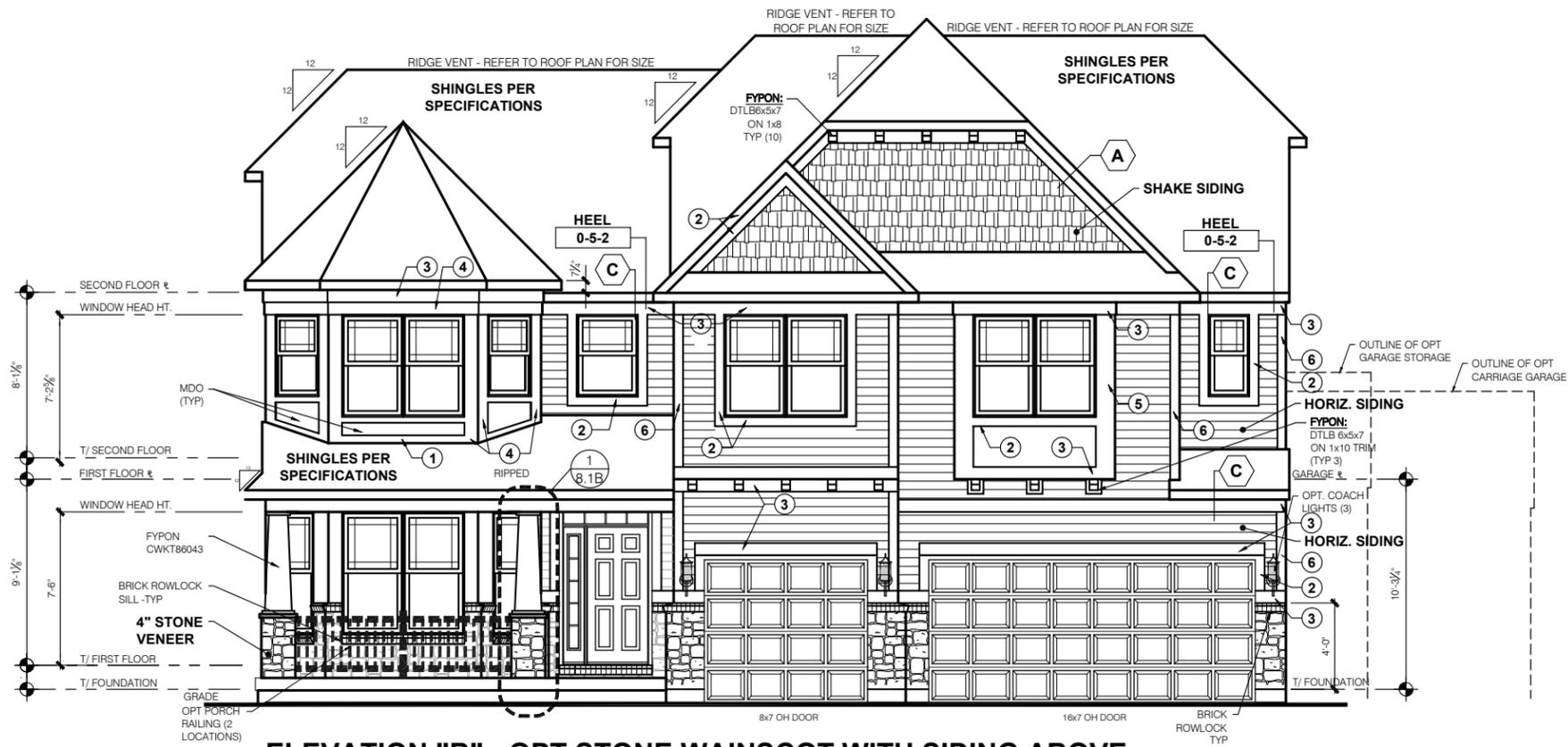
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11x17 PRINTS ARE 1/2" SCALE

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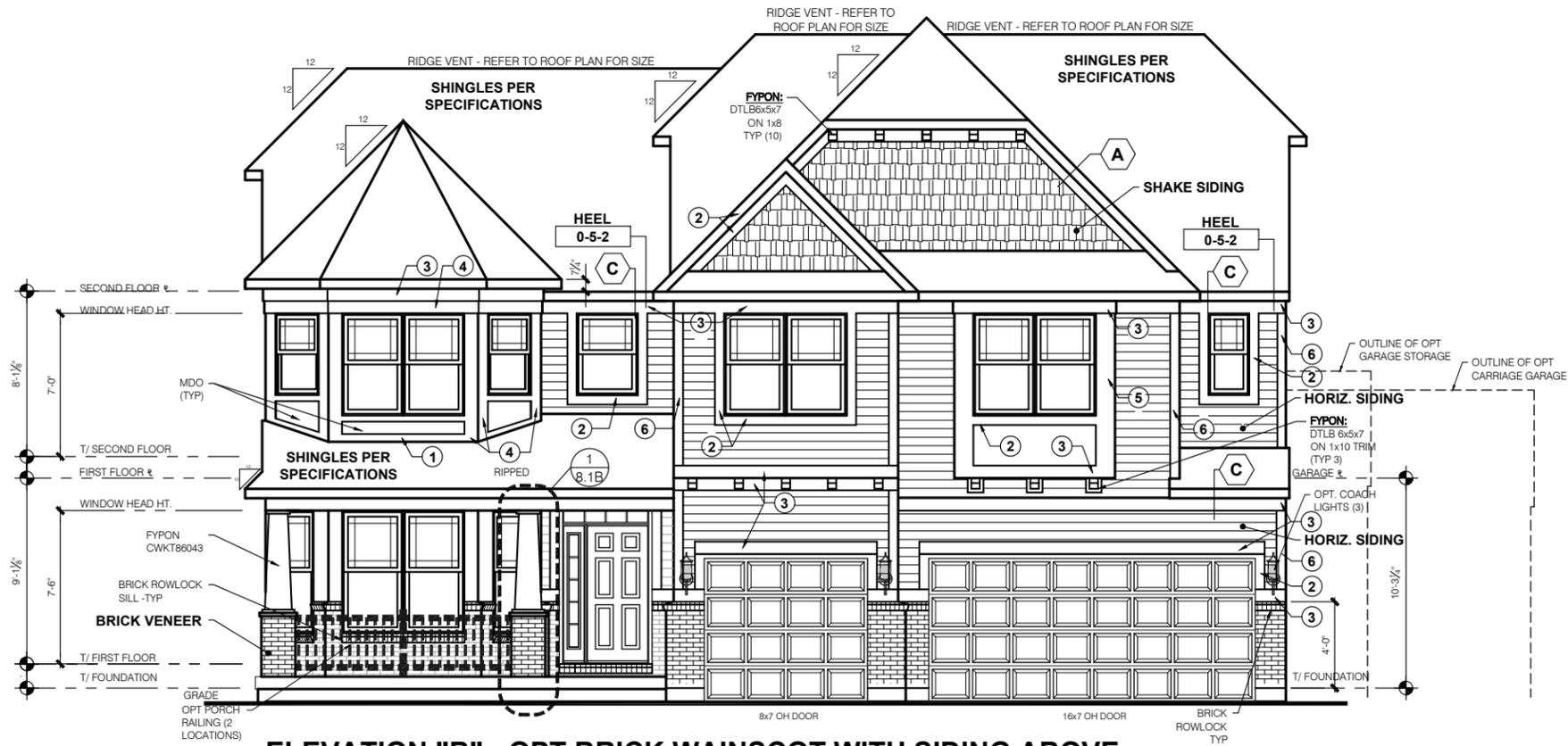
Job #:	###
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

Sheet:
1.0B



**ELEVATION "B" - OPT STONE WAINSCOT WITH SIDING ABOVE
FRONT ELEVATION** STONE SHOWN IS 4" NOMINAL CAST STONE

SCALE: 1/4" = 1'-0"



**ELEVATION "B" - OPT BRICK WAINSCOT WITH SIDING ABOVE
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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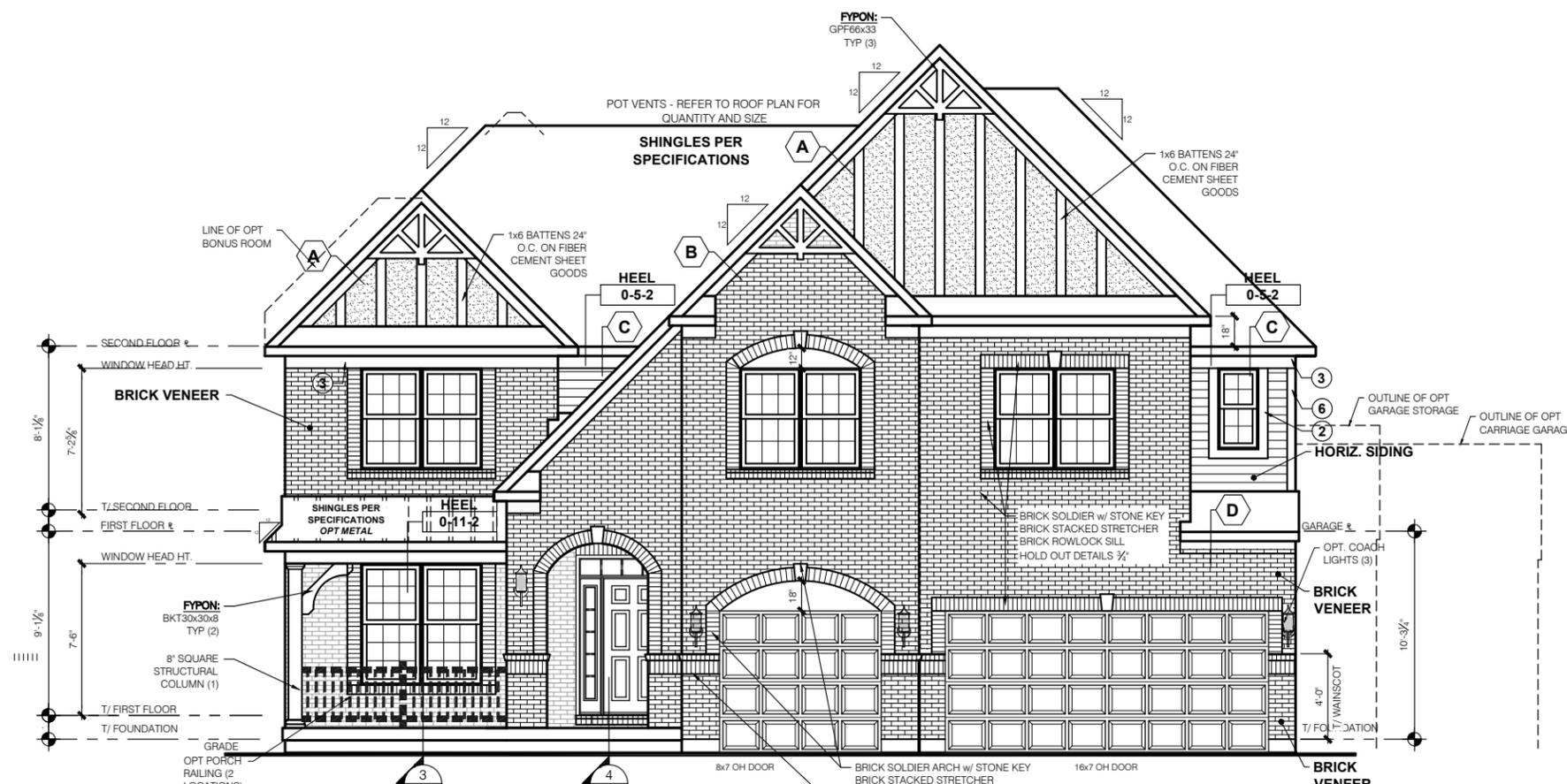
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11x17 PRINTS ARE 1/2 SCALE

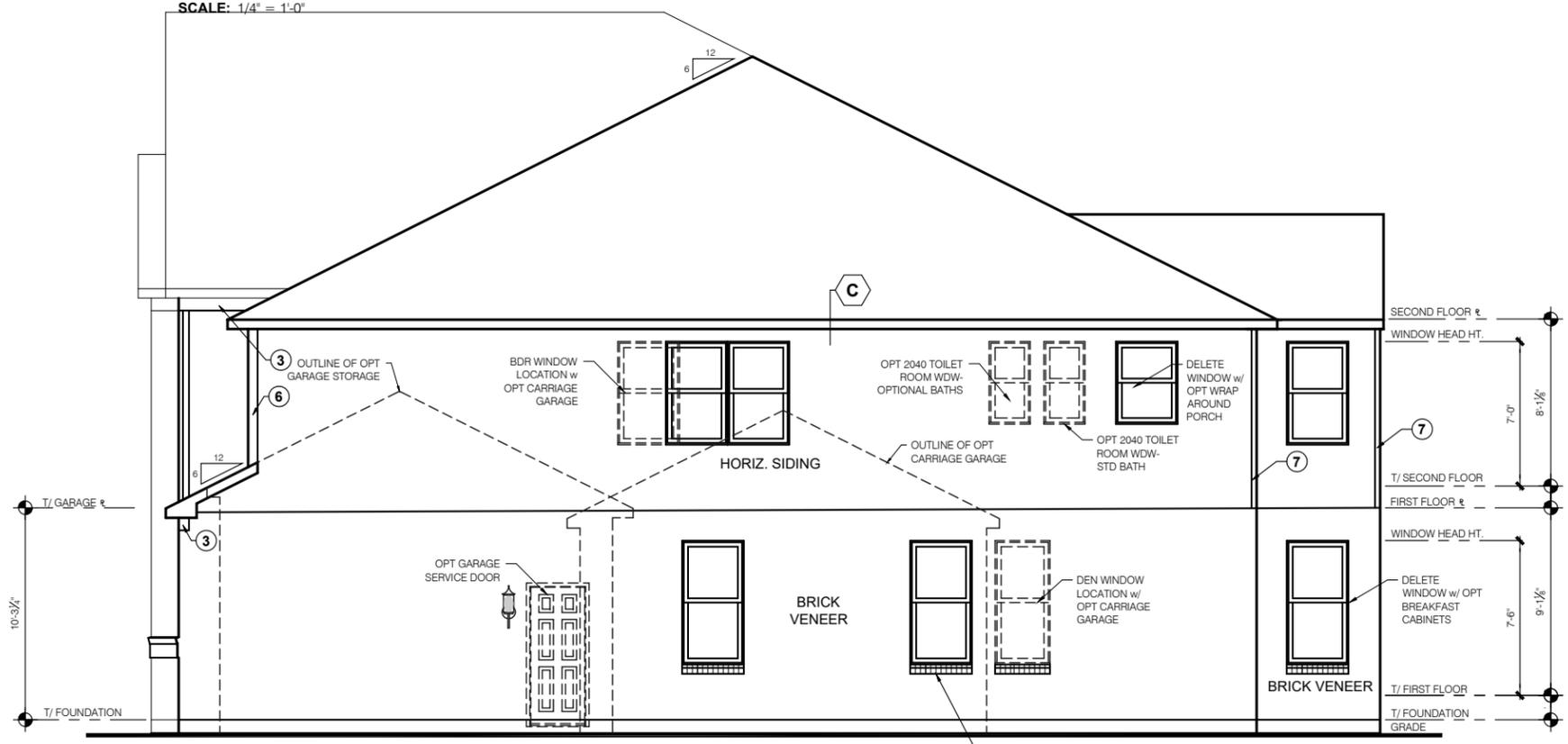
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LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevations - Material Options

Sheet: **1.2B**



**ELEVATION "C"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "C"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

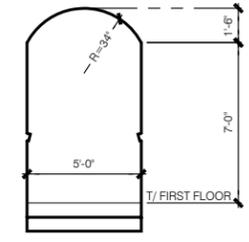
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SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
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ENTRY ARCH DETAIL
SCALE: 1/4" = 1'-0"

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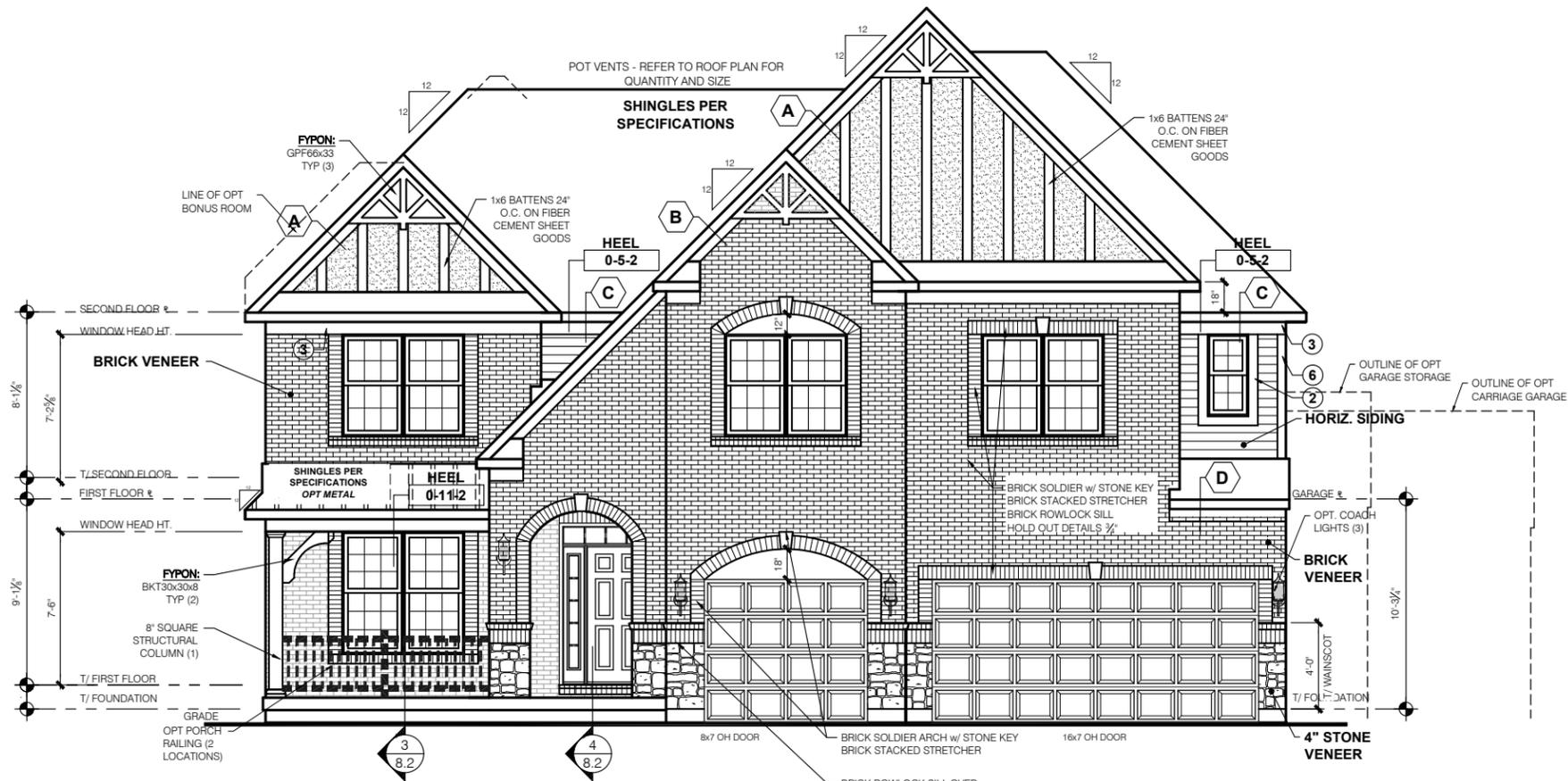
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11x17 PRINTS ARE 1/2 SCALE

Job #:	###
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

Sheet:
1.0C



ELEVATION "C" - OPT STONE WAINSCOT FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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⑤	= 12" TRIM
⑥	FRONT CORNERS = ⑥ TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = ⑦ TRIM PER DIVISION - SEE SPECS

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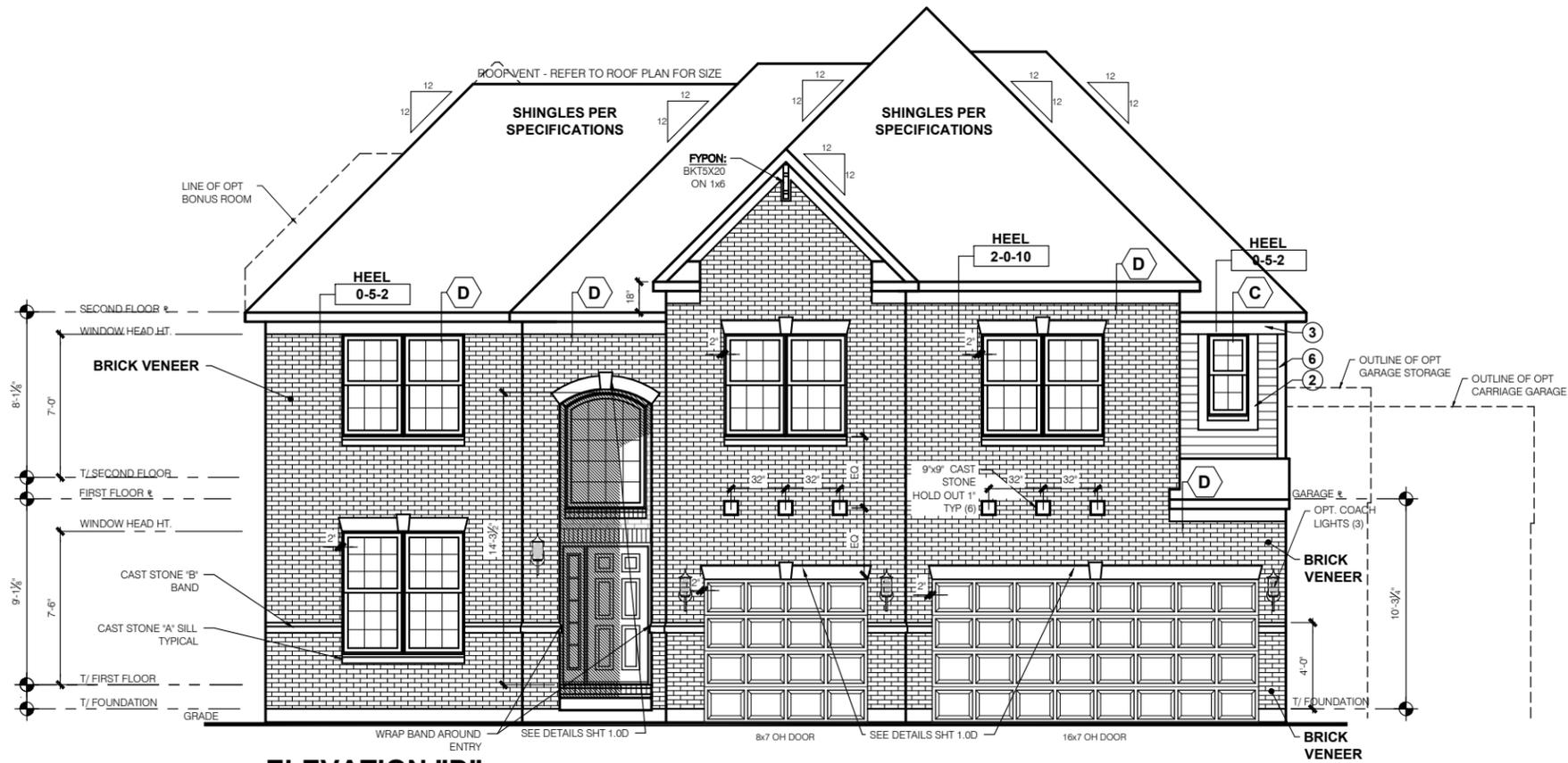
11x17 PRINTS ARE 1/2 SCALE

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LSP Rev:	---

Sheet Title :
Front Elevations -
Material Options

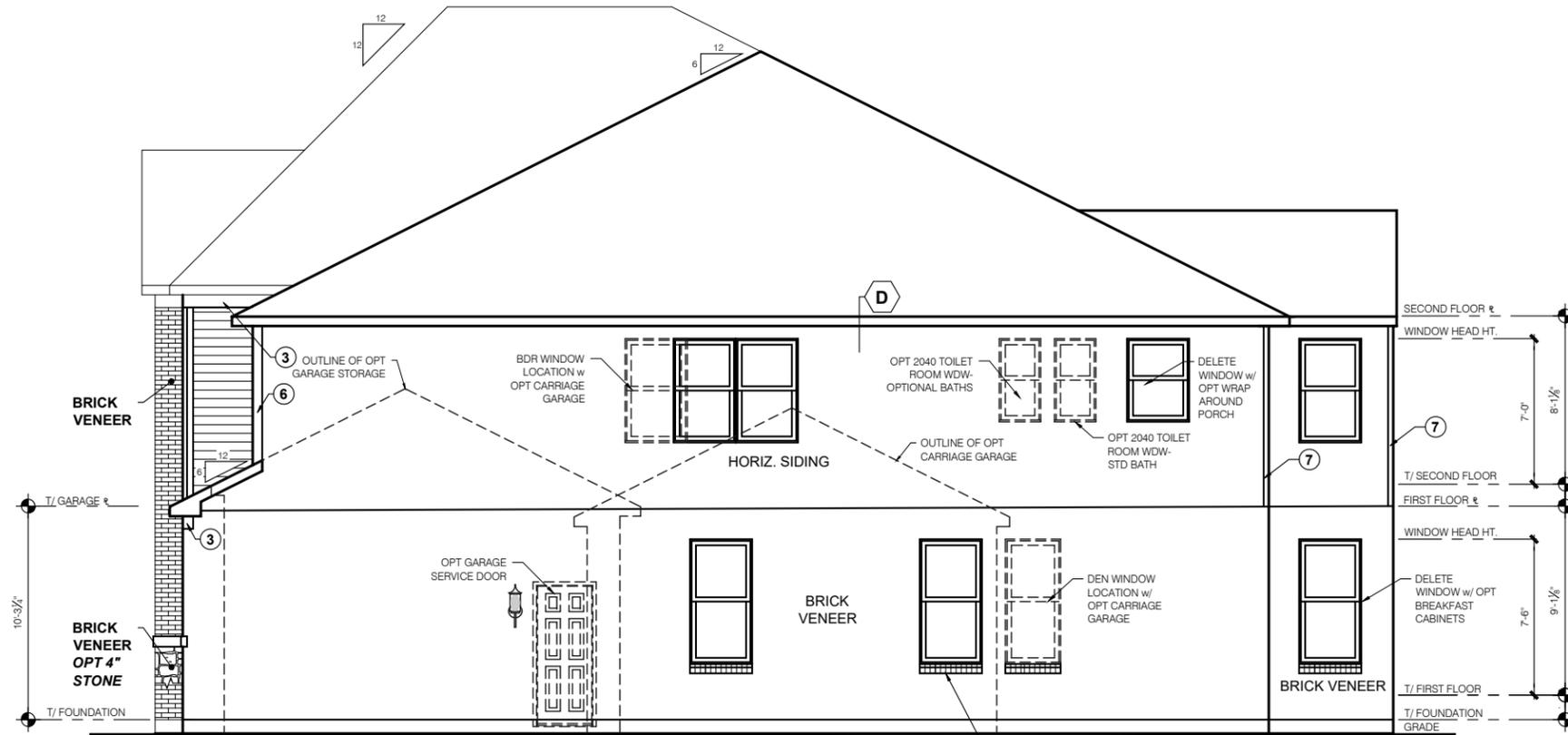
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1.2C



**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "D"
GARAGE SIDE ELEVATION**

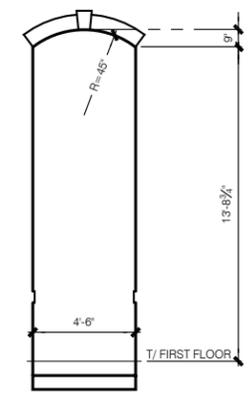
SCALE: 1/4" = 1'-0"

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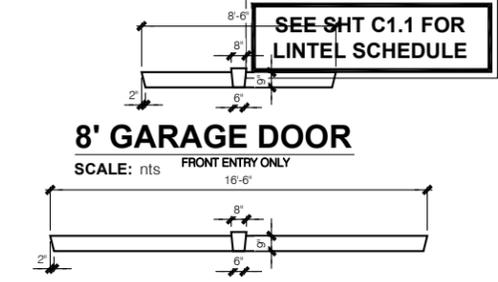
DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS



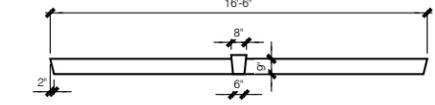
ENTRY ARCH DETAIL

SCALE: 1/4" = 1'-0"



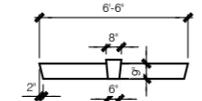
8' GARAGE DOOR

SCALE: nts FRONT ENTRY ONLY



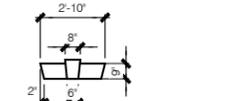
16' GARAGE DOOR

SCALE: nts FRONT ENTRY ONLY



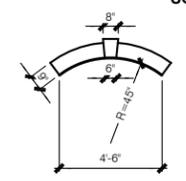
DBL WINDOW HDRS

SCALE: nts



2030 GAR WINDOW

SCALE: nts

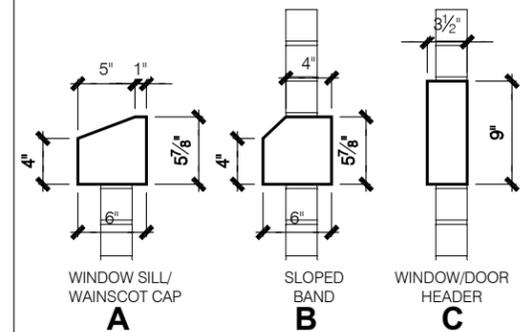


ENTRY ARCH DETAIL

SCALE: nts

**ELEVATION "D"
PRECAST STONE DETAILS**

SCALE: 1/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

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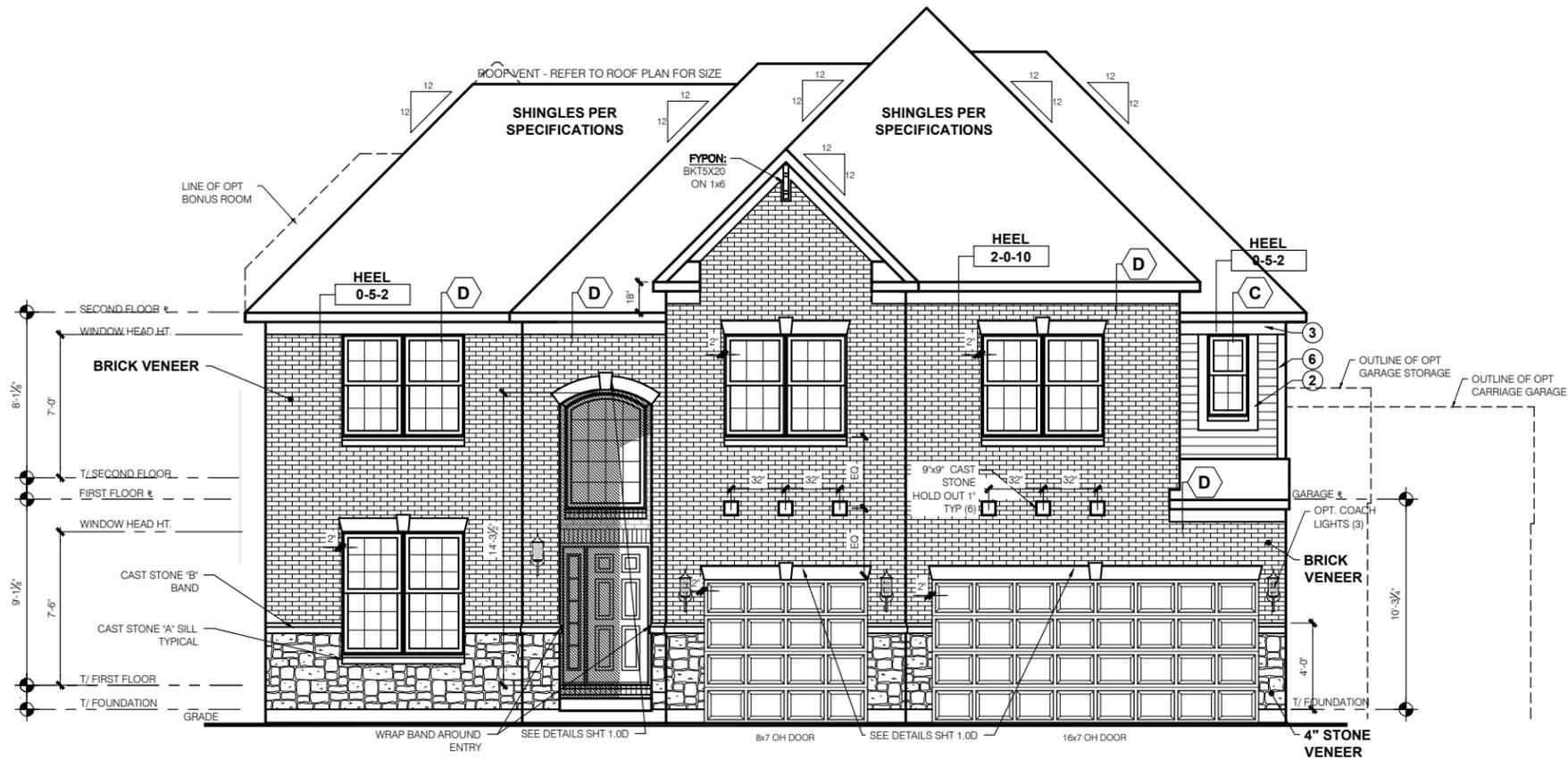
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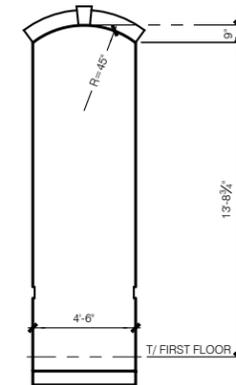
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LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

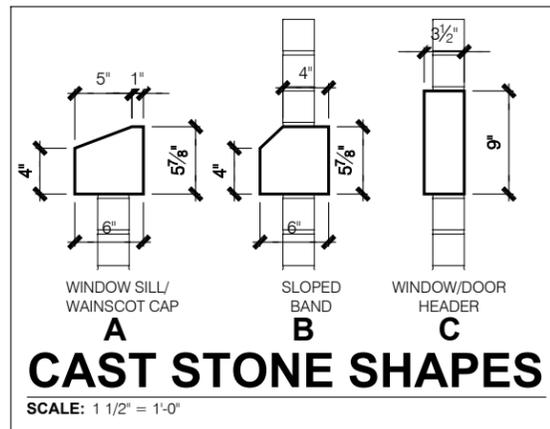
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ELEVATION "D" - OPT STONE WAINSCOT FRONT ELEVATION
 SCALE: 1/4" = 1'-0" STONE SHOWN IS 4" NOMINAL CAST STONE



ENTRY ARCH DETAIL
 SCALE: 1/4" = 1'-0"



CAST STONE SHAPES
 SCALE: 1 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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11x17 PRINTS ARE 1/2" SCALE

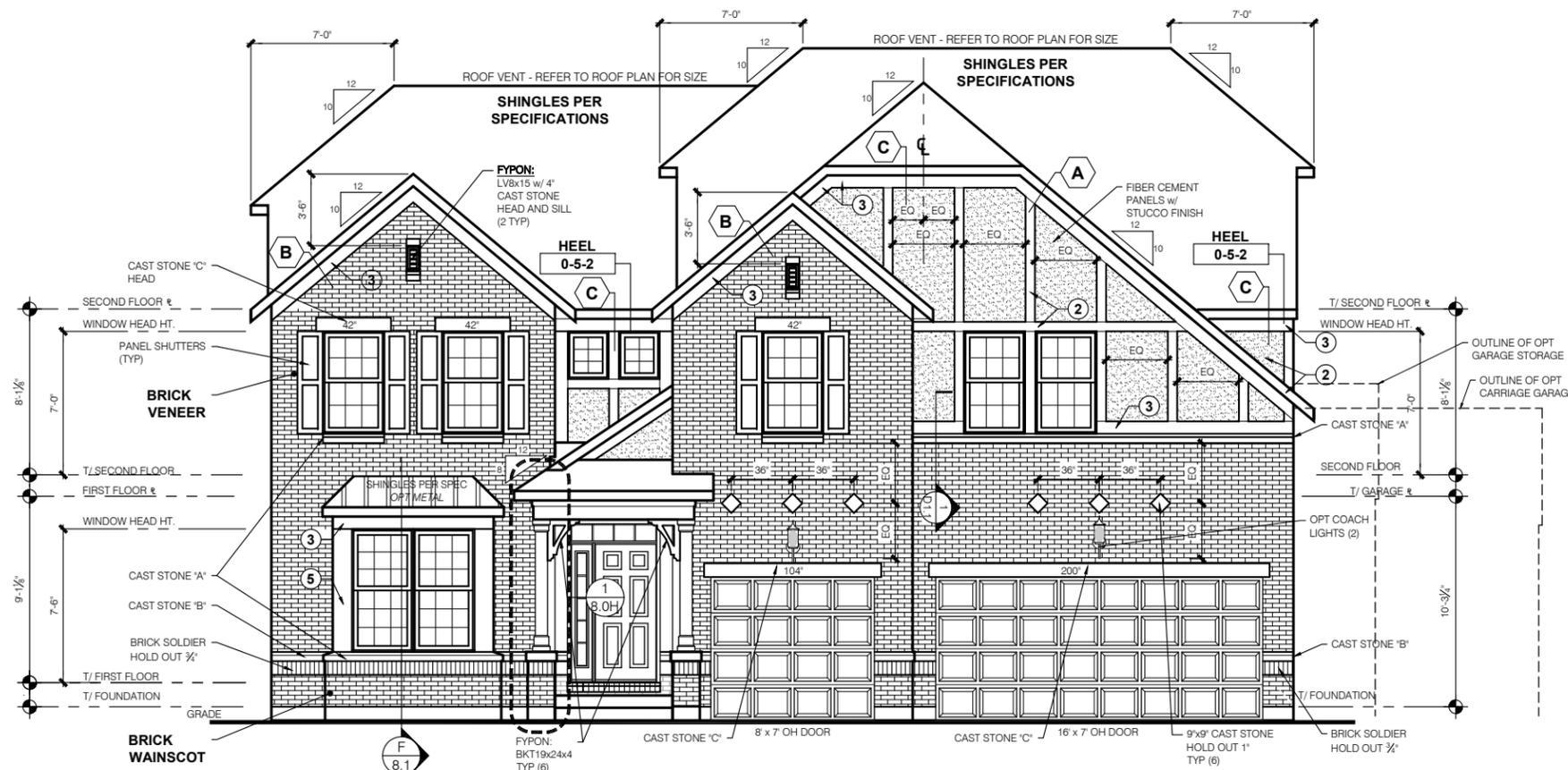

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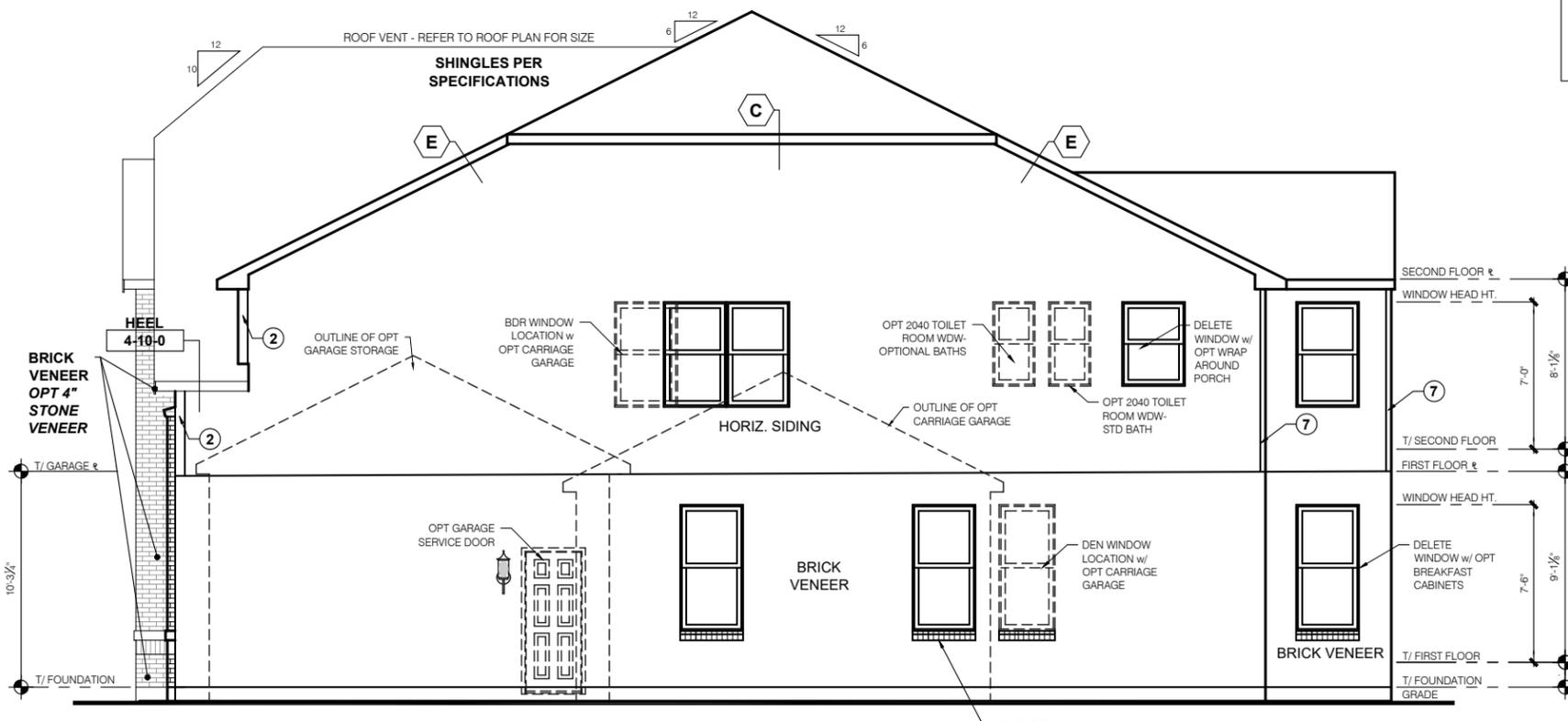
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 LSP By: BY
 LSP Rev: ---
 Sheet Title:
 Front Elevations -
 Material Options
 Sheet:

1.2D



**ELEVATION "H"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "H"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

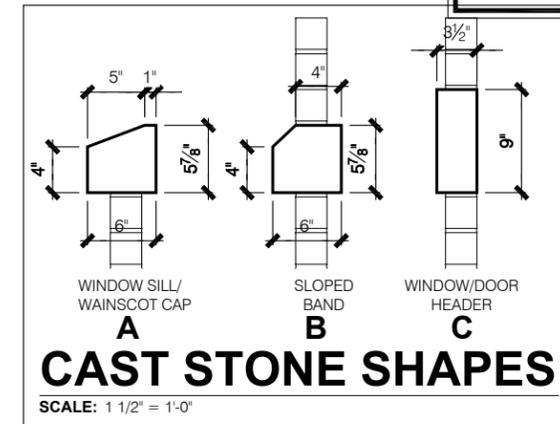
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②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE



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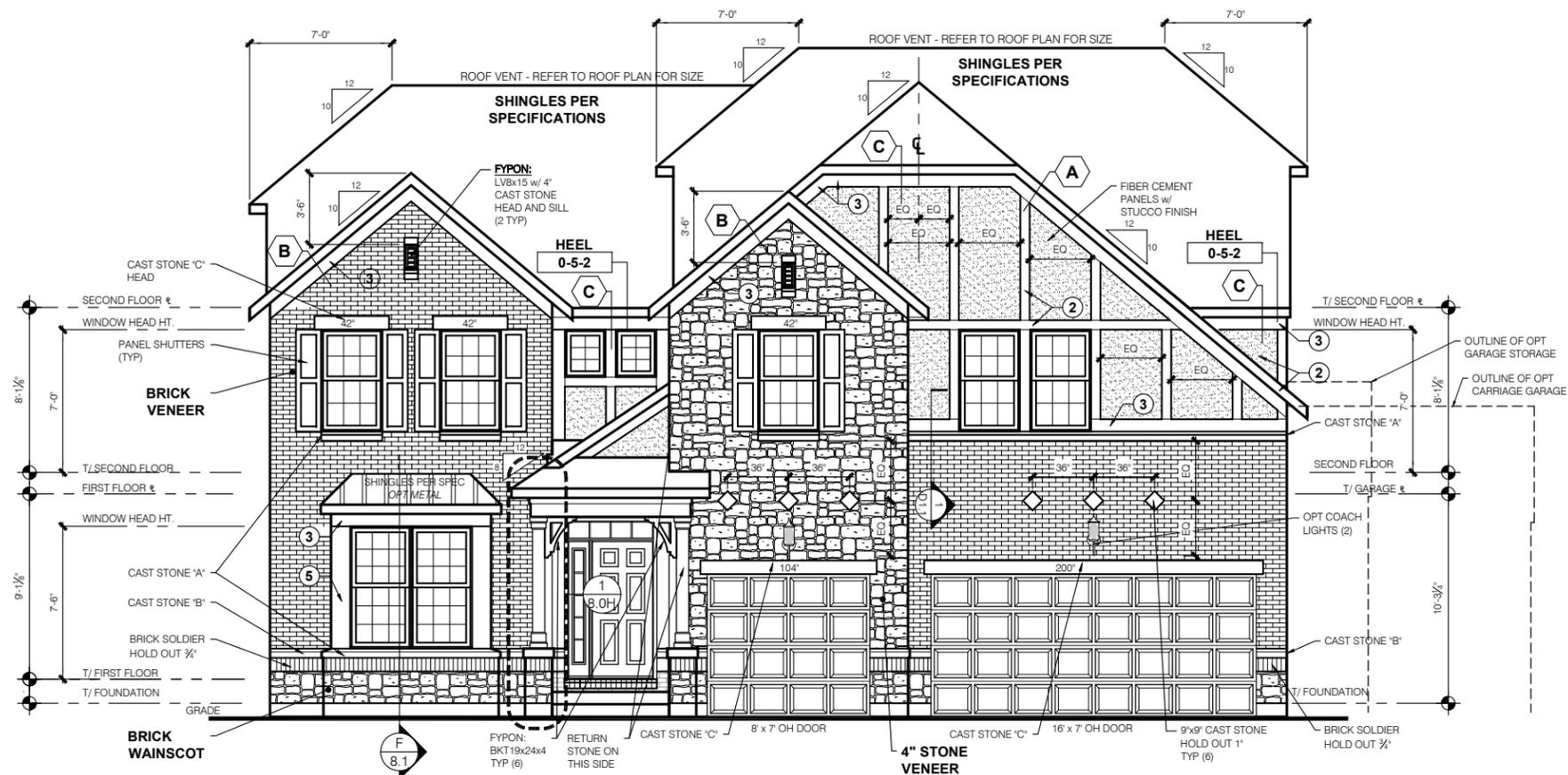
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11x17 PRINTS ARE 1/2 SCALE

Job #:	---
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LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Elevations

Sheet:
1.0H



OPT STONE ELEVATION "H" FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

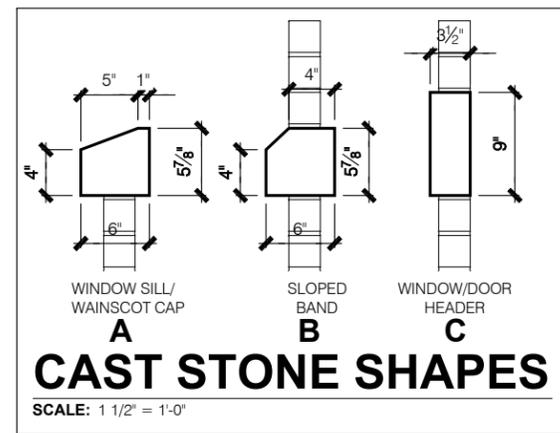
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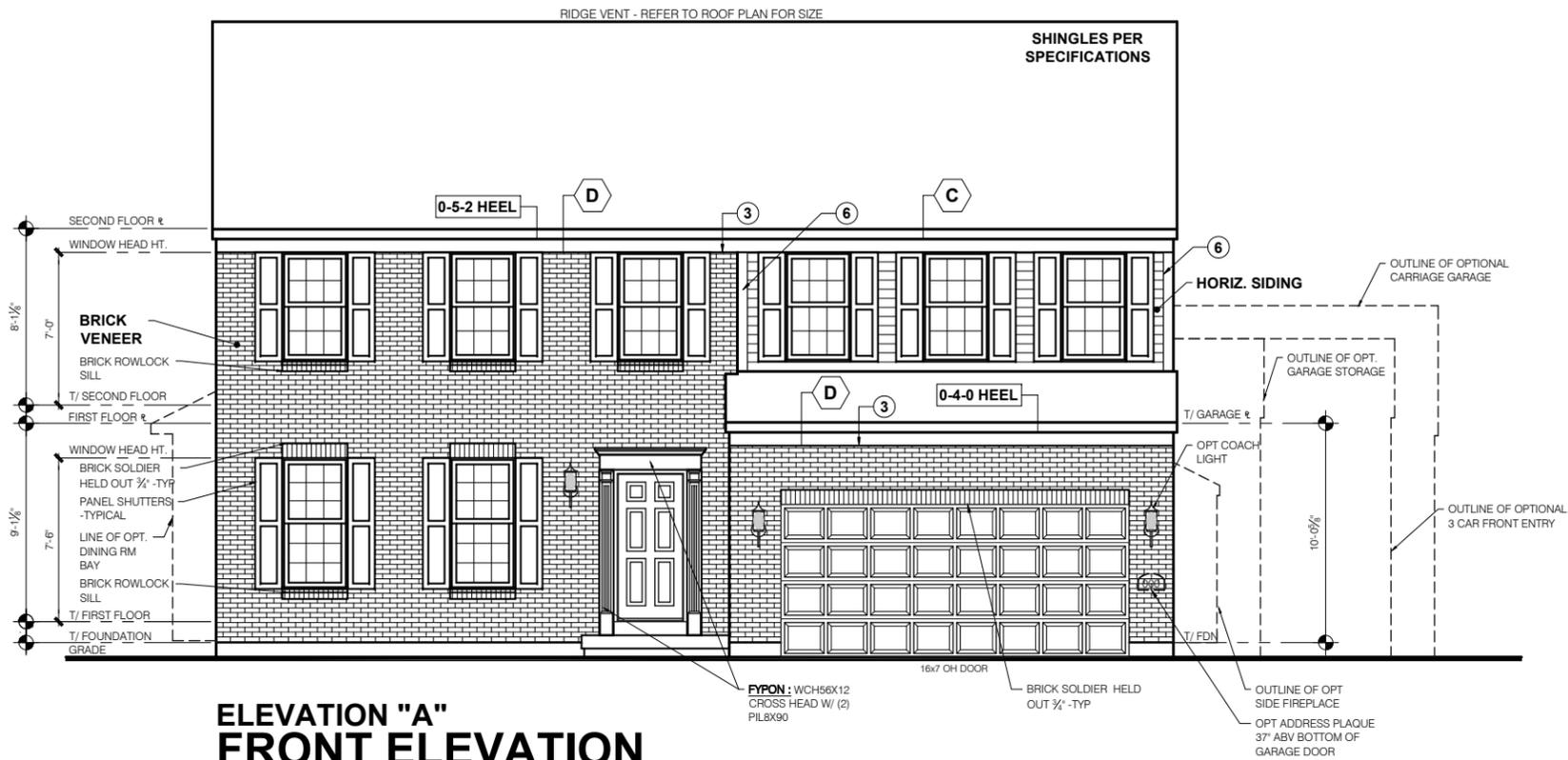
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 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front Elevations -
 Material Options
 Sheet:
1.2H



**ELEVATION "A"
FRONT ELEVATION**

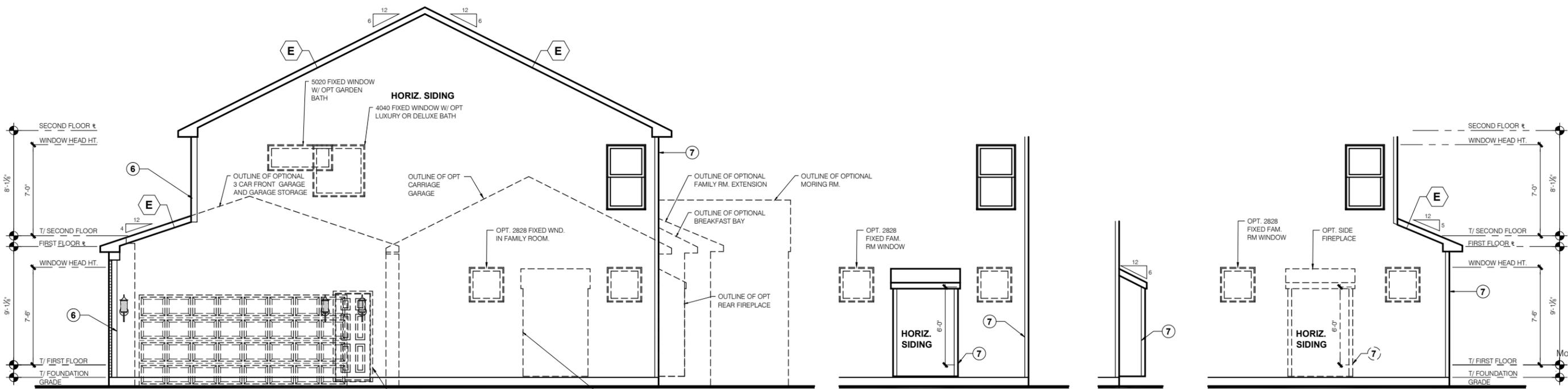
SCALE: 1/4" = 1'-0"

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SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW/DOOR LINTELS:
SEE SHEET D6.0 FOR WINDOW & DOOR LINTEL SCHEDULE WHEN BRICK OR 4" NOMINAL STONE IS USED



**ELEVATION "A"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

OPT SIDE FIREPLACE

**OPT EXTENDED FAMILY ROOM
GARAGE SIDE ELEV**

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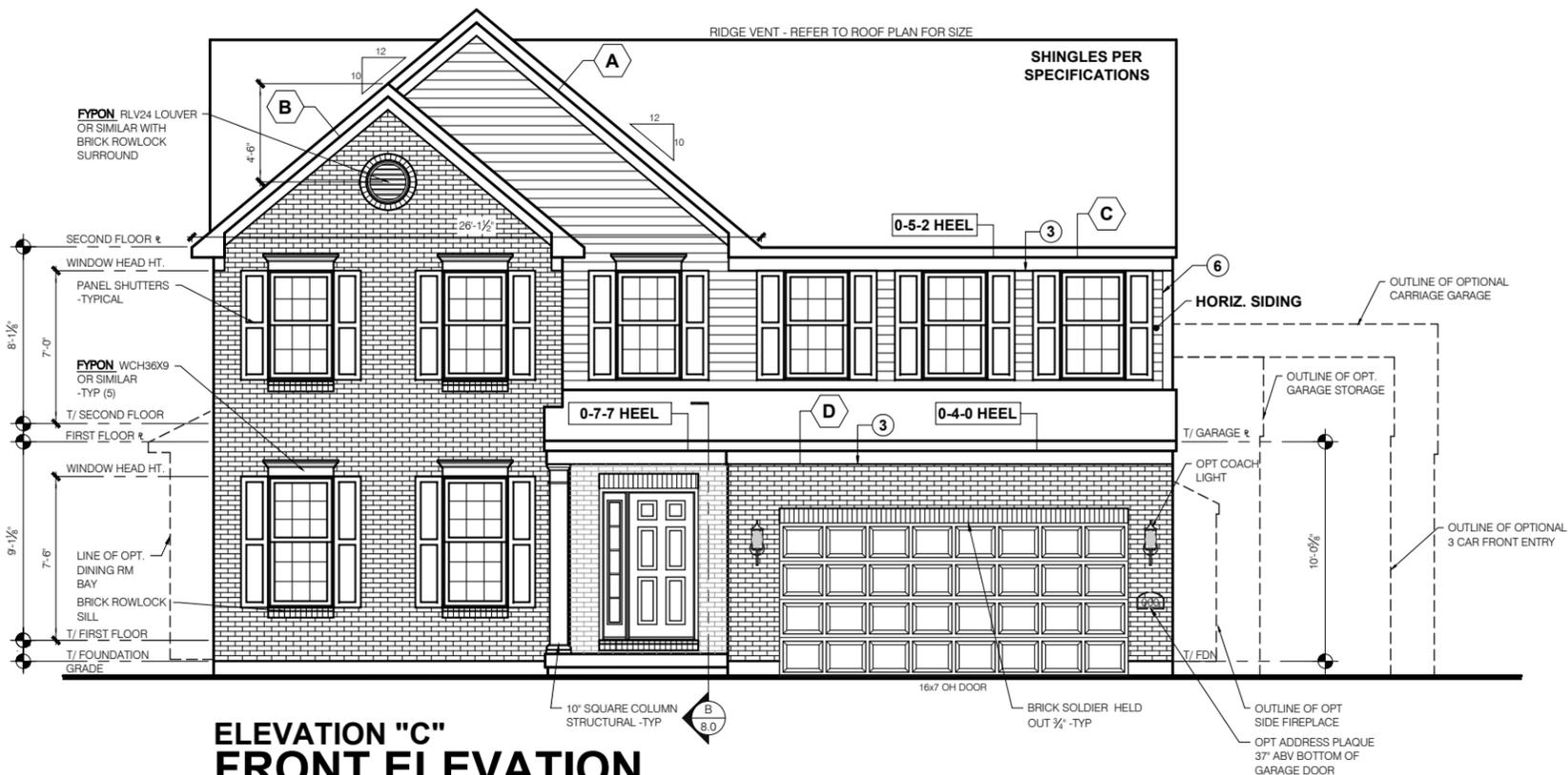
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LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Side Elevations

Sheet:
1.0A



**ELEVATION "C"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

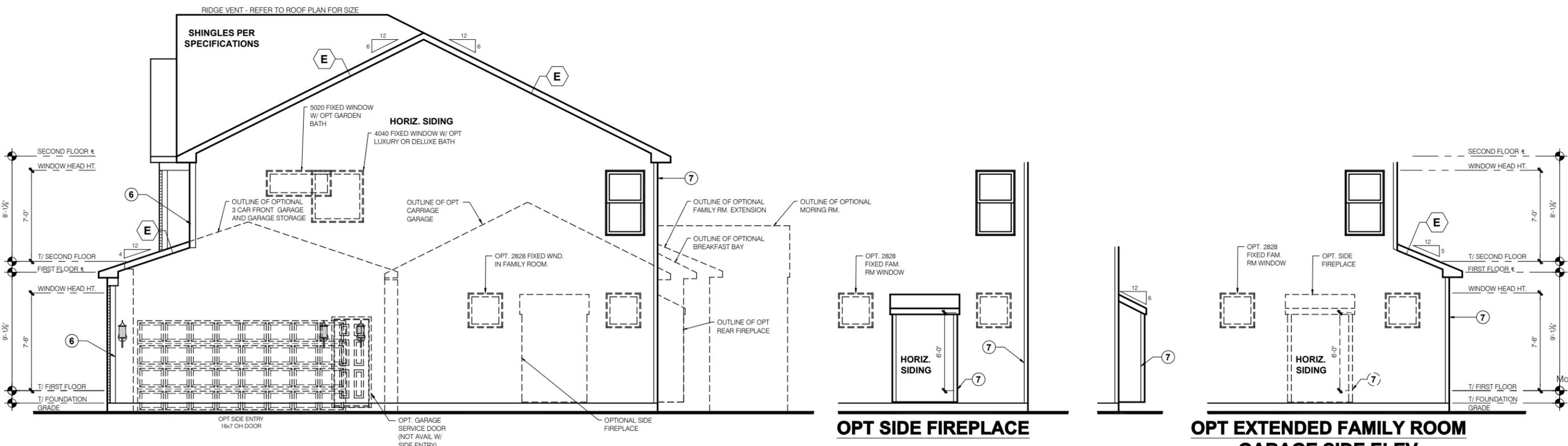
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**ELEVATION "C"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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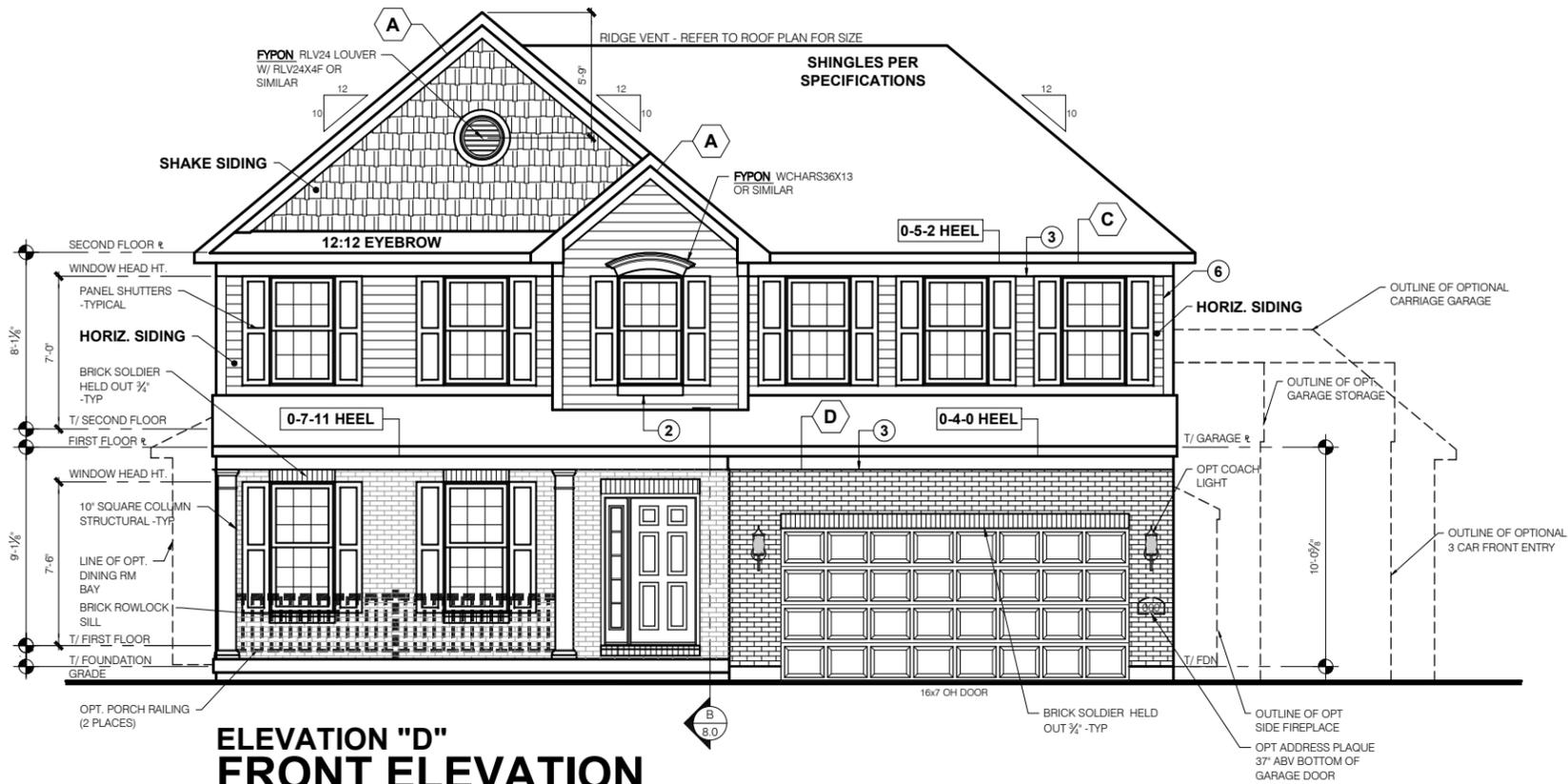
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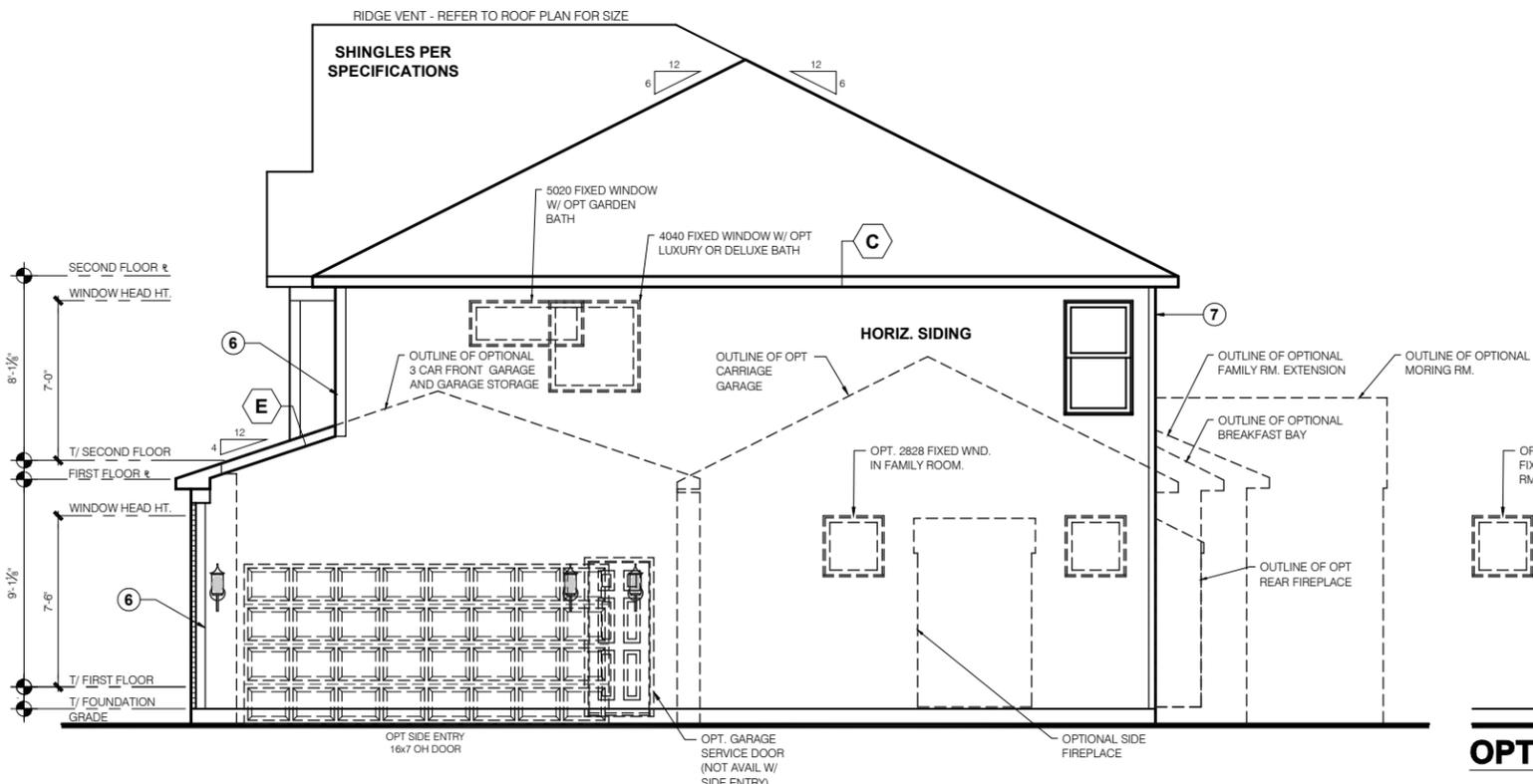
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LSP Rev: ---
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Side Elevations

Sheet:
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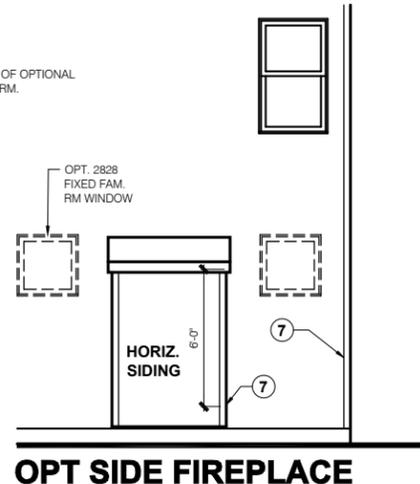
**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

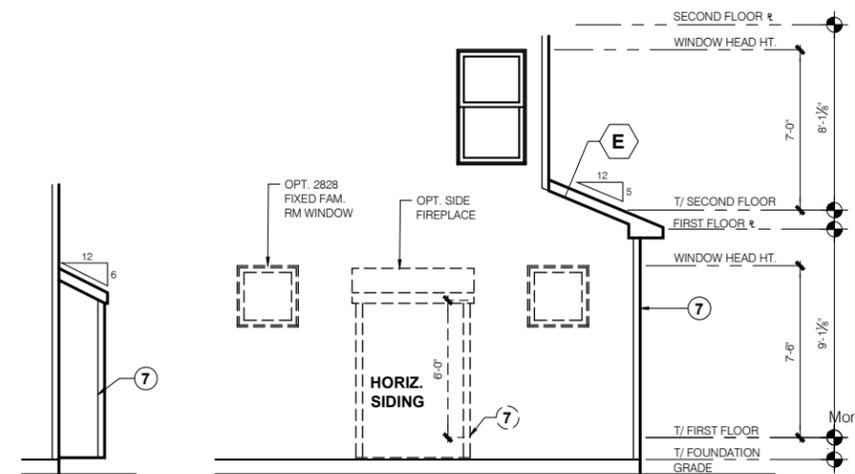


**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



OPT SIDE FIREPLACE



**OPT EXTENDED FAMILY ROOM
GARAGE SIDE ELEV**

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SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW/DOOR LINTELS:
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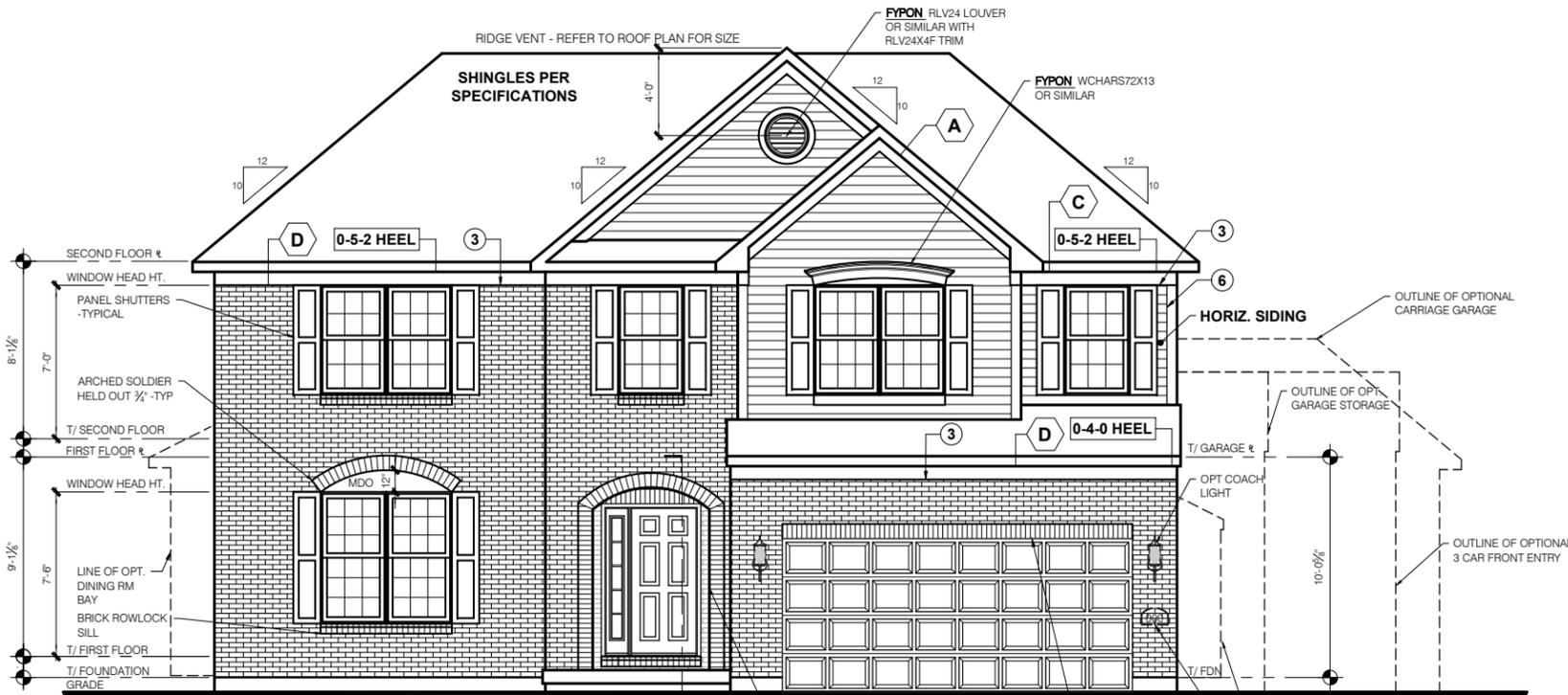
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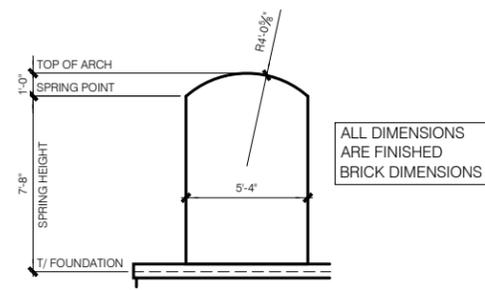
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LSP Rev: ---
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Side Elevations

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**ELEVATION "E"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



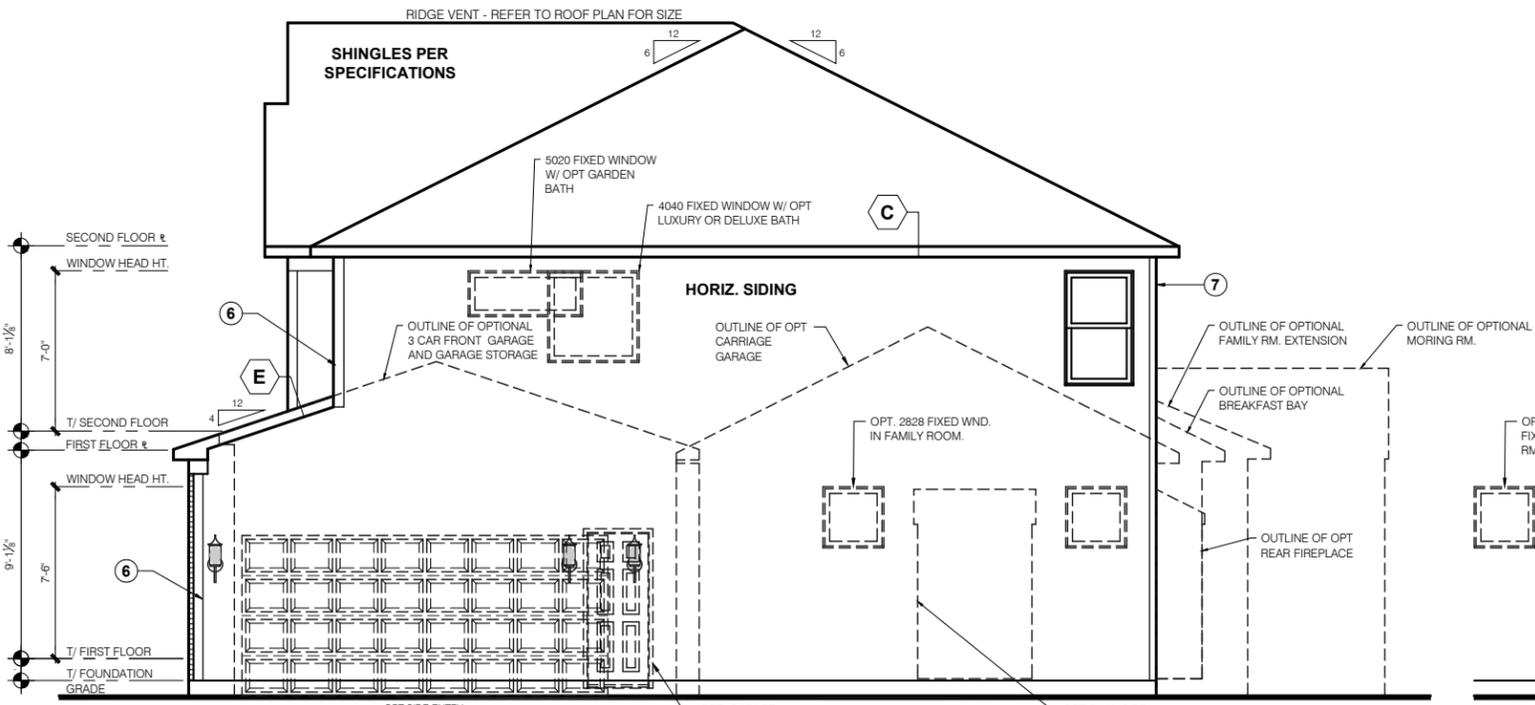
ARCHED ENTRY DETAIL

SCALE: 1/4" = 1'-0"

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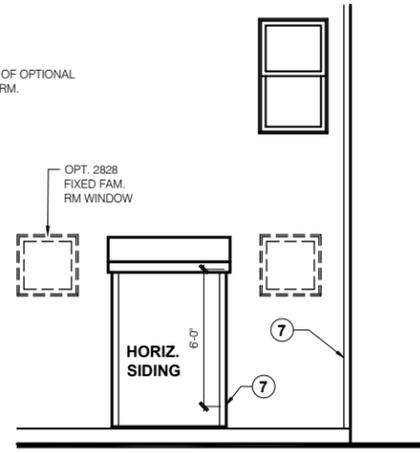
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WINDOW/DOOR LINTELS:
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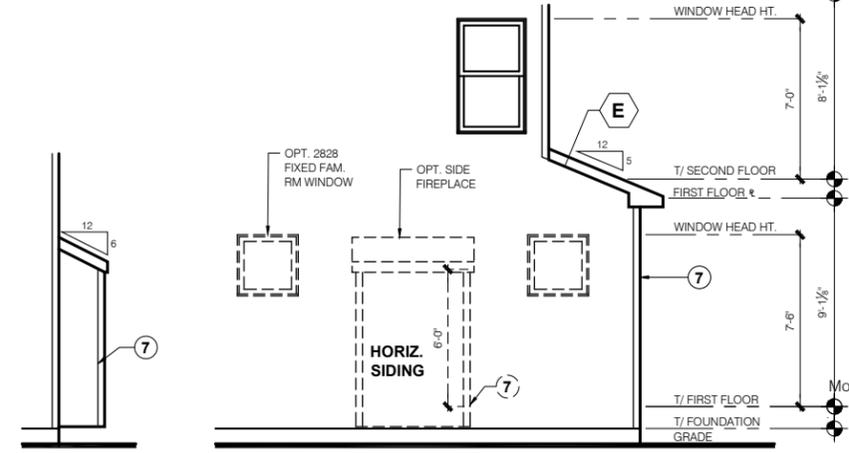


**ELEVATION "E"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

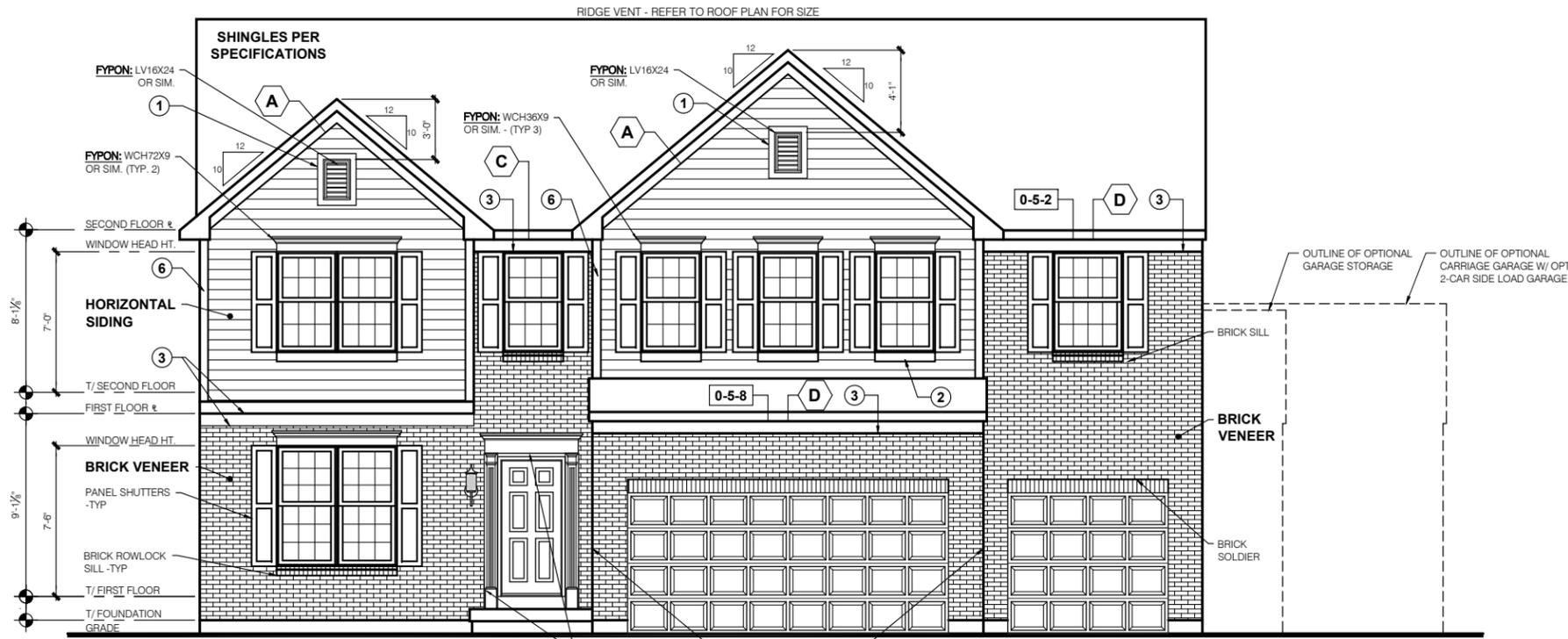


OPT SIDE FIREPLACE



**OPT EXTENDED FAMILY ROOM
GARAGE SIDE ELEV**

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 LSP Rev: ---
 Sheet Title :
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 Side Elevations
 Sheet:
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ELEVATION A-BRICK FRONT FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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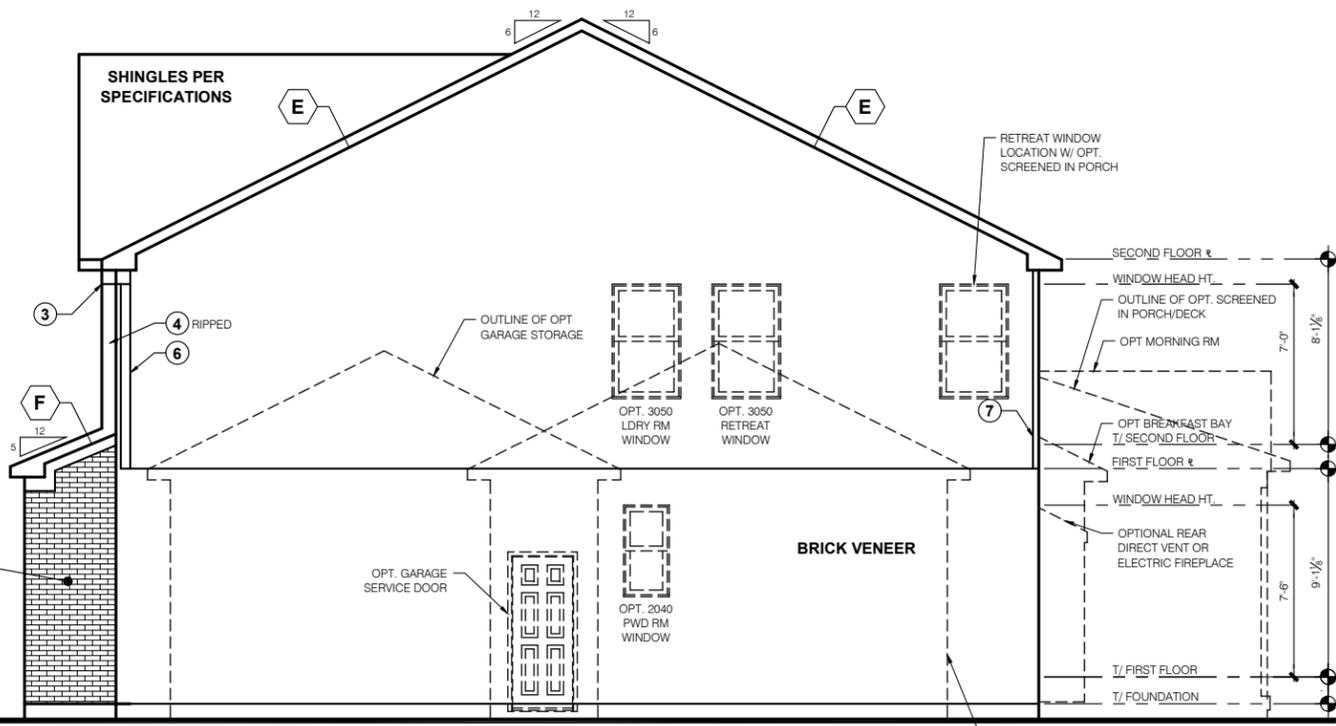
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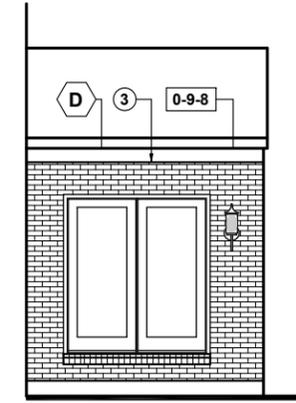
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ELEVATION A GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

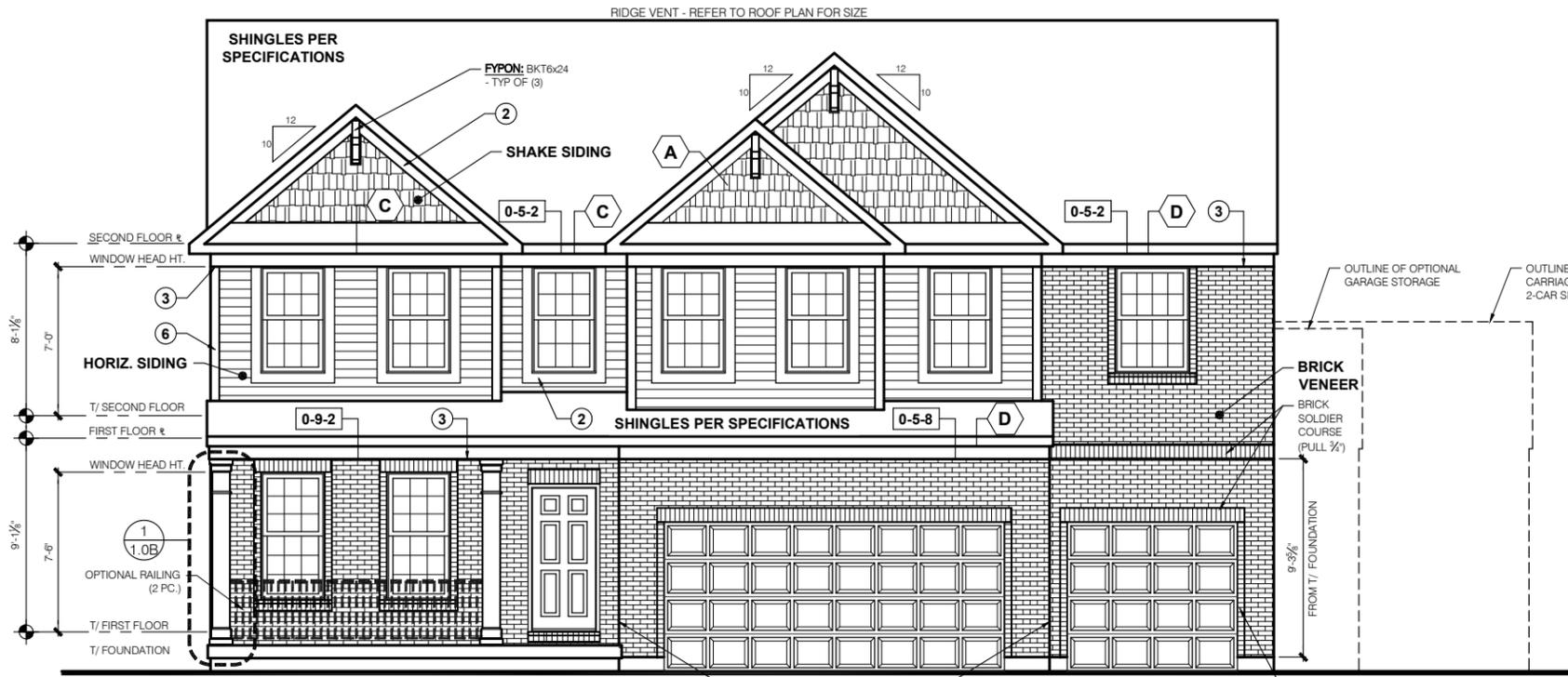


MORNING ROOM GARAGE SIDE ELEVATION

11x17 PRINTS ARE 1/2 SCALE

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1-6-24

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**BRICK FRONT ELEVATION B
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

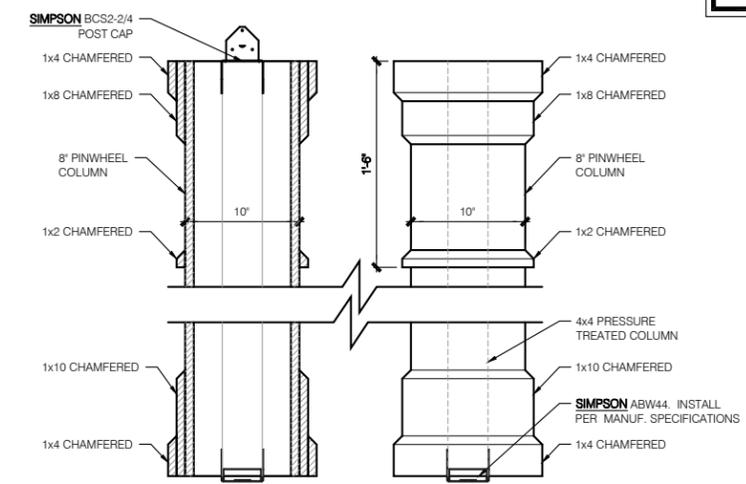
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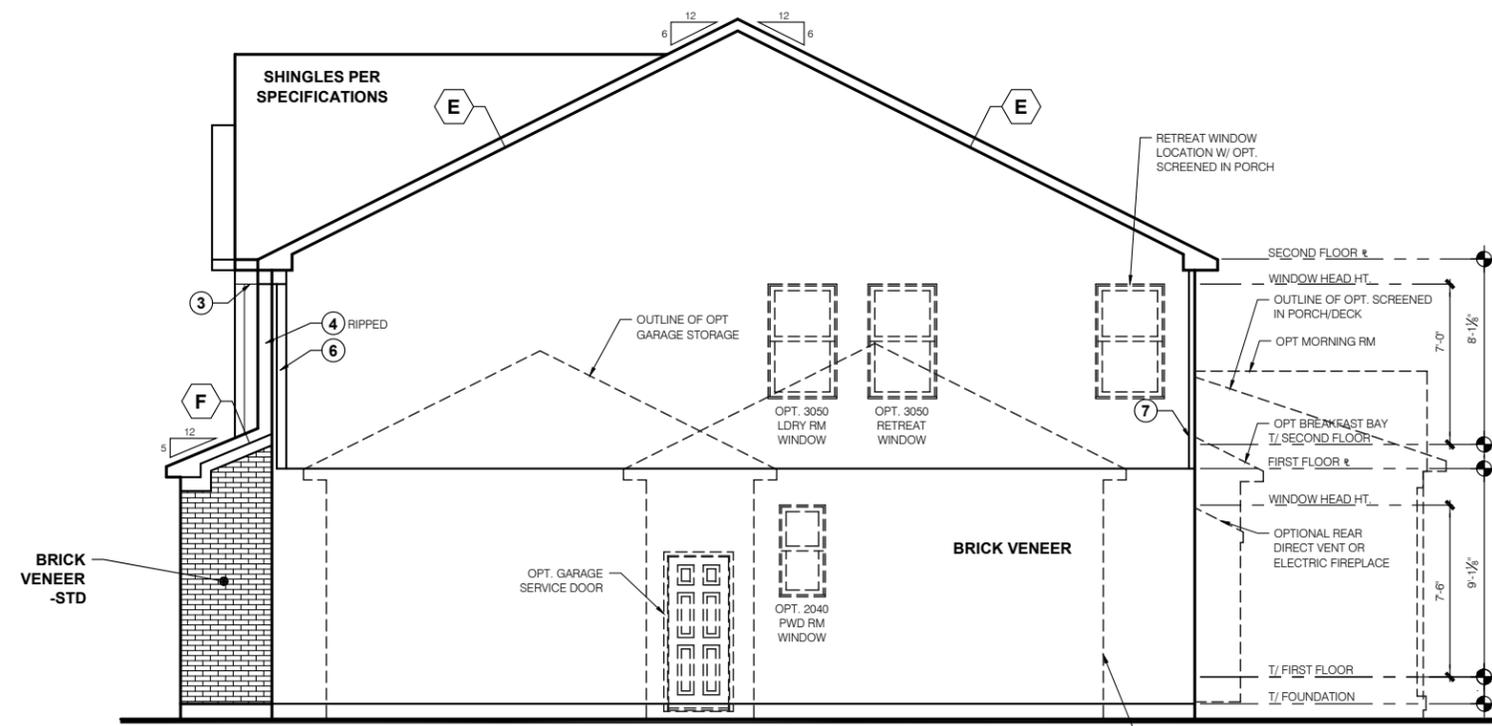
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**SEE SHT C1.1 FOR
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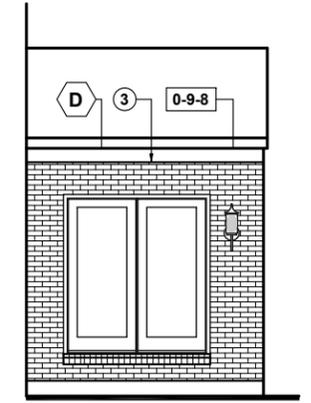


1 10" TRIMMED PINWHEEL COLUMN
SCALE: 1 1/2" = 1'-0"



**ELEVATION B
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**MORNING ROOM
GARAGE SIDE ELEVATION**

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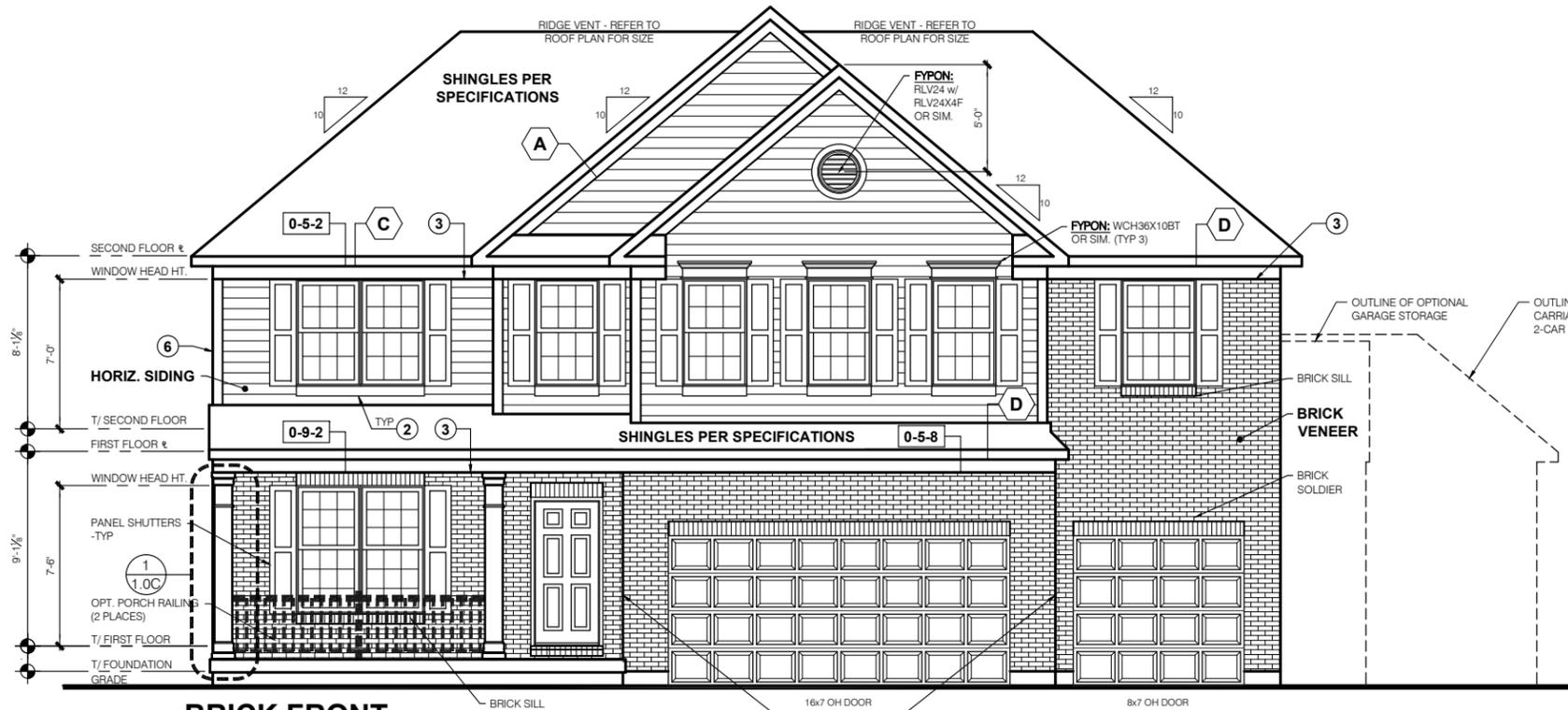


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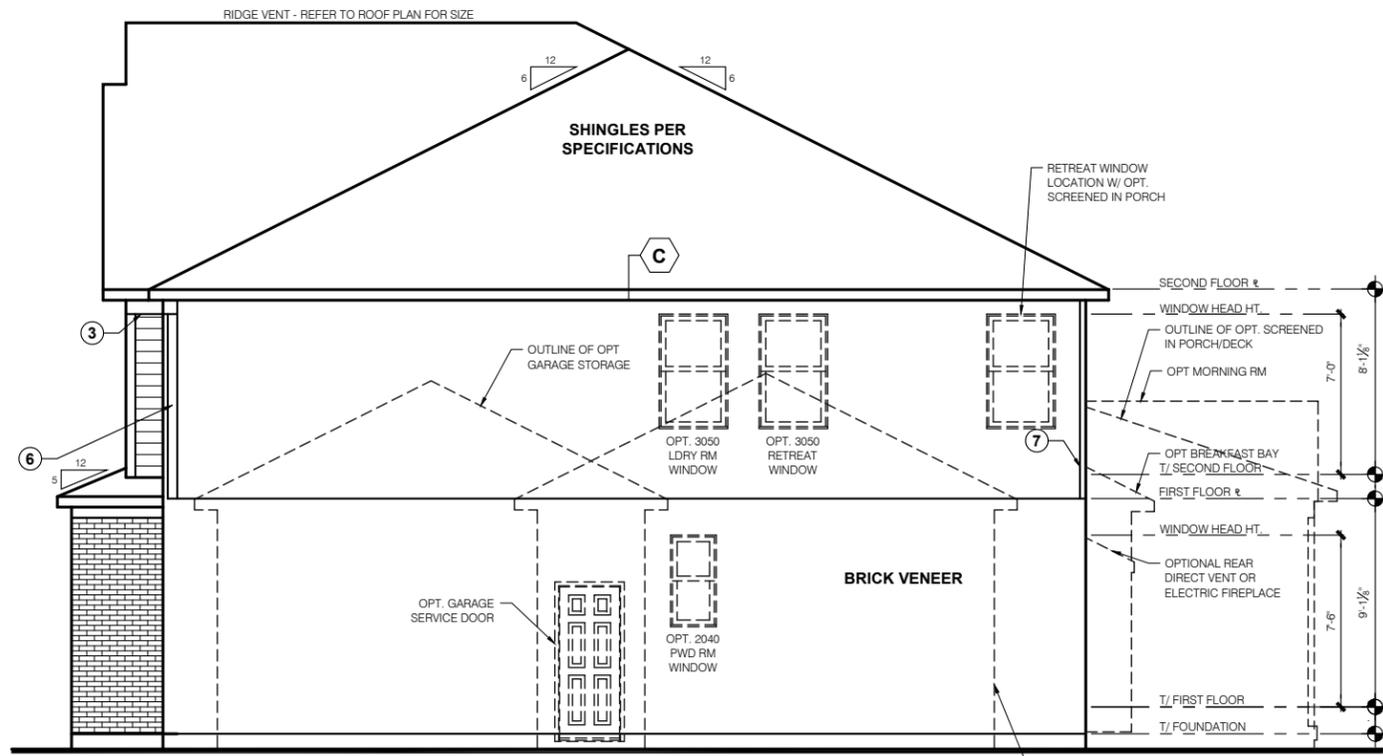
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LSP Rev: ---
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Sheet:
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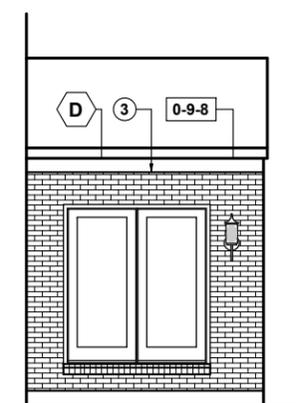
**BRICK FRONT ELEVATION C
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

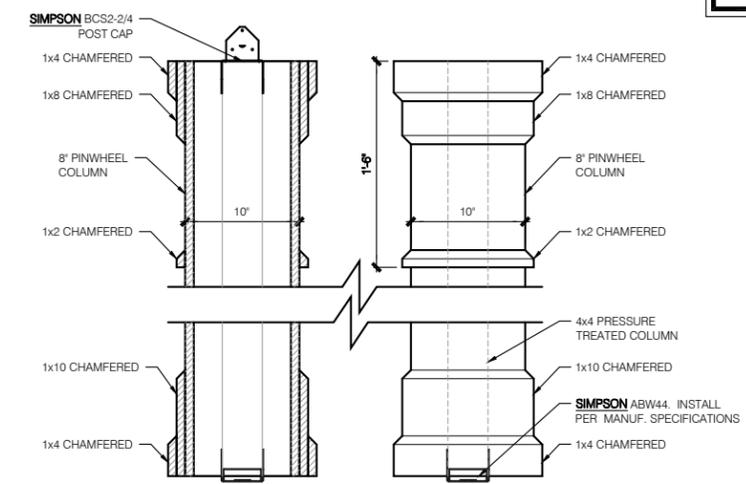


**ELEVATION C
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**MORNING ROOM
GARAGE SIDE ELEVATION**



1 10" TRIMMED PINWHEEL COLUMN

SCALE: 1 1/2" = 1'-0"

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SEE SHT C1.1 FOR LINTEL SCHEDULE

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LSP Rev:	---
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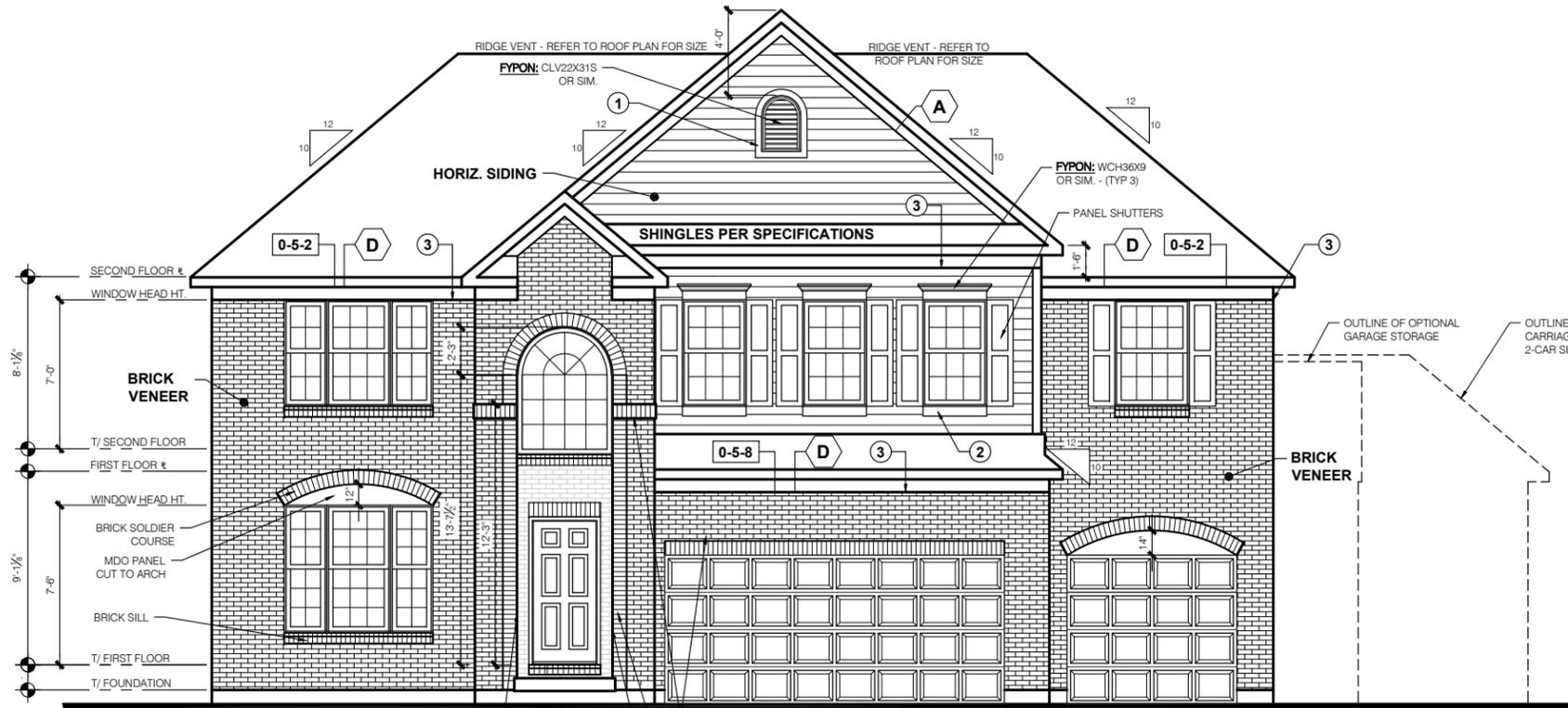

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11x17 PRINTS ARE 1/2 SCALE

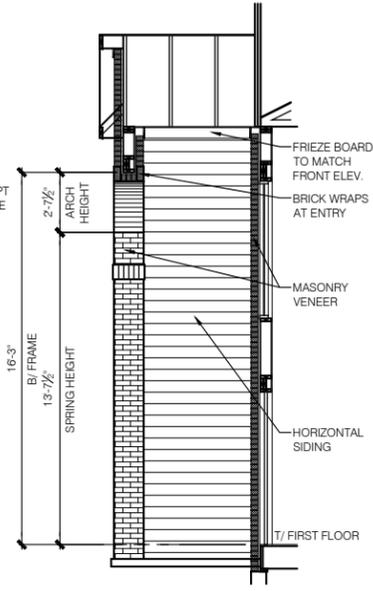
Job #:	---
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Side Elevations

Sheet: 1.0D



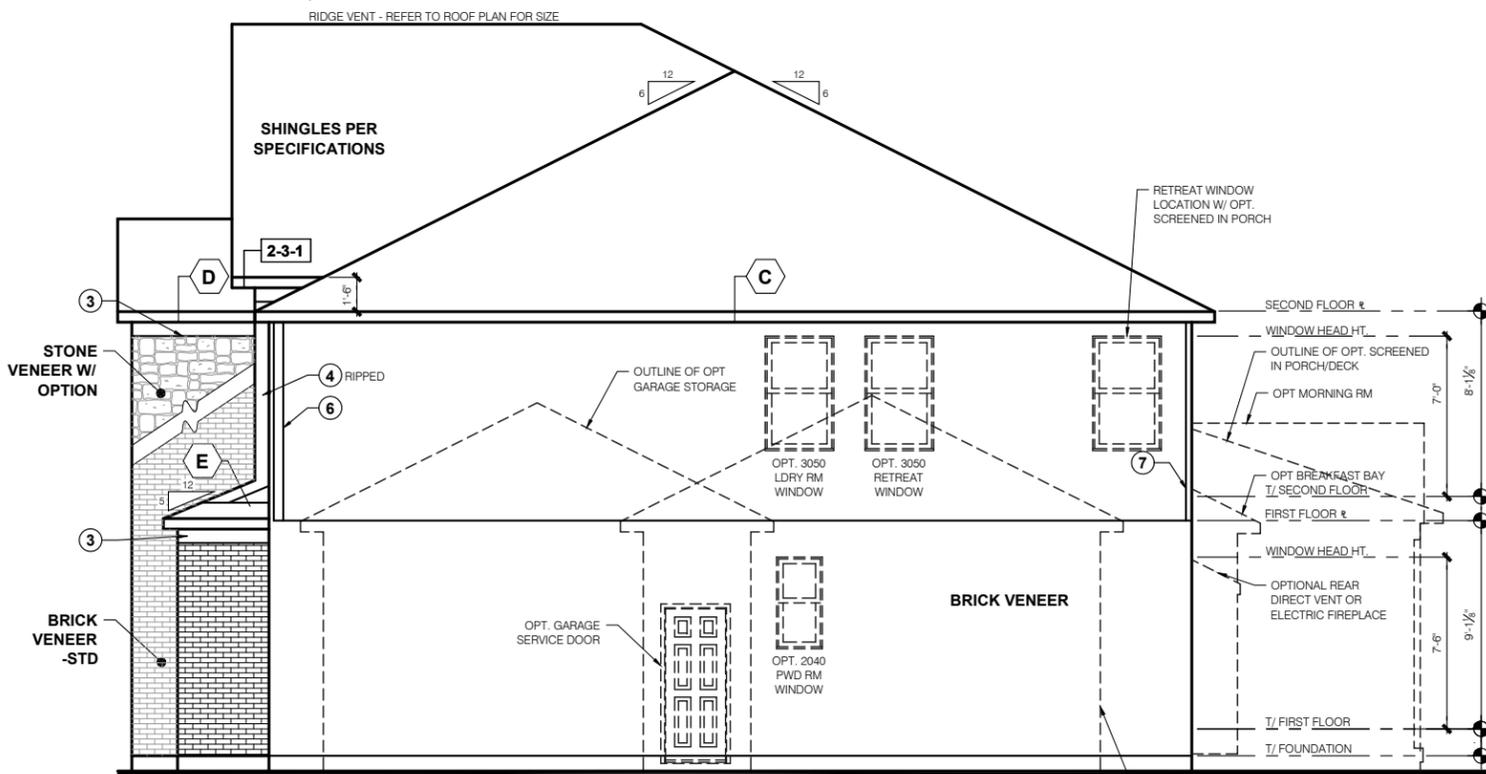
BRICK FRONT STANDARD ELEVATION D FRONT ELEVATION

SCALE: 1/4" = 1'-0"



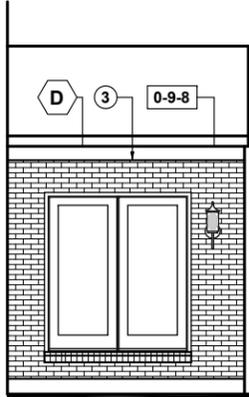
BRICK FRONT ELEVATION D AT ENTRY PARTIAL SECTION

SCALE: 1/4" = 1'-0"



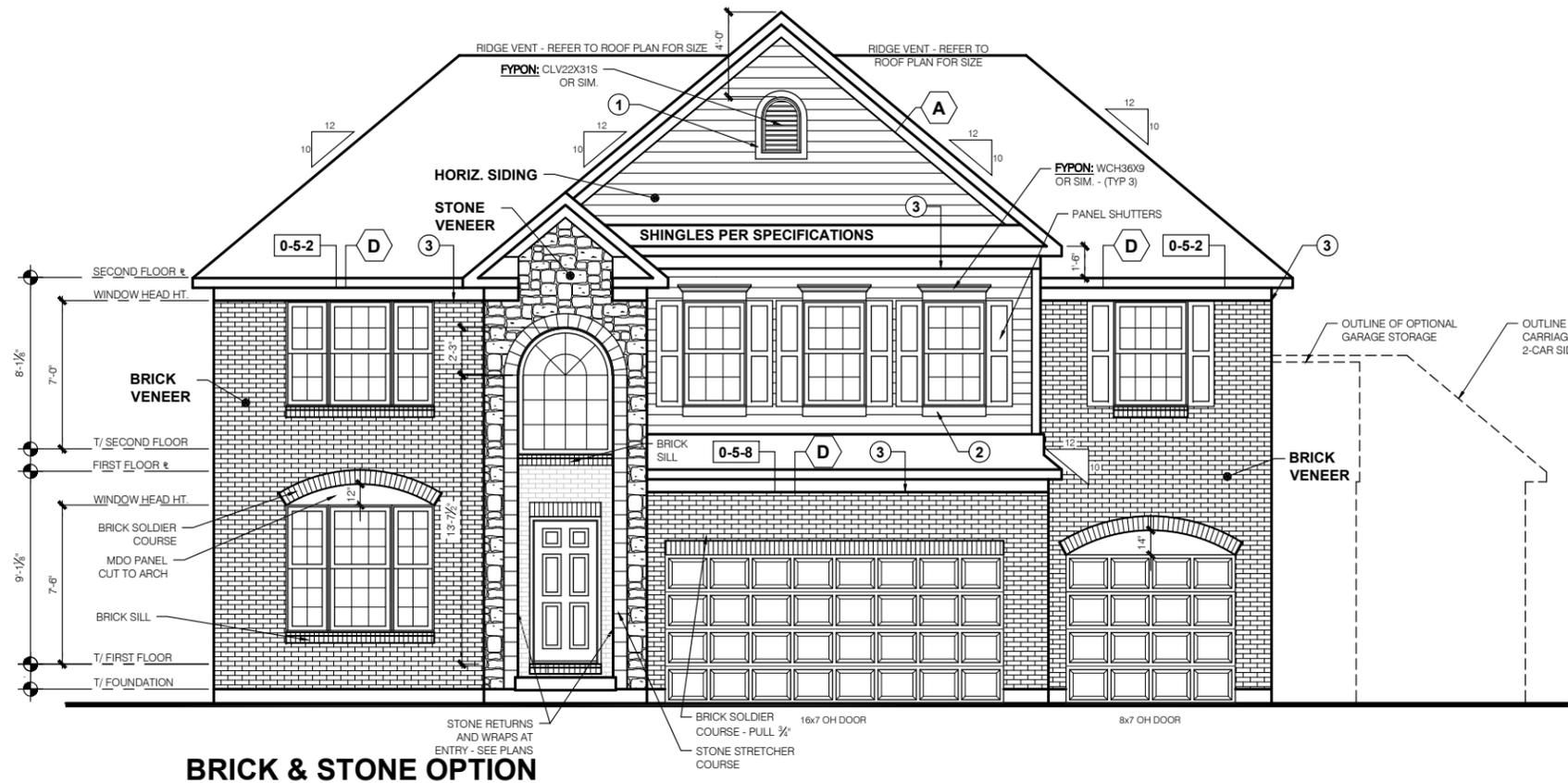
ELEVATION D GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



MORNING ROOM GARAGE SIDE ELEVATION

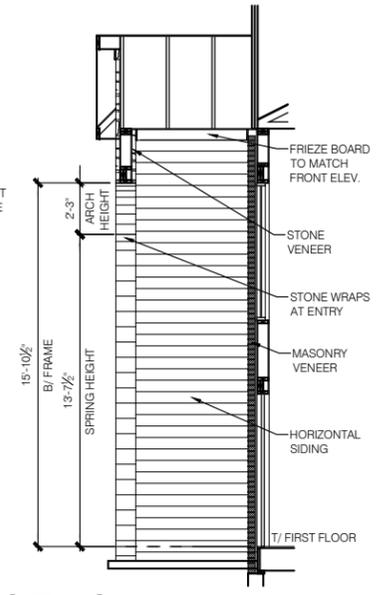
SCALE: 1/4" = 1'-0"



**BRICK & STONE OPTION
 ELEVATION D
 FRONT ELEVATION**
 SCALE: 1/4" = 1'-0"

STONE VENEER INSTALLATION NOTES:

1. APPLY OSB SHEATHING TO ALL AREAS THAT WILL HAVE STONE APPLIED.
2. INSTALL AND FLASH ALL WINDOWS AND DOORS. FLASHING SHOULD EXTEND PAST ANY TRIM THAT WILL BE APPLIED LATER.
3. APPLY ICE AND WATER SHIELD TO ALL INSIDE AND OUTSIDE CORNERS THAT WILL HAVE STONE ADJACENT TO THEM. EXTEND TO 18" EACH SIDE OF CORNER.
4. INSTALL WEEP SCREEN BELOW BOTTOM COURSE OF STONE.
5. APPLY 2 LAYERS TYVEK OR OTHER WEATHER PROOF MEMBRANE OVER OSB AND ICE AND WATER SHIELD. LAP OVER WEEP SCREEN FLANGE.
6. APPLY METAL LATH AND SCRATCH COAT OF MORTAR.
7. INSTALL ALL TRIM, FYPONS, ETC. OVER SCRATCH COAT. INSTALL PRESSURE TREATED BLOCKS SO THAT SHUTTERS ARE ON TOP OF STONE.
8. INSTALL STONE VENEER.



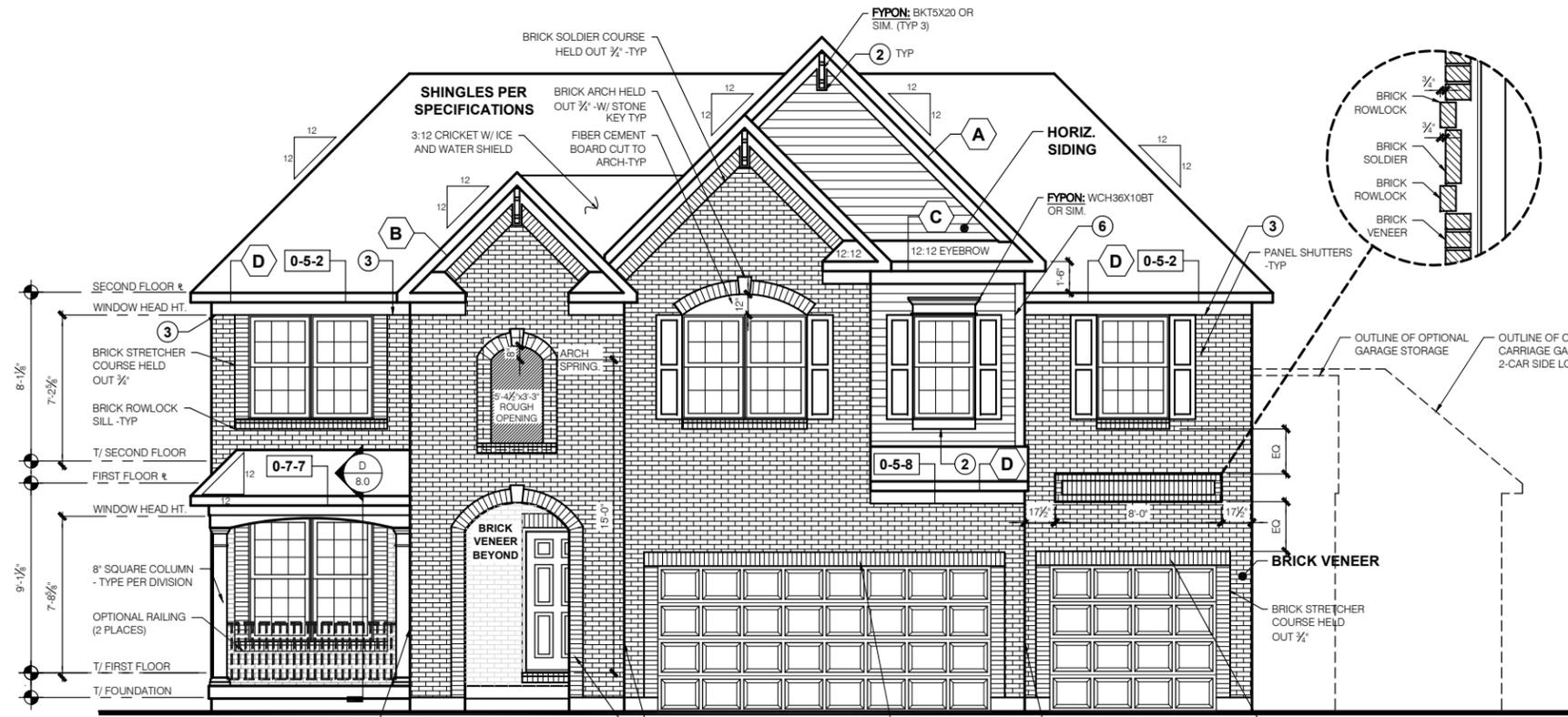
**SIDING
 ELEVATION D AT ENTRY
 PARTIAL SECTION**
 SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS
DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	
SEE SHEET D1.0 FOR EAVE DETAILS	

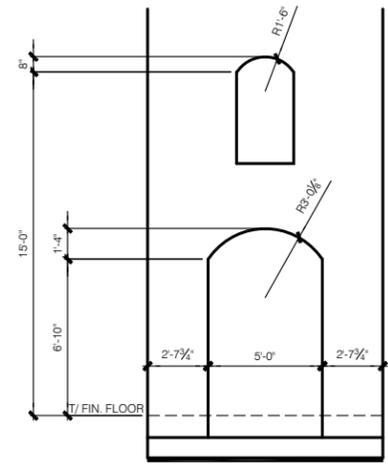
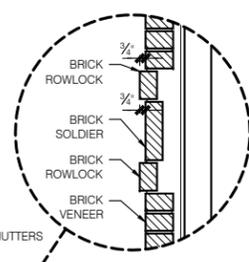
WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

CLASSIC SERIES

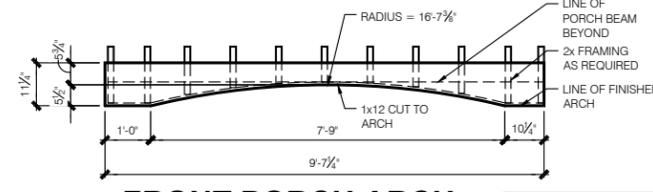
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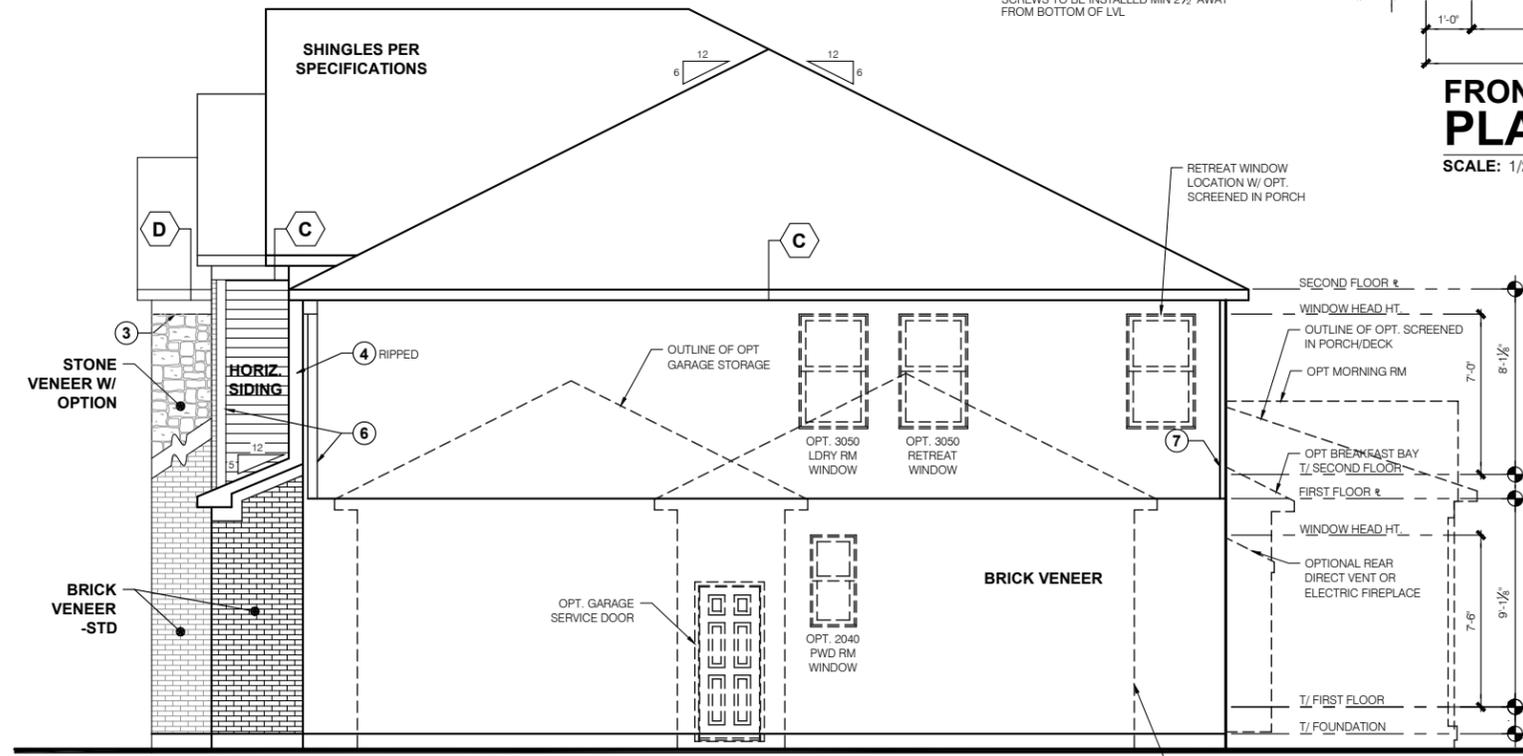
**ELEVATION "F"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



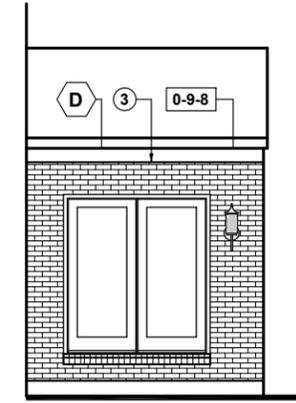
ARCHED ENTRY DETAIL
SCALE: 1/4" = 1'-0"



**FRONT PORCH ARCH
PLAN / DETAIL**
SCALE: 1/2" = 1'-0"



**ELEVATION "F"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



**MORNING ROOM
GARAGE SIDE ELEVATION**

TYPICAL EXTERIOR TRIM FINISH
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④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

ALL DIMENSIONS
ARE FINISHED
BRICK DIMENSIONS

SEE D/8.0F FOR ADD'L
INFO/DETAIL

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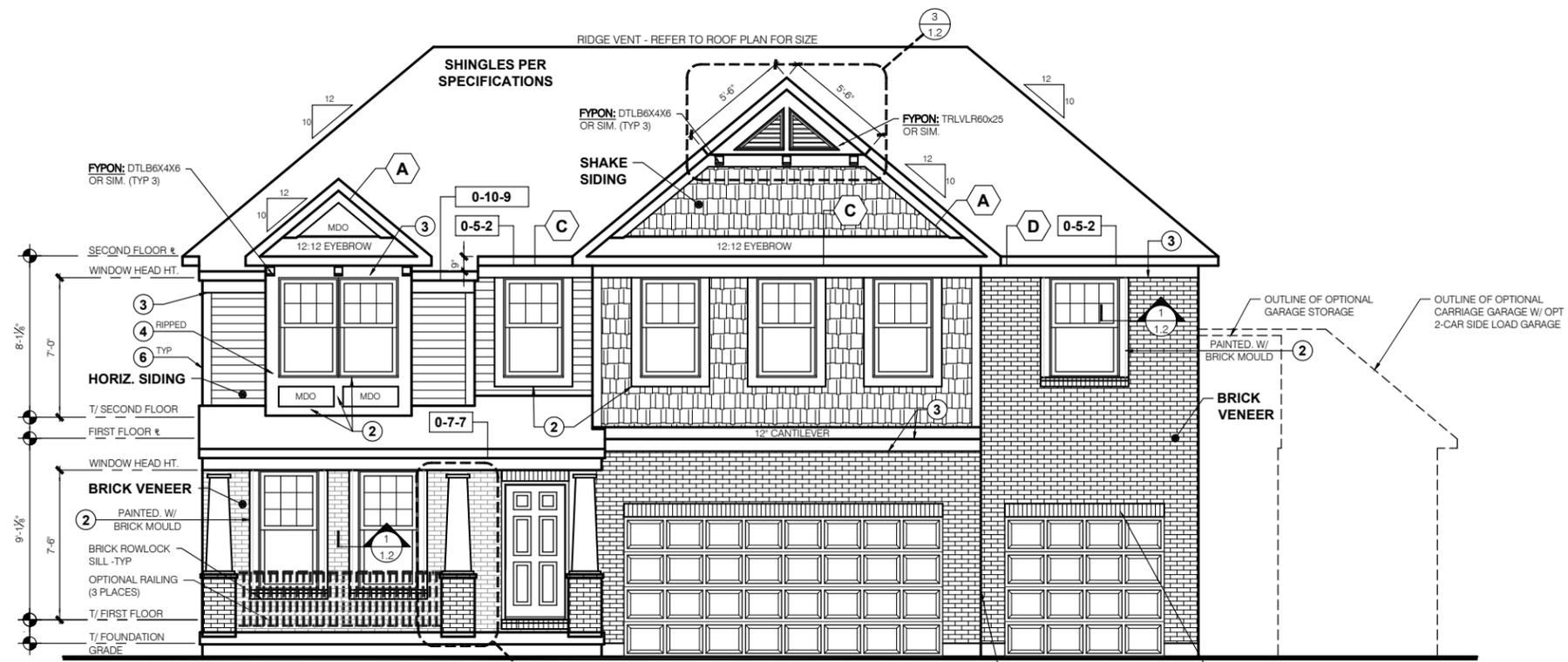
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1-6-24

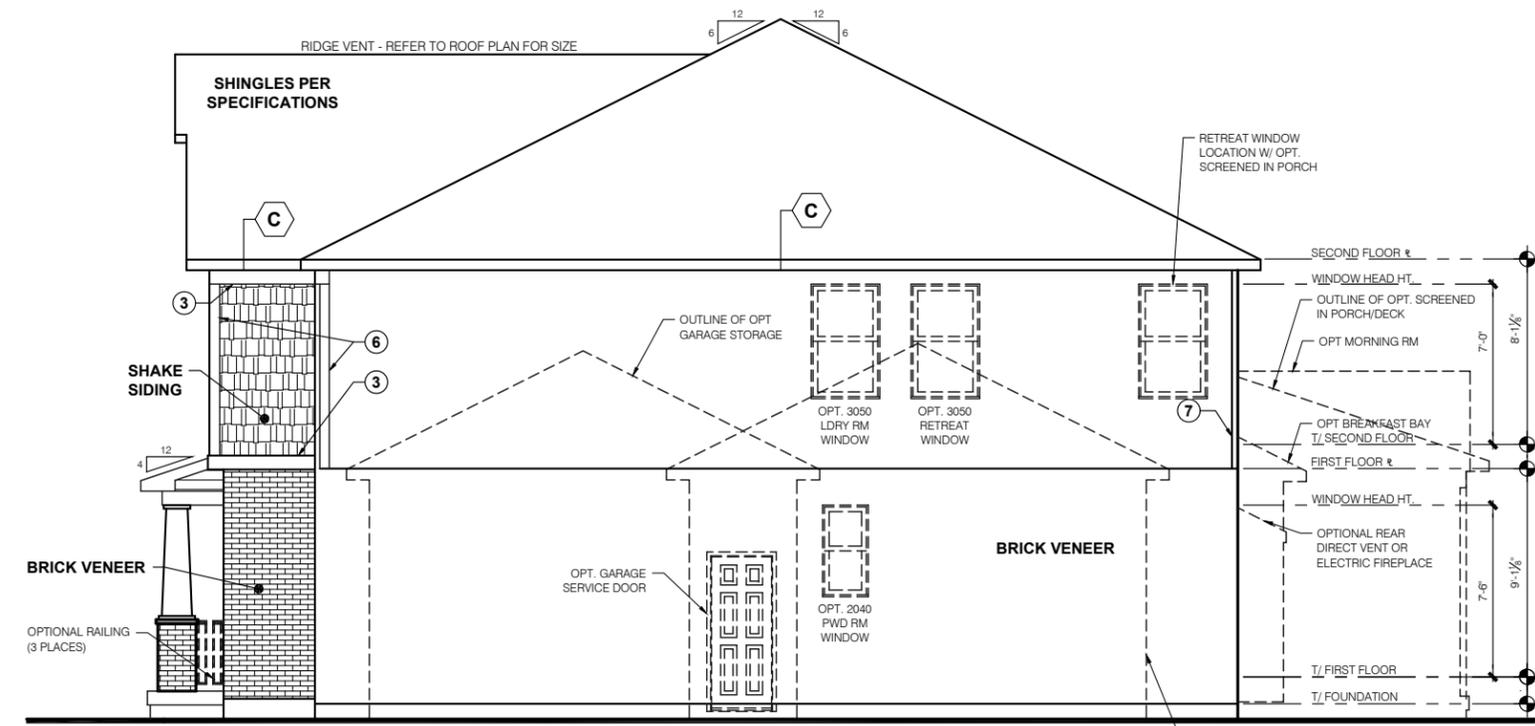
11x17 PRINTS ARE 1/2 SCALE

Job #:	---
LSP Date:	x/x/xx
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LSP Rev:	---
Sheet Title:	Front and Garage Side Elevations

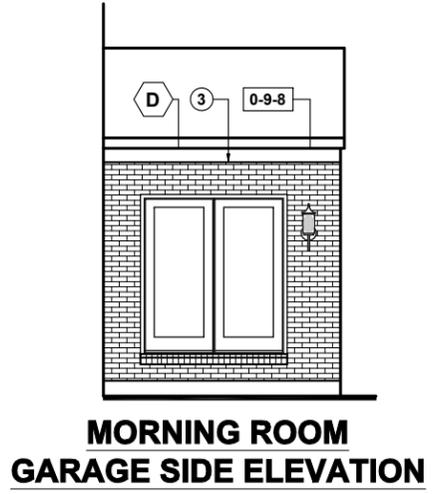
Sheet:
1.0F



**ELEVATION "G"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION "G"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



**MORNING ROOM
GARAGE SIDE ELEVATION**

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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

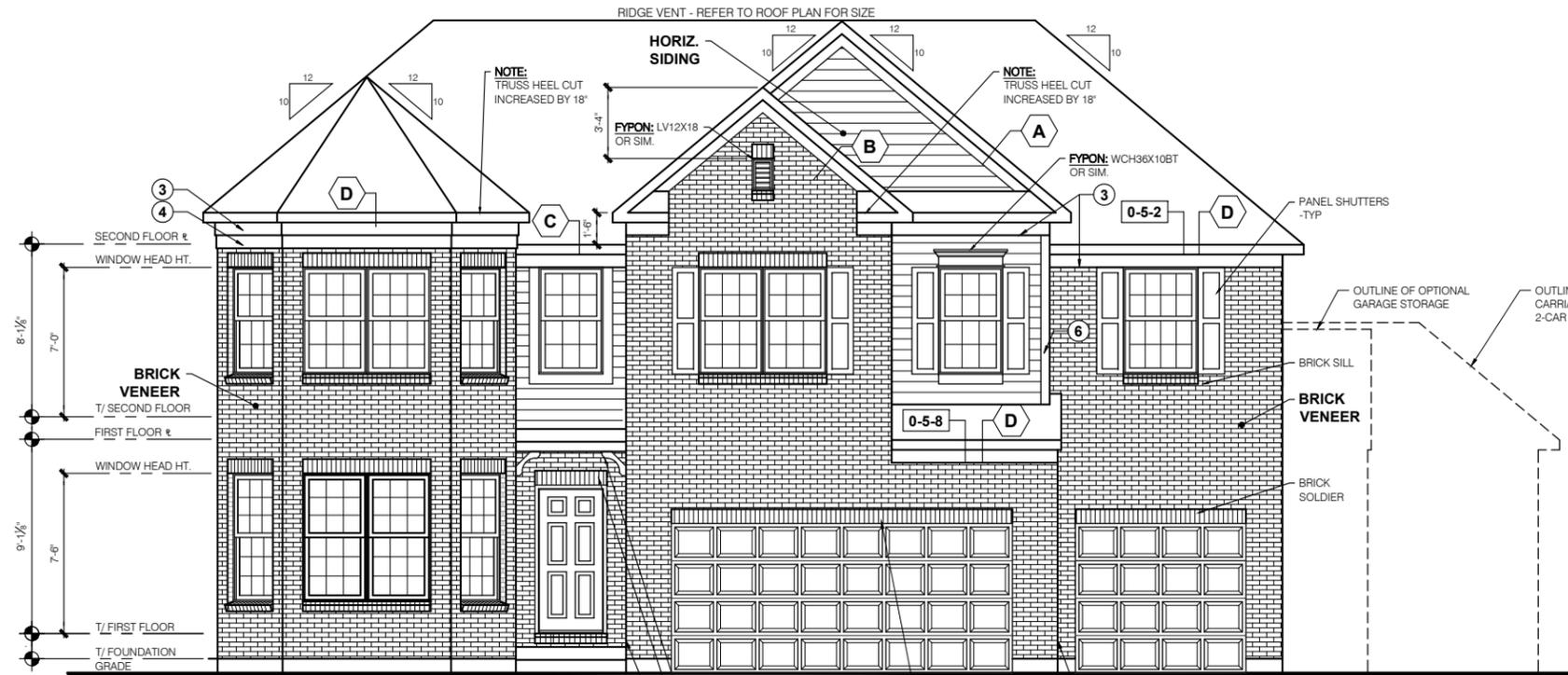
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11x17 PRINTS ARE 1/2 SCALE

Nicholas
 1-6-24
 Job #: ###
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Side Elevations
 Sheet:
1.0G



**BRICK FRONT STD
ELEVATION H
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

FYPON: BKT14X14-P OR SIM.
BRICK SOLDIER
BRICK VENEER WRAPS CORNER

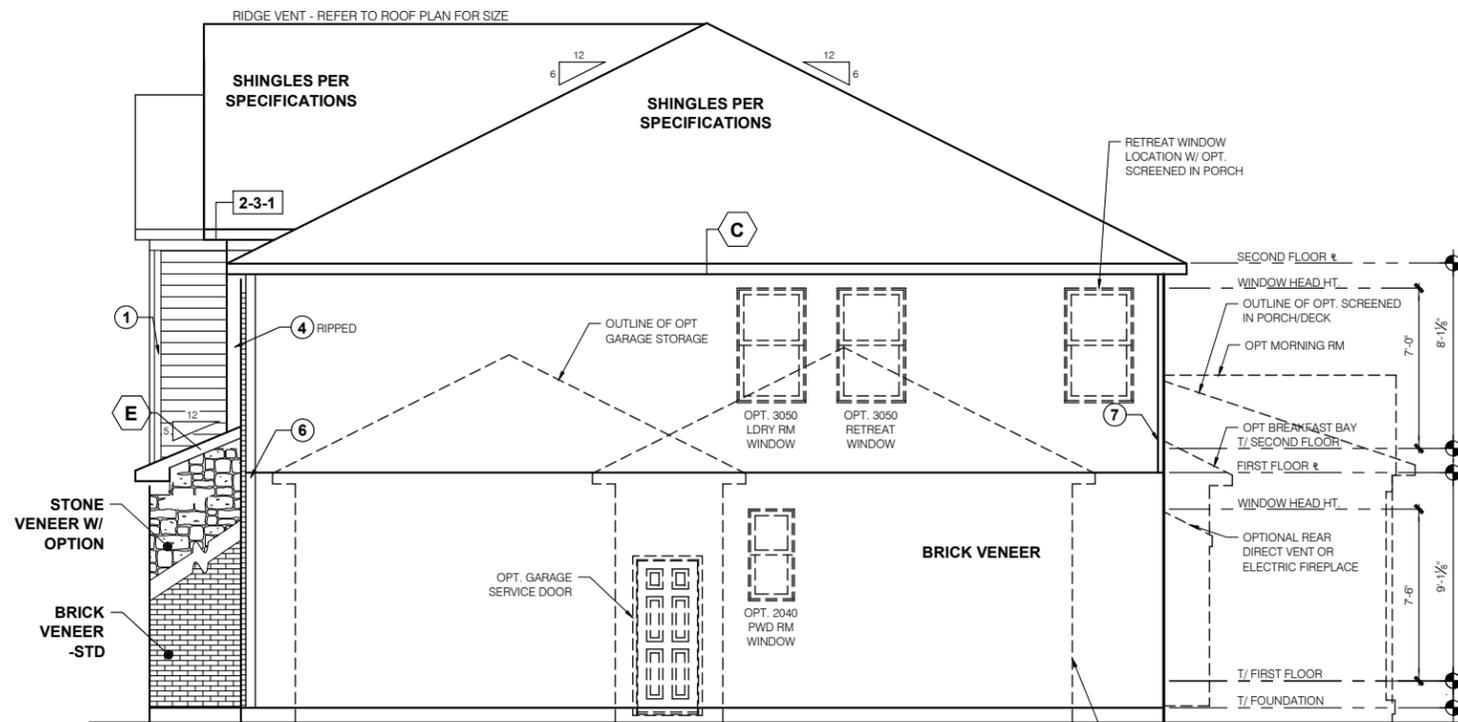
16x7 OH DOOR

BRICK VENEER WRAPS CORNER

8x7 OH DOOR

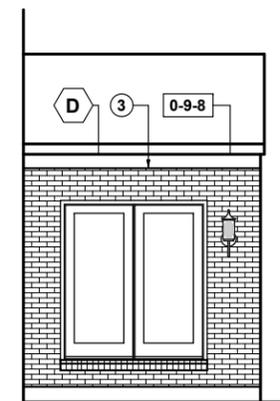
BRICK VENEER WRAPS CORNER

GARAGE DOOR LINTEL
(2) 1 1/2"x16" LVL w/ 4 5/8"x3/8" ANGLE LVL FASTENED TO LVL TO SUPPORT BRICK ABV. FASTEN w/ 1/2" DIA. X4" LAG SCREWS @ 6" O.C. SCREWS TO BE INSTALLED MIN 2 1/2" AWAY FROM BOTTOM OF LVL.



**ELEVATION H
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**MORNING ROOM
GARAGE SIDE ELEVATION**

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⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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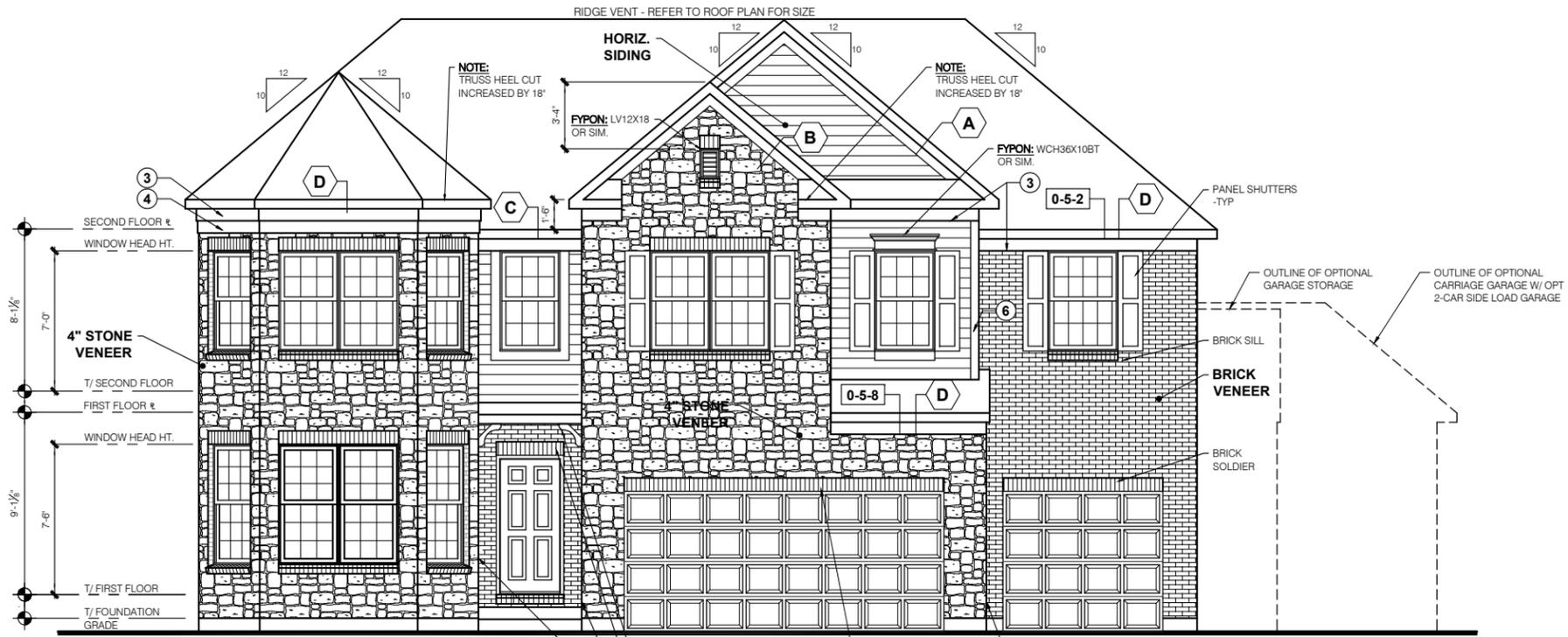
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Nicholas
1-6-24

11x17 PRINTS ARE 1/2 SCALE

Job #:	###
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title:	Front and Garage Side Elevations

Sheet:
1.0H



OPT STONE ELEVATION H FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

RIDGE VENT - REFER TO ROOF PLAN FOR SIZE

GARAGE DOOR LINTEL
 (2) 1 1/2"x16" LVL w/ 2 5/8"x3/8" ANGLE LLV FASTENED TO LVL TO SUPPORT BRICK ABV. FASTEN w/ 1/2" DIA. X4" LAG SCREWS @ 6" O.C. SCREWS TO BE INSTALLED MIN 2 1/2" AWAY FROM BOTTOM OF LVL.

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⑤	= 12" TRIM
⑥	FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

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SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

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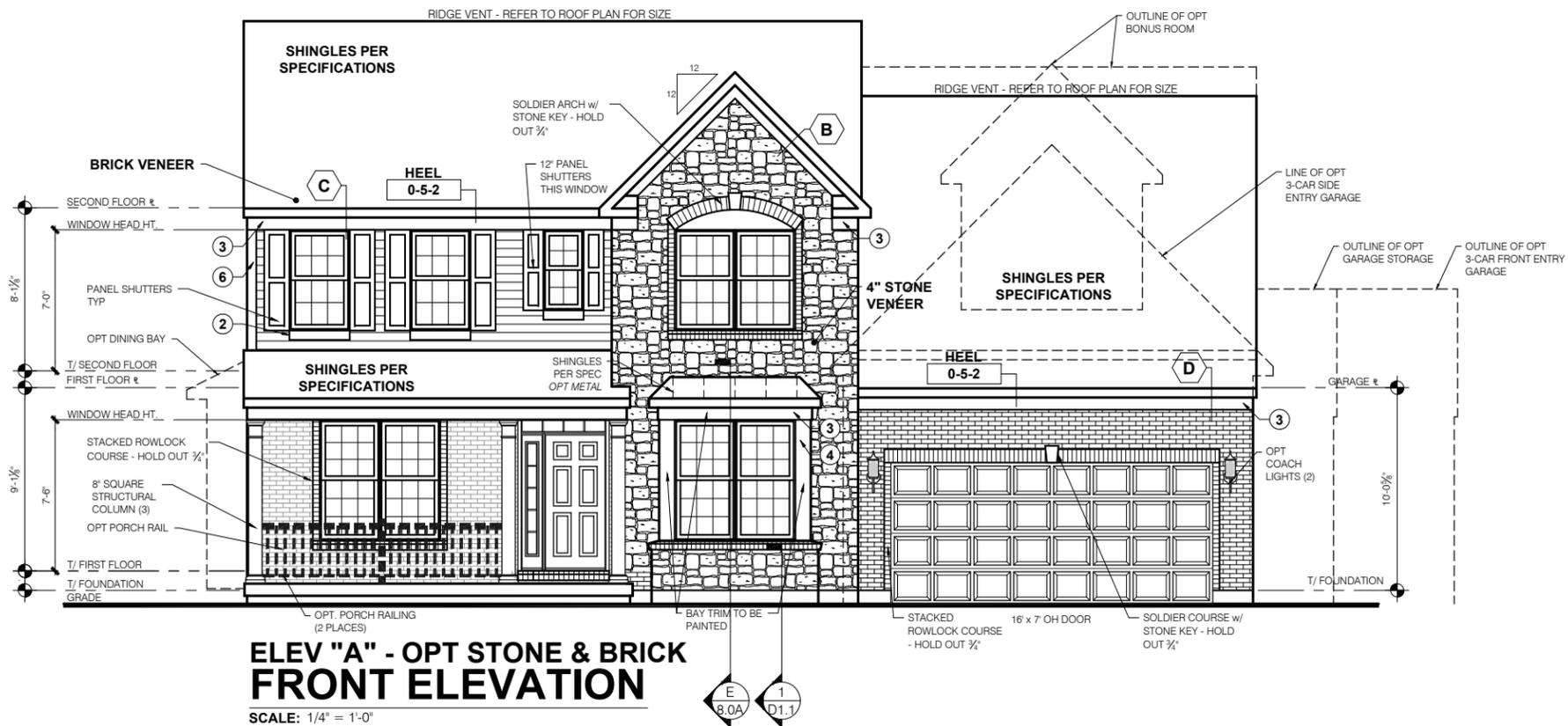
11x17 PRINTS ARE 1/2" SCALE

Nicholas

1-6-24

Job #: ###
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Elevation-STONE
 OPTION
 Sheet:

1.2H



ELEV "A" - OPT STONE & BRICK FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL PER SELECTIONS

TYPICAL EXTERIOR TRIM FINISH	
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④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS
DIVISION NOTE:	
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SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	6"
8'-11"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	4"x3/2"x1/2"	5"x3/2"x1/2"	6"
16'-11"	5"x3/2"x1/2"	6"x3/2"x1/2"	7"x4"x1/2"	7"x4"x1/2"	8"x4"x1/2"	6"

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TOLBERT
FINAL
1-12-2024

11x17 PRINTS ARE 1/2" SCALE

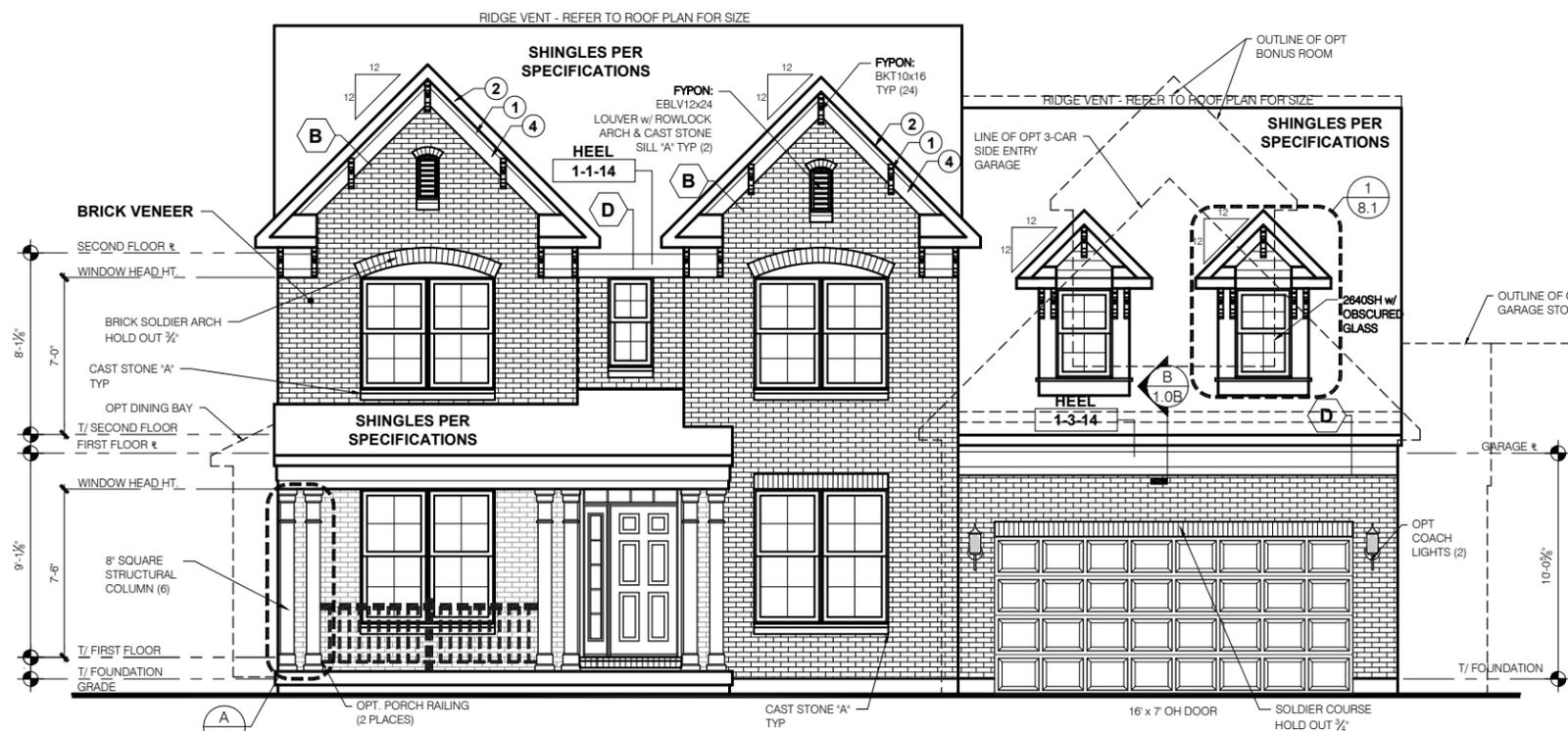
Tolbert: New Kitchens
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

Sheet:

1.2A

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12 1-12-2024
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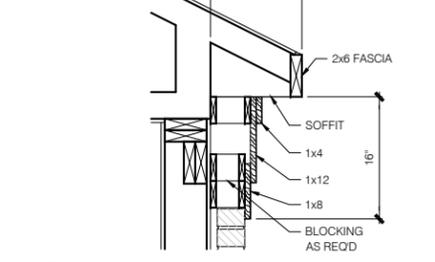
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**ELEV "B"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



A COLUMN DETAIL
SCALE: 1" = 1'-0"



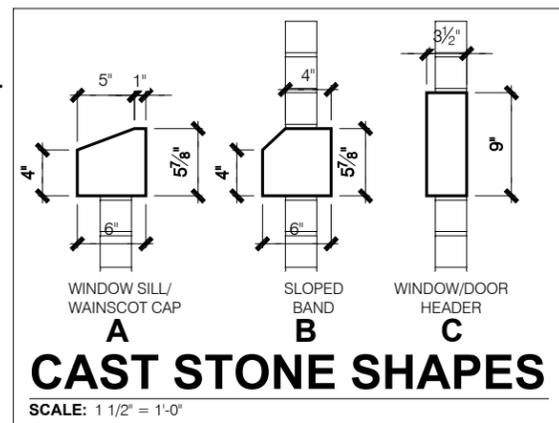
B FRIEZE TRIM DETAIL
SCALE: 1" = 1'-0"

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⑦	REAR CORNERS =	3" TRIM PER DIVISION - SEE SPECS

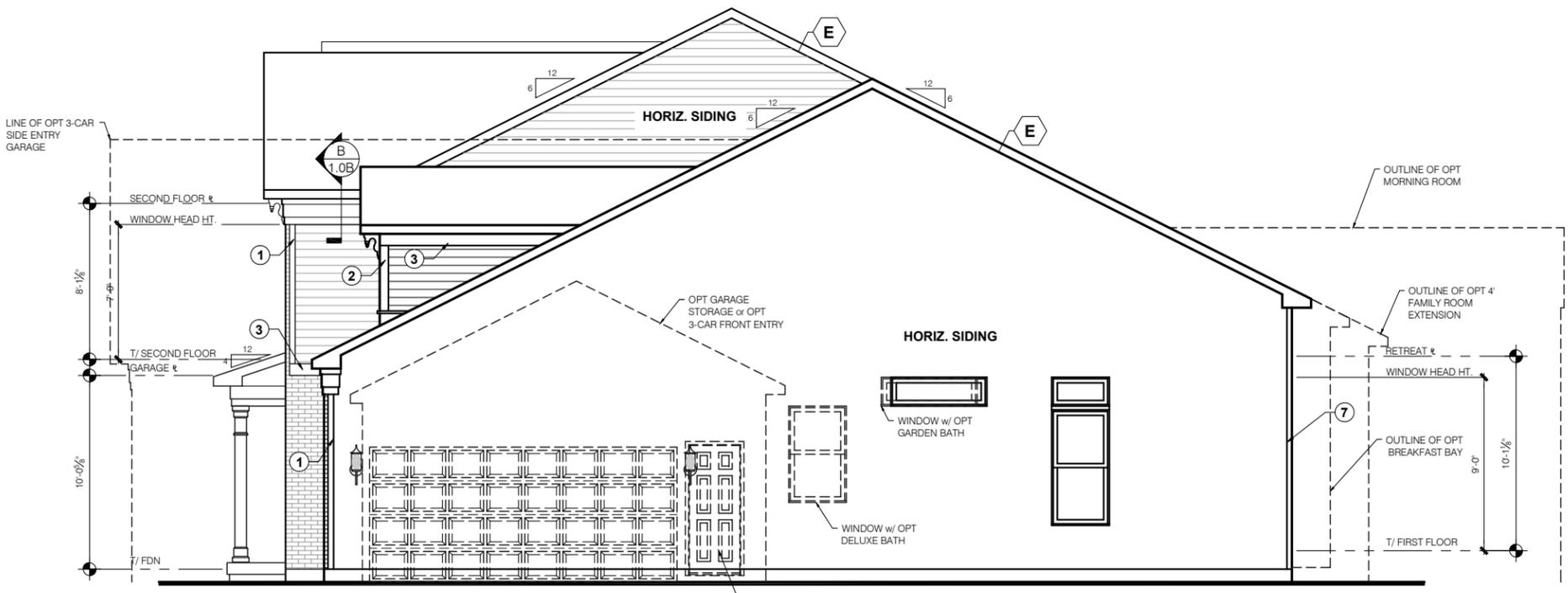
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SEE SHEET D1.0 FOR EAVE DETAILS



LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/2"	6"				
8'-11"	3 1/2"x3 1/2"x1/2"	3 1/2"x3 1/2"x1/2"	3 1/2"x3 1/2"x1/2"	4"x3 1/2"x1/2"	5"x3 1/2"x1/2"	6"
16'-11"	5"x3 1/2"x1/2"	6"x3 1/2"x1/2"	7"x4"x1/2"	7"x4"x1/2"	8"x4"x1/2"	6"



**ELEV "B"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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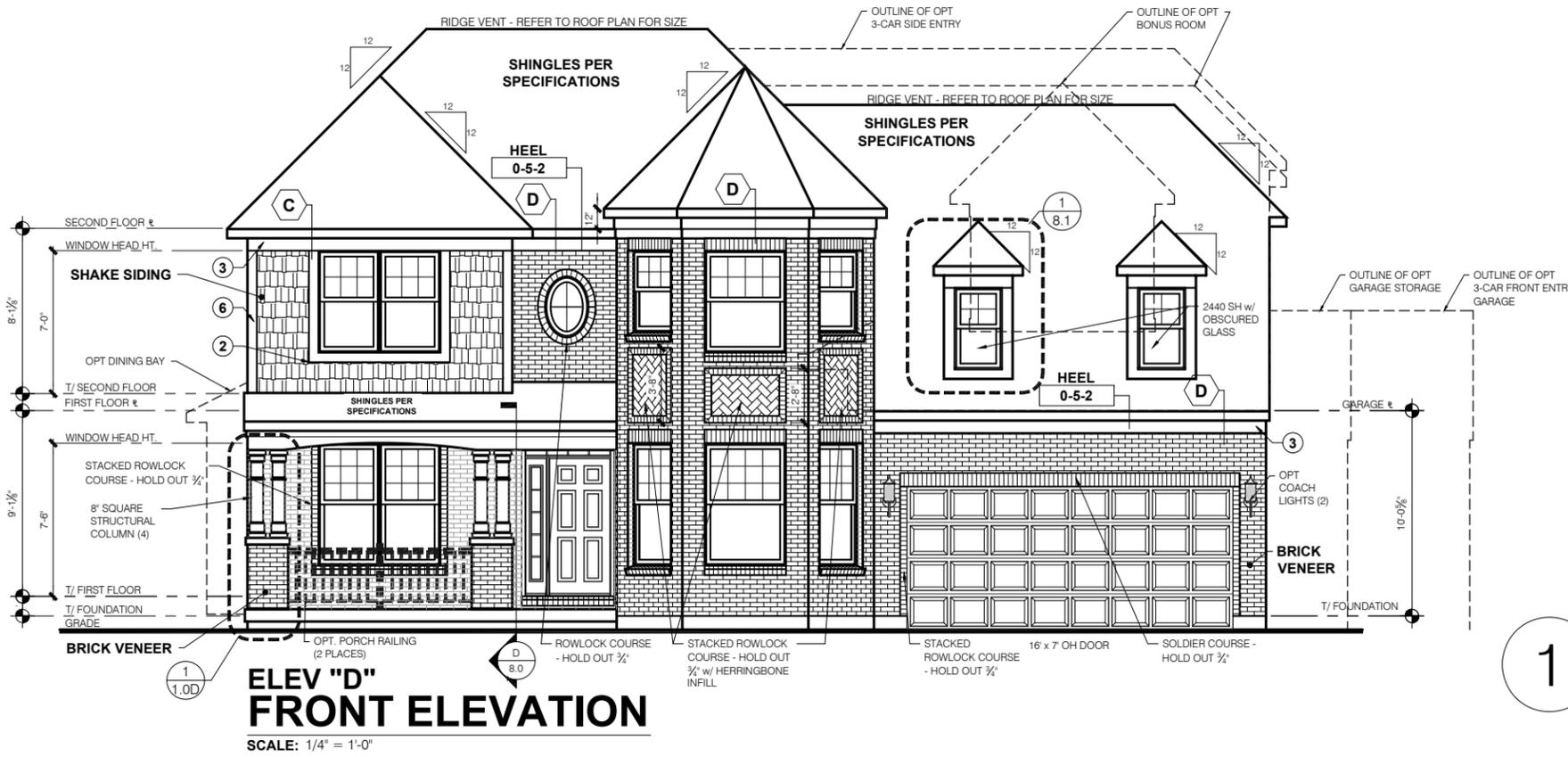
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TOLBERT
FINAL
1-12-2024

11x17 PRINTS ARE 1/2" SCALE

Tolbert: New Kitchens
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations

Sheet:
1.0B



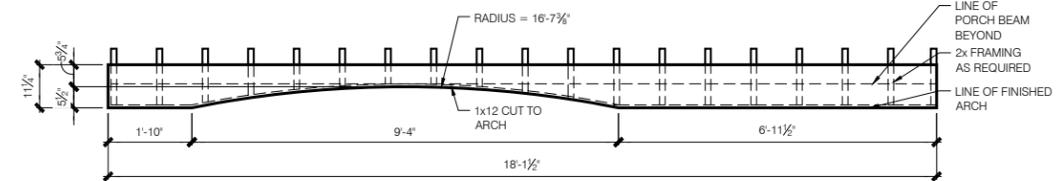
ELEV "D" FRONT ELEVATION

SCALE: 1/4" = 1'-0"



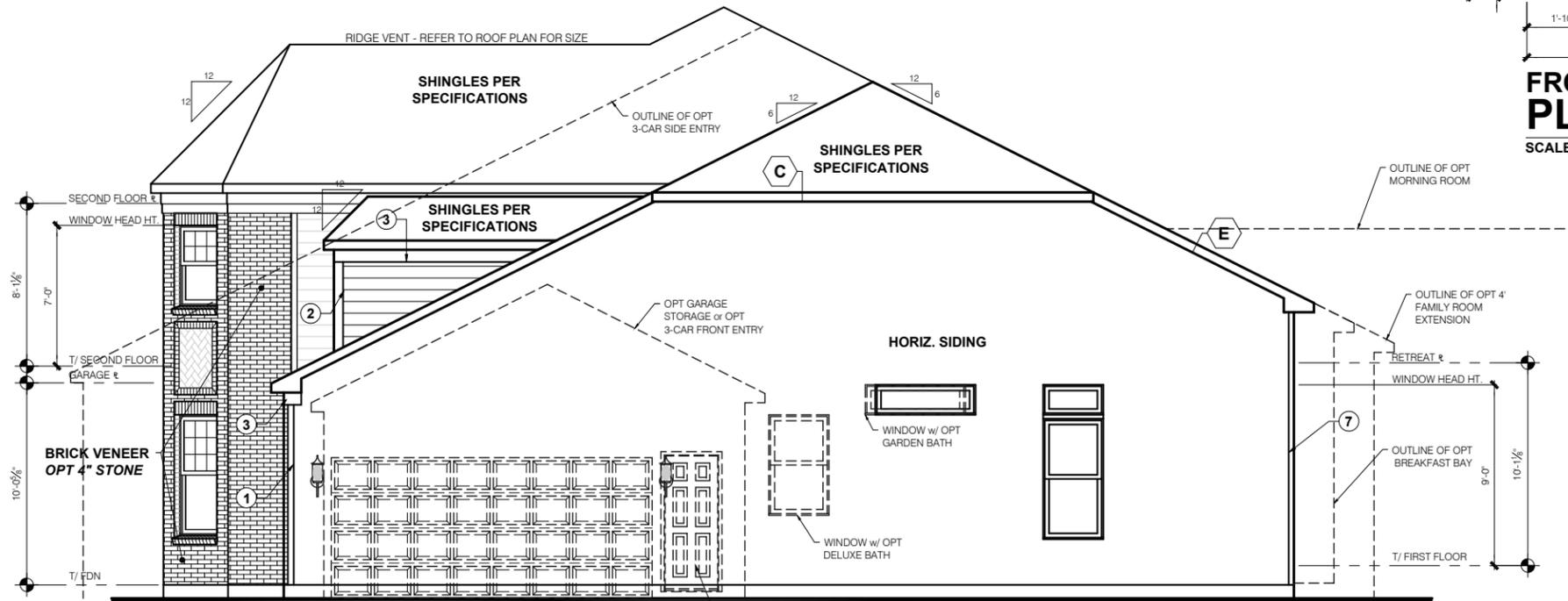
1 PORCH COLUMNS

SCALE: 3/4" = 1'-0"



FRONT PORCH ARCH PLAN / DETAIL

SCALE: 1/2" = 1'-0"



ELEV "D" GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

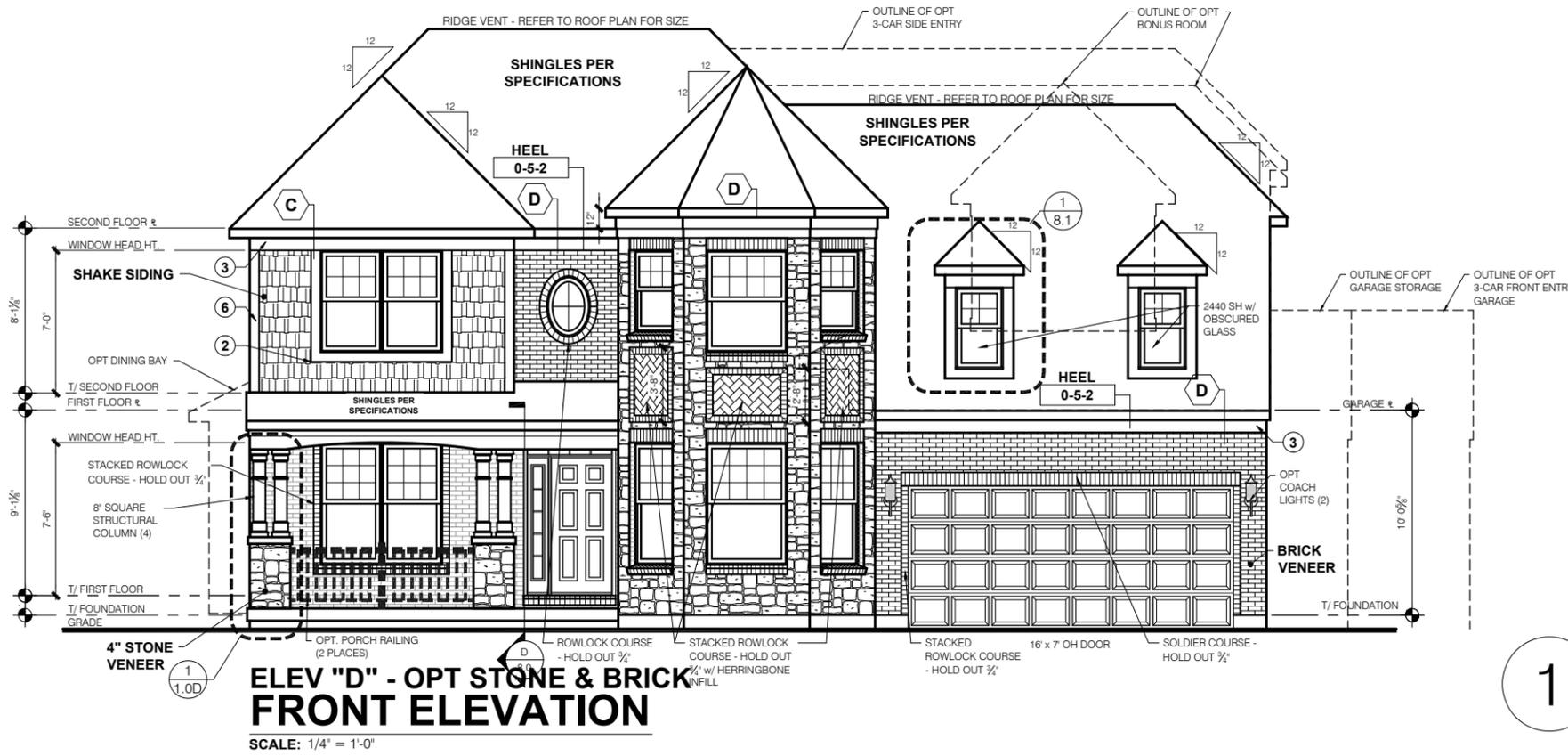
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DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	

SEE SHEET D1.0 FOR EAVE DETAILS

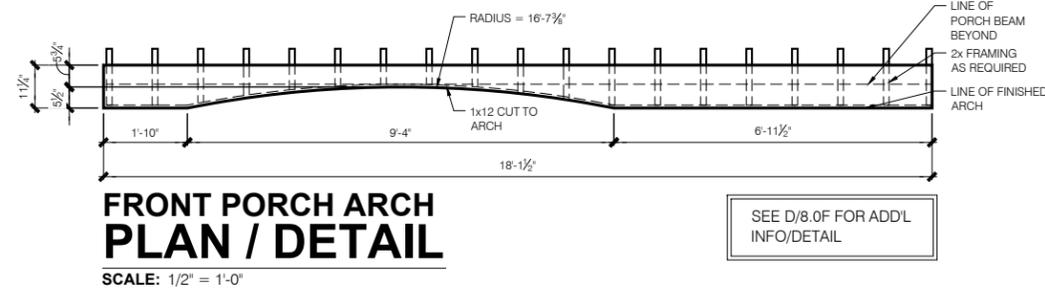
LINTEL SCHEDULE						
MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2" x 3 1/2" x 1/4"	6"				
8'-11"	3 1/2" x 3 1/2" x 1/4"	3 1/2" x 3 1/2" x 1/4"	3 1/2" x 3 1/2" x 1/4"	4" x 3 1/2" x 1/4"	5" x 3 1/2" x 1/4"	6"
16'-11"	5" x 3 1/2" x 1/4"	6" x 3 1/2" x 1/4"	7" x 4" x 3/8"	7" x 4" x 3/8"	8" x 4" x 3/8"	6"

11x17 PRINTS ARE 1/2" SCALE
 CLASSIC/SERIES
 M/I HOMES
 Cincinnati Division
 9349 Waterstone Blvd
 Cincinnati, OH 45249
 Ph 513.248.5400
 M/I HOMES
 Tolbert
 FINAL
 1-12-2024
 Sheet Title :
 Front and Garage
 Elevations
 Sheet:
 1.0D

Tolbert: New Kitchens
 LSP Date: x/x/xx
 LSP By: BY
 LSP Rev: ---
 Sheet Title :
 Front and Garage
 Elevations
 Sheet:
 1.0D



STONE SHOWN IS 4" NOMINAL PER SELECTIONS



TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	6"
8'-11"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	3/2"x3/2"x1/2"	4"x3/2"x1/2"	5"x3/2"x1/2"	6"
16'-11"	5"x3/2"x1/2"	6"x3/2"x1/2"	7"x4"x1/2"	7"x4"x1/2"	8"x4"x1/2"	6"

CLASSIC/SERIES

© 2015 M/I Homes

M/I Homes
Cincinnati Division
9349 Waterstone Blvd
Cincinnati, OH 45249
Ph 513.248.5400

M/I HOMES

11x17 PRINTS ARE 1/2" SCALE

TOLBERT
FINAL
1-12-2024

Tolbert: New Kitchens
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

Sheet:

1.2D

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN
 FINAL DEVELOPMENT PLAN
 RECORD PLAN
 VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** Easton Farm Partners
 Agent
 Lessee Address 155 West Central Avenue
 Signed Purchase Contract Springboro, OH 45066

 Telephone No. (937) 560 - 2535
 Fax No. () _____
 Email Address jfontaine@berror.com & larry@dillincorp.com



PROPERTY OWNER NAME (IF OTHER): Ted & Rebecca Hall Living Trust and Cook Realty Trust
 Address: 605 North Main Street, Springboro, OH 45066

Telephone No. () _____

Property Address or General Location: 605 North Main Street, Springboro, OH 45066

Parcel Number(s): 0414227005 Acreage: 103.14

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: Commercial (Lot 1)=11.9184 Ac, Multi-Family (Lot 2)=10.9135 Ac, Townhomes-1 (Lot 3)=1.8728 Ac, Townhomes-2 (Lot 4)=2.0364 Ac, City (Lot 5)=59.8472 Ac, Homestead (Lot 6)=13.0813 Ac, Right-of-Way=3.4686 Ac

For Residential Proposed Density N/A Number of Residential Units TH=65 units
MF=252 units

Proposed Use: This Record Plan application requests approval of the creation of 6 lots and dedication of public right-of-way for Easton Farm Drive, Anna Drive, Noel Drive, and S.R.-741.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Loribeth M. Steiner
 (Signature of Applicant and/or Agent)

DEC. 19, 2024
 (Date)

Printed Name President Easton Farm Partners, LLC
lsteiner@berror.com

DEED REFERENCE

SITUATED IN SECTION 14, TOWN 2, RANGE 5, BETWEEN THE MIAMIS, THE CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP, WARREN COUNTY, OHIO, CONTAINING 103.1382 ACRES OF LAND AND BEING THE SAME TRACT AS CONVEYED TO TED D. HALL & REBECCA A. HALL, CO-TRUSTEES OF THE TED AND REBECCA HALL LIVING TRUST AS RECORDED IN OFFICIAL RECORD 4355, PAGE 598 (1/2 INTEREST) AND RUTH E. COOK, TRUSTEE OF THE COOK REALTY TRUST AS RECORDED IN OFFICIAL RECORD 4411, PAGE 478 (1/2 INTEREST), WARREN COUNTY, OHIO.

OWNER CONSENT AND DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND TRAILS AND FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES, SIDEWALKS, AND TRAILS. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, SIDEWALKS, TRAILS, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO DUKE ENERGY, AT&T, CHARTER COMMUNICATIONS AND CITY OF SPRINGBORO.

OWNER: TED D. HALL & REBECCA A. HALL, CO-TRUSTEES OF THE TED AND REBECCA HALL LIVING TRUST

SIGNATURE: _____

PRINTED NAME: TED D. HALL

TITLE: _____

STATE OF OHIO

COUNTY OF WARREN

ON THE _____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

SIGNATURE: _____

PRINTED NAME: REBECCA A. HALL

TITLE: _____

STATE OF OHIO

COUNTY OF WARREN

ON THE _____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

OWNER: RUTH E. COOK, TRUSTEE OF THE COOK REALTY TRUST

SIGNATURE: _____

PRINTED NAME: RUTH E. COOK

TITLE: _____

STATE OF OHIO

COUNTY OF WARREN

ON THE _____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

CERTIFICATION

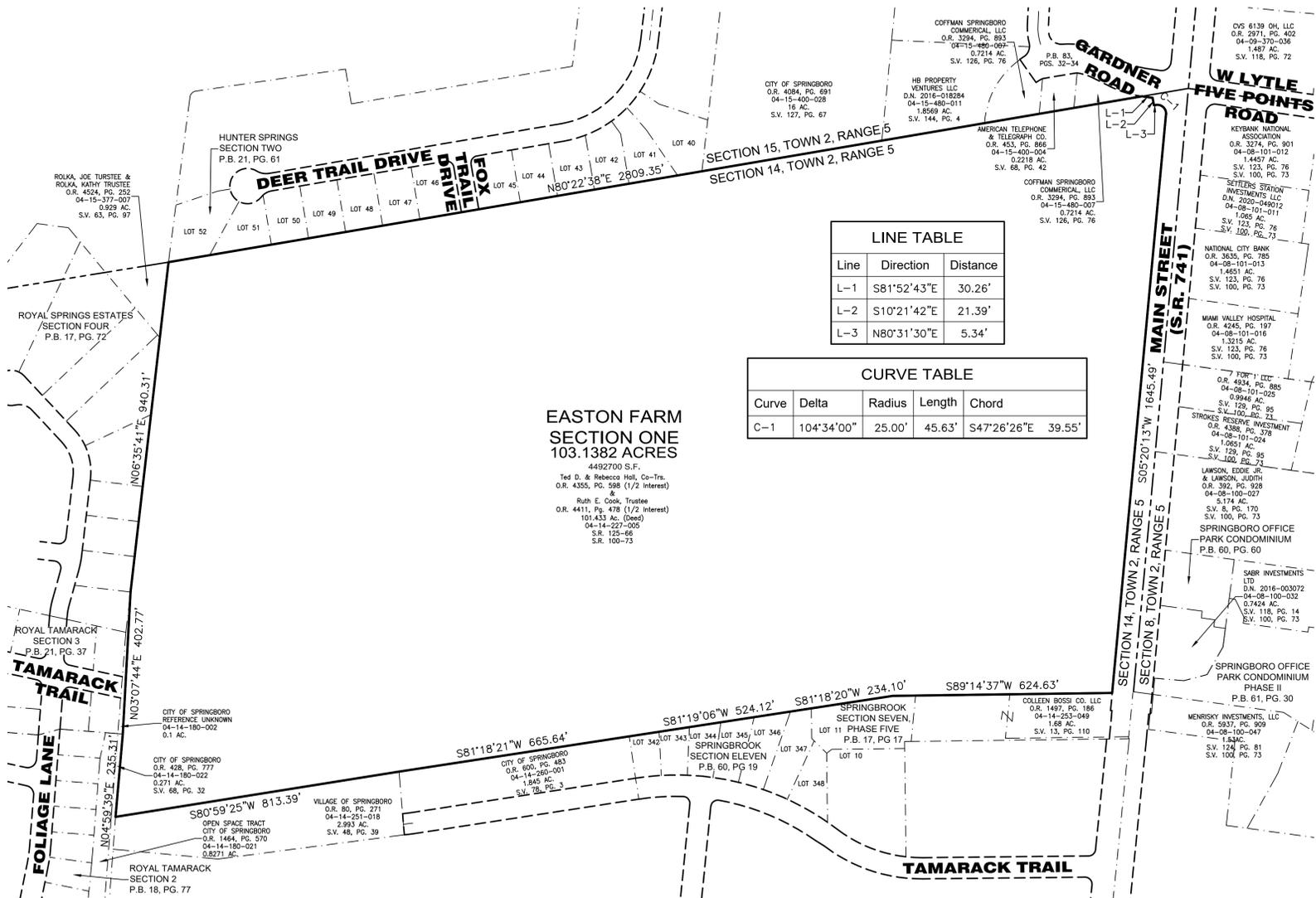
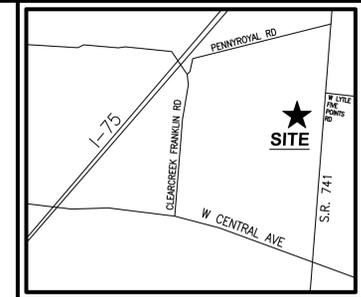
I HEREBY CERTIFY THAT THIS MAP IS A COMPLETE SURVEY MADE UNDER MY DIRECTION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

JEFFREY O. LAMBERT DATE _____ PROFESSIONAL SURVEYOR #7568 IN THE STATE OF OHIO

EASTON FARM SECTION ONE SECTION 14, TOWN 2, RANGE 5 BTM CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP WARREN COUNTY, OHIO

SHEET INDEX

- 1. TITLE SHEET 2. PLAT



LINE TABLE table with columns: Line, Direction, Distance. Rows: L-1 (S81°52'43"E 30.26'), L-2 (S10°21'42"E 21.39'), L-3 (N80°31'30"E 5.34')

CURVE TABLE table with columns: Curve, Delta, Radius, Length, Chord. Row: C-1 (104°34'00" 25.00' 45.63' S47°26'26"E 39.55')

EASTON FARM SECTION ONE 103.1382 ACRES. 4492700 S.F. Ted D. & Rebecca Hall, Co-Trs. RUTH E. Cook, Trustee

OWNER: HALL REBECCA & TED D. CO-TRUSTEES OF THE TED & REBECCA HALL LIVING TRUST DATED 4-8-99 1/2 INT. 605 N MAIN STREET SPRINGBORO, OHIO 45066

OWNER: RUTH E. COOK, TRUSTEE OF THE COOK REALTY TRUST 18 GREAT HILL GLOUCESTER, MA 01930

SURVEYOR: BAYER BECKER, INC. 6900 TYLERSVILLE ROAD, SUITE A MASON, OHIO 45040

APPROVALS section with fields for Clerk of Council, Mayor, and City Engineer.

COUNTY AUDITOR section with fields for County Auditor, Deputy, and Printed Name.

COUNTY RECORDER section with fields for File No., Recorded On This Day, Recorded in Plat Book No., Fee, and Printed Name.

DECLARATION REFERENCE: THE WITHIN SUBDIVISION IS SUBJECT TO DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS AND RESTRICTIONS FOR EASTON FARM AS RECORDED IN DOCUMENT NUMBER _____ OF THE WARREN COUNTY RECORDS, AS MAY BE SUPPLEMENTED AND AMENDED FROM TIME TO TIME.

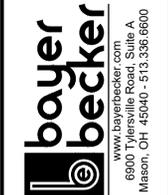
GRANT OF PUBLIC UTILITY EASEMENT: FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "PUBLIC UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES").

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED.

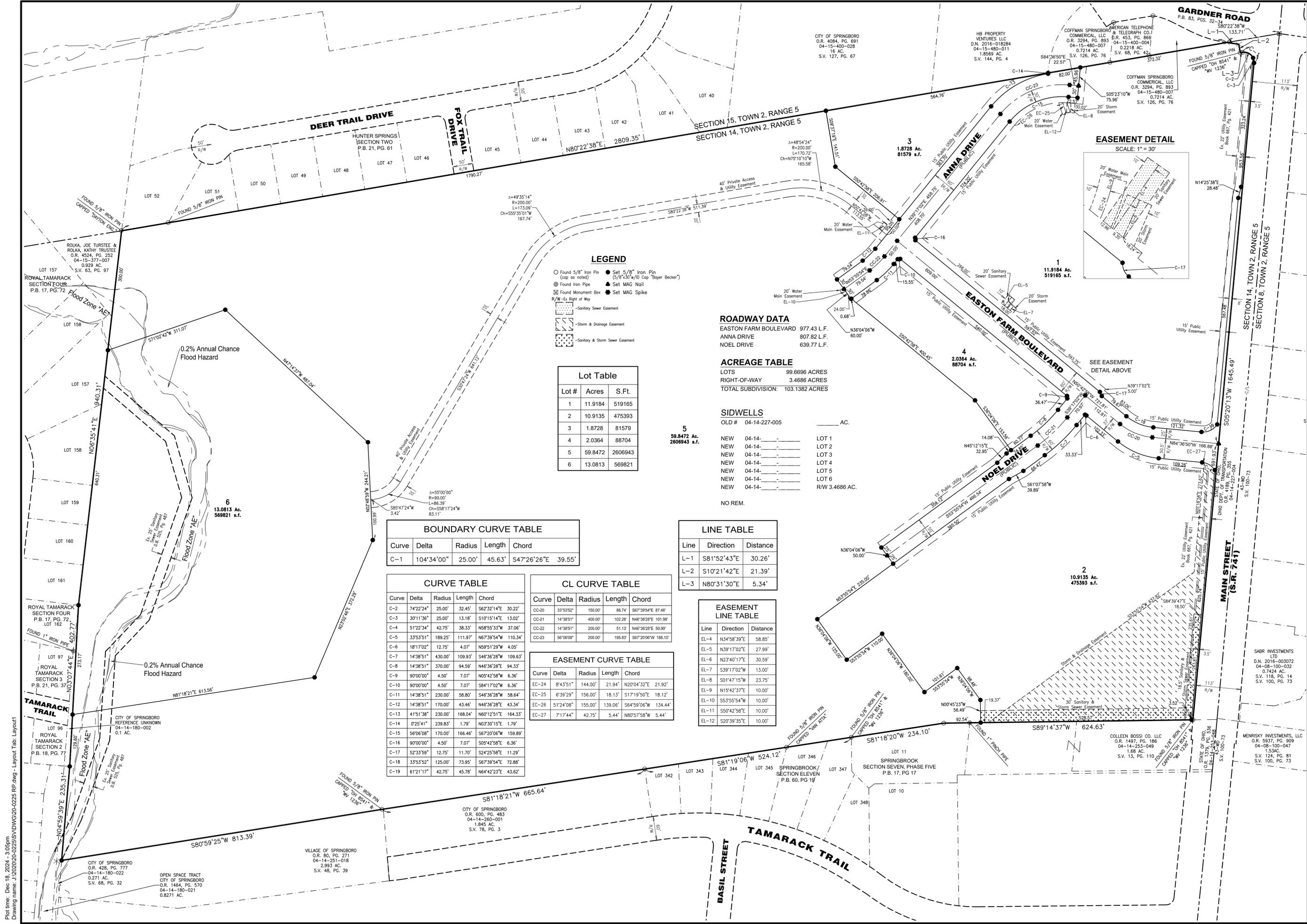
- CITY OF SPRINGBORO NOTES: 1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED. 2. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AS PER CITY ORDINANCE NUMBER 0-90-36. 3. NO PERSON SHALL INSTALL ANY PUMP, PUMPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO THE PUBLIC RIGHT-OF-WAY WITHOUT THE APPROVAL OF THE CITY ENGINEER. 4. THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAINAGE DITCHES OR CHANNELS DESIGNATED AS DRAINAGE EASEMENT ON THIS PLAT. 5. ALL SUMP DRAINS, DETENTION BASINS, ISLANDS, AND OPEN SPACE LOTS SHALL BE MAINTAINED BY THE LOT OWNER. 6. NO DEVELOPMENT TO OCCUR IN THE FLOODWAY AND/OR FLOOD PLAIN WITHOUT PRIOR PERMIT APPROVAL BY THE CITY ENGINEER. 7. NO PRIVATE IMPROVEMENTS OF ANY KIND SHALL BE MADE ON ANY RIGHT OF WAY OR EASEMENT WHICH WOULD INTERFERE WITH ACCESS TO ANY PROPOSED STREET, UTILITY, OR OTHER SERVICES IMPROVEMENT, PRESENT OR FUTURE, AND THE CITY OF SPRINGBORO SHALL NOT BE RESPONSIBLE TO ANY PRESENT OR FUTURE OWNERS OF THE PROPERTY INDICATED ON THIS PLAN FROM ANY DAMAGE DONE ON SAID RIGHT OF WAY OR EASEMENT TO SHED, SHRUBBERY, TREES, DRIVEWAY OR OTHER IMPROVEMENTS, EITHER NATURAL OR ARTIFICIAL BY REASON OF ENTERING FOR CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF SAID IMPROVEMENTS.

Plot time: Dec 18, 2024 - 3:04pm Drawing name: J:\2020\20-0225\SSVDWG\20-0225 RP TITLE.dwg - Layout Tab: Layout1

EASTON FARM SECTION ONE SECTION 14, TOWN 2, RANGE 5 BTM CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP WARREN COUNTY, OHIO RECORD PLAT



Drawing: 20-0225 RP TITLE Drawn by: PAH Checked by: JOL Issue Date: 12-18-24 Sheet:



LEGEND

- Found 5/8" Iron Pin (cap as noted)
- Set 5/8" Iron Pin (5/8"x30"/W/ Dayer Becker)
- ⊙ Found Iron Pipe
- ▲ Set MAG Nail
- ⊞ Found Monument Box
- ◆ Set MAG Spike
- R/W - Ex Right of Way
- Sanitary Sewer Easement
- Storm & Drainage Easement
- Sanitary & Storm Sewer Easement

Lot Table

Lot #	Acres	S.Ft.
1	11.9184	519165
2	10.9135	475393
3	1.8728	81579
4	2.0364	88704
5	59.8472	2606943
6	13.0813	569821

ROADWAY DATA

EASTON FARM BOULEVARD	977.43 L.F.
ANNA DRIVE	807.82 L.F.
NOEL DRIVE	639.77 L.F.

ACREAGE TABLE

LOTS	99.6696 ACRES
RIGHT-OF-WAY	3.4686 ACRES
TOTAL SUBDIVISION:	103.1382 ACRES

SIDWELLS

OLD #	AC.	LOT
04-14-227-005	_____	LOT 1
		LOT 2
		LOT 3
		LOT 4
		LOT 5
		LOT 6
		R/W 3.4686 AC.

NO REM.

BOUNDARY CURVE TABLE

Curve	Delta	Radius	Length	Chord
C-1	104°34'00"	25.00'	45.63'	S47°26'26"E 39.55'

LINE TABLE

Line	Direction	Distance
L-1	S81°52'43"E	30.26'
L-2	S10°21'42"E	21.39'
L-3	N80°31'30"E	5.34'

CURVE TABLE

Curve	Delta	Radius	Length	Chord
C-2	74°22'24"	25.00'	32.45'	S62°32'14"E 30.22'
C-3	30°11'36"	25.00'	13.18'	S10°15'14"E 13.02'
C-4	51°22'34"	42.75'	38.33'	N58°55'33"W 37.06'
C-5	33°53'51"	189.25'	111.97'	N67°39'54"W 110.34'
C-6	18°17'02"	12.75'	4.07'	N59°51'29"W 4.05'
C-7	14°38'51"	430.00'	109.93'	S46°36'28"W 109.63'
C-8	14°38'51"	370.00'	94.59'	N46°36'28"E 94.33'
C-9	90°00'00"	4.50'	7.07'	N05°42'58"W 6.36'
C-10	90°00'00"	4.50'	7.07'	S84°17'02"W 6.36'
C-11	14°38'51"	230.00'	58.80'	S46°36'28"W 58.64'
C-12	14°38'51"	170.00'	43.46'	N46°36'28"E 43.34'
C-13	41°51'38"	230.00'	168.04'	N60°12'51"E 164.33'
C-14	02°51'41"	239.83'	1.79'	N03°30'15"E 1.79'
C-15	56°06'08"	170.00'	166.46'	S67°20'06"W 159.89'
C-16	90°00'00"	4.50'	7.07'	S05°42'58"E 6.36'
C-17	52°33'59"	12.75'	11.70'	S24°25'58"E 11.29'
C-18	33°53'52"	125.00'	73.95'	S67°39'54"E 72.88'
C-19	61°21'17"	42.75'	45.78'	N64°42'23"E 43.62'

CL CURVE TABLE

Curve	Delta	Radius	Length	Chord
CC-20	33°53'52"	150.00'	88.74'	S67°39'54"E 87.46'
CC-21	14°38'51"	400.00'	102.26'	N46°36'28"E 101.98'
CC-22	14°38'51"	200.00'	51.13'	N46°36'28"E 50.99'
CC-23	56°06'08"	200.00'	195.83'	S67°20'06"W 188.10'

EASEMENT CURVE TABLE

Curve	Delta	Radius	Length	Chord
EC-24	8°43'51"	144.00'	21.94'	N20°04'32"E 21.92'
EC-25	6°39'29"	156.00'	18.13'	S17°19'50"E 18.12'
EC-26	51°24'08"	155.00'	139.06'	S64°59'06"W 134.44'
EC-27	7°17'44"	42.75'	5.44'	N80°57'58"W 5.44'

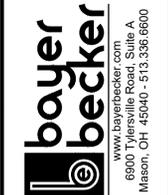
EASEMENT LINE TABLE

Line	Direction	Distance
EL-4	N34°58'39"E	58.85'
EL-5	N39°17'02"E	27.99'
EL-6	N23°40'17"E	30.59'
EL-7	S39°17'02"W	13.00'
EL-8	S01°47'15"W	23.75'
EL-9	N15°42'37"E	10.00'
EL-10	S53°55'54"W	10.00'
EL-11	S50°42'58"E	10.00'
EL-12	S20°39'35"E	10.00'

Revision Description

Date	Drawn	Chk	Item

EASTON FARM SECTION ONE
SECTION 14, TOWN 2, RANGE 5 BTM
WARREN COUNTY, OHIO
RECORD PLAT



Drawing: 20-0225 RP
Drawn by: PAH
Checked by: JOL
Issue Date: 12-18-24
Sheet: 2/2

From: AT&T 1bh605@rsbglobal.net
Subject: Revised Letter
Date: December 19, 2024 at 11:25 AM
To: Ruth Cook ruthellencook@gmail.com



Here it is

December 19, 2024

City of Springboro
320 West Central Ave
Springboro, OH 45066

Re: Easton Farm Development Record Plan Submission

To Whom It May Concern,

This letter is to confirm that Lori Steiner of Easton Farm Partners, LLC or their agent is duly authorized by Ted and Rebecca Hall Living Trust, and The Cook Realty Trust, the Owners of the referenced Property, to make application with the City of Springboro and Warren County and any other governmental authority for any and all required approvals for a Parcel Split of Owner's Land and for Record Plat approval on the Property as identified on the attached legal description and submission documents ("Attachment A").

If you should have any questions regarding this matter, please do not hesitate to contact us.

Very Truly yours,

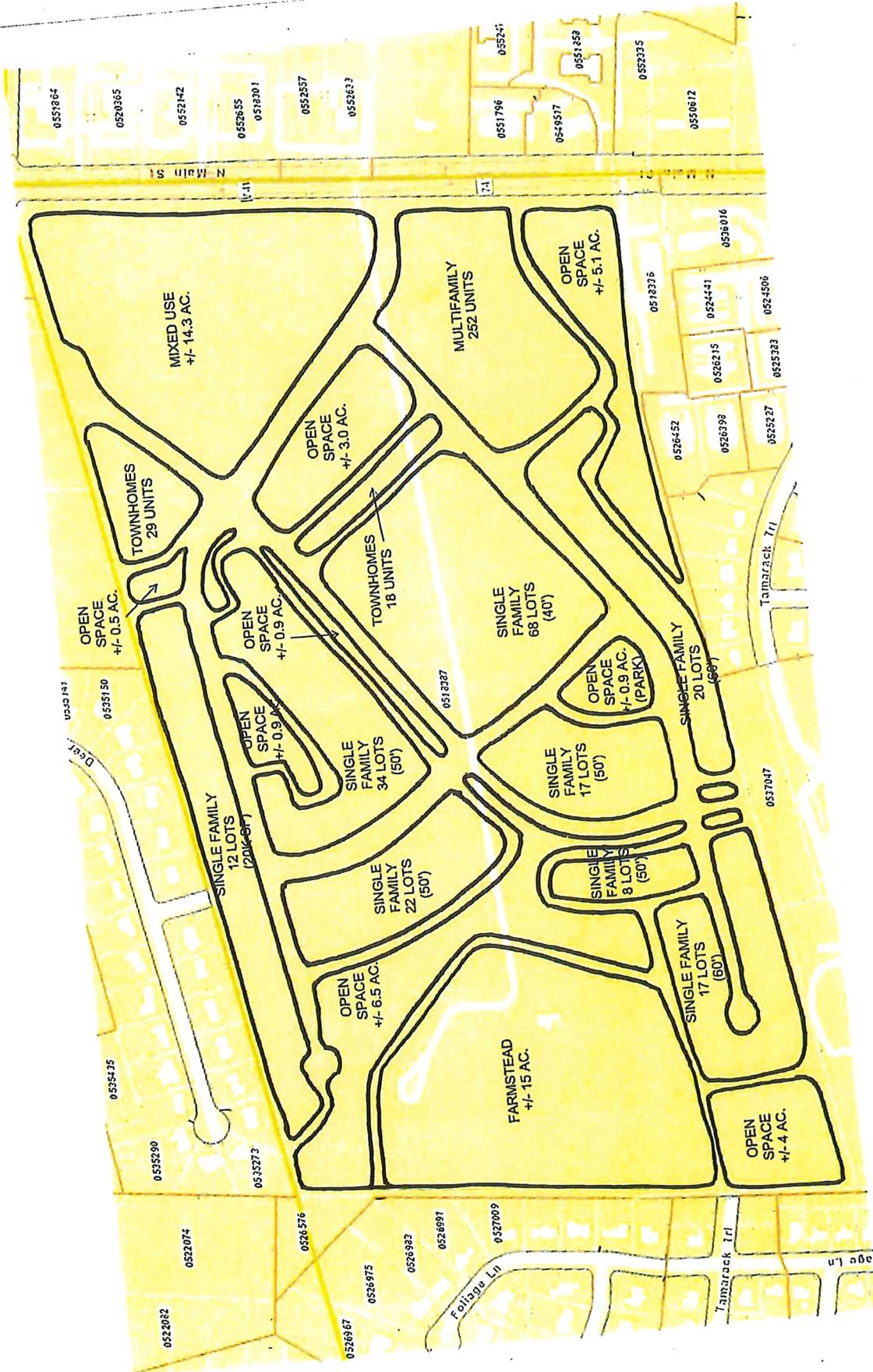
Rebecca A. Hall
Co-Trustee, Ted and Rebecca Hall Living Trust

Ruth E. Cook
Ruth E. Cook, Trustee
Cook Realty Trust

Ted Hall
Co-Trustee, Ted and Rebecca Hall Living Trust

CC: Chris Pozzuto
Dan Boron

2022 Settlement Agreement Exhibit



City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, November 13, 2024

I. Call to Order

Becky Iverson, Chair, called the Wednesday, November 13, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chris Pearson, Rob Dimmitt, and Steve Harding.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, and Chad Dixon, City Engineer

Mr. Pearson motioned to excuse Mr. Leedy, Mr. Sillies and Mr. Thompson. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

II. Approval of Minutes

October 9, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the October 9, 2024 Planning Commission minutes. Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

III. Agenda Items

A. Final Approval

Record Plan, Northampton, Phase 1, 1525 South Main Street (SR 741), residential subdivision

Background Information

This agenda item is a request for record plan approval for Northampton subdivision, Phase 1, located at 1525 South Main Street (SR 741), submitted on behalf of M/I Homes of Cincinnati, LLC. The record plan contains 41 buildable lots for a total of 17.67 acres. Record plan review is the third and final stage of Planned Unit Development (PUD) approval process.

The Northampton property was rezoned to PUD-R-Residential, effect in January, following review and approval by Planning Commission in October 2023. Final approval of the final development plan—stage two of the PUD review process—by Planning Commission occurred at the May 8 meeting.

Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Revise city approval signature blocks.
2. Provide minimum square foot dwelling size on sheet 2 under the Typical Lot detail.
3. Provide HOA documents for review and approval. Add the HOA recording information in General Notes.
4. Revise General Notes comment #5 to include bike lanes as an HOA maintenance item.
5. Submit to Warren County for review and revise accordingly.

Discussion:

There was no representative for the applicant present at the meeting.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said staff has been talking with M/I Homes' development team regarding this project which was approved by Planning Commission in October 2023. Staff comments are very minor in nature and Mr. Elmer Dudas, Development Director, determined there were no issues preventing this agenda item from moving forward.

Ms. Iverson asked if Planning Commission members had any questions. There were none.

Mr. Pearson made a motion to approve the Final Approval, Record Plan, Northampton, Phase 1, 1525 South Main Street (SR 741), residential subdivision, with staff conditions. Mr. Harding seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval Site Plan Review, Midway Plaza shopping center, exterior façade changes

Background Information

This agenda item is a request for site plan review approval submitted by MS Consultants on behalf of the Leathery Company, Columbus, property owner. As indicated in the submitted materials, the applicant is proposing to modify the exterior elevations of the All That Dance (815 West Central Avenue) building and the multi-tenant portion of the main shopping center (835-853 West Central Avenue) building within the Midway Plaza Shopping Center.

For the All That Dance building, the applicant proposes to modify the front/west elevation by removing the existing (upper) stucco facade, canopy, and columns. Those would be replaced by a new brick and EIFS façade with an asymmetrical design, and a new canopy and sign placement. The existing storefront system (windows, doors) would remain.

For the multi-tenant portion of the main shopping center building, the existing yellow canopy and soffits will be removed as well as the arch-shaped portions of the canopy support columns. The covered walkway in this portion of the shopping center would remain under a new canopy, and the upper portion of the façade would move forward. Signage for the tenants in this portion of the shopping center would be relocated as indicated in the submitted plan.

The proposed color scheme for both areas included in this request would match.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Coordinate with Zoning Inspector following Planning Commission's action on plans for the signage relocation and any required permitting.
2. For proposed lighting, select a fixture that is flush-mounted, then submit new fixture selection and photometric analysis for adjacent areas indicating lighting levels to a maximum of 6.0 foot-candles.

Discussion:

Mr. Craig Peters of Dalo Construction was in attendance to represent the applicant, MS Consultants, for this agenda item.

Ms. Iverson asked Mr. Dalo if he had any questions or comments about the staff comments.

Mr. Peters said he did not have any questions.

Ms. Iverson asked Mr. Boron for a summary of this project.

Mr. Boron referred to a graphic supplied by the applicants showing the changes proposed for both the All That Dance building and the main building of the Midway Plaza shopping center. The All That Dance building west elevation will be renovated; for the shopping center, building west of where the new Aldi is being constructed will have a new flat canopy and signage

Mr. Peters stated that all the existing yellow canopy will be removed and replaced with a new façade to match the All That Dance building.

Mr. Boron said the signage will be handled by staff and the lighting is still being discussed.

Ms. Iverson asked if there were any questions from Planning Commission members. There were none.

Mr. Harding made a motion to approve the Final Approval, Site Plan Review, Midway Plaza shopping center, exterior façade changes. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

IV. Guest Comments

Ms. Iverson called for guest comments. There were none.

V. Planning Commission and Staff Comments

Ms. Iverson reminded members that the 36th Annual Miami Valley Planning and Zoning Workshop will be held on Friday, December 6, 2024 at the Ponitz Center, Sinclair Community College in Dayton. All Planning Commission members and staff are invited to attend.

Mr. Harding, Mr. Pearson, and Ms. Iverson all said they would be attending. Mr. Sillies has notified Ms. Bee that he will be attending as well.

Mr. Boron stated that the last Planning Commission regularly scheduled meeting of the year will be held on December 11.

Ms. Iverson announced that Mr. Leedy will not be returning to Planning Commission starting in January, 2025, leaving one seat vacant. She asked members to direct anyone who might be interested in serving on Planning Commission the Clerk of Courts, Ms. Lori Martin.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the November 13, 2024 Planning Commission Meeting at 6:09 pm.

Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said that the motion was approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary