

Agenda
City of Springboro Planning Commission Meeting
Wednesday, January 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. November 13, 2024 Planning Commission Meeting
- III. Appointment of Officers for 2025—Chair, Vice Chair
- IV. Agenda Items
 - A. Final Approval, Minor Change to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), addition of home plans and exterior elevations to approved list
 - B. Final Approval, Record Plan, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street (SR 741), right-of-way dedication and creation of six lots
- V. Guest Comments
- VI. Planning Commission and Staff Comments
- VII. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, January 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

IV. Agenda Items

A. Final Approval

Minor Revision to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street, addition

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, owner, and developer, requesting approval of a minor revision to the approved general plan for the Northampton PUD-R, Planned Unit Development-Residential, located at 1525 South Main Street (SR 741). The Northampton subdivision was rezoned to PUD-R by City Council in January 2024 following review and approval by Planning Commission in late 2023, a public hearing and three readings of the rezoning ordinance by City Council. The subdivision includes 75 single-family lots plus the existing Janney House. The companion general plan resolution was also approved by City Council in January 2024. M/I Homes has also obtained approval of the final development plan from Planning Commission at their May 8, 2024 meeting, and record plan approval of phase one of the subdivision at the November 13 Planning Commission meeting.

M/I Homes proposed to add nine house plans to the list of homes approved for the subdivision. This change is defined as a minor revision to the approved general plan, with approval of the revision by Planning Commission per the terms of the PUD code, Chapter 1266 of the Planning and Zoning Code. All proposed housing plans are included in the meeting materials.

Staff Recommendation

City staff recommends approval of the minor revision to the general plan site plan for the Northampton PUD-R, Planned Unit Development-Residential, subject to the following comment:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).

B. Final Approval

Record Plan, Easton Farm, Section One, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street, dedication of right-of-way and creation of six lots

Background Information

This agenda item is a request for record plan approval submitted by Easton Farm Partners for Easton Farm, Section One. The record plan subject property in question is the 103.1382-acre Easton Farm parcel located at 605 North Main Street (SR 741). The record plan dedicates right-of-way and creates six lots.

The property was subject to a rezoning and general plan application filed by Easton Farm Partners in 2021. The rezoning and general plan were denied by City Council and the applicant sued the City. In September 2022, the City and Easton Farm Partners entered into a settlement agreement through which the Court ordered that the be property be rezoned to PUD-MU, Planned Unit Development Mixed Use, and that the attached "bubble diagram" serve as the property layout. The rezoning and bubble diagram provides for mixed-use commercial and multi-family residential components fronting North Main Street, single-family residential in the interior, and preservation of the Easton farmstead on the west side of the property.

While record plan review and approval typically takes place following further development of PUDs in the form of a final development plan or series of them for larger sites, this record plan is being requested now as a result of further negotiations between the parties to the court action. This plan will create six lots, including a 59.8472-acre parcel to be purchased by the City, and a 13.0813-acre parcel to accommodate the Easton farmstead.

The submittal of final development plan, with uses and design standards or plans for the component properties, would be a condition of approval of the record plan. The final development plans would be submitted for review and approval to Planning Commission.

Once approved, the record plan will proceed to City Council for their consideration.

Staff Recommendation

Staff recommends approval of the record plan for Easton Farm, Section One, contingent on meeting the following conditions:

1. Locate existing structures on Lot 6 and dimension setbacks.
2. Remove the Declaration Reference on Sheet 1 of 2.
3. Revise the Gardner Road callout to be Anna Drive.
4. Provide base flood elevations along Flood Zone AE.
5. Revise plan per Warren County comments, if any.
6. Final development plan to be submitted to Planning Commission for review and approval prior to development on proposed lots in this record plan consistent with September 2022 settlement agreement. Final development plan to include uses, design standards, site plan(s), and building elevations.

The information contained in this report is based on material provided to the City of Springboro as of Friday, January 3, 2025 at 10:00 a.m.

APPLICATION—PLANNED UNIT DEVELOPMENTS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
☐ Agent
☐ Lessee Address 9349 Waterstone Blvd, Suite 100
☐ Signed Purchase Contract Cincinnati, OH 45249

Telephone No. (513) 833-2206
Fax No. (N/A)
Email Address jlhanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Same as above

Address: Same as above
Same as above

Telephone No. () Same as above

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): 08182000131 & 08182000132 Acreage: 35.631

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75 + existing house

Proposed Use: This application seeks to add 9 house plans to the lineup at Northampton - Clayton, Cheswicke, Morrison, Tolbert, Ainsley II, Hyde Park, Nicholas, Keating, and Monroe. These plans are in addition to the 10 plans approved with the General Plan. There are no other changes to the approved plans.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

12/20/24
(Date)

Justin Lanham
Printed Name



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

December 20, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton – Minor Modification
Enclosed: 9 Additional House Plans & Elevations

Dear Mr. Boron,

At your request, M/I Homes is requesting approval to offer the enclosed house plans at Northampton. The house plans approved with the General Plan for Northampton were between 1,544sf – 3,322sf. These 9 additional plans include ranch and two-story homes ranging in size from 1,927sf – 3,852sf with a variety of elevations, materials, colors, and layouts.

We would request the City allow future house plans added to Northampton be considered and approved by staff if consistent with the approved General Plan. Should you have any questions, please contact me.

Respectfully,

Justin Lanham

M/I Homes of Cincinnati, LLC
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
(513) 551-3954
ilanham@mihomes.com

10 Approved House Plans

• Faulkner	1,544sf	• Inglewood	2,558sf
• Cooper	1,776sf	• Cooke	2,624sf
• Melville	1,865sf	• Dillon	2,913sf
• Serenity	2,330sf	• Barrett	3,035sf
• Dawson	2,461sf	• Fairview	3,322sf

9 Additional House Plans Enclosed

• Clayton	1,927sf	• Hyde Park	3,372sf
• Cheswicke	2,188sf	• Nicholas	3,390sf
• Morrison	2,763sf	• Keating	3,598sf
• Tolbert	2,869sf	• Monroe	3,852sf
• Ainsley II	3,175sf		



NORTHAMPTON

Clayton



Elevation C



Elevation B



Elevation D



Elevation E - Shown w/Opt Stone

Square Feet: 1,927
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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Cheswicke



Elevation F - Shown with Opt. Dormer



Elevation D - Shown w/Opt Stone



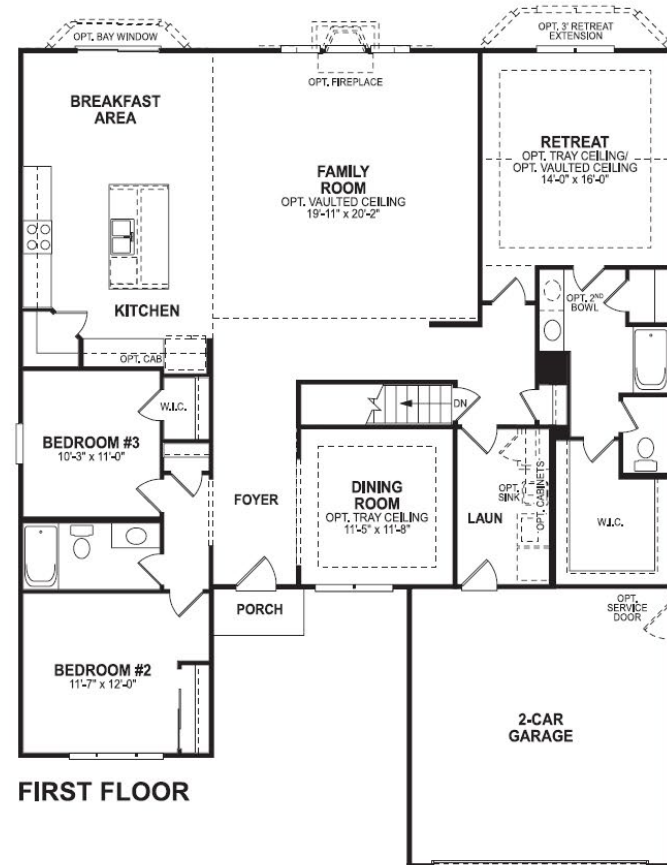
Elevation E - Shown w/Opt Dormers



Elevation G - Shown w/Opt Stone and Dormer

Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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NORTHAMPTON

Morrison



Elevation E - Shown with optional coach lights



Elevation A



Elevation C



Elevation D

Square Feet: 2,763
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Ainsley II



Elevation D - Shown w/Opt Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/Opt Study



Elevation E

Square Feet: 3,175
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Hyde Park



Elevation C - Shown w/ Opt Brick and Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation B - Shown w/Opt Brick and Coach Lights



Elevation D - Shown w/Opt Brick and Coach Lights



Elevation E - Shown w/Opt Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



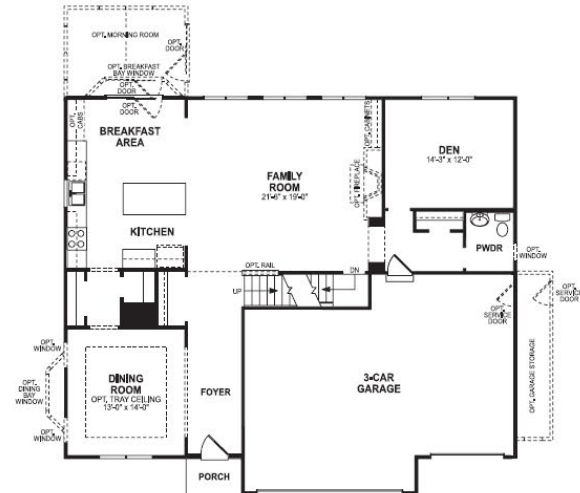
Elevation G



Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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NORTHAMPTON

Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Monroe



Elevation B - Shown w/Opt Garage Doors and Coach Lights



Elevation A



Elevation C - Shown w/Opt Stone



Elevation D - Shown w/Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



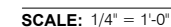
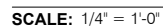
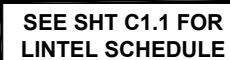
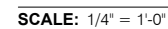
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3-1-24

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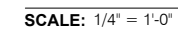
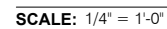
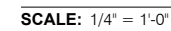
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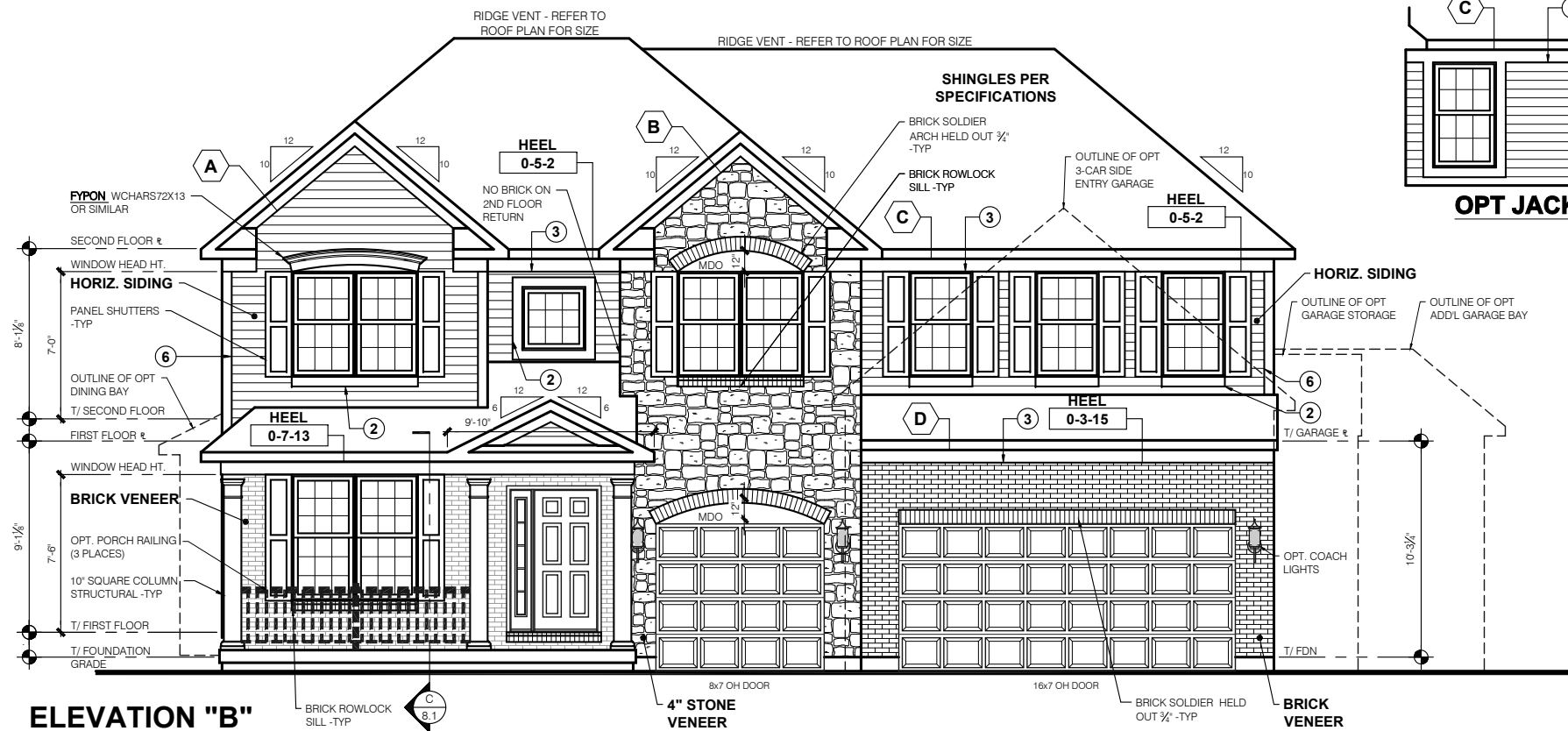
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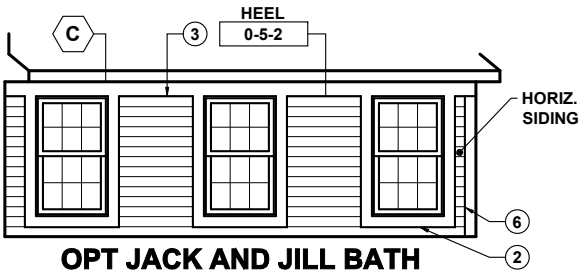
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FRONT ELEVATION

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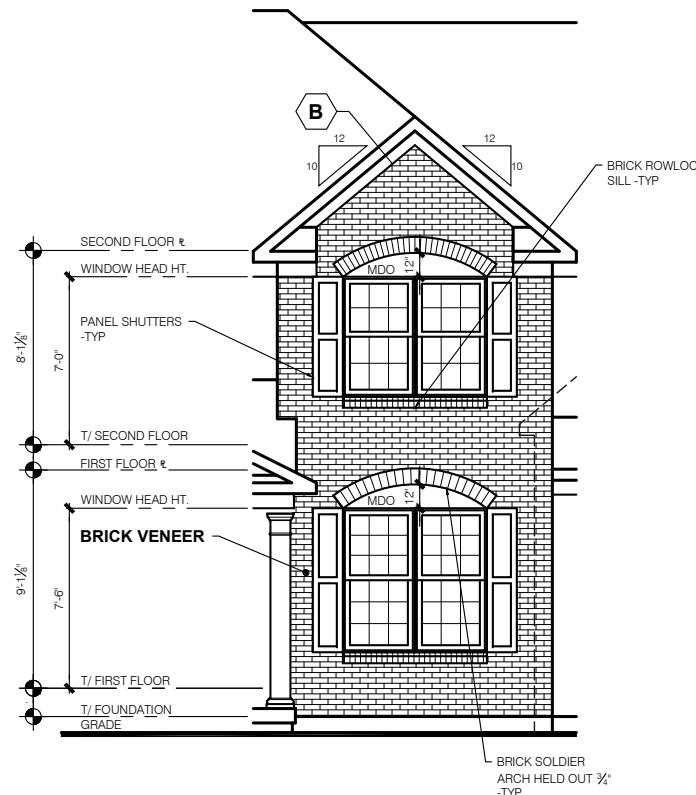
STONE SHOWN IS 4" NOMINAL CAST STONE



TYPICAL EXTERIOR TRIM FINISH		
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①	= 4" TRIM	(1x4, 5/4x4, 3½" VINYL LINEAL)
②	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM	
⑤	= 12" TRIM	
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS	
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	
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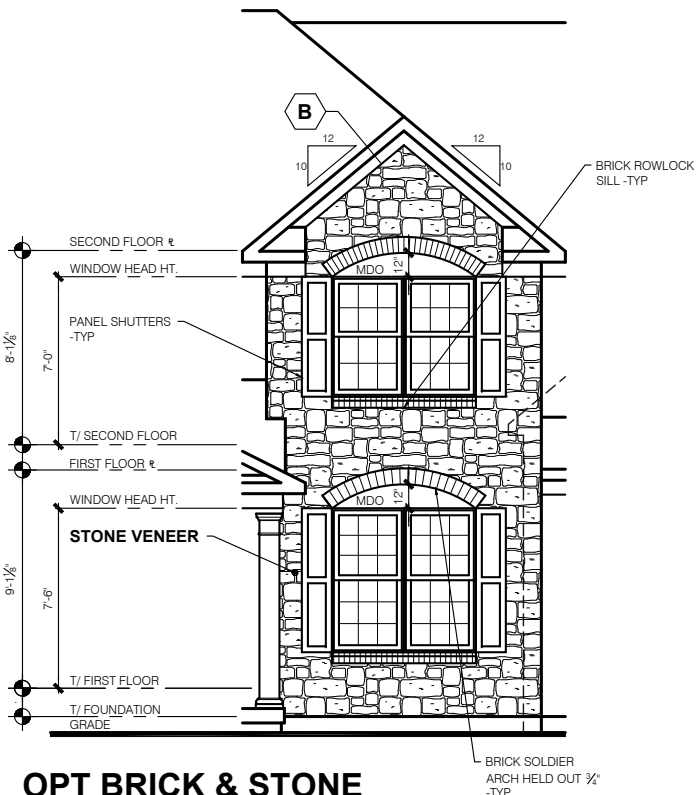
SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE



ELEVATION "B" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



OPT BRICK & STONE
ELEVATION "B" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"

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AINSLEY II BW

FINAL

3-1-24

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LSP By:	BY
LSP Rev:	----
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LSP By:	BY
LSP Rev:	----
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Front and Garage	
Elevations	

Sheet:

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SEE SHEET D1.0 FOR EAVE DETAILS

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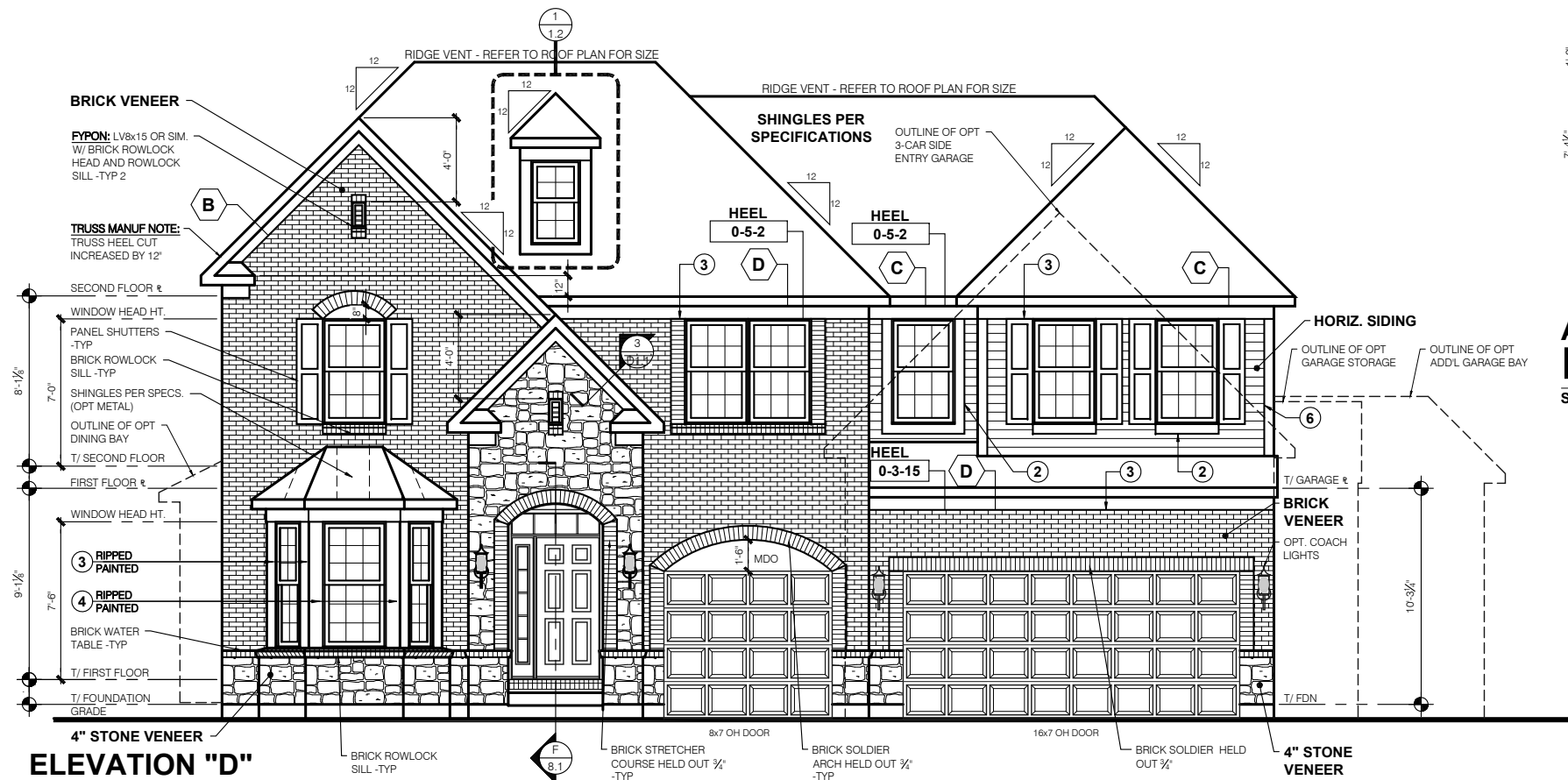
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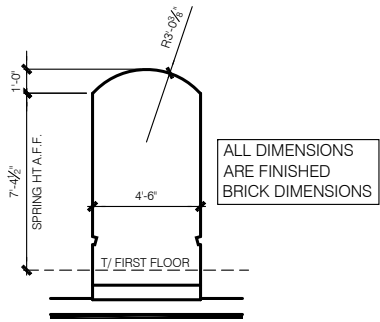
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FRONT ELEVATION

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ENTRY DETAIL

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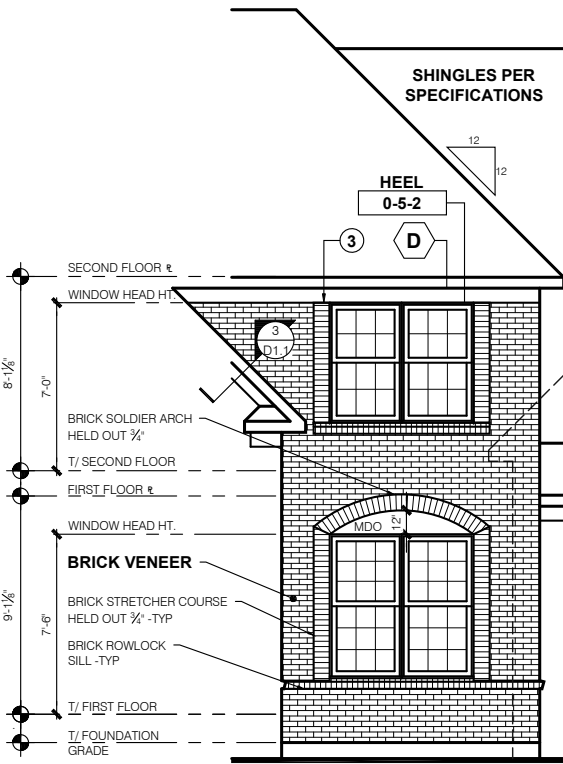
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| ③ | = 8" TRIM | (1x8, 5/4x8, 7" VINYL LINEAL) |
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| ⑤ | = 12" TRIM | |
| ⑥ | FRONT CORNERS | = 6" TRIM PER DIVISION - SEE SPECS |
| ⑦ | REAR CORNERS | = 3" TRIM PER DIVISION - SEE SPECS |

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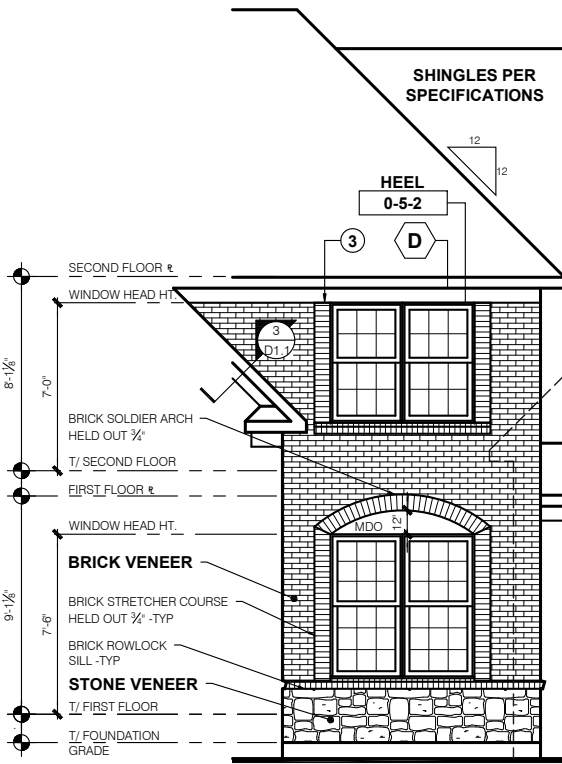
SEE SHEET D1.0 FOR EAVE DETAILS

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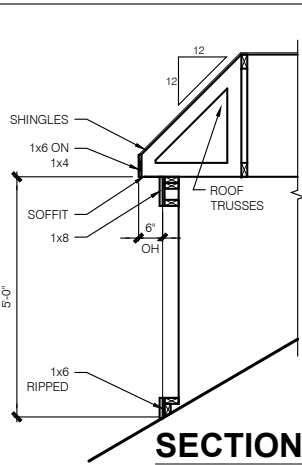
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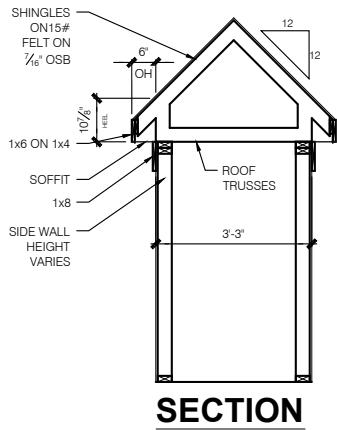
OPT BRICK & STONE
ELEVATION "D" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



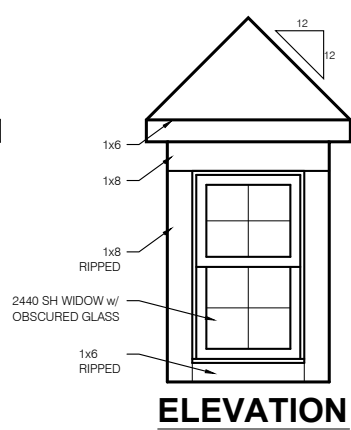
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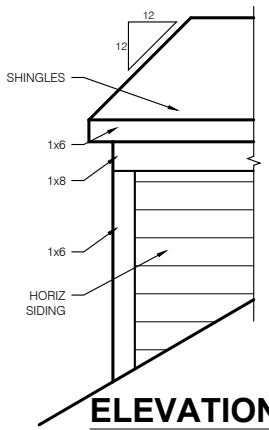
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ELEVATION

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ELEVATION

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DORMER DETAIL

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11x17 PRINTS ARE 1/2" SCALE

CLASSIC SERIES

AINSLEY II BW

FINAL

3-1-24

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LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options

Sheet:

1.2D

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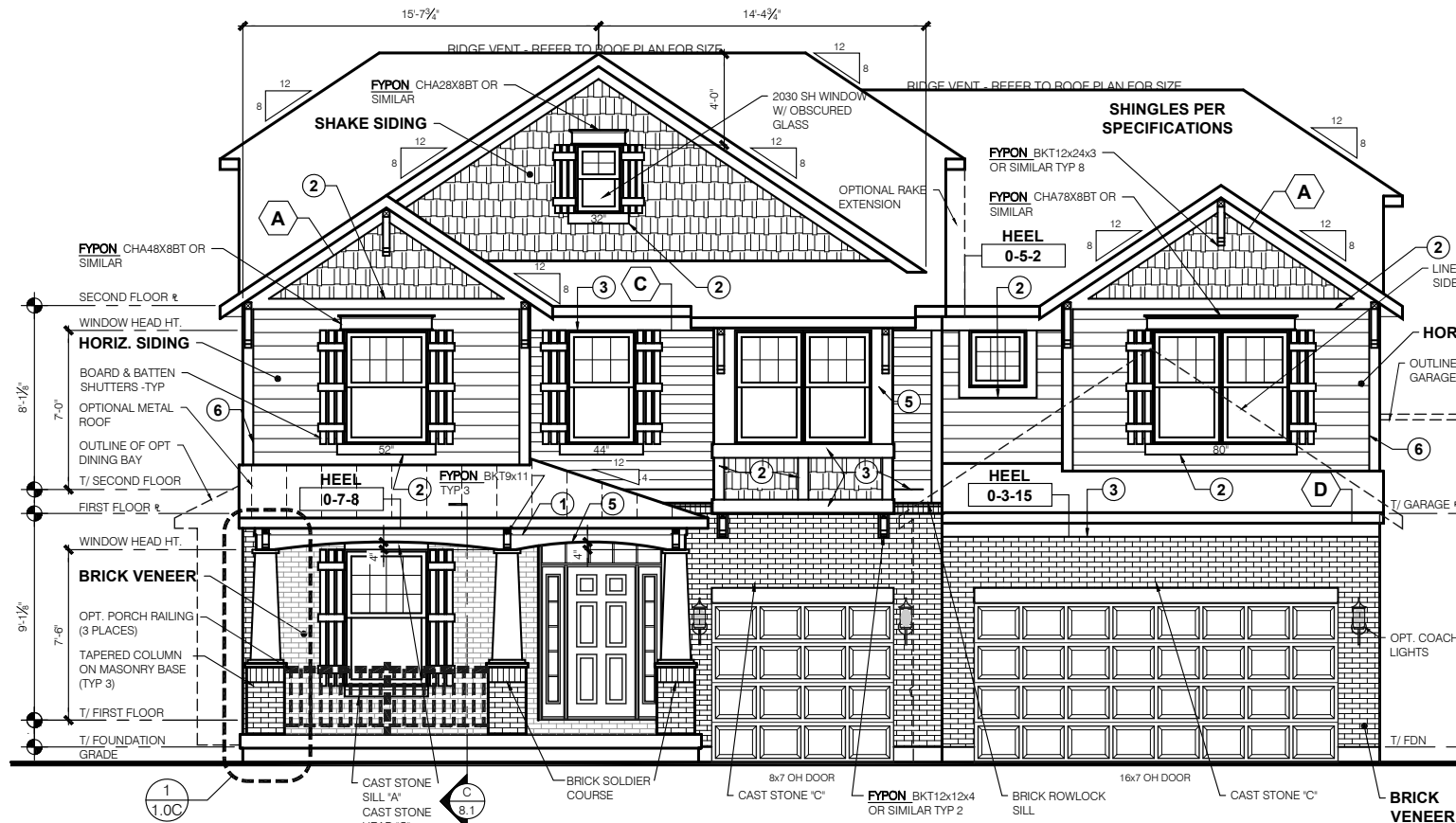
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M/I HOMES



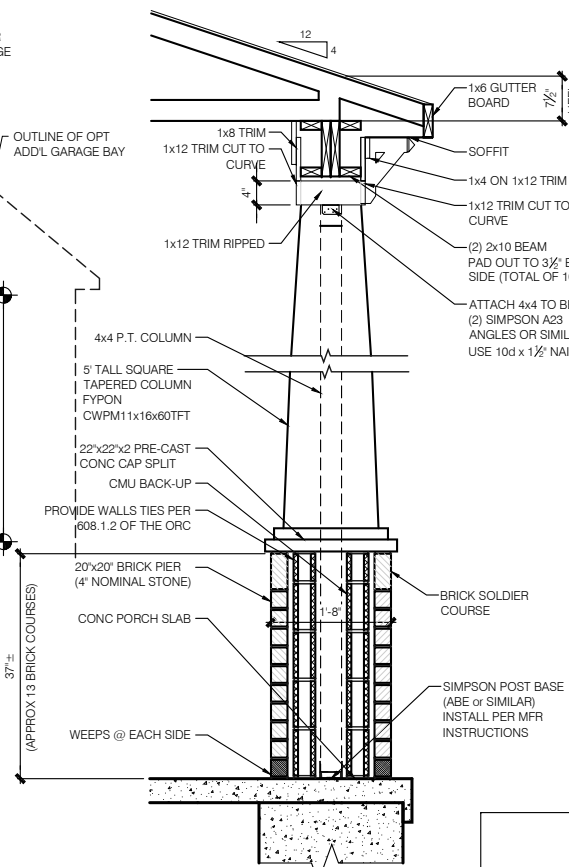
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⑩ ---



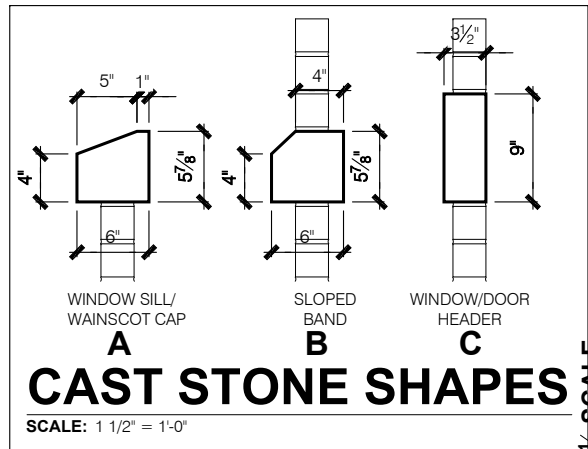
ELEVATION "E" (CRAFTSMAN)
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



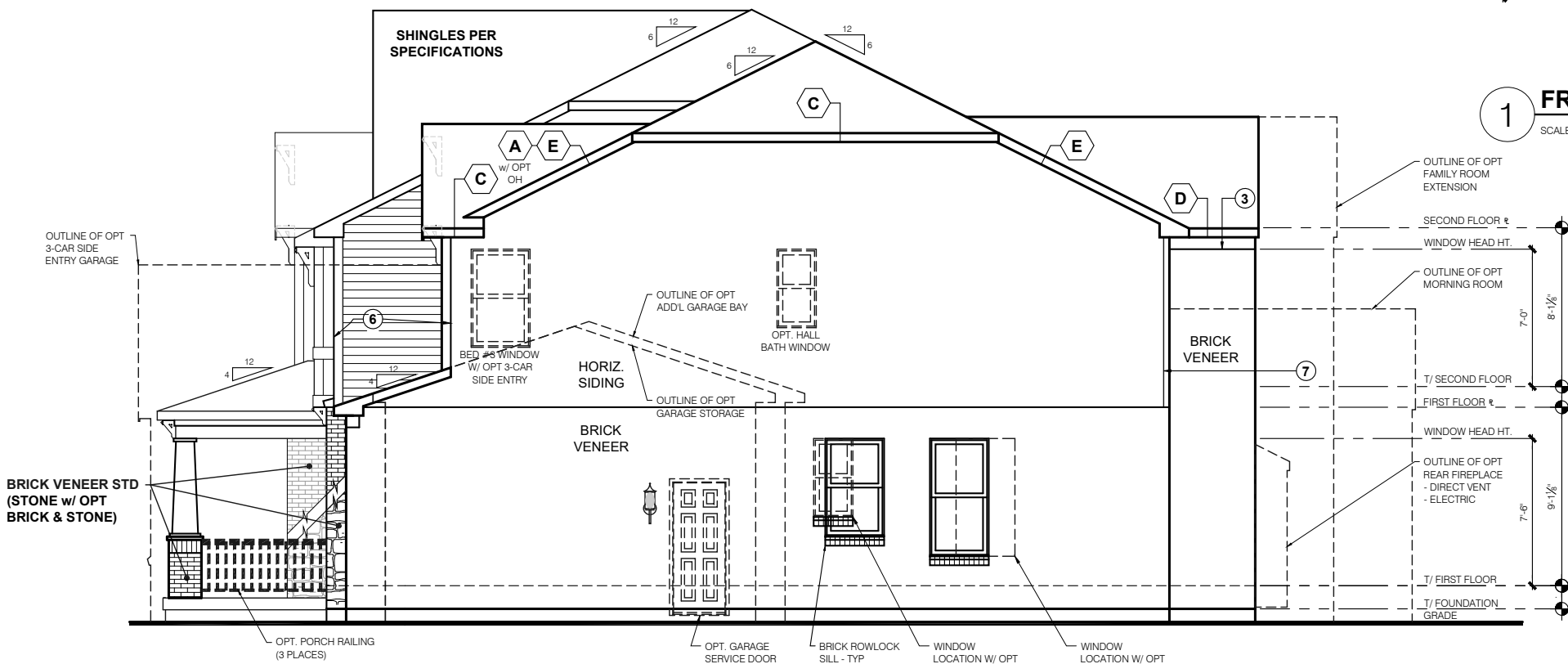
1 FRONT PORCH COLUMN

SCALE: 3/4" = 1'-0"



CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"



ELEVATION "E" (CRAFTSMAN)
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

OPT REAR FIREPLACE
SIDE ELEVATION

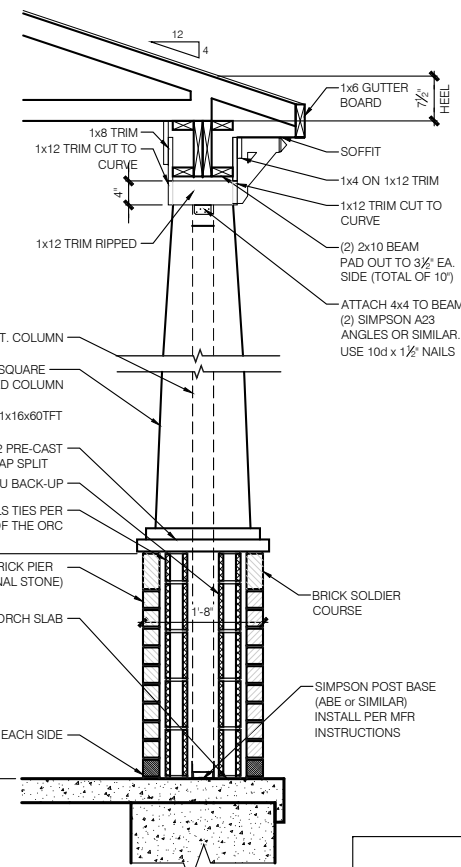
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH		
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.		
①	= 4" TRIM	(1x4, 5/4x4, 3½" VINYL LINEAL)
②	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM	
⑤	= 12" TRIM	
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS	
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	
DIVISION NOTE:		
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.		

SEE SHEET D1.0 FOR EAVE DETAILS

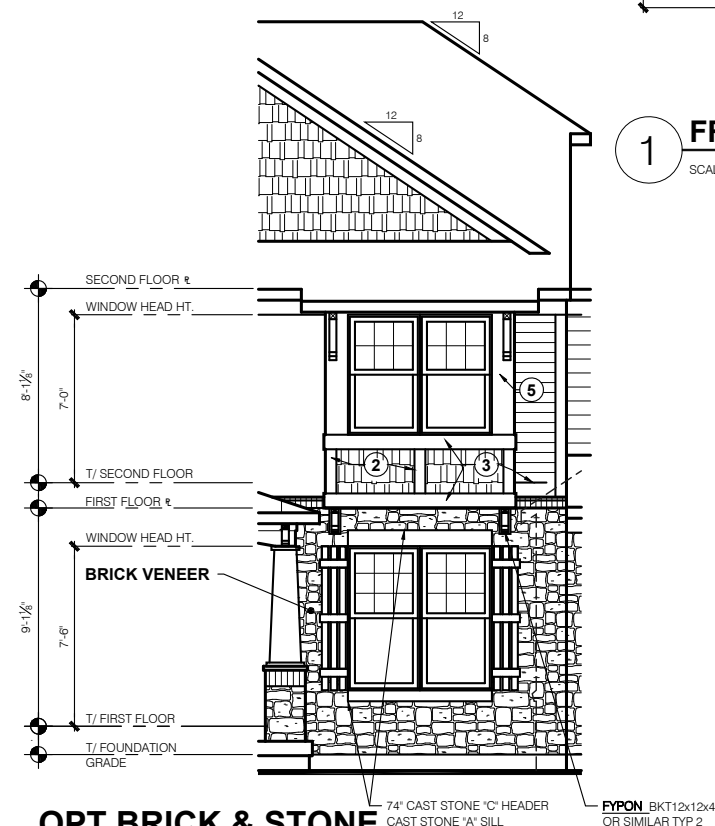
SEE SHT C1.1 FOR
LINTEL SCHEDULE

CLASSIC SERIES



STONE SHOWN IS 4" NOMINAL CAST STONE

1 FRONT PORCH COLUMN

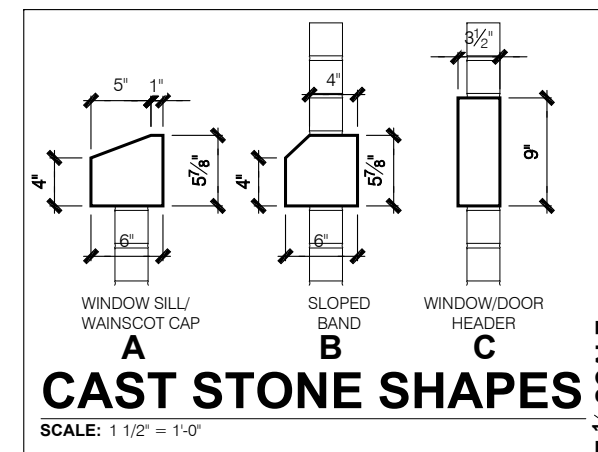


OPT BRICK & STONE
ELEVATION "E" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"

SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



CLASSIC SERIES



M/I HOMES

11x17 PRINTS ARE 1/2 SCALE

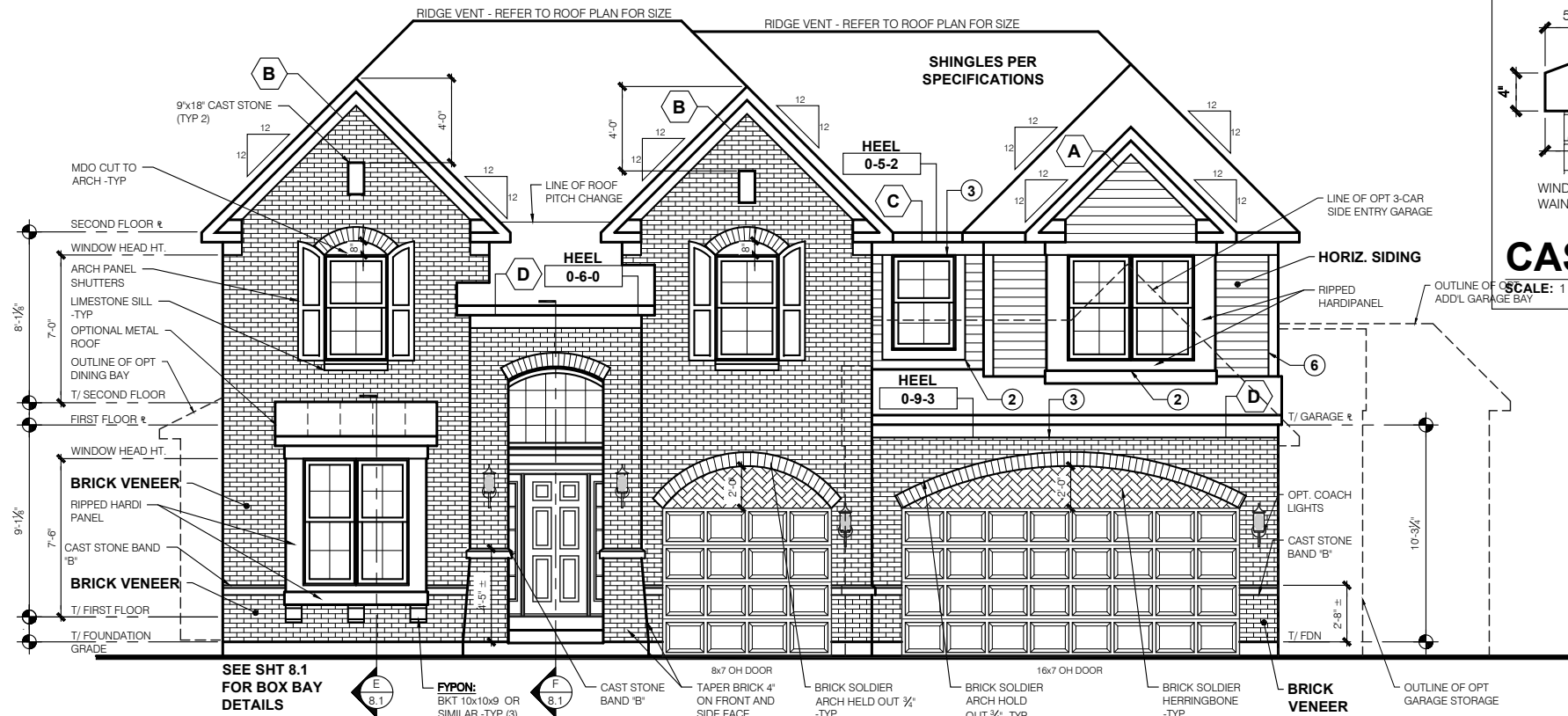
AINSLEY II BW

FINAL
3-1-24

Job #:	----
SP Date:	x/x/xx
SP By:	BY
SP Rev:	----
Sheet Title :	
Front Elevations -	
Material Options	

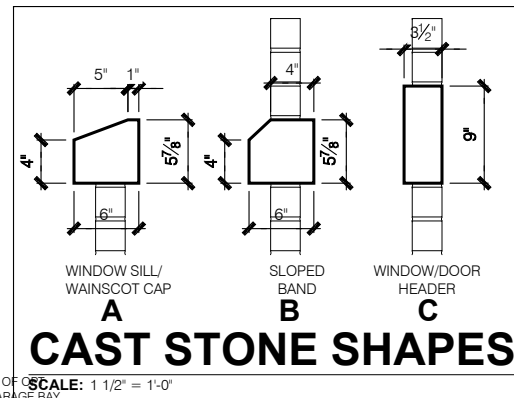
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1.2E



ELEVATION "F" FRONT ELEVATION

SCALE: 1/4" = 1'-0"



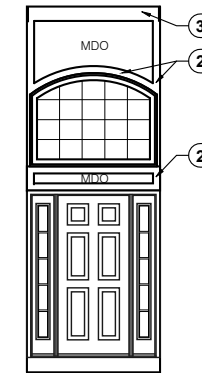
CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS
DIVISION NOTE:	
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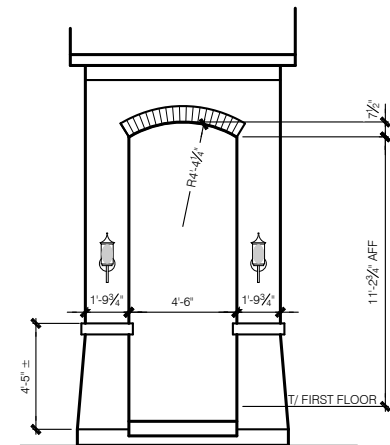
SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE



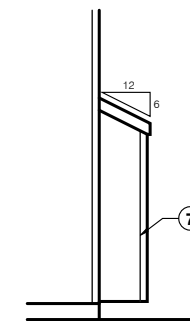
ENTRY WALL

SCALE: 1/4" = 1'-0"



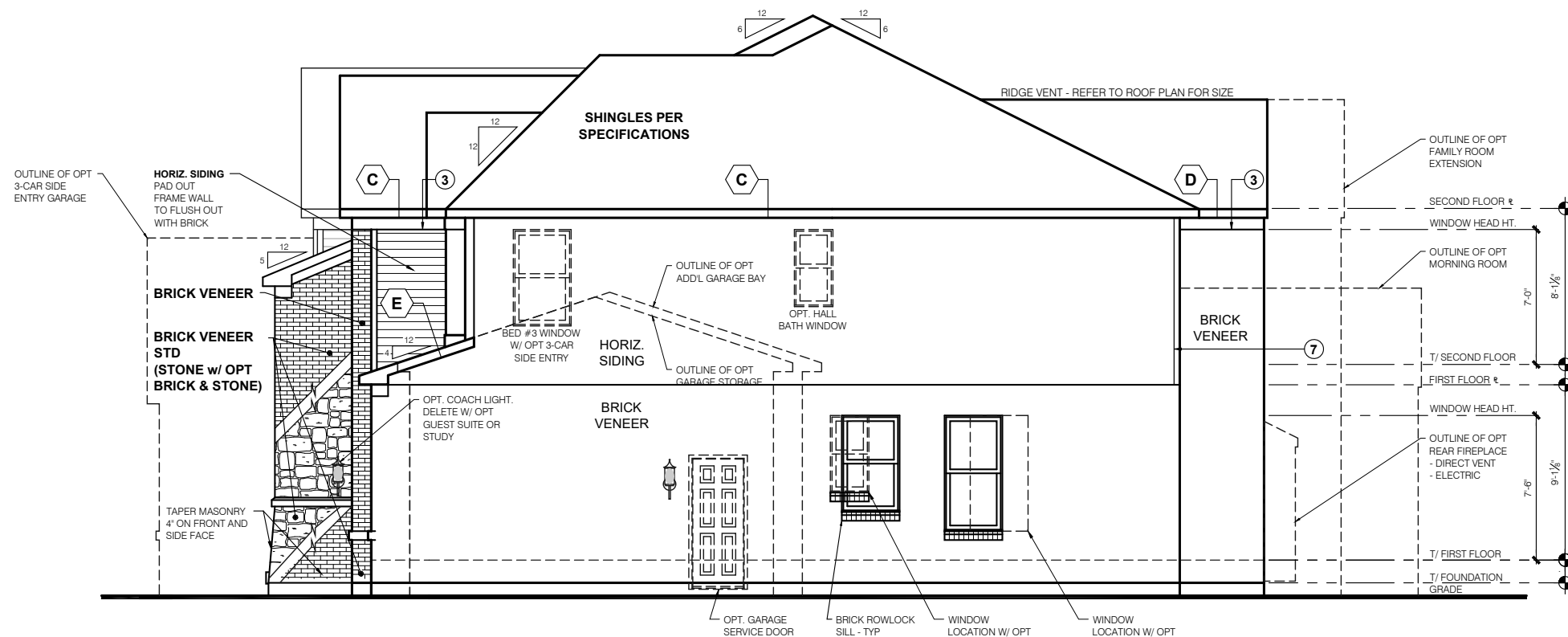
ARCH DETAIL

SCALE: 1/4" = 1'-0"



OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "F" GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

CLASSIC SERIES

AINSLEY II BW

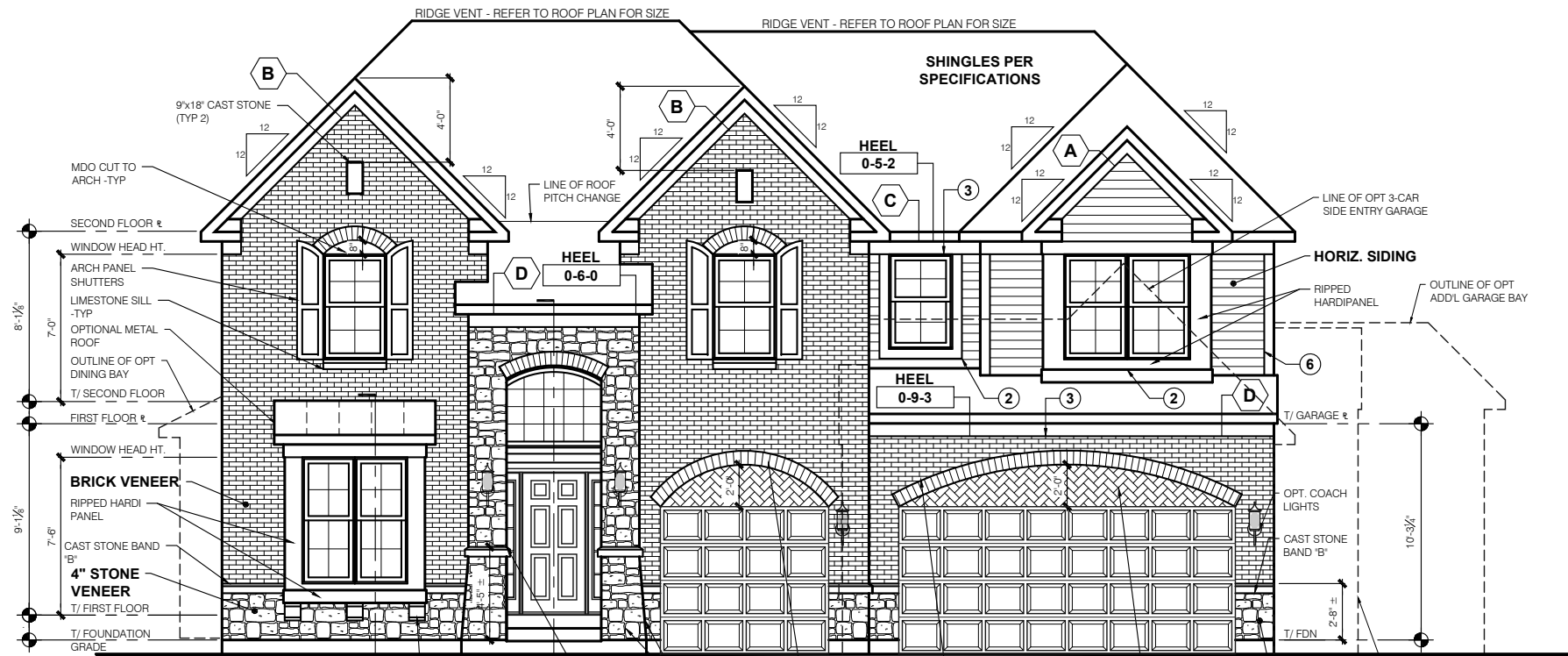
FINAL
3-1-24

11x17 PRINTS ARE 1/2" SCALE

Job #:
LSP Date: x/x/xx
LSP By: BY
LSP Rev:
Sheet Title :
Front and Garage
Elevations

Sheet:

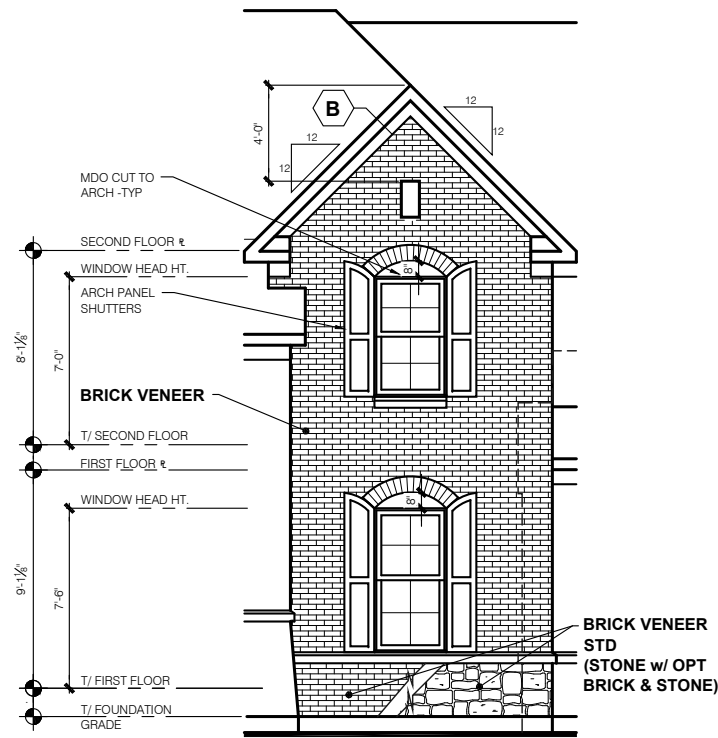
1.0F



SEE SHT 8.1 FOR BOX BAY DETAILS
ELEVATION "D" OPT BRICK & STONE FRONT ELEVATION

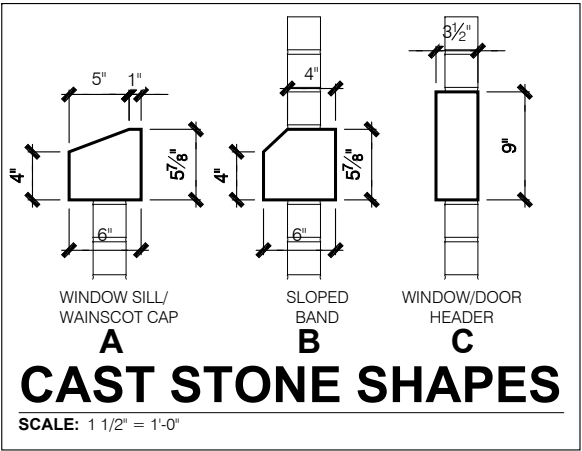
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



ELEVATION "F" FRONT ELEVATION OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR TRIM FINISH		
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1	= 4" TRIM	(1x4, 5/4x4, 3½" VINYL LINEAL)
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4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
<div>DIVISION NOTE:</div> <div>IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.</div>		

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE

CLASSIC SERIES

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11x17 PRINTS ARE 1/2 SCALE

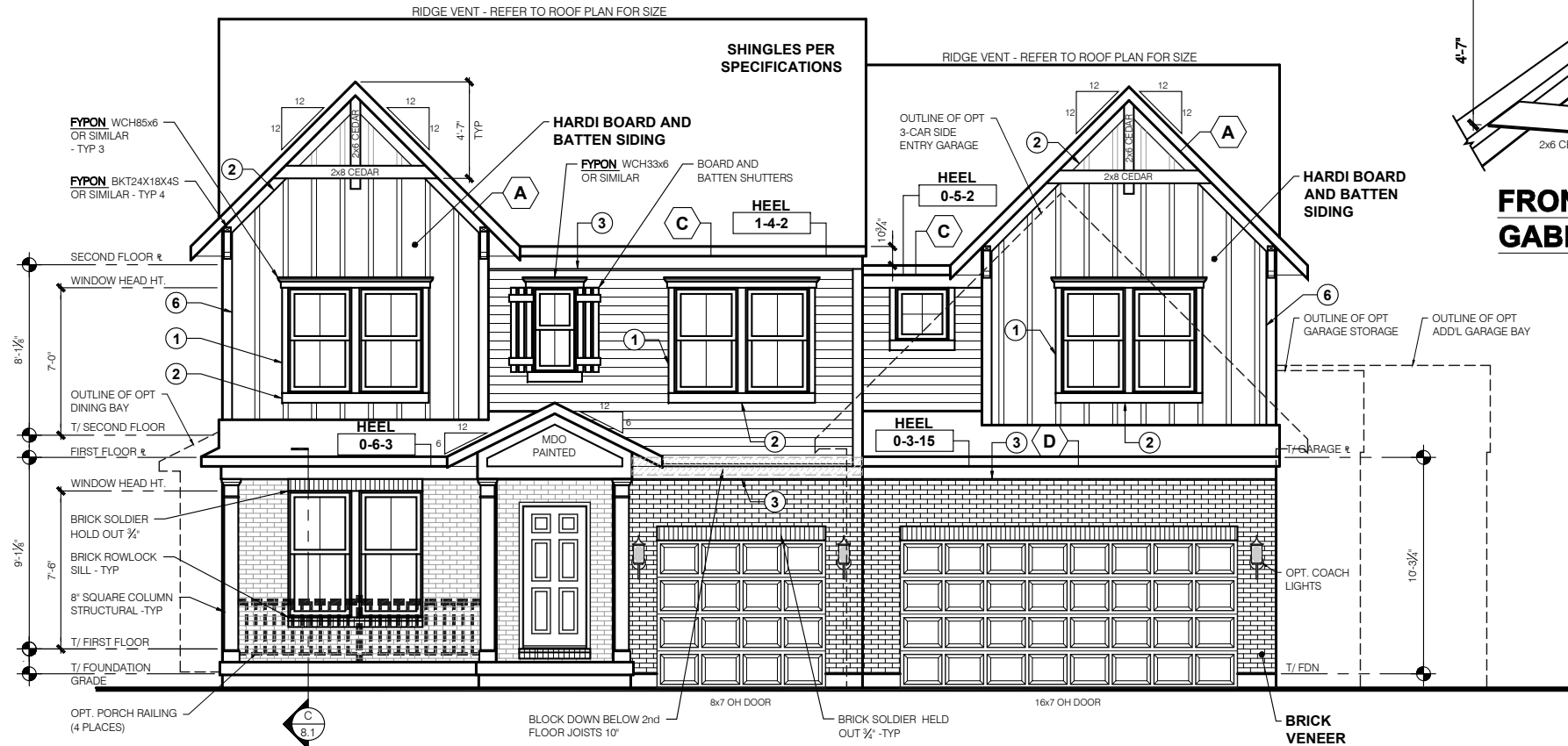
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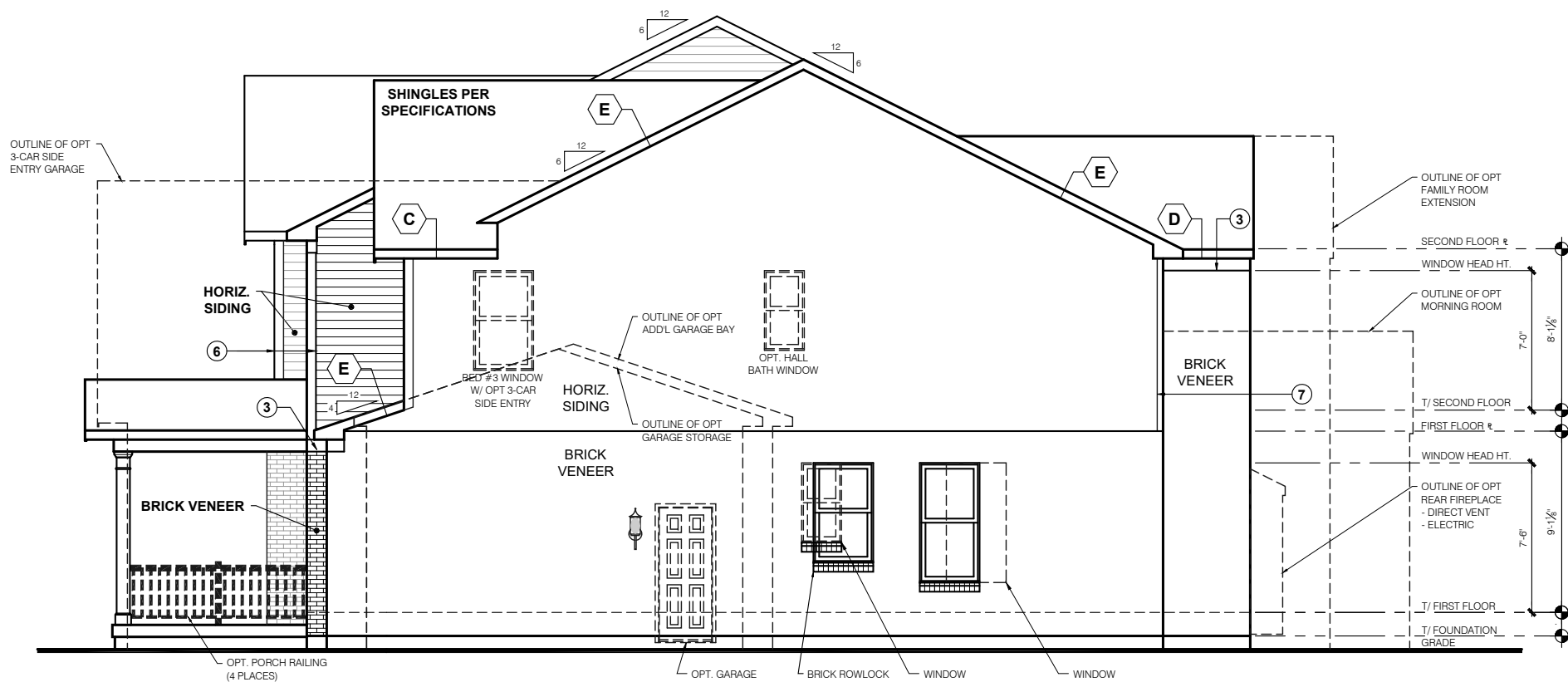
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LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	----
Sheet Title : Front Elevations - Material Options	
Sheet:	

1.2F



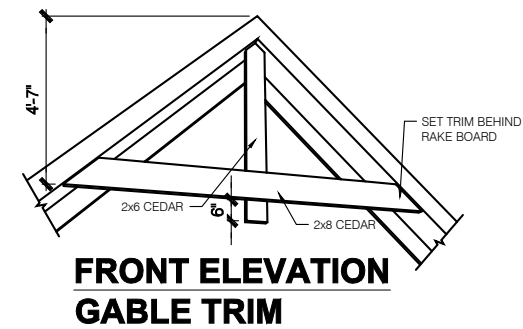
ELEVATION "G"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



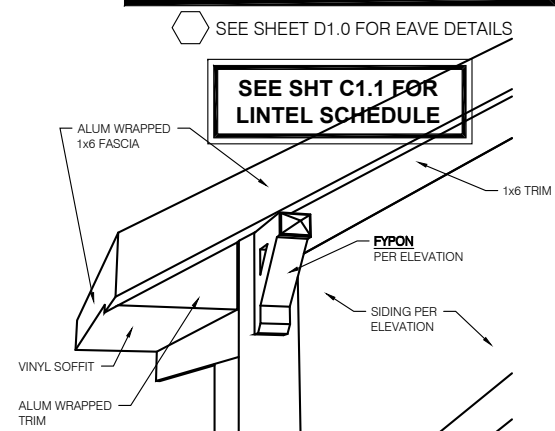
ELEVATION "G"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

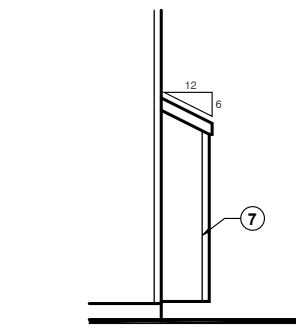


FRONT ELEVATION
GABLE TRIM

TYPICAL EXTERIOR TRIM FINISH		
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.		
①	= 4" TRIM	(1x4, 5/4x4, 3½" VINYL LINEAL)
②	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM	
⑤	= 12" TRIM	
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
NOTES:		
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED		



2 EAVE DETAIL
SCALE: NTS



OPT REAR FIREPLACE
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

CLASSIC SERIES

11x17 PRINTS ARE 1/2 SCALE

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FINAL

3-1-24

Job #:

LSP Date:

x/x/xx

LSP By:

BY

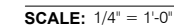
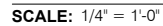
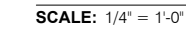
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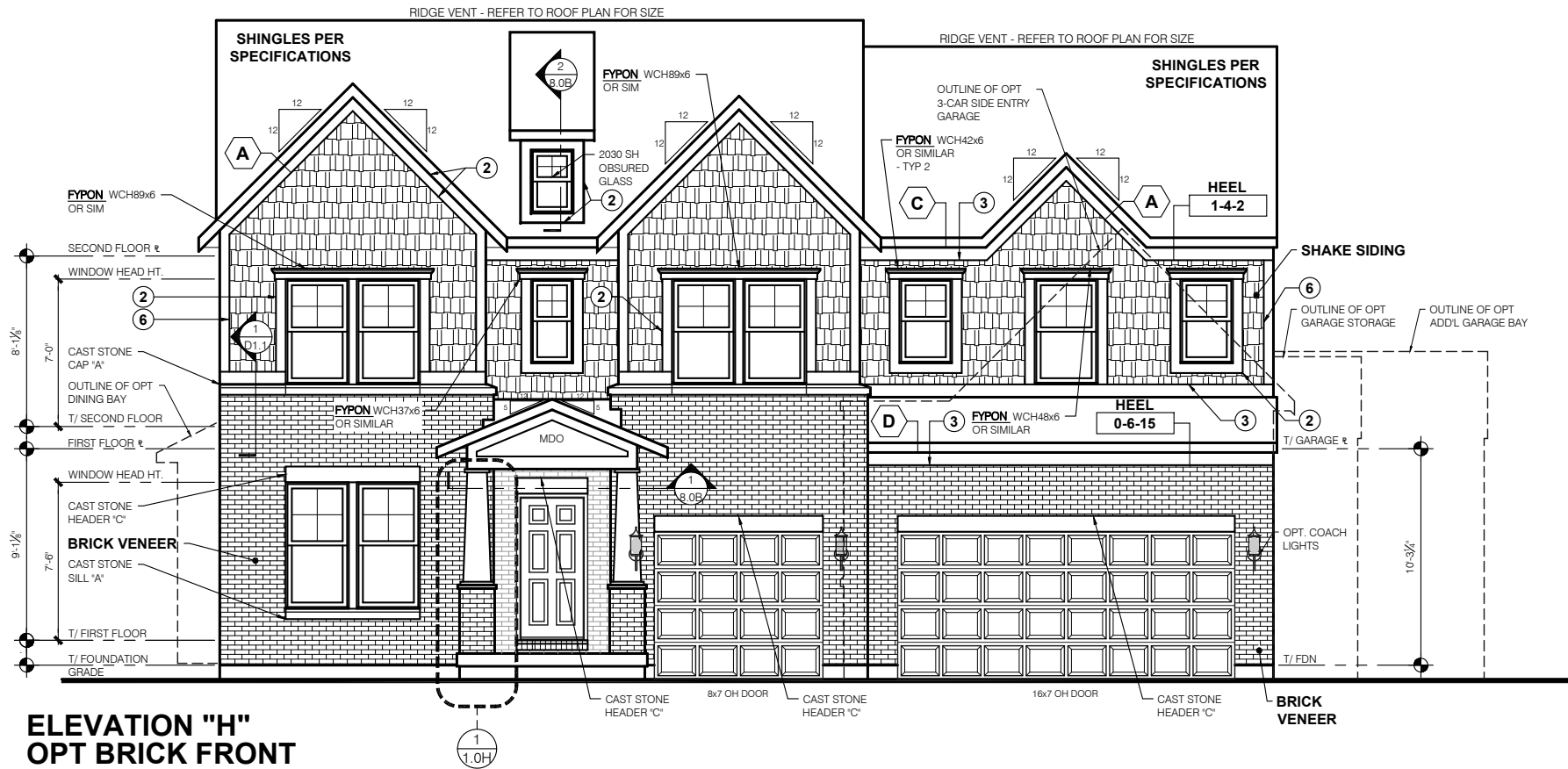
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Front and Garage Elevations

Sheet:

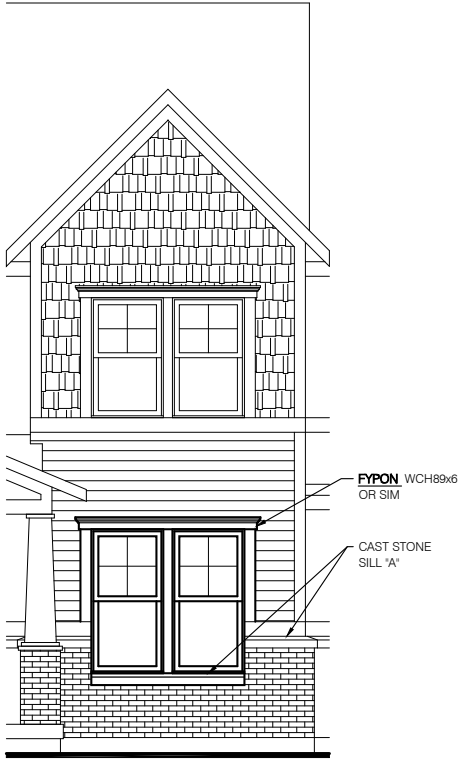
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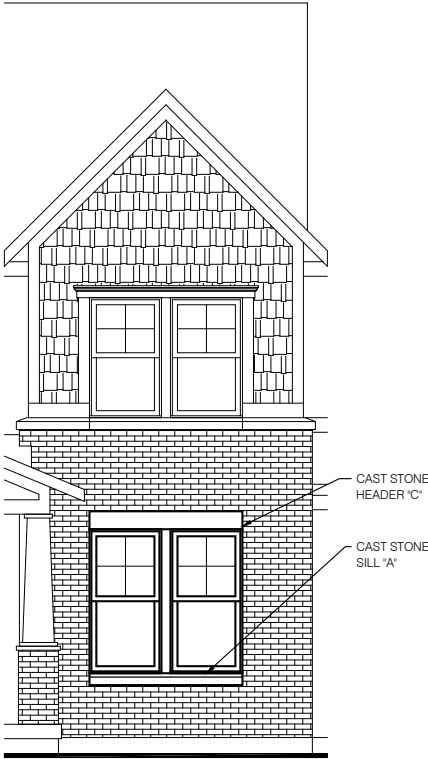
ELEVATION "H"
OPT BRICK FRONT
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "H" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"



OPT BRICK FRONT
ELEVATION "H" FRONT ELEVATION
OPT STUDY / GUEST SUITE

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1	= 4" TRIM	(1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS	

NOTES:
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE

CLASSIC SERIES

11x17 PRINTS ARE 1/2 SCALE

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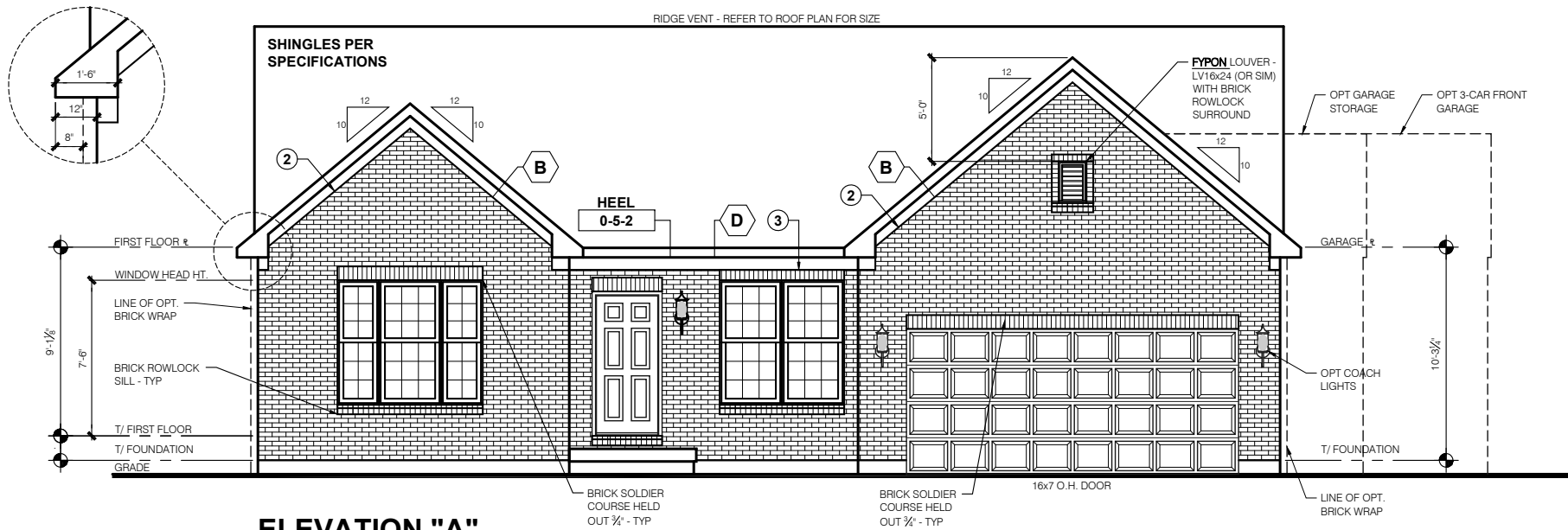
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LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevations -
Material Options
Sheet:
1.2H

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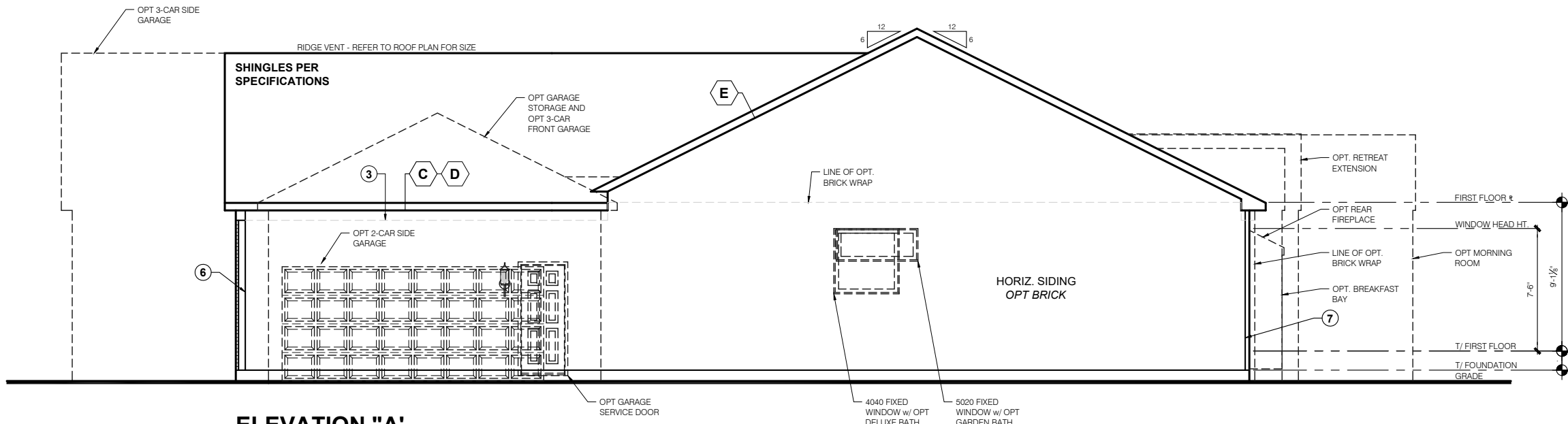
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**ELEVATION "A"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION "A"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- | | | |
|---|--|-----------------------------------|
| ① | = 4" TRIM | (1x4, 5/4x4, 3 1/2" VINYL LINEAL) |
| ② | = 6" TRIM | (1x6, 5/4x6, 5" VINYL LINEAL) |
| ③ | = 8" TRIM | (1x8, 5/4x8, 7" VINYL LINEAL) |
| ④ | = 10" TRIM | |
| ⑤ | = 12" TRIM | |
| ⑥ | FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS | |
| ⑦ | REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS | |

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
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CLASSIC SERIES

11x17 PRINTS ARE 1/2" SCALE

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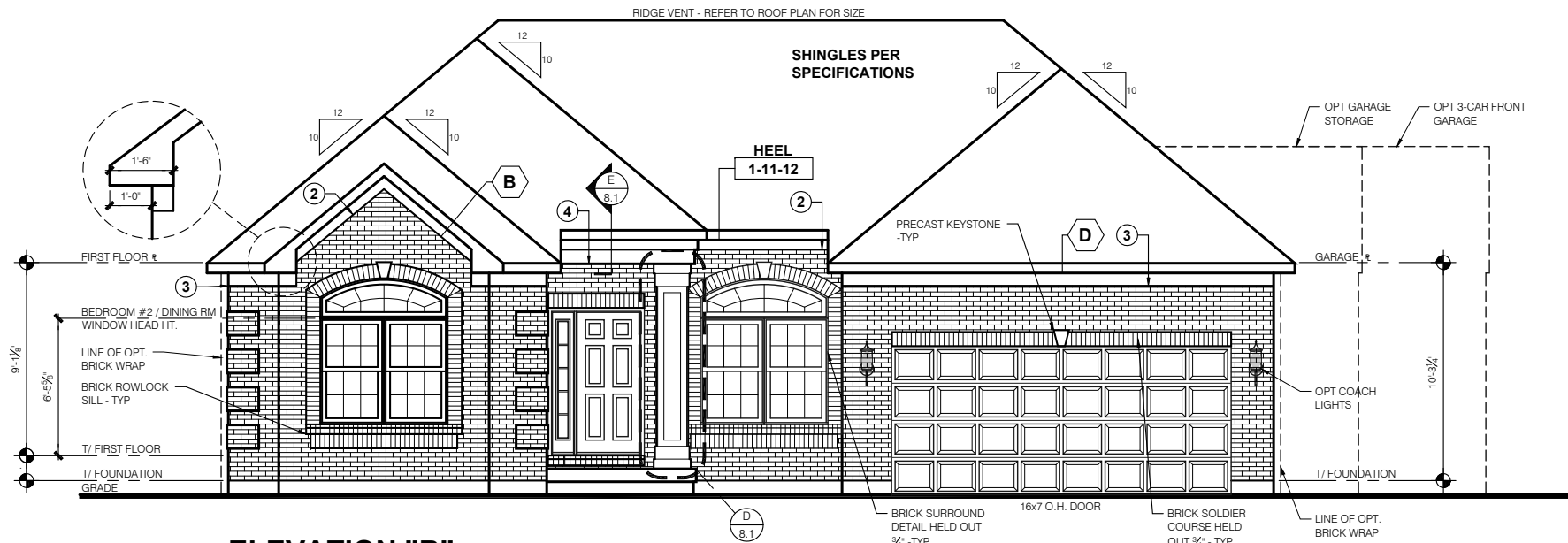
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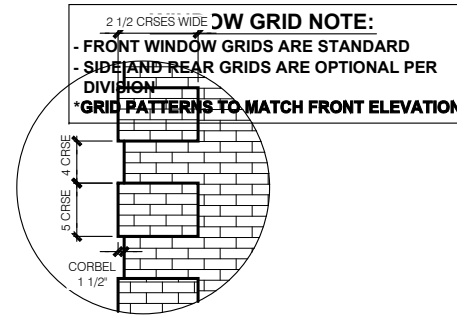
Cheswicke
FINAL
2-1-24

Job #:
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Side Elevations
Sheet:
1.0A

NO BONUS ROOM



ELEVATION "B"
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

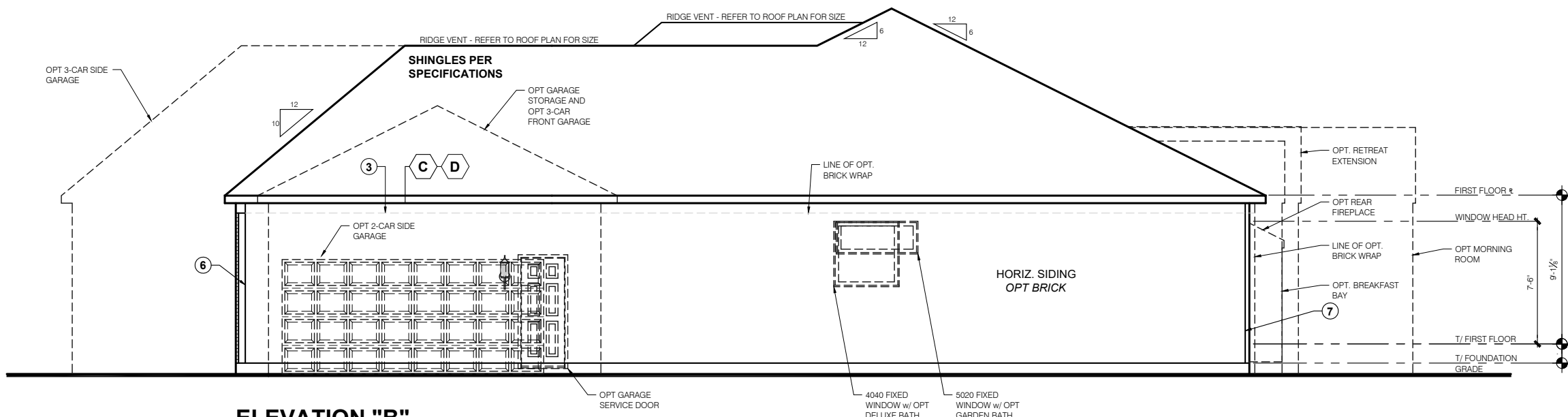


QUOIN DETAIL
SCALE: 1/2" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH		
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.		
①	= 4" TRIM	(1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM	
⑤	= 12" TRIM	
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⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	
<div>DIVISION NOTE:</div> <div>IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.</div>		

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE



ELEVATION "B"
GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NO BONUS ROOM

CLASSIC SERIES

11x17 PRINTS ARE 1/2 SCALE

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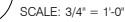
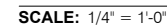
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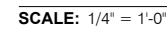
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LSP Date: x/x/xx
LSP By: BY
LSP Rev:
Sheet Title :
Front and Garage
Side Elevations
Sheet:
1.0B

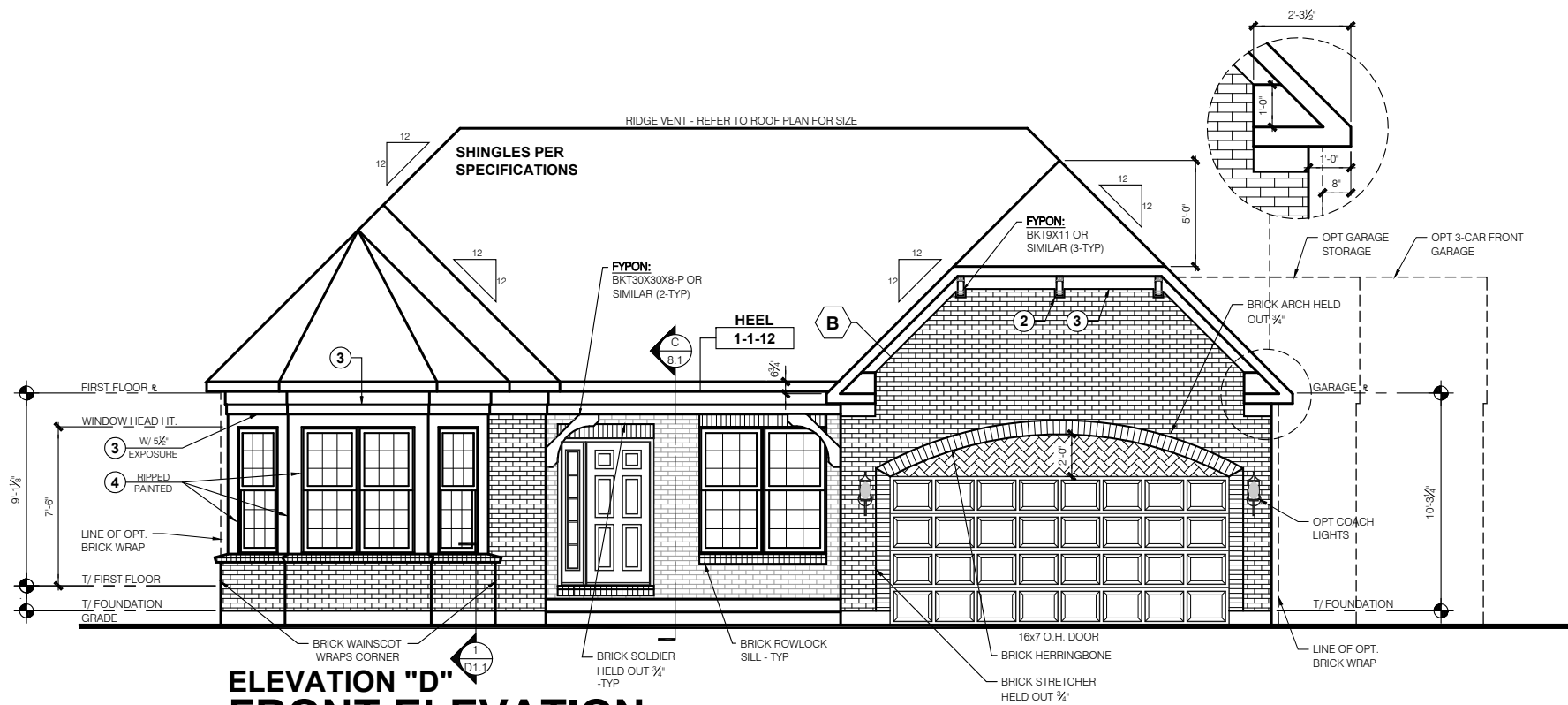


**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



1.0C

NO BONUS ROOM



**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

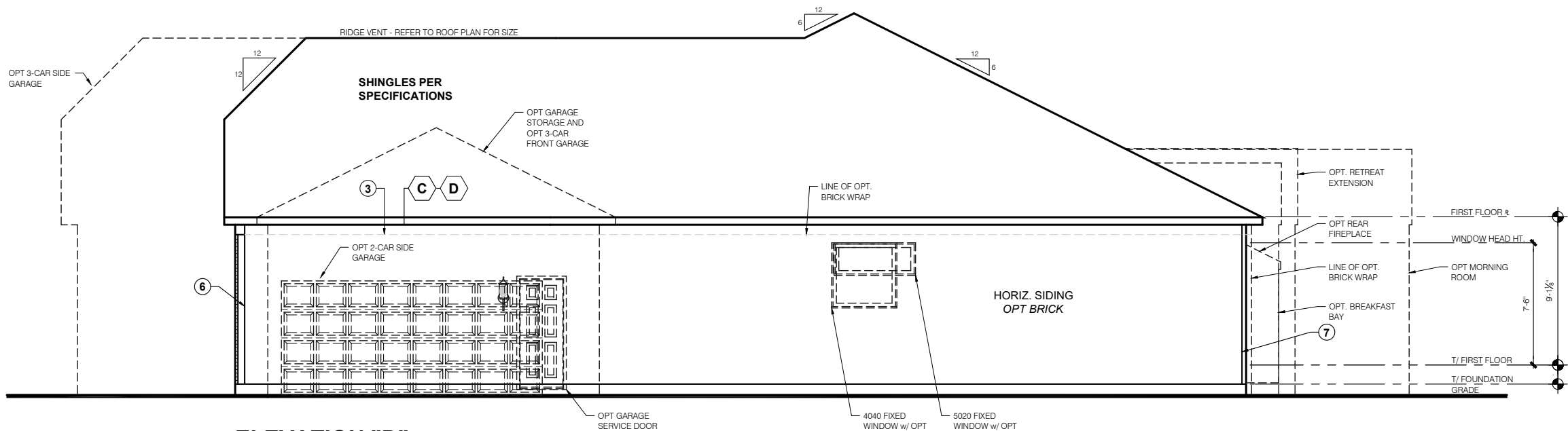
WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

TYPICAL EXTERIOR TRIM FINISH		
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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CLASSIC SERIES

11x17 PRINTS ARE 1/2" SCALE

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LSP By:

BY

LSP Rev:

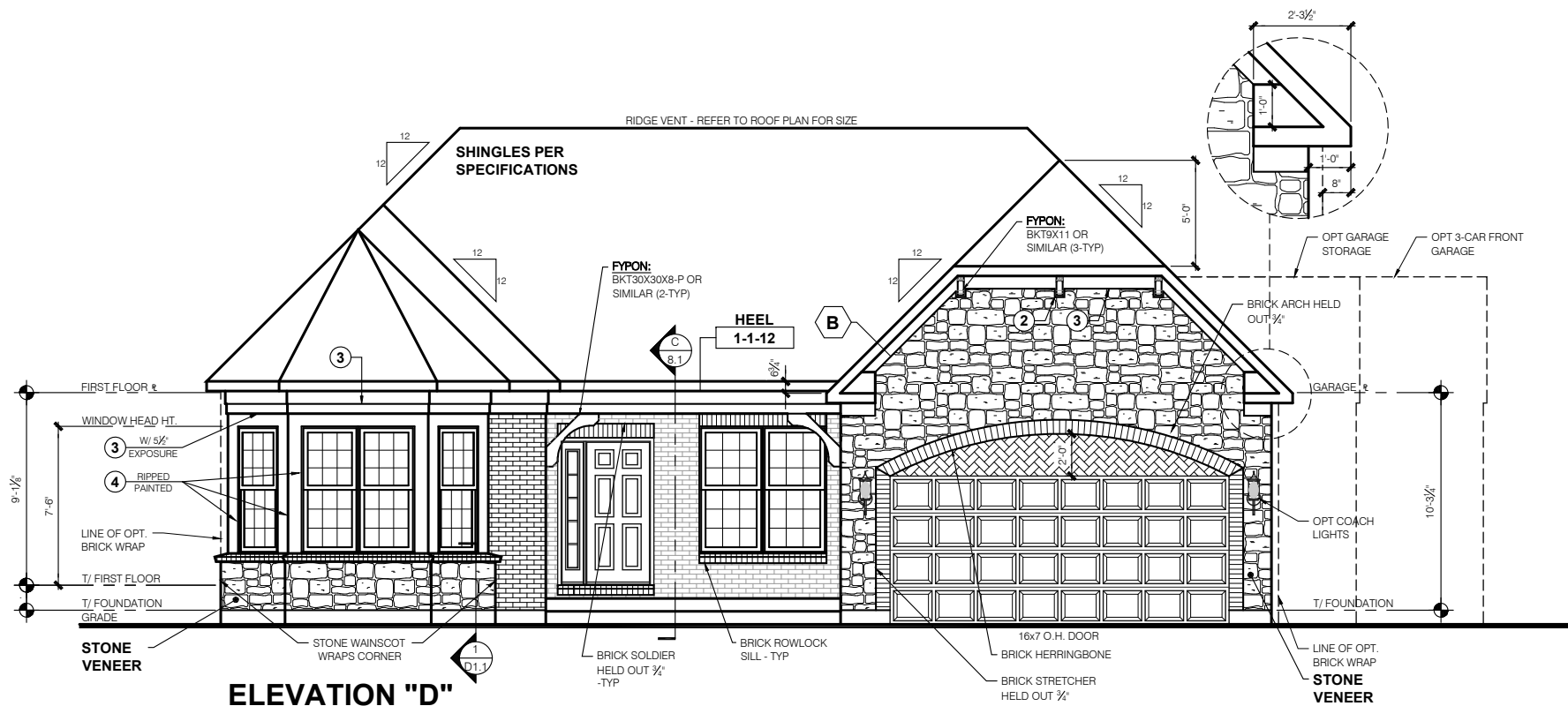
Sheet Title :

Front and Garage Side Elevations

Sheet:

1.0D

NO BONUS ROOM



ELEVATION "D"
OPT BRICK & STONE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

11x17 PRINTS ARE 1/2 SCALE

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LSP By: BY
LSP Rev: ----

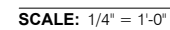
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Front Elevation
Options

Sheet:

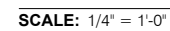
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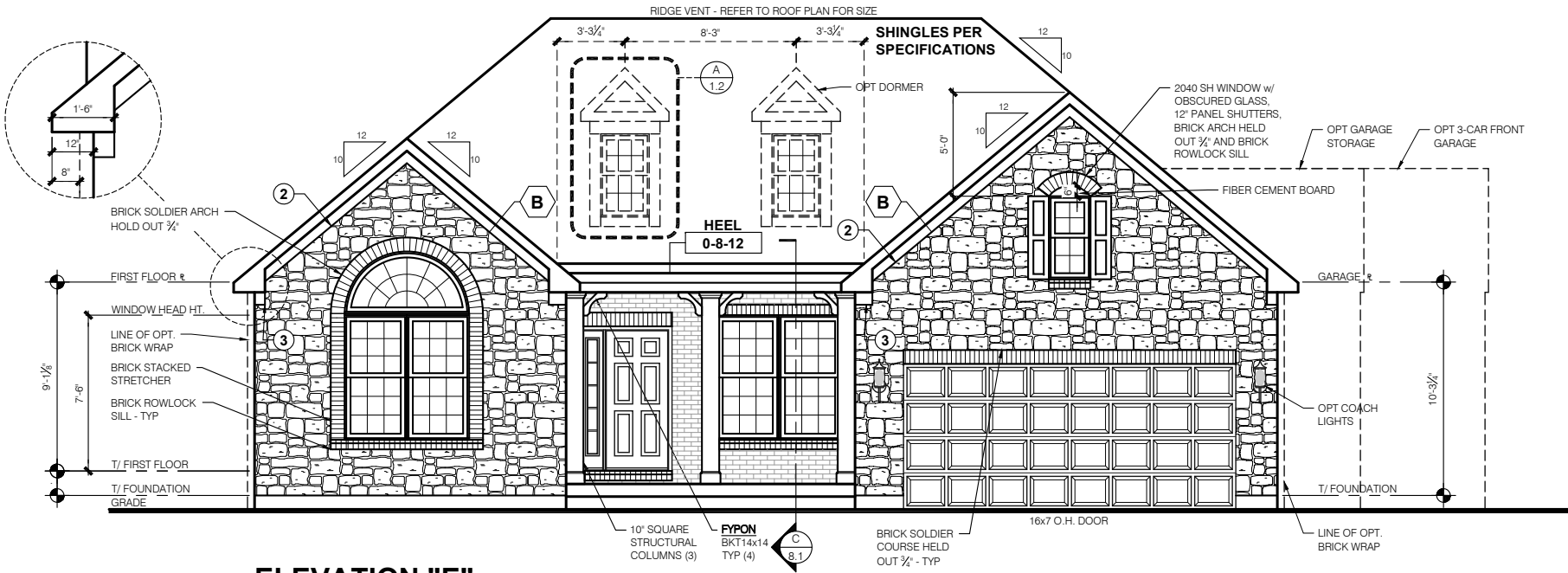
**SEE SHT C1.1 FOR
LINTEL SCHEDULE**



NO BONUS ROOM

1.0E

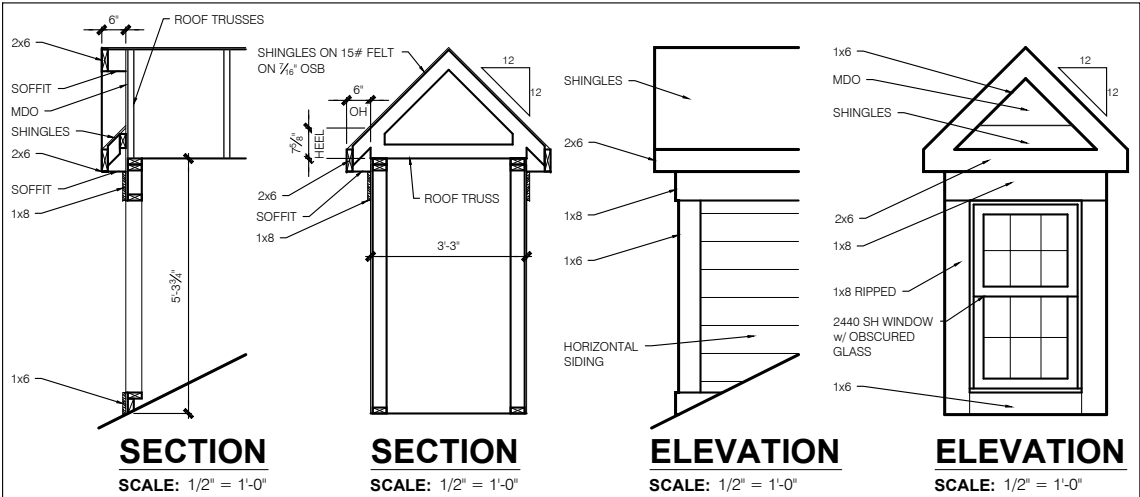
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ELEVATION "E"
OPT BRICK & STONE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



A

OPT DORMER DETAIL

SCALE: 1/2" = 1'-0"

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2-1-24

11x17 PRINTS ARE 1/2 SCALE

Job #:	----
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SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

**SEE SHT C1.1 FOR
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11x17 PRINTS ARE 1/2 SCALE

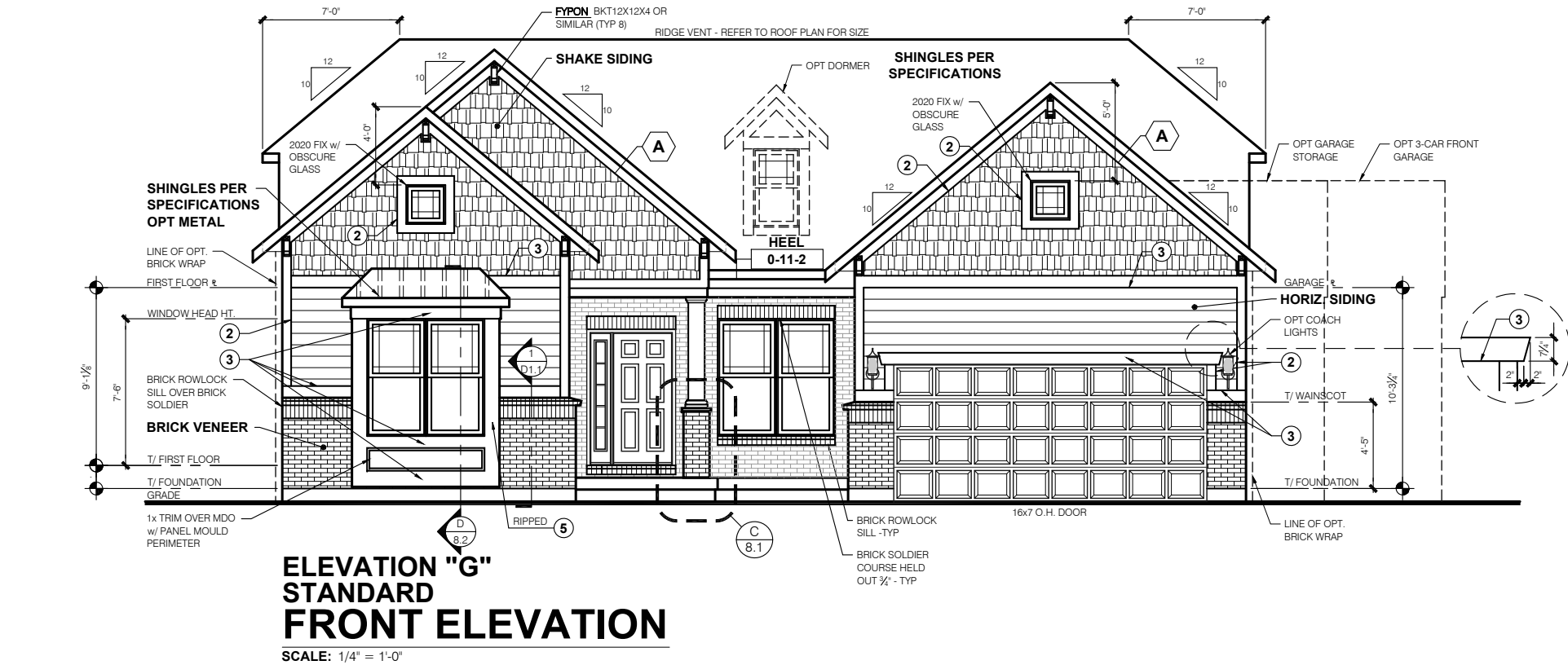
Cheswicke

Job #:	----
Print Date:	x/x/xx
Print By:	BY
Print Rev:	----
Sheet Title : Front and Garage Elevations	

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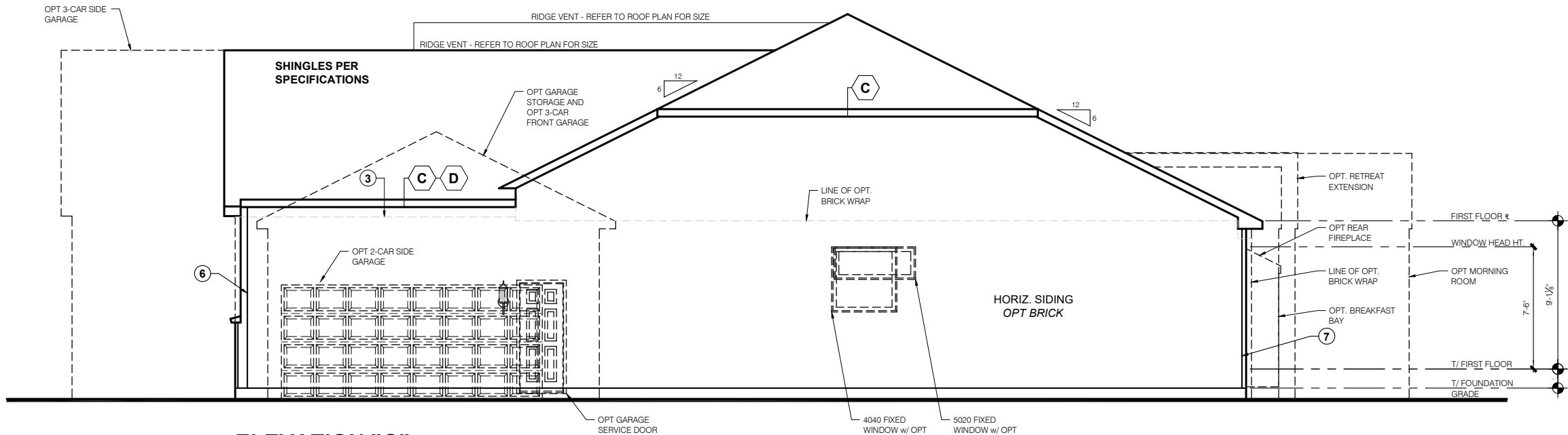
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NO BONUS ROOM



ELEVATION "G"
STANDARD
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "G"
GARAGE SIDE ELEVATION

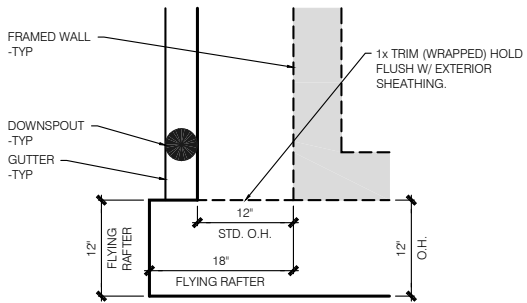
SCALE: 1/4" = 1'-0"

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

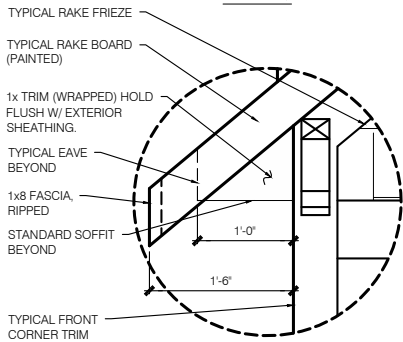
TYPICAL EXTERIOR TRIM FINISH	
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①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS
DIVISION NOTE: IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
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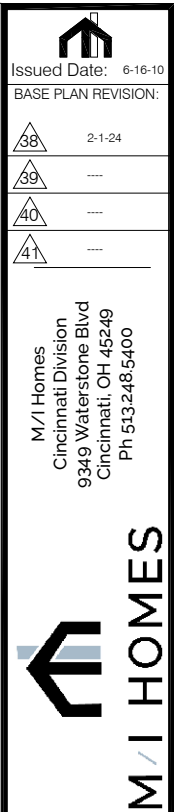
PLAN



1 FLYING RAFTER DETAIL
SCALE: 1" = 1'-0"

11x17 PRINTS ARE 1/2" SCALE

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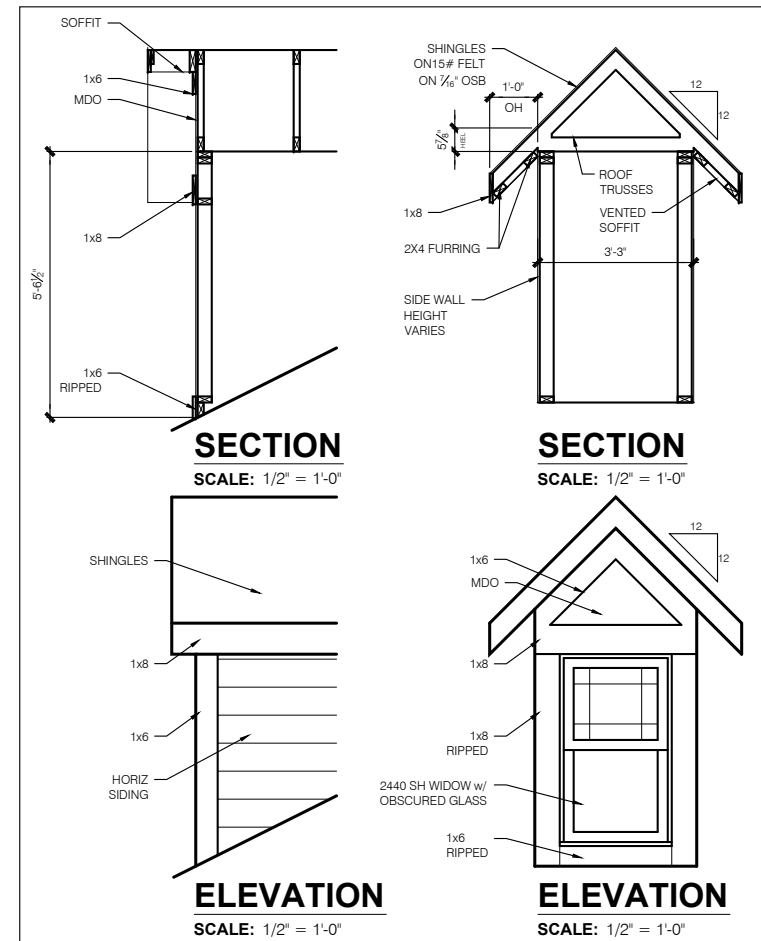
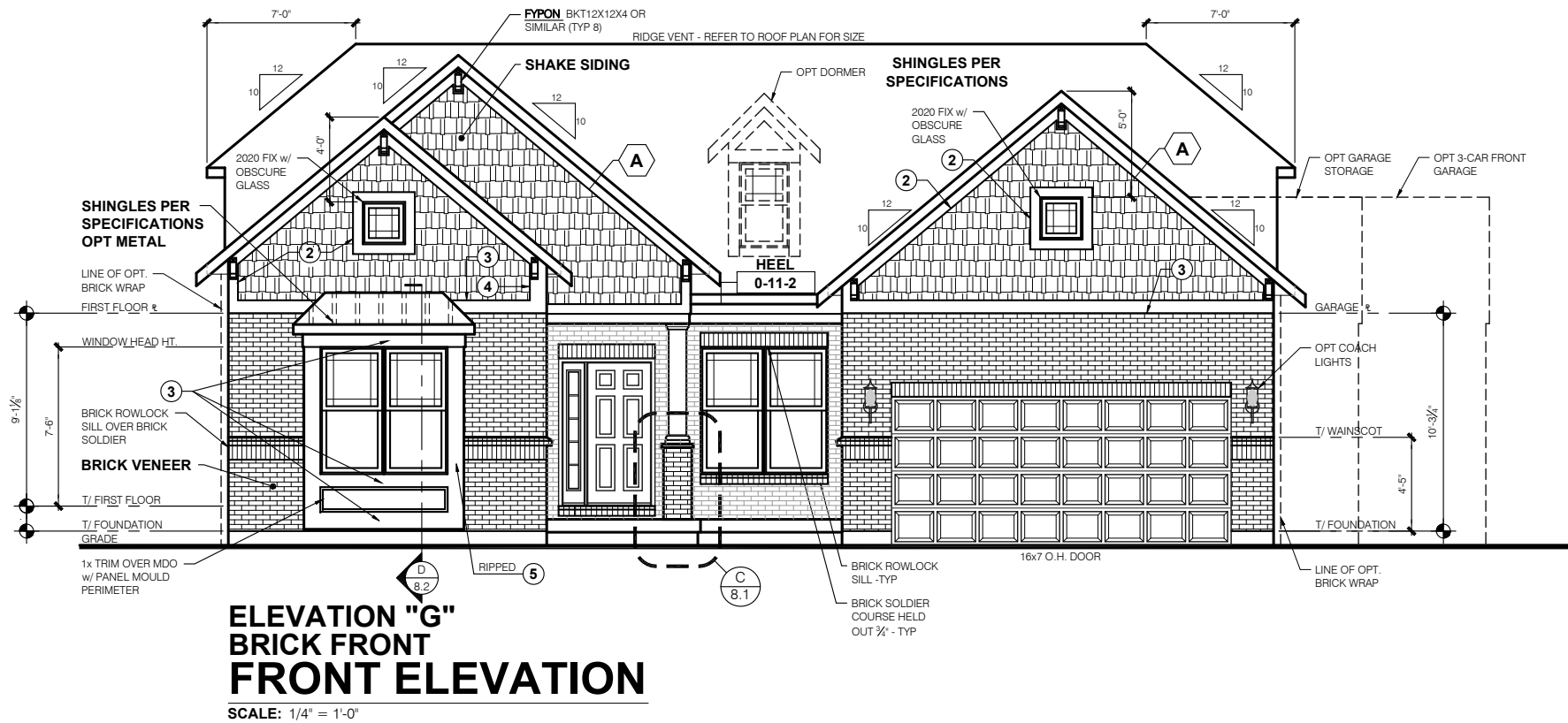
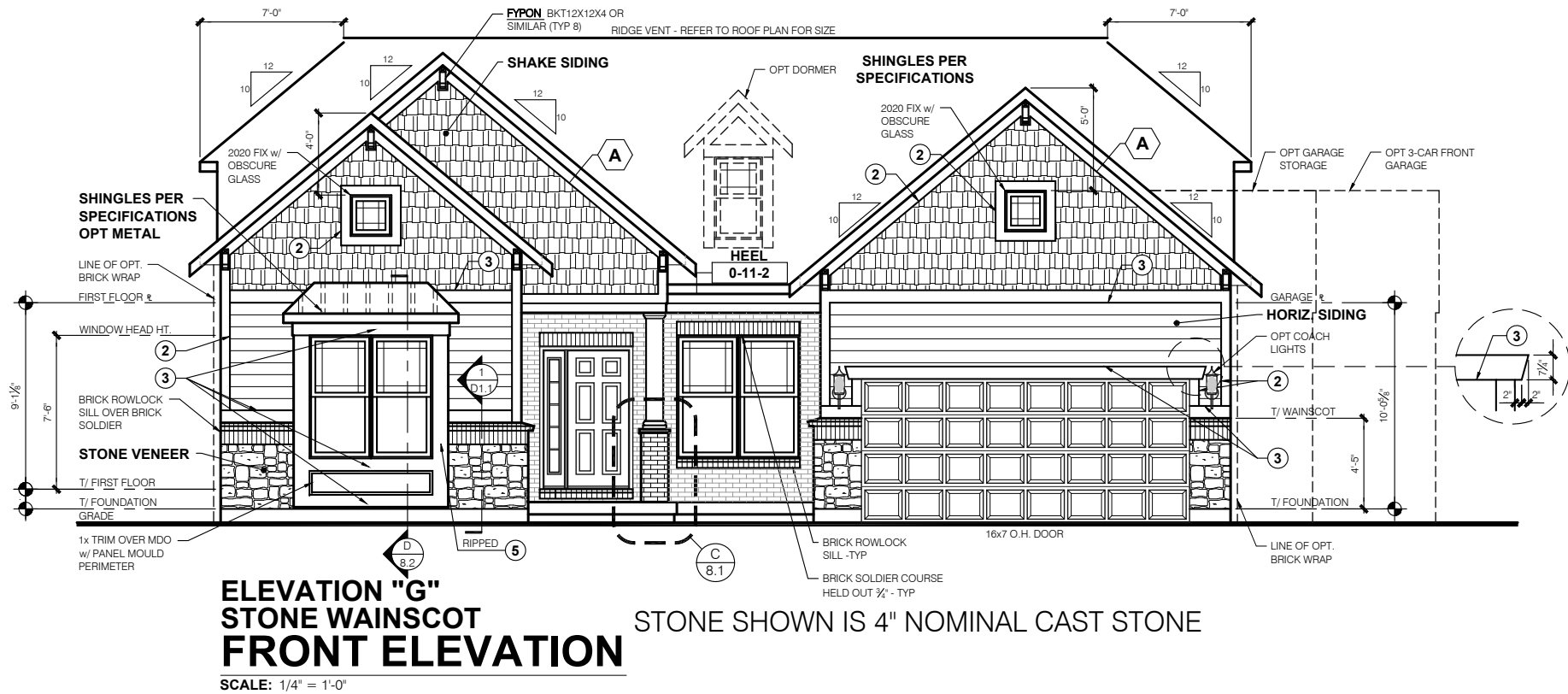
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2-1-24

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LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations
Sheet:

1.0G

NO BONUS ROOM



A OPT DORMER DETAIL
SCALE: 1/2" = 1'-0"

CLASSIC SERIES

11x17 PRINTS ARE 1/2 SCALE

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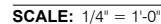
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LSP Date:	x/x/xx
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LSP Rev:	---
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11x17 PRINTS ARE 1/2 SCALE

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Front Elevation
Options - 2

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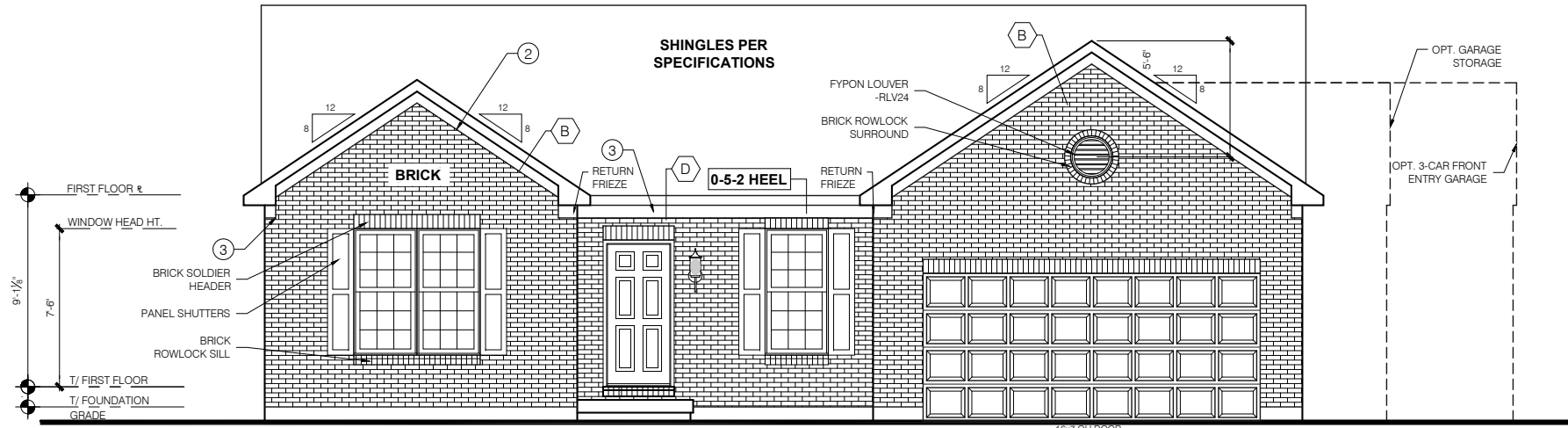


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ELEVATION "A"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

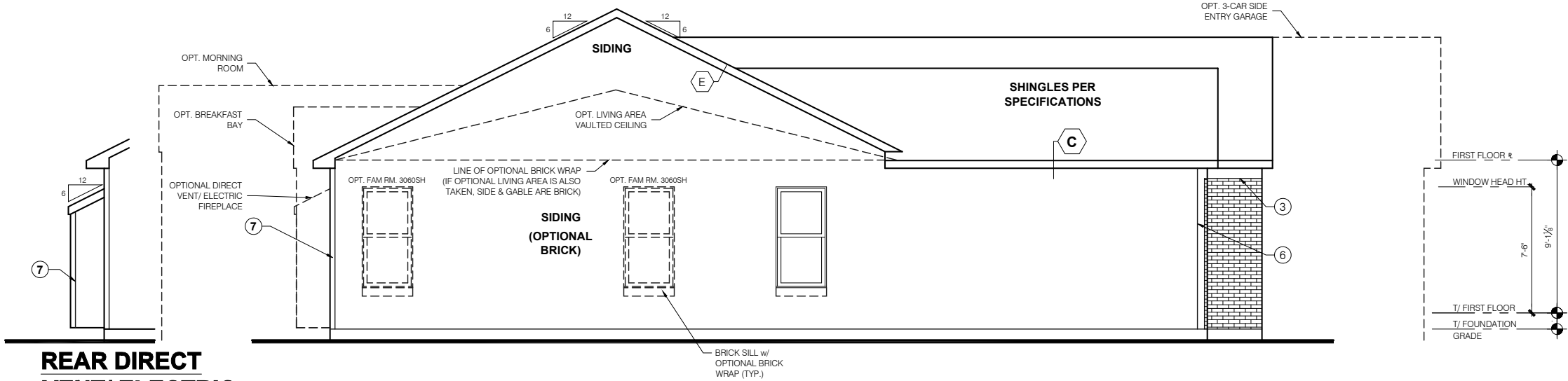
TYPICAL EXTERIOR TRIM FINISH
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1	= 4" TRIM	(1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	6"
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x3/16"	6"
16'-11"	5"x3 1/2"x3/16"	6"x3 1/2"x3/16"	7"x4"x3/16"	7"x4"x3/16"	8"x4"x1/2"	6"



REAR DIRECT
VENT/ ELECTRIC
FIREPLACE

WITH 9' PLATE
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

1.0A

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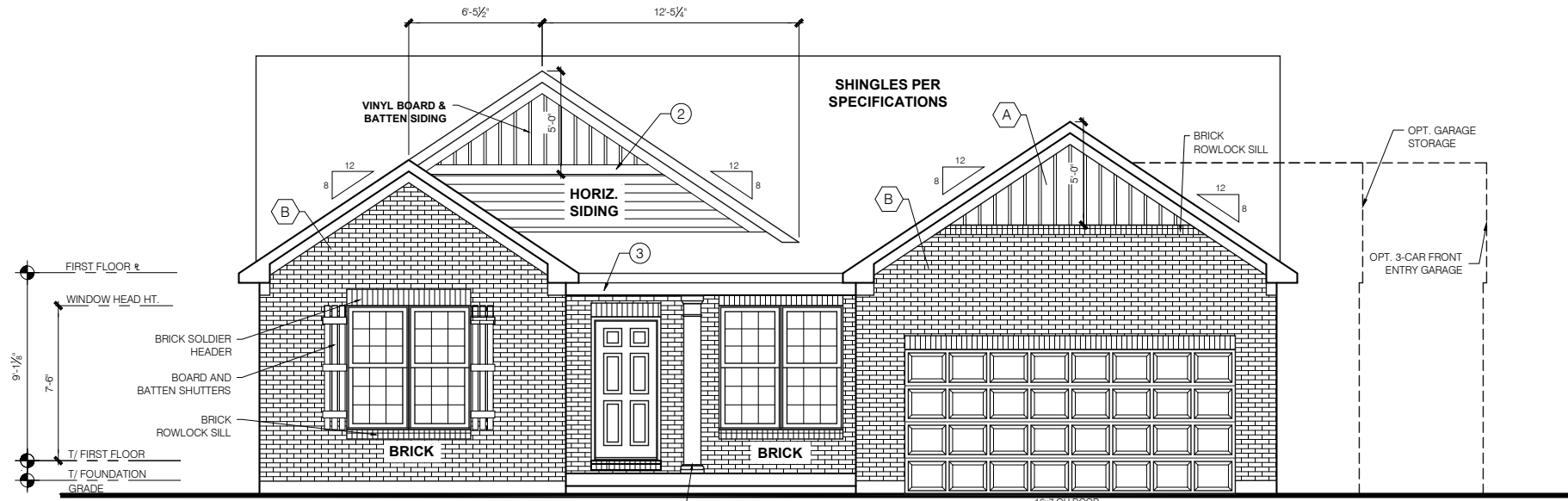
LSP Date: Date-Start

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LSP Rev: ---

Sheet Title : Front and Side Elevations

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ELEVATION "B"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1

= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)

2

= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

3

= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

4

= 10" TRIM

5

= 12" TRIM

6

FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS

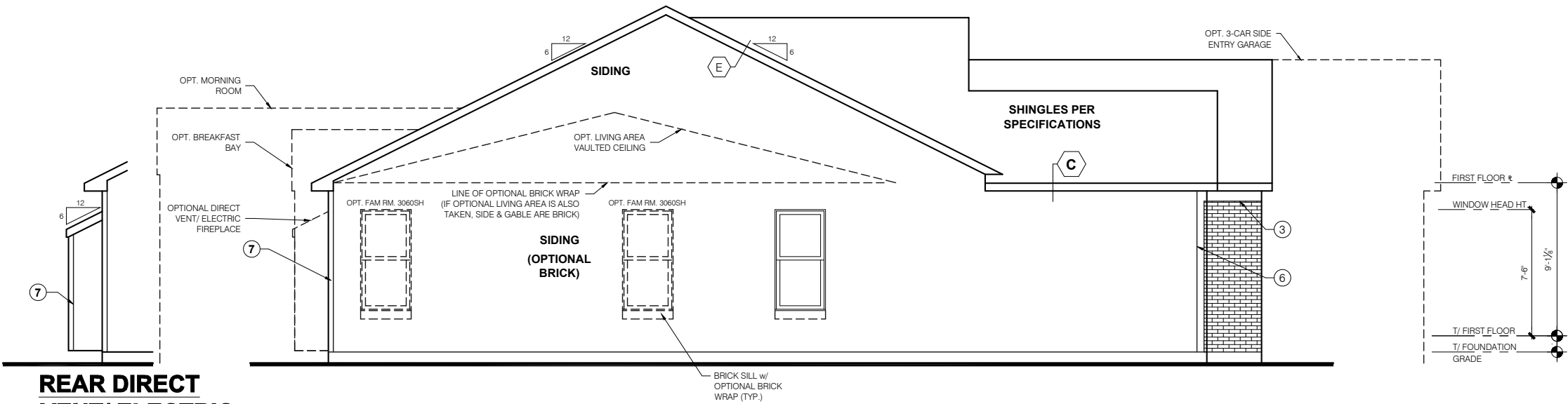
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REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	6"
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x3/16"	6"
16'-11"	5"x3 1/2"x3/16"	6"x3 1/2"x3/16"	7"x4"x3/16"	7"x4"x3/16"	8"x4"x1/2"	6"



REAR DIRECT
VENT/ ELECTRIC
FIREPLACE

WITH 9' PLATE
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

Joiner: New Kitchens

LSP Date: Date-Start

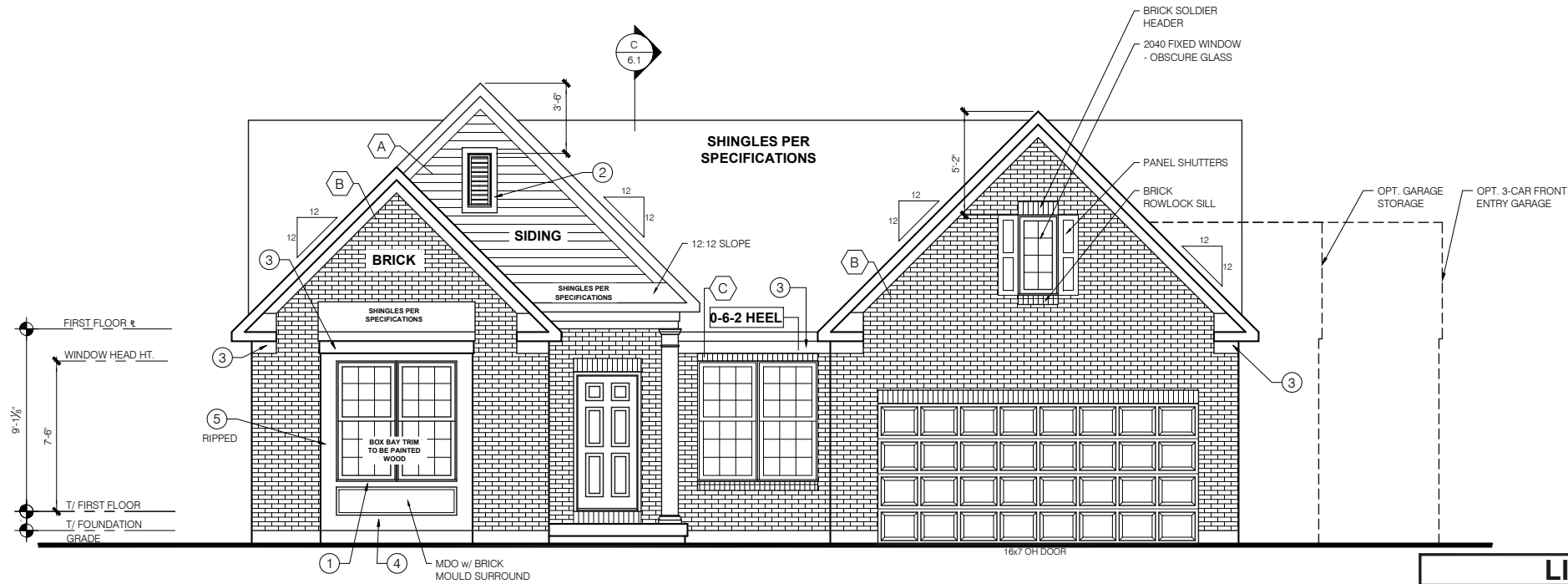
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ELEVATION "C"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

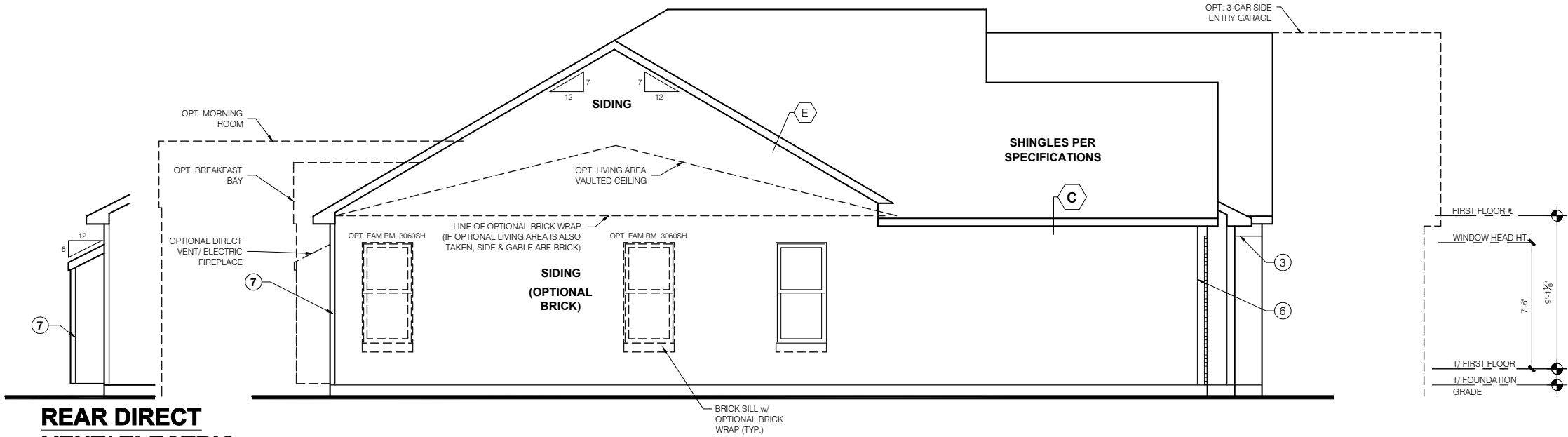
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1	= 4" TRIM	(1x4, 5/4x4, 3½" VINYL LINEAL)
2	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

DIVISION NOTE:
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SEE SHEET D1.0 FOR EAVE DETAILS


MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3½"x3½"x½"	3½"x3½"x½"	3½"x3½"x½"	3½"x3½"x½"	3½"x3½"x½"	6"
8'-11"	3½"x3½"x½"	3½"x3½"x½"	3½"x3½"x½"	4"x3½"x½"	5"x3½"x½"	6"
16'-11"	5"x3½"x½"	6"x3½"x½"	7"x4"x½"	7"x4"x½"	8"x4"x½"	6"



REAR DIRECT
VENT/ ELECTRIC
FIREPLACE


WITH 9' PLATE
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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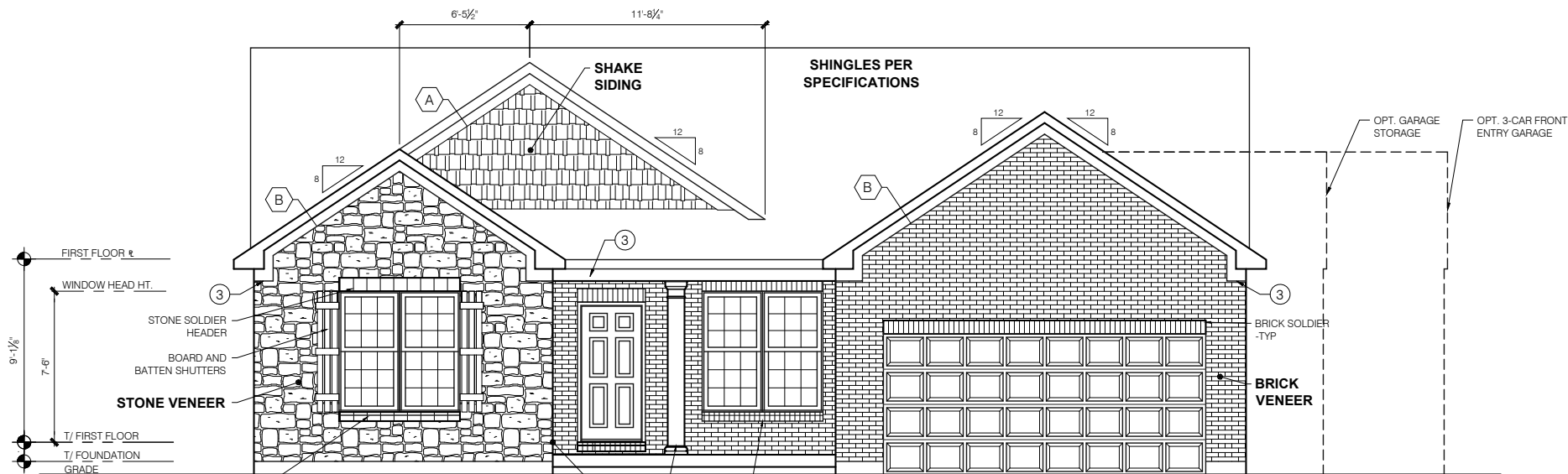
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11x17 PRINTS ARE ½ SCALE

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Front and Side
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TYPICAL EXTERIOR TRIM FINISH
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1	= 4" TRIM	(1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

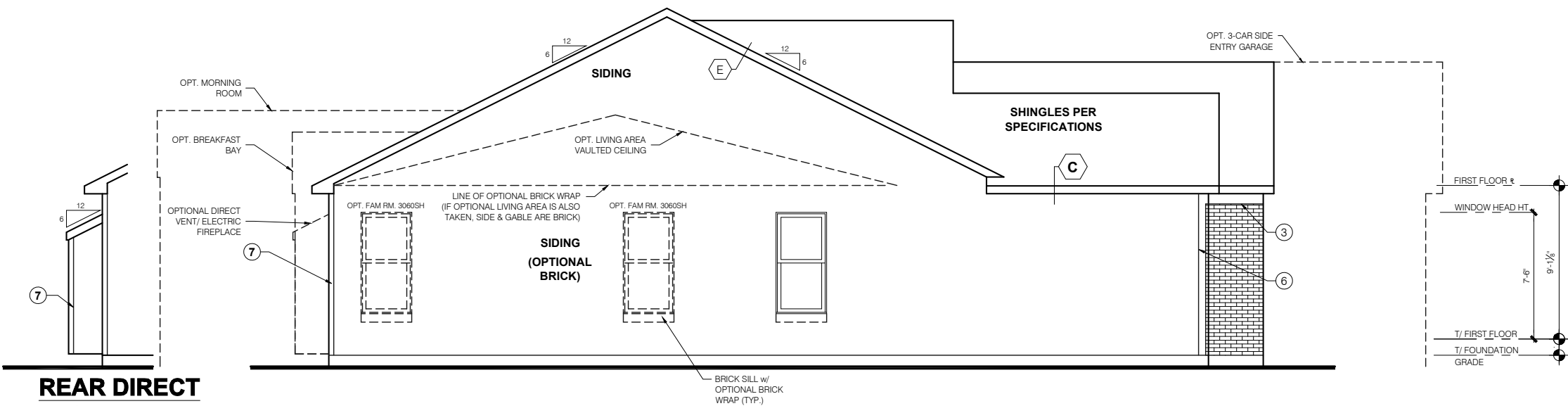
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SEE SHEET D1.0 FOR EAVE DETAILS

- STONE VENEER INSTALLATION NOTES:**
1. APPLY OSB SHEATHING TO ALL AREAS THAT WILL HAVE STONE APPLIED.
 2. INSTALL AND FLASH ALL WINDOWS AND DOORS. FLASHING SHOULD EXTEND PAST ANY TRIM THAT WILL BE APPLIED LATER.
 3. APPLY ICE AND WATER SHIELD TO ALL INSIDE AND OUTSIDE CORNERS THAT WILL HAVE STONE ADJACENT TO THEM. EXTEND TO 18" EACH SIDE OF CORNER.
 4. INSTALL WEEP SCREEN BELOW BOTTOM COURSE OF STONE
 5. APPLY 2 LAYERS TYVEK OR OTHER WEATHER PROOF MEMBRANE OVER OSB AND ICE AND WATER SHIELD. LAP OVER WEEP SCREEN FLANGE
 6. APPLY METAL LATH AND SCRATCH COAT OF MORTAR.
 7. INSTALL ALL TRIM, FYPONS, ETC.. OVER SCRATCH COAT. INSTALL PRESSURE TREATED BLOCKS SO THAT SHUTTERS ARE ON TOP OF STONE.
 8. INSTALL STONE VENEER.

ELEVATION "D"
BRICK FRONT W/ 9' PLATE
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	6"
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x1/4"	6"
16'-11"	5"x3 1/2"x1/4"	6"x3 1/2"x1/4"	7"x4"x3/8"	7"x4"x3/8"	8"x4"x1/2"	6"



REAR DIRECT
VENT/ ELECTRIC
FIREPLACE

WITH 9' PLATE
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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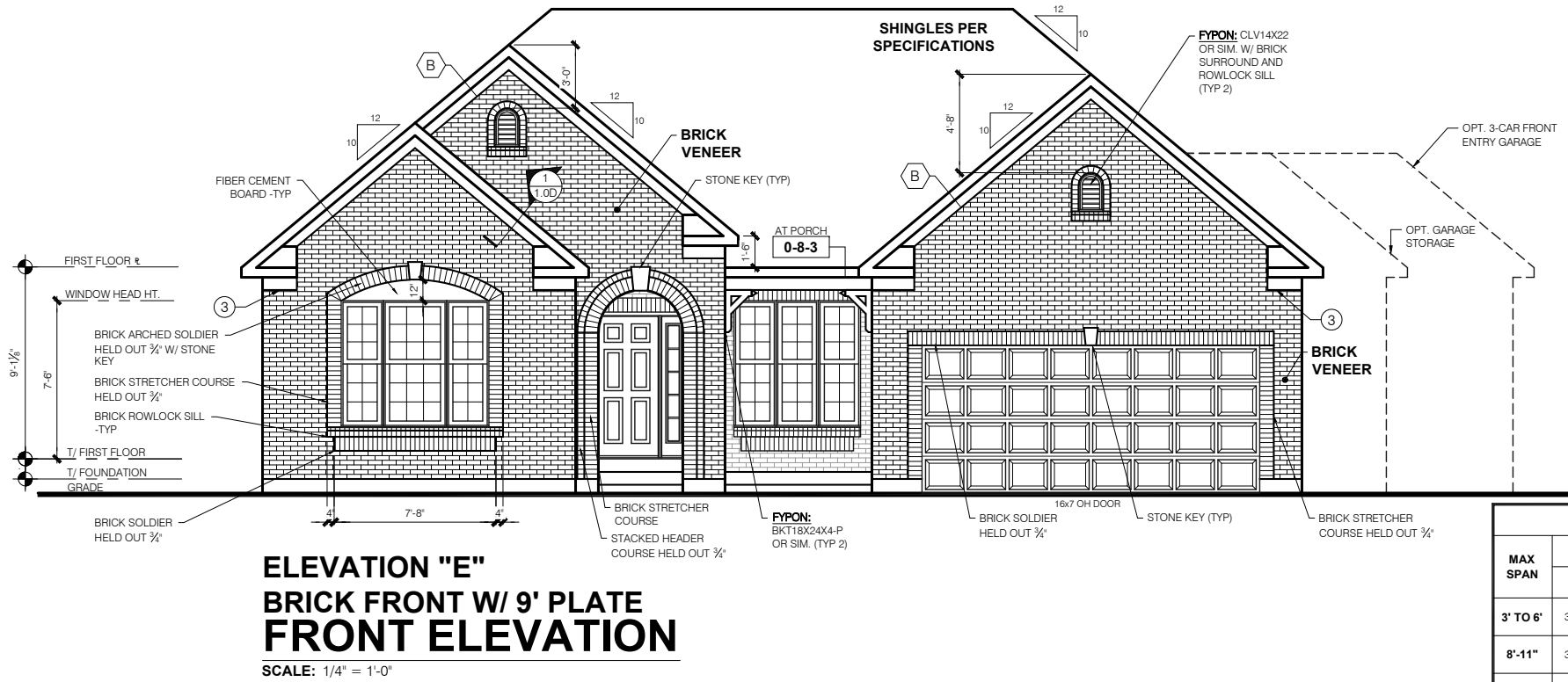
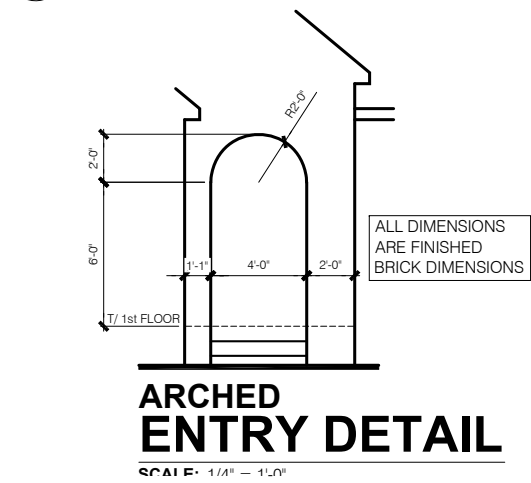
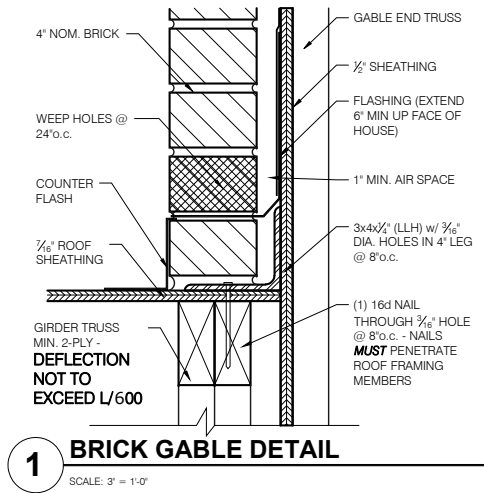
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11x17 PRINTS ARE 1/2" SCALE

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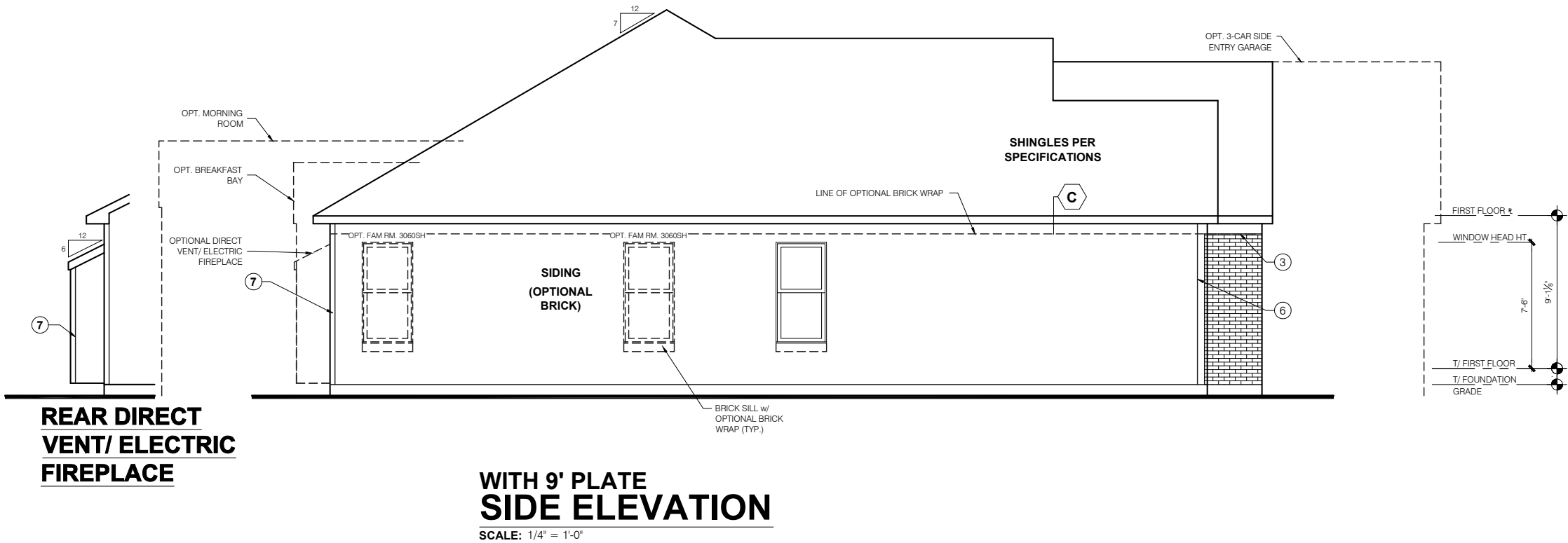
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2	= 6" TRIM	(1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS	
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

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SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	6"
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x1/4"	6"
16'-11"	5"x3 1/2"x1/4"	6"x3 1/2"x1/4"	7"x4"x3/8"	7"x4"x3/8"	8"x4"x1/2"	6"



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11x17 PRINTS ARE 1/2" SCALE

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1.0E

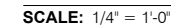
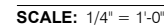
Sheet Title : Front and Side Elevations

LSP Rev: ---

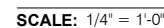
LSP By: Name

LSP Date: Date-Start

Job No: New Kitchens



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LINTEL SCHEDULE**



11x17 PRINTS ARE 1/2 SCALE

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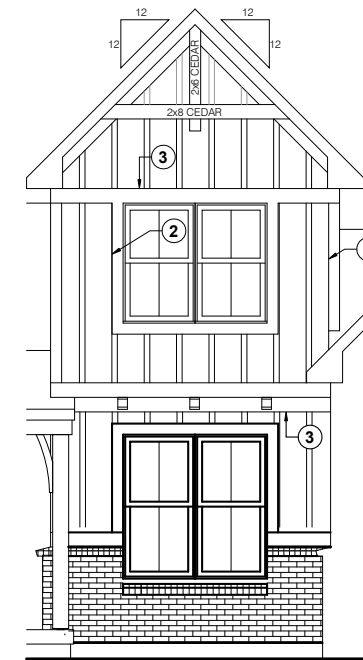
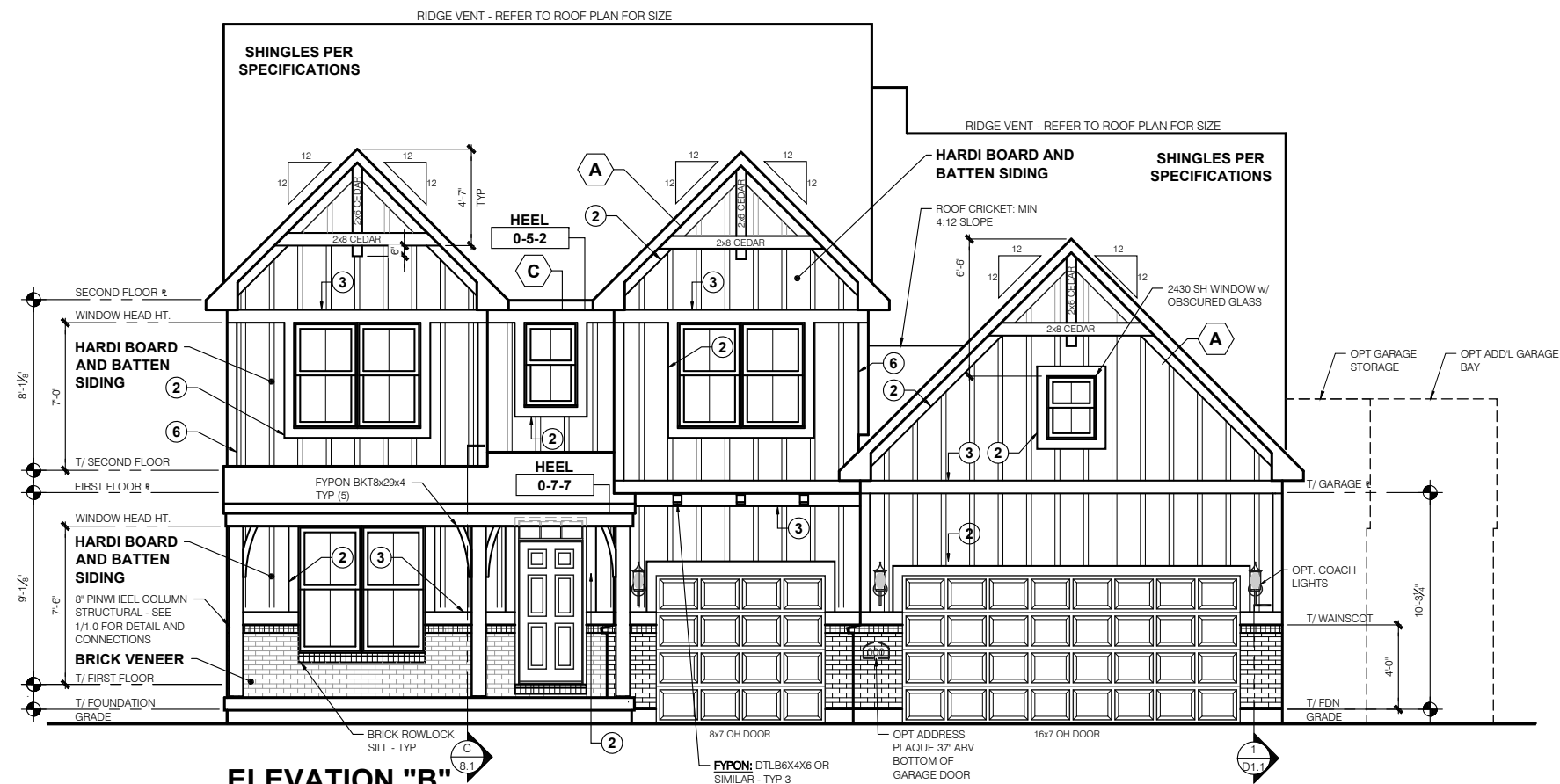
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SP Rev:	----
Sheet Title : Front and Garage Elevations -1	

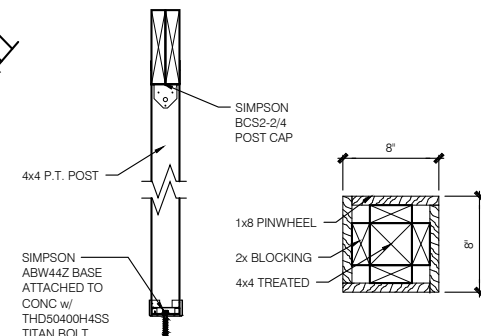
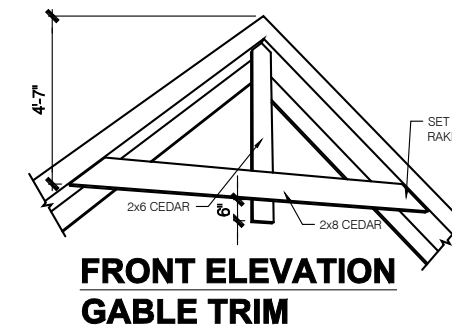
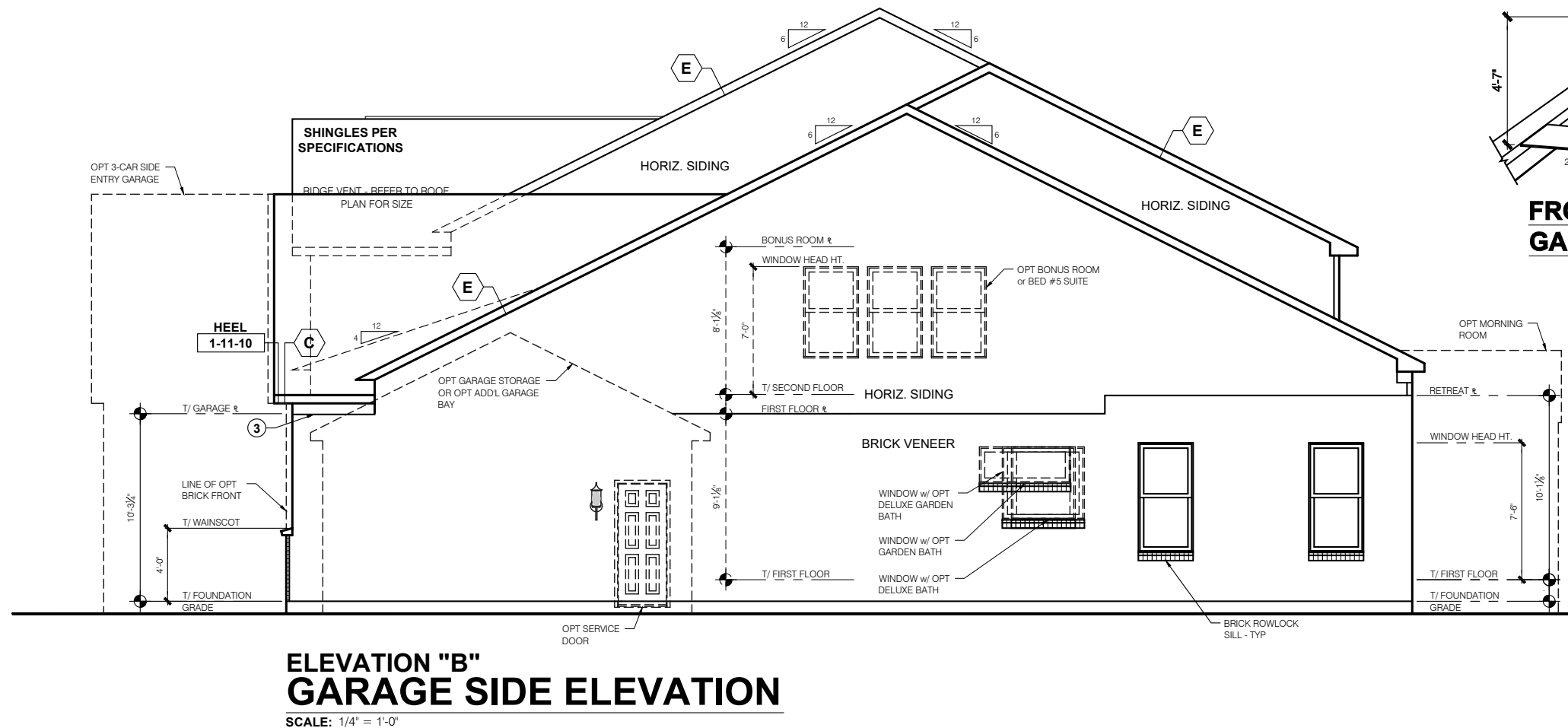
heet:

1.0A




TYPICAL EXTERIOR TRIM DIVISION	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
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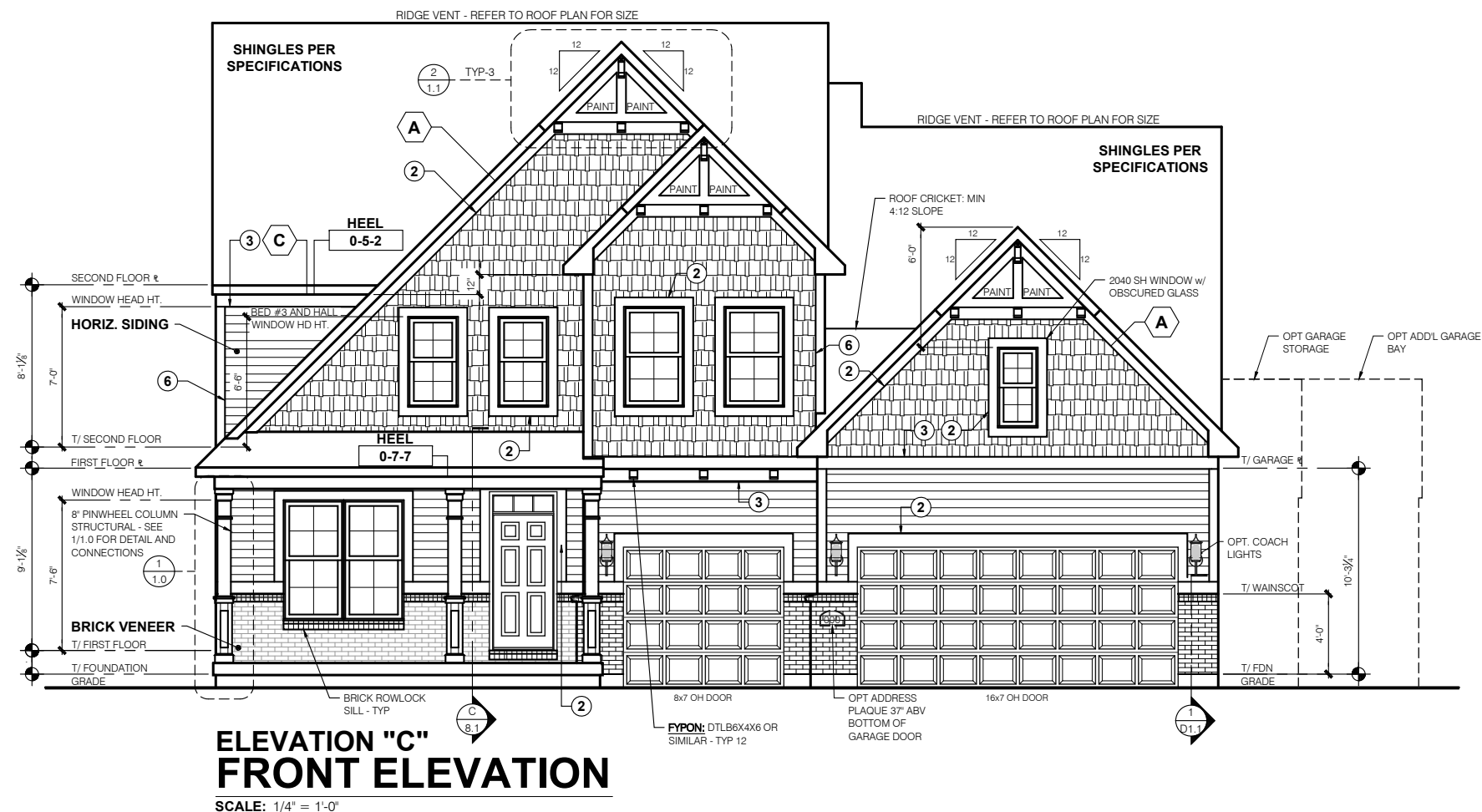
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11x17 PRINTS ARE 1/2 SCALE

Job #:	----
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	----
Sheet Title : Front and Garage Elevations -1	
Sheet:	

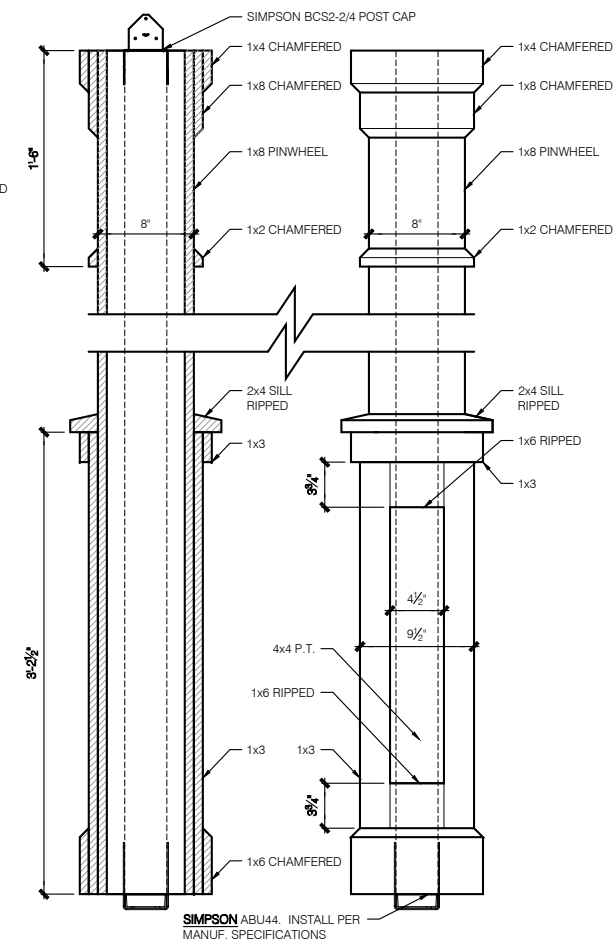
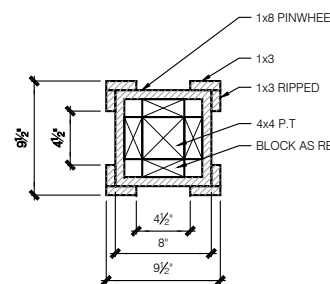
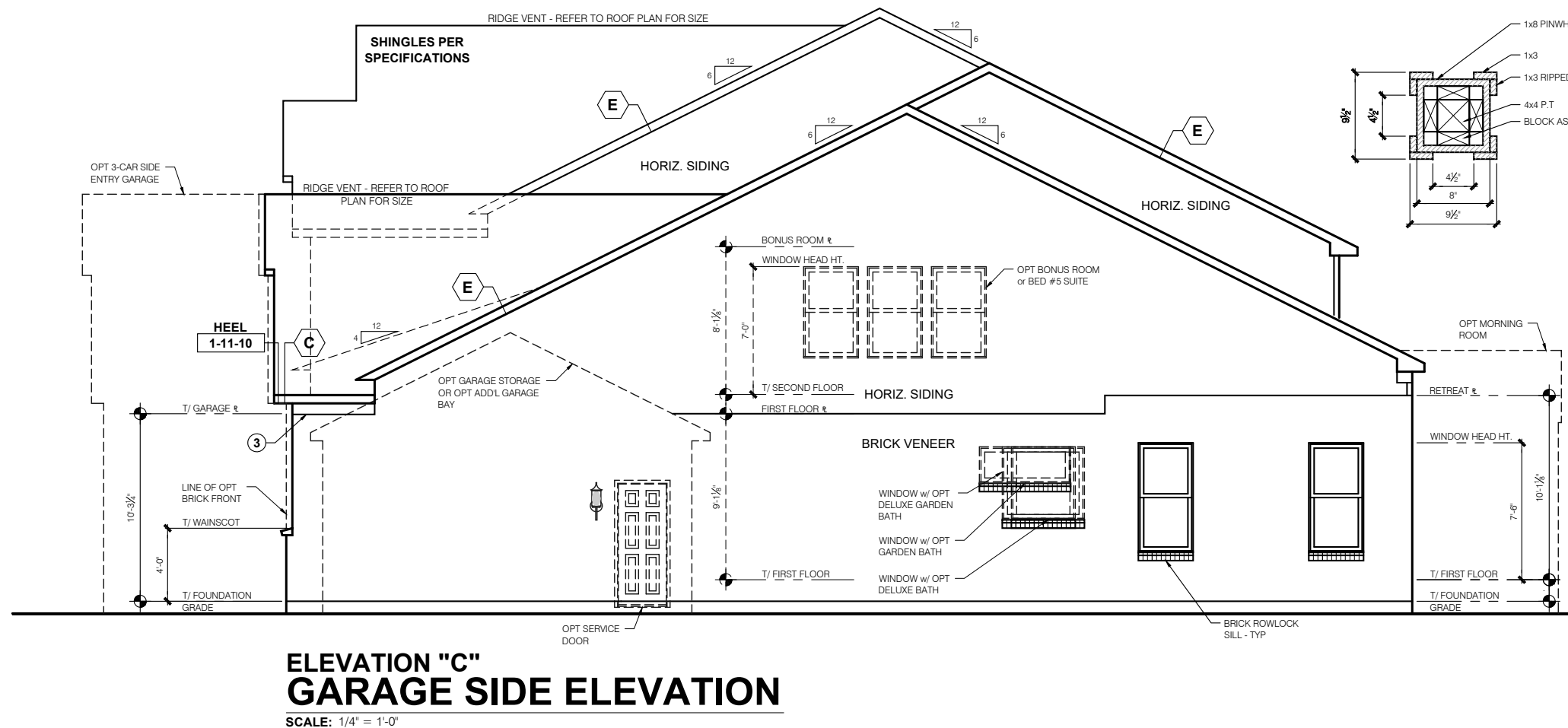
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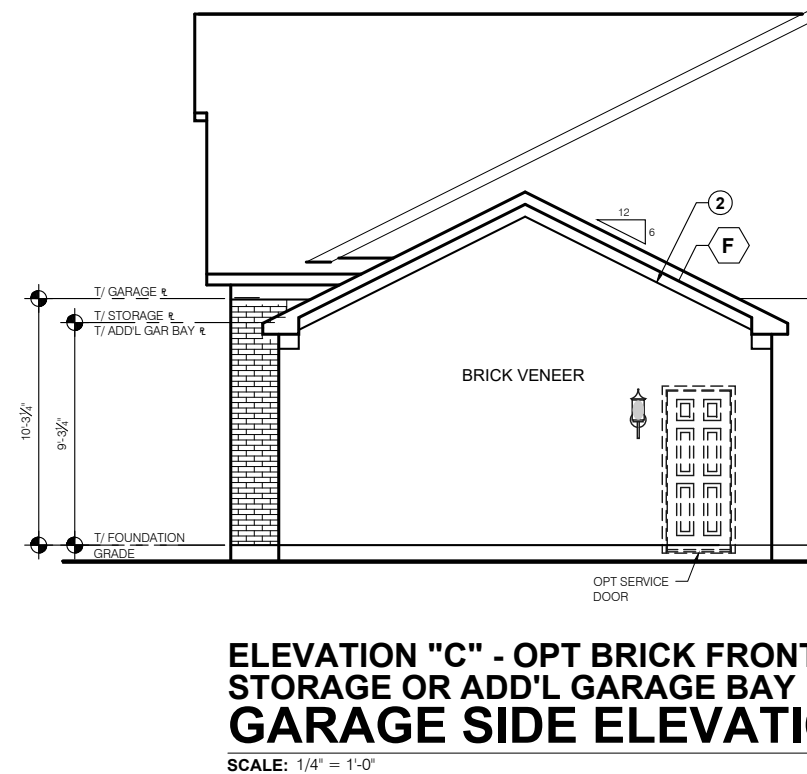
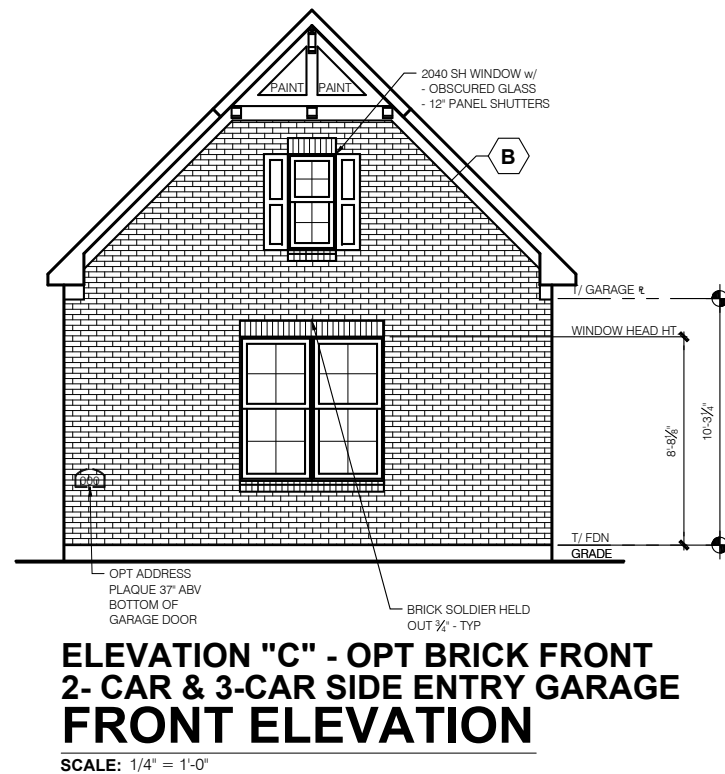
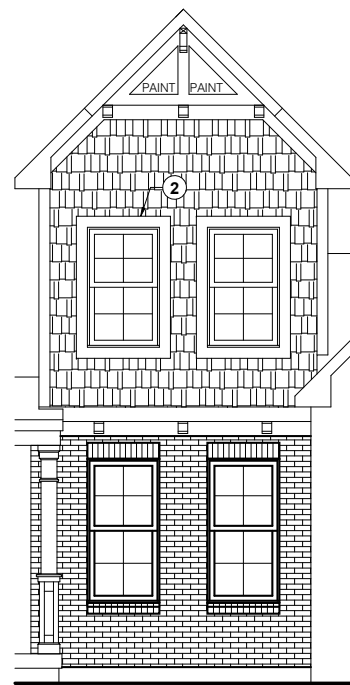
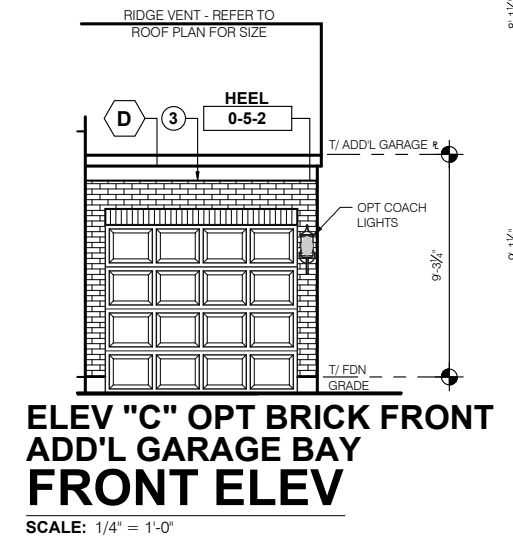
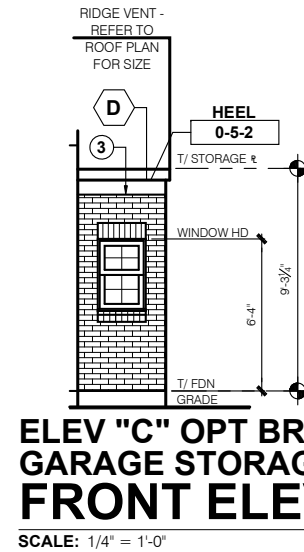
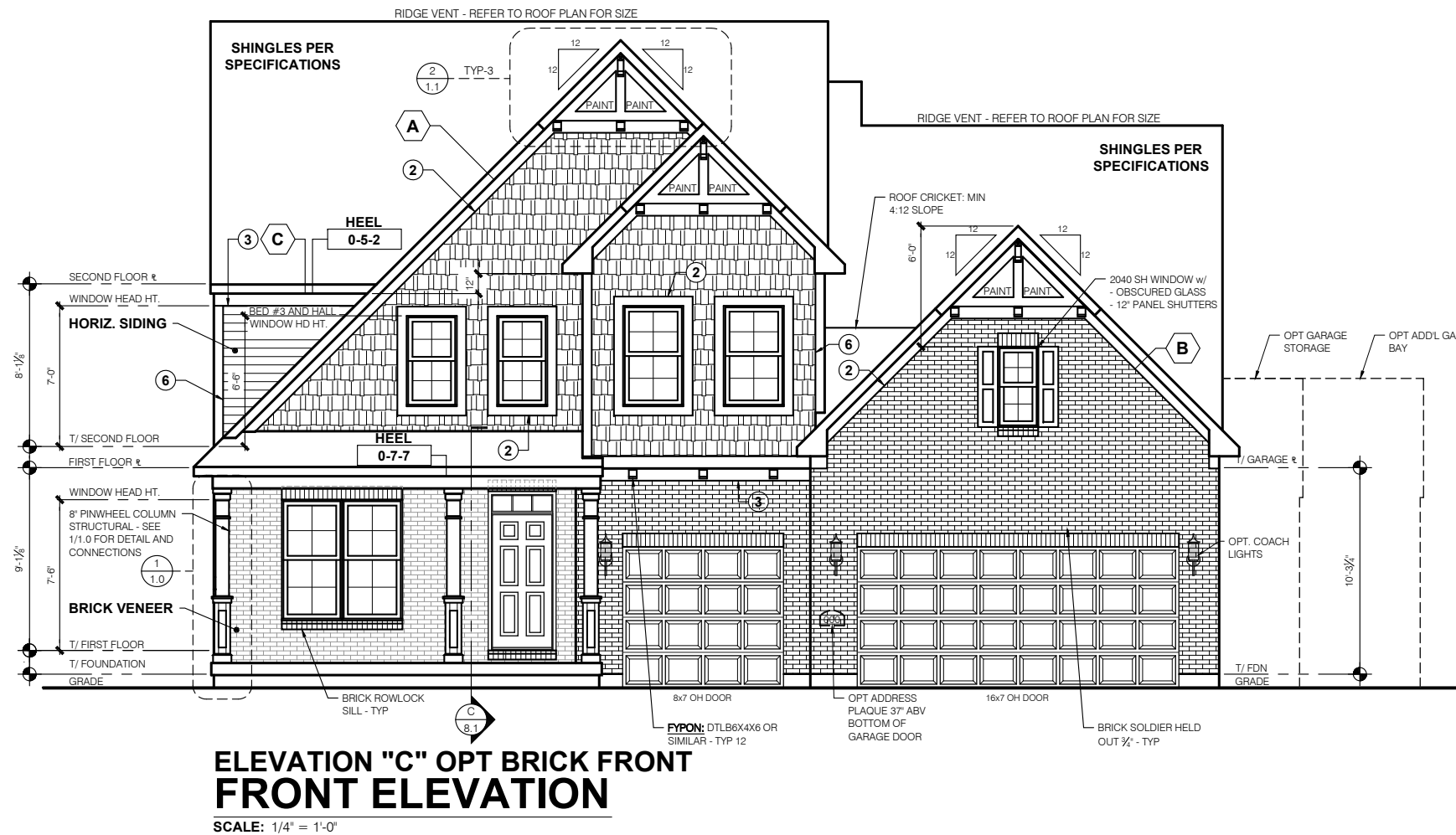


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11x17 PRINTS ARE 1/2 SCALE

Job #:	----
SP Date:	x/x/xx
SP By:	BY
SP Rev:	----
Sheet Title :	
Front and Garage	
Elevations -1	


1.0C



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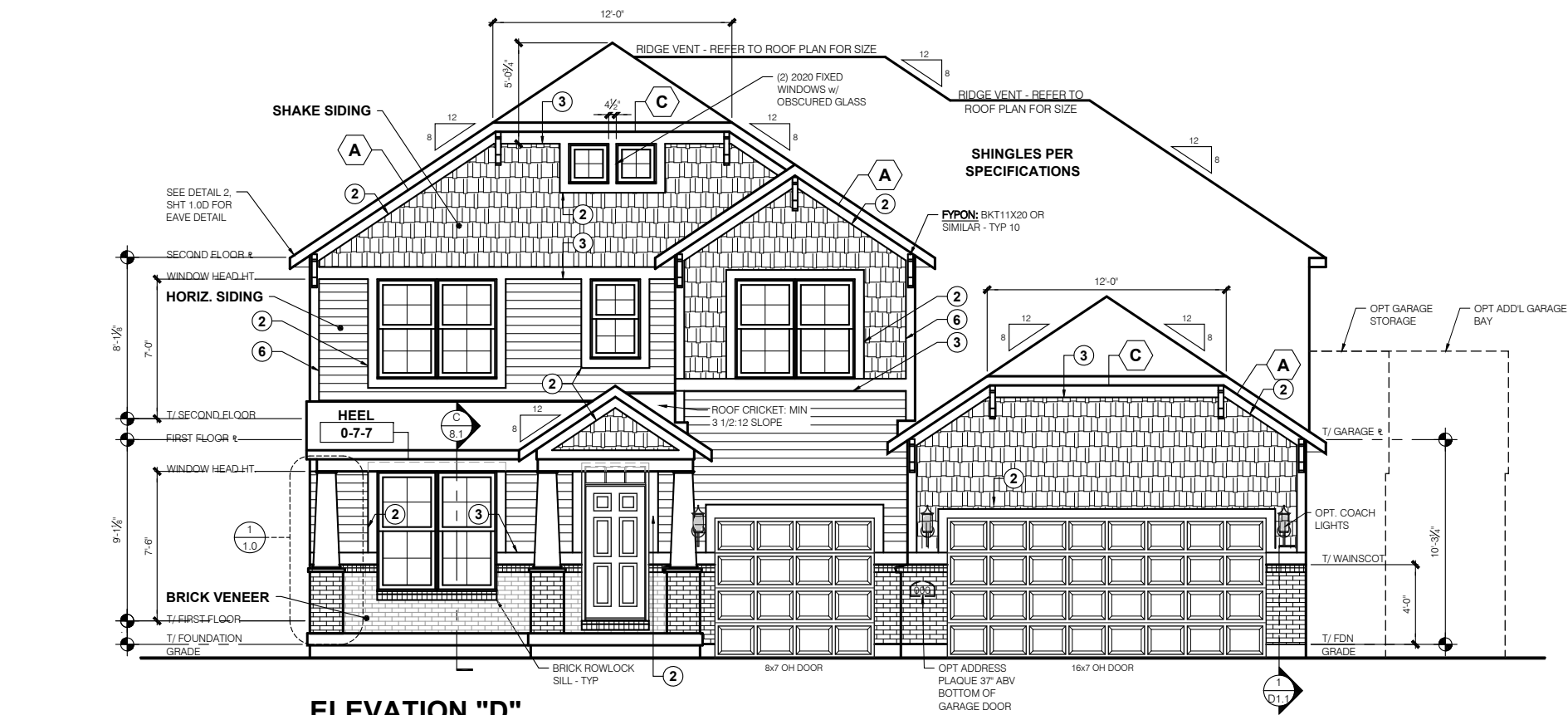
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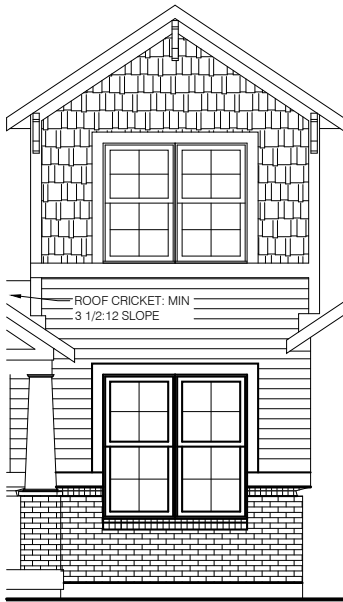
11x17 PRINTS ARE 1/2" SCALE

Job #:
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front Elevation
Options -6
Sheet:
1.5C



ELEVATION "D"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



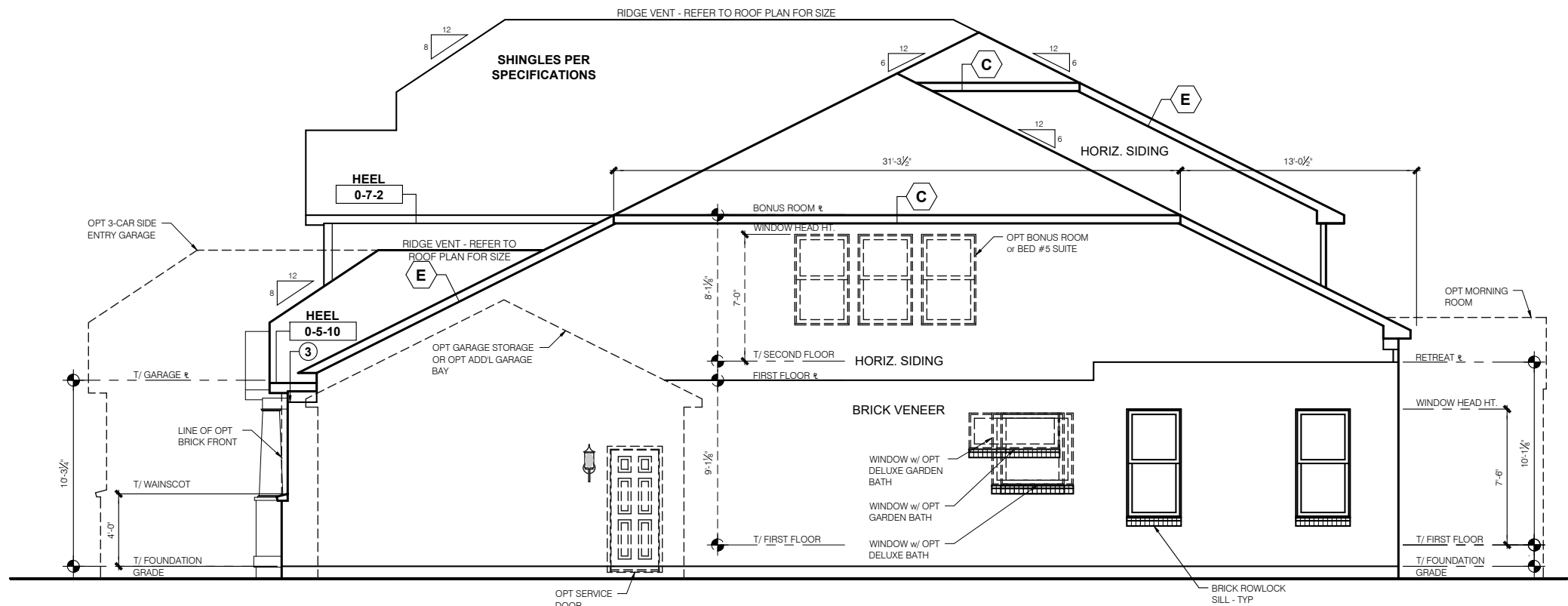
ELEVATION "D" OPT STUDY, GUEST
SUITE OR SIDE ENTRY GARAGE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH		
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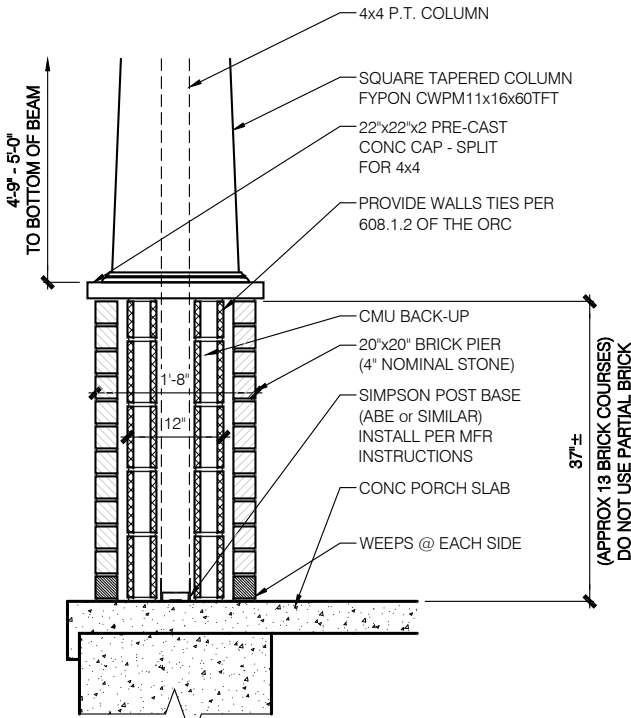
SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE



ELEVATION "D"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT PORCH COLUMN

SCALE: 1" = 1'-0"

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LSP By:	BY
LSP Rev:	---
Sheet Title :	Front and Garage Elevations -1

Sheet:

1.0D

SCALE: 1/4" = 1'-0"

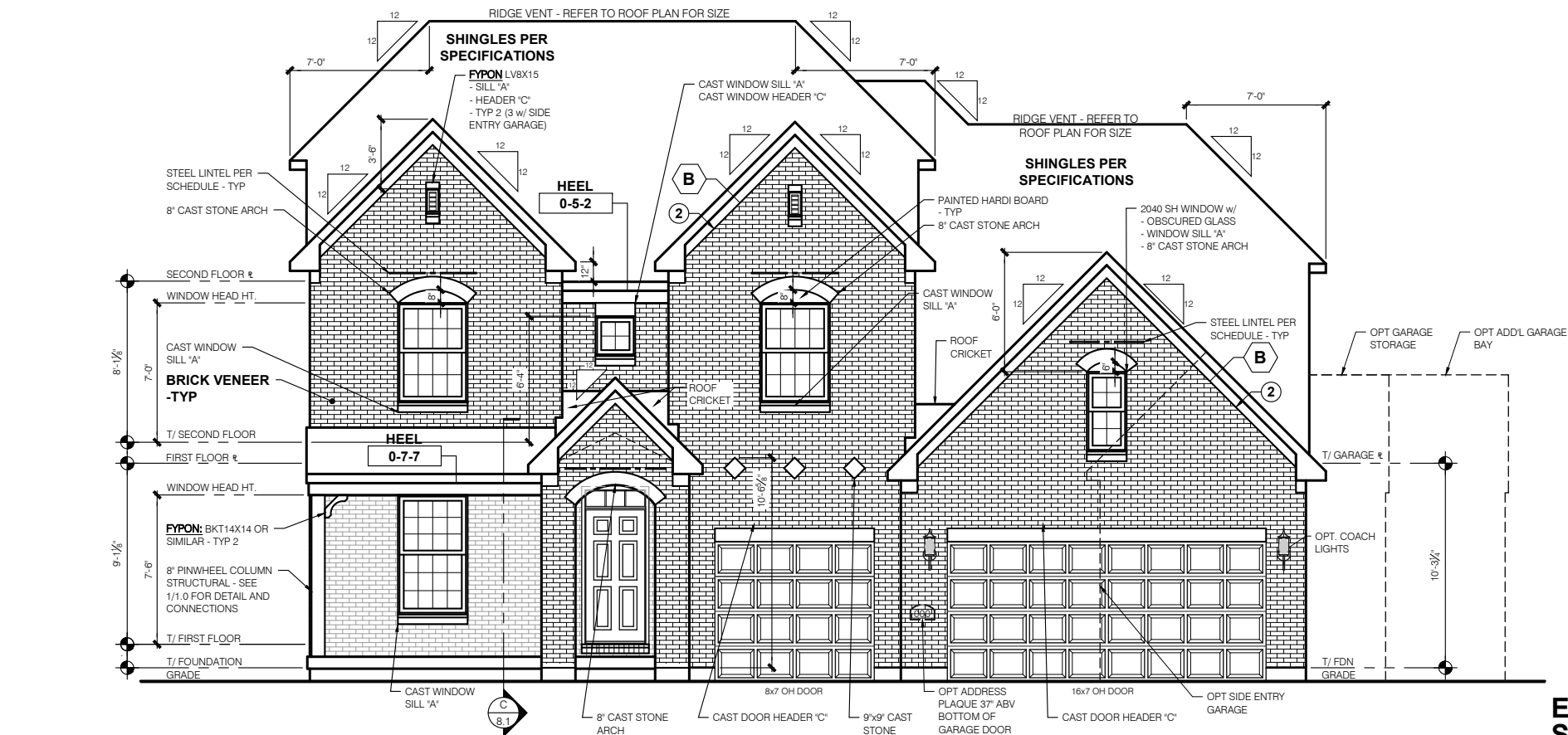
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

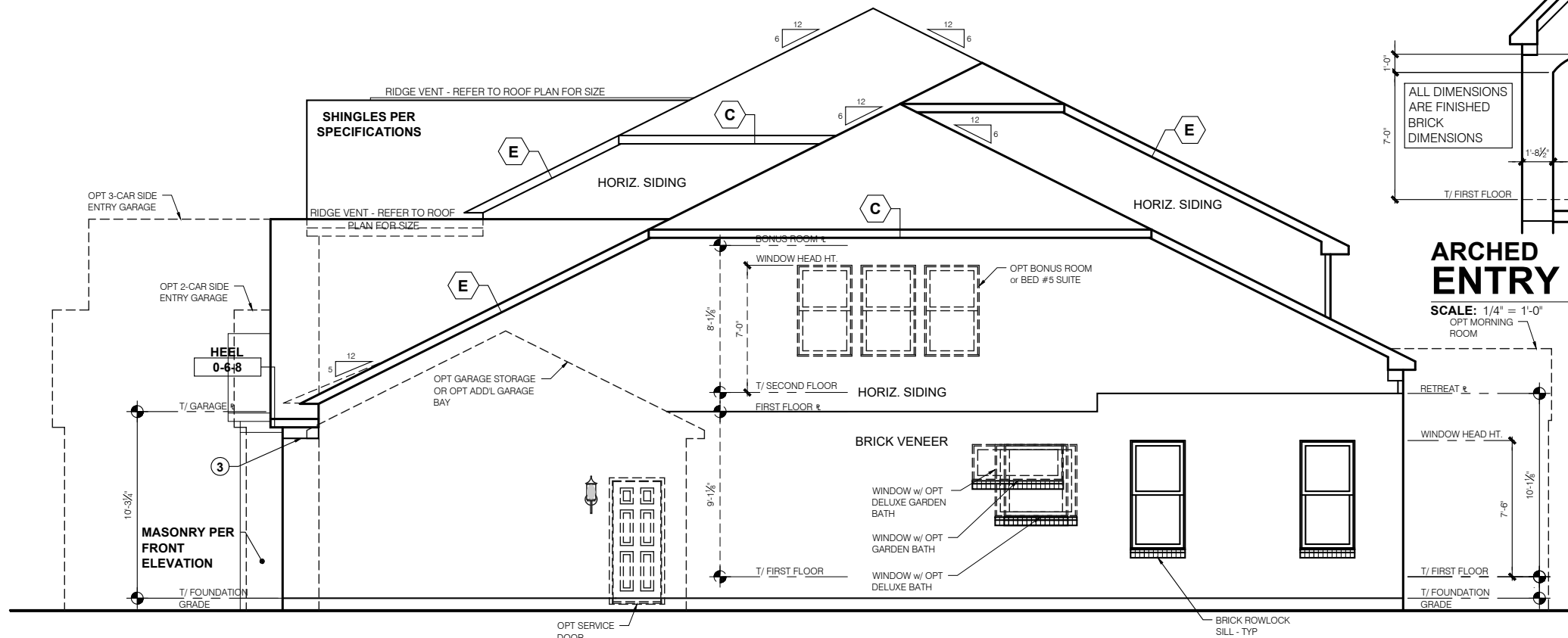
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



ELEVATION "E"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

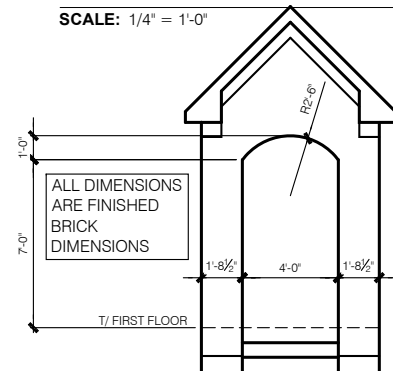


ELEVATION "E"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ELEV "E" OPT STUDY, GUEST
SUITE OR SIDE ENTRY GARAGE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

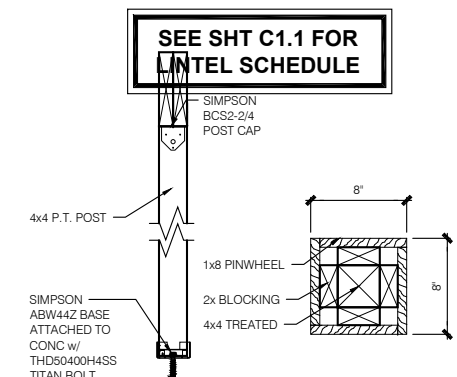


ARCHED
ENTRY DETAIL

SCALE: 1/4" = 1'-0"

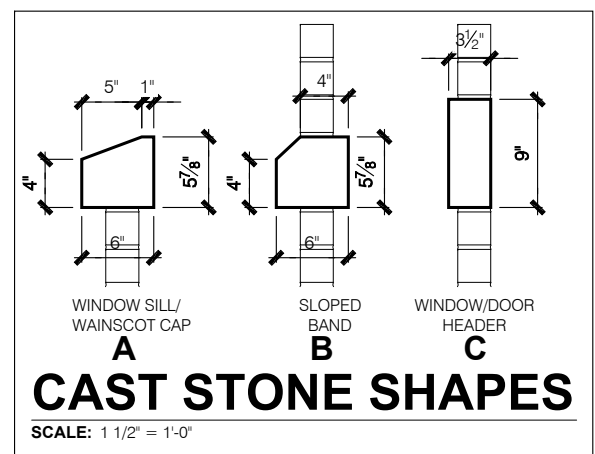
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FRONT PORCH
8" TRIMMED PINWHEEL COLUMN

SCALE: NTS

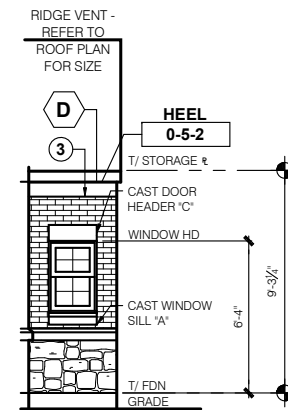


CAST STONE SHAPES

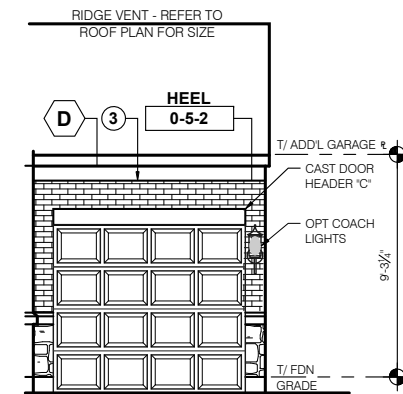
SCALE: 1 1/2" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

GIRDER TRUSS FOR BRICK SUPPORT, L/600 w/ 3' x 4' x 1/2" (LLH)

PAINTED HARDI BOARD - TYP

8" CAST STONE ARCH

T/ GARAGE

WINDOW HEAD HT.

CAST WINDOW SILL "A"

CAST SLOPED BAND "B"

T/ FDN GRADE

OPT ADDRESS PLAQUE

T/ STORAGE

T/ ADD'L GAR BA

T/ FOUNDATION GRADE

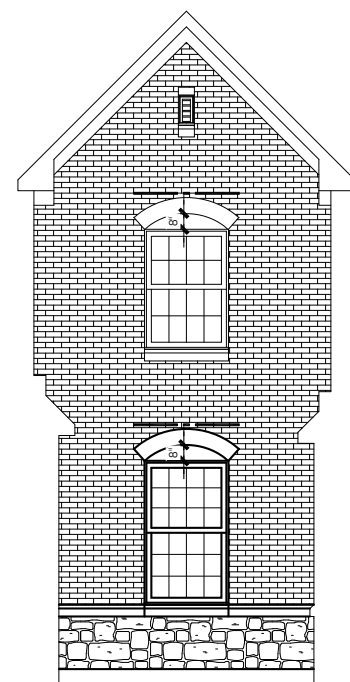
8'-9 1/2"

10'-3 1/4"

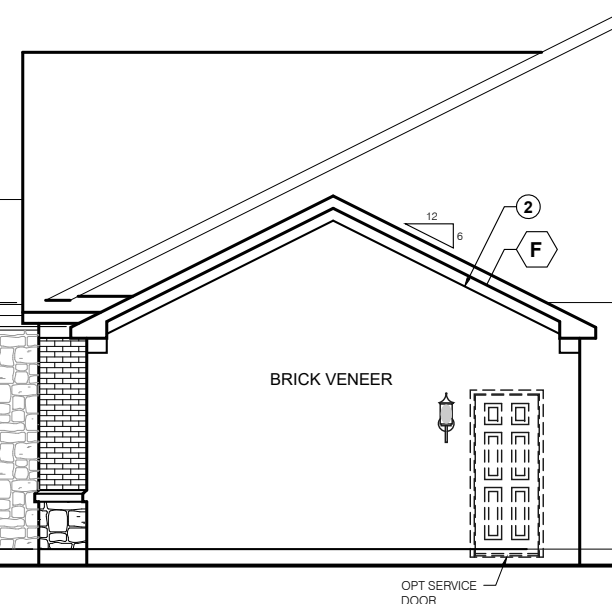
9'-3 1/4"

3 01

SCALE: 1/4" = 1'-0"

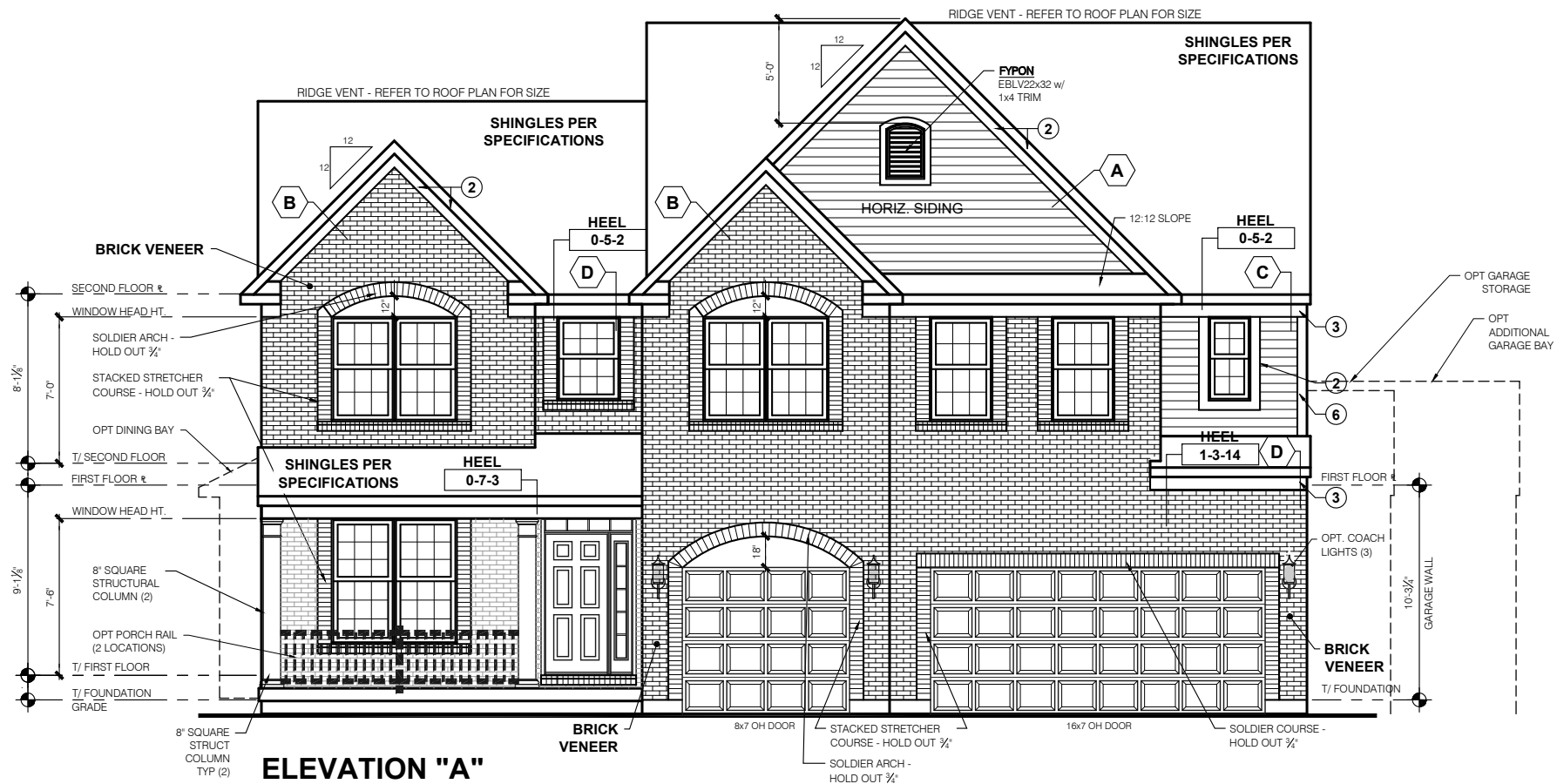


SCALE: 1/4" = 1'-0"



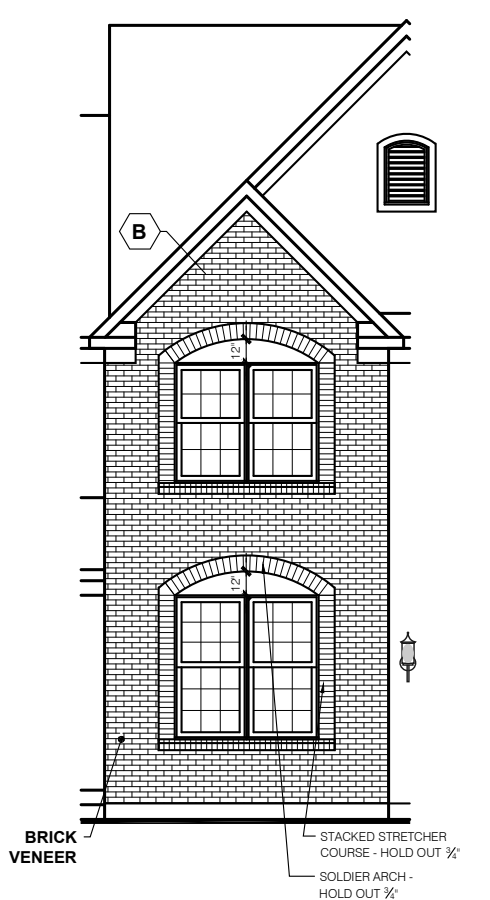
SCALE: 1/4" = 1'-0"

1.5E



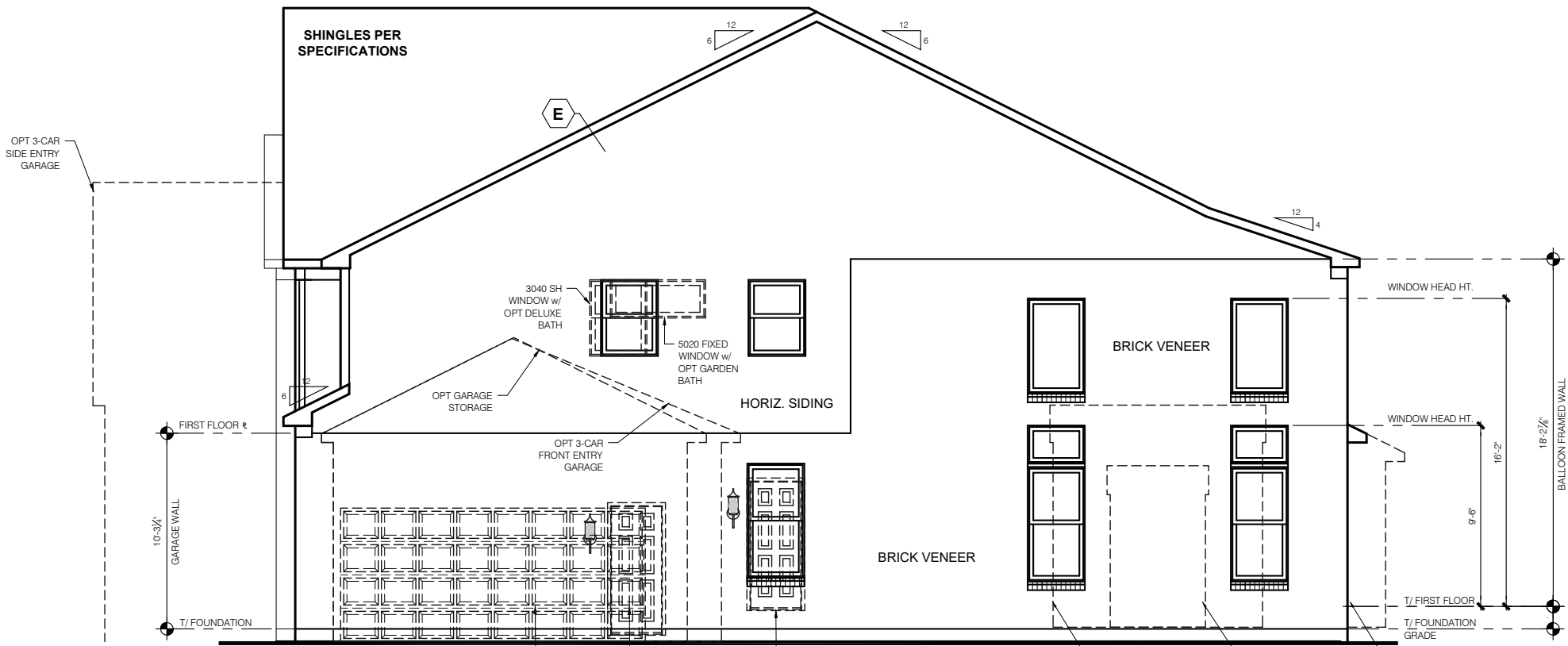
ELEVATION "A"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"



ELEVATION "A"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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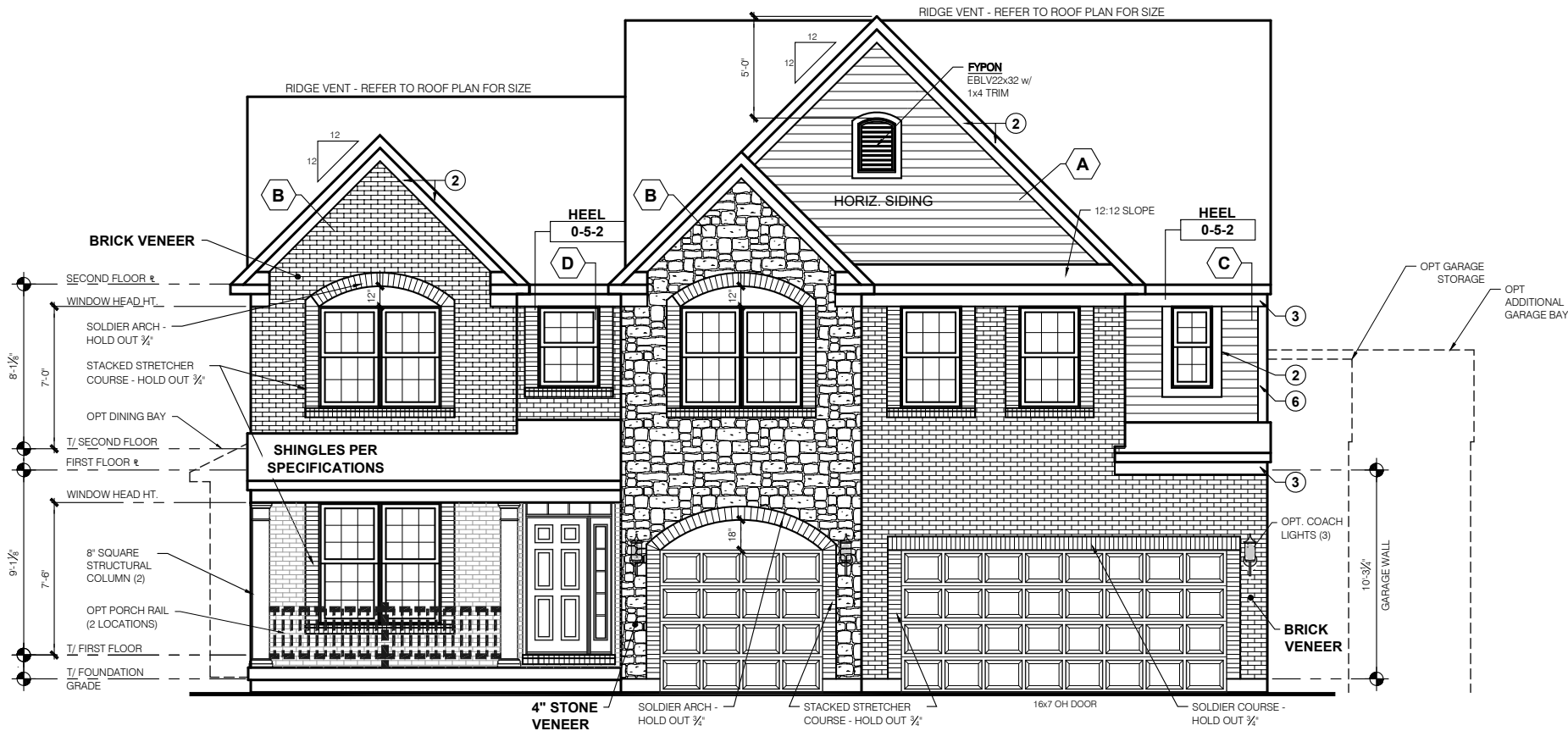
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LSP Rev:	----
Sheet Title :	Front and Garage Elevations

Sheet:

1.0A



ELEVATION "A" - OPT STONE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

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LSP By:	BY
LSP Rev:	----

Sheet Title :
Front Elevations -
Material Options

Sheet:

EXTERIOR OPTIONS

- ☐
- SIDE AND REAR ROOF OVERHANGS - BY COMMUNITY ONLY
- ☐
- BRICK/STONE ON FRONT PER ELEVATION
- ☐
- WINDOW GRIDS ON SIDES AND REAR
- ☐
- 1ST FLOOR BRICK WRAP
- ☐
- FULL BRICK SIDES AND REAR
- ☐
- FRONT PORCH RAILING PER ELEVATION
- ☐
- METAL ROOF PER ELEVATION

FOUNDATION OPTIONS

- ☐
- FULL BASEMENT STANDARD - 8' HIGH WALLS
- ☐
- 9' HIGH WALLS
- ☐
- HALF BATH ROUGH-IN IN BASEMENT
- ☐
- FULL BATH ROUGH-IN IN BASEMENT
- ☐
- FINISHED HALF BATH IN BASEMENT
- ☐
- HIGH VANITIES
- ☐
- FINISHED FULL BATH IN BASEMENT
- ☐
- HIGH VANITIES
- ☐
- MEDICINE CABINET
- ☐
- FINISHED BASEMENT #1 (DOES NOT INCLUDE BATH)
- ☐
- FINISHED BASEMENT #2 (DOES NOT INCLUDE BATH)
- ☐
- FINISHED BASEMENT #3 (DOES NOT INCLUDE BATH)
- ☐
- WALK-OUT DOOR (SGD) *PER GRADE*
- ☐
- BASEMENT WINDOWS (4040 SLIDERS) *PER GRADE*
- ☐
- WATER SOFTENER ROUGH IN

GARAGE OPTIONS

- ☐
- 2-CAR SIDE ENTRY GARAGE
- ☐
- 3-CAR FRONT ENTRY GARAGE
(ONLY AVAILABLE w/ OPT GUEST SUITE OR STUDY ILO GARAGE BAY)
- ☐
- 3-CAR SIDE ENTRY GARAGE
- ☐
- ADDITIONAL FRONT LOAD GARAGE BAY
(USED w/ 3-CAR FRONT ENTRY STANDARD PLANS)
- ☐
- GARAGE STORAGE
- ☐
- GARAGE SERVICE DOOR:NOT AVAIL w/ SIDE ENTRY GARAGES

KITCHEN OPTIONS

- ☐
- STANDARD KITCHEN (42" WALL CABINETS, RANGE)
- ☐
- GOURMET KITCHEN (ADDS COOKTOP, HOOD & OVEN CABINET)
- ☐
- 42" WALL CABINETS
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- STACKED WALL CABINETS
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- STACKED WALL CABINETS WITH GLASS
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- LUXE KITCHEN (ADDS COOKTOP, HOOD & OVEN CABINET)
- ☐
- 42" WALL CABINETS
- ☐
- STANDARD ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- WATERFALL ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- STACKED WALL CABINETS
- ☐
- STANDARD ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- WATERFALL ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- STACKED WALL CABINETS WITH GLASS
- ☐
- STANDARD ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND
- ☐
- WATERFALL ISLAND
- ☐
- MICROWAVE CABINET IN ISLAND

BREAKFAST OPTIONS

- ☐
- PATIO DOOR ILO SGD (5068 OR 6068 PER PLAN)
- ☐
- BREAKFAST BAY - REAR
- ☐
- PATIO DOOR ILO SGD (5068 OR 6068 PER PLAN)

DINING ROOM OPTIONS

- ☐
- 2x6 TRAY CEILING (DROPPED TRAY)
- ☐
- DINING BAY - SIDE

FAMILY ROOM OPTIONS

- ☐
- COFFERED CEILING - PER PLAN

FIREPLACE- SIDE

- ☐
- DIRECT VENT
- ☐
- ELECTRIC
- ☐
- STONE FIREPLACE: RAISED HEARTH

FIREPLACE/MEDIA- SIDE

- ☐
- DIRECT VENT
- ☐
- ELECTRIC

FIRST FLOOR OPTIONS

- ☐
- 1ST FLOOR RAILS ILO HALF WALL
(RAKED STAIR RAILS & INTERMEDIATE LANDINGS PER PLAN)
- ☐
- BEDROOM #5 ILO DEN: INCLUDES FULL BATH
- ☐
- MEDICINE CABINET
- ☐
- BUTLER PANTRY ILO BULK STORAGE
- ☐
- STANDARD 42" WALL CABINETS
- ☐
- GOURMET CABINETS
- ☐
- 42" WALL CABINETS
- ☐
- STACKED WALL CABINETS
- ☐
- STACKED WALL CABINETS WITH GLASS
- ☐
- LUXE CABINETS
- ☐
- 42" WALL CABINETS
- ☐
- STACKED WALL CABINETS
- ☐
- STACKED WALL CABINETS WITH GLASS
- ☐
- STUDY ILO GARAGE BAY
- ☐
- STANDARD SOLID DOUBLE DOORS
- ☐
- STUDY FRENCH DOORS (GLASS)
- ☐
- GUEST SUITE ILO GARAGE BAY: INCLUDES FULL BATH
- ☐
- MEDICINE CABINET

MUD OPTIONS

- ☐
- 2868 DOOR ILO 3060 SH WINDOW
- ☐
- BENCH/CUBBIES
- ☐
- CABINETS I.L.O. DROP ZONE

LAUNDRY ROOM OPTIONS

- ☐
- LAUNDRY ROOM WALL CABINETS ILO SHELF - OPT #1
- ☐
- LAUNDRY ROOM BASE CABINETS w/ SINK - OPT #2
- ☐
- LAUNDRY TUB ROUGH
- ☐
- LAUNDRY TUB FINISHED

HALL BATH OPTIONS

- ☐
- STANDARD BATH
(SINGLE BOWL)
- ☐
- DOUBLE BOWL
- ☐
- MEDICINE CABINET

BEDROOM #4 OPTIONS

- ☐
- BEDROOM #4 BATHROOM
- ☐
- MEDICINE CABINET

RETREAT OPTIONS

- ☐
- RETREAT TRAY CEILING
- ☐
- DOUBLE DOOR

RETREAT BATH OPTIONS

- ☐
- STANDARD BATH
(SINGLE BOWL, TUB/SHOWER COMBO)
- ☐
- DOUBLE BOWL
- ☐
- SIGNATURE BATH - SINGLE BOWL
(60" SHOWER ILO OF TUB/SHOWER COMBINATION)
- ☐
- DOUBLE BOWL
- ☐
- DELUXE BATH
(DOUBLE BOWL, SOAKING TUB, SHOWER PAN, GLASS ENCLOSURE)
- ☐
- GARDEN BATH
(DOUBLE BOWL, MUD PAN SHOWER, GLASS ENCLOSURE)
- ☐
- MEDICINE CABINET

SECOND FLOOR OPTIONS

- ☐
- 2ND FLOOR RAILS ILO HALF WALL
(FLAT RAILS ON 2ND FLOOR)
- ☐
- JACK & JILL BATH
- ☐
- MEDICINE CABINET
- ☐
- BONUS ROOM
- ☐
- DELETE 2nd FLOOR NICHE

I HAVE REVIEWED THE ABOVE OPTIONS AVAILABLE IN THIS PLAN AND UNDERSTAND THAT ANY CHANGES AFTER THIS DATE MIGHT NOT BE ACCEPTED.

CUSTOMERDATE

CUSTOMERDATE

OPTIONS LIST

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BY

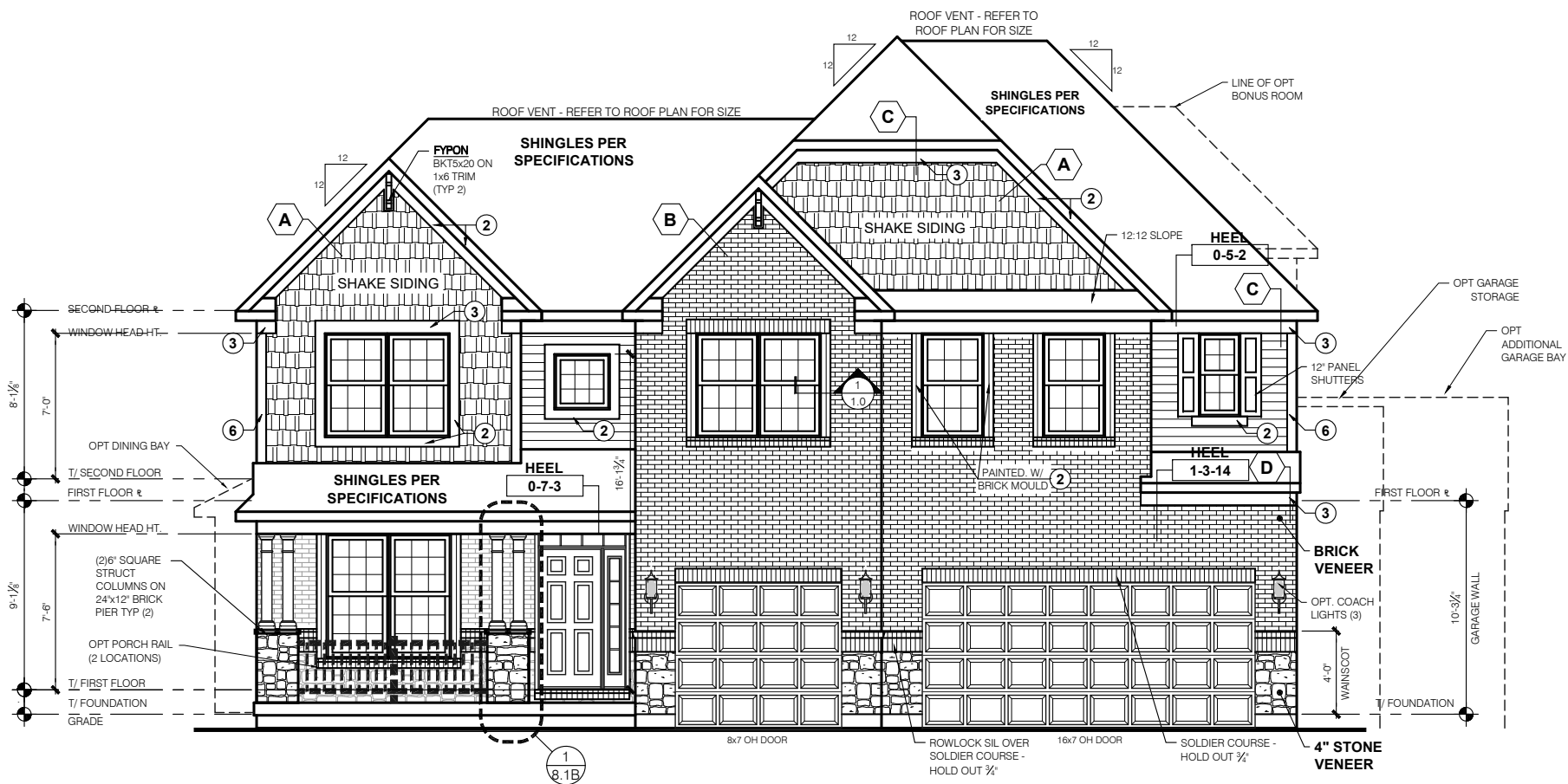
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Option List

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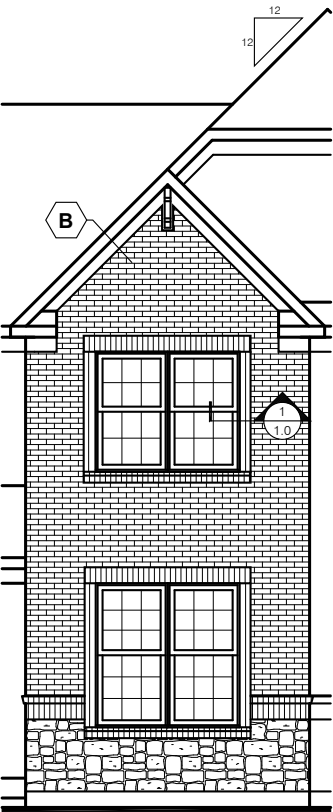
C1.2



ELEVATION "B" - OPT STONE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



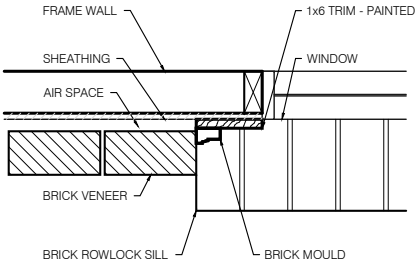
OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH		
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1 WINDOW TRIM DETAIL

SCALE: N.T.S.

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LSP Rev: ---
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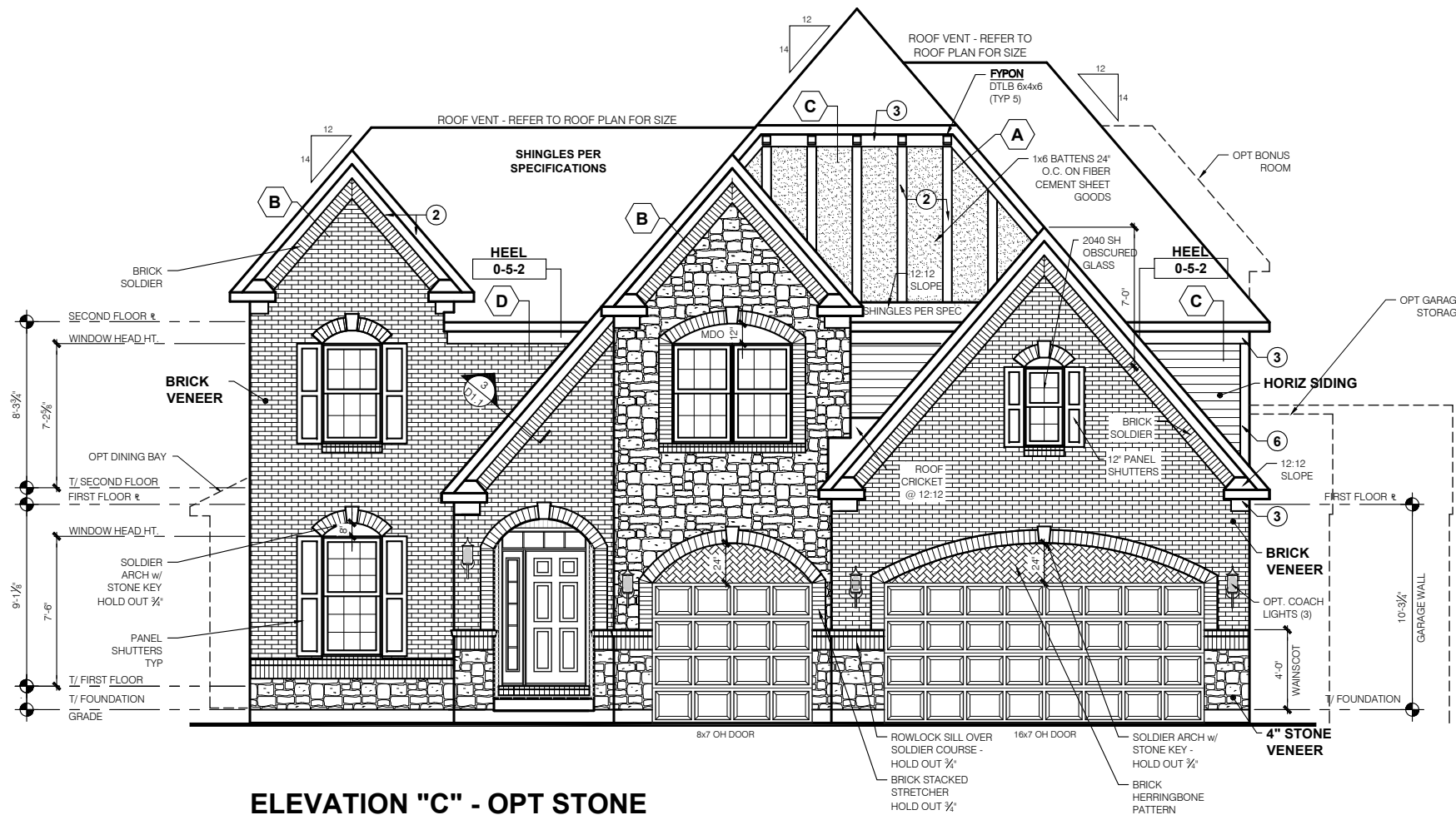
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 LSP Rev: -----
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 Front and Garage
 Elevations

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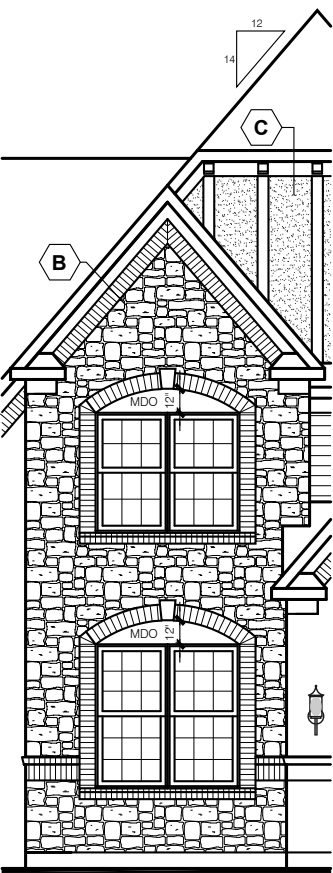
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ELEVATION "C" - OPT STONE
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"

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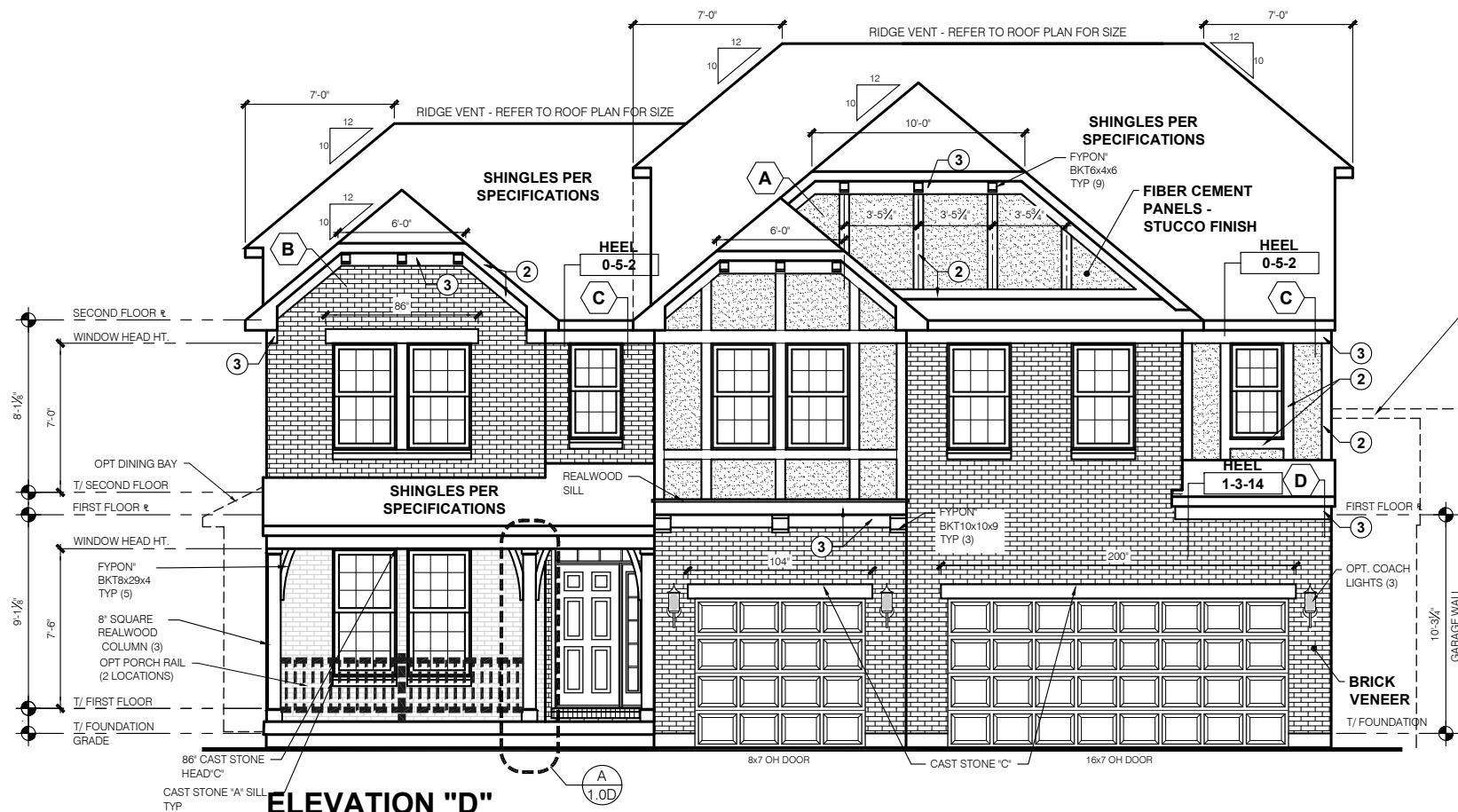
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Front Elevations -

Material Options

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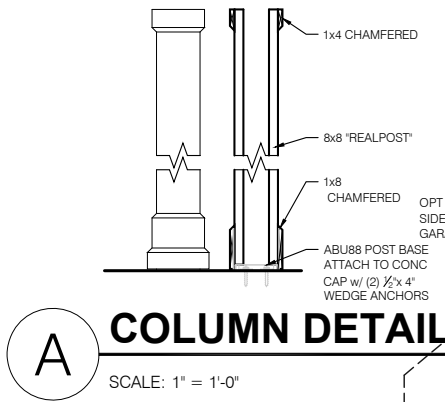


**ELEVATION "D"
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

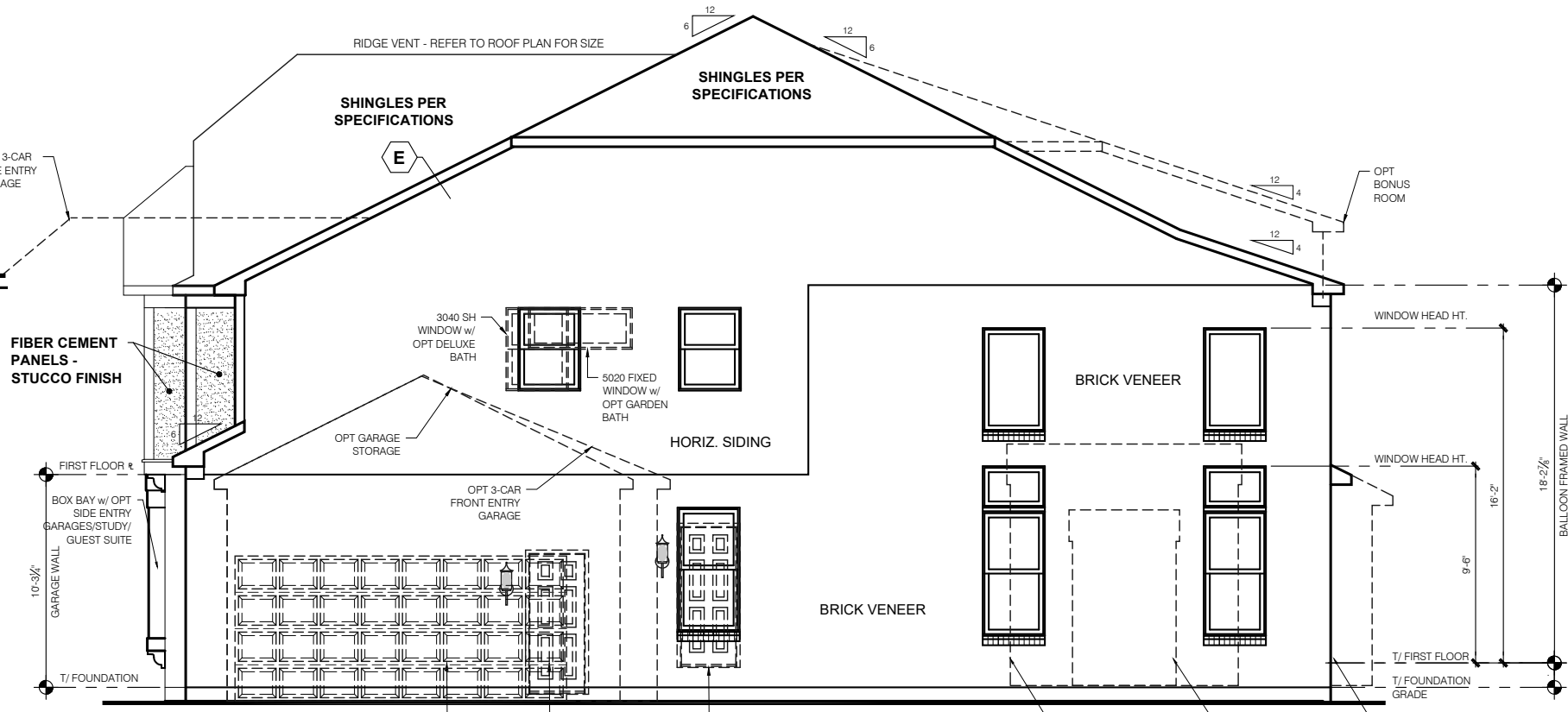
**OPT SIDE ENTRY GARAGES/
OPT STUDY/GUEST SUITE**

SCALE: 1/4" = 1'-0"



COLUMN DETAIL

SCALE: 1" = 1'-0"



**ELEVATION "D"
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"




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SEE SHT C1.1 FOR
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11x17 PRINTS ARE 1/2" SCALE



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Front and Garage Elevations

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1.0D



SCALE: $1/4'' = 1'-0''$



SCALE: 1/4" = 1'-0"

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SEE SHEET D1.0 FOR EAVE DETAILS



SCALE: 3/4" = 1'-0"

11x17 PRINTS ARE 1/2 SCALE

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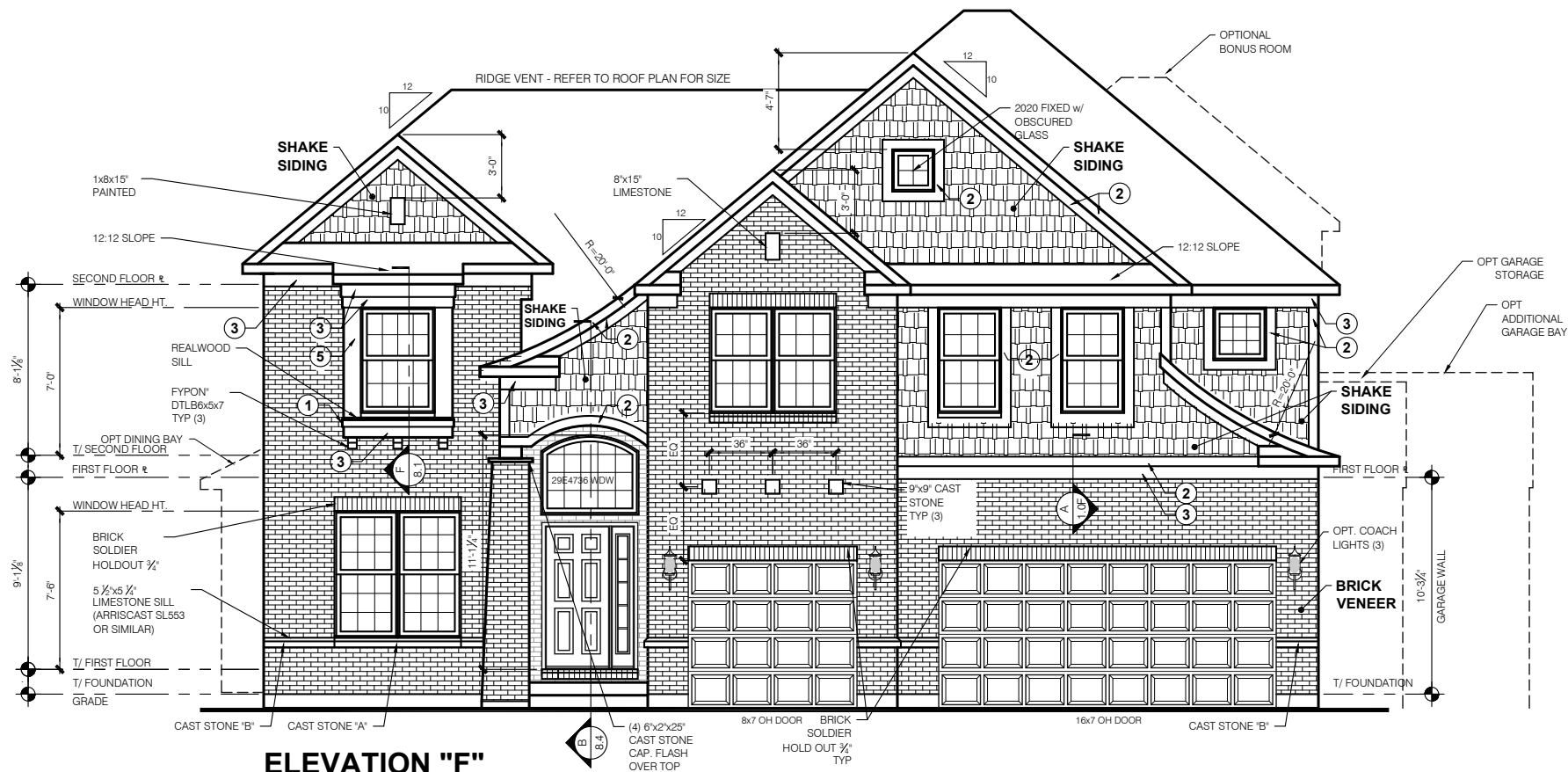
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Sheet Title : Front Elevations - Material Options	

Sheet:

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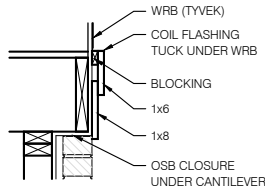
ELEVATION "F"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



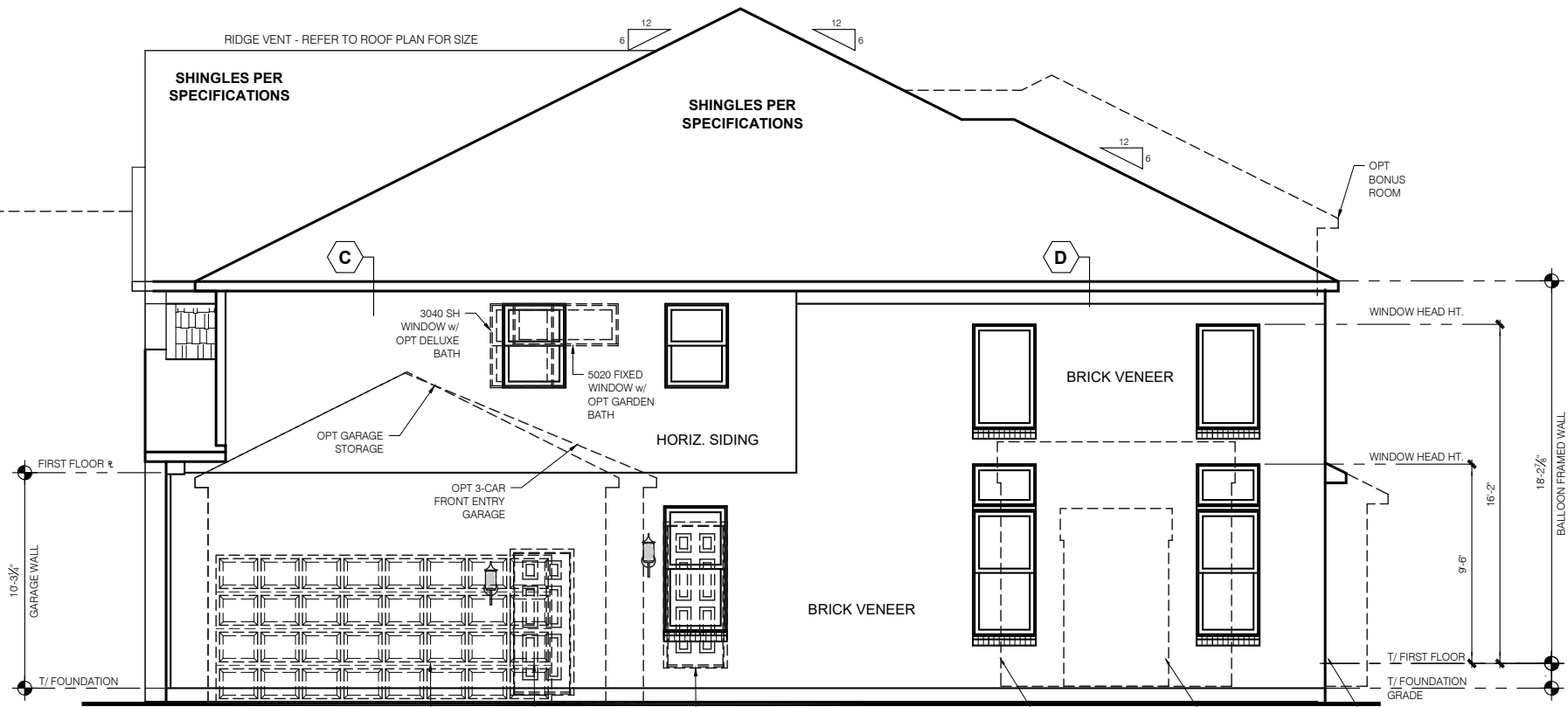
OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"



TRIM DETAIL

SCALE: 1" = 1'-0"



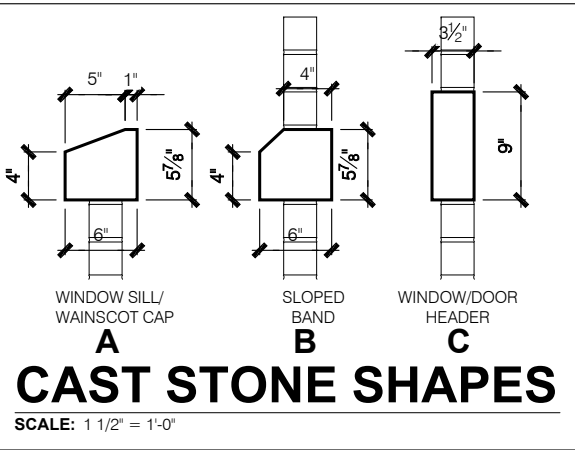
ELEVATION "F"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

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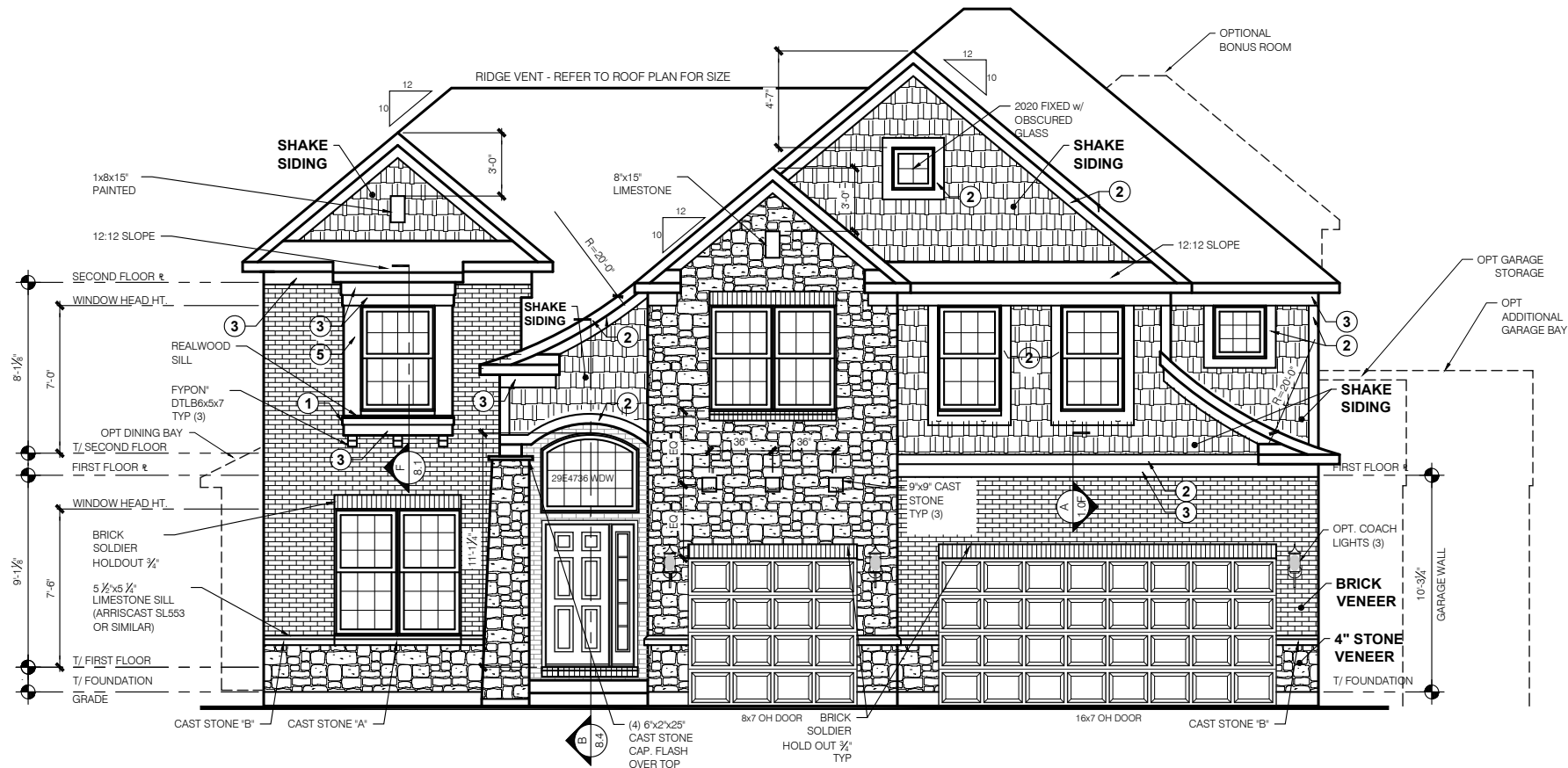
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LSP Rev:	----
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Sheet:	

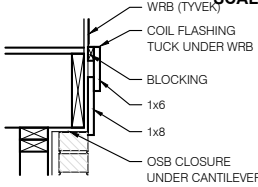
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ELEVATION "F" - OPT STONE FRONT ELEVATION

STONE SHOWN IS 4" NOMINAL CAST STONE

SCALE: 1/4" = 1'-0"



TRIM DETAIL

SCALE: 1" = 1'-0"



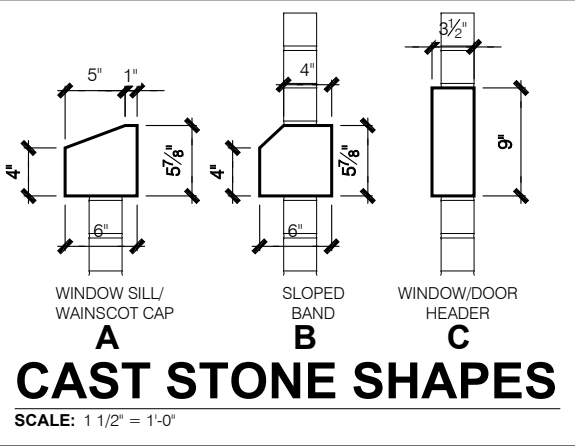
OPT STUDY/GUEST SUITE

SCALE: 1/4" = 1'-0"

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CAST STONE SHAPES

SCALE: 1 1/2" = 1'-0"

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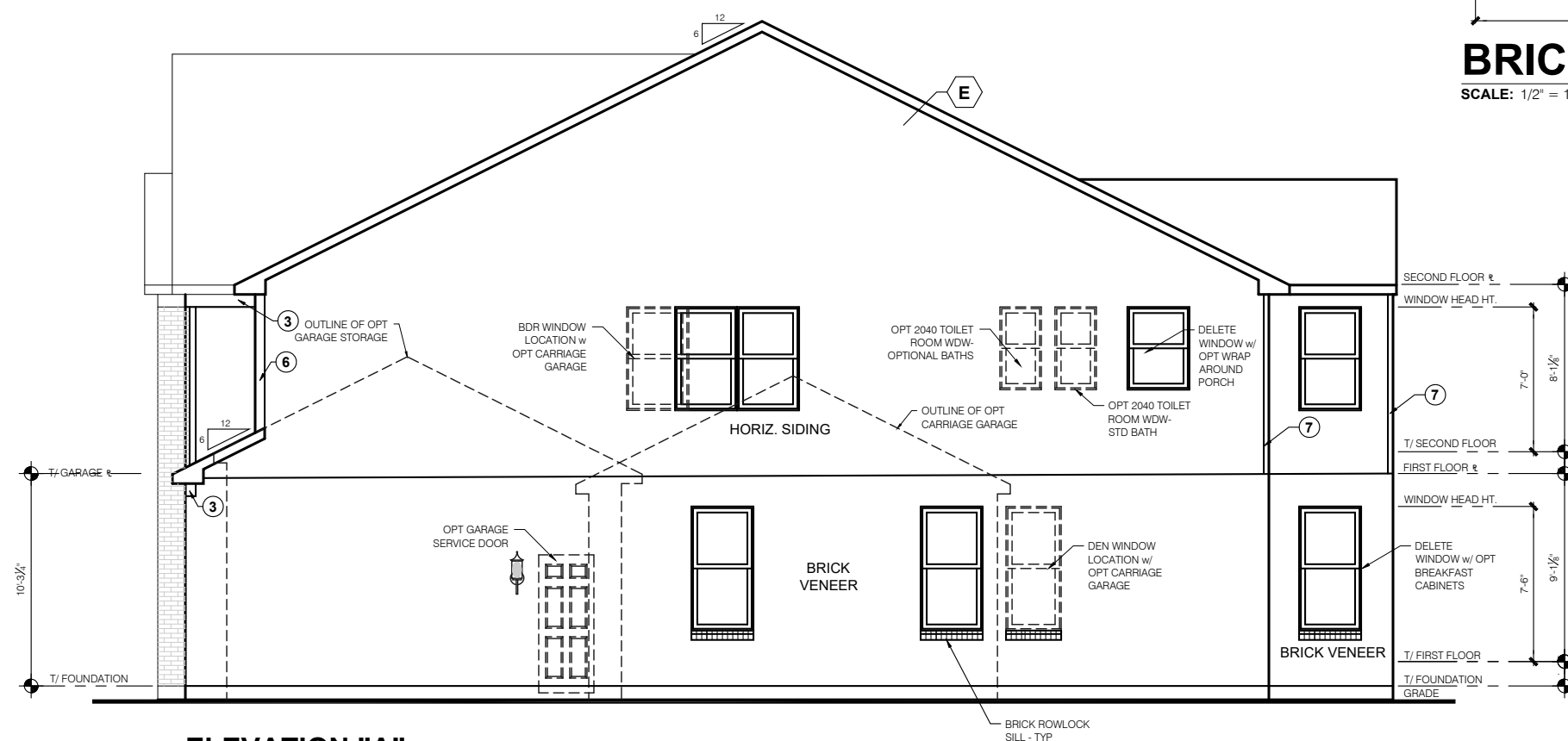
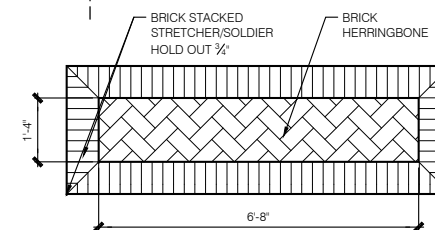
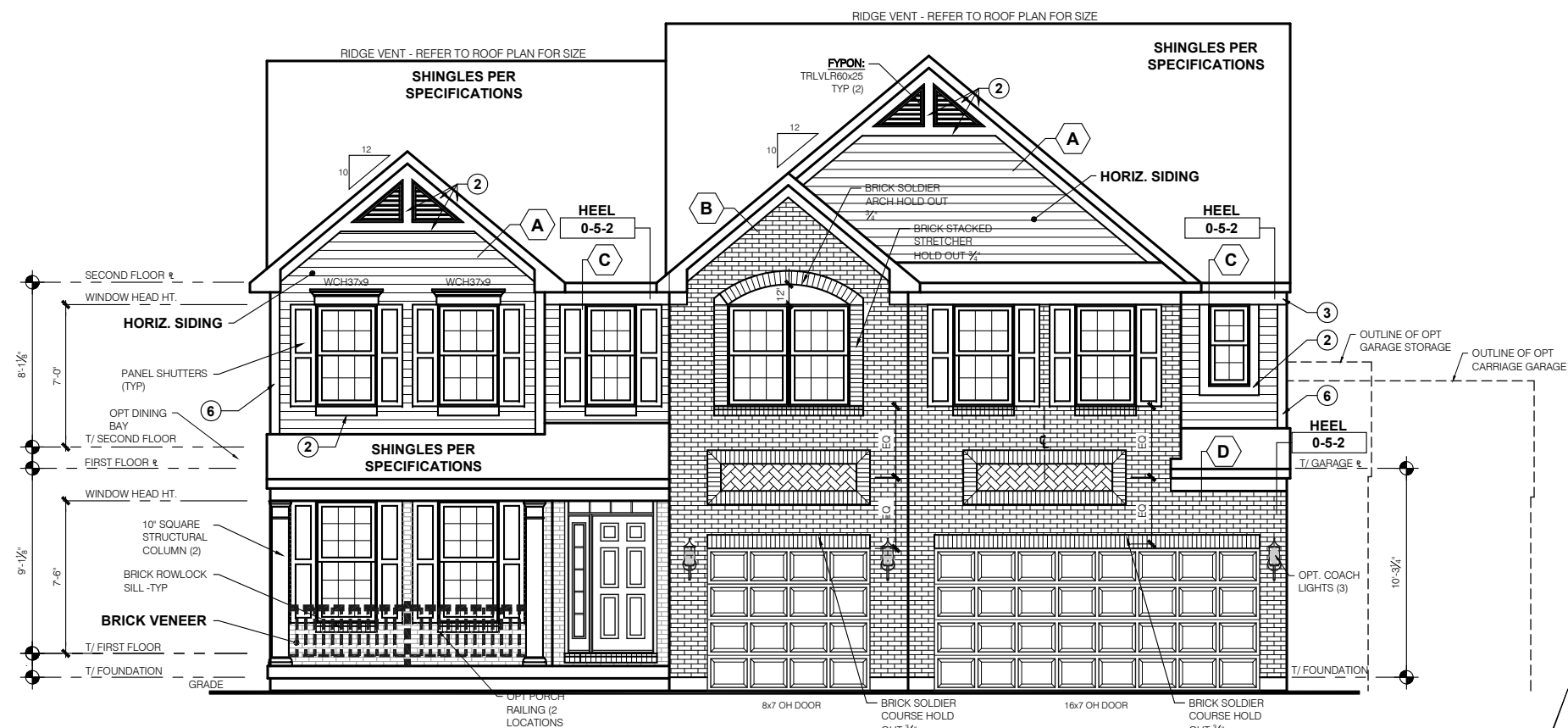
Sheet Title :

Front Elevations -

Material Options

Sheet:

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TYPICAL EXTERIOR TRIM FINISH

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11x17 PRINTS ARE 1/2 SCALE

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ISP Date: x/x/xx

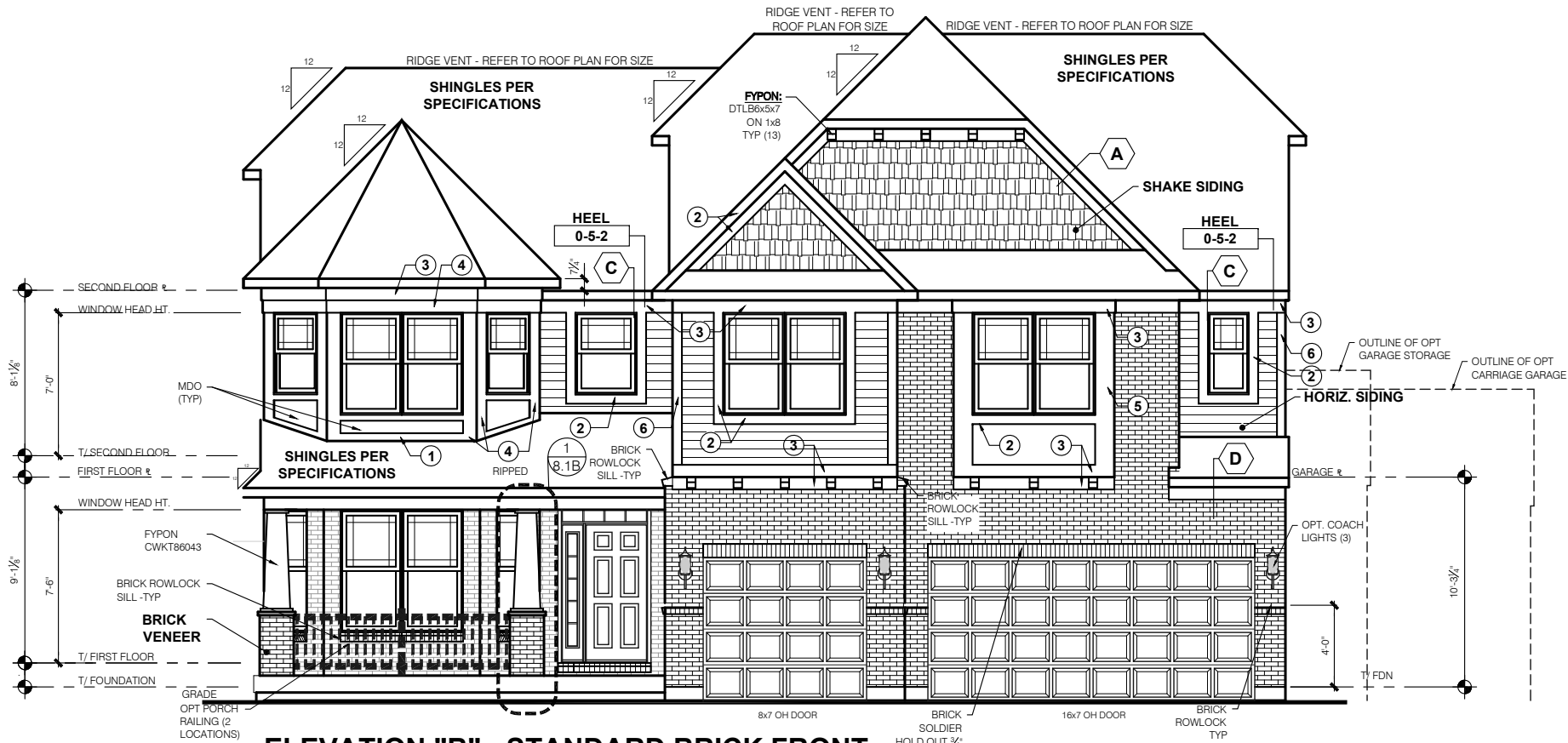
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Elevations

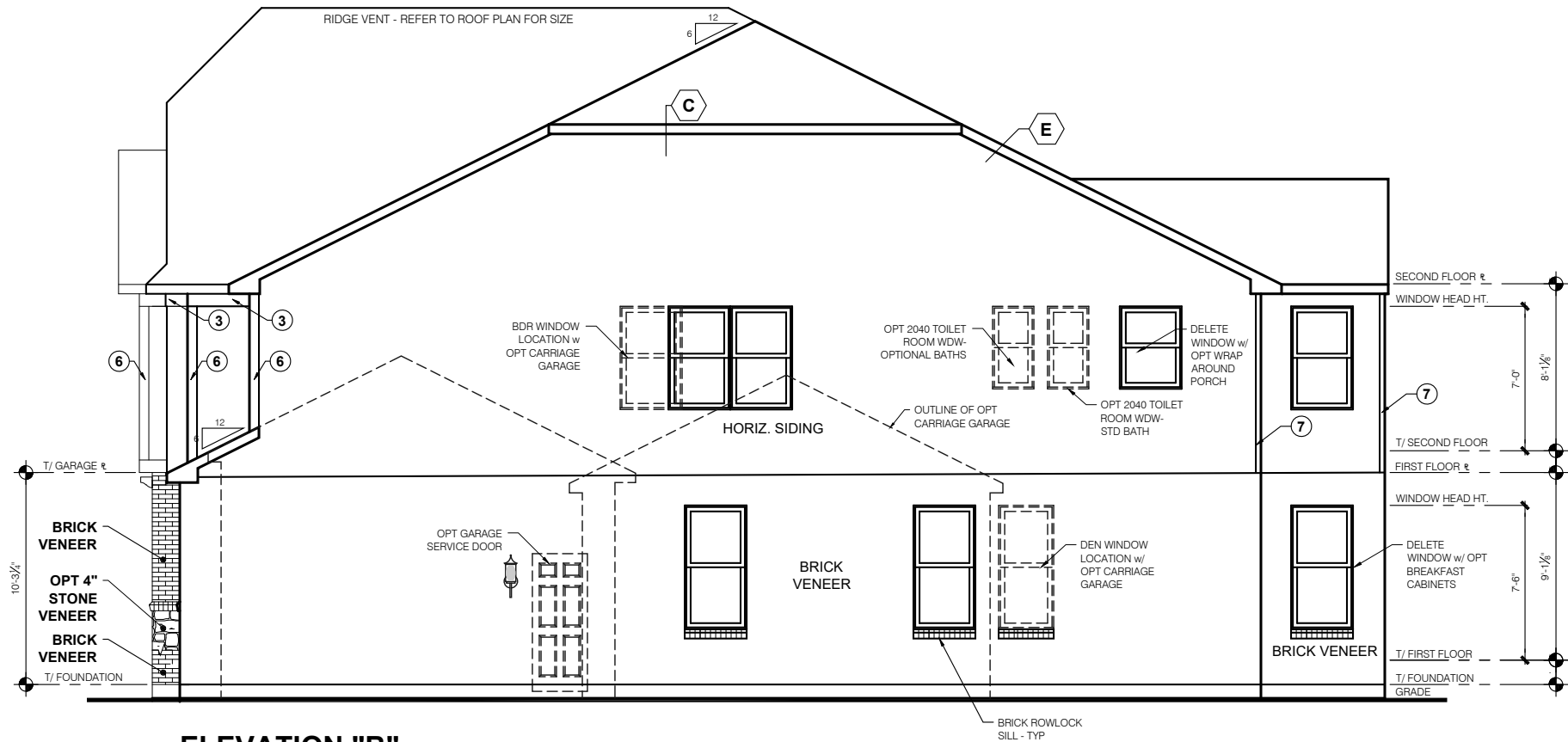
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ELEVATION "B" - STANDARD BRICK FRONT
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "B"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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1

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2

= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

3

= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

4

= 10" TRIM

5

= 12" TRIM

6

FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS

7

REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

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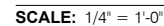
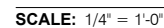
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Front and Garage Elevations

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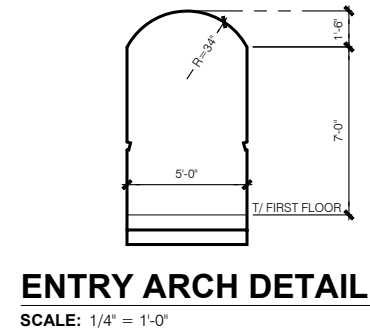


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ELEVATION "C"
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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**SEE SHT C1.1 FOR
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11x17 PRINTS ARE 1/2 SCALE

Job #:	####
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	----
Sheet Title : Front and Garage Elevations	

Sheet:

1.0C



TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
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2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS
<p><u>DIVISION NOTE:</u></p> <p>IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.</p>	

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

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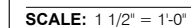
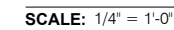
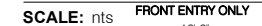
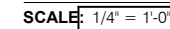
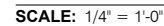
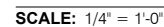
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Sheet Title : Front Elevations - Material Options	

Sheet:

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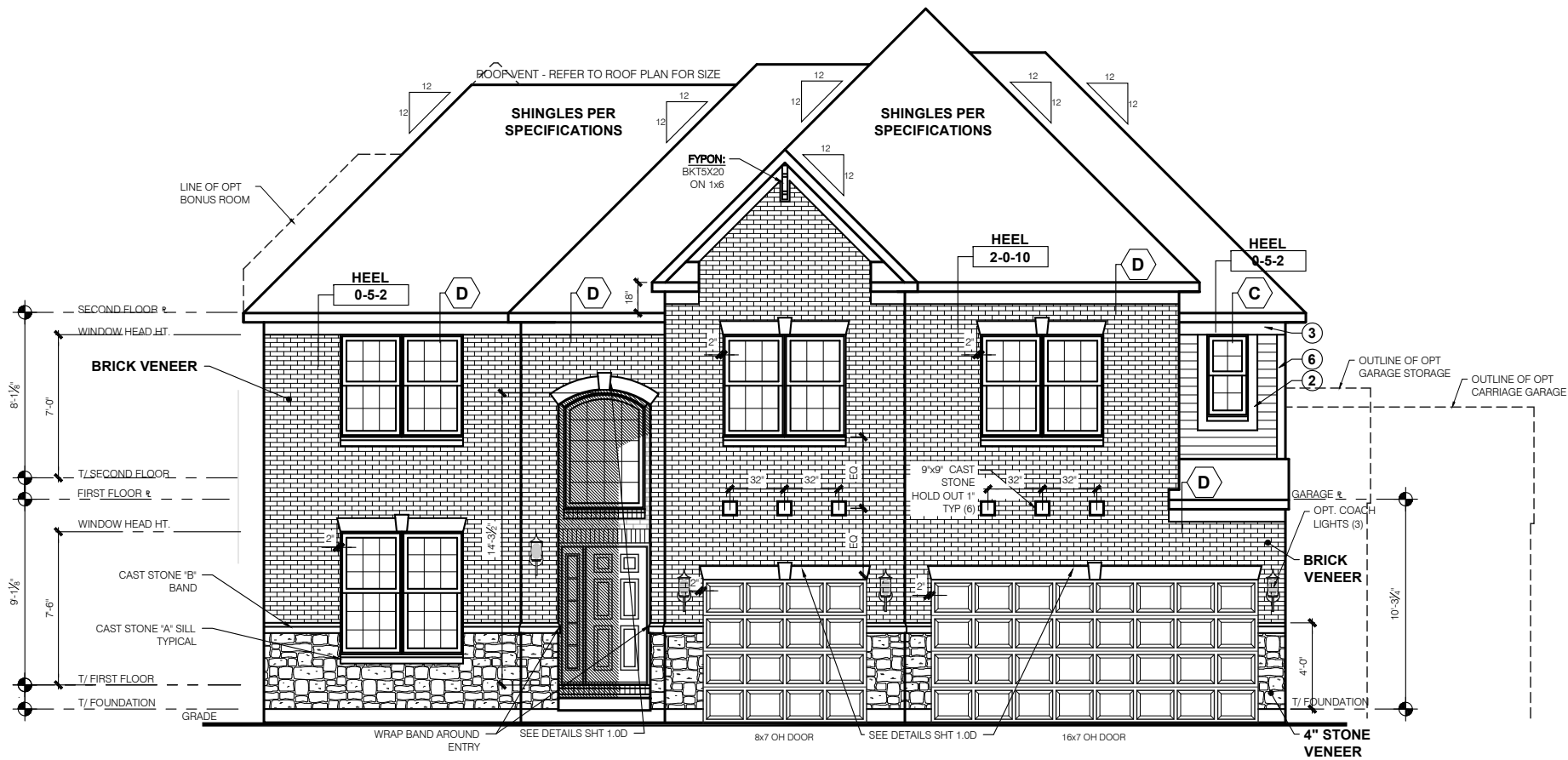
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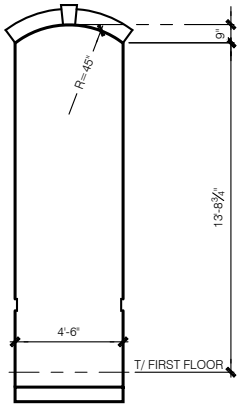
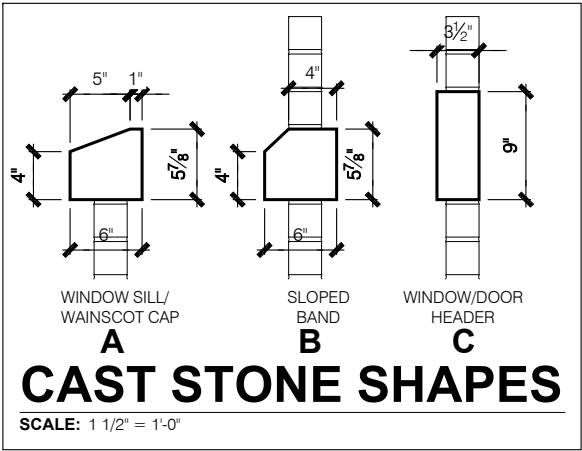
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meet:

1.0D



ELEVATION "D" - OPT STONE WAINSCOT FRONT ELEVATION
SCALE: 1/4" = 1'-0" STONE SHOWN IS 4" NOMINAL CAST STONE



ENTRY ARCH DETAIL
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

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⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

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11x17 PRINTS ARE ½ SCALE

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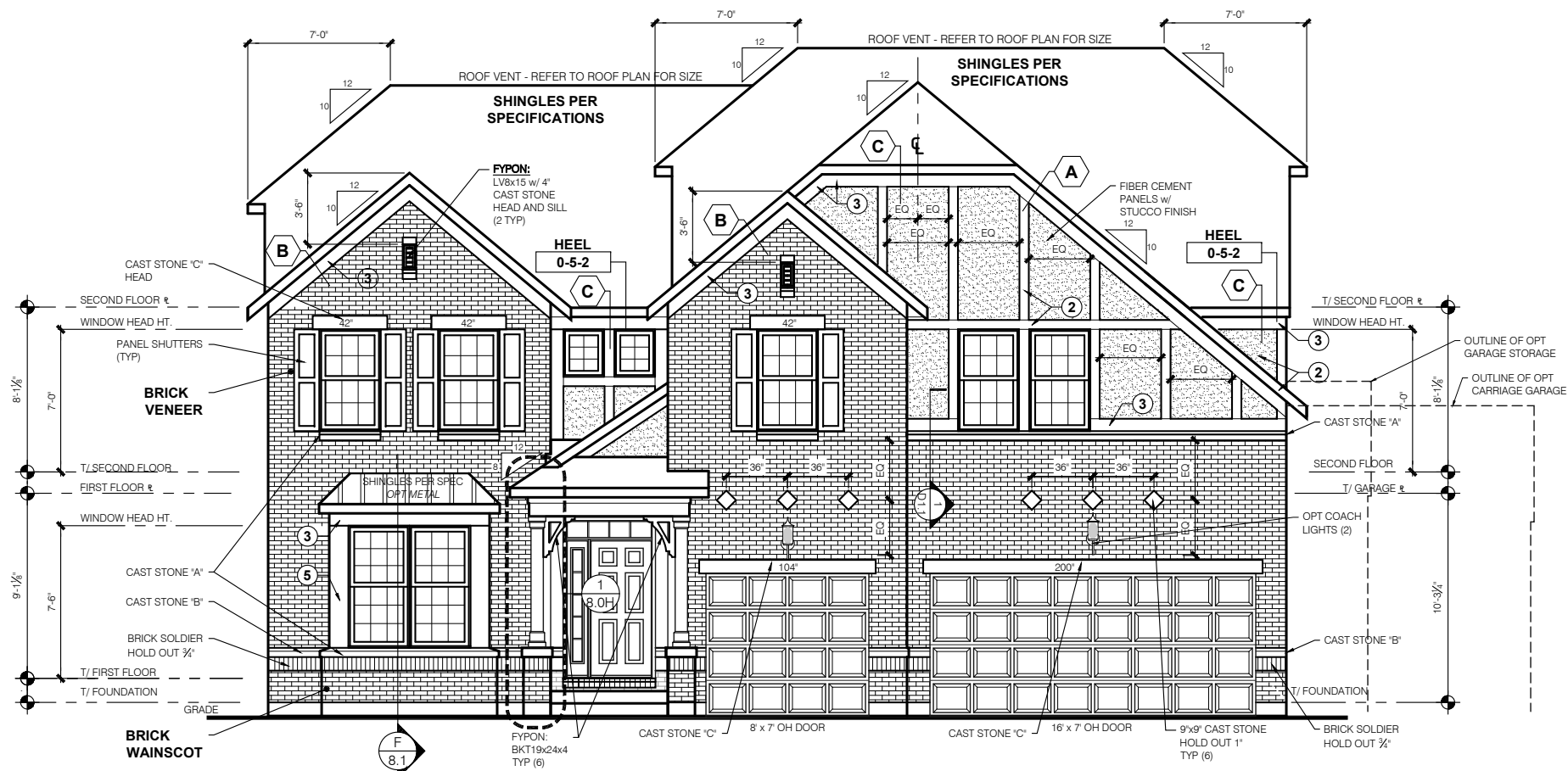
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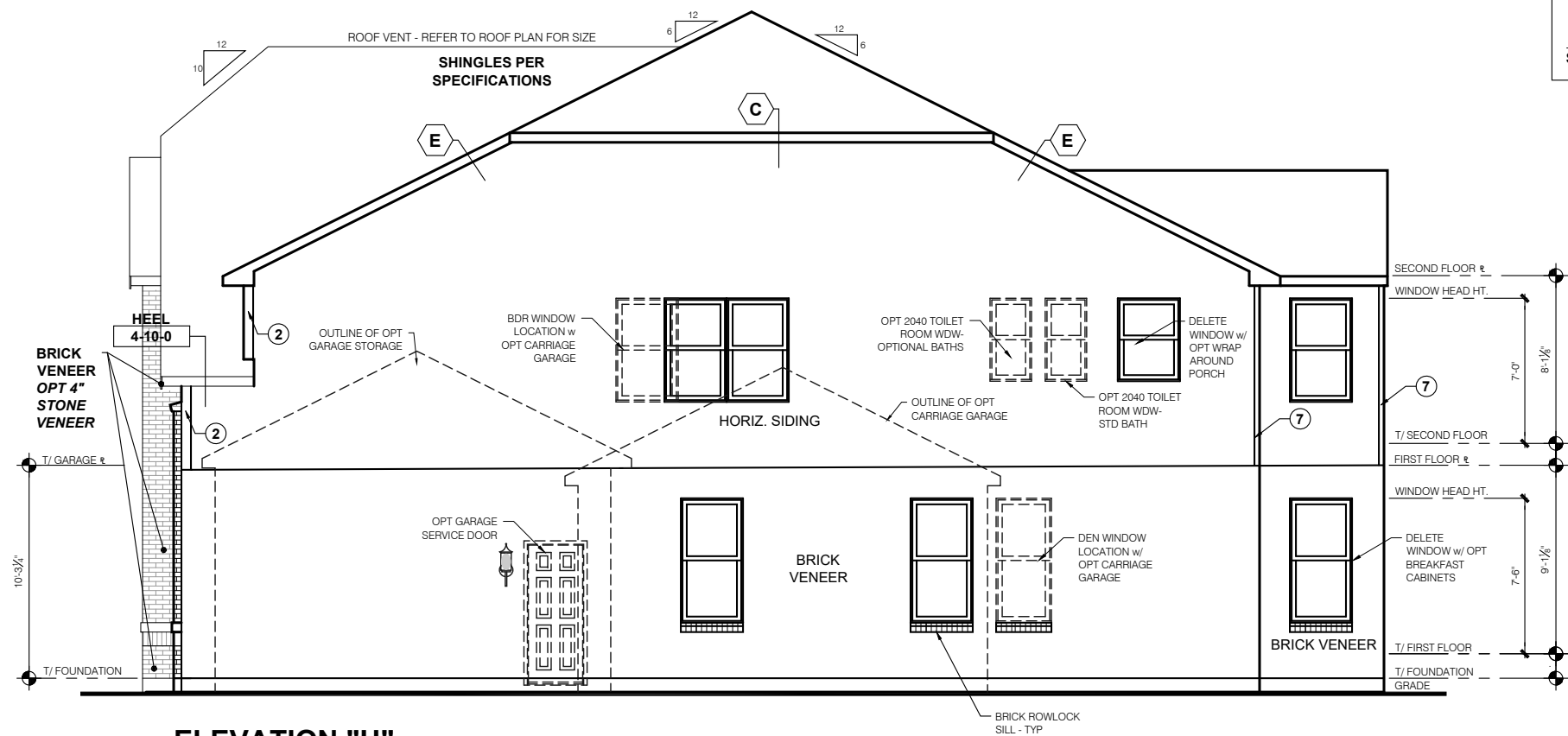
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LSP Rev: ---

Sheet Title :
Front Elevations -
Material Options

Sheet:



**ELEVATION "H"
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

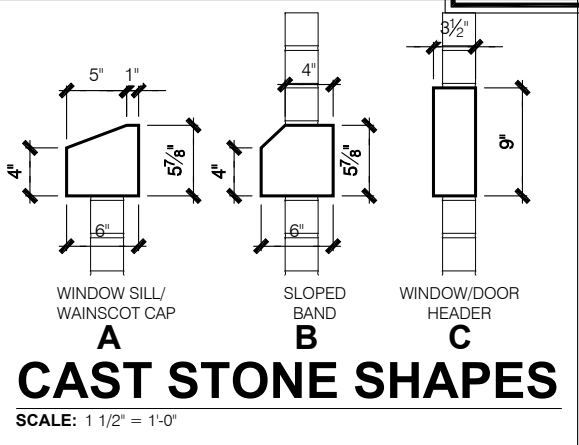


**ELEVATION "H"
GARAGE SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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SEE SHT C1.1 FOR
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LSP By: BY

LSP Rev: ---

Sheet Title :
Front and Garage
Elevations

Sheet:



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW/DOOR LINTELS:
SEE SHEET D6.0 FOR WINDOW & DOOR
LINTEL SCHEDULE WHEN BRICK OR
4" NOMINAL STONE IS USED

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11x17 PRINTS ARE 1/2 SCALE

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Sheet Title :		
Front and Garage		
Side Elevations		

Sheet:

1.0A



SCALE: 1/4" = 1'-0"



SCALE: $1/4'' = 1'-0''$



11x17 PRINTS ARE 1/2 SCALE

WINDOW/DOOR LINTELS:
SEE SHEET D6.0 FOR WINDOW & DOOR
LINTEL SCHEDULE WHEN BRICK OR
4" NOMINAL STONE IS USED

SEE SHEET D1.0 FOR EAVE DETAILS

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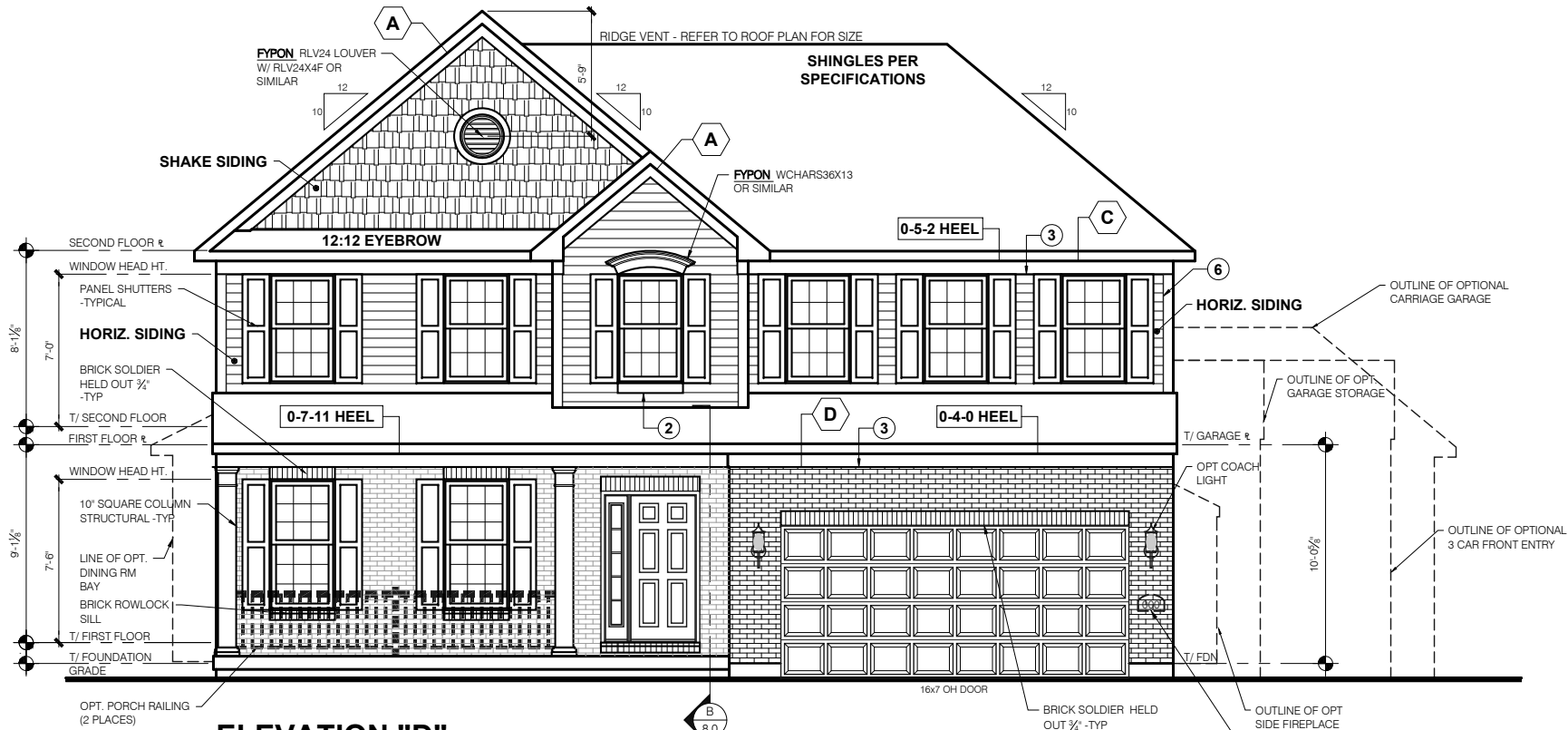
Morrison

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LSP Rev: ----	
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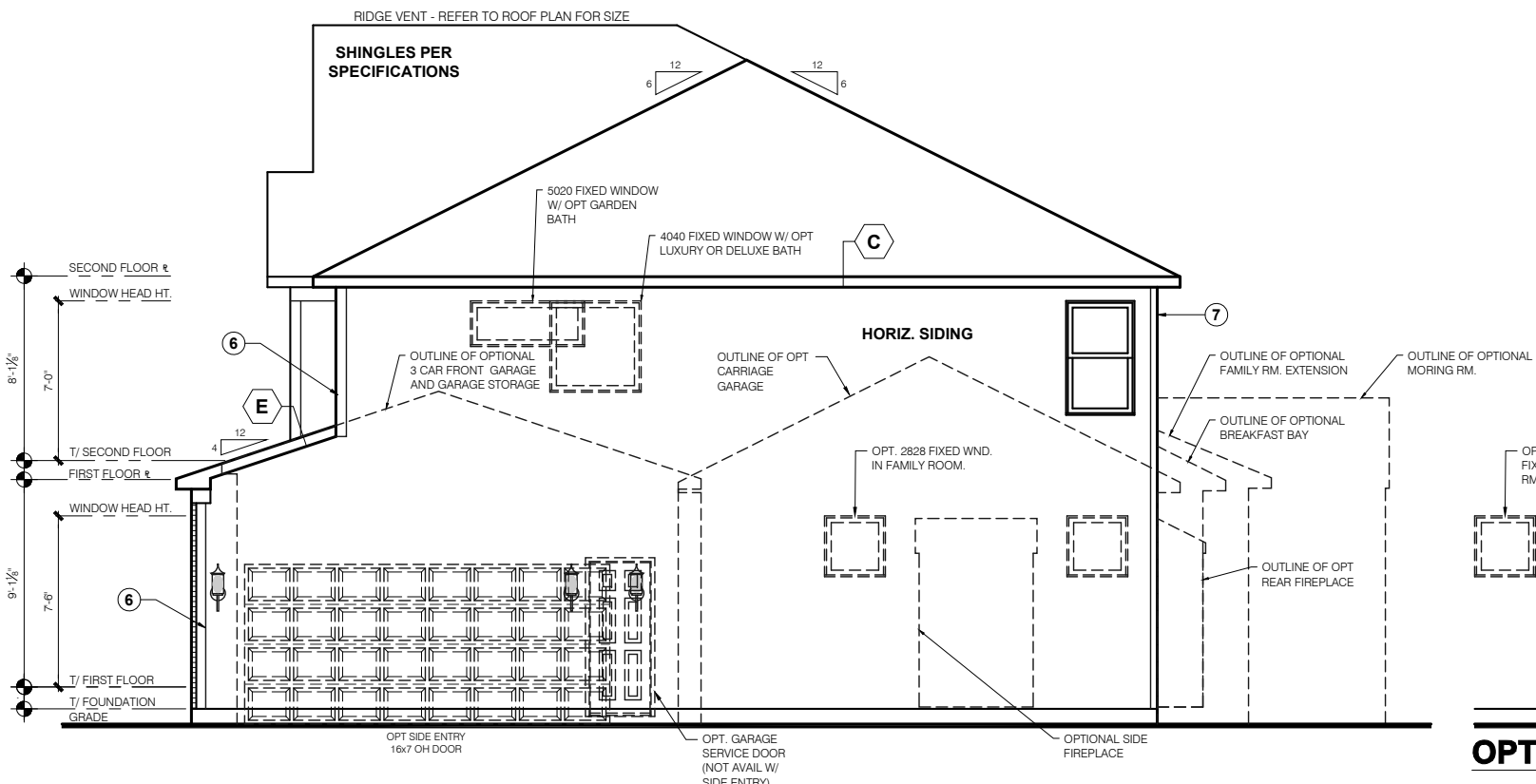
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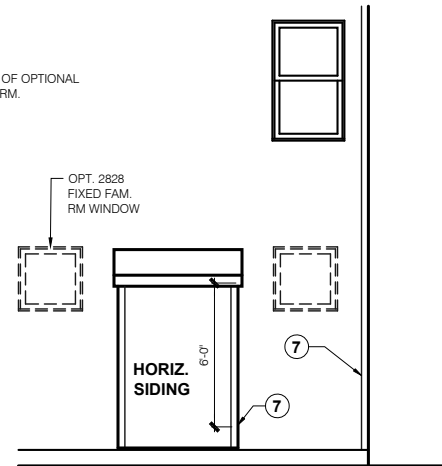
ELEVATION "D"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

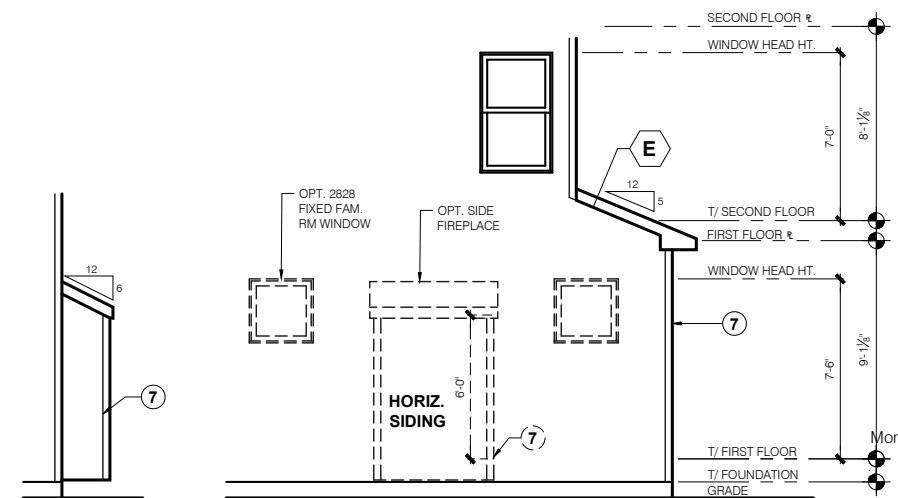


ELEVATION "D"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



OPT SIDE FIREPLACE



OPT EXTENDED FAMILY ROOM
GARAGE SIDE ELEV

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WINDOW/DOOR LINTELS:
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11x17 PRINTS ARE 1/2 SCALE

RM Dining - Siding

LSP Date: x/x/xx

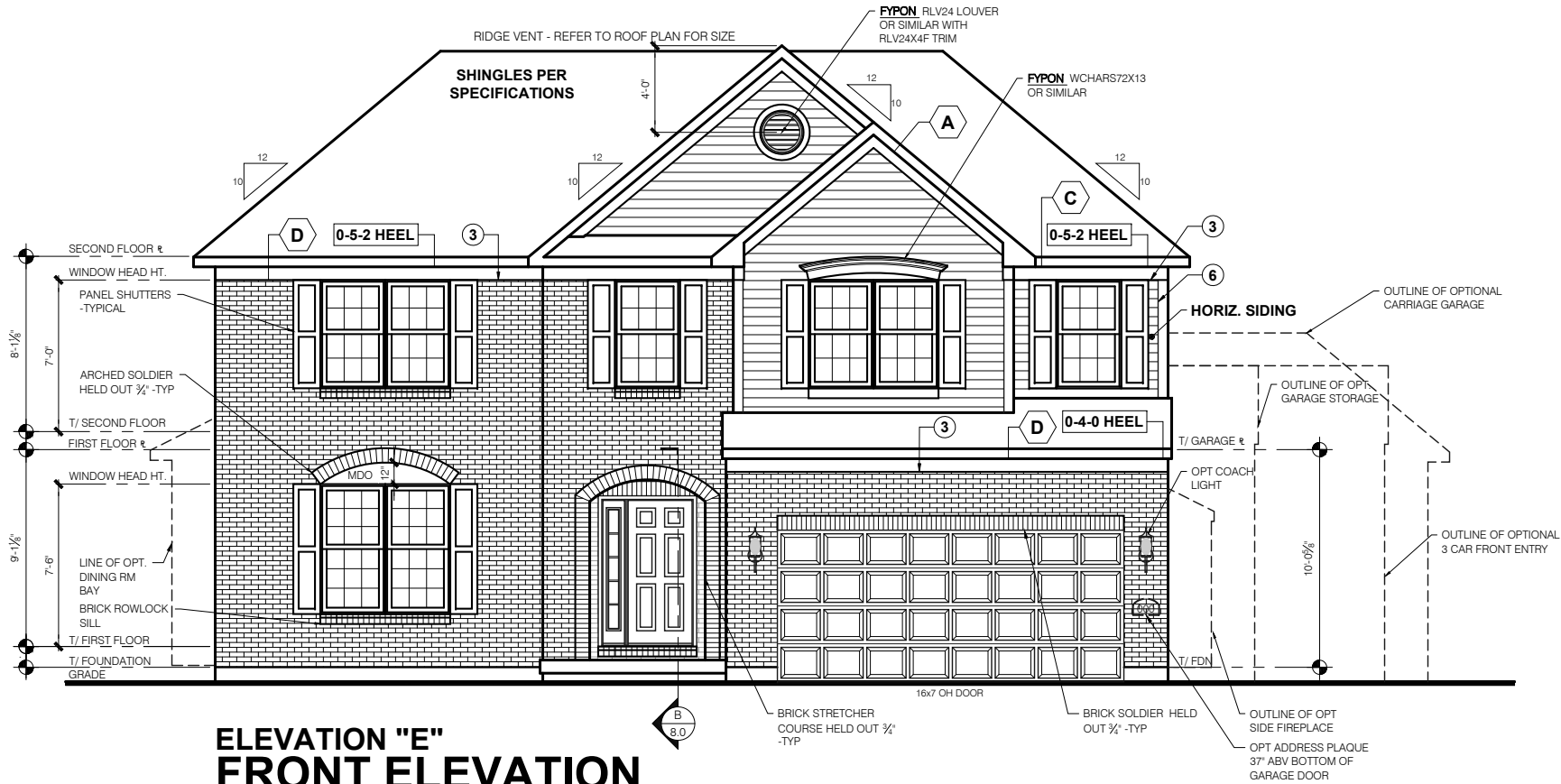
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LSP Rev: ---

Sheet Title :
Front and Garage
Side Elevations

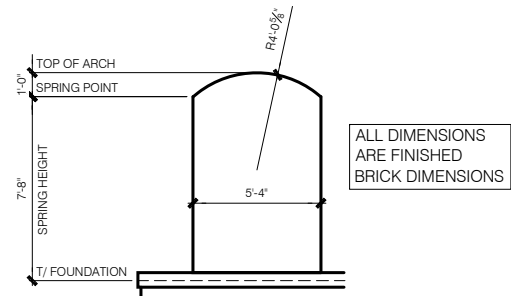
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ELEVATION "E"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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ENTRY DETAIL

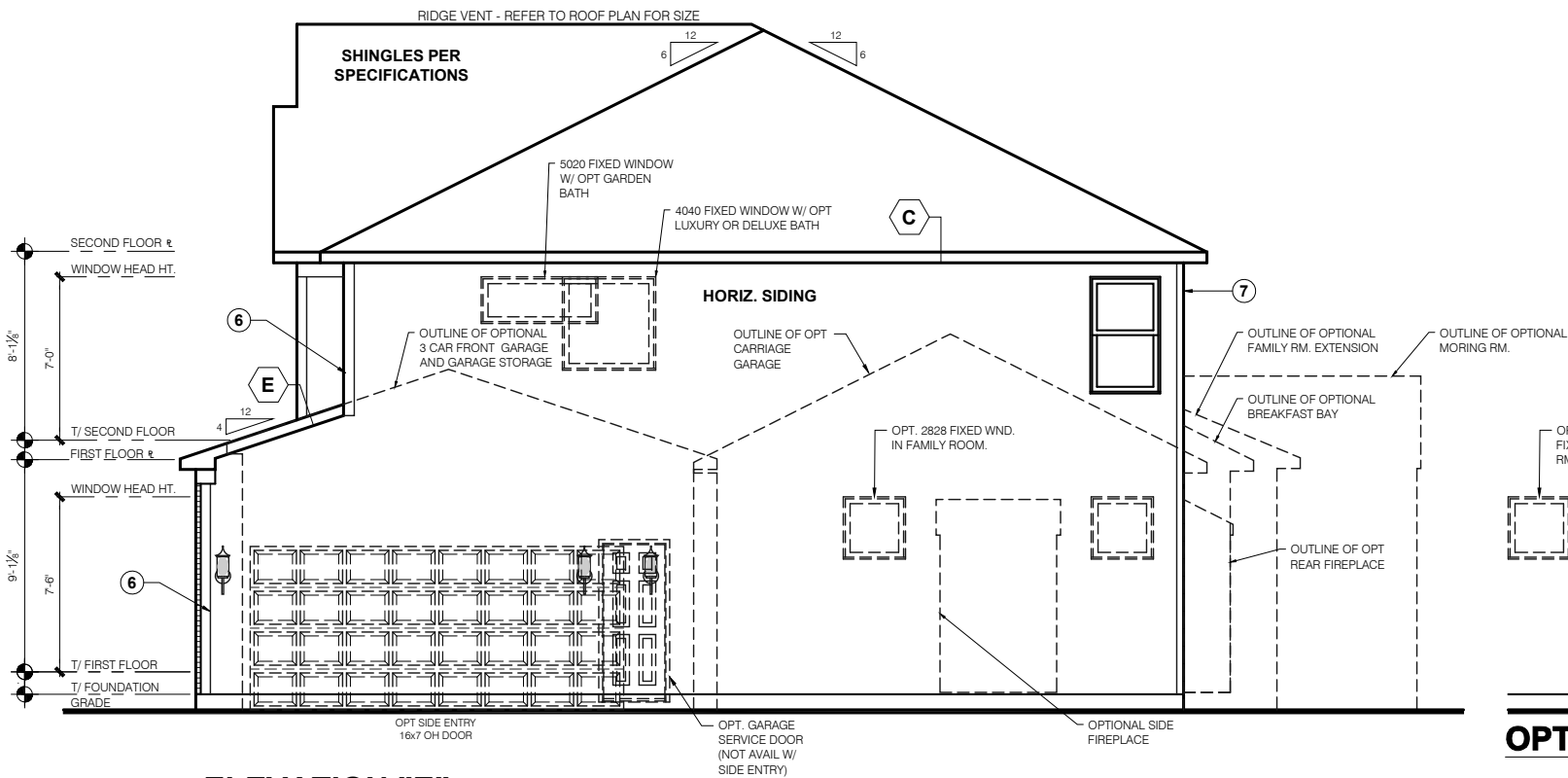
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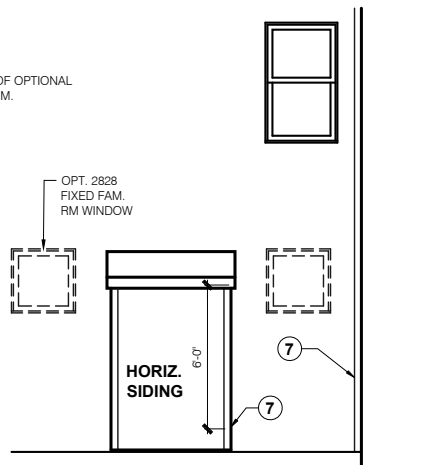
SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW/DOOR LINTELS:
SEE SHEET D6.0 FOR WINDOW & DOOR LINTEL SCHEDULE WHEN BRICK OR 4" NOMINAL STONE IS USED

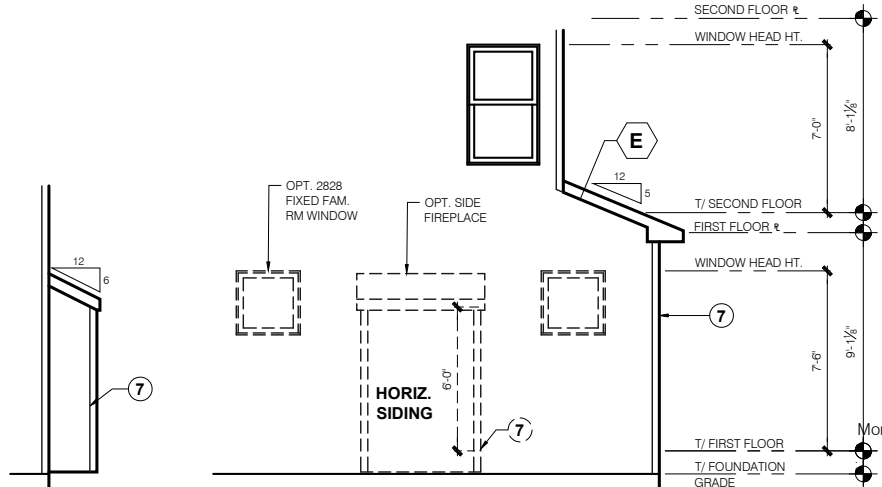


ELEVATION "E"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



OPT SIDE FIREPLACE



OPT EXTENDED FAMILY ROOM
GARAGE SIDE ELEV

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11x17 PRINTS ARE 1/2 SCALE

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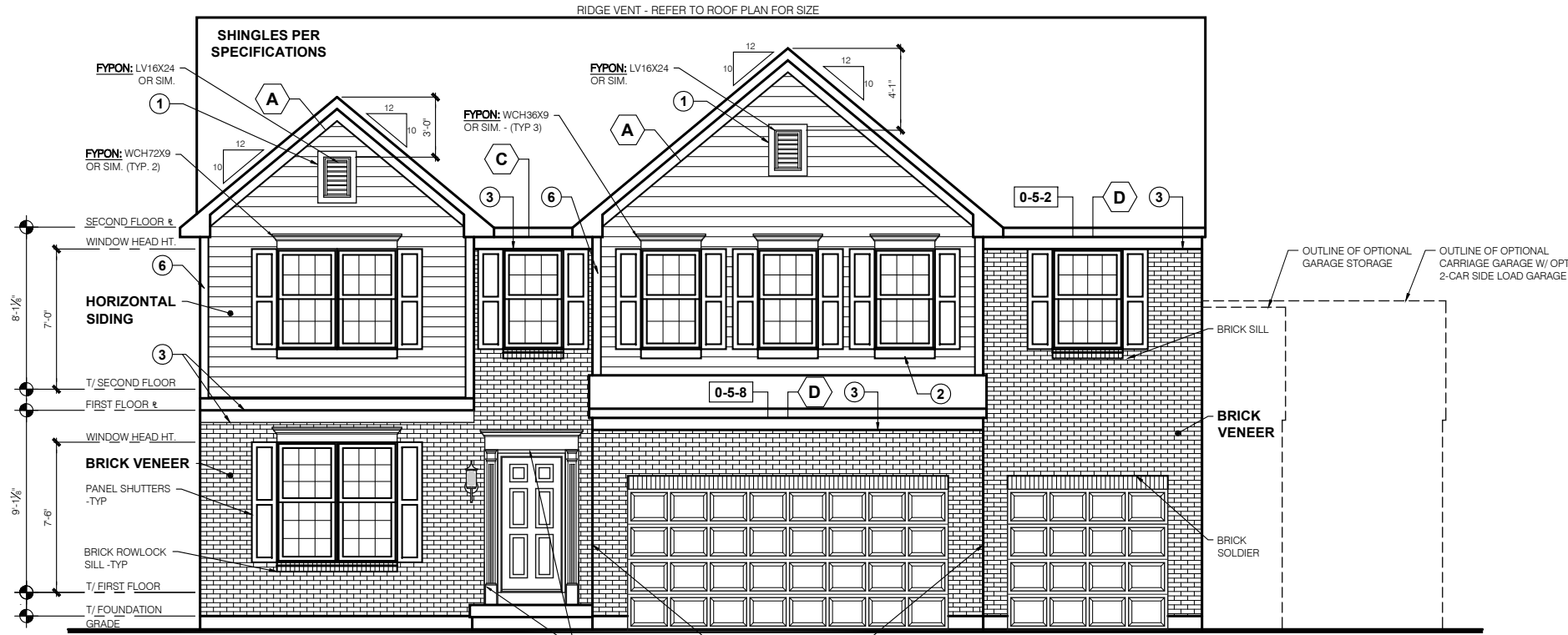
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Sheet Title :
Front and Garage
Side Elevations

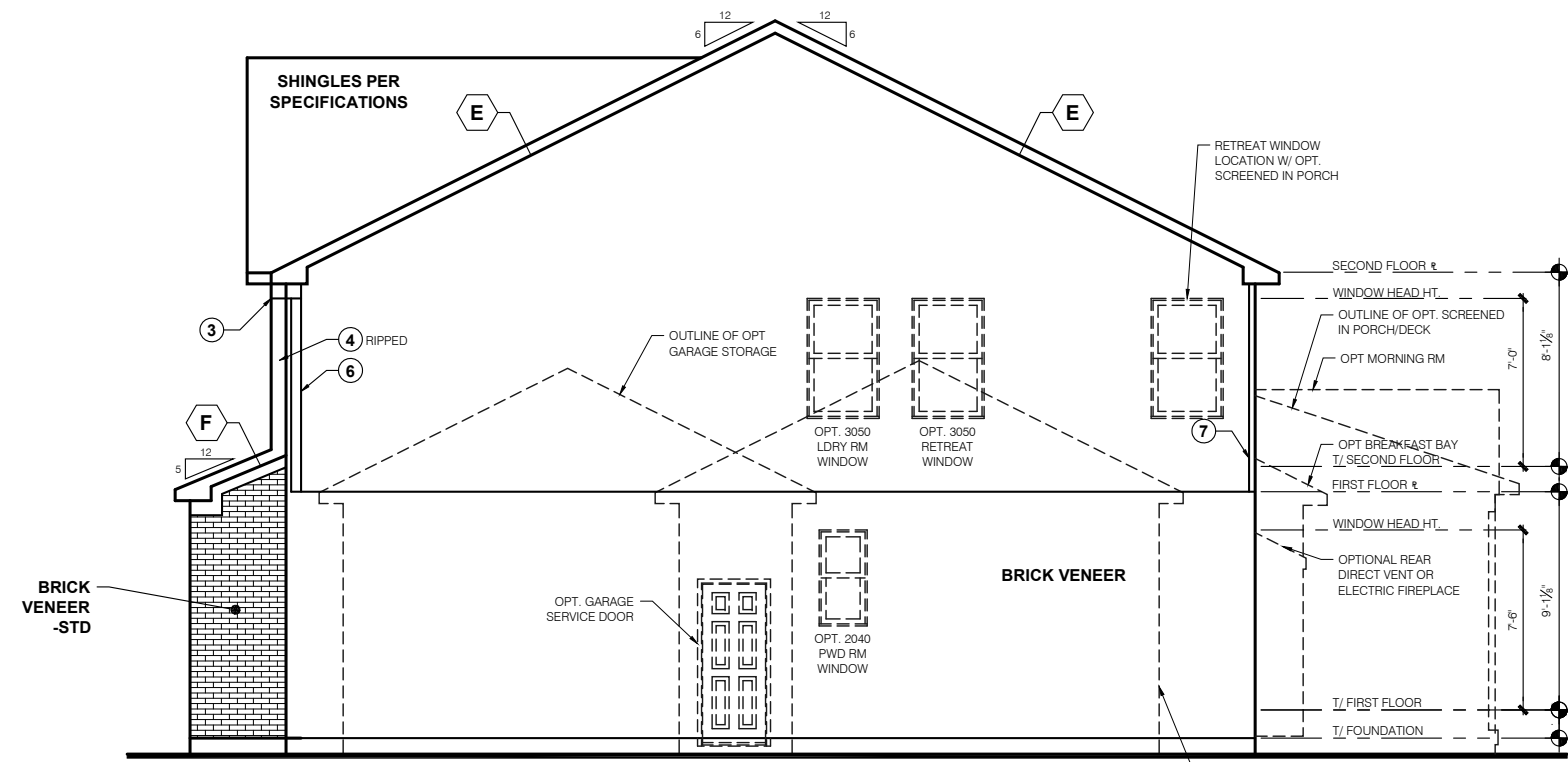
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ELEVATION A-BRICK FRONT
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION A
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

MORNING ROOM
GARAGE SIDE ELEVATION

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1-6-24

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LSP By:

BY

LSP Rev:

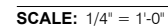
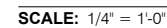
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Front and Garage Side Elevations

Sheet:

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11x17 PRINTS ARE 1/2 SCALE



**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

1-6-24



SCALE: $1/4'' = 1'-0''$



SCALE: 1/4" = 1'-0"



SCALE: $1/4'' = 1'-0''$



**SEE SHT C1.1 FOR
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11x17 PRINTS ARE 1/2 SCALE

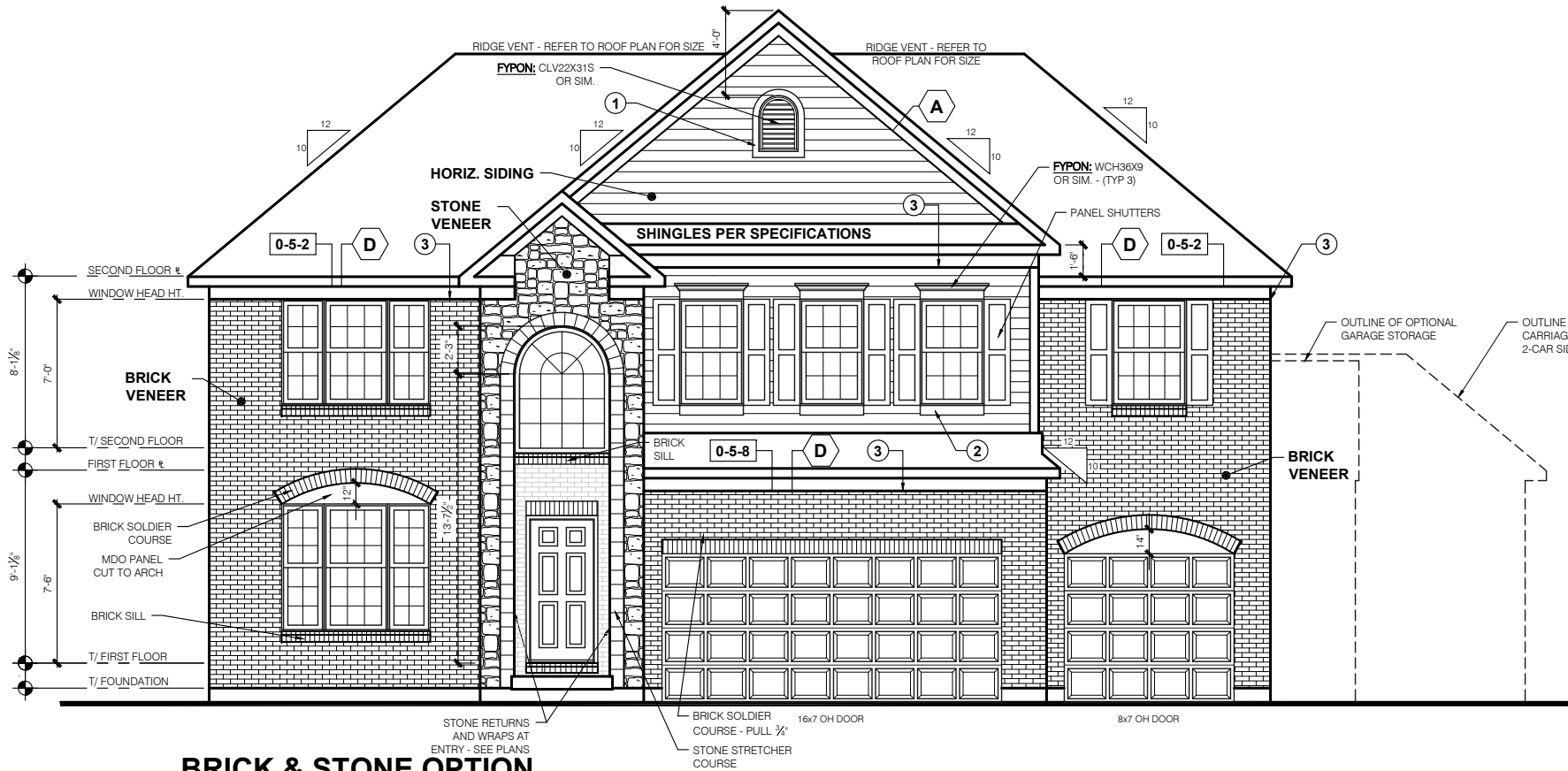
Nicholas

1-6-24

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LSP By:	BY
LSP Rev:	----
Sheet Title : Front and Garage Side Elevations	

Sheet:

1.0D

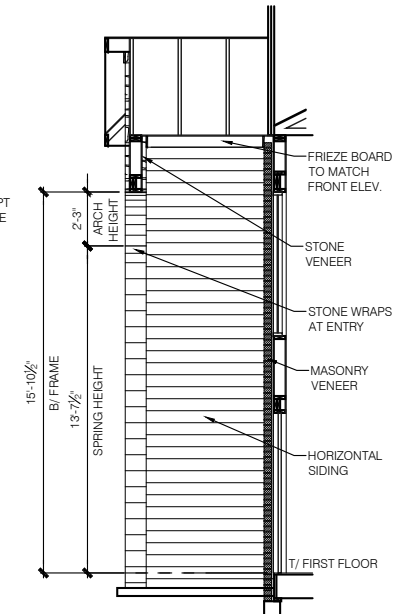


BRICK & STONE OPTION
ELEVATION D
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE VENEER INSTALLATION NOTES:

1. APPLY OSB SHEATHING TO ALL AREAS THAT WILL HAVE STONE APPLIED.
2. INSTALL AND FLASH ALL WINDOWS AND DOORS. FLASHING SHOULD EXTEND PAST ANY TRIM THAT WILL BE APPLIED LATER.
3. APPLY ICE AND WATER SHIELD TO ALL INSIDE AND OUTSIDE CORNERS THAT WILL HAVE STONE ADJACENT TO THEM. EXTEND TO 18" EACH SIDE OF CORNER.
4. INSTALL WEEP SCREEN BELOW BOTTOM COURSE OF STONE
5. APPLY 2 LAYERS TYVEK OR OTHER WEATHER PROOF MEMBRANE OVER OSB AND ICE AND WATER SHIELD. LAP OVER WEEP SCREEN FLANGE
6. APPLY METAL LATH AND SCRATCH COAT OF MORTAR.
7. INSTALL ALL TRIM, FYPONS, ETC.. OVER SCRATCH COAT. INSTALL PRESSURE TREATED BLOCKS SO THAT SHUTTERS ARE ON TOP OF STONE.
8. INSTALL STONE VENEER.



SIDING
ELEVATION D AT ENTRY
PARTIAL SECTION

SCALE: 1/4" = 1'-0"

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SEE SHEET D1.0 FOR EAVE DETAILS

WINDOW GRID NOTE:

- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
- *GRID PATTERNS TO MATCH FRONT ELEVATION

11x17 PRINTS ARE 1/2 SCALE

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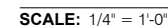
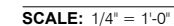
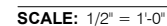
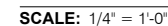
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Sheet Title :
Front Elevations - Options

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MORNING ROOM
GARAGE SIDE ELEVATION

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SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

CLASSIC SERIES



M/I HOMES

11x17 PRINTS ARE 1/2 SCALE

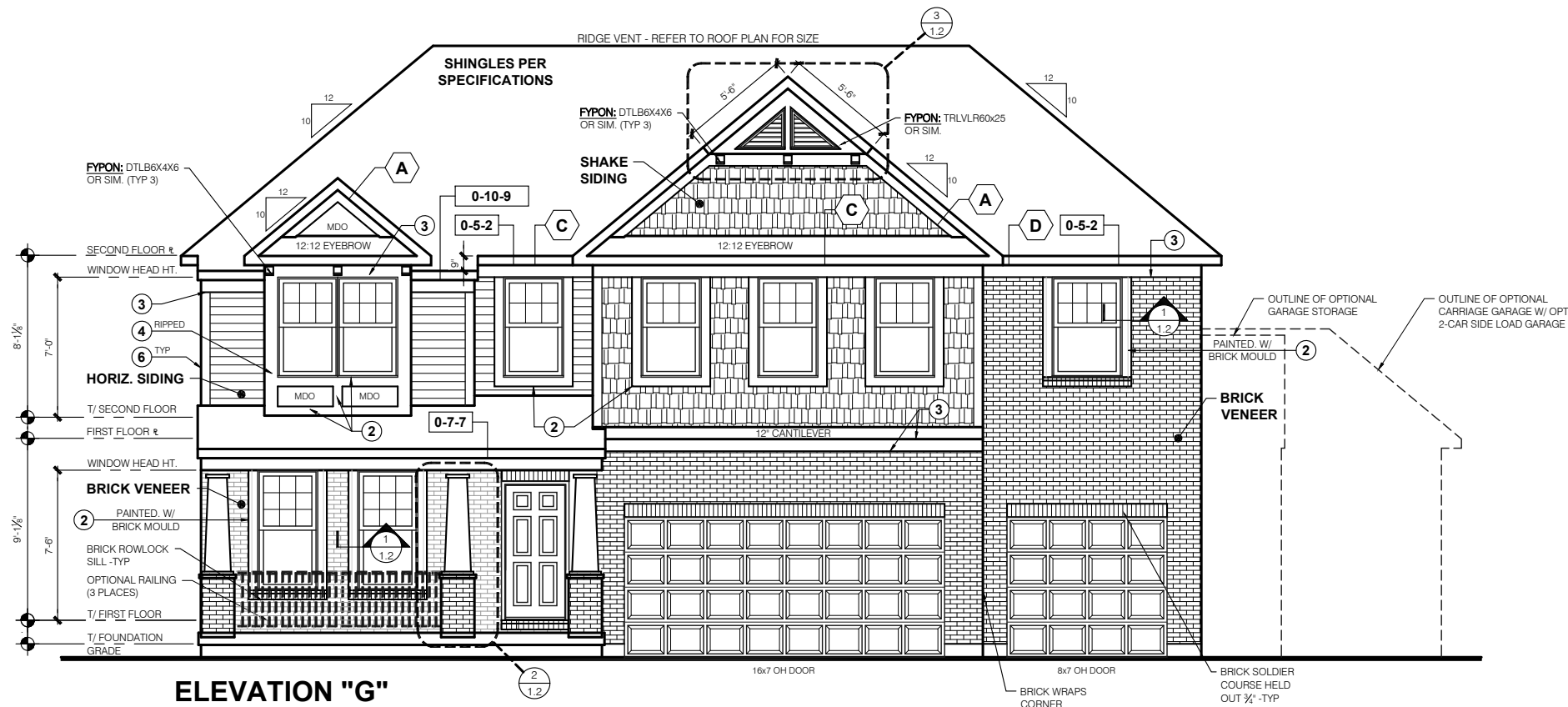
Nicholas

1-6-24

Job #:	----
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	----
Sheet Title : Front and Garage Side Elevations	

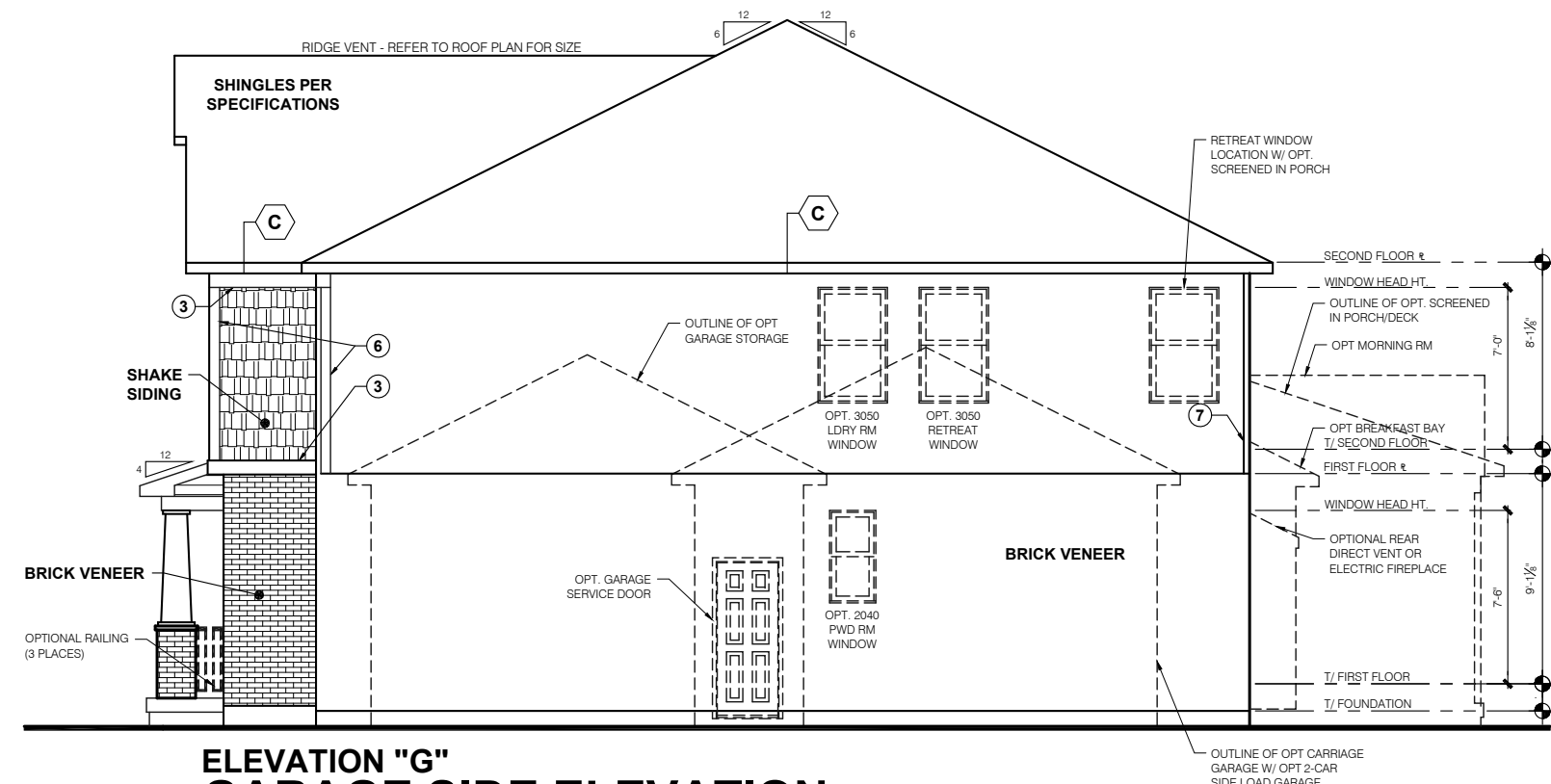
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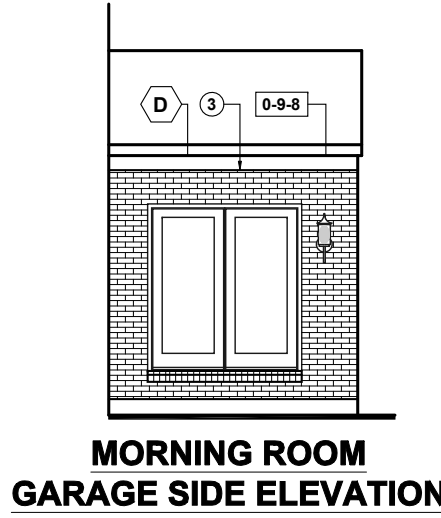
ELEVATION "G"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "G"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



MORNING ROOM
GARAGE SIDE ELEVATION

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1

= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)

2

= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

3

= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

4

= 10" TRIM

5

= 12" TRIM

6

FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS

7

REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:

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SEE SHT C1.1 FOR LINTEL SCHEDULE

SEE SHEET D1.0 FOR EAVE DETAILS

CLASSIC SERIES

2010 M/I Homes

M/I Homes
Cincinnati Division
9349 Waterstone Blvd
Cincinnati, OH 45249
Ph 513.248.5400

Issued Date: 9-23-10

BASE PLAN REVISION:

29

1-18-2023

30

1-6-24

31

-

32

-

Nicholas

1-6-24

11x17 PRINTS ARE 1/2 SCALE

Job #: ###

LSP Date: x/x/xx

LSP By: BY

LSP Rev: ---

Sheet Title :
Front and Garage
Side Elevations

Sheet:
1.0G



SEE SHEET D1.0 FOR EAVE DETAILS

**SEE SHT C1.1 FOR
LINTEL SCHEDULE**

CLASSIC SERIES



M/I HOMES

11x17 PRINTS ARE 1/2 SCALE

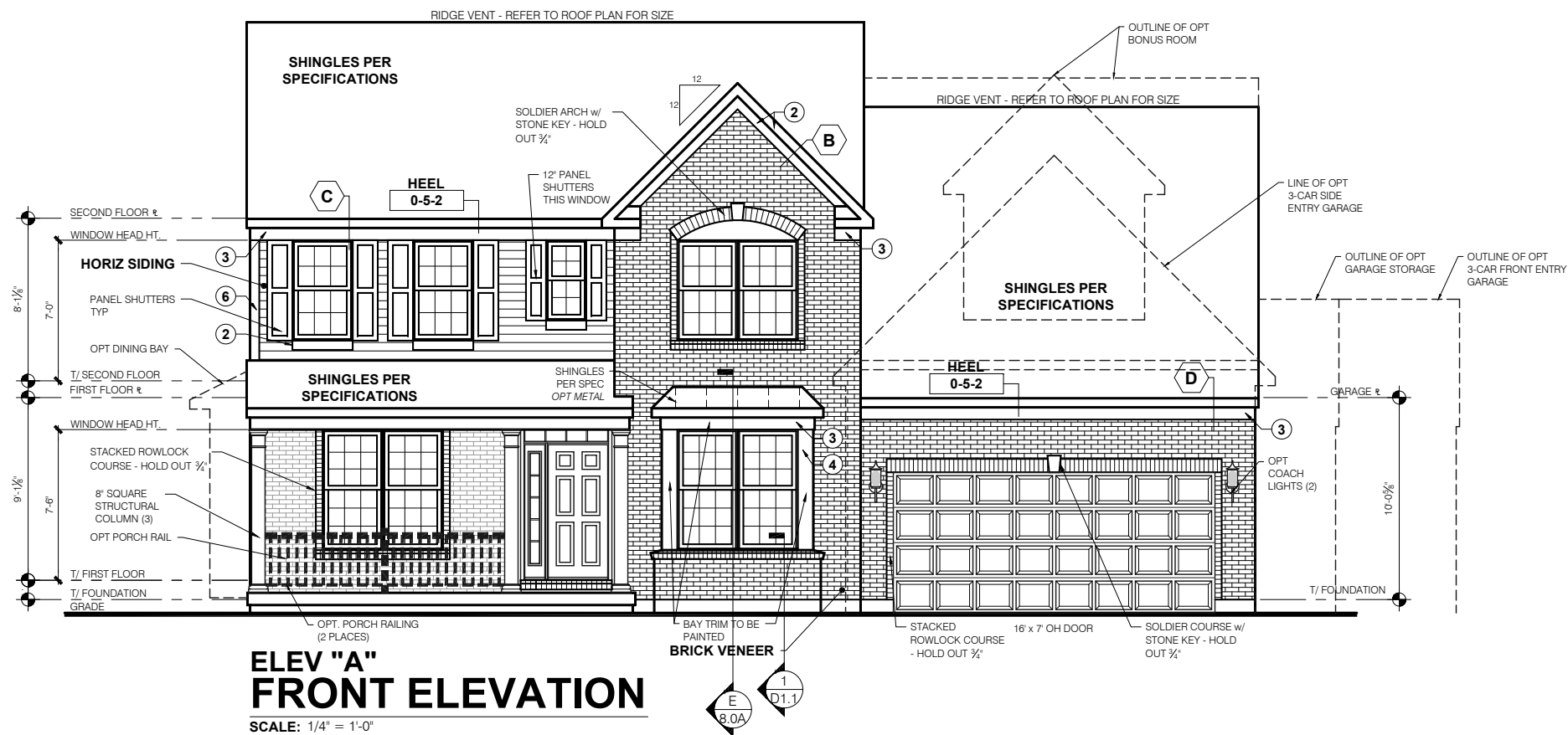
Nicholas

1-6-24

Job #:	####
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	----
Sheet Title : Front and Garage Side Elevations	

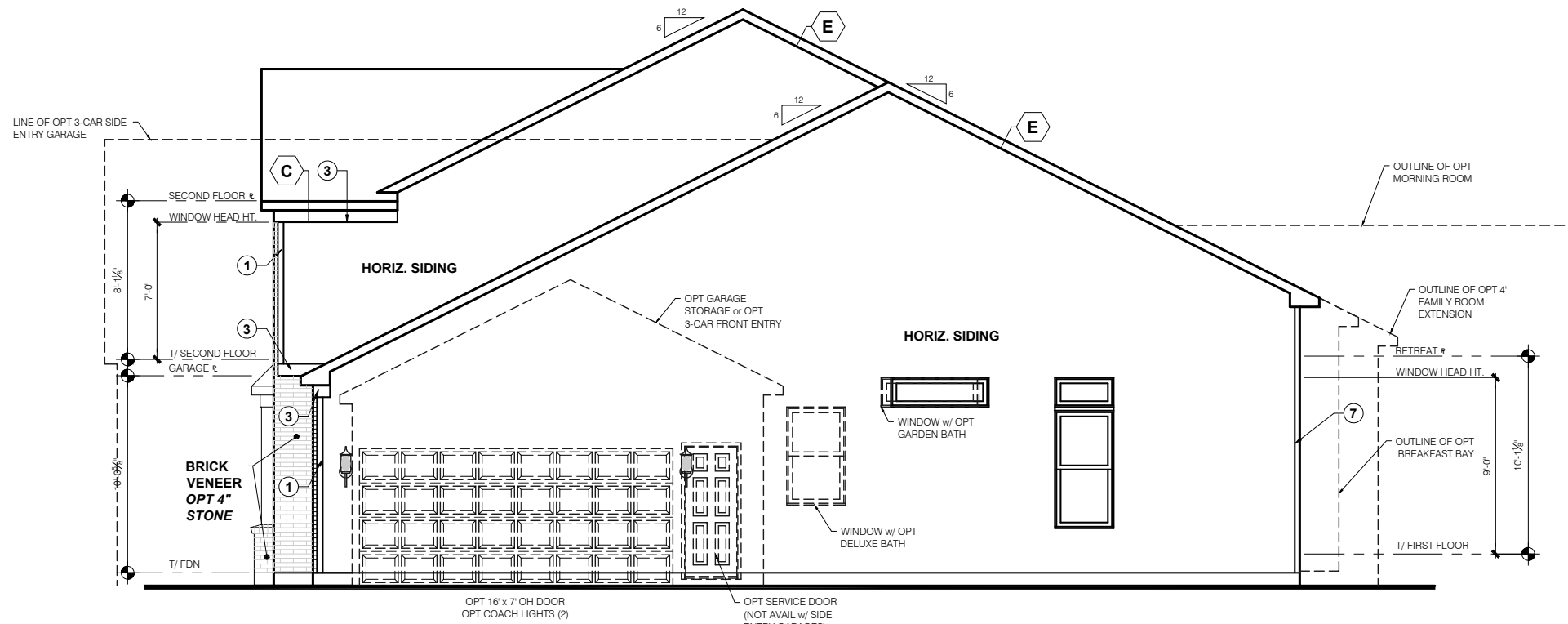
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1.0H



ELEV "A"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEV "A"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH
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③	= 8" TRIM	(1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM	
⑤	= 12" TRIM	
⑥	FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS	
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS	

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SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	6"
8'-11"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	4"x3 1/2"x4"	5"x3 1/2"x4"	6"
16'-11"	5"x3 1/2"x6"	6"x3 1/2"x6"	7"x4"x6"	7"x4"x6"	8"x4"x6"	6"

CLASSIC/SERIES

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Issued Date: 3-2-15
BASE PLAN REVISION:
10 5-31-2022
11 10-28-2022
12 1-12-2024
13

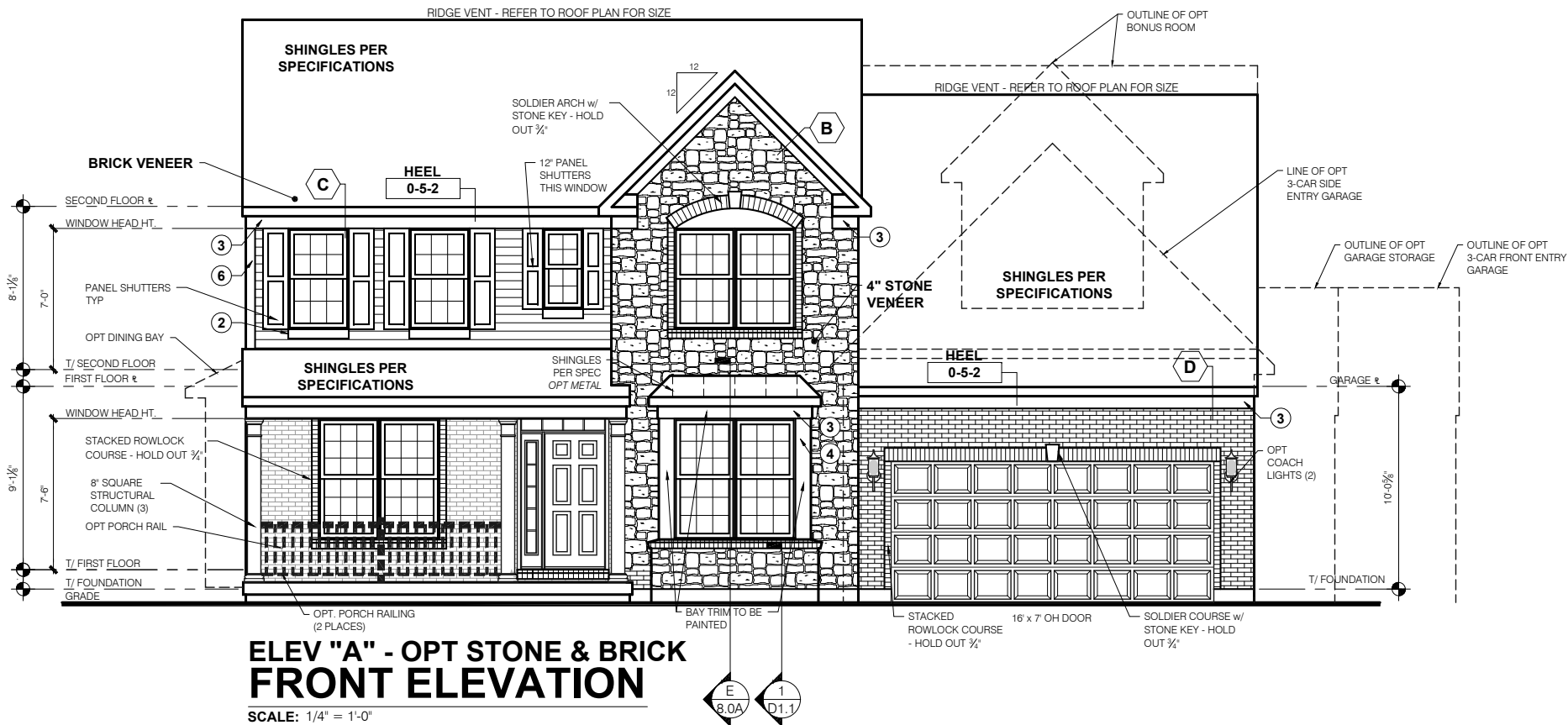
M/I Homes
Cincinnati Division
9349 Waterstone Blvd
Cincinnati, OH 45249
Ph 513.248.5400

M/I HOMES

TOLBERT
FINAL
1-12-2024

11x17 PRINTS ARE 1/2 SCALE

Tolbert New Kitchens
LSP Date: x/x/xx
LSP By: BY
LSP Rev: ---
Sheet Title :
Front and Garage
Elevations
Sheet:
1.0A



ELEV "A" - OPT STONE & BRICK
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL PER SELECTIONS

TYPICAL EXTERIOR TRIM FINISH
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④ = 10" TRIM

⑤ = 12" TRIM

⑥ FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS

⑦ REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

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SEE SHEET D1.0 FOR EAVE DETAILS

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	6"
8'-11"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	3 1/2"x3 1/2"x1/4"	4"x3 1/2"x1/4"	5"x3 1/2"x1/4"	6"
16'-11"	5"x3 1/2"x1/4"	6"x3 1/2"x1/4"	7"x4"x3/8"	7"x4"x3/8"	8"x4"x1/2"	6"

11x17 PRINTS ARE 1/2 SCALE

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Classic/Series

M/I Homes

Cincinnati Division

9349 Waterstone Blvd

Cincinnati, OH 45249

Ph 513.248.5400

TOLBERT

FINAL

1-12-2024

Tolbert New Kitchens

LSP Date: x/x/xx

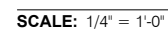
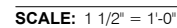
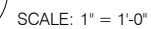
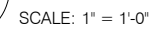
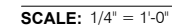
LSP By: BY

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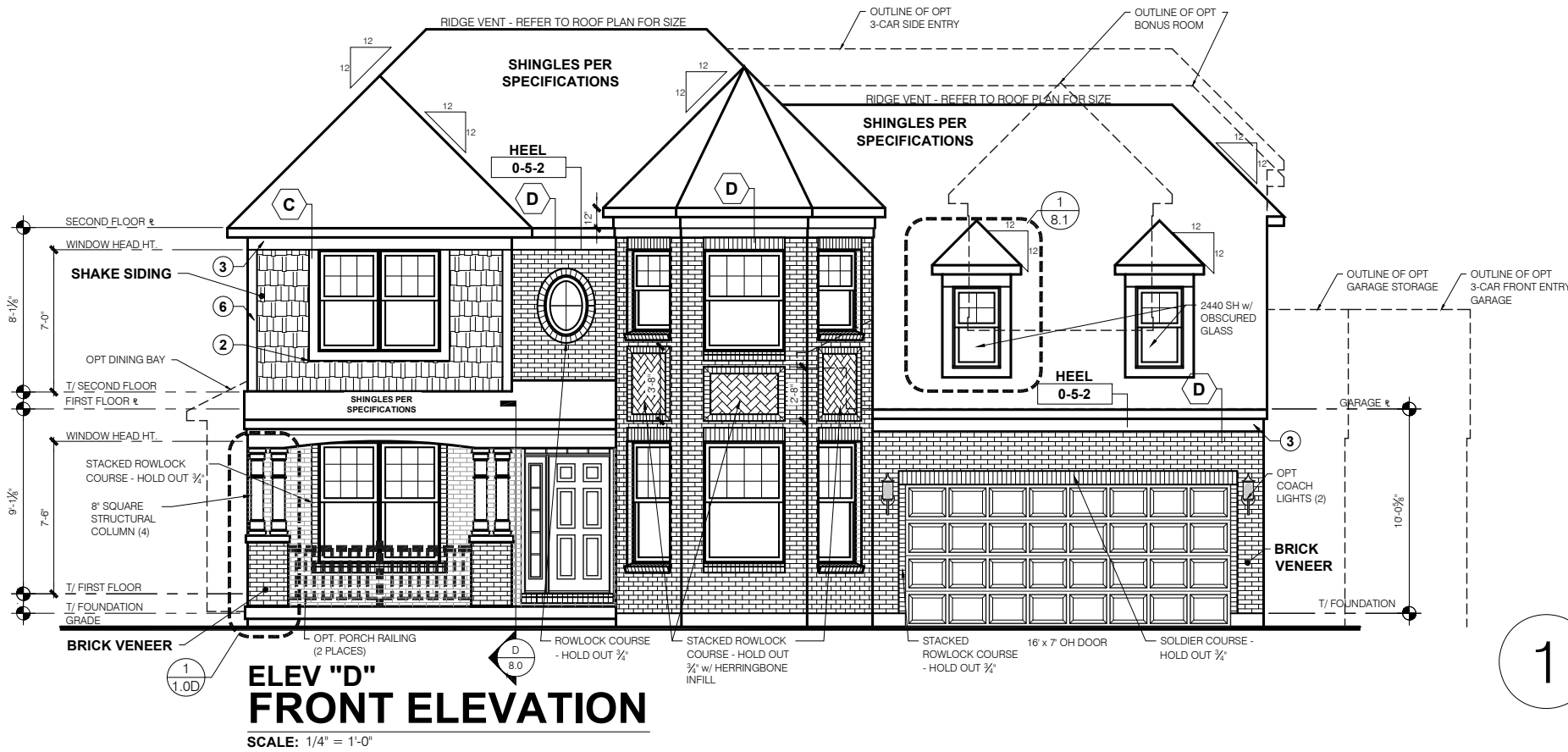
Sheet Title : Front Elevations - Material Options

Sheet:

1.2A

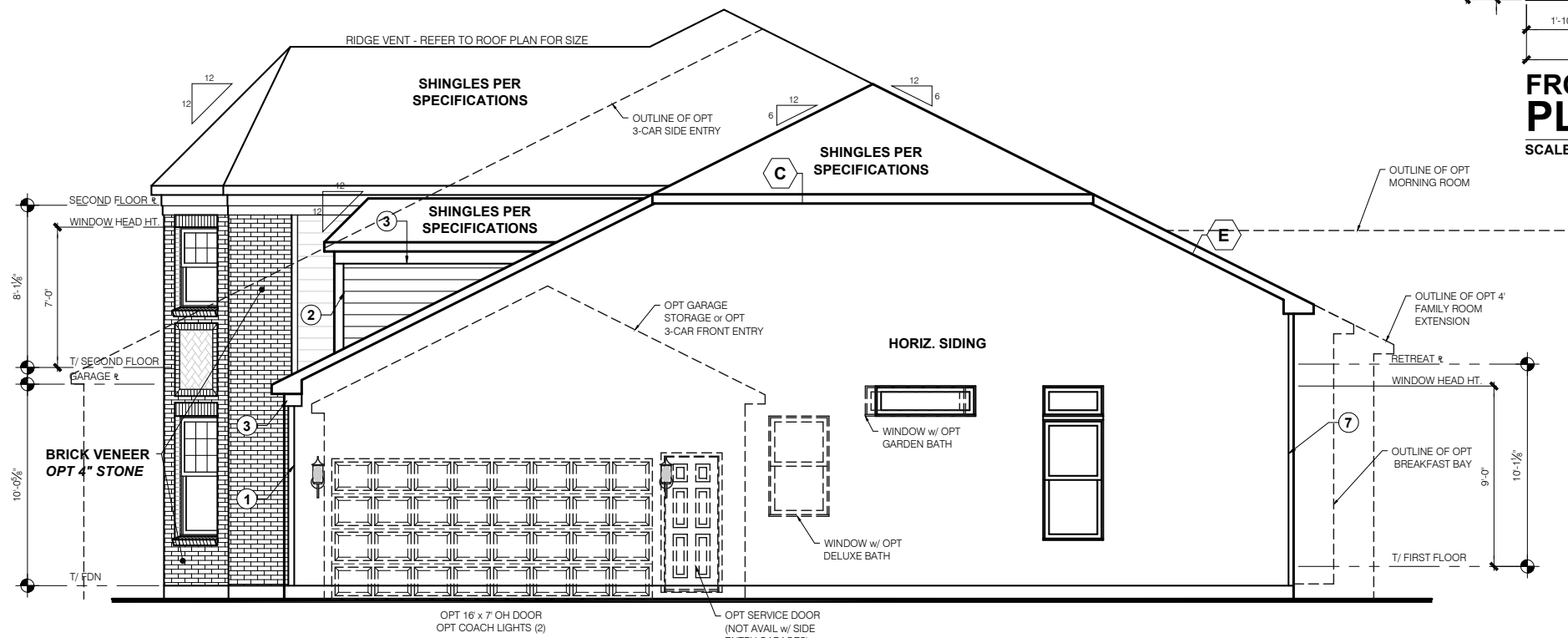


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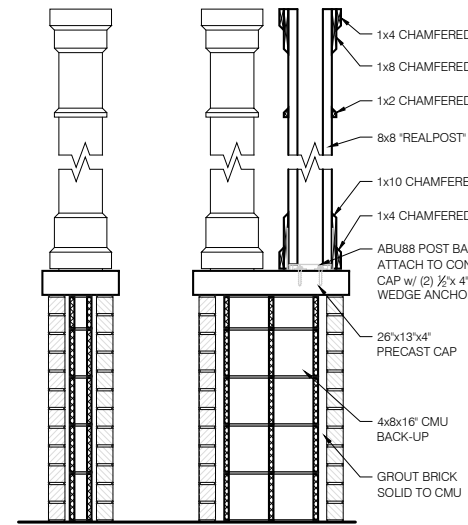
ELEV "D"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



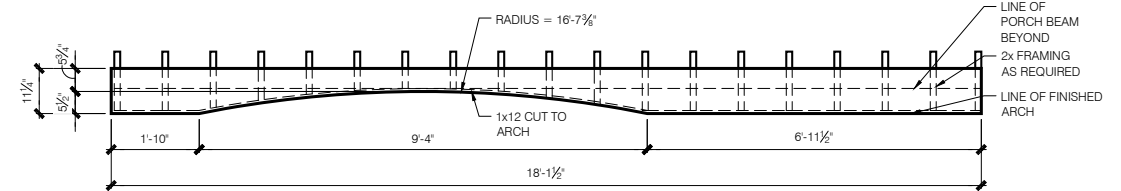
ELEV "D"
GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 PORCH COLUMNS

SCALE: 3/4" = 1'-0"



FRONT PORCH ARCH
PLAN / DETAIL

SCALE: 1/2" = 1'-0"

LINTEL SCHEDULE

MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	6"
8'-11"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	3 1/2"x3 1/2"x4"	4"x3 1/2"x4"	5"x3 1/2"x4"	6"
16'-11"	5"x3 1/2"x4"	6"x3 1/2"x4"	7"x4"x3 1/2"	7"x4"x3 1/2"	8"x4"x3 1/2"	6"

TYPICAL EXTERIOR TRIM FINISH

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- | | | |
|---|--|-----------------------------------|
| ① | = 4" TRIM | (1x4, 5/4x4, 3 1/2" VINYL LINEAL) |
| ② | = 6" TRIM | (1x6, 5/4x6, 5" VINYL LINEAL) |
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| ④ | = 10" TRIM | |
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| ⑥ | FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS | |
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Issued Date: 3-2-15

BASE PLAN REVISION:

10 5-31-2022

11 10-28-2022

12 1-12-2024

13

M/I Homes
Cincinnati Division
9349 Waterstone Blvd
Cincinnati, OH 45249
Ph 513.248.5400



TOLBERT
FINAL
1-12-2024

11x17 PRINTS ARE 1/2 SCALE

Tolbert New Kitchens

LSP Date: x/x/xx

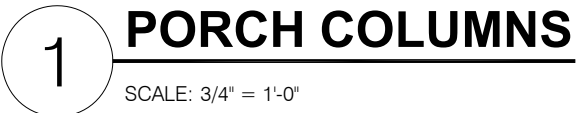
LSP By: BY

LSP Rev: ---

Sheet Title :
Front and Garage
Elevations

Sheet:

1.0D



SEE SHEET D1.0 FOR EAVE DETAILS

LINTEL SCHEDULE						
MAX SPAN	HEIGHT OF VENEER					BEARING
	8"	16"	24"	32"	GREATER THAN SPAN/2	
3' TO 6'	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	6"
8'-11"	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4}$	$4 \times 3\frac{1}{2} \times \frac{1}{4}$	$5 \times 3\frac{1}{2} \times \frac{1}{4}$	6"
16'-11"	$5 \times 3\frac{1}{2} \times \frac{1}{4}$	$6 \times 3\frac{1}{2} \times \frac{1}{4}$	$7 \times 4 \times \frac{1}{4}$	$7 \times 4 \times \frac{1}{4}$	$8 \times 4 \times \frac{1}{2}$	6"



CLASSIC/SERIES



TOLBERT
FINAL
1-12-2024

11x17 PRINTS ARE 1/2 SCALE

Job #: New Kitchens	
LSP Date:	x/x/xx
LSP By:	BY
LSP Rev:	---
Sheet Title : Front Elevations - Material Options	

Sheet:

1.2D

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☒ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner

☐ Agent

☐ Lessee

☐ Signed Purchase
Contract

APPLICANT NAME:

Easton Farm Partners

Address

155 West Central Avenue

Springboro, OH 45066

Telephone No.

(937) 560 - 2535

Fax No.

()

Email Address

jfontaine@borror.com & larry@dillincorp.com

PROPERTY OWNER NAME (IF OTHER): Ted & Rebecca Hall Living Trust and Cook Realty Trust

Address: 605 North Main Street, Springboro, OH 45066

Telephone No. ()

Property Address or General Location:

605 North Main Street, Springboro, OH 45066

Parcel Number(s): 0414227005

Acreage: 103.14

PUD Category: ☐ Residential

☐ Retail

☐ Office

☐ Manufacturing

☒ Mixed Use

If Mixed Use, Acreage in Each Category:

Commercial (Lot 1)=11.9184 Ac, Multi-Family (Lot 2)=10.9135 Ac, Townhomes-1
(Lot 3)=1.8728 Ac, Townhomes-2 (Lot 4)=2.0364 Ac, City (Lot 5)=59.8472 Ac,
Homestead (Lot 6)=13.0813 Ac, Right-of-Way=3.4686 Ac

For Residential Proposed Density

N/A

Number of Residential Units TH=65 units

MF=252 units

Proposed Use: This Record Plan application requests approval of the creation of 6 lots and dedication of public right-of-way for Easton Farm Drive, Anna Drive, Noel Drive, and S.R.-741.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)

(Date)

Printed Name

President Easton Farm Partners, LLC
lfontaine@borror.com



From: AT&T tbh605@rsbglobal.net
Subject: Revised Letter
Date: December 19, 2024 at 11:25 AM
To: Ruth Cook ruthellencook@gmail.com

Here it is

RECEIVED

DEC 19 2024

Springboro
Planning Department

December 19, 2024

City of Springboro
320 West Central Ave
Springboro, OH 45066

Re: Easton Farm Development Record Plan Submission

To Whom It May Concern,

This letter is to confirm that Lori Steiner of Easton Farm Partners, LLC or their agent is duly authorized by Ted and Rebecca Hall Living Trust, and The Cook Realty Trust, the Owners of the referenced Property, to make application with the City of Springboro and Warren County and any other governmental authority for any and all required approvals for a Parcel Split of Owner's Land and for Record Plat approval on the Property as identified on the attached legal description and submission documents ("Attachment A").

If you should have any questions regarding this matter, please do not hesitate to contact us.

Very Truly yours,

Rebecca A. Hall

Rebecca A. Hall
Co-Trustee, Ted and Rebecca Hall Living Trust

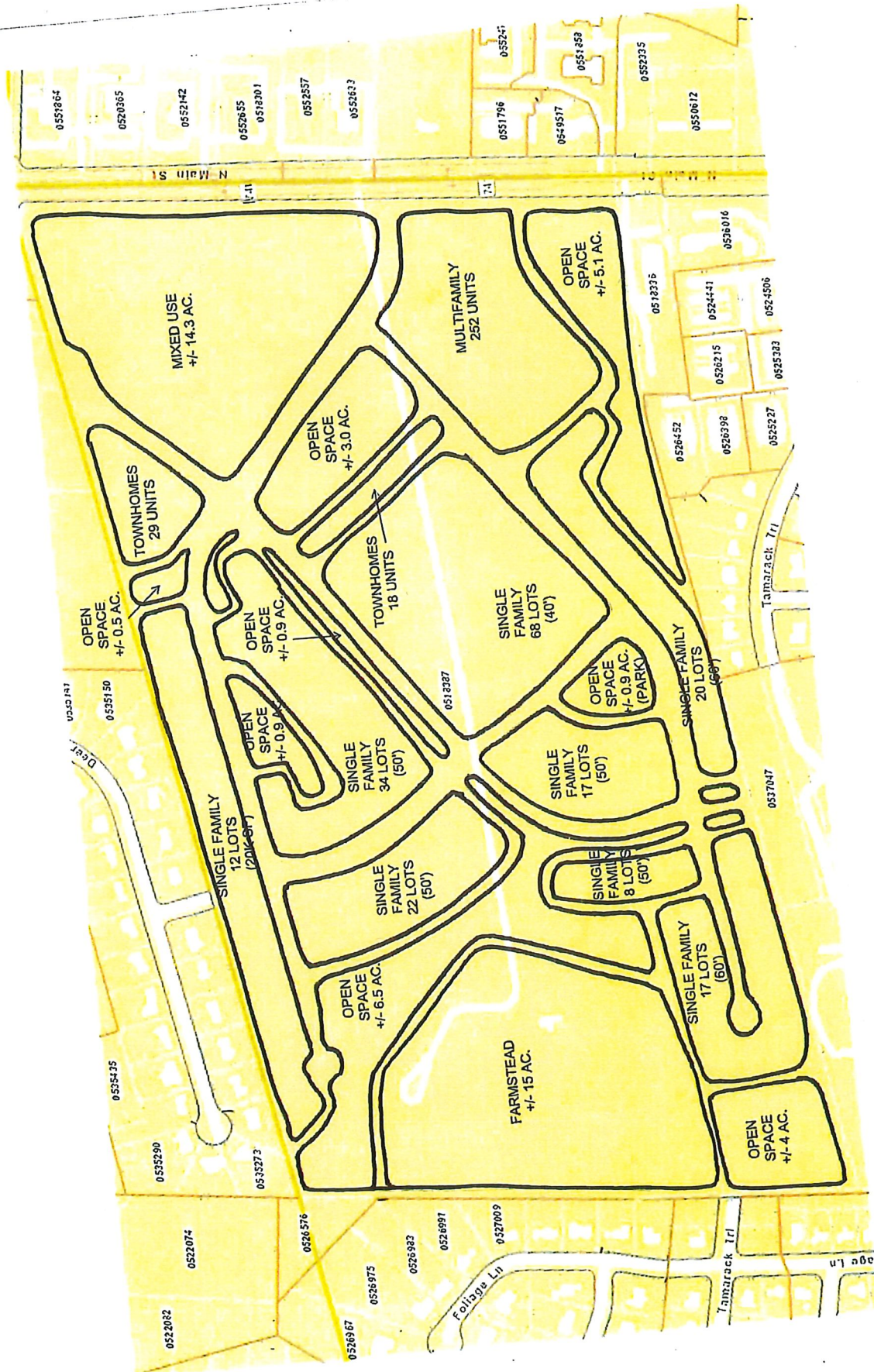
Ruth E. Cook
Ruth E. Cook, Trustee
Cook Realty Trust

Ruth E. Cook

Ted Hall

Ted Hall
Co-Trustee, Ted and Rebecca Hall Living Trust

CC: Chris Pozzuto
Dan Boron



**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, November 13, 2024**

I. Call to Order

Becky Iverson, Chair, called the Wednesday, November 13, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chris Pearson, Rob Dimmitt, and Steve Harding.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, and Chad Dixon, City Engineer

Mr. Pearson motioned to excuse Mr. Leedy, Mr. Sillies and Mr. Thompson. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

II. Approval of Minutes

October 9, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the October 9, 2024 Planning Commission minutes. Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

III. Agenda Items

A. Final Approval

Record Plan, Northampton, Phase 1, 1525 South Main Street (SR 741), residential subdivision

Background Information

This agenda item is a request for record plan approval for Northampton subdivision, Phase 1, located at 1525 South Main Street (SR 741), submitted on behalf of M/I Homes of Cincinnati, LLC. The record plan contains 41 buildable lots for a total of 17.67 acres. Record plan review is the third and final stage of Planned Unit Development (PUD) approval process.

The Northampton property was rezoned to PUD-R-Residential, effect in January, following review and approval by Planning Commission in October 2023. Final approval of the final development plan—stage two of the PUD review process—by Planning Commission occurred at the May 8 meeting.

Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Revise city approval signature blocks.
2. Provide minimum square foot dwelling size on sheet 2 under the Typical Lot detail.
3. Provide HOA documents for review and approval. Add the HOA recording information in General Notes.
4. Revise General Notes comment #5 to include bike lanes as an HOA maintenance item.
5. Submit to Warren County for review and revise accordingly.

Discussion:

There was no representative for the applicant present at the meeting.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said staff has been talking with M/I Homes' development team regarding this project which was approved by Planning Commission in October 2023. Staff comments are very minor in nature and Mr. Elmer Dudas, Development Director, determined there were no issues preventing this agenda item from moving forward.

Ms. Iverson asked if Planning Commission members had any questions. There were none.

Mr. Pearson made a motion to approve the Final Approval, Record Plan, Northampton, Phase 1, 1525 South Main Street (SR 741), residential subdivision, with staff conditions. Mr. Harding seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval

Site Plan Review, Midway Plaza shopping center, exterior façade changes

Background Information

This agenda item is a request for site plan review approval submitted by MS Consultants on behalf of the Leathery Company, Columbus, property owner. As indicated in the submitted materials, the applicant is proposing to modify the exterior elevations of the All That Dance (815 West Central Avenue) building and the multi-tenant portion of the main shopping center (835-853 West Central Avenue) building within the Midway Plaza Shopping Center.

For the All That Dance building, the applicant proposes to modify the front/west elevation by removing the existing (upper) stucco facade, canopy, and columns. Those would be replaced by a new brick and EIFS façade with an asymmetrical design, and a new canopy and sign placement. The existing storefront system (windows, doors) would remain.

For the multi-tenant portion of the main shopping center building, the existing yellow canopy and soffits will be removed as well as the arch-shaped portions of the canopy support columns. The covered walkway in this portion of the shopping center would remain under a new canopy, and the upper portion of the façade would move forward. Signage for the tenants in this portion of the shopping center would be relocated as indicated in the submitted plan.

The proposed color scheme for both areas included in this request would match.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Coordinate with Zoning Inspector following Planning Commission's action on plans for the signage relocation and any required permitting.
2. For proposed lighting, select a fixture that is flush-mounted, then submit new fixture selection and photometric analysis for adjacent areas indicating lighting levels to a maximum of 6.0 foot-candles.

Discussion:

Mr. Craig Peters of Dalo Construction was in attendance to represent the applicant, MS Consultants, for this agenda item.

Ms. Iverson asked Mr. Dalo if he had any questions or comments about the staff comments.

Mr. Peters said he did not have any questions.

Ms. Iverson asked Mr. Boron for a summary of this project.

Mr. Boron referred to a graphic supplied by the applicants showing the changes proposed for both the All That Dance building and the main building of the Midway Plaza shopping center. The All That Dance building west elevation will be renovated; for the shopping center, building west of where the new Aldi is being constructed will have a new flat canopy and signage

Mr. Peters stated that all the existing yellow canopy will be removed and replaced with a new façade to match the All That Dance building.

Mr. Boron said the signage will be handled by staff and the lighting is still being discussed.

Ms. Iverson asked if there were any questions from Planning Commission members. There were none.

Mr. Harding made a motion to approve the Final Approval, Site Plan Review, Midway Plaza shopping center, exterior façade changes. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

IV. Guest Comments

Ms. Iverson called for guest comments. There were none.

V. Planning Commission and Staff Comments

Ms. Iverson reminded members that the 36th Annual Miami Valley Planning and Zoning Workshop will be held on Friday, December 6, 2024 at the Ponitz Center, Sinclair Community College in Dayton. All Planning Commission members and staff are invited to attend.

Mr. Harding, Mr. Pearson, and Ms. Iverson all said they would be attending. Mr. Sillies has notified Ms. Bee that he will be attending as well.

Mr. Boron stated that the last Planning Commission regularly scheduled meeting of the year will be held on December 11.

Ms. Iverson announced that Mr. Leedy will not be returning to Planning Commission starting in January, 2025, leaving one seat vacant. She asked members to direct anyone who might be interested in serving on Planning Commission the Clerk of Courts, Ms. Lori Martin.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the November 13, 2024 Planning Commission Meeting at 6:09 pm.

Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; (4 yes – 0 no)

Ms. Iverson said that the motion was approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary