

Agenda
City of Springboro Planning Commission Meeting
Wednesday, March 19, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. January 8, 2025 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Eastbrook Farms, Record Plan, east of Clearcreek Franklin Road and south of Whispering Pines, Residential Subdivision, residential subdivision
 - B. Final Approval, Planning and Zoning Code Text Amendments, exterior lighting code, sign code
 - C. Preliminary Review, Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed single-family residential subdivision
 - D. Preliminary Review, General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed single-family residential subdivision
 - E. Preliminary Review, Easton Farm Partners, Final Development Plan, 605 North Main Street (SR 741), Multi-Family Residential Buildings
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, March 19, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

IV. Agenda Items

A. Final Approval
Record Plan, Eastbrook Farm, Section One

Background

This agenda item is a request for record plan approval for Eastbrook Farm, Section One filed by Bayer Becker Engineering and Surveying, Mason, on behalf of the property owners, Eastbrook Farms, Inc. The record plan is for a strip of land located south of Whispering Pines on the north side of the Eastbrook Farm property, an 83.1-acre undeveloped site located northeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road.

The record plan contains 45 buildable lots for a total of 13.18 acres as well as the dedication of streets. The preliminary subdivision plan for this site was approved at the June 12, 2024 Planning Commission meeting following a preliminary discussion at the May 8 meeting. The subdivision is being developed under the provisions of the R-2, Low-Density Residential District which allows up to four dwelling units per acre.

Following review and approval by Planning Commission, the record plan would proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval this record plan to City Council.

1. Add "Record Plan" to the title block.
2. Provide HOA documents for review and approval. Add the HOA recording information in General Notes.
3. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer; add wording to easement documents accordingly.
4. Add Note 8: "All lots shall be subject to a publicly available drainage easement five (5) feet in width along all side yards and ten (10) feet in width along rear lot lines, except as otherwise noted."
5. Fill in HOA recording information on notes 5 and 6.
6. Add the following statement in the owner consent and dedication signature block statement regarding any offsite easements "We further grant to the City of Springboro the right to all utility easements as shown herein on the un-platted property until such time as they are formally dedicated in a future Record Plan or recorded by easement document." This can go right before the sentence "The above utility easements are for the benefit of all public utility providers....."
7. Submit to Warren County for review and revise accordingly.

B. Final Approval
Planning & Zoning Text Amendments, exterior lighting code, sign code, other portions of codified ordinances

Background & Recommendation

Please see the enclosed memorandum from City staff, as well as and supporting exhibits in the meeting materials regarding this agenda item. City staff recommends approval of a recommendation to City Council of these text amendments.

C. Preliminary Review
Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

D. Preliminary Review
General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, requesting approval of rezoning and general plan to allow the development of residential subdivision located at 1405 South Main Street (SR 741) through the City's Planned Unit Development (PUD) process. The subdivision, envisioned as an addition to M/I's developing Northampton subdivision, would be located on 16.65 acres of land immediately adjacent and to the north of Northampton. While M/I intends, assuming development approvals, to combine the 16.65-acre parcel into Northampton subdivision by integrating its road system, homeowner's association, home design types, and other details, this rezoning and general plan is separate from the development approvals of the property at 1525 South Main Street.

M/I Homes proposed to develop the 16.65-acre by rezoning it from the current R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. The R-1 District allows residential development at the rate of 2.0 units per acre on lots with a minimum size of 20,000 square feet. That classification dates to 2015 when large parts of Springboro were reclassified to R-1 District from Township or (T)R-1 District. The (T)R-1 designation was allowed to remain on properties annexed over time from lands originally in Clearcreek and Franklin Townships. The R-1 and (T)R-1 have similar development densities, however moving to R-1 District allows the City to manage its own long-range development through its own Planning and Zoning Code.

M/I Homes proposed to develop this parcel at a density of 2.04 units per acre, with lots ranging from 8,360 square feet to 20,000 square feet. A total of 4.384 acres of open space is proposed in the subdivision, or 26.3 percent of the development area. Residential PUDs require a minimum of 25% dedicated open space. The R-1 District requires no dedicated open space.

M/I Homes proposes two access points to the subdivision: the primary access being from South Main Street that would be paired with the access road to the Northampton subdivision and matched to the alignment of Heatherwoode Boulevard on the east side of SR 741, and to Perthshire Drive also in Northampton to the south. A stub street to the west is also proposed. Walking trails internal to the site are indicated in the plan.

The proposed rezoning/general plan appears as two separate items on the Planning Commission

agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the developing Northampton subdivision.

Adjacent zoning in the Springboro portion of the vicinity is R-1 District to the north, PUD to the east encompassing the Heatherwoode PUD, and PUD-R to the south incorporating Northampton subdivision. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 16, Heatherwoode, includes the subject area and land including the Heatherwoode, Farms of Heatherwoode, and Ashton Woods subdivisions, the City's Heatherwoode Golf Course, and the Springboro Community Schools main campus. The policy area recommends residential development and redevelopment that conform to the existing character of adjoining neighborhoods. The plan also recommends connecting neighborhoods in the area, and improving pedestrian and bicycle access.

The four residential subdivisions in the vicinity were developed at the following densities:

- Northampton, 75 units on 35.08 acres, 2.14 units/acre.
- Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre.
- Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre.
- Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre. This includes Glencoe Court and Dunnington Court. The golf course is not included in the density calculation.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the March 19 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

1. Express proposed lot sizes in square feet on future submittals.
2. Add 15 feet open space area to overlap with the 15 feet no clear zone along the north property line. Adjust lot sizes accordingly and rear setback if needed, as well as overall open space percentage. No clear zone to be the responsibility of the HOA.
3. Identify all existing vegetation 4 inches DBH or greater on the site, then indicate those to be preserved.

4. Following preliminary review of final development plan, submit a landscaping plan incorporating comments #3-4 above, and other required landscaped areas.
5. Identify the way the existing topography is to be modified generally and provide spot elevations for areas of the property indicating the amount of fill or cut proposed (a minimum of 10 spots).
6. Allow for public use of dedicated open space (paths, trails specifically) within the subdivision.
7. Is the proposed stormwater management pond proposed for the east edge of the property necessary?
8. Continue 10-foot-wide side path from the developing Northampton subdivision to the south and the way it will safely negotiate reconfigured Morris Street access road.
9. Following preliminary discussion, plans will be forwarded to active transportation consultant for review of walking and biking facilities.
10. Following preliminary review of final development plan, submit an exterior lighting plan, if applicable, consistent with Chapter 1273 of Planning and Zoning Code.
11. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
12. Traffic impact study is currently being completed. Make all public improvements per the traffic study recommendations including improvements along SR 741 and dedication of right of way.
13. Roads, sidewalks, and all utilities to be designed and built per city of Springboro specifications.
14. Create an HOA for Phase 3.

E. Preliminary Review

Final Development Plan, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street, multifamily component

Background Information

This agenda item is an application of a final development plan, submitted by CASTO, Columbus, Ohio, seeking approval to construct the multifamily component of the Easton Farm located at 605 North Main Street (SR 741). CASTO's application was submitted under the authority of Easton Farm Partners, LLC, of Columbus, Ohio, owner. Final development plan review and approval by Planning Commission is the second step in the three-step Planned Unit Development (PUD) approval process. The application includes several elements including a civil engineering and site layout, building elevations and floor plans, and design standards. Stormwater design information is not included in the meeting materials but is being reviewed by City staff/consultants.

The property at 605 North Main Street (SR 741), commonly known as the Easton Farm, was rezoned to PUD-MU, Planned Unit Development-Mixed Use, under order of the Warren County Court of Common Pleas in 2022. The order, a Judgment Entry, rezoned the property from R-1, Estate-Type Residential District, to PUD-MU with four components: a mixed-use area on the northeast corner of the property, a residential component comprising the bulk of the property, a component on the west edge property reserved for maintenance of the original farmstead including two single-family homes and farm buildings, and a multifamily component, located on the southeast corner of the property, that is the subject of this application. Since the Judgment Entry, the City of Springboro purchased 60 acres of the site originally proposed for the residential component.

No other components of the PUD-MU will be discussed as part of this application except for the street connections necessary to accommodate the multifamily component's development.

The Judgment Entry provides for review of the details for the multifamily component by Planning Commission through the final development plan process. No review or approval by City Council is required of the final development plan.

The multifamily component is 10.91 acres in area with frontage on North Main Street (SR 741). The property also has frontage on Easton Farm Boulevard and Noel Drive. Easton Farm Boulevard is the principal access road to the PUD-MU and is located proximate to the existing driveway to the property/farmstead. Direct access to the multifamily component is by way of two drives tied into Noel Drive.

CASTO's proposal for the multifamily component includes 238 apartment units, 14 fewer than the number permitted under the 2022 Judgment Entry. The residential buildings range in size from 8 to 30 units. All the apartment buildings contain no more than three occupied floors. CASTO proposes 121 one-bedroom, 113 two-bedroom, and 4 three-bedroom apartments.

Also proposed in the component is a clubhouse (including rental office), mailroom/maintenance facility, and a pool, all internal to the apartment buildings. On the south end of the component is a programmed green space, dog park, and pickleball area. The southeast corner of the site includes a retention pond.

A total of 360 parking spaces are proposed for the site including 153 garage spaces on the first floor of the apartment buildings, and 207 surface parking spaces. No structured parking is proposed.

The March 19 review of the multifamily component is preliminary, no formal action by Planning Commission will take place. Planning Commission may authorize formal approval at a future Planning Commission at the conclusion of the March 19 review.

Staff Comments

The following comments apply to the master development introduction and multifamily requirements booklet included in the final development plan application:

1. Date stamp document moving forward; paginate booklet to improve readability and commenting; and remove blank pages.
2. There are many statements to a master developer review and approval; have these standards been approved by them? If so, please verify.
3. There are many references to terms—mimic and adequately, for example—that may be problematic to define or measure. Replace with declarative, measurable terms.
4. As a rule, the standards should not replace City code requirements but exceed and/or provide a unifying design theme.
5. Under Street Radii Corner Radii & Clear Zones, page 3, change radii from minimum 8 feet to read 20 feet, and change 15 feet to 20 feet.
6. Under Utility and Equipment Locations, page 3, add the word “within” after the word underground in first sentence.
7. Under Permitted Uses, page 5, are the co-working spaces intended for residents only?
8. Under Use Agreements, page 5, stairs for the multi-family buildings are not allowed in the utility easement.
9. Under Building Heights, page 8, are enclosed, unoccupied spaces expected to be proposed for up to 65 feet, and other structures up to 85 feet anticipated in this component?
10. Page 14, the parking standard for multifamily residential is 2.2 spaces/unit.
11. Under Monument Signage, page 16, up to two monuments signs shall be allowed for the apartments. Is this intended per building or the entire component?
12. Verify the terms defined beginning on page 19 are used in the document.

The following comments apply to remainder of the final development plan application:

1. Mark future plan submittal element revision dates.
2. List permitted uses proposed for the component: multi-family residential dwellings, uses and structures normally accessory to the use on Sheet C3.0.
3. Identify common areas to be dedicated as part of this component of the PUD-MU. A minimum of 25% open space is required.
4. City staff to provide complete review of revised lighting plan submitted on March 11 under terms of Chapter 1273, Exterior Lighting. Meantime, the following is to be noted:
 - a. Illumination may not exceed 6.0 foot-candles for parking and associated areas.
 - b. Are the poles and fixtures proposed to be used in the multiuse component, and other parts of the PUD-MU?
 - c. City staff recommends using fixtures with IDA (International Darksky Association) certification.
5. Following preliminary review of final development plan, submit a signage plan consistent with Chapter 1281 of Planning and Zoning Code.
6. Chapter 1279, Parking, of Planning and Zoning Code requires 2.2 spaces per dwelling unit. 360 spaces proposed, 524 spaces required.
7. Provide bicycle parking at rate of 1 space for every 25 required spaces, 50% of spaces to be covered and/or in lockers or other protected areas within 50 feet of entrances using bicycle parking consistent with City standard for design. Locations proposed for such parking include clubhouse, recreational facilities, and adjacent to multifamily buildings.
8. Show sidewalk/trail connections to proposed streets including North Main Street/SR 741.
9. What is proposed in the way of sidewalks along North Main Street/SR 741 frontage? And a pedestrian crossing at Easton Farm Boulevard?
10. Fypon is not an acceptable exterior building material.
11. Mechanical systems, if applicable, to be screened from rights-of-way immediately adjacent to site through building design for rooftop mechanical, and landscaping/fencing for ground units.
12. Provide public roadway construction drawings (Easton Farm Blvd & Noel Drive & SR 741) for review. Final development plan to match roadway drawings.
13. Roadway Improvements are to be completed as a part of the final development plan, including the roadway frontage of Easton Farm Blvd and Noel Drive. Extend and build Noel Drive to the furthest west end of property frontage. Also complete the improvements along North Main Street/SR 741 which include turn lanes and a traffic signal.
14. Landscaping plans to be reviewed under terms of Chapter 1280, Landscaping, of Planning and Zoning Code following preliminary review. The following comments are to be addressed:
 - a. Tree plantings in storm/sanitary sewer easement area along the south property line are not permitted. Remove from plans or move the trees to another location.
 - b. Provide calculation of pavements (in acres) and other impermeable areas of the component to determine site landscaping requirement.
 - c. Are not existing vegetated areas to be retained in this component?
15. Provide site plan design details including, but not limited to, storm sewer, sanitary sewer, water main, private roadway details, and grading.
16. Provide water master meter in each building in a meter room.
17. Instead of having parallel watermain (4-inch and 8-inch mains), keep the 8-inch main and tap each building with a water lateral. Loop 8-inch water main onto Noel Drive.
18. Keep buildings outside of existing 15 feet utility easement (building 2-E).
19. Are two trash receptable locations adequate for this development?

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, March 11, 2025 at 12:00 p.m.

Eastbrook Farm Materials

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Bayer Becker

Address 6900 Tylersville Rd, Suite A
Mason, Ohio 45040

Telephone No. (513) 492-9832

Fax No. ()

Email Address johndelverne@bayerbecker.com

PROPERTY OWNER NAME (IF OTHER): Eastbrook Farms Inc.

Address: 3000 Henkle Dr
Lebanon, Ohio 45036

Telephone No. (513) 932-6010

Property Address or General Location: East of Clearcreek Franklin Rd & South of Whispering Pines

Parcel Number(s): 0414153025 Zoning District: R-2

Proposed Use: Single family residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

2/19/2025
(Date)

John Del Verne
Printed Name



February 18, 2025

To Whom It May Concern,

Michael T. Schueler as owner and representative member of Eastbrook Farms Inc., Bunnell Hill Development and parcel #0414153025 located in Springboro Ohio, authorize John S. Del Verne and or Bayer Becker, to present a record plat for the proposed Eastbrook Farms Subdivision on my behalf.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Micheal T. Schueler', is written over the word 'Sincerely,'.

Micheal T. Schueler

Eastbrook Farms Inc.

Bunnell Hill Development

DEED REFERENCE

SITUATED IN SECTION 14, TOWN 2, RANGE 5, BETWEEN THE MIAMIS, THE CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP, WARREN COUNTY, OHIO, CONTAINING 13.1793 ACRES OF LAND AND BEING ALL OF THE SAME TRACT AS CONVEYED TO BUNNELL HILL DEVELOPMENT COMPANY, INC. AS RECORDED IN DOCUMENT NUMBER 2024-020858, WARREN COUNTY, OHIO.

OWNER CONSENT AND DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND TRAILS AND FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES, SIDEWALKS, AND TRAILS. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, SIDEWALKS, TRAILS, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO THE CITY OF SPRINGBORO, DUKE ENERGY, AT&T & CHARTER COMMUNICATIONS.

OWNER: BUNNELL HILL DEVELOPMENT COMPANY, INC.
AN OHIO CORPORATION

SIGNATURE: _____

PRINTED NAME: _____

TITLE: _____

STATE OF OHIO
COUNTY OF WARREN

ON THE ____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED BUNNELL HILL DEVELOPMENT COMPANY, INC. WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

SIGNATURE: _____

LIEN HOLDER: _____

SIGNATURE: _____

PRINTED NAME: _____

OWNER: _____

STATE OF OHIO
COUNTY OF WARREN

ON THE ____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

SIGNATURE: _____

CERTIFICATION

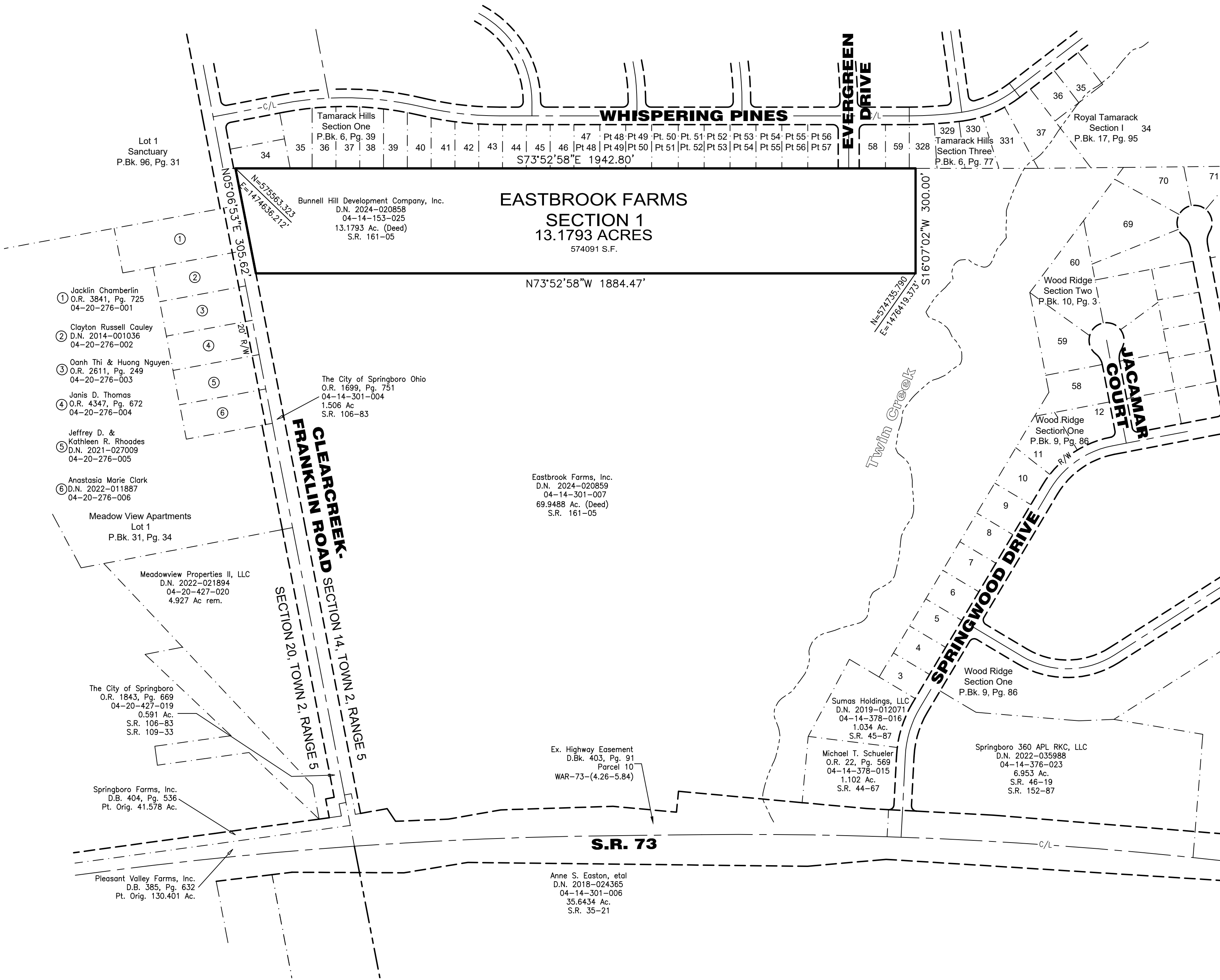
I HEREBY CERTIFY THAT THIS MAP IS A COMPLETE SURVEY MADE UNDER MY DIRECTION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

JEFFREY O. LAMBERT
PROFESSIONAL SURVEYOR #7568
IN THE STATE OF OHIO

DATE

EASTBROOK FARMS
SECTION 1

SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FEBRUARY, 2025



CITY OF SPRINGBORO NOTES

- ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AS PER CITY ORDINANCE NUMBER 0-90-36.
- NO PERSON SHALL INSTALL ANY PUMP, PUMPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO THE PUBLIC RIGHT-OF-WAY WITHOUT THE APPROVAL OF THE CITY ENGINEER.
- THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAINAGE DITCHES OR CHANNELS DESIGNATED AS DRAINAGE EASEMENT ON THIS PLAT.
- ALL SUMP DRAINS, DETENTION BASINS, ISLANDS, PRIVATE STORM SEWERS AND DRAINAGE EASEMENTS AND OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AS RECORDED IN DOCUMENT NUMBER _____
- THE WITHIN SUBDIVISION IS SUBJECT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND RESERVATIONS FOR EASTON FARMS AS RECORDED IN DOCUMENT NUMBER _____ AND AS MAY BE AMENDED OR SUPPLEMENTED FROM TIME TO TIME. ALSO SUBJECT TO THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR THE HOMEOWNERS ASSOCIATION.
- NO PRIVATE IMPROVEMENTS OF ANY KIND SHALL BE MADE ON ANY RIGHT OF WAY OR EASEMENT WHICH WOULD INTERFERE WITH ACCESS TO ANY PROPOSED STREET, UTILITY, OR OTHER SERVICES IMPROVEMENT, PRESENT OR FUTURE, AND THE CITY OF SPRINGBORO SHALL NOT BE RESPONSIBLE TO ANY PRESENT OR FUTURE OWNERS OF THE PROPERTY INDICATED ON THIS PLAN FROM ANY DAMAGE DONE ON SAID RIGHT OF WAY OR EASEMENT TO SHOD, SHRUBBERY, TREES, DRIVEWAY OR OTHER IMPROVEMENTS, EITHER NATURAL OR ARTIFICIAL BY REASON OF ENTERING FOR CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF SAID IMPROVEMENTS.

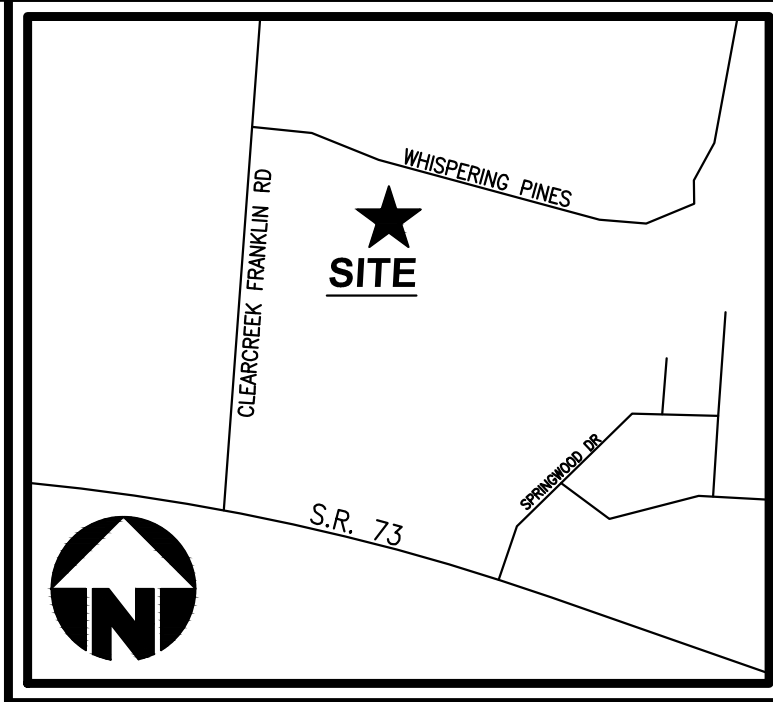
GRANT OF PUBLIC UTILITY EASEMENT

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "PUBLIC UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS OR IMMEDIATELY ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATEROALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION, NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

SHEET INDEX

- TITLE SHEET
- PLAT



VICINITY MAP
N.T.S.

OWNER
BUNNELL HILL DEVELOPMENT COMPANY, INC.
3000-G HENKLE DRIVE
LEBANON, OHIO 45036

SURVEYOR
BAYER BECKER, INC.
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040

APPROVALS

THIS PLAT APPROVED BY COUNCIL OF THE CITY OF SPRINGBORO ON THIS ____ DAY OF _____, 2025.

ATTEST:

CLERK OF COUNCIL

MAYOR

CITY ENGINEER

COUNTY AUDITOR

TRANSFERRED ON THIS ____ DAY OF _____, 2025, AT ____ M.

COUNTY AUDITOR

DEPUTY

PRINTED NAME:

COUNTY RECORDER

FILE NO. _____

RECEIVED ON THIS ____ DAY OF _____, 2025, AT ____ M.

RECORDED ON THIS ____ DAY OF _____, 2025, AT ____ M.

RECORDED IN PLAT BOOK NO. _____ ON PAGE NO. _____

SEE: _____

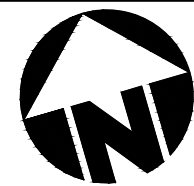
COUNTY RECORDER

DEPUTY

PRINTED NAME:

SURVEY NOTES

- BASIS OF BEARING: NAD83 (2011) GPS OBSERVATIONS (O.D.O.T. RTN, OHIO SOUTH ZONE 3402).
- PRIOR DEED REFERENCES: DOCUMENT NUMBER 2024-020858
- LINE OF OCCUPATION WHERE THEY EXIST GENERALLY AGREE WITH BOUNDARY LINES UNLESS OTHERWISE SHOWN ON PLAT.
- 5/8" DIAMETER X 30" LONG IRON PINS WILL BE SET ON ALL LOT CORNERS AND ALL CHANGES OF DIRECTION UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- ALL EXISTING MONUMENTS ARE IN GOOD CONDITION.
- ALL DOCUMENTS USED AS SHOWN.
- *LOTS 1 & 45 ARE SUBJECT TO A GAS PIPE LINE RESTRICTION AS RECORDED IN DEED BOOK 520, PAGE 172.

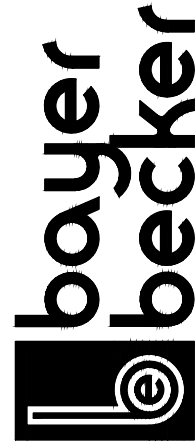


Basis of Bearing:
State Plane NAD83 (2011)
0 200 300
SCALE: 1" = 200'

EASTBROOK FARMS
SECTION 1

SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO

RECORD PLAT



www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 23-0256 RP TITLE

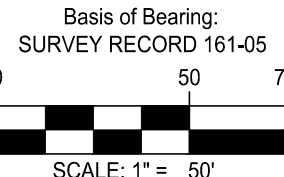
Drawn by: PAH

Checked By: TME

Issue Date: 02-11-25

Sheet:

1/2

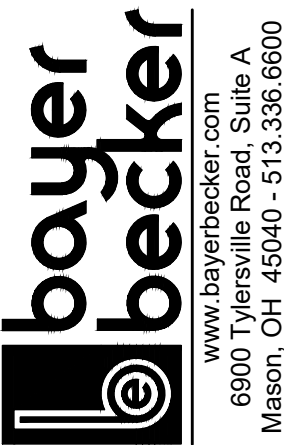
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EASIBROOK FARMS

SECTION 1

CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO

RECORD PLAT



www.bayerbecker.com
6900 Tylersville Road, Suite A

Masull, OH 43040 - 313.336.6600

aving: 22 2252 522

23-0256 RP

Checked By:	PAH
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Date: _____

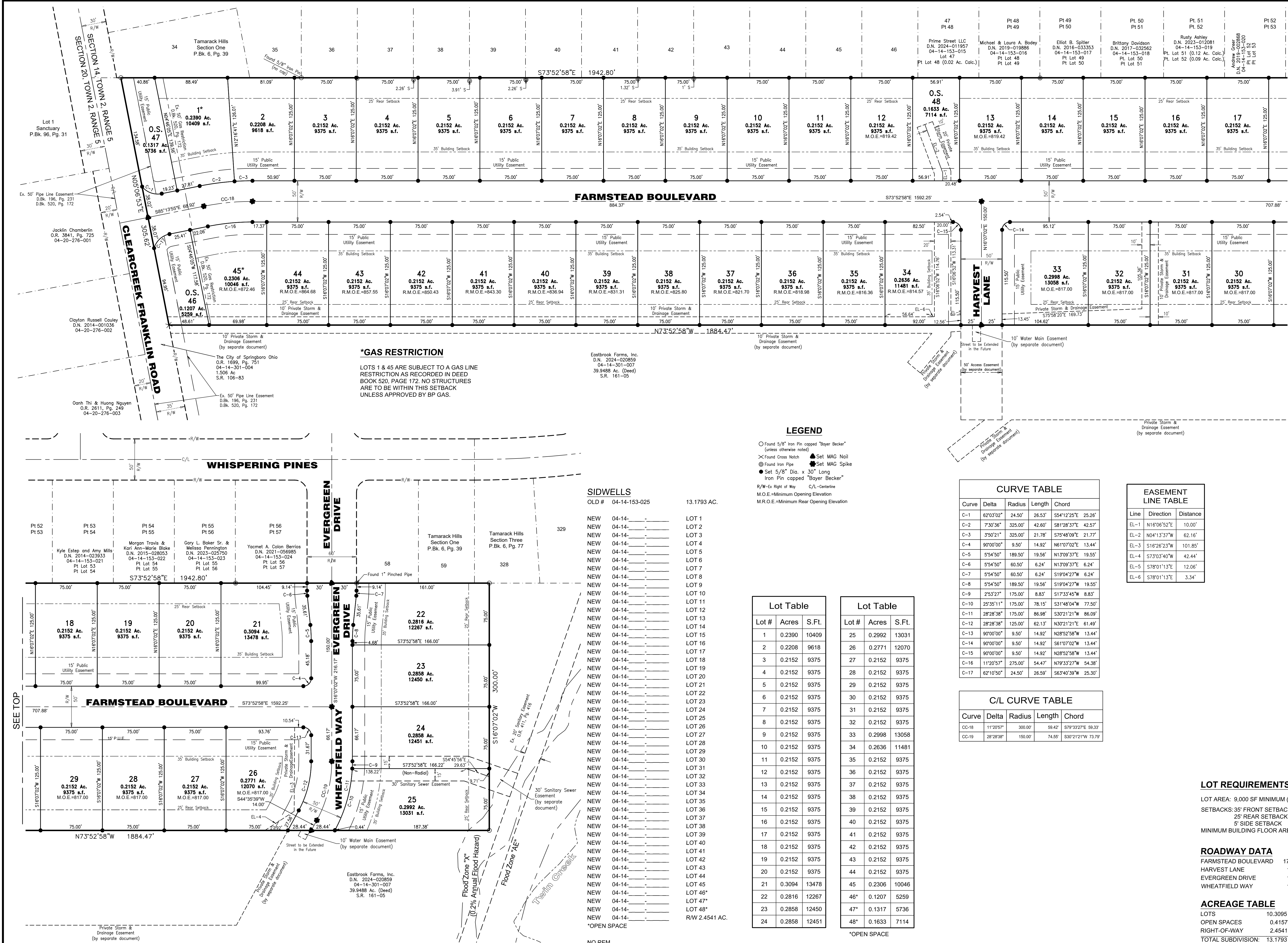
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et:

212

212

272



Lighting/Sign Ordinance Materials

Memo

To: Members, Springboro Planning Commission; Planning Commission Staff
From: Dan Boron, Planner
Date: March 13, 2025
Re: Amendment to Codified Ordinances

This memorandum provides background on the Planning and Zoning Text Amendment that is included in the March 19 Planning Commission agenda, and is a follow-up to the October 9 Planning Commission's meeting preliminary discussion on amendments to the Planning and Zoning Code to regulate light emitted from buildings and structures. A recommendation to City Council is requested. The amendments are primarily focused on Chapter 1273, Exterior Lighting, Chapter 1281, Signs, however an amendment elsewhere in the Codified Ordinances (that does not require Planning Commission review, but is related to exterior lighting) is also recommended and explained below.

This memorandum is intended to identify those amendments and provide an explanation. Changes to the recommendation since the October 9 meeting **are highlighted below**. We have also included a copy of Chapters 1273 and 1281 as amended. Amended text is included after this memorandum.

In 2023 City Council enacted a moratorium on the acceptance of new applications for Certificates of Zoning Compliance for vaping establishments to provide the City time to review the Planning and Zoning Code and how this land use is regulated. The result of that review is a recommendation from City staff—the City Manager, Law Director, and me—to amend the Planning and Zoning Code to address the external effects of these businesses and similarly illuminated business establishments with respect to the intensity of light produced by their operation. We engaged a consultant to review our Planning and Zoning Code and their recommendations, as well as those of City staff, are listed below. As in the past, proposed text is shown in **bold and underline**, and deleted text in ~~strikeout~~.

- Revise Section 1273.01, Purpose and Background, to improve readability and reflect all goals of the chapter as follows:

It is the intent of this Chapter to regulate outdoor lighting in a manner that establishes appropriate minimum **and maximum** levels of illumination, prevents unnecessary glare, reduces light trespass onto adjacent properties, and reduces unnecessary transmission of light into the night sky. These provisions are not intended to eliminate the need for an applicant to seek out professional assistance to determine appropriate lighting for the **proposed** use and design ~~proposed~~.

- Revise Section 1273.02 title Applicability and Approved Site Plan Required, to reflect the intent of later amendments to the manner exterior lighting is regulated.

Section 1273.02, **Applicability and** Approved Site Plan Required

- In that same section, adding a new (a) that clarifies how these regulations are applied.

(a) The regulations of this chapter shall apply to the installation or modification of outdoor lighting that is part of a development requiring site plan approval.

- Same section, adding a new (b) that states that interior lighting visible from the exterior will be treated as exterior lighting. This is the central recommendation to the entire text amendment recommendation.

(b) For the purposes of these regulations, interior lighting visible from the exterior of the building or structure shall be treated as outdoor lighting.

- Modifying new (c) to clarify how the chapter is applied.

(c) ~~Whenever the~~ **The Planning Commission shall review and make a decision on the** installation or modification of outdoor lighting ~~is part of a development that requires site plan approval, the Planning Commission shall review and approve all proposed lighting~~ **subject to the standards of this chapter** as part of its site plan approval process, **or amendment to a previously approved site plan.**

- Adding to Section 1273.02(c)(2), Lighting plan approval criteria, adding a new F. that includes interior lighting visible from the exterior as a criterion in the applicability of the regulation. This provision was updated following the October 9 discussion with the removal of the phrase “is unnecessarily bright in a manner that”.

F. Whether any interior lighting that will be visible from the outside is unnecessarily bright in a manner that will create significant contrast with all other lighting on the site, with adjacent properties, or with the ambient light;

- ~~Adding to Section 1273.02(c)(3), Design Standards, adding D. that prohibits lighting attached to the interior or exterior of windows. This provision was removed following the October 9 discussion.~~

D. No lighting fixtures may be attached to the interior or exterior of windows or doors.

- Staff recommends that Section 1273.02(c)(3), Design Standards, be recodified as Section 1273.03 to reflect the hierarchy of this important part of the chapter. Succeeding sections would in turn be renumbered accordingly. The numbering below reflects this change.
- Staff recommends amending the note under Section 1273.03(o)(1-4) to reflect all residential zoning districts. Also a reference to chapter, not ordinance is recommended.

For the purposes of this ~~ordinance~~ **chapter**, the O-R, Office- Residential District shall be considered a residential district due to its status as a transition between more intensive retail and residential districts **in addition to those defined in Section 1290.02 of the Planning and Zoning Code, and PUD-R, Planned Unit Development-Residential sites, and residential components of PUD-MU, Planned Unit Development-Mixed Use sites.**

- Staff recommends amending Section 1273.03 by adding (q), to establish a 15 foot-candle maximum illumination of light emitted from a building or structure. Lighting will be measured a minimum of 3 feet above grade no closer that 1 feet from the building/structure opening—window, door, or opening. The proposed 15 foot-candle

standard will allow future uses to continue to operate with reasonable lighting levels while avoiding excessive light emissions.

- **(g). The maximum illumination emitted from the interior of a building or structure regulated under this chapter shall not exceed 15 foot-candles as measured at any point a minimum 3 feet above grade, and no closer than 1 foot from a display window, door, or similar opening between interior and exterior of a building. See also Section 648.12, Light Abatement.**
- A companion recommendation, not involving a Planning Commission recommendation, is the creation of a new Section 648.12, Light Abatement, in the Peace Disturbances chapter of General Offenses portion of the Codified Ordinances. This provision would allow City staff to cite those associated with building and structures where light emitted from interiors exceed 25 foot-candles. A similar provision, Section 648.10, Noise Abatement, was created in 2012 to respond to noise complaints in the community. Including this provision outside the Planning and Zoning Code would allow the provision to be modified more quickly in the event enforcement issues arise. Proposed Section 648.12 will be cross-referenced with 1273.03(c)(3)R.

Section 648.12, Light Abatement.

- (a) **No owner, manager or any person in charge or control of property shall engage in or permit the emission of light from the interior of a building in excess of 25 foot-candles as measured from any point a minimum of 3 feet above grade and no closer than 1 foot from a display window, door, or similar opening between the exterior and interior of a structure or building. See also Planning and Zoning Code Chapter 1273, Exterior Lighting.**
- (b) **Whoever violates this section is guilty of a minor misdemeanor. Punishment shall be as provided in Section 698.02.**

Staff also used this review as an opportunity to make other amendments to Chapter 1273:

- For Section 1273.03(f), change one reference of color temperature to correlated color temperature, and delete use of degrees Kelvin to just K. Both terms are correct industry standard.
 - (f) Outdoor lighting shall be designed to present a uniform color temperature on a site, building or development as far as the lighting shall have a **correlated** color temperature of 3500 ~~degrees Kelvin (K)~~ or less.
- Revise Section 1273.03(j), that regulates the illumination of specific uses. For this provision, vehicle fueling station illumination is increased to a maximum of 15 foot-candles, a standard that has been used for fueling operations since 2020; drive-throughs would remain 10 foot-candles, and convenience stores is removed from the list and be held to the baseline illumination standard for the ordinance.
 - (j) The illumination of vehicle fueling stations **shall not exceed 15 foot-candles as measured at any one point.** Drive through operations (areas directly associated with the drive through itself, not the entire use or property) ~~and convenience stores~~ shall not exceed 10 foot-candles as measured at any one point. Excessive lighting for the purposes of attraction and advertising shall not be permitted.

No specific amendments to the sign code in support of the vaping moratorium are recommended. The amendments to Chapter 1273 capture the illumination from signs as well. Our consultant and City staff recommend the following amendments to address problems with the code outside of the moratorium:

- Revise Table 1281-B, Maximum Individual Building Sign Area in Commercial Zoning Districts, to allow 150% of the maximum sign area in the ADD-1, Austrin Development District-1. For the purposes of the Sign Code, the

ADD-1 is included in the Commercial Sign District. With large buildings, for example a 100,000-square foot auxiliary building for Innomark on South Tech Boulevard, the sign allowances are exceptionally low. The allowance would be executed with a note at the bottom of the table.

TABLE 1281-B: MAXIMUM INDIVIDUAL BUILDING SIGN AREA IN COMMERCIAL ZONING DISTRICTS		
Sign Setback from the Curb of the Adjacent Street	Maximum Sign Area of any Individual Building Sign¹	
	If Street Frontage Has a Ground Sign	If Street Frontage Does Not Have a Ground Sign
0 to 100 Feet	35 Square Feet	65 Square Feet
101 to 250 Feet	50 Square Feet	80 Square Feet
251 to 350 Feet	75 Square Feet	105 Square Feet
351 Feet and Over	100 Square Feet	130 Square Feet
¹ For parcels in the ADD-1, the maximum sign area permitted is 150% of the number stated.		

- Revise Table 1281-C, Ground Sign Standards. This amendment would replace the term curb with existing or proposed property line when calculating the minimum setback for ground signs. This was an error from the 2021 sign code revision and supports our goal of prohibiting signs in the right-of-way, an inadvertent result of using the term curb. In this case the term right-of-way is preferable to property line or lot line since in some cases the property line may be at the centerline of a road.

TABLE 1281-C: GROUND SIGN STANDARDS			
District	Minimum Setback from Curb <u>existing or proposed property line</u>	Maximum Height	Maximum Sign Area
Commercial Zoning Districts	8 Feet	6 Feet	30 Square Feet
Industrial Zoning Districts	8 Feet (See Also Maximum Sign Area.)	20 Feet	100 Square Feet. The maximum sign area may exceed 100 square feet provided there is one additional foot in setback, beyond the 8-foot minimum, for each additional 8 square feet of sign area beyond the initial 100 square feet of sign area.
Architectural Sign Overlay District	4 Feet	6 Feet	20 Square Feet
Note: In no case shall any ground sign exceed 300 square feet in sign area, in any zoning district.			

If you have any questions regarding this proposed amendment, please feel free to reach out to me at (937) 748-6183 or danb@cityofspringboro.com.

The following identifies text changes outlined in the March 12 Memorandum to Planning Commission. Only portions of the respective Codified Ordinances to be amended are included here. Three parts of the codified ordinances will be amended:

1. Chapter 1273, Exterior Lighting.
2. Section 648.12, Lighting Abatement (new section).
3. Chapter 1281, Signs.

Proposed new text is shown in **bold and underline**.

Text proposed to be deleted is shown in ~~strikeout~~.

1. CHAPTER 1273, EXTERIOR LIGHTING

1273.01 PURPOSE AND BACKGROUND.

It is the intent of this Chapter to regulate outdoor lighting in a manner that establishes appropriate minimum **and maximum** levels of illumination, prevents unnecessary glare, reduces light trespass onto adjacent properties, and reduces unnecessary transmission of light into the night sky. These provisions are not intended to eliminate the need for an applicant to seek ~~out~~ professional assistance to determine appropriate lighting for the **proposed** use and design ~~proposed~~.

1273.02 **APPLICABILITY AND** APPROVED SITE PLAN REQUIRED.

(a) The regulations of this chapter shall apply to the installation or modification of outdoor lighting that is part of a development requiring site plan approval.

(b) For the purposes of these regulations, interior lighting visible from the exterior of the building or structure shall be treated as outdoor lighting.

(c) ~~Whenever the~~ **The Planning Commission shall review and make a decision on the** installation or modification of outdoor lighting ~~is part of a development that requires site plan approval, the Planning Commission shall review and approve all proposed lighting~~ **subject to the standards of this chapter** as part of its site plan approval process, **or amendment to a previously approved site plan.**

(1) Lighting plan contents. A lighting plan submitted for review shall contain the following:

A. A site plan showing the location of all existing and proposed buildings, zoning, landscaping, streets, drives, parking areas and exterior lighting fixtures.

B. Specifications for all proposed and existing lighting fixtures including photometric data, fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation. A photometric plan illustrating the levels of illumination at

ground level shall account for all light sources that impact the subject site, including light trespass from and to neighboring properties. This information may be deferred to the final site plan if the site is not adjacent to a residential district.

C. Relevant building elevation drawing showing all fixtures, the portions of the walls to be illuminated, luminance levels of walls and the aiming points of any remote fixtures.

D. A photometric analysis of the proposed lighting plan using standards established by the Engineering Department.

E. Other information necessary to meet this ordinance's requirements as determined by the Planning Commission or the Director of Planning.

F. Whether any interior lighting that will be visible from the outside is unnecessarily bright in a manner that will create significant contrast with all other lighting on the site, with adjacent properties, or with the ambient light;

(2) Lighting plan approval criteria. A proposed lighting plan shall be reviewed based upon the following considerations:

A. Whether the lighting is designed to minimize glare;

B. Whether the light will be directed beyond the boundaries of the area to be illuminated or onto adjacent properties or streets;

C. Whether the lighting will cause negative impacts on residential districts and uses;

D. Whether the plan will achieve appropriate levels of illumination for the use proposed, as required by this Ordinance;

E. Whether the lighting is in harmony with the character of the surrounding area and the illumination levels of neighboring properties;

F. Whether any interior lighting that will be visible from the outside will create significant contrast with all other lighting on the site, with adjacent properties, or with the ambient light; and

G. Whether the lighting is in keeping with the City's goal of prohibiting unnecessary illumination of the night sky.

1273.03 DESIGN STANDARDS.

~~—(3) Design standards.~~ When site plan approval is required for the installation or modification of exterior lighting, the following conditions shall apply:

(a)A. Light fixtures shall not be mounted in excess of the maximum height limitation of the district in which they are located. For lighting in residential districts and for uses adjacent to a residential district or use, light fixtures shall not be mounted in excess of 25 feet above grade. Fixture height shall be measured from the grade of the illuminated surface to the top of the fixture.

(b)B. Electrical service to the light fixtures shall be placed underground.

~~(c)C.~~ No flashing or moving lights shall be permitted.

~~(d)D.~~ Glare control shall be accomplished primarily through the proper selection and application of lighting equipment. Only after those means have been exhausted shall landscaping, fencing and similar screening methods be considered acceptable means for reducing glare.

~~(e)E.~~ Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light level of the surface being lit, measured in foot-candles, shall not exceed a ratio of 4-to-1. In no case shall the maximum to minimum light levels exceed a ratio of 10-to-1 between any 2 points on a lot.

~~(f)F.~~ Outdoor lighting shall be designed to present a uniform color temperature on a site, building or development as far as the lighting shall have a **correlated** color temperature of 3500 ~~degrees Kelvin (K)~~ or less.

~~(g)G.~~ Lighting for security purposes and limited operations shall be maintained after hours of operation between 0.2 foot-candles and the minimum permitted in Table 9.

~~(h)H.~~ Lighting for security purposes shall be directed only onto the area to be secured:

1. All fixtures shall be located, shielded and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky.

2. Fixtures mounted on the building and designed to illuminate the facade are preferred.

~~(i)I.~~ Parking lot lighting shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Fully shielded fixtures shall be used to prevent glare and direct illumination away from adjacent properties and streets. Designs that result in even levels of illumination across a parking area are preferred.

~~(j)J.~~ The illumination of vehicle fueling stations **shall not exceed 15 foot-candles as measured at any one point. Drive** through operations (areas directly associated with the drive through itself, not the entire use or property) ~~and convenience stores~~ shall not exceed 10 foot-candles as measured at any one point. Excessive lighting for the purposes of attraction and advertising shall not be permitted.

~~(k)K.~~ Areas not associated with fuel pump islands or drive throughs such as those used for parking and vehicle storage shall be illuminated in accordance with the parking area requirements of subsection (a)(3)0.

~~(l)L.~~ Light fixtures mounted on canopies shall be recessed or flush with the bottom of the canopy. Where a drop-down fixture is used, the lens shall be flush with (i.e., no more than one inch beyond) the casing so that light is directed down and not sideways. All canopy lighting shall be shielded to provide a cut-off angle of 85 degrees. Fixtures shall not be mounted on the top or sides of canopies.

~~(m)M.~~ The illumination of canopy sides shall be prohibited.

(n)N. The following illumination levels shall act as minimum standards for all exterior lighting. Maximum lighting will be governed by the 4-to-1 ratio of average to minimum illumination of the surface being lit standards identified in subsection (a)(3)E. above; in no case shall the maximum lighting level exceed the maximum identified in the table below. Where a site abuts a nonresidential district, maximum illumination at the property line shall not exceed 1 foot-candle. The Director of Planning or Planning Commission, as applicable, may modify these levels or place conditions on their application (e.g., the installation of screening such as an open buffer, landscaping, wall, or fence) if such modifications are deemed necessary and appropriate for the use and surrounding area.

Table 9. Illumination Standards to Areas within the Site Plan

	Minimum Illumination*	Maximum Illumination*
	(measured in foot-candles)	
Parking lots and associated circulation areas	0.4	6.0
Loading areas	0.4	6.0
Walkways	0.2	2.0
Outdoor display and sales areas	0.4	6.0
Primary Building Entrances - designed for public use	1.0	5.0
Secondary Building Entrances - designed for service and delivery	0.2	5.0
*The illumination measured in foot-candles at ground level. The minimum illumination during non-business hours shall be 0.2 foot-candles.		

(o)O. Where a site abuts a residential district or use, the following special conditions shall apply:

1. The height of light fixtures shall not exceed the maximum height prescribed in subsection (a)(3)A.
2. All fixtures shall be fully shielded.
3. No direct light source shall be visible at the property line (adjacent to residential) at ground level.
4. Maximum illumination at the property line shall not exceed 0.5 foot-candles.

For the purposes of this ~~ordinance~~**chapter**, the O-R, Office- Residential District shall be considered a residential district due to its status as a transition between more intensive retail and residential districts **in addition to those defined in Section 1290.02 of the Planning and Zoning Code, and PUD-R, Planned Unit Development-Residential sites, and residential components of PUD-MU, Planned Unit Development-Mixed Use sites.**

(p)P. The Planning Commission may choose to waive or alter fully shielded light fixture requirements of this section when appropriate historic or decorative fixtures are proposed (e.g., the use of decorative up-lighting to illuminate the underside of a canopy or

columns on a facade, where a canopy or roof projection restricts the projection of the light into the night sky).

(q). The maximum illumination emitted from the interior of a building or structure regulated under this chapter shall not exceed 15 foot-candles as measured at any point a minimum 3 feet above grade, and no closer than 1 foot from a display window, door, or similar opening between interior and exterior of a building. See also Section 648.12, Light Abatement.

1273.04 ~~1273.03~~ MAINTENANCE.

(a) All installed and approved light fixtures shall be kept in good repair. This includes, but is not limited to, replacing non-working bulbs, repairing broken or malfunctioning fixtures and similar activities. Failure to maintain fixtures shall be deemed a violation of the Planning and Zoning Code and/or the Property Maintenance Code of the City of Springboro.

(b) On the repair, replacement, or relocation of any fixture, the fixture shall be brought into compliance with these requirements. Existing fixtures that are currently not in compliance with these requirements do not need to be brought in compliance until such time as any repair, replacement, or relocation of the fixture is performed.

1273.05 ~~1273.04~~ EXEMPTIONS.

(a) The following lighting applications shall be exempt from the provisions of this **chapter** section:

(1) Roadway and airport lighting required by the appropriate public agency for health, safety and welfare purposes;

(2) National, state and local flag lighting, provided that the illumination is a maximum of 10 foot-candles, and that the light source is aimed and fully- shielded to direct light only onto the intended target and to prevent glare for motorists, pedestrians and adjacent property;

(3) Lighting for bona fide sporting events;

(4) Holiday lighting provided individual lamps do not exceed 10 watts;

(5) Temporary lighting for theatrical, television and performance areas;

(6) Auxiliary code-required lighting for stairs and ramps, and lighting required and regulated by the Federal Aviation Administration and/or other state federal agencies;

(7) Emergency lighting approved by the City of Springboro, provided the lighting is discontinued upon the abatement of the emergency necessitating said lighting;

(8) Other temporary lighting determined to be reasonable and appropriate by the Zoning Inspector; and

(9) Architectural lighting shall be permitted on vertical surfaces of a structure provided the following conditions are met:

- A. Lighting levels do not exceed 5.0 foot-candles at any one point on the elevation;
- B. Lighting shall be located, shielded and aimed so light is only directed on the building surface;
- C. Lighting shall not be directed toward adjacent streets, roads or residential areas;
- D. To the maximum extent practical, lighting fixtures shall be directed below the horizontal plane of the bottom of the fixture rather than above; and
- E. Aside from security lighting, building elevations visible from adjacent residential property (i.e., residential properties that directly abut the property on which the building lies) shall not be lighted.
- F. Such lighting shall comply with Section 1273.02(a)(3), and Section 1273.02(c)(3)(R).

2. SECTION 648.12, LIGHT ABATEMENT.

The following new section is proposed in Chapter 648, Peace Disturbances, of the General Offenses code:

Section 648.12, Light Abatement.

(a) No owner, manager or any person in charge or control of property shall engage in or permit the emission of light from the interior of a building in excess of 25 foot-candles as measured from any point a minimum of 3 feet above grade and no closer than 1 foot from a display window, door, or similar opening between the exterior and interior of a structure or building. See also Planning and Zoning Code Chapter 1273, Exterior Lighting.

(b) Whoever violates this section is guilty of a minor misdemeanor. Punishment shall be as provided in Section 698.02.

3. CHAPTER 1281, SIGN CODE.

Two amendments to tables within Chapter 1281 are proposed:

Amend Table 1281-B as follows:

TABLE 1281-B: MAXIMUM INDIVIDUAL BUILDING SIGN AREA IN COMMERCIAL ZONING DISTRICTS		
Sign Setback from the Curb of the Adjacent Street	Maximum Sign Area of any Individual Building Sign¹	
	If Street Frontage Has a Ground Sign	If Street Frontage Does Not Have a Ground Sign
0 to 100 Feet	35 Square Feet	65 Square Feet
101 to 250 Feet	50 Square Feet	80 Square Feet
251 to 350 Feet	75 Square Feet	105 Square Feet
351 Feet and Over	100 Square Feet	130 Square Feet
¹ For buildings in the ADD-1, the maximum sign area permitted is 150% of the number stated in the table above.		

Amend Table 1281-C as follows.

TABLE 1281-C: GROUND SIGN STANDARDS			
District	Minimum Setback from Curb the existing or proposed Property Line	Maximum Height	Maximum Sign Area
Commercial Zoning Districts	8 Feet	6 Feet	30 Square Feet
Industrial Zoning Districts	8 Feet (See Also Maximum Sign Area.)	20 Feet	100 Square Feet. The maximum sign area may exceed 100 square feet provided there is one additional foot in setback, beyond the 8-foot minimum, for each additional 8 square feet of sign area beyond the initial 100 square feet of sign area.
Architectural Sign Overlay District	4 Feet	6 Feet	20 Square Feet
Note: In no case shall any ground sign exceed 300 square feet in sign area, in any zoning district.			

Northampton Phase 3, 1405 S Main St Materials

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Bayer Becker

Address 6900 Tylersville Rd, Suite A
Mason, Ohio 45040

Telephone No. (513) 492-9832

Fax No. ()

Email Address johndelverne@bayerbecker.com

PROPERTY OWNER NAME (IF OTHER): Eastbrook Farms Inc.

Address: 3000 Henkle Dr
Lebanon, Ohio 45036

Telephone No. (513) 932-6010

Property Address or General Location: East of Clearcreek Franklin Rd & South of Whispering Pines

Parcel Number(s): 0414153025 Zoning District: R-2

Proposed Use: Single family residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

2/19/2025
(Date)

John Del Verne
Printed Name

APPLICATION—PLANNED UNIT DEVELOPMENTS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☐ Agent
☐ Lessee
☒ Signed Purchase Contract

APPLICANT NAME: M/I Homes of Cincinnati, LLC

Address 9349 Waterstone Blvd. Suite 100
Cincinnati, OH 45249

Telephone No. (513) 551-3954

Fax No. () N/A

Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Sandra Calmes

Address: 1405 SR 741
Springboro, OH 45066

Telephone No. () 937-776-8145

Property Address or General Location: 1405 SR 741 Springboro, OH 45066

Parcel Number(s): 0818200017 Acreage: 16.65 acres

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.04 units/acre Number of Residential Units 34

Proposed Use: 34 single-family detached homes adjacent to Northampton.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

2/18/2025
(Date)

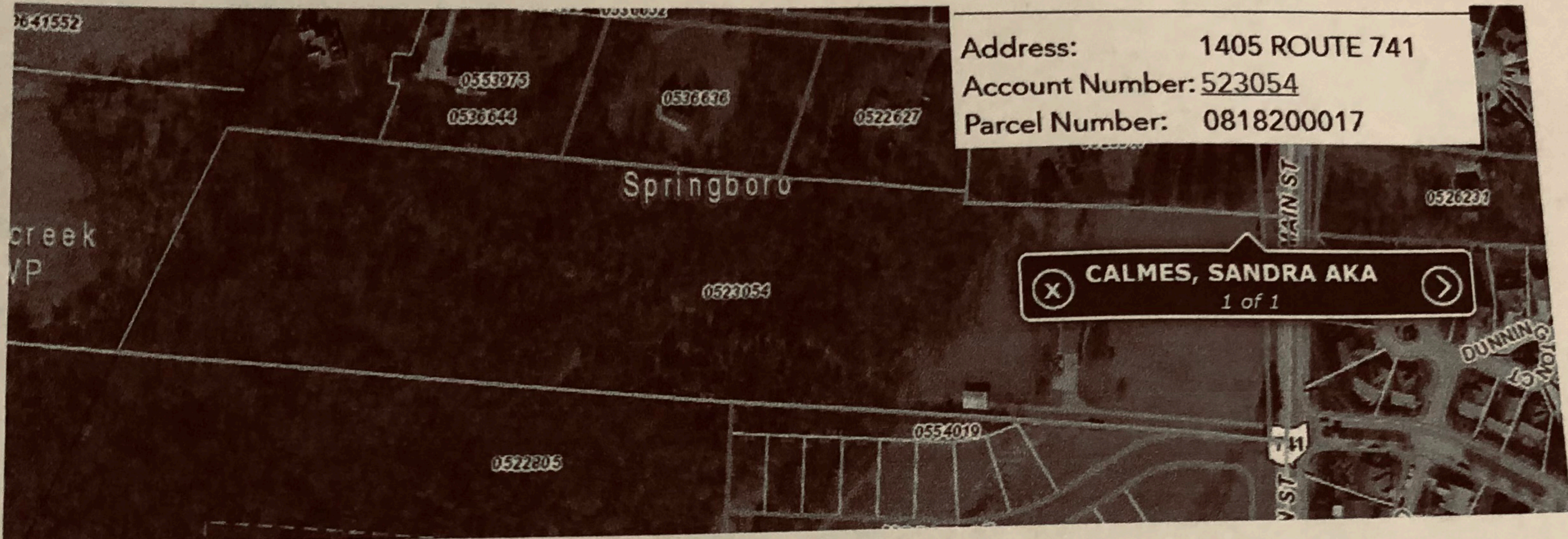
Justin Lanham
Printed Name

CALMES AUTHORIZATION

Please allow this letter to authorize M/I Homes and its agents to discuss and apply for a rezone for the Property identified below with the City of Springboro, Warren County, and any other governmental jurisdictions as needed.

CALMES, SANDRA AKA

Address: 1405 ROUTE 741
Account Number: 523054
Parcel Number: 0818200017



Sandra Calmes

2-17-25

Sandra Calmes

Date

February 20, 2025

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton Phase 3 – Application for Amendment of Zoning Map & General Plan
Enclosed: Proposed House Elevations and Floorplans (20 Pages)

Dear Mr. Boron,

M/I Homes is pleased to provide an Application for an Amendment of Zoning Map & General Plan for the 16.65-acre property owned by Mrs. Sandra Calmes located at 1405 State Route 741 Springboro, OH 45066. The proposed General Plan shows (34) single-family homes with typical lot sizes of 117' wide, 20,000sf and 62' wide, 8,370sf. The streets are in a 50' public right-of-way that will include 5' sidewalk on both sides of the internal streets. The proposed plan will allow for the alignment of the existing Northampton entrance with Heatherwoode Blvd. and an update to the existing Traffic Impact Study is underway. Buildout is expected to take 1-2 years depending on market conditions.

The property will be marketed as "Northampton" and join the Northampton Residential Owners Association, Inc. which will own and maintain the proposed common open space through the existing Declaration of Covenants, Conditions, and Restrictions and Reservation of Easements.

M/I will offer the enclosed house plans approved by the City of Springboro for Northampton which includes a variety of elevations and colors with square footage ranging from 1,544sf to more than 4,322sf. Home plans will comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of the Planning and Zoning Code.

The City of Springboro Master Plan adopted in February 2022 locates the property within Policy Area 16 which is described as having the following existing and preferred future characteristics:

1. Low-to moderate-density detached residential (Pg. 79).

Four residential subdivisions in the vicinity were developed at the following densities:

- *Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre*
- *Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre*
- *Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre*
- *Northampton, 75 units on 35.62 acres, 2.11 units/acre (2.13 with Janney House)*

The proposed density is 2.04 units/acre which is consistent with the “low-to moderate density” prescribed for Policy Area 16 and the existing subdivisions in the vicinity.

2. Extensive active and passive open space areas (Pg. 79).

The site is 16.65 acres, and the plan includes 26% open space in addition to a 10’ multi-use public trail. Residents will be part of the Northampton community and will have access to the extensive active open space, multi-use trail, and seating area.

3. Policy area 16 is characterized by large lot single family residential uses (Pg. 79).

The property is currently zoned R-1, Estate-Type Residential District with a minimum 100’ wide, 20,000sf lots. The proposed plan maintains the current zoning lot size of 20,000sf along the north and matches the existing Northampton 62’, 8,370sf lots on the south. As shown on the plan, 15’ of the existing tree line along the north property line will be preserved and not cleared.

4. Encourage safe school access for nearby residents through the establishment of sidewalks and/or walking trails (Pg. 80).

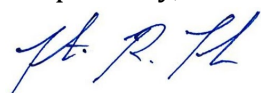
The proposed plan includes 5’ sidewalk on both sides of the internal streets as well as a 10’ multi-use trail connecting Northampton. Phase 2 of Northampton will include a 10’ multi-use trail connection directly to the school campus.

5. Promote and maintain the Heatherwoode Golf Course as a valuable local and regional amenity (Pg. 80).

The proposed plan does not negatively impact Heatherwoode Golf Course and could be assumed to be a source of new customers.

Based on these attributes, we believe the proposed plan “emphasizes residential uses that conform to the existing character of the neighborhood” as is recommended by the 2022 Master Plan (Pg. 80). Please contact me should you have any questions or need additional information.

Respectfully,



Justin Lanham

M/I Homes of Cincinnati, LLC

(513) 551-3954

jlanham@mihomes.com



March 10, 2025

Dear Property Owner,

This letter is being sent as a courtesy to residents living adjacent to property located at 1405 South Main Street (SR 741) that is proposed to be rezoned as a residential subdivision under a proposal submitted by M/I Homes of Cincinnati. The Springboro Planning Commission will hold a meeting on Wednesday, March 19, 2025 beginning at 6:00 p.m. in Council Chambers in the Springboro City Building, 320 West Central Avenue, to review on a preliminary basis the rezoning request. See the enclosed vicinity map for the relative location of the property.

The property subject to the rezoning is approximately 16.54 acres in area and is used as a residence, with frontage on South Main Street. The applicants are requesting to rezone the property from the current R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. The R-1 District allows the development of two units per acre on lots 20,000 square feet or larger. The rezoning would accommodate the development of 34 single-family residential units on the property, a development density of 2.04 dwelling units per acre. The property would be added to the Northampton subdivision that M/I Homes is developing immediately to the south. M/I Homes proposes two access points to the subdivision: one from South Main Street that would be paired with the access road to the Northampton subdivision and aligned to match Heatherwoode Boulevard on the east side of SR 741, and to Perthshire Drive also in Northampton. A stub street to the west is also proposed, as well as walking trails internal to the site. A total of 4.38 acres of open space, or 26.3% of the site acreage, is proposed. PUDs require a minimum of 25% open space. The R-1 District has no open space requirement.

The subdivision proposed by M/I Homes is being reviewed under the Planning and Zoning Code's PUD ordinance. The proposal is currently at stage one of the PUD review process, rezoning and general plan approval with approval by Planning Commission and City Council required. The second stage, final development plan review and approval by Planning Commission, provides more detail on the subdivision's (or a portion of it if developed in sections) plans including street design, utilities, and more. The final stage, record plan review and approval by Planning Commission and City Council, allows for the creation of lots, the dedication of right-of-way and common areas.

Planning Commission meetings are public meetings where applications for approval are reviewed by members of Planning Commission, following the consideration of City staff technical comments, and comments offered by the public. No vote on the M/I Homes rezoning request will be taken on March 19. The Planning Commission will determine at the conclusion of the March 19 review whether formal review and approval may take place, or at a subsequent meeting, as soon as April 9, or if additional preliminary discussion is necessary.

City of Springboro
320 West Central Avenue
Springboro, Ohio 45066
Phone 937 748 4343
Fax 937 748 0815
www.ci.springboro.oh.us

If you wish to address the Planning Commission regarding the proposed plan you may do so in person at the March 19 Planning Commission meeting. If you cannot attend the meeting but would like to comment on the proposal, you may submit your comments in writing along with your name and address to the attention of September Bee, Planning Commission Secretary, by mail to 320 West Central Avenue, Springboro, Ohio 45066; by fax to (937) 748-0815; or by e-mail to september.bee@cityofspringboro.com. All comments received by 12:00 p.m. on March 19 will be forwarded to Planning Commission members at the meeting.

A copy of the M/I Homes proposal is available for review in the Building & Zoning Department at the Springboro City Building between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, legal holidays excluded. The plans may also be reviewed on the City website at <https://www.cityofspringboro.com/383/Planning-Commission-Submissions>. Look for "Materials for March 19, 2025." No additional notifications will be mailed about this proposal while it is under review by Planning Commission, however all items submitted to the City will be available through the Planning Commission page on the City website at the location indicated above. Should the rezoning application move forward to City Council, adjacent property owners will be notified of a public hearing of City Council as required by state and local law.

For more information on the submitted preliminary plan contact Dan Boron, Planner, at (937) 748-6183, or danb@cityofspringboro.com.

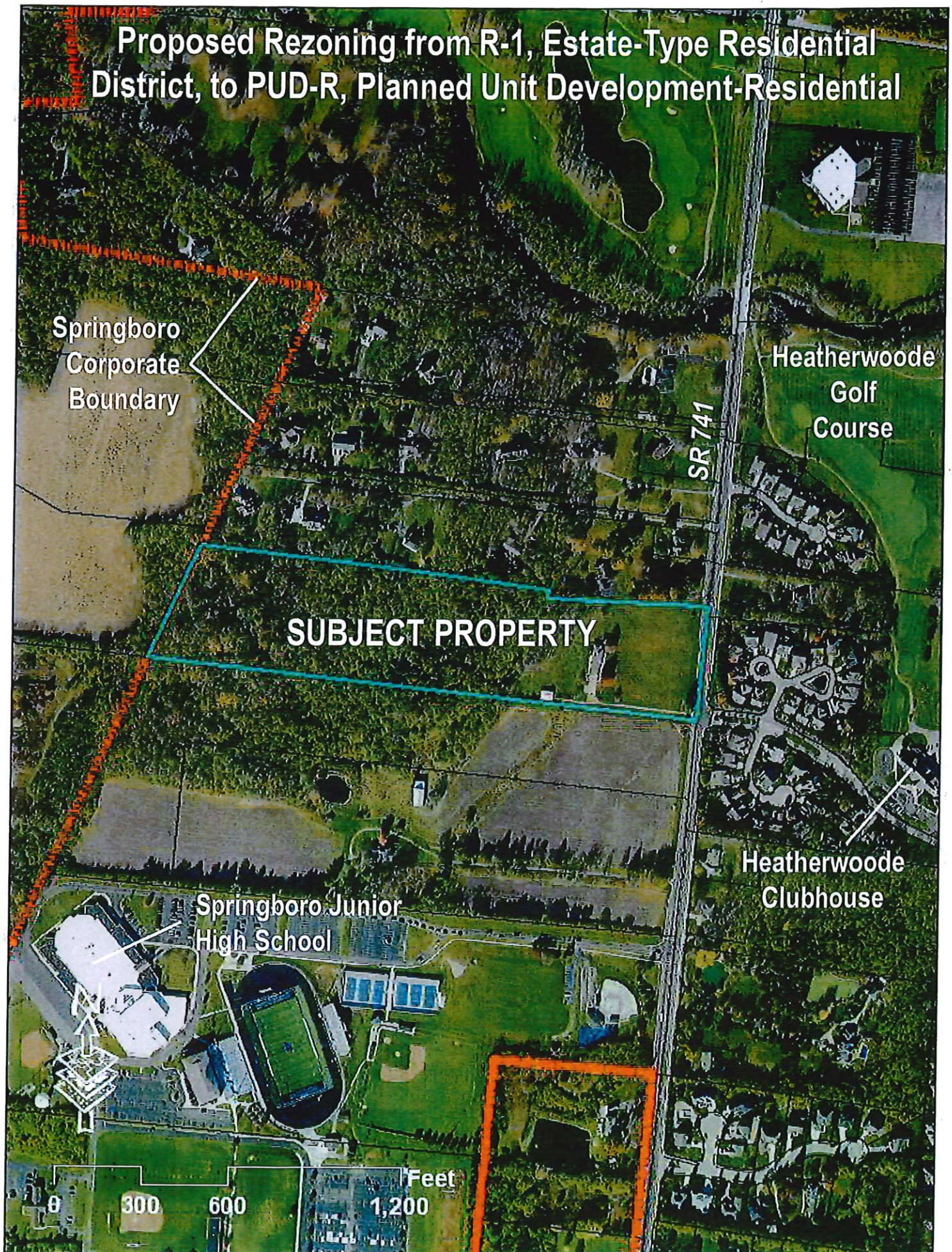
Sincerely,

A handwritten signature in cursive script, reading "Christopher J. Pozzuto".

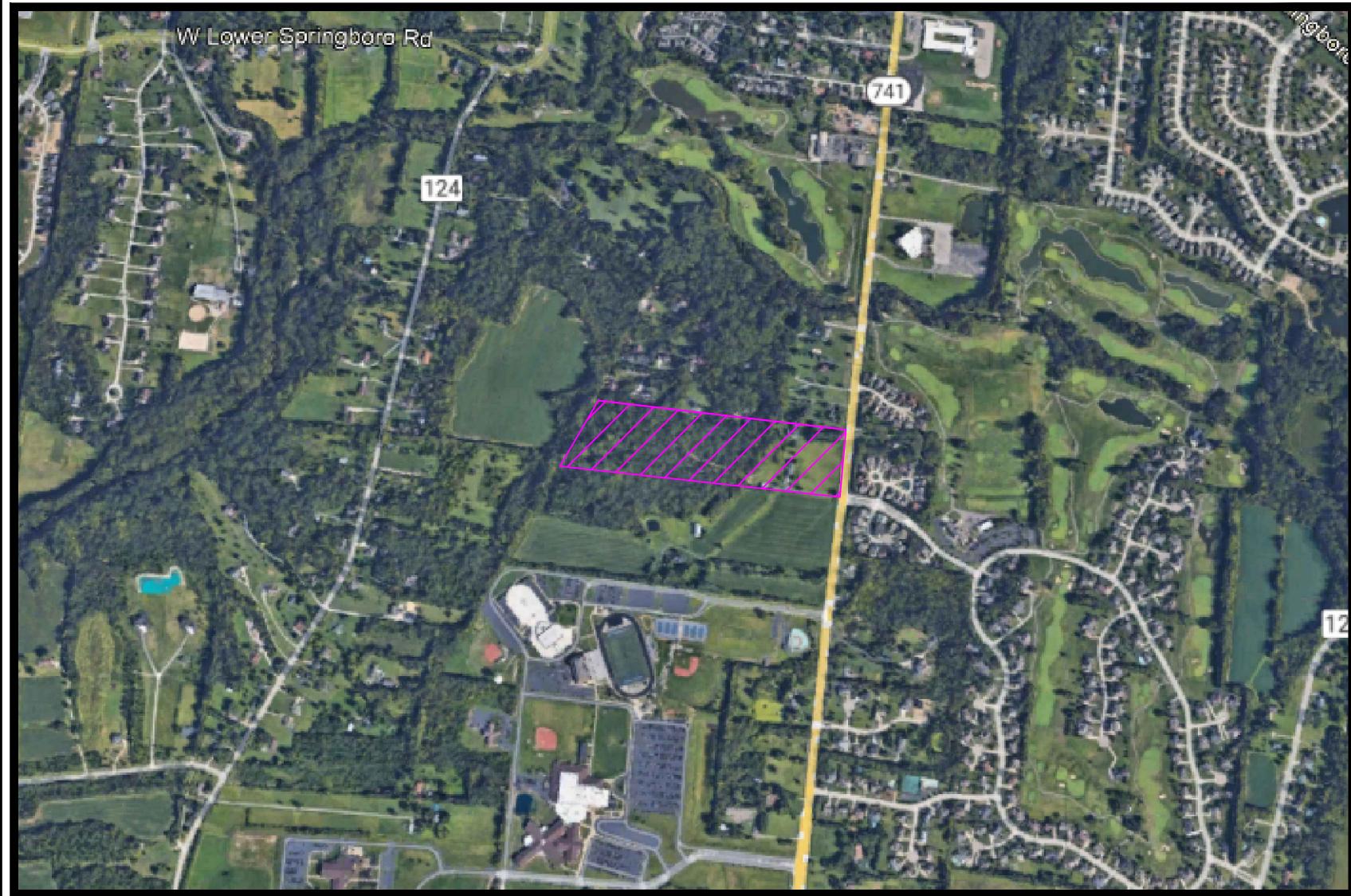
Chris Pozzuto, City Manager
City of Springboro

cc: Dan Boron, Planner
September Bee, Planning Commission Secretary

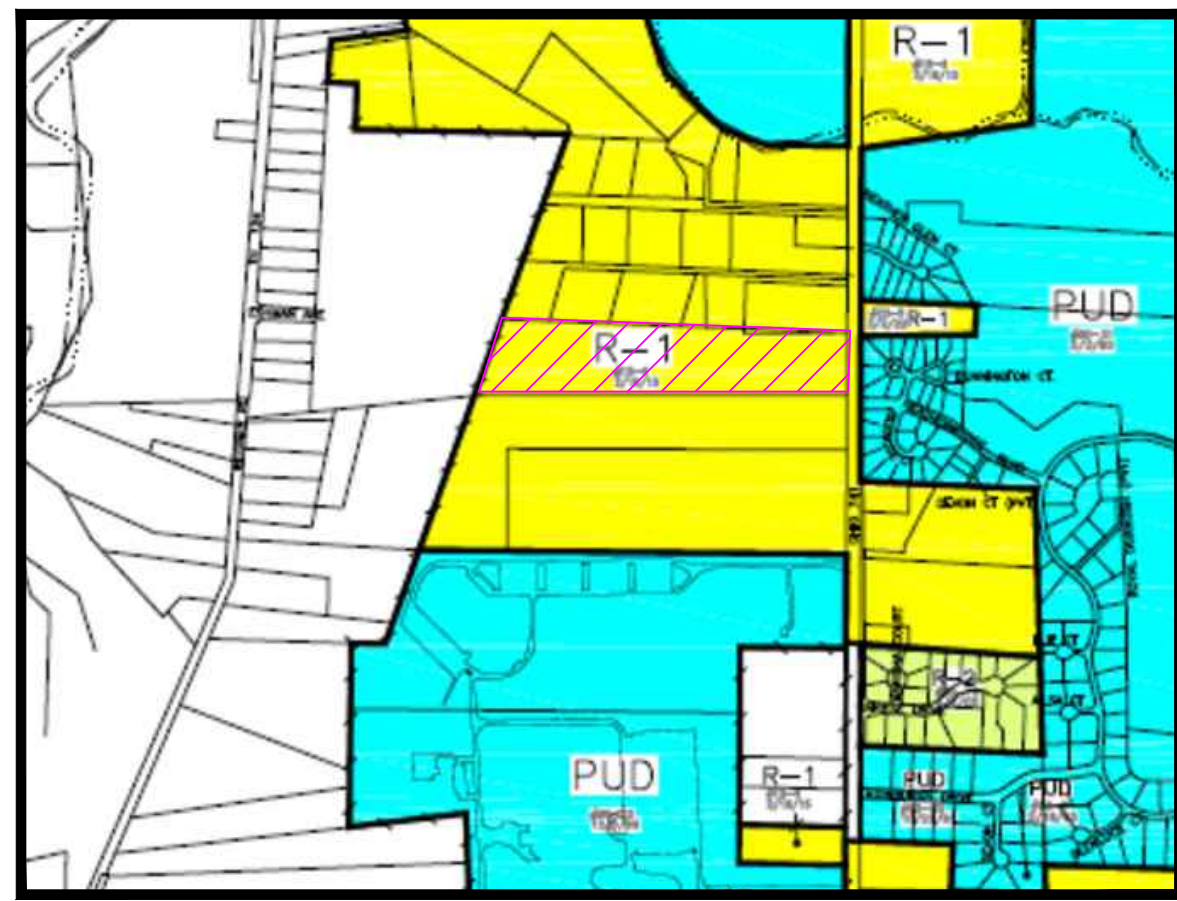
Proposed Rezoning from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential



Z:\project\Warren\Springboro\WAR-SPR-2410\Drawings\PropertyAddition\WARSPR2410 - Final\DevelopmentPlan\Exhibits.dwg 20-Feb-25 9:43 AM



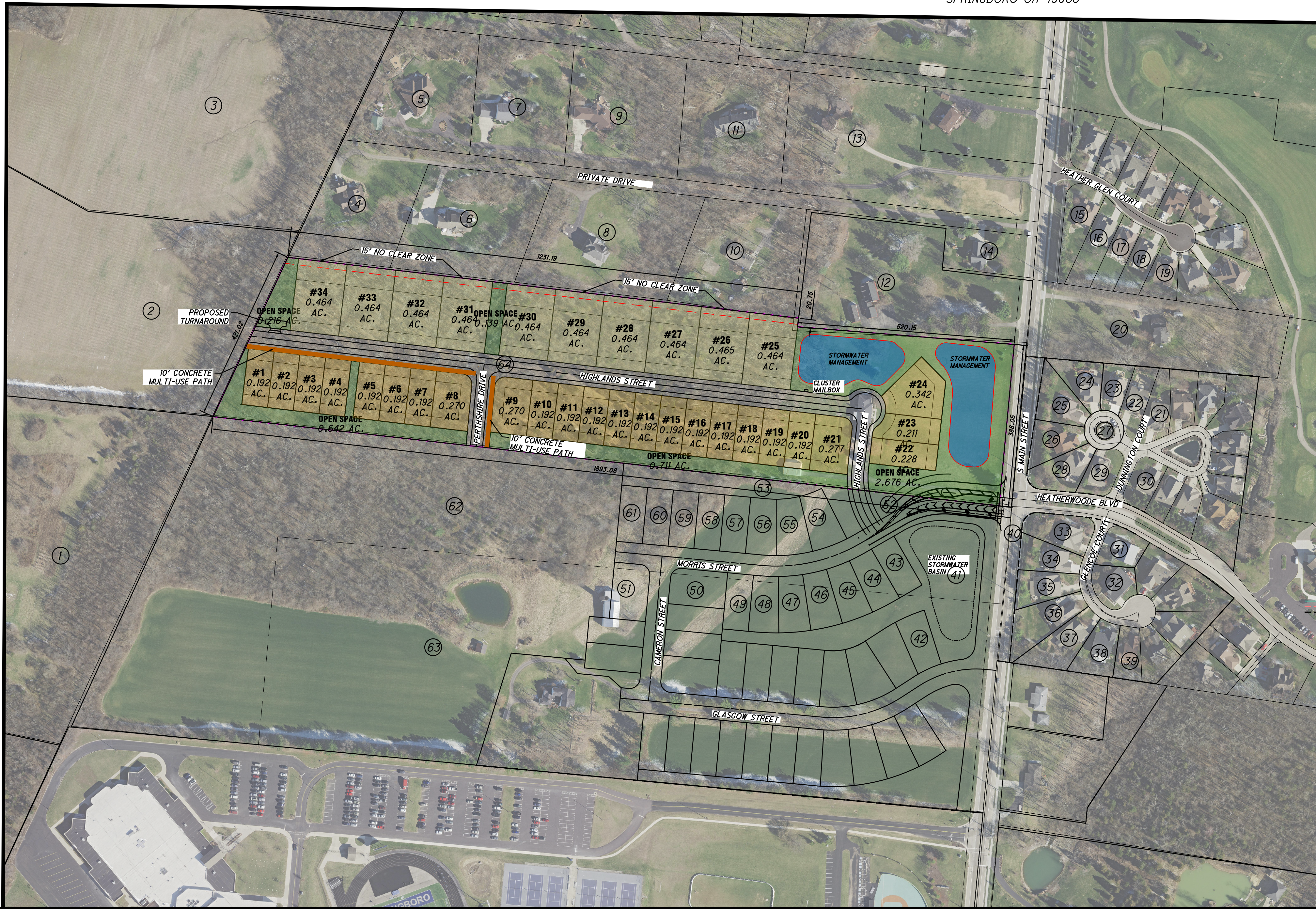
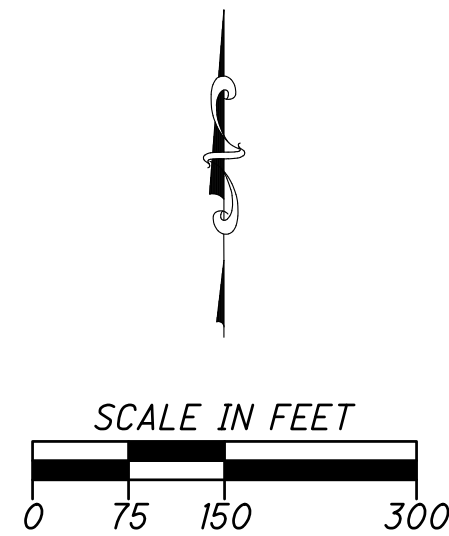
VICINITY MAP 1"=1000'



ZONING MAP: 1"=1000'

	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
	(HBD) HIGHWAY BUSINESS DISTRICT
	(LBD) LOCAL BUSINESS DISTRICT
	(CBD) CENTRAL BUSINESS DISTRICT
	(UVD) URBAN VILLAGE DISTRICT
	(M-1) LIGHT MANUFACTURING DISTRICT
	(M-2) HEAVY MANUFACTURING DISTRICT
	(ED) EMPLOYMENT CENTER DISTRICT
	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
	(O-R) OFFICE-RESIDENTIAL DISTRICT
	(O) OFFICE PARK DISTRICT
	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

- 1 KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066
- 2 SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
STE 300
MIAMISBURG OH 45342
- 3 HENSING ROBERT J JR & KELLY M
3384 JENNINGS CHAPEL
WOODBINE, MD 21797
- 4 SMITH ROBERT S
1327 S MAIN ST
SPRINGBORO OH 45066
- 5 LAKE JASON J & LAUREN J
1321 S MAIN ST
SPRINGBORO OH 45066
- 6 BOCKELMAN JOSEPH &
DRIEHAUS BARBARA
1331 S MAIN ST
SPRINGBORO OH 45066
- 7 OMBRELLO TIMOTHY M & JENNA
1317 S MAIN ST
SPRINGBORO OH 45066
- 8 KESLING KIMBERLY A & BROWN
GILBERT L JR
1335 S MAIN ST
SPRINGBORO OH 45066
- 9 CURRY DAVID S
1313 S MAIN ST
SPRINGBORO OH 45066
- 10 BOND CHARISSA L & SETH M
1345 S MAIN ST
SPRINGBORO OH 45066
- 11 BRIAN BRAD
1309 S MAIN ST
SPRINGBORO, OH 45066
- 12 TUCKER ROY E & HARRIETT J TRUSTEES
1355 S MAIN ST
SPRINGBORO OH 45066
- 13 CRAFTREY JENNIFER & HENDERSON BROCK
1305 S MAIN ST
SPRINGBORO OH 45066
- 14 SMITH ERIK E
505 RENWOOD PL
SPRINGBORO, OH 45066
- 15 JOHNSON MICHELLE & ROBERT D
5 HEATHER GLEN CT
SPRINGBORO, OH 45066
- 16 ROBINSON LINDA S
15 HEATHER GLEN CT
SPRINGBORO OH 45066
- 17 COMBS TERESA K
25 HEATHER GLEN CT
SPRINGBORO OH 45066
- 18 SEAMAN EDWARD G & KAY S
35 HEATHER GLEN CT
SPRINGBORO, OH 45066
- 19 HUMANCHUK STEFANIE A
45 HEATHER GLEN CT
SPRINGBORO OH 45066
- 20 ARNDTS NATHAN & NATISHA
1360 S MAIN ST
SPRINGBORO OH 45066
- 21 BRANDABUR JUDITH A
44 DUNNINGTON CT
SPRINGBORO OH 45066
- 22 BYRD CYNTHIA S
41 DUNNINGTON CT
SPRINGBORO OH 45066
- 23 MEYER DAN W
35 DUNNINGTON CT
SPRINGBORO OH 45066
- 24 BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066
- 25 LAMM JULIA A & RICHARD D
23 DUNNINGTON CT
SPRINGBORO OH 45066
- 26 CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066
- 27 SIR EDWARDS GLEN OWNERS
ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066
- 28 MCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066
- 29 ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066
- 30 GOLLIHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
SPRINGBORO OH 45066
- 31 MUNTZ GARY W & MARY L
10 GLENCOE CT
SPRINGBORO OH 45066
- 32 BURCH KEVIN W
30 GLENCOE CT
SPRINGBORO OH 45066
- 33 BURNS PATRICK & PAMELA
5 GLENCOE CT
SPRINGBORO OH 45066
- 34 VALENTINO NICHOLAS V
15 GLENCOE CT
SPRINGBORO OH 45066
- 35 ASHBY HULAN C
25 GLENCOE CT
SPRINGBORO OH 45066
- 36 RUTLEDGE LARRY R JR
35 GLENCOE CT
SPRINGBORO OH 45066
- 37 HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
SPRINGBORO OH 45066
- 38 MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066
- 39 SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066
- 40 CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066
- 41-63 M/I HOMES OF CINCINNATI LLC
9349 WATERSTONE BLVD
SUITE 115
CINCINNATI OH 45249
- 64 CALMES SANDRA L
1405 S MAIN ST
SPRINGBORO OH 45066



NORTHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO
PROJECT AREA EXHIBIT

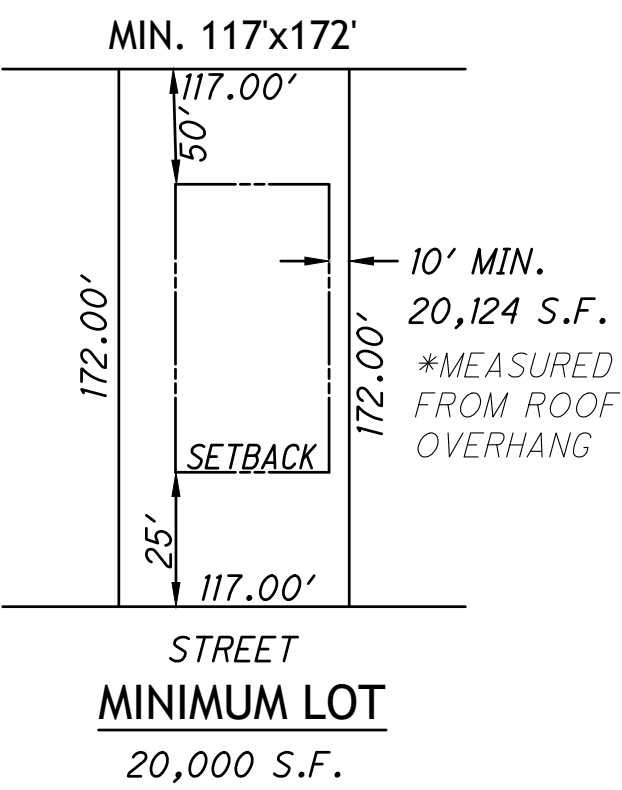
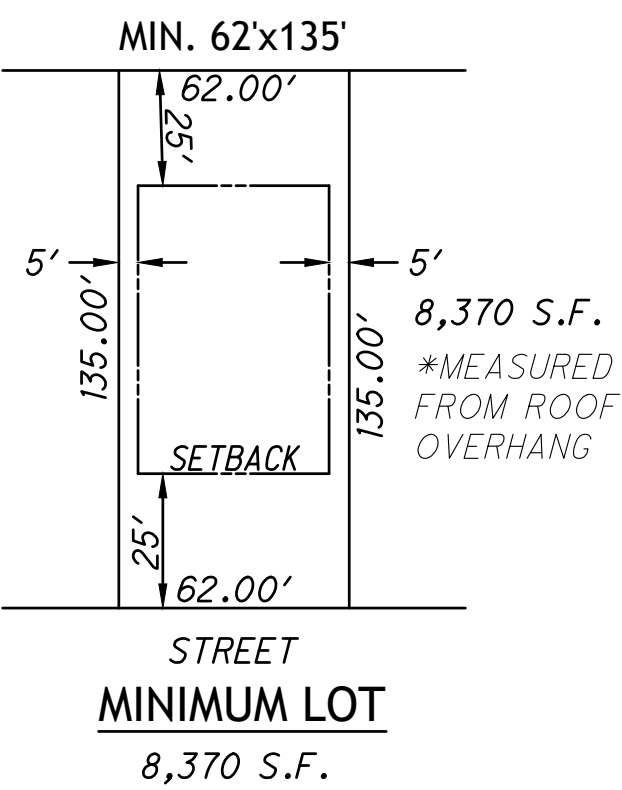
REVISIONS:

FILE NAME	VICINITY
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2410
DATE	02-21-2025
SHEET NUMBER	1 OF 4



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554

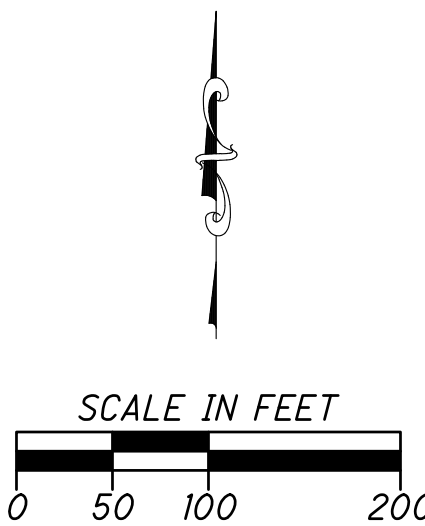
WWW.CHOICEONEENGINEERING.COM



PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH. INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS AND MEET CITY REQUIREMENTS.

SITE: 16.65 Ac.
SUMMARY TABLE:
PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELLING UNITS: 34
NET DENSITY OF RESIDENTIAL USES:
34 UNITS / 16.65 Ac.
= 2.04 UNITS / ACRE
EXISTING ZONING: R-1 ZONING
PROPOSED ZONING: PUD-R ZONING
OPEN SPACE: 4.384 Ac. / 26.3%
STORMWATER MANAGEMENT: 1.27 Ac. / 7.7%
BUFFER AREA: 0.42 Ac. / 2.5%
24 LOTS 62'x135'
FRONT SETBACK = 25'
REAR SETBACK = 25'
SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG
10 LOTS 117'x172'
FRONT SETBACK = 25'
REAR SETBACK = 50'
SIDE SETBACK = 10', 25' TOTAL, MEASURED FROM ROOF OVERHANG
34 TOTAL LOTS DEVELOPED IN ONE PHASE

- 62'x135' LOTS
- 117'x172' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



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LOVELAND, OHIO 513.239.8854
WWW.CHOICEONEENGINEERING.COM

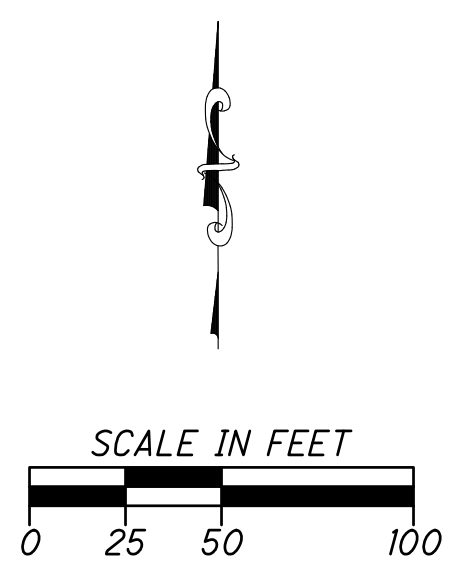
NORTHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO
CONCEPTUAL PLAN

REVISIONS:

FILE NAME
PHASE
DRAWN BY
JLH
CHECKED BY
JSP
PROJECT No.
WARSPR2410
DATE
02-21-2025
SHEET NUMBER



- 62'x135' LOTS
- 117'x172' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



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NORTHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO

LOT DIMENSIONING PLAN

REVISIONS:

FILE NAME
50 SCALE-1

DRAWN BY
JLH

CHECKED BY
JSP

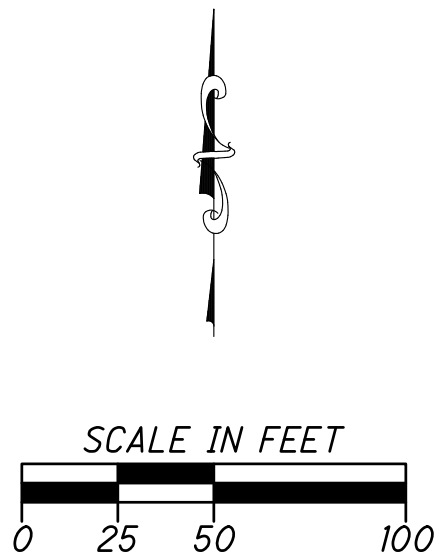
PROJECT No.
WARSPPR2410

DATE
02-21-2025

SHEET NUMBER
3 OF 4



- 62'X135' LOTS
- 117'X172' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS



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LOVELAND, OHIO 513.239.8554
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NORTHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO

LOT DIMENSIONING PLAN

REVISIONS:

FILE NAME
50 SCALE-2

DRAWN BY
JLH

CHECKED BY
JSP

PROJECT No.
WARSPP2410

DATE
02-21-2025

SHEET NUMBER
4 OF 4

HOUSE PLANS

The following house plans are proposed for the Calmes property. These plans have been approved by the City of Springboro for Northampton.

<u>Name</u>	<u>Base SF</u>
-------------	----------------

- | | |
|-------------|---------|
| ➤ Faulkner | 1,544sf |
| ➤ Cooper | 1,776sf |
| ➤ Melville | 1,865sf |
| ➤ Serenity | 2,330sf |
| ➤ Clayton | 1,927sf |
| ➤ Cheswicke | 2,188sf |
| ➤ Dawson | 2,461sf |
| ➤ Inglewood | 2,558sf |
| ➤ Cooke | 2,624sf |
| ➤ Morrison | 2,763sf |

<u>Name</u>	<u>Base SF</u>
-------------	----------------

- | | |
|--------------|---------|
| ➤ Tolbert | 2,869sf |
| ➤ Dillon | 2,913sf |
| ➤ Barrett | 3,035sf |
| ➤ Fairview | 3,322sf |
| ➤ Ainsley II | 3,175sf |
| ➤ Hyde Park | 3,372sf |
| ➤ Nicholas | 3,390sf |
| ➤ Keating | 3,598sf |
| ➤ Monroe | 3,852sf |



M/I HOMES

NORTHAMPTON

Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

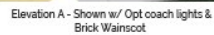
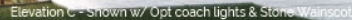
Note: Other elevation materials available and may be required by community. See MHomes.com for more elevations.



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Printed 4/20



Cooper



Half Baths: 0
Garages: 2
Stories: 1

*Note: Other elevation materials available and may be required by community. See MIDhome.com for more elevations.



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NORTHAMPTON

Melville



Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot



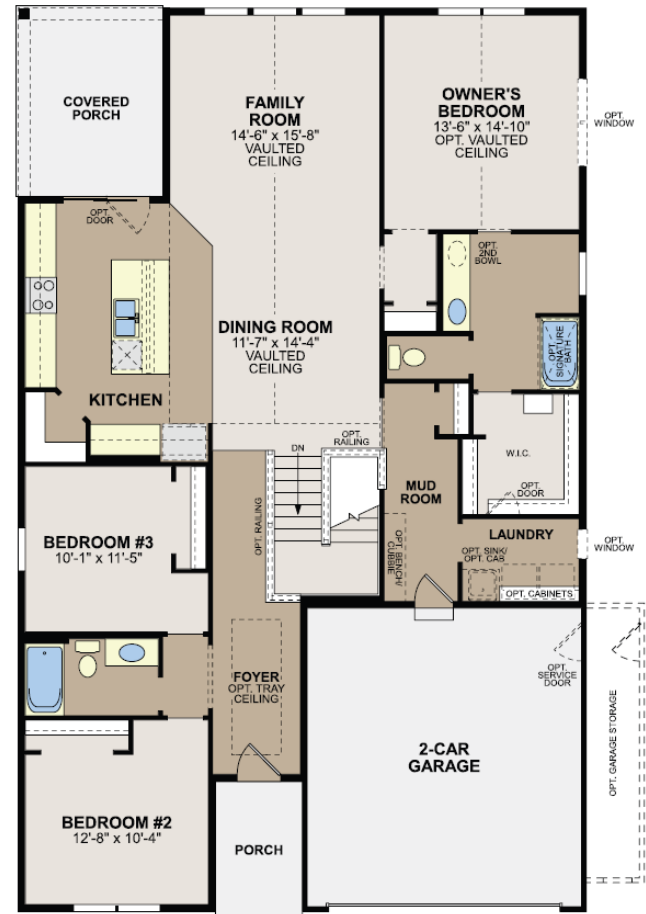
Elevation C - Shown w/ Opt Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



*Note: Other elevation materials available and may be required by community. See M | I Homes.com for more elevations.



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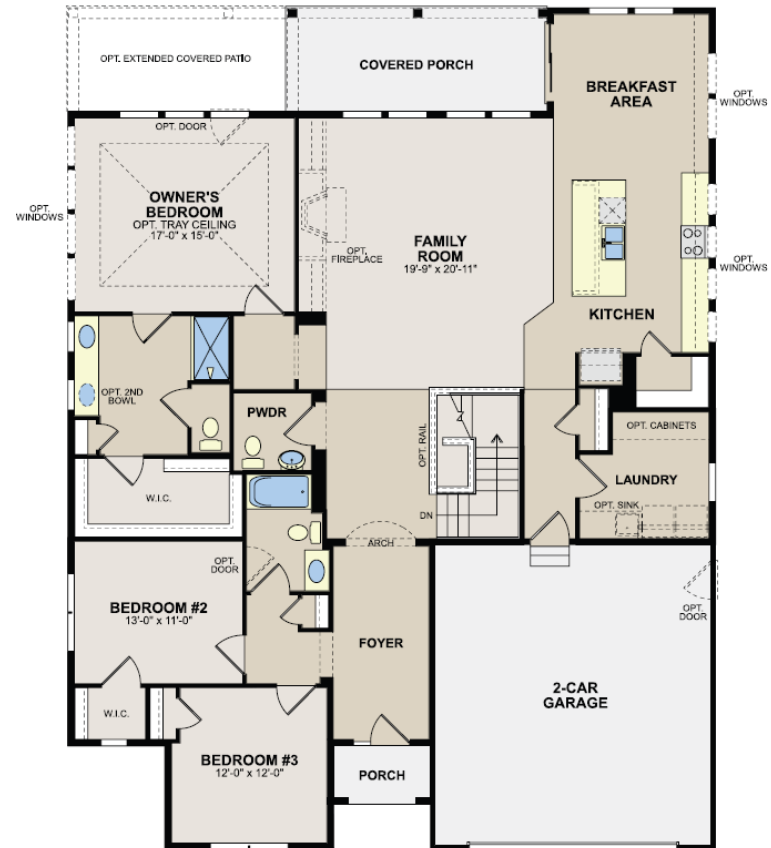
NORTHAMPTON

Serenity



Square Feet: 2,330
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 1



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Clayton



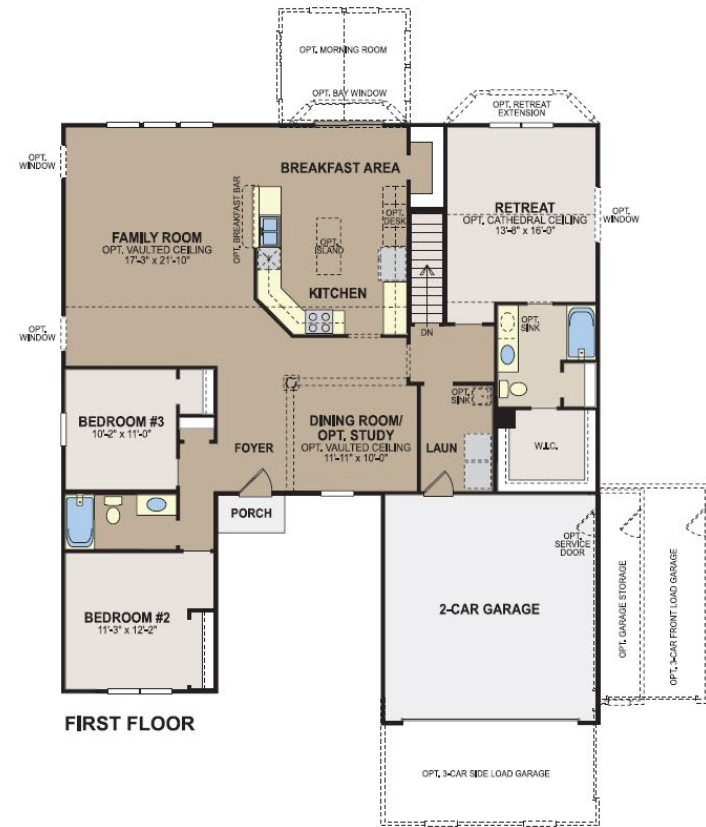
A photograph of a single-story brick house with a white garage door and a large front window. The house has a gabled roof and is surrounded by a green lawn and trees.

Square Feet: 1,927
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



M/I HOMES
Welcome to Better



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 08-22.



NORTHAMPTON

Cheswicke



Elevation F - Shown with Opt. Dormer



Elevation D - Shown w/Opt Stone



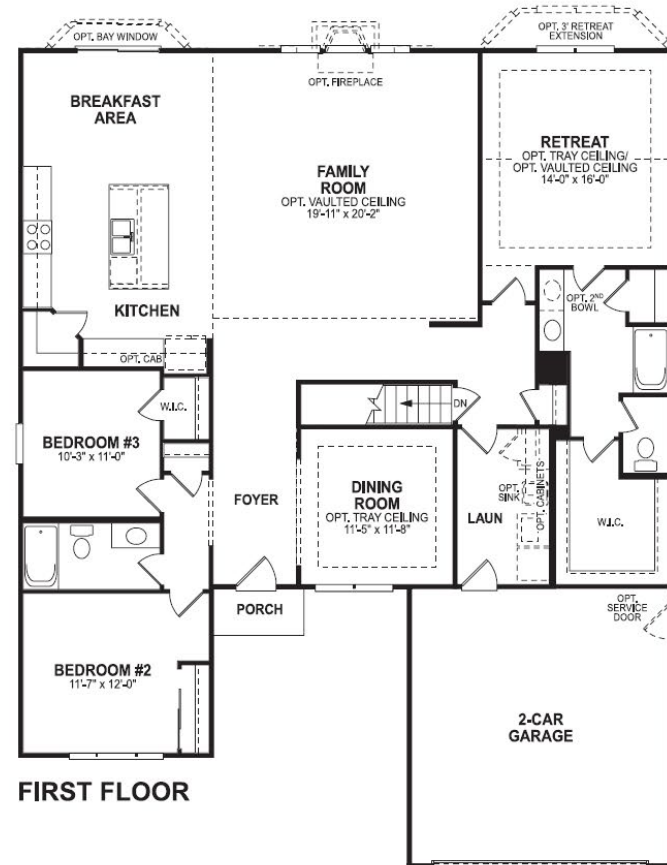
Elevation E - Shown w/Opt Dormers



Elevation G - Shown w/Opt Stone and Dormer

Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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NORTHAMPTON

Dawson



Elevation B



Elevation A



Elevation D - Shown w/Opt Stone

Square Feet: 2,461
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Inglewood



Elevation E - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



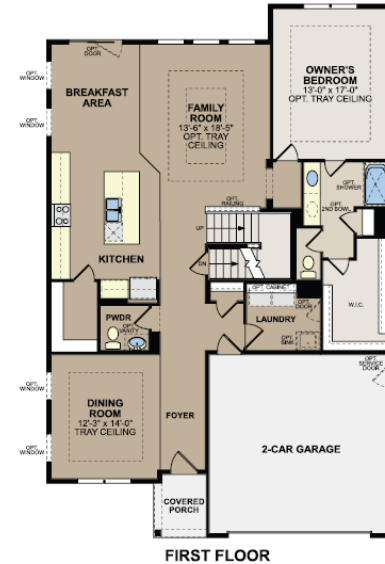
Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,558
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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NORTHAMPTON

Cooke



Elevation C - Shown w/Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Morrison



Elevation E - Shown with optional coach lights



Elevation A



Elevation C



Elevation D

Square Feet: 2,763
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Dillon



Elevation C



Elevation A



Elevation B

Square Feet: 2,913
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Barrett



Elevation B - Shown w/Opt Coach Lights



Elevation A - Shown w/Opt Coach Lights



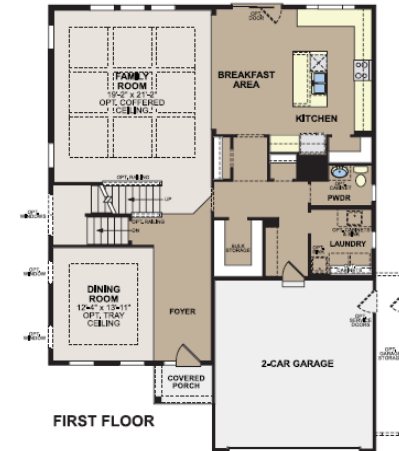
Elevation C - Shown w/Opt Coach Lights



Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Ainsley II



Elevation D - Shown w/Opt Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/Opt Study



Elevation E

Square Feet: 3,175
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Hyde Park



Elevation C - Shown w/ Opt Brick and Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation B - Shown w/Opt Brick and Coach Lights



Elevation D - Shown w/Opt Brick and Coach Lights



Elevation E - Shown w/Opt Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



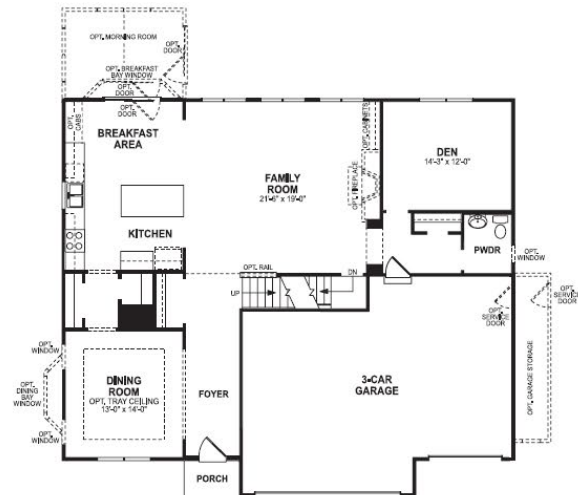
Elevation G



Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON

Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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NORTHAMPTON

Monroe



Elevation B - Shown w/Opt Garage Doors and Coach Lights



Elevation A



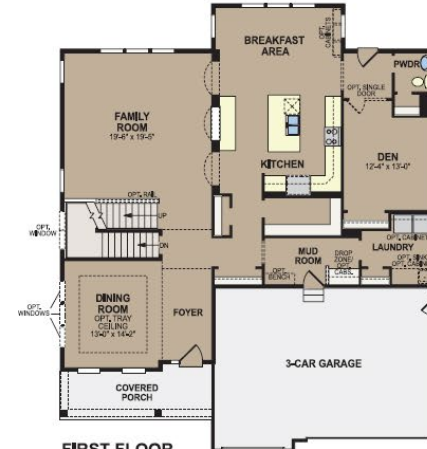
Elevation C - Shown w/Opt Stone



Elevation D - Shown w/Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



FIRST FLOOR



SECOND FLOOR

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Easton Farm Multi-Family Buildings Materials

APPLICATION—PLANNED UNIT DEVELOPMENTS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☒ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☐ Agent
☐ Lessee
☒ Signed Purchase Contract

APPLICANT NAME: Casto

Address 250 Civic Center Drive
Suite 500

Telephone No. (614) 744-2057

Fax No. ()

Email Address ctumblin@castoinfo.com

PROPERTY OWNER NAME (IF OTHER): Becky Hall (as of the date of submittal)

Address: 605 N. Main St. Springboro, OH 43201

Note: As of the date of planning meeting. Owner is expected to be Easton Farm Partners, LLC (contact: Jeff Fontaine). 985 N. High St. Suite 200, Columbus, OH 43201.

Telephone No. (614) 356 - 5659 (Jeff Fontaine)

Property Address or General Location: 605 N. Main St.

Parcel Number(s): 0414227005 **Acreage:** 10.91 Ac.

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 10.91 Units/Ac. **Number of Residential Units** 238

Proposed Use: Multi-Family

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

Chris Tumblin
Printed Name

2/20/25
(Date)

March 1, 2025

City of Springboro
320 West Central Ave
Springboro, OH 45066

Re: Easton Farm Development Multifamily Plan Submission

To Whom It May Concern,

This letter is to confirm that Casto or their agent is duly authorized by Easton Farm Partners, LLC, the Owners of the referenced Property, to make application with the City of Springboro and Warren County and any other governmental authority for any and all required approvals to obtain architectural approvals for the Multifamily parcel.

If you should have any questions regarding this matter, please do not hesitate to contact me.

Sincerely,



LoriBeth M. Steiner
President
Easton Farm Partners

February 21, 2025

City of Springboro
320 West Central Ave
Springboro, OH 45066

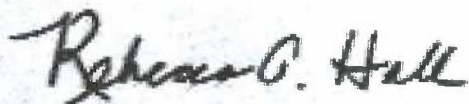
Re: Easton Farm Development Multifamily Plan Submission

To Whom It May Concern,

This letter is to confirm that Lori Steiner of Easton Farm Partners, LLC or their agent is duly authorized by Ted and Rebecca Hall Living Trust, and The Cook Realty Trust, the Owners of the referenced Property, to make application with the City of Springboro and Warren County and any other governmental authority for any and all required approvals to obtain architectural approvals for the Multifamily parcel on the existing Easton Farm property.

If you should have any questions regarding this matter, please do not hesitate to contact us.

Very Truly yours,



Rebecca A. Hall
Co-Trustee, Ted and Rebecca Hall Living Trust

Ruth E. Cook
Trustee, Ruth E. Cook Realty Trust



Ted Hall
Co-Trustee, Ted and Rebecca Hall Living Trust



CC: LoriBeth M. Steiner, Easton Farm Partners



March 10, 2025

Dear Property Owner,

This letter is being sent as a courtesy to residents living adjacent to property located at 605 North Main Street (SR 741), commonly known as the Easton Farm, regarding an application submitted by CASTO, seeking approval of the final development plan for the development of the multifamily component of the Easton Farm PUD-MU, Planned Unit Development-Mixed Use. Final development plans are the second stage of the PUD approval process. This review will take place at the Planning Commission meeting on Wednesday, March 19, 2025 at 6:00 p.m. in the City Building located at 320 West Central Avenue (SR 73).

CASTO's proposal is under the authority of the owner of this portion of the property, Easton Farm Partners, LLC. The multifamily component was included in a Judgment Entry of the Warren County Court of Common Pleas in October 2022 approving the PUD-MU. No other component of the Judgment Entry will be reviewed at this meeting. Under CASTO's proposal, the 10.91-acre multifamily component, situated on the southeast corner of the 103-acre property (see vicinity map, enclosed), will have frontage on SR 741, and access provided by way of the proposed Easton Farm Boulevard and Noel Drive. CASTO proposes to construct 238 multifamily residential units under this application. The component will include a clubhouse-rental office-pool in the central part of the site, as well as a recreation area including pickleball courts on the south side. A retention pond will be located on the southeast corner of the component.

Planning Commission's review on March 19 will be preliminary; formal approval will take place at a future meeting on the authorization of Planning Commission. No action by City Council is required in the CASTO multifamily proposal final development plan.

A copy of the application is available for review in the Building & Zoning Department at the Springboro City Building during normal business hours. The plans may also be reviewed on the Planning Commission submissions page of the City website at <https://cityofspringboro.com/383/Planning-Commission-Submissions> under Materials for March 19, 2025. For more information on the submitted preliminary plan contact Dan Boron, Planner, at (937) 748-6183, or danb@cityofspringboro.com.

Sincerely,

Chris Pozzuto
City Manager

Vicinity Map of Multifamily Component Easton Farm PUD-MU, Planned Unit Development-Mixed Use



MASTER DEVELOPMENT INTRODUCTION

Easton Farm looks to develop a new neighborhood on the historic 'Easton Farm' site in the City of Springboro Ohio, located on the west side of State Route 741, between Anna Drive and Gardner Park to the north, and North Park and Tamarack Way on the south.

The Easton Farm concept takes inspiration from the townscapes of small, historic Ohio villages, while incorporating updated ideas for streetscapes, parks, open spaces and connective pathways as a platform for a variety of market- rate residences and a mixed-use commercial district facing Route 741.

The residences within these new neighborhoods are oriented to the street, and allow for connected sidewalks, bike paths, greenways, interspersed with community amenities that encourage pedestrian interconnection and walkability both within The Easton Farm site, and through to the adjacent city parks and neighborhoods.

The purpose of this document is to allow for flexibility that will allow for the overall Easton Farm development to become a walkable, integrated mixed-use, in-town neighborhood with the following emphases:

- Building design criteria that allows for unified and creative interpretations of traditional and potentially more contemporary design vernaculars, motifs and building materials, provided the final design creates a visually complementary, integrated urban village environment;
- Residential and mixed-use neighborhoods, activity areas, and open space(s) crafted around a well-defined circulation network where pedestrian activity is strongly emphasized and judiciously integrated with vehicular streetscapes, service and parking areas;
- Identifying and locating market-driven retail, café, restaurant, personal care and/ or business service offerings where they can best generate high pedestrian activity, along ground floor locations, below potential office space, hospitality, or residential units on upper floors;
- A site plan that can define and accommodate options where commercial/retail, office, institutional and public spaces can optimally be incorporated into the overall neighborhood fabric.
- Residential areas that are either built above, adjacent or within close/walkable proximity of new commercial uses, places of work or dedicated public open spaces and/or amenities;
- An emphasis on developing neighborhoods where new and existing residents and visitors can live, work and play, and interconnected.

The map displays the following parcels and their acreages:

- CITY PARCEL:** 59.847 Ac.
- HOMESTEAD PARCEL:** 13.081 Ac.
- MULTI-FAMILY PARCEL:** 10.914 Ac.
- TOWNHOME-1 PARCEL:** 1.873 Ac.
- TOWNHOME-2 PARCEL:** 2.036 Ac.
- COMMERCIAL PARCEL:** 15.918 Ac.
- RIGHT-OF-WAY PARCEL:** 3.469 Ac. (TO BE DEDICATED IN THE FUTURE)

Surrounding roads include: DEER TRAIL DRIVE, FOX TRAIL DRIVE, TOWNHOMES DRIVE, GARDNER ROAD, W. LITTLE FIVE POINTS ROAD, STATE ROUTE 241, NOEL DRIVE, TAMARACK TRAIL, and BOLAGE LANE.

LEGEND

- CITY PARCEL (Blue)
- HOMESTEAD PARCEL (Green)
- MULTI-FAMILY PARCEL (Light Green)
- TOWNHOME PARCEL (Pink)
- COMMERCIAL PARCEL (Dark Blue)
- RIGHT-OF-WAY (White)

LAND USE EXHIBIT
1"=300 FT

LAND USE EXHIBIT
1"=300 FT

SITE DEVELOPMENT - PUBLIC RIGHT OF WAY

In keeping with the design intent to create a series of integrated mixed-use neighborhoods, this section for public roads may vary from Springboro subdivision standards and shall be submitted for review and approval to the Master Developer. As it pertains to the Multi-Family Parcel these requirements are only applicable to Noel Drive and Easton Farm Boulevard. These requirements shall not be applicable for interior, private streets within the Multi-family Parcel.

Street Design and Materials - Beyond the likely predominant use of either conventional asphalt or concrete use of differing specialty paving materials is strongly encouraged. Such materials as brick, cobblestone, pavers, colored or infused concrete, stamped and colored asphalt pavement and/or other pavement products, to demarcate special pedestrian walk and/or activity zones, dual pedestrian/vehicular crossing areas, feature street surfaces, crosswalks, pathways, unique 'arrival' zones, plazas and entries. Where viable, such areas may be set to 'zero curb' elevations to facilitate ease of pedestrian use, and as a visual cue for traffic calming in these specific areas.

Such zones or feature streets may have vehicular and pedestrian areas segregated by use of either fixed or removable bollards that can be removed for programmed or promotional events. For specific site development areas within public roadways, pavement and substrate design must be based on calculations that anticipate future traffic conditions and must be submitted to and approved by the Master Developer. Creation of roadways featuring landscaped islands, boulevards, arrival courts and roundabouts are also encouraged where feasible.

Utility Easements along Streets - All public street utility easements shall fit within planned street ROW's or in dedicated service lanes where possible, and are to be located under pavement, landscape and sidewalk areas as necessary. Deviation from this requirement will be considered by the Master Developer and City, and only for specific site conditions that prove a variation is necessary. Private utilities to be in established easements.

Street Radii Corner Radii & Clear Zones - Corner curb radii shall be between eight feet (8') and twenty-five feet (25') as determined by the intended use (residential areas up to fifteen feet (15'), and mixed use areas up to twenty-five feet (25')). These tighter turning radii are intended to shorten pedestrian crossings and inhibit drivers from turning corners at high speeds. To allow emergency vehicles (e.g. fire ladder trucks) to turn corners, a twenty-five foot (25') radius Clear Zone may need to be established free of all vertical obstructions including but not limited to street lighting poles, decorative bollards, wayfinding signage, sign poles, fire hydrants, utility boxes, or dense vegetation landscaping or street trees.

Utility and Equipment Locations - All utility, telecommunication and landscape irrigation distribution lines shall be located underground established easements, with all visible, in-ground utility access boxes placed as to not interfere with building pads, sidewalks, pathways and other pedestrian zones, light poles, wayfinding, directional or other street signage, parking areas, landscaping other than trees. This would also include submitting integrated plan(s) prior to installation, from both the Master Developer and any other subsequent developer entity that needs to place such devices as to not be in conflict with any existing or prior proposed utility items. This is to avoid redundant placement of light poles and fixtures or to avoid the potential to visually

clutter or impede corners, sight lines, pedestrian ways or streetscapes. All utility providers and/or governmental agencies requiring similar placements for transformers, traffic control equipment, telecommunication pedestals, electrical cabinets, metering, exposed pipes and/or valves, and any other mechanical equipment or devices requiring above-ground placement in areas visible to the public and residents that are considered common areas, will also be required to submit and integrate with the Master Developer and any other adjacent private development entities. Any such fixtures and devices should be visually screened from and/or within public pedestrian and vehicular zones, preferably within landscape beds, landscaped parking 'islands' and/or landscape buffer areas.

MULTI-FAMILY DEVELOPMENT REQUIREMENTS

The following standards are applicable to the Multi-Family Parcel, as delineated in the master plan from the preceding section.

Permitted Uses:

Use	Approved
Accessory Buildings, Structures, and Uses	x
Multifamily Apartments	x
Condominium Residential	x
Essential Services and Utilities	x
Home Occupations	x
Co-Working Space/Ancillary Office Use	x
Ancillary Recreational Uses ¹	x

- 1) Including, but not limited to sport courts, swimming pools, dog parks, walking trails, grilling areas.

Use Requirements:

The following is applicable for all structures allowed as Permitted Uses.

Use	Front Yard	Sum of Side Yard Setback	Rear Yard Setback	Max Occupied Stories/Height
Multi-Family ¹	0'	0'	15'	3 stories
Accessory Structures	5'	5'	5'	2 stories
Parking	10'	10'	10'	N/A
Sidewalk	0'	0'	0'	N/A

Note: Setbacks above are minimum setback requirements.

- 1) Stairs from the multi-family buildings location along Noel Drive shall be allowed within the setback and general utility easement.

SITE DEVELOPMENT - MULTI-FAMILY PARCEL

Utility and Equipment Screening - All exposed structures requiring open-air locations, particularly rooftop mechanical/HVAC equipment, utility and/or other functional hardware, whether located atop, attached, or separated from the building it services, shall be adequately screened from public view. If atop a structure, these features shall be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than one hundred feet (100'). Screen devices shall be fabricated to match and/or enhance the overall architectural massing, with materials and colors harmonious with the overall building(s) or block where applicable. All such devices are approved at the reasonable discretion of the Master Developer. Where possible, such elements as generators, electrical and telecommunication cabinets and ground mounted mechanical/HVAC equipment shall be adequately screened by either screen walls or dense landscaping if they are in open area settings.

Service/Loading Area Screening - All trash containers, recycling bins, compactors, shall be placed or screened as is practical from public view, preferably in rear, or side yard or interior service rooms. Where exposed to public view, such components shall be adequately screened with architecturally complementary access doors and screen walls, and/or berms or dense landscaping. Screen wall, doors and/or roof enclosure elements are to be constructed of materials, colors, trim and/or patterns to mimic the primary architectural character of surrounding buildings.

All service bay screen walls will mimic building design, materials, colors of walls and fences, if visible from any public right-of-way, and shall be uniform and compatible with the base-building architectural style, color and building materials of the principal building and its surroundings.

Fencing - Any or all fencing is to be painted or powder-coated metal railing, set into ground or bolted/incorporated into a wall or between pier supports. Chain link fences are not permitted along the public right-of-way, but may be placed only around the dog park, tennis courts, pickleball courts, or other similar recreational facilities and in service areas screened from public view. In the case chain link fence is utilized, it shall be black or green vinyl coated and shall be maintained in good condition.

Open Space Area Requirements Open space shall be provided at ratios of 25% in the Multi-Family Parcel.

Note: For the purposes of this section, Open Space is defined in the Definitions Section.

BUILDING DESIGN - MULTI-FAMILY PARCEL

Architectural Character The following architectural design guidelines are meant to achieve the result of establishing consistent, high-quality design, materials and construction that works with the site and streetscape guidelines to establish and reinforce the ‘neighborhood’ design and planning goals.

Orientation to Street - Multi-Family building entrances shall be oriented toward the street, primary right of way, open areas or courtyard unless deviation is appropriate, per the discretion of the Master Developer. Buildings located on an intersection shall have consistent architectural style and detailing on both street-fronting elevations.

Accessory building entrances, including the clubhouse, water service building, or maintenance building shall not be required to be oriented toward the street.

Orientation of Windows and Doors All windows and doors, openings or frame fenestrations located within an opening shall be ‘vertical’ in orientation, meaning a primary design character of most building openings reflects a more top to bottom aesthetic, mimicking traditional window motifs.

Glass Materials Clear or colored glass, translucent, sandblasted and/or decorative pattern glass that can emit light through is encouraged.

Building Materials Building materials shall be commercial grade, and applied in variety of stylish, creative and clever applications across the expanse of all visible public-facing elevations. Acceptable materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), natural stone, cast or cultured stone, exposed metal structure and/or architectural details and/ or surfaces where viable, stucco, EIFS or materials of equal appearance consistent with the acceptable architectural character outlined in this Building Design Section.

Rooflines Flat roofs are permitted, however, parapets or the underside of roof eaves should showcase some form of cornice or similar design element, masonry and/or brick trim and/or patterning, decorative blocks/brackets, moldings or some form of architectural emphasis along the roofline to tie that element to the building massing below. Where an adjacent building’s façade, which adjoins it, has a similar roofline height, a variation of the parapet or roofline is required

NOTE: All rooflines must be able to fully screen any and all HVAC/utility or functional apparatus from public view from a distance of 100’.

Visible Roofing Materials Slate style shingles, fiberglass shingles and either copper or painted/ powder coated standing seam metal are permitted materials, for sloped roofs per the discretion of the Master Developer. Where possible, patterning of shingles colors for more vertical roof surfaces is highly encouraged.

Building Heights – Multi-Family Buildings shall be limited to three (3) stories.

Individual structures should feature a variety of heights, utilizing elements such as roofline variation, decorative towers or portal elements, steeples, pediments, clerestories, dormers or domes, consistent with the overall architectural character and these Architectural Guidelines. The height of enclosed unoccupied building elements may not exceed a maximum height up to sixty (65') from main street level grade. Purely decorative unoccupied elements such as mansard and/or peaked roofs, towers, flagpoles, spires and steeples may be located on top of enclosed space, to a total building height of no more than eighty-five feet (85'), excluding decorative metal finials or spires.

Building Massing Individual buildings and any attached structures should strive for complementary building massing, reminiscent of traditional townscape/ streetscape patterns. "Monoplanar" or monolithic appearance and surfaces, with little variation in setbacks, wall fenestration, or rooflines are not permitted.

Building massing should take into account adjacent buildings, property uses, sightlines, identity, and relationship to its site to accomplish building a contextual variety in its overall massing. As noted above, elements such as rooflines, setbacks, decorative architectural elements, visual openings and wall fenestration elements such as 'pop-outs', window openings, trellises, pergolas, verandas, entrances, piers, pilasters, decorative panels, or grilles, and eaves or cornice lines are highly encouraged, and visual articulates a structure's overall massing and creates pedestrian scale to its overall context.

COLORS - MULTI-FAMILY PARCEL

Color Variation - The use of sharply contrasting colors on significant swaths of any building(s) facades is discouraged, but may be used for accenting or enhancing architectural elements. If used either as an accent, they should be limited to specific architectural elements, details or specific and limited surface areas. Color schemes should be kept to no more than one or two field or trim colors on any given individual facade.

Color Consistency Color scheme(s) should help to visually tie all parts of building massing(s) together. Monolithic or singular color schemes and appearances are discouraged, but monochromatic color palettes featuring shade variations are acceptable. Colors used at the front façade should be utilized on the sides and rear of buildings.

LANDSCAPING – MULTI-FAMILY PARCEL

Purpose - The purpose of the landscape design guidelines is to create a cohesive and higher quality landscape design throughout the site and enhance the overall Easton Farm development. The landscape design guidelines and requirements shall take precedence over the landscape regulations in the city's ordinance.

Plant Material Selection - Plant materials shall be chosen which are indigenous, moderately fast growing and require low maintenance. Plants shall be salt-spray tolerant, compatible with existing soil conditions and tolerant of a wide range of conditions. All planted surfaces shall be maintained in good working order. The landscape design shall incorporate the total development site, be in context with adjacent users, and consist of a palette of plants with year-round appeal which might include annuals, perennials, shrubs and trees.

Planting Standards - Shade trees shall have a DBH (diameter at breast height) of at least 2 inches, ornamental trees shall have a DBH of at least 1.5 inches, and evergreen trees shall be at least 6 feet high at the time of planting. Deciduous and evergreen shrubs shall be a minimum of 18 inches at the time of planting with no fewer than 6 main branches.

Surface Parking Area Screening – Head in parking spaces and driveways adjacent to public streets shall be screened to a height of 36 inches above the finished parking surface.

Internal Parking Lot Landscaping - A minimum of five percent (5%) of any one total interior surface parking area shall be landscaped with planted islands or landscape island beds for every linear run of no more than 16 parking spaces. Exceptions to this rule are if the entire run is no more than 15 spaces, or if a landscaped cross-surface walk is aligned within or part of a larger landscape island or row, or if an irregularly shaped island creates a naturally larger landscape bed area where the edges may be more low plantings, and the interior may be more lawn in season. A minimum of one (1) trees, of no less than 2" caliper. At least 50% of each interior landscaped area shall be covered by living plant material, such as sod, shrubs, perennials, or groundcover. with lawn shall be planted in all interior islands within any row of surface parking area. The use of all mulch islands shall be prohibited.

Exemptions Parking area landscape requirements shall be waived if the surface parking area is not, nor will ever conceivably be, visible from a public right-of-way, or is considered a temporary use as determined by the Master Developer.

Planting Island Requirements Planted islands shall be at least 9' in width (face-of-curb-to face-of-curb) and the length of the adjacent parking space with a pervious surface area adequate for proper root aeration and expansion.

Screening Materials Plants used as screening shall have 100% opacity year round. Screening material shall be one (1) foot more than the height of the screened structure but not exceed ten (10) feet in height. Screening material shall be of a height and density so as to provide the full desired effect within three (3) growing seasons.

Street Trees Along Public Right of Way - shall be planted with regularly spaced shade trees with a minimum of one (1) tree per 40 linear feet of road frontage (minimum 2" caliper). Openings for driveways and sidewalks shall not be counted for the purposes of computing road frontage length. Where tree lawns are provided, street trees shall be centered within the tree lawn. All street trees will need to be coordinated with utilities and be located a minimum of twenty (20) feet from intersections and ten (10) feet from fire hydrants or utility poles. Trees shall be placed and selected in consultation with the Master Developer. The aforementioned street trees may be planted within the public right of way, provided there is an agreement in place for maintenance and ongoing upkeep of the landscape.

Buffers – Landscape buffers between adjacent properties shall be a minimum of 10 (ten) feet in width and have one (1) tree per forty (40) linear feet. Landscape buffers along state route 741 shall be a minimum of 10 (ten) feet in width and have one (1) tree per forty (40) linear feet.

Site Landscaping – One (1) tree shall be planted per 3,000 square feet of open space. Trees planted within buffer areas shall count towards the minimum number of site trees required.

Street Furniture ‘Street furniture/furnishings’ are key features of public spaces that can greatly facilitate in creating vibrantly-used pedestrian spaces along all streetscapes, open spaces and connecting outdoor areas. These features include such basic items as benches, trash receptacles, bollards, drinking fountains, wayfinding and street signs. Other elements include game areas and surfaces, moveable tables, chairs, outdoor lounge seating groupings, picnic benches and tables, market umbrellas, outdoor fireplaces, water features, children’s play areas, sculpture and other durable, exterior public art. Street furniture shall be chosen and placed in consultation with the Master Developer, and shall be located within agreed zones to maintain a clear pedestrian path. Street furniture shall be made of materials consistent with extended public use. These materials include painted or powder-coated metal with a matte finish; wood in either a stained, painted or treated finish; outdoor grade fabrics and canvas, and in certain instances, high-impact, composite or resin-based materials that mimic natural finishes that are weather and fade resistant. All street furniture and public features shall always be maintained in good working order and appearance by their respective owner(s), and repaired or replaced as necessary. Street furniture shall be consistent in material, color and style along both sides of any street in public areas fronting onto other developments. Within any one development parcel, a developer may utilize differing selections, provided they are part of an overall design scheme, placed appropriately and upholds the pedestrian-friendly spirit of The Easton Farm. All street furniture elements, either new or replacement that vary in color, material, number, placement or size from prior approved plan(s) are subject to Master Developer.

Registered Professional Required Each applicant shall utilize a registered landscape architect who shall work with the Master Developer on all landscape design, landscape plans and/or alterations.

Maintenance The Master Developer may supplement these guidelines by adopting, through rules and regulations, more specific Landscaping Standards that, upon mutual agreement with the owner of this Property, will apply to this Property.

VEHICULAR AND PEDESTRIAL CIRCULATION - MULTI-FAMILY PARCEL

All outdoor lighting of buildings, surface parking areas, service zones, or any non-illuminated, surface mounted project signage, shall be directed so as to prevent glare on adjacent properties and streets to the extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of the development. Exterior lighting to comply with City requirements in Chapter 1273, Exterior Lighting, unless otherwise noted below.

Street Lighting - Consistent and commercial grade fixtures for street and pedestrian lighting shall be provided on all streets, sidewalks and pedestrian pathways, including public gathering/event spaces, both public and private within the Property. Street and pedestrian poles shall be located at all intersections and along sidewalks at intervals consistent with the urban village design character.

Note: All lighting fixtures, light levels, placement and scale needs to be coordinated with any existing adjacent or abutting streetscape, developed property, or proposed project to avoid redundant fixtures and 'over-lit' conditions along these interfaces. Street lighting shall be scaled to the pedestrian, with pedestrian street support posts no less than 12' high to underside of actual fixture, which shall be the recommended minimum height.

Pedestrian light poles are to be featured within all community gathering space areas. Street light fixtures shall be painted or powder coated metal, with a matte finish, consistent in color and style on both sides of any street and chosen in consultation with the Master Developer. An alternative for public spaces, gathering areas, and pedestrian pathways are low-profile LED, internally lit bollards, placed at intervals to fully illuminate all pedestrian surfaces, or concealed, undermount lighting that surface illuminates or 'washes' pedestrian walk or gathering areas. A street/pedestrian lighting plan, showcasing a fixture schedule, light levels, and placement within the Property, and showing any adjacent existing fixture(s) and placement, shall be submitted to the Master Developer for approval.

Decorative Accent/Architectural Lighting - All decorative accent/architectural lighting, meant to illuminate a building feature or surface(s), as well as any surface mounted, non-illuminated signage that is a permanent feature of the overall building or site design, shall also be submitted to the Master Developer for review and approval.

Safety - The safe and functional movement of both vehicles and pedestrians, on and off-site, shall be provided as the primary consideration in designing transportation networks within the Property, and all site plans shall be crafted to minimize such conflicts wherever possible.

Pedestrian Circulation. Pedestrian circulation is highly encouraged, and can be accomplished via sidewalks, crosswalks, cross-surface lot walkways, community gathering spaces, plazas, terraces, seating and amenity zones, hard-surface paths, bike paths, and permeable pathway surfaces. These varying pathways should be crafted to connect between all buildings, and within and outboard of specific development parcels. Early site planning should make this a core design consideration within and along the edges of the Property.

Sidewalks. Where appropriate, sidewalks shall be provided on each side of every public street or drive, and along the front of every multi-family building. Sidewalks shall be intentionally developed to interconnect different land use areas and open spaces. Sidewalks should be no less than 5' wide.

Sidewalks and Buildings. Pedestrian connections, including crosswalks, sidewalks and pathways shall be provided along any surrounding streets, along the front of any building or group of structures, on all specified and dedicated public streetscapes..

Open Space/Gathering Spaces - Usable and functional open spaces and programmable event spaces are encouraged. This may also include/allow for landscaped traffic islands, pedestrian plazas, arrival courts, landscaped sidewalk/pathway areas, game areas, dog parks, tenant amenity features such as water features, retention ponds, fireplaces and seating areas, general green space, playgrounds, tot lots, pocket parks and other recreational uses.

OFF-STREET PARKING REQUIREMENTS - MULTI-FAMILY PARCEL

Size of parking spaces and aisles Parking spaces and drive aisles shall be sized in a manner consistent with the following chart, unless specifically allowed otherwise by the City.

PARKING DIMENSIONS					
ANGLE (DEGREES)	0	30	45	60	90
Stall Width	8'	9'	9'	9'	9'
Stall Length	23'	18'	18'	18'	18'
Stall Length Perpendicular to Aisle	8'	17'	19'	20'	18'
Aisle Width, One Way	12'	12'	12'	18'	24'
Aisle Width, Two Way	20'	20'	20'	22'	24'
Total Width, One Stall, One-Way Aisle	20'	29'	31'	38'	42'
Total Width, Two Stalls, One-Way Aisle	28'	46'	50'	58'	60'
Total Width, One Stall, Two-Way Aisle	28'	37'	39'	42'	42'
Total Width, Two Stalls, Two-Way Aisle	36'	54'	58'	62'	60'

The number of parking spaces, which are required in each usage classification, are as follows:

Multi-Family Residential - 1.25 spaces per dwelling unit.

Off-Street Surface Parking Lot Placement - Any off-street, surface parking areas within Easton Farm shall be set back a no less than ten feet (10') from any existing, surrounding public arterial, including along the property line adjacent to State Route 741 and along the length of Easton Farm Blvd. Surface parking lots may be built up to adjacent property lines on all other street frontages within the Property and as established in subsequent approved site plan areas that anticipate connecting adjacent development at a future date. Placement of surface parking areas should be related to both the building type served and the adjacent buildings, connecting streetscapes and uses, which may require the lot to be screened by building or landscaping from surrounding streets and/or pedestrian pathways.

DRAINAGE & WATER DETENTION - MULTI-FAMILY PARCEL

Detention – Storm retention/detention pond is proposed within the Multi-Family Parcel, along the southern boundary of the site near State Route 741. The area surrounding the basin shall be landscaped with lawn and a variety of tree plantings.

SIGNAGE/ENVIRONMENTAL GRAPHICS - MULTI-FAMILY PARCEL

Signage/Environmental Graphics – Signage shall comply with Chapter 1281 of the City of Springboro code unless otherwise noted below. All signage shall be submitted to the Master Developer for review.

Building Signage – Signage may be placed on a principal or accessory building. Building signage shall be measured based on the actual dimension of the lettering to its furthest extents. Any individual building signage area shall not exceed 60 square feet (maximum limit shall not impact monument signage sizing).

Monument Signage – Up to two monument signs shall be allowed on the Multi-Family Parcel. Acceptable primary materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), metal, natural stone, cast or cultured stone. Accent/supplemental materials may include stucco, EIFS, or materials of equal appearance consistent with the acceptable architectural character of the project.

Signage Lighting & Lettering – Lettering may be backlit or internally illuminated. Any direct light fixtures for a ground sign shall be positioned in a manner that prevents glare.

Definitions

The following words when used in this Declaration or any supplement hereto (unless the context shall prohibit) shall have the following meaning:

1. “ACCESSORY STRUCTURE” A building, clubhouse shed, covering, water room, maintenance building, or vertical design element which is subordinate and/ or supportive to a main or primary building or series of buildings. Such structures are often freestanding but may be attached if the use requires, and are often purely functional and/or decorative, and in architectural harmony with its primary building(s). Accessory structures are predominantly one story and may be habitable and/or climate controlled as use permits.
2. “ARCHITECTURAL GUIDELINES” shall mean the written architectural standards set forth in this Declaration for development of the Property.
3. “CITY” shall mean the City of Springboro, Ohio
4. “DECLARATION” shall mean this Declaration of Site Development and Design Standards and shall include without limitation all restrictions, covenants, conditions and agreements referred to herein.
5. “DEVELOPER” see Master Developer.
6. “DEVELOPMENT PLANS” shall mean the plans and specifications for the use of any Lot as set forth in this Declaration.
7. “FENESTRATION” shall mean openings in a building elevation, such as windows and doors.
8. “HOME OCCUPATION” shall mean a home-based business restricted to the owner or tenant of any residential dwelling unit and up to two employees, and shall not include noxious or disruptive functions, including the disruption of parking for neighboring residents. Home occupation uses are not limited to accessory structures.
9. “IMPERVIOUS SURFACE” shall mean any material that substantially reduces or prevents the infiltration of storm water into previously undeveloped land. Impervious surfaces shall also mean any surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. Impervious surface shall include compacted sand, lime rock and clay as well as conventional surfaces such as gravel driveways, parking areas, surfaced streets, roofs, sidewalks, structures and other similar surfaces.
10. “LINER BUILDING” refers to a retail or business structure built to camouflage a more utilitarian façade/use such as a substation, or parking structure. Liner Buildings are generally narrow in depth and placed along the street and consistent with approved uses in Mixed-Use areas.

11. "LOT" shall mean and refer to any parcel or lots designated hereafter on a plat or replat, or subdivision thereof, recorded against the Property, or portion thereof, improved or unimproved, on which a structure may be located.

12. "MASTER DEVELOPER" shall mean Easton Farm Partners, LLC, an Ohio limited liability company, its successors and permitted assigns as provided herein.

13. "MAXIMUM UNOCCUPIED HEIGHT" shall mean the height limit on certain Structures, as set forth herein, measured from front exterior grade level to the highest unoccupied level of an enclosed Structure.

14. "MULTI-FAMILY DWELLING" shall mean a structure designed to contain more than two dwelling units in which the units can share primary exterior entrances, but where each dwelling unit has separate housekeeping and cooking facilities. Dwelling units within a multi-family dwelling may be attached through common walls or common floors.

15. "OPEN SPACE" shall mean any hardscaped, landscaped, grass or appropriate vegetation area, including, but not limited to a retention pond, dog park, open lawn, programmed tenant/pedestrian areas, park area, sport courts and areas reserved for general recreational uses. Open Space shall not include landscaped islands within parking areas.

16. "OWNER" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is a part of the Property, including the Developer or Master Developer, but shall not mean or refer to any mortgagee or subsequent holder of a mortgage, unless and until such mortgagee or holder has acquired title pursuant to foreclosure or any proceedings in lieu of foreclosure.

17. "SERVICE WAY" A separate drive either behind or to the side of a building or row of buildings that is subordinate in nature to the primary streets surrounding or connected to it. Its primary function is to allow for access to garages, driveways, and to allow for rear or side service access to a building(s), home or row of homes. They are often primarily vehicular in nature but can be made into a mini-street effect with setbacks and landscaping.

18. "SET BACKS" shall mean designated areas adjacent to lot lines on which the construction of buildings is not permitted.

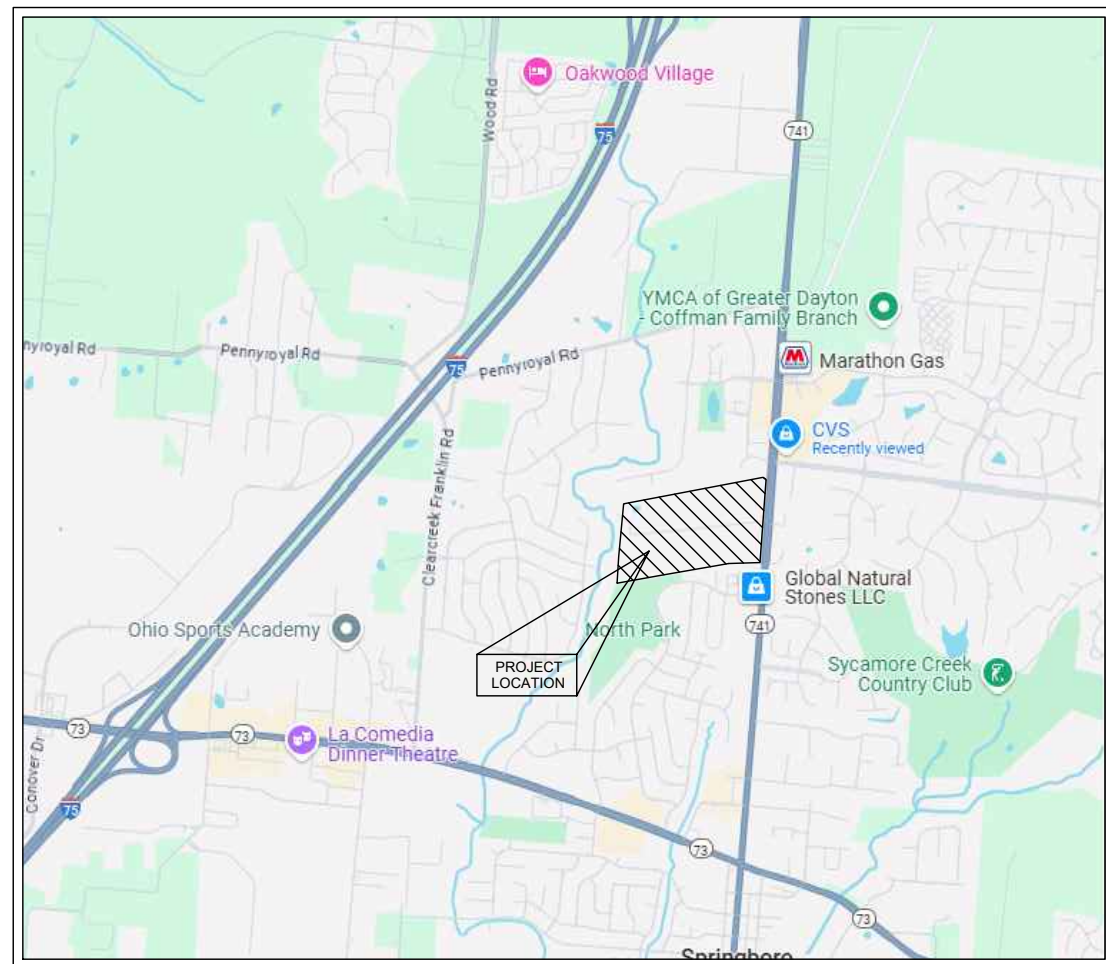
19. "STORMWATER MANAGEMENT" shall mean the impoundment of stormwater in ponds, swales, or other collection devices, and the holding of such for a period of time and release at the prescribed rate determined by the City.

20. "STRUCTURE" shall mean any improvement on the Property that is capable of occupancy or use including, but not limited to, any building, garage, fence, wall, sign or any other temporary or permanent improvement.

EASTON FARM APARTMENTS

FINAL DEVELOPMENT PLAN

SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO/CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO



VICINITY MAP
NO SCALE

OWNER

HALL REBECCA & TED D.
CO-TRUSTEES OF THE TED & REBECCA HALL
LIVING TRUST DATED 4-8-99 1/2 INT. &
COOK, RUTH E. & TODD W. CO-TRUSTEES OF
THE COOK REALTY TRUST DATED 7-22-04 1/2 INT.
655 N. MAIN STREET
SPRINGBORO, OHIO 45066

DEVELOPER

CASTO COMMUNITIES
250 CIVIC CENTER DRIVE, SUITE 500 COLUMBUS,
OHIO 43215

ENGINEER/SURVEYOR/ LANDSCAPE ARCHITECTS

BAYER BECKER ENGINEERS 6900
TYLERSVILLE ROAD, SUITE A MASON,
OHIO 45040

ADJACENT PROPERTY ADJOINERS

- | | |
|--|--|
| (1) CITY OF SPRINGBORO | (64) MICHAEL A GREINER |
| (2) CVS #139 OH LLC | (65) DANIEL J & DEBORAH A RICHARDSON |
| (3) KEYBANK NATIONAL ASSOCIATION | (66) THOMAS M & LOIS BARATKO |
| (4) SETTLERS STATION INVESTMENTS LLC | (67) SAI QIN & YANG WEN ZHU |
| (5) PNC NATIONAL BANK LLC | (68) ANDREW B & YANG JIA TERPSTRA |
| (6) MIAMI VALLEY HOSPITAL, REAL ESTATE SERVICE | (69) GREGORY K & TAMMY J GUSTIN |
| (7) 7 FOR 1 LLC | (70) ADAM N & MEGAN R POOLER |
| (8) STOKES RESERVE INVESTMENT | (71) DEBORAH L HENSON |
| (9) EDDI & JUDITH LAWSON | (72) DOUGLAS J WIEDEMAN |
| (10) SPRINGBORO OFFICE PARK LLC | (73) GREGORY K & CHARLOTTE ALBERS |
| (11) RAJ KULKARNI | (74) LEE ANN & ROBERT RUTLEDGE |
| (12) NORTAN LLC | (75) LEE ANN & ROBERT RUTLEDGE |
| (13) SABR INVESTMENTS LTD | (76) VIRGINIA D GRAY & DAVID CULP TRUSTEES |
| (14) SPRINGBORO OFFICE PARK LLC | (77) ADAM & KIMBERLY TURNER |
| (15) MENRISKY INVESTMENTS LLC | (78) RICKY D & PATRICIA L JONES |
| (16) GARY & JULIE BEALL | (79) DEREK L & JULIE TINCHER |
| (17) RAINBOW RASCALS SPRINGBORO LLC | (80) WILLIAM & CHRISTINE JUNG |
| (18) COLLEEN BOSSI CO LLC | (81) LAWRENCE R JR & LISA J BABB |
| (19) SPRINGBROOK COMMONS | (82) CRAIG & RENEE JOLLEY |
| (20) KATHERYN M TRICK | (83) JAMES G & LEANA STATON |
| (21) CARL D CHENOWETH | (84) KEVIN L & ROCHEL HOUSER |
| (22) SHERRI L KLUPS | (85) JOE & KATHY ROLKA TRUSTEES |
| (23) ASHLEY RUTLEDGE | (86) JOE & KATHY ROLKA TRUSTEES |
| (24) SPRINGBROOK COMMONS | (87) LYNN D JOHNSON |
| (25) JOHN F EMERSON | (88) AARON & JENNIFER LAMBERT |
| (26) BILLIE A BIRCHFIELD | (89) JAMES L JR & STACEY R LANE |
| (27) IONA C GILFILLAN TRUSTEE | (90) ADRIENNE L SLUGA & DONALD CUMMINGS |
| (28) CONNIE S LERAAS | (91) ROBERT VICKHOUSE |
| (29) SPRINGBROOK COMMONS | (92) RODNEY E & MARGARET A KNIGHT |
| (30) KATHY E JOHNSON | (93) CHADWICK A & LESLIE M SCHROCK |
| (31) ARTHUR A GRIFFIN | (94) MICHAEL L TYRCHNIEWICZ |
| (32) ASHLEY R VOGEL | (95) ROBERT J & MARIE VIGAR |
| (33) VARILLA BALDRIDGE | (96) MICHAEL & BARBARA QUAST |
| (34) SPRINGBROOK COMMONS | (97) MARK & LINDA R NELSON |
| (35) GLENNA K & DAVID M BROWN | (98) SAUNDRA L FLAYLER |
| (36) CHERI G & SALVATORE DALTON | (99) NEAL E KENNEDY TRUSTEE |
| (37) CYNTHIA S MALON | (100) STEPHEN C & CHERYL A SHEFFIELD |
| (38) MICHAEL J WIMMER | (101) DUSTIN G MARIA S DERSHEM |
| (39) SPRINGBORO COMMONS | (102) GREGORY M & MELANIE V LLOYD |
| (40) RICHARD T & MARY L LAWTON | (103) BRIAN K & KELLY L POPLIN |
| (41) ANGELA D HICKS | (104) CARMEN N CASSIDY |
| (42) STEPHEN J & MY-KHA D BALEK | (105) STEVEN D & KERRY HOUSTON |
| (43) CRAIG A & SAMANTHA J CARLSON | (106) AMY M & DALE R SHIVENER |
| (44) ROB & AMY KLEES | (107) DALE S & CYNTHIA J SEIFFERLEN |
| (45) MARY E HARRISON | (108) JAMIE M DUCK |
| (46) DALE E & CHERYL R PACK | (109) DAVID A & KRISTIE L BECKMAN |
| (47) DENISE A SCARPELLI | (110) JAMES V & GERRILYN BURCHWELL |
| (48) CHRISTOPHER L WATT & KELLYE STALL | (111) RODNEY A & CONSTANCE BRADSHAW |
| (49) CITY OF SPRINGBORO | (112) DAVID A & JILL M OHS |
| (50) CITY OF SPRINGBORO | (113) ERIN M & ERIC P WEIMER |
| (51) CITY OF SPRINGBORO | (114) ZENAS & SEAN C PIERCE |
| (52) VILLAGE OF SPRINGBORO | (115) CITY OF SPRINGBORO |
| (53) TAMMY P TEMPLE | (116) HB PROPERTY VENTURES LLC |
| (54) JEFFERY D & ANGELA J NEWSON | (117) CITY OF SPRINGBORO |
| (55) MATTHEW K BRANNAN & CHELSEA DIECK | (118) COFFMAN SPRINGBORO COMMERCIAL LLC |
| (56) MARSHAL Q & MARIA C QUEBATAY | (119) AT&T |
| (57) JEAN M DONAGHY | (120) NOVO SOH LLC |
| (58) MARK D & SHEILA ELLIOTT | (121) OBERER DEVELOPMENT CO |
| (59) MICHAEL L & REBECCA WEBBER | (122) PUNYA & INDIRA KOIRALA |
| (60) CITY OF SPRINGBORO | (123) LORA & GOTTEE II JAMES |
| (61) CITY OF SPRINGBORO | (124) BADREDDINE IKHLEF |
| (62) LAURA D BANFORD | (125) CITY OF SPRINGBORO |
| (63) ROBERT J II & KRISTIN H MILLER | (126) JOHN W AND JANIE H RIDD |

INDEX OF SHEETS

DRAWING NO.	DRAWING TITLE	ISSUE DATE	REVISION NO.	REVISION DATE
C1.0	TITLE SHEET	02-21-25		
C2.0	EXISTING CONDITIONS	02-21-25		
C3.0	LAYOUT PLAN	02-21-25		
C3.1	OPEN SPACE	02-21-25		
C4.0	UTILITY PLAN	02-21-25		
C5.0	STORMWATER BASIN PLAN	02-21-25		
C5.1	EROSION CONTROL NOTES & DETAILS	02-21-25		
C6.0	SITE DETAILS	02-21-25		
C6.1	ODOT CURB RAMPS	02-21-25		
C6.2	CITY OF SPRINGBORO STANDARD DETAILS	02-21-25		
L1.0	LANDSCAPE ZONING GRAPHIC	02-21-25		
L1.1	LANDSCAPE PLAN: OVERALL	02-21-25		
L2.0	MATERIALS PLAN: PROGRAMMED GREEN SPACE	02-21-25		
L3.0	LANDSCAPE DETAILS	02-21-25		
L3.1	LANDSCAPE SPECIFICATIONS	02-21-25		
E3-601	ELECTRIC LIGHTING - SCHEDULES	02-21-25		
E4-102	ELECTRIC SITE LIGHTING PLAN	02-21-25		
E4-201	ELECTRIC SITE LIGHTING PHOTOMETRICS	02-21-25		



AREA MAP
1"=200 FT

SITE SUMMARY

TOTAL PROPERTY AREA: 10.91 AC
EXISTING ZONING: PUD-MU

BUILDING SUMMARY:

1 BEDROOM APARTMENTS: 121 UNITS
2 BEDROOM APARTMENTS: 113 UNITS
3 BEDROOM APARTMENTS: 4 UNITS
TOTAL: 238 UNITS

MAXIMUM OCCUPIED HEIGHT: 3 STORIES

DENSITY: 21.81 UNITS/ACRE

REQUIRED SETBACKS:

BUILDING:

FRONT = 0'

SIDE = 0'

REAR = 15'

ACCESSORY STRUCTURE/USES:

FRONT, SIDE & REAR = 5'

PARKING:

FRONT, SIDE & REAR = 10'

SIDEWALK:

FRONT, SIDE & REAR = 0'

OPEN SPACE:

REQUIRED OPEN SPACE: 2.73 AC (25%)

PROVIDED OPEN SPACE: 4.41 AC (40.4%)

PARKING SUMMARY

REQUIRED PARKING RATIO: 1.25 SPACES/UNIT

PROPOSED PARKING SUMMARY:

SURFACE PARKING:

STANDARD: 203 SPACES
ACCESSIBLE: 10 SPACES
TOTAL SURFACE: 213 SPACES

GARAGE PARKING: 154 SPACES

TOTAL PARKING: 367 SPACES

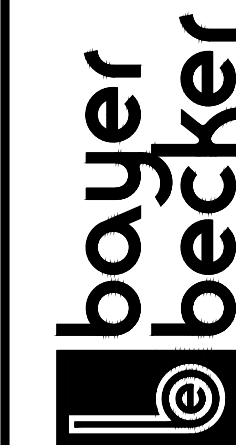
PROPOSED PARKING RATIO: 1.54 SPACES/UNIT

LEGEND



EASTON FARM APARTMENTS

EASTON FARM APARTMENTS
FINAL DEVELOPMENT PLAN
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OH



Drawing: 25-0001 CD

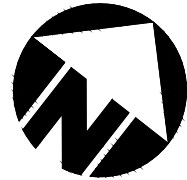
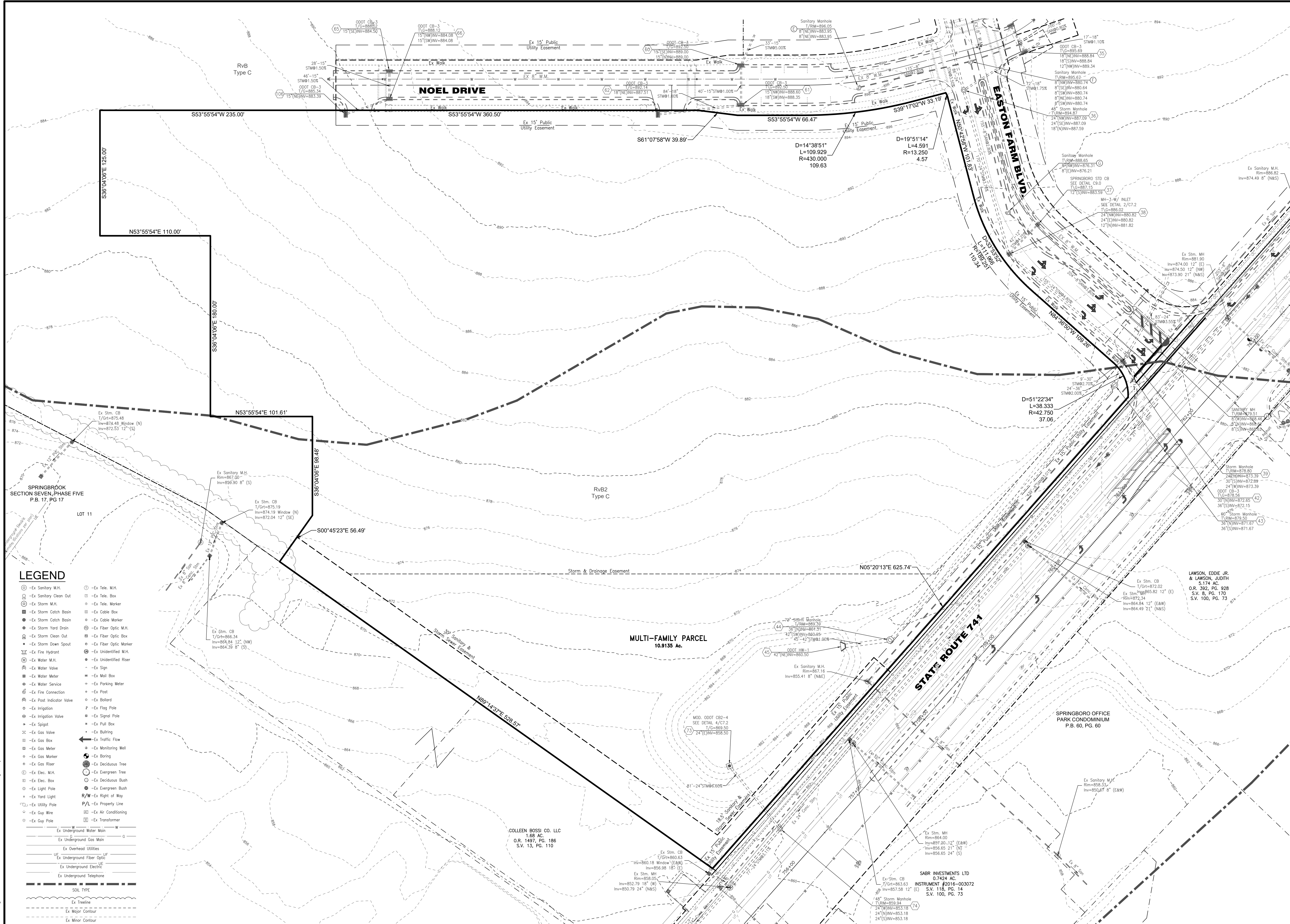
Drawn by: ACP

Checked By: JSD

Issue Date: 02-21-25

Sheet:

C1.0



SCALE: 1" = 40'

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EASTON FARM APARTMENTS FINAL DEVELOPMENT PLAN

EXISTING CONDITIONS

C2.0



MADE IN THE USA AND ARE INSTRUMENTS OF BB'S PROFESSIONAL SERVICE, AND

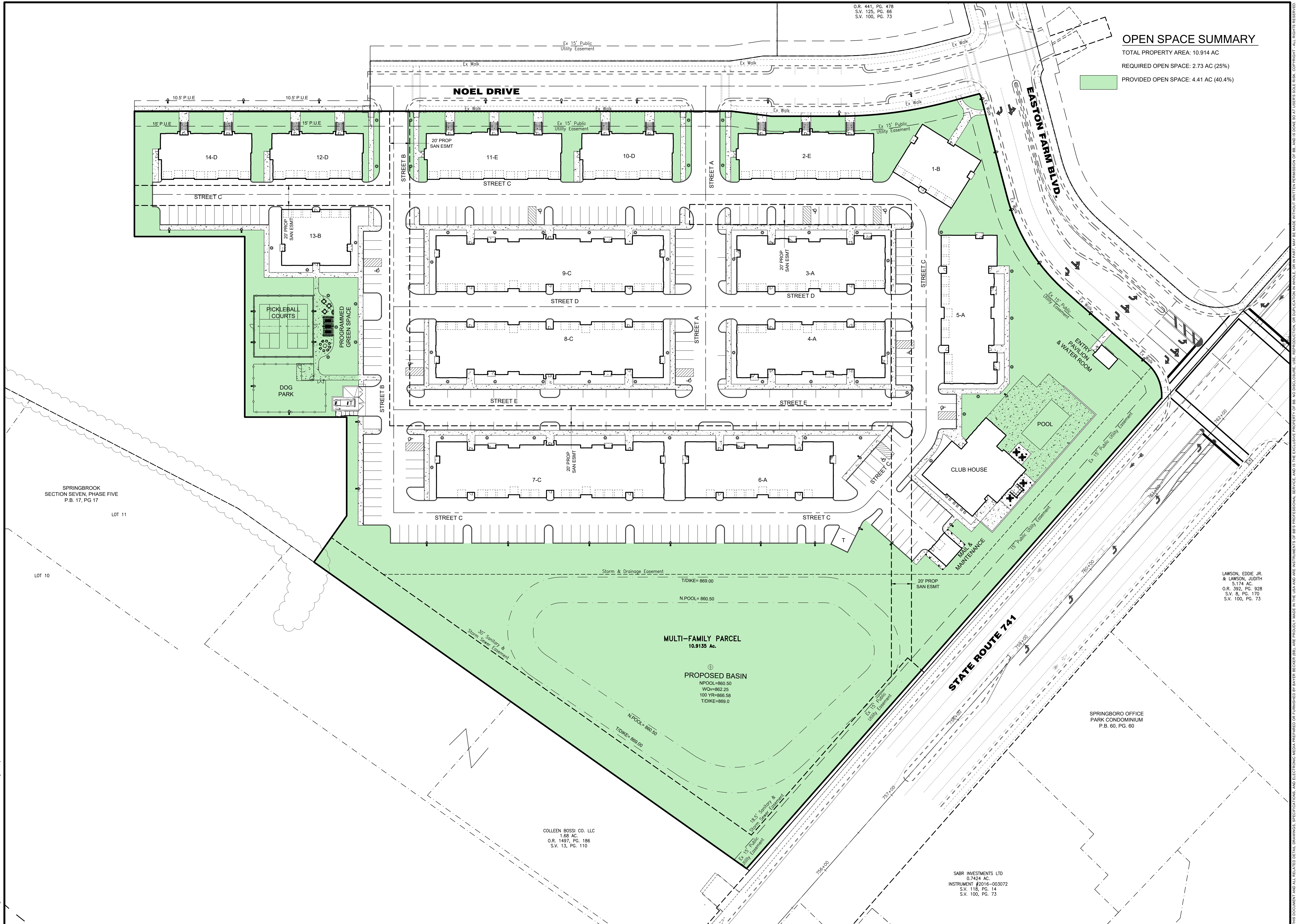
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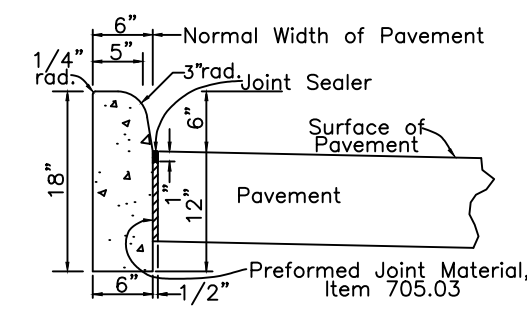
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hecked By: J
ssue Date: 02-21-
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C3.0

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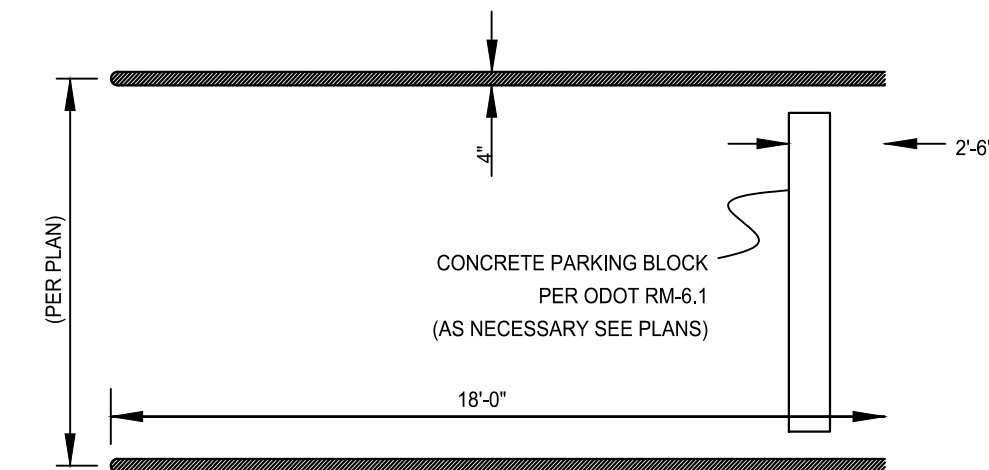
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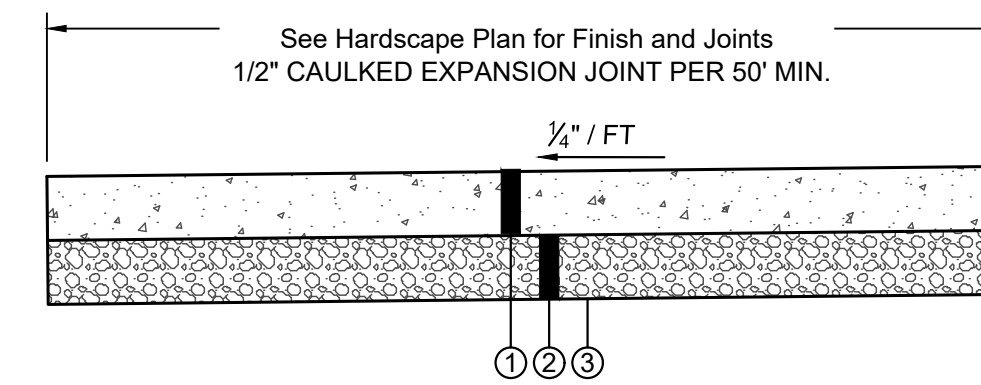


ODOT TYPE 6 CURB
NOT TO SCALE



STRIPING DETAIL
NOT TO SCALE

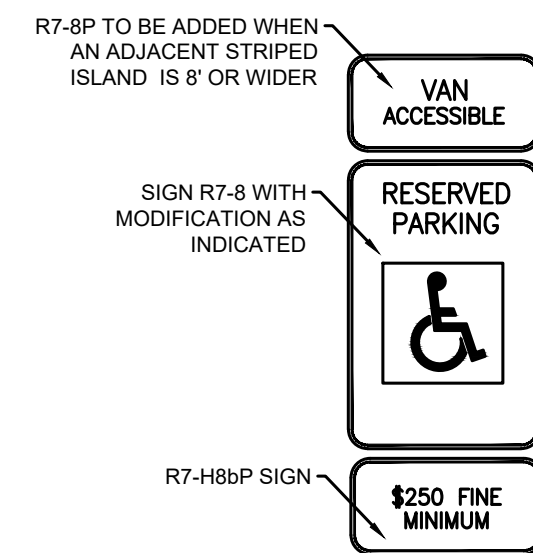
NOTE: ALL PARKING STALLS SHALL BE
SINGLE-STRIPED (WHITE) AS SHOWN IN TWO COATS



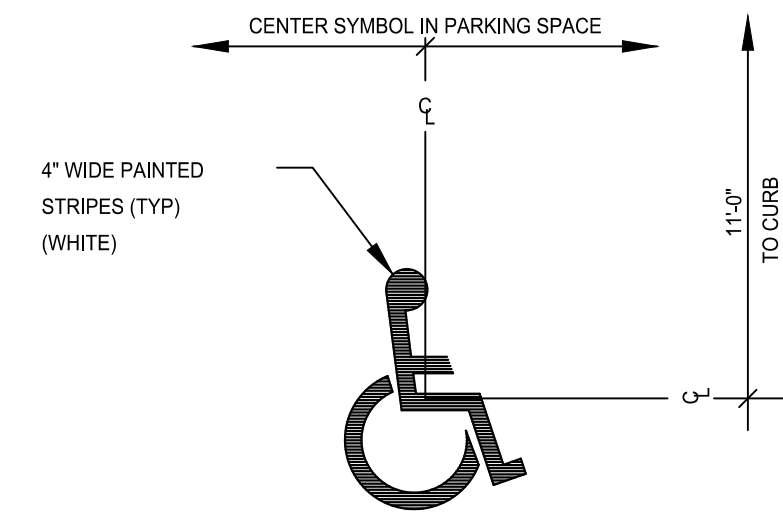
TYPICAL SIDEWALK SECTION:
NOT TO SCALE

NOTE: Sidewalk Joists Shall Be In Accordance With Item 608.03 Unless Otherwise Detailed as a Part of the Architectural Plans.

- ① ITEM 608 - 4" CLASS QC-1 OR QC-MISC
- ② ITEM 304 - 4" AGGREGATE BASE (CRUSHED AGGREGATE BASE COST TO BE INCLUDED IN THE PRICE FOR ITEM 608, SIDEWALK, SQ. FT.
- ③ ITEM 204 - SUBGRADE COMPACTION

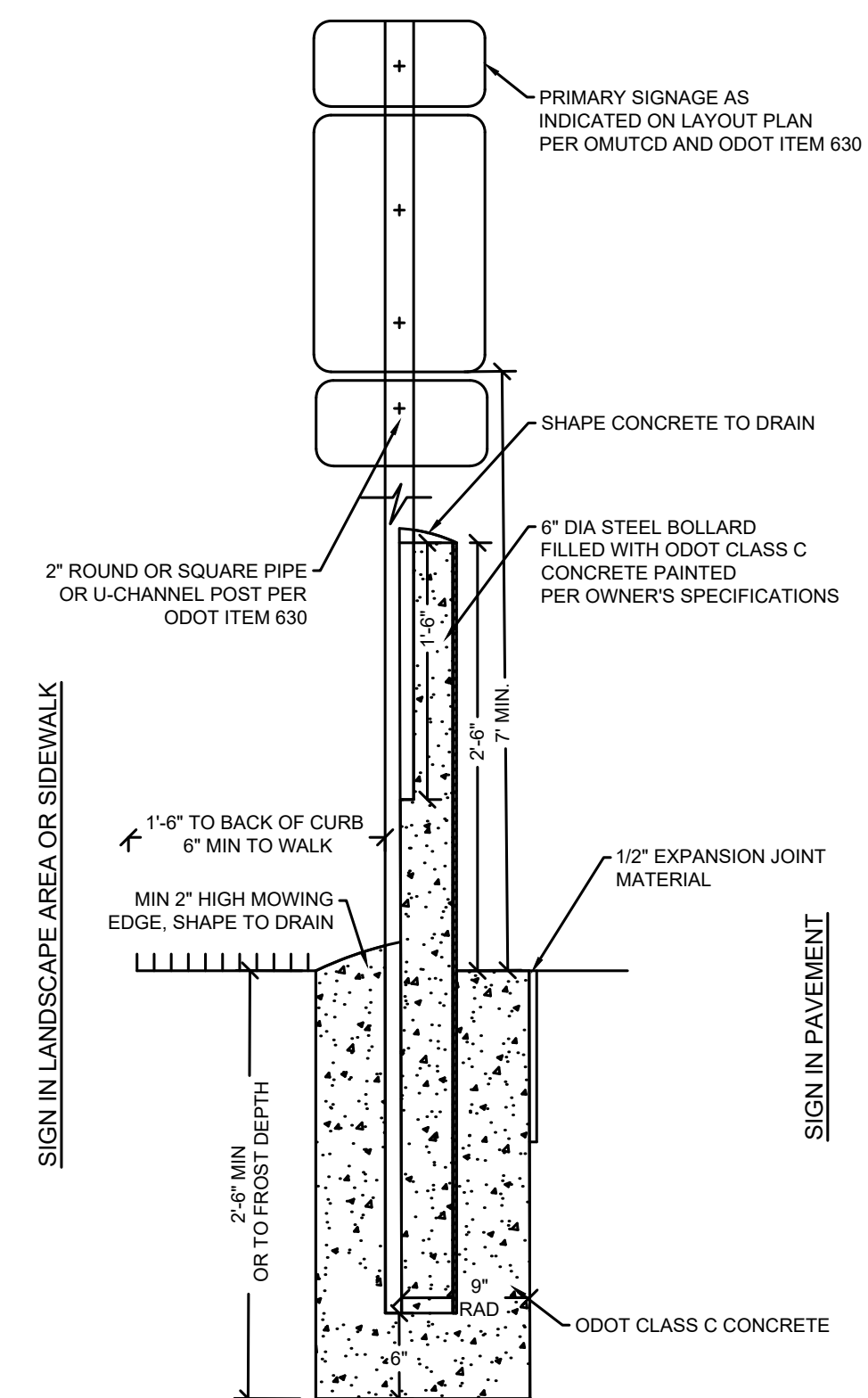


TYPICAL ACCESSIBLE SIGNAGE



ACCESSIBLE SYMBOL DETAIL

NOT TO SCALE



TYPICAL SIGNAGE

[illegible]

EASTON FARM APARTMENTS FINAL DEVELOPMENT PLAN

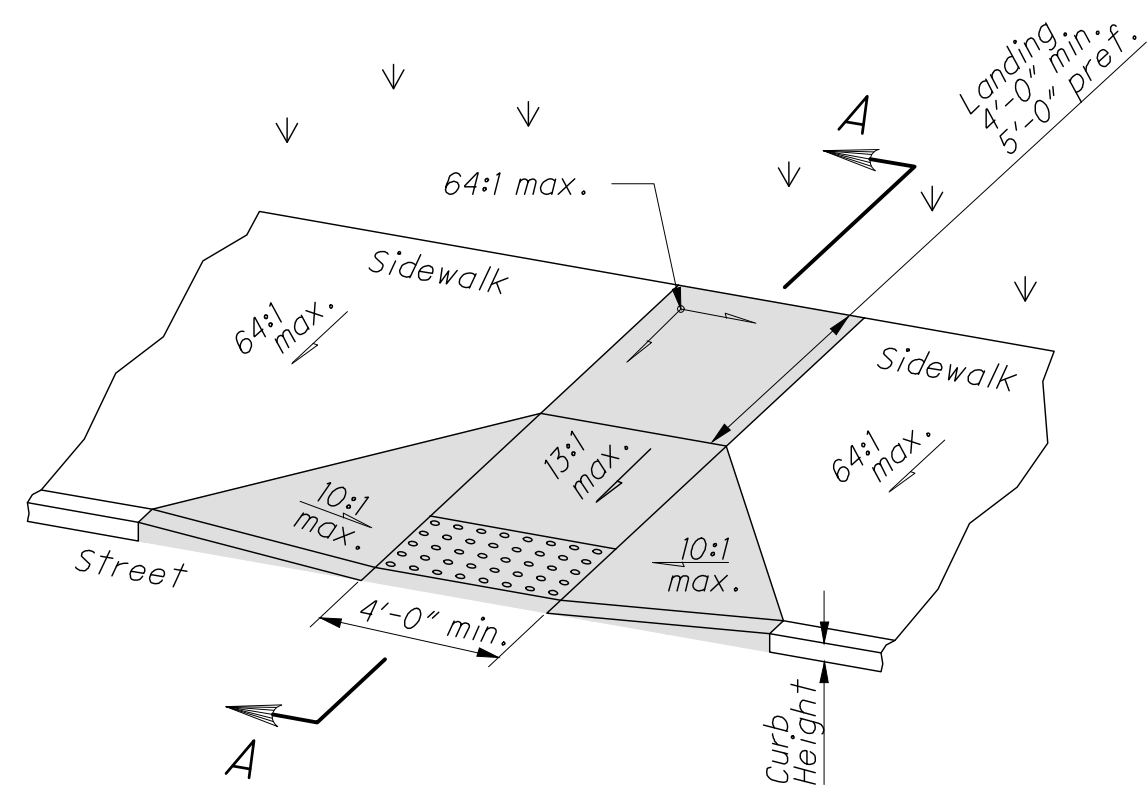
SECTION 14 TOWN 5, RANGE 5 BTM
CLARK COUNTY, OHIO
CLEARCREEK TOWNSHIP
WARREN TOWNSHIP, OH

SITE DETAILS

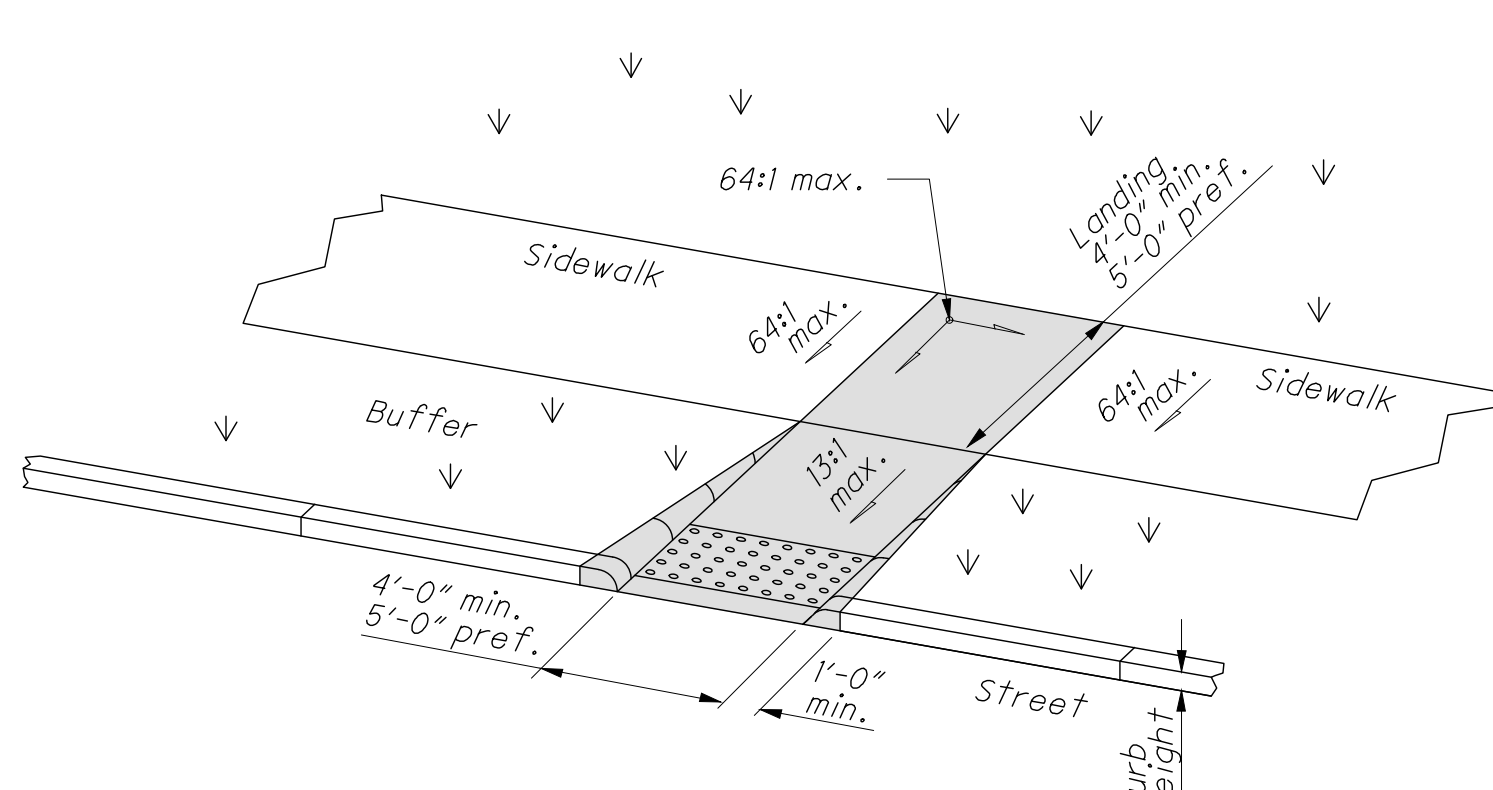


Drawing:	25-0001 CDD
Drawn by:	ACF
Checked By:	JSD
Issue Date:	02-21-25

C6.0

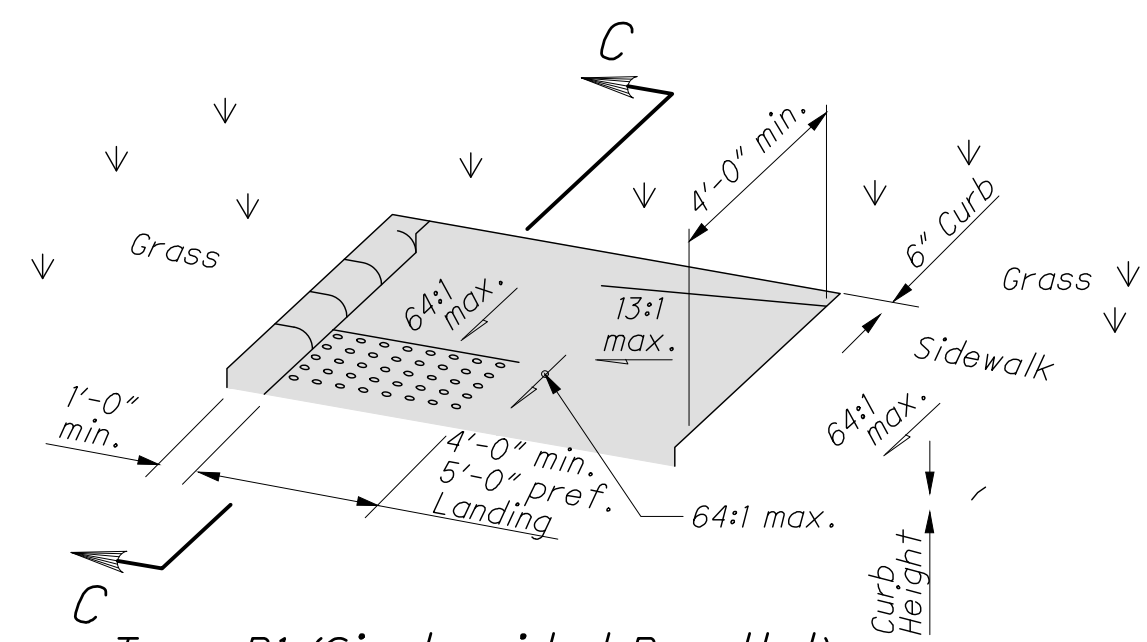


Type A1 (Perpendicular with flared sides)

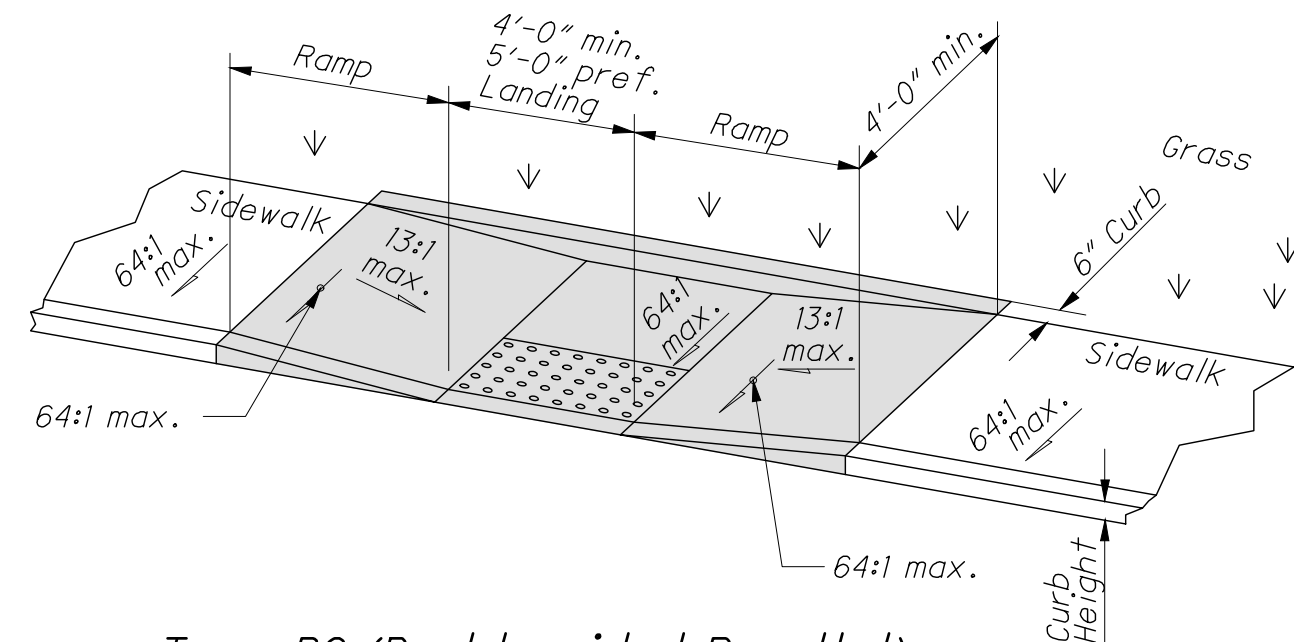


Type A2 (Perpendicular with returned curb)

PERPENDICULAR CURB RAMP DETAILS

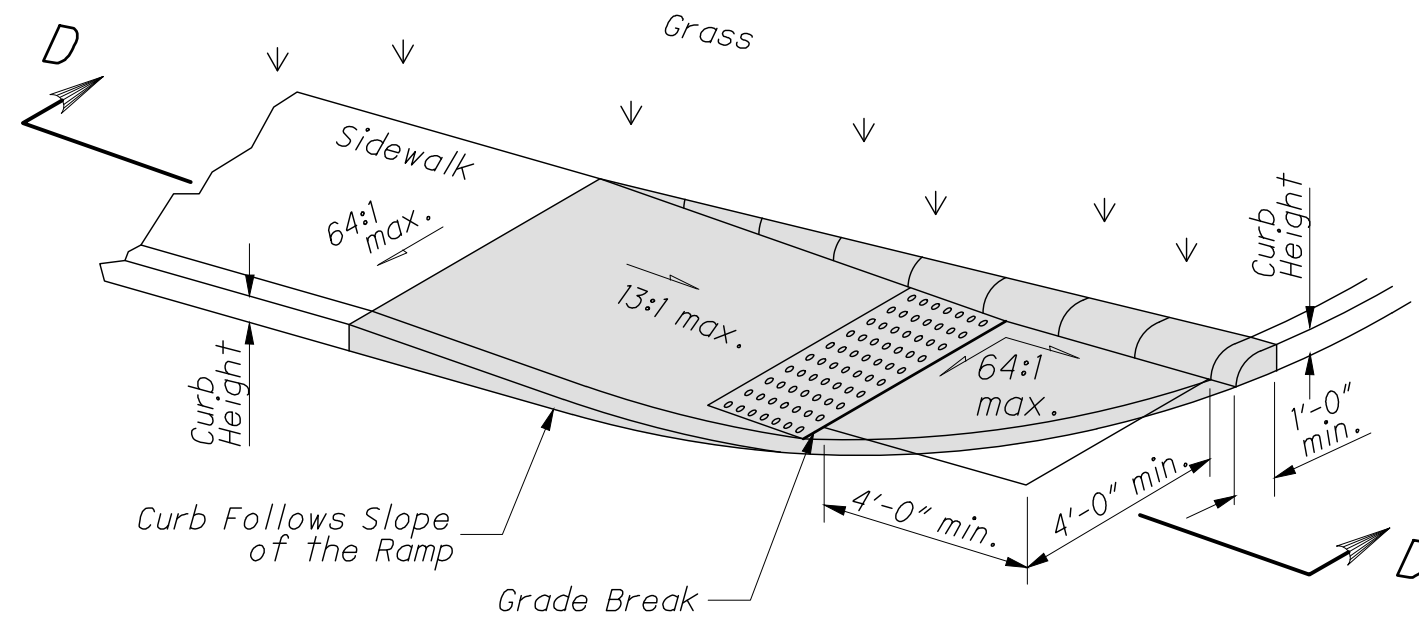


Type B1 (Single sided Parallel)

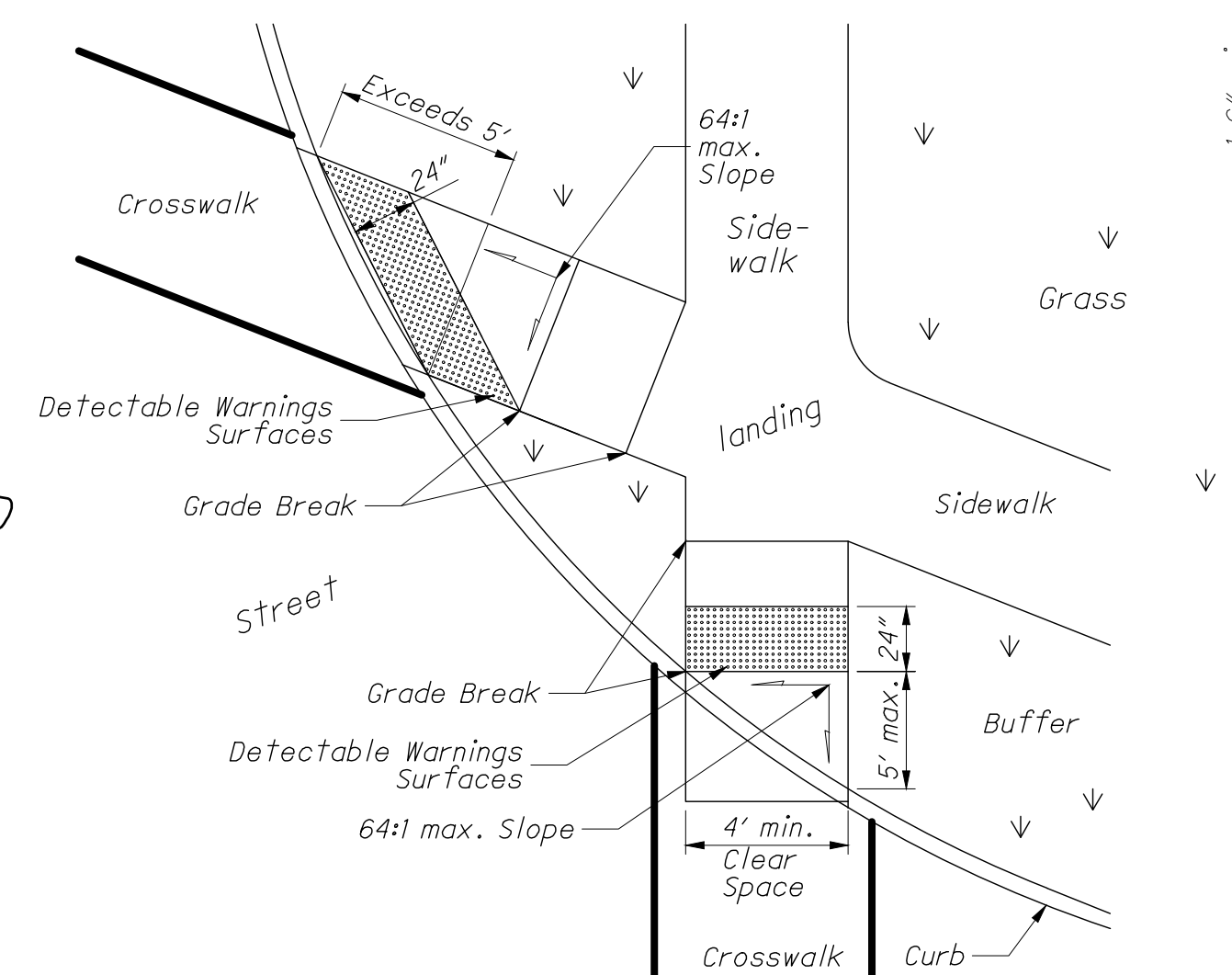


Type B2 (Double sided Parallel)

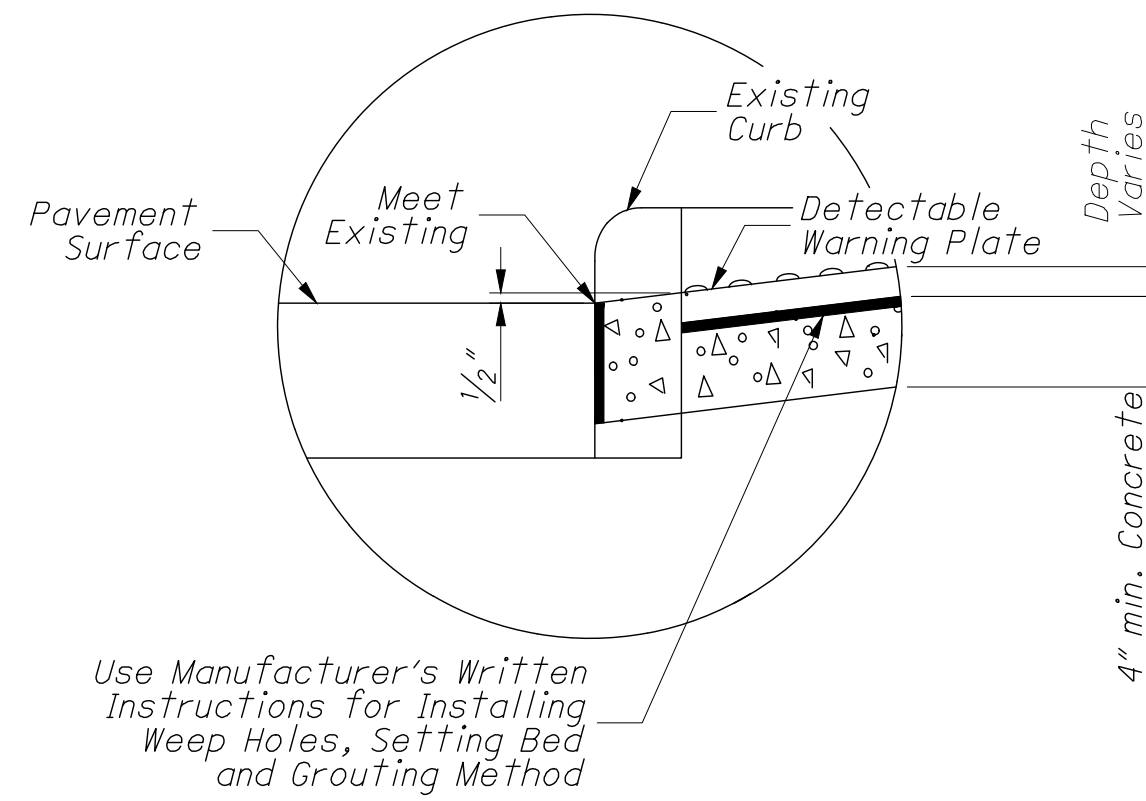
PARALLEL CURB RAMP DETAILS



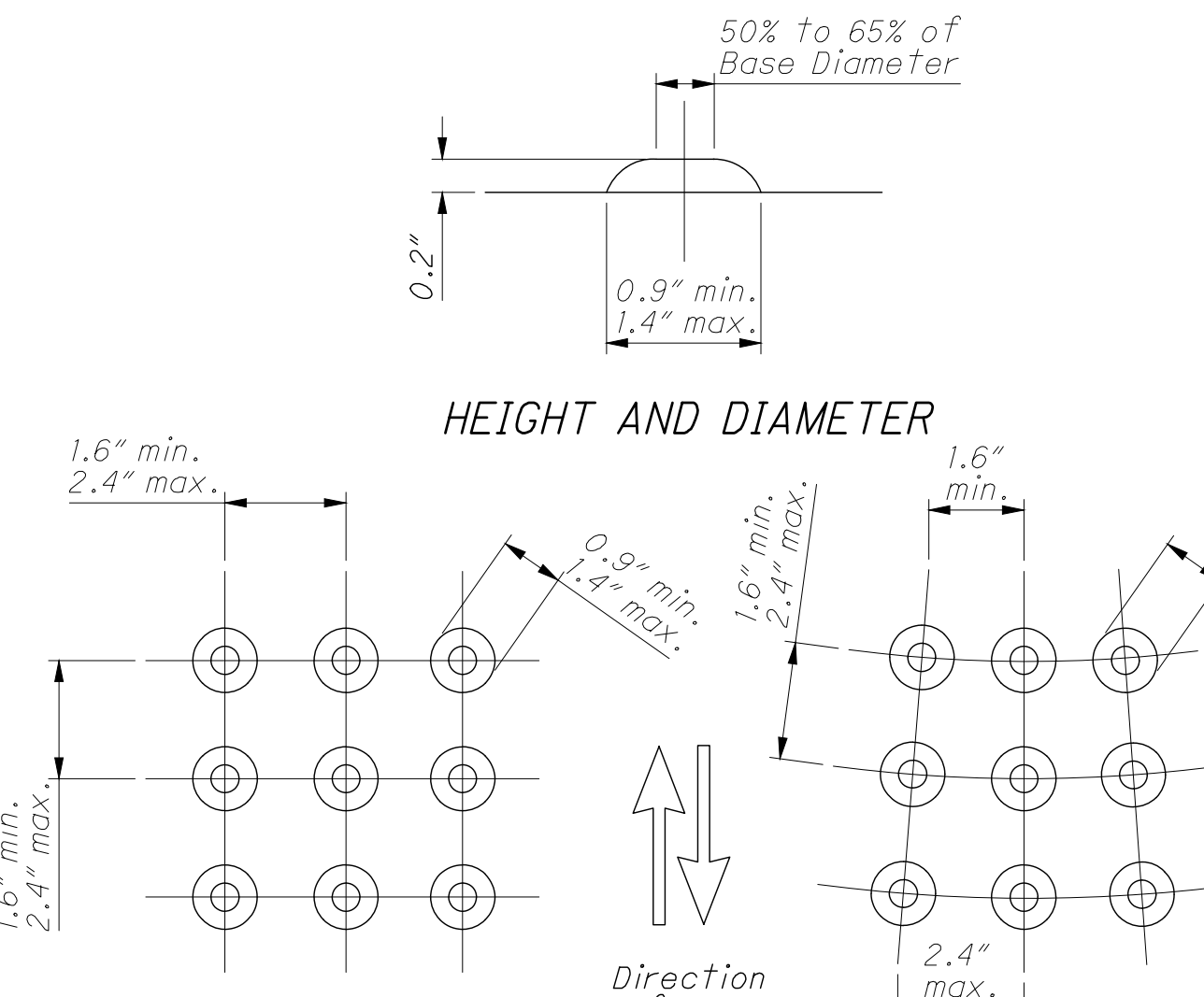
Type B3 (Single sided Parallel)



DETECTABLE WARNING ALIGNMENT FOR DIRECTIONAL CURB RAMPS



DETAIL A

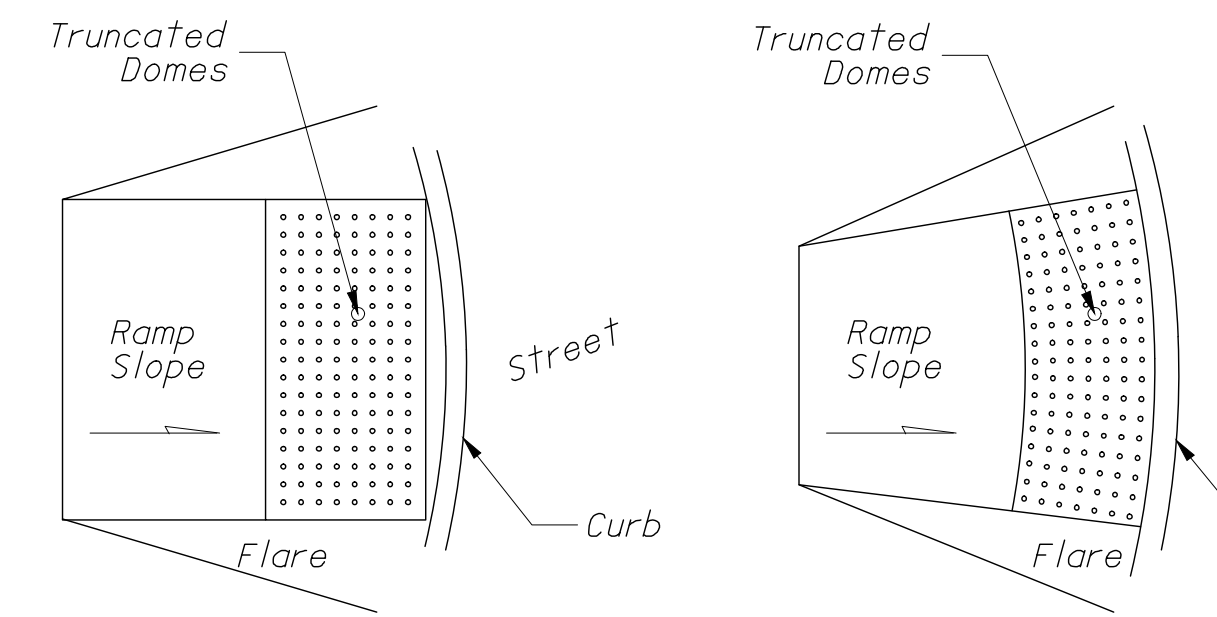


HEIGHT AND DIAMETER

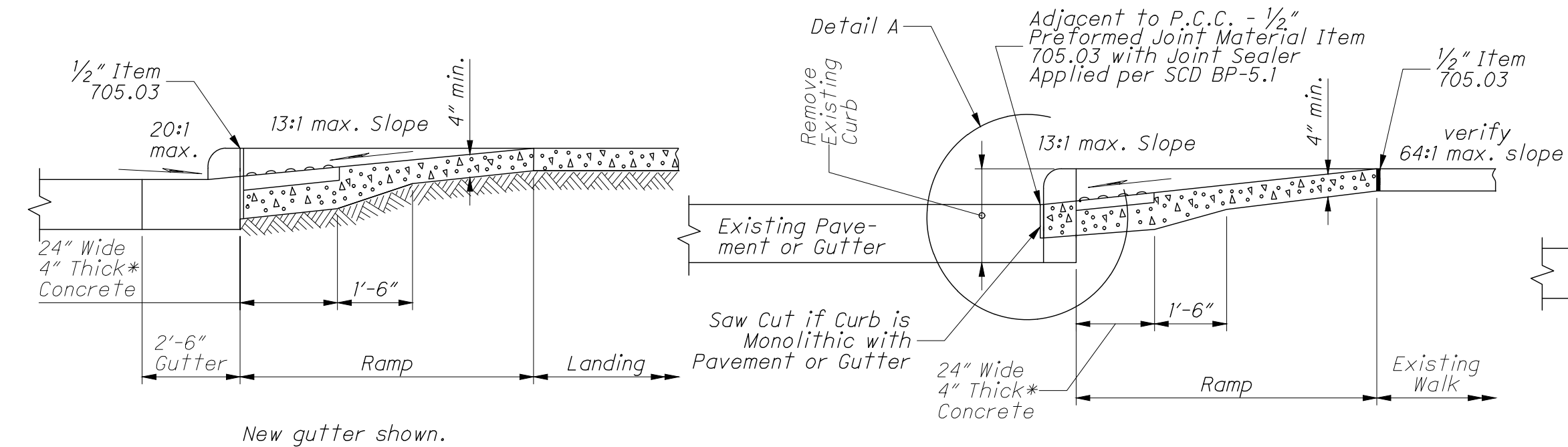


SQUARE PATTERN, PARALLEL ALIGNMENT RADIAL ALIGNMENT

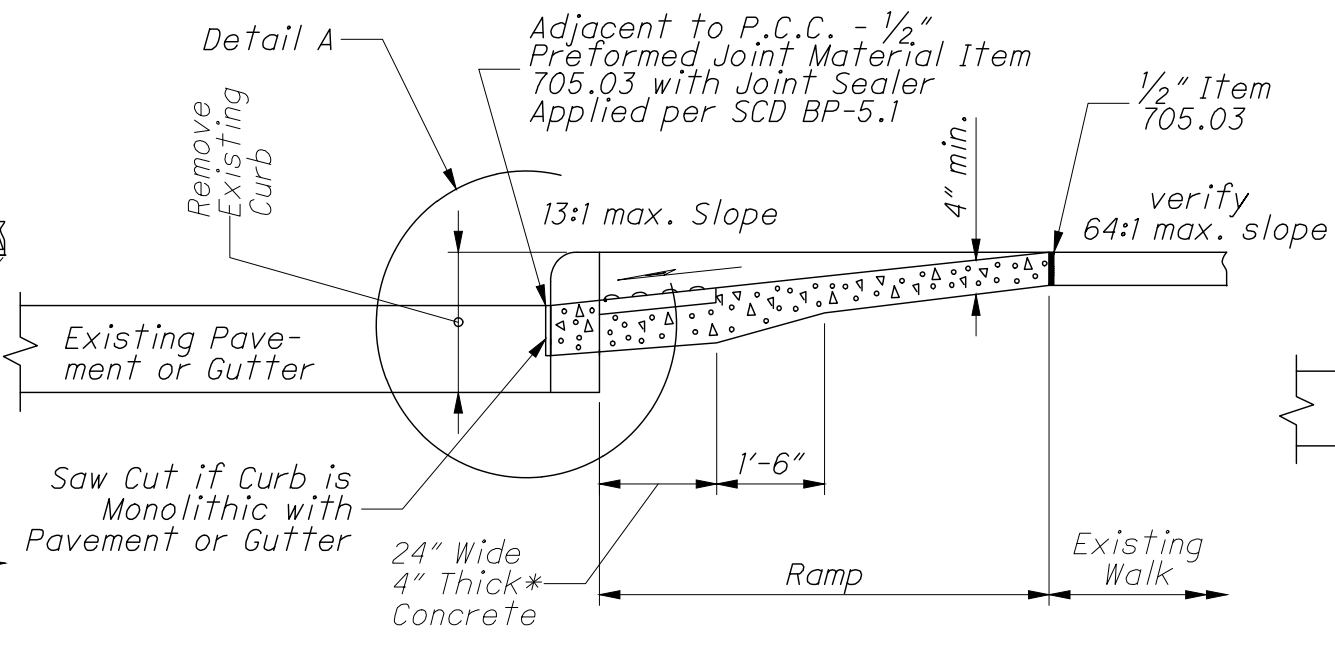
TRUNCATED DOMES DETAILS



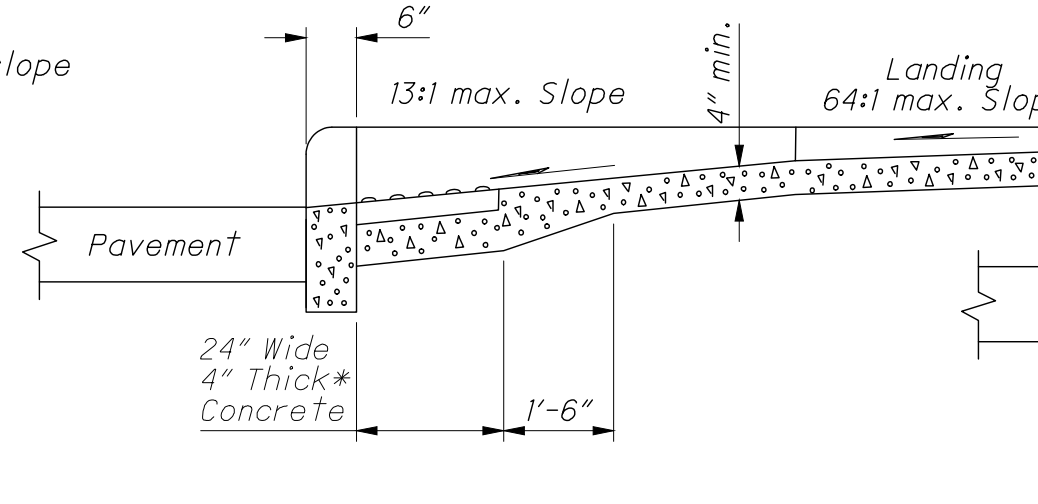
DOMES ALIGNMENT ON RADIUS CURB



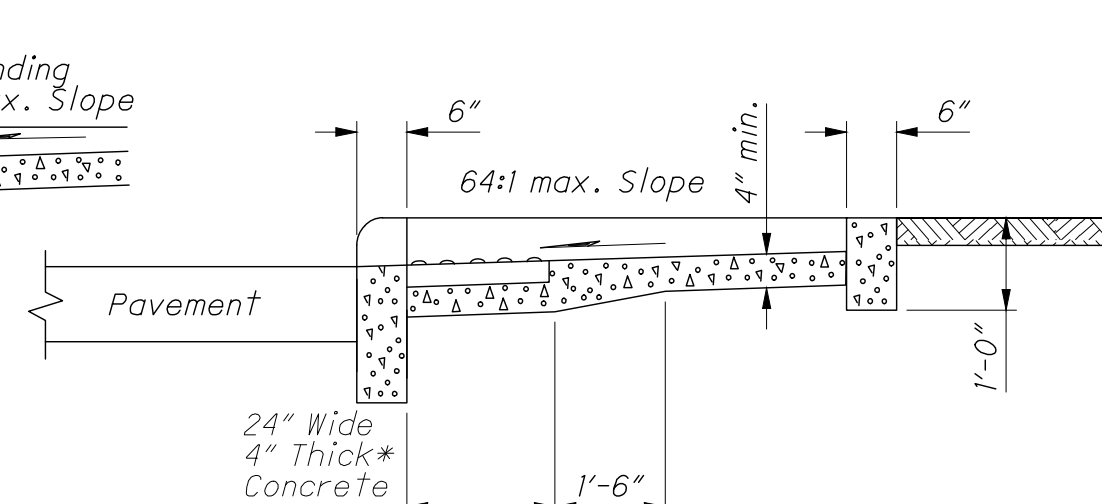
SECTION A-A
NORMAL DETAIL



SECTION A-A
EXISTING WALK DETAIL



SECTION B-B



SECTION C-C

NOTES

GENERAL: This drawing shows curb ramp types details and placement examples for curb ramp construction, including the installation of detectable warnings.

Curb ramp types are shown on Sheet 2 and include Perpendicular, Parallel, and Combined types as specified to be constructed in the locations shown on the project plans.

Curb ramps added to an existing intersection or walk should be individually detailed on the project plans to assure that the design is appropriate for site constraints and all items can be constructed to ADA standards. The contractor may adjust the placement of curb ramps if existing field conditions warrant with the approval of the Engineer.

PAYMENT: Measure and pay for the ramp area within the shaded limits of this drawing as Item 608 Curb Ramp, Square Foot. This includes the cost of any curb or curb and gutter, detectable warnings, landing areas and any additional materials, installation, grading, forming, and finishing required within the shaded area.

Work beyond the shaded ramp/landing area is paid for as curb (609) and walk (608). Removal of existing curb, walk (or existing curb ramps) are paid under Item 202.

For at-grade crossing locations where only detectable warnings are required in order to achieve ADA compliance, measure and pay for the strip of detectable warnings as Item 608 Detectable Warning, Square Foot. The work to cast the tiles in place will also require removal of existing pavement (Item 202) to the nearest joint, or if no joint exists, a minimum of 4 feet.

The running slope of the curb ramp shall be a 13:1 maximum or flatter. In existing sidewalks, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

- A) 10:1 for a max. rise of 6",
- B) 8:1 for a max. rise of 3", or
- C) 6:1 over a max. run of 2', or for historic areas where a flatter slope is not feasible.

To prevent chasing the grade indefinitely, the transition from existing sidewalk to the shaded curb ramp area is not required to exceed 15 feet in length.

While ramps may be skewed to the crosswalk, the entire lower landing area must fall within the cross walk that the ramp serves and cannot be located in the traveled lane of opposing traffic.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transitions shall be 20:1 or flatter.

The bottom edge of the ramp shall change planes perpendicular to the landing.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

Ramp landings shall be 4' min. x 4' min. with a 64:1 or flatter cross slope and running slope.

DETECTABLE WARNINGS: Install Detectable Warnings on each curb ramp with approved materials, as shown on Sheet 3. Install these proprietary products as per manufacturer's written instructions.

DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding 1/8" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the curb ramp as extensions of walk joints and consistent with Item 608.03 requirements for a new concrete walk. Provide a 1/2" Item 705.03 expansion joint filler around the edge of ramps built in existing concrete walks. Lines shown on this drawing indicate the ramp edges and slope changes, and do not necessarily indicate joint lines.

DETECTABLE WARNINGS NOTES

GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.

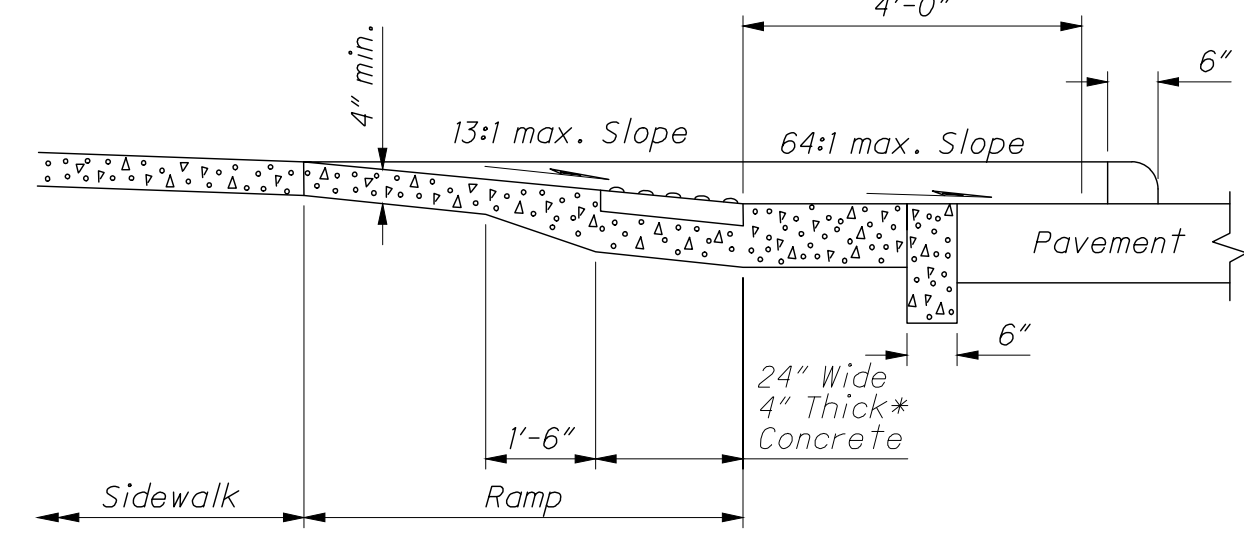
PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. Typical street corner placement locations are shown on Sheet 1.

Some detectable warning products require a concrete border for proper installation. The concrete border should not exceed 2". Where the back of curb edge is tooled to provide a radius, the border dimension should be measured from the end of the radius.

The depth of concrete underneath detectable warning products shall be a minimum of 4". See DETAIL A.

ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but for skewed conditions see DETECTABLE WARNING ALIGNMENT Detail. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.

PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding concrete walk and ramp. Black is not an acceptable color. Approved products and guidance on color may be found on the Office of Roadway Engineering Service's Detectable Warnings Approved List. Install products as per manufacturer's printed instructions.



SECTION D-D
See Sheet 2.

*Where possible, pour ramp area integral with the curb, otherwise use 6" thick walk.

EASTON FARM APARTMENTS
FINAL DEVELOPMENT PLAN

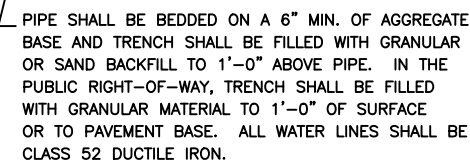
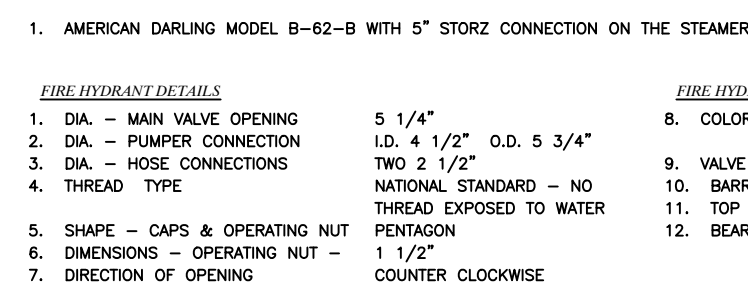
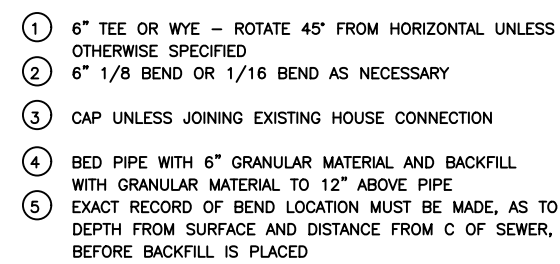
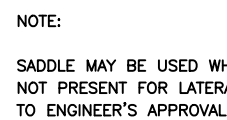
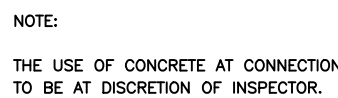
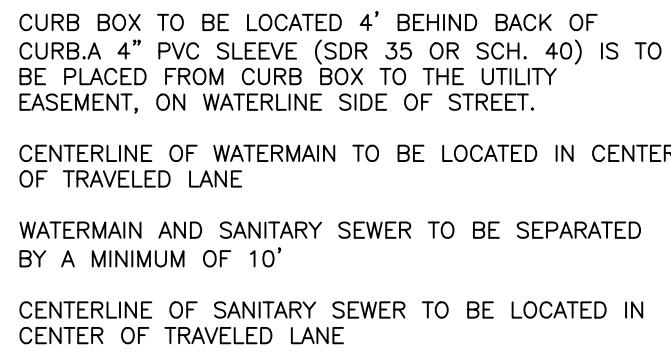
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OH

ODOT CURB RAMPS

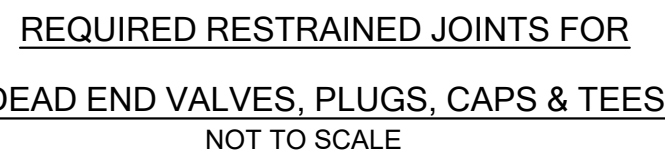
bayer
becker
www.bayerbecker.com
6900 Tyersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 25-0001 CD
Drawn by: ACP
Checked by: JSD
Issue Date: 02-21-25

Sheet:
C6.1



CB-3A MODIFIED CATCH BASIN
NOT TO SCALE



1. EXAMPLES ONLY, TO SHOW EXTENT OF BACKFILL IN VICINITY OF PAVEMENTS.
2. PIPE BEDDING SHALL BE PEA GRAVEL, TORPEDO FILL, OR PIPE FILL (SAND).
3. GRANULAR BACKFILL (ODOT ITEM 703, #67 COARSE AGGREGATE) TO BE COMPACTED IN 6" LAYERS WITH MECHANICAL TAMPER.
4. THIS STANDARD APPLIES TO ALL UTILITY TRENCHES.

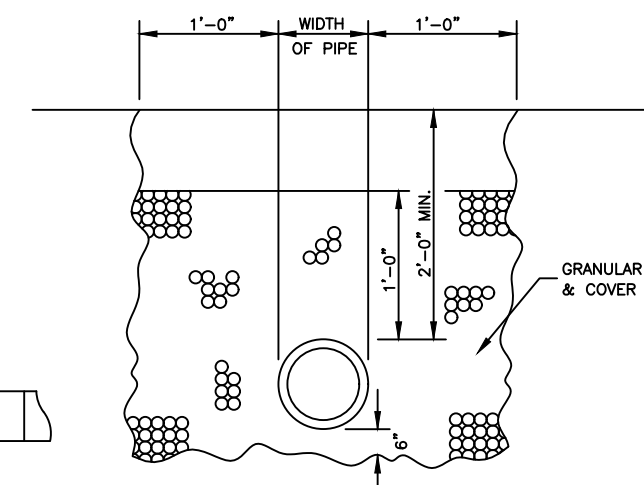
SUMP DRAIN LINES SHALL BE 4 INCH OR 6 INCH PVC SLOD WALL PIPE (SDR 35 OR SCH. 40) AND SHALL HAVE CLEAN-OUTS AT 200 FOOT INTERVALS. TOP OF SUMP DRAIN TO BE A MINIMUM OF 3" BELOW TOP OF CURB. PIPE BEDDING MATERIAL SHALL BE PEA GRAVEL OR PIPE FILL (SAND). BACKFILL SHALL BE THOROUGHLY TAMPED WITH MECHANICAL TAMPERS IN 6 INCH LAYERS. SUMP DRAIN LINES SHALL BE PLACED IN GENERAL PARALLEL WITH THE CURB AND TWO FEET BEHIND THE BACK OF CURB, AND TIE INTO THE NEAREST POSSIBLE CATCH BASIN OR STORM MANHOLE.

AT THE LOW SIDE OF THE PROPERTY, A 3 INCH TEE AND PLUG SHALL BE CONNECTED TO THE SUMP DRAIN LINE FOR EACH LOT. THIS TEE SHALL BE LOCATED 5' FROM THE PROPERTY LINE.

~~ROBBERIES, SINKS, SUDS, DRAIN BAYS,~~ OR OTHER CLEAN WATER CONNECTIONS MAY BE TIED TO THIS SUMP DRAIN LINE. A 4" SUMP DRAIN LINE SHALL BE USED FOR 1-4 HOUSES, AND A 6" SUMP DRAIN LINE SHALL BE USED FOR 5 OR MORE HOUSES.

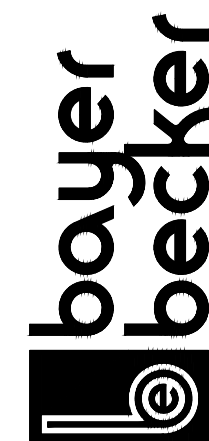
1. BUILDING SEWERS SHALL NOT BE CONSTRUCTED CLOSER THAN 3 FEET TO ANY EXISTING FOUNDATION, OR OTHER, NOR SHALL THERE BE LESS THAN 2 FEET OF COVER.	7. ALL PIPING, INCLUDING COUPLINGS, DUNDS, ETC., ARE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
2. ALL DIGNATIONS SHALL BE BY THE CITY ENGINEER.	8. ALL CHANGES IN ALUMINUM OR GRADE ARE TO BE MADE USING THE PROPER BENDS.
3. ALL JOINTS BETWEEN SEWER PIPES SHALL BE MADE BY THE CITY ENGINEER AND BELIEVED TO BE A FULL OR TORPEDO FILL TO THE PROPER GRADE.	9. ALL JOINTS BETWEEN SEWER PIPES IN LENGTH MUST HAVE A CLEAN-OUT EVERY 100 FEET.
4. THE BOTTOM OF THE TRENCH SHALL BE 2.00' OF THE PIPE SHALL NOT EXCEED TWO FEET PLUS THE OUTSIDE DIAMETER OF THE PIPE.	10. ALL JOINTS BETWEEN SEWER PIPES IN LENGTH MUST HAVE PRIOR APPROVAL OF THE CITY ENGINEER.
5. THE MINIMUM SLOPE SHALL BE 2.00%.	
6. PIPE SIZE SHALL NOT BE LESS THAN FOUR INCHES FOR ALL OTHER BUILDINGS.	
7. THE FOLLOWING IS A LIST OF APPROVED PIPES:	
- VITRIFIED CLAY PIPE - WITH "O" RING GASKET	
- P.V.C. PIPE - WITH RUBBER GASKET	
- A.S.T. PIPE - SDR-35 - WITH CHEMICAL WELD	
- A.S.T. PIPE - SCHEDULE 40 - WITH CHEMICAL WELD	

WATERMAIN AND SERVICE CONNECTIONS
NOT TO SCALE



EASTON FARM APARTMENTS FINAL DEVELOPMENT PLAN

CITY OF SPRINGBORO STANDARD DETAILS



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6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 25-0001 CD

Drawn by: _____ ACP

Checked By: _____

Issue Date: 02.21.20

Sheet:

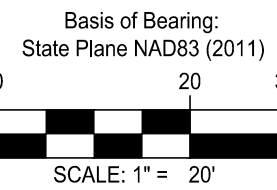
C6.2

A large outdoor patio area with a wooden pergola structure, featuring tables, chairs, and string lights, situated in front of a modern brick building.

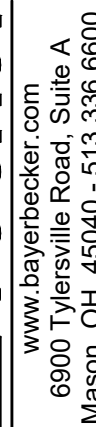
A cozy outdoor patio at dusk. In the center is a large, round, stone fire pit with a fire burning inside. Surrounding the fire pit are several wooden armchairs with light-colored cushions. The patio is bordered by a wooden fence and decorated with potted plants and a small evergreen tree. The ground is covered with gravel and a stone border.

The site plan illustrates the layout of the back yard, which is enclosed by a 4' high black vinyl chain link fence. Key features include:

- Pickleball Courts (2):** Two rectangular courts are located in the upper left portion of the yard.
- Outdoor Dining Area:** Situated in the center-right, featuring a grill station, a pergola, and a fire pit with surrounding seating.
- Dog Park:** A large, open area in the lower left, bordered by a chain link fence.
- Landscaping:** Various trees and shrubs are indicated by circular and cloud-like symbols around the perimeter and within the yard.
- Structures:** A small building or shed is located in the lower right corner.
- Access:** A door labeled '6' provides access to the yard from the house.

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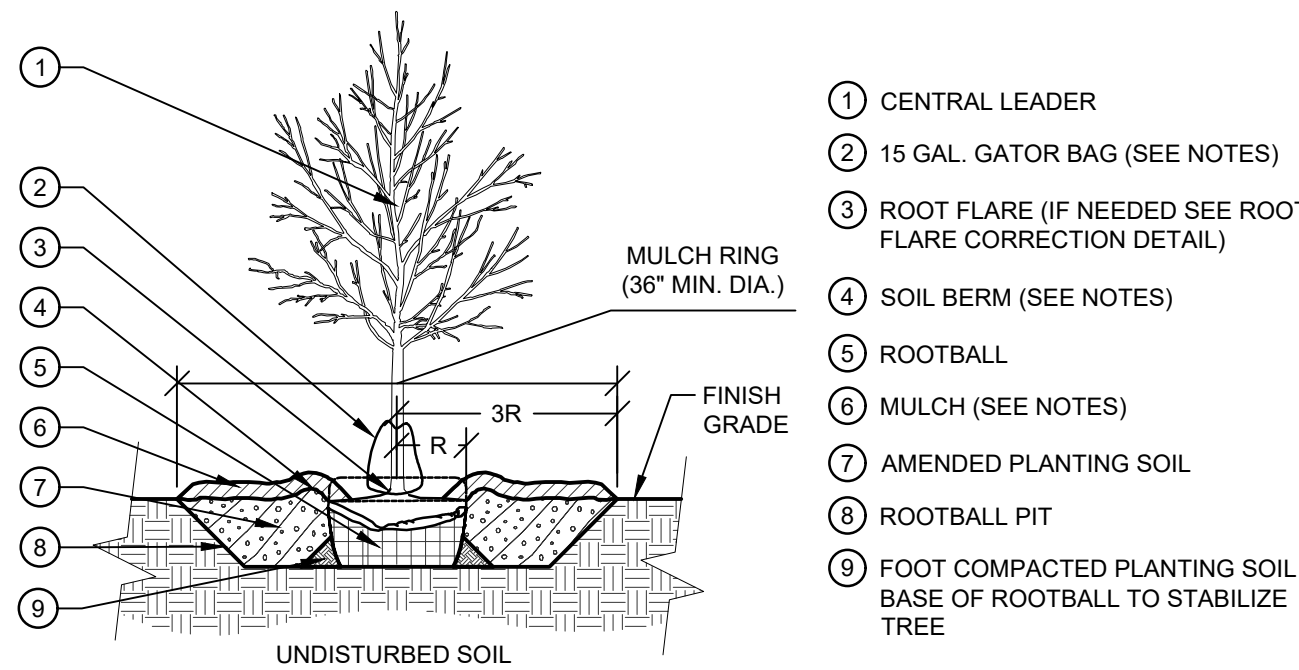
**EASTON FARM APARTMENTS
FINAL DEVELOPMENT PLAN**
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OH



Drawing:	25-0001 LA
Drawn by:	LEM
Checked By:	ADH
Issue Date:	02-21-25

L2.0

Plot time: Feb 19, 2025 - 12:29pm
Drawing name: J:\2025\25-0001\LA.dwg - Layout Tab L3.0 Details

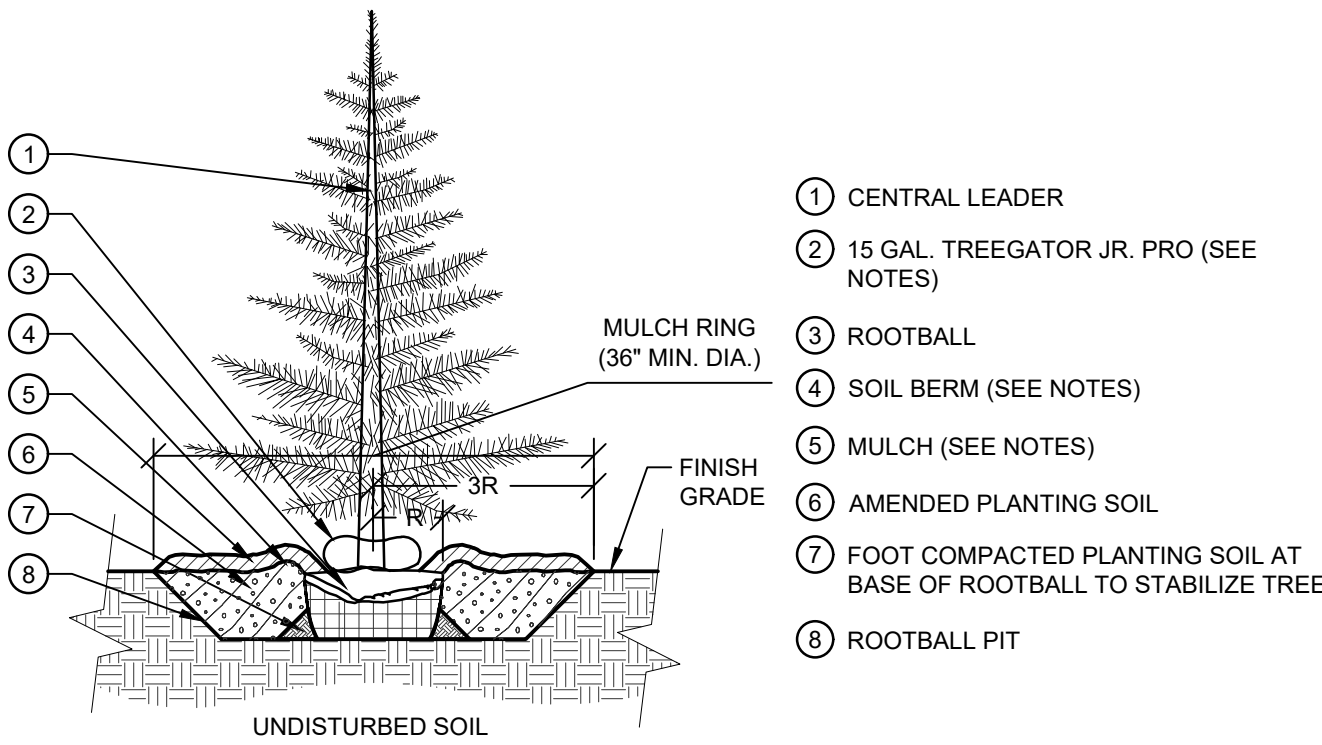


NOTES:

- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP $\frac{1}{4}$ OF ROOTBALL. TOP OF ROOTBALL TO BE FLUSH WITH FINISH GRADE AFTER SETTLEMENT. ROOT FLARE 1" ABOVE FINISH GRADE.
- BOTTOM OF ROOT BALL TO REST ON EXISTING OR RE-COMPACTED SOIL.
- TREE PIT TO BE THREE TIMES THE WIDTH OF THE ROOTBALL.
- SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
- SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS & DELETERIOUS MATERIALS. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- MULCH RING (SEE SPECIFICATIONS FOR DEPTH) AROUND TRUNK. MINIMUM 36" RADIUS DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
- GATOR BAG TO BE INSTALLED & FILLED PER MANUFACTURER'S SPECIFICATIONS ON ALL TREES WHEN INSTALLED BETWEEN JUNE - AUG. 1"-4" CALIPER (1 BAG), 5"-8" (2 BAGS).
- TREES UNDER 6" CALIPER ARE NOT REQUIRED TO BE GUYED UNLESS LOCATED ON SLOPES GREATER THAN 3:1 OR IN A WINDY LOCATION OR OTHER WISE DETERMINED NECESSARY.

1 TYP. TREE PLANTING DETAIL

NOT TO SCALE P-25-EAS-01

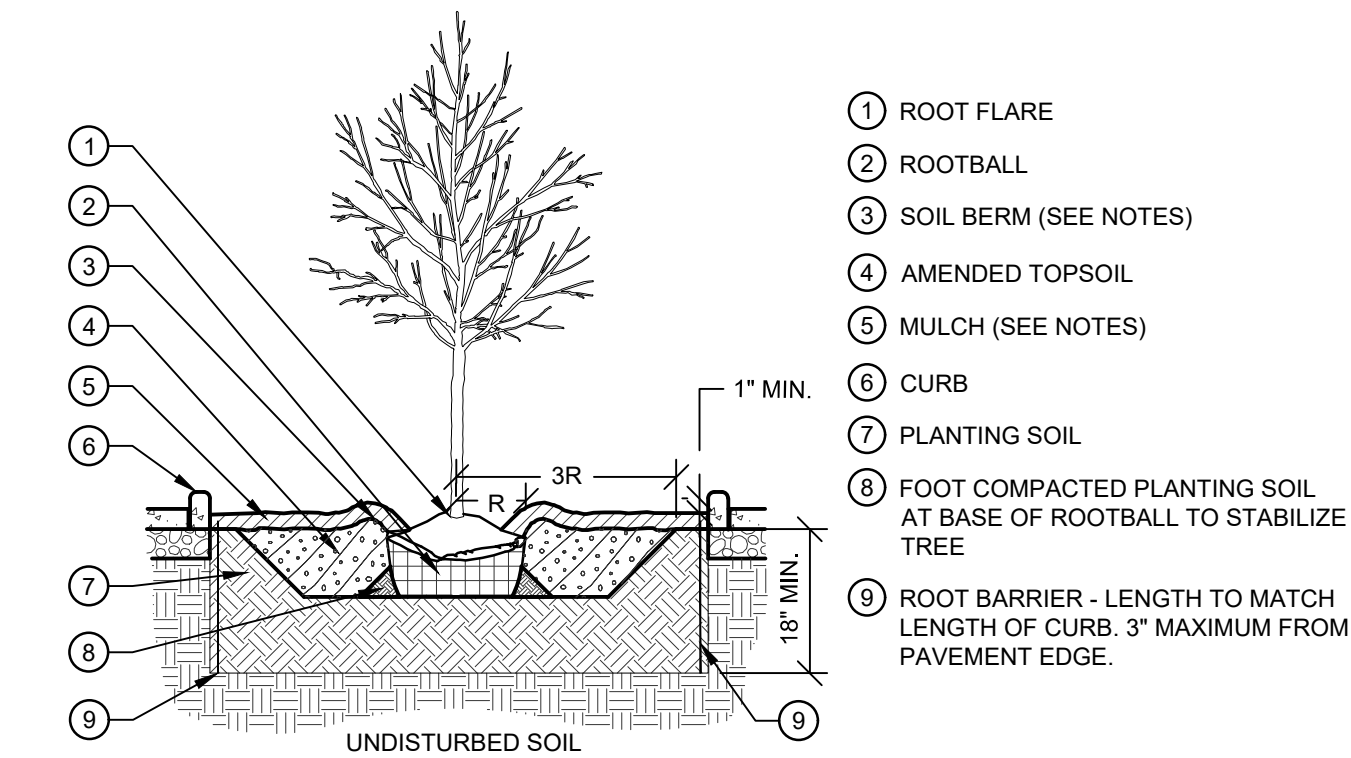


NOTES:

- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP $\frac{1}{4}$ OF ROOTBALL. TOP OF ROOTBALL TO BE FLUSH WITH FINISH GRADE AFTER SETTLEMENT. ROOT FLARE 1" ABOVE FINISH GRADE.
- BOTTOM OF ROOT BALL TO REST ON EXISTING OR RE-COMPACTED SOIL.
- TREE PIT TO BE THREE TIMES THE WIDTH OF THE ROOTBALL.
- SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
- SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS & DELETERIOUS MATERIALS. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- MULCH RING (SEE SPECIFICATIONS FOR DEPTH) AROUND TRUNK. MINIMUM 36" RADIUS DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
- GATOR BAG TO BE INSTALLED & FILLED PER MANUFACTURER'S SPECIFICATIONS ON ALL TREES WHEN INSTALLED BETWEEN JUNE - AUG.

2 TYP. EVERGREEN PLANTING DETAIL

NOT TO SCALE P-25-EAS-02

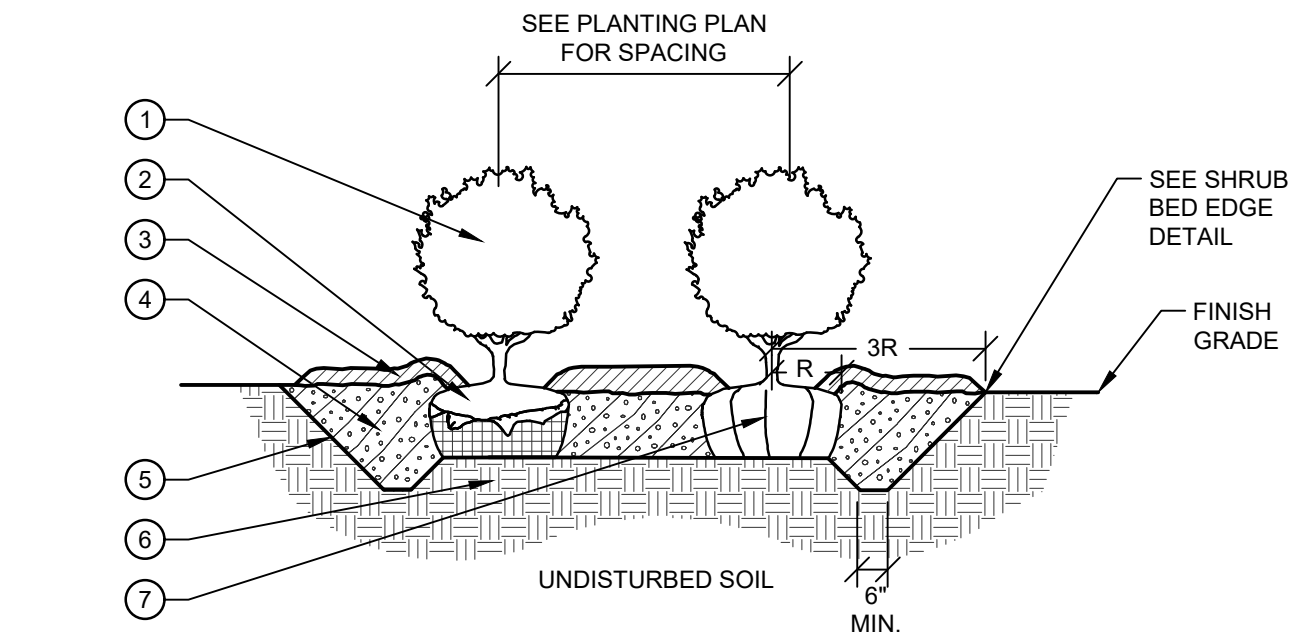


NOTES:

- SOIL SHALL BE EXCAVATED A MINIMUM OF 18" IN TREE ISLAND. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS & DELETERIOUS MATERIALS. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- BACKFILL TREE PIT WITH SPECIFIED SOIL MIX. COMPACT IN 6 INCH LIFTS.
- ROOT BARRIERS SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8" OF PAVEMENT. TOP OF ROOT BARRIER 1" ABOVE FINISHED GRADE. ROOT BARRIERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- MULCH (SEE SPECIFICATIONS FOR DEPTH) DO NOT PLACE MULCH WITHIN 3" OF TRUNK. TOP OF MULCH SHALL BE A MINIMUM OF 1" BELOW ADJACENT CURB/WALK FOR MULCH CONTAINMENT.
- SEE TYP. TREE PLANTING DETAIL FOR ADDITIONAL PLANTING NOTES AND DETAILS.

3 TREE ISLAND PLANTING

NOT TO SCALE P-25-EAS-03

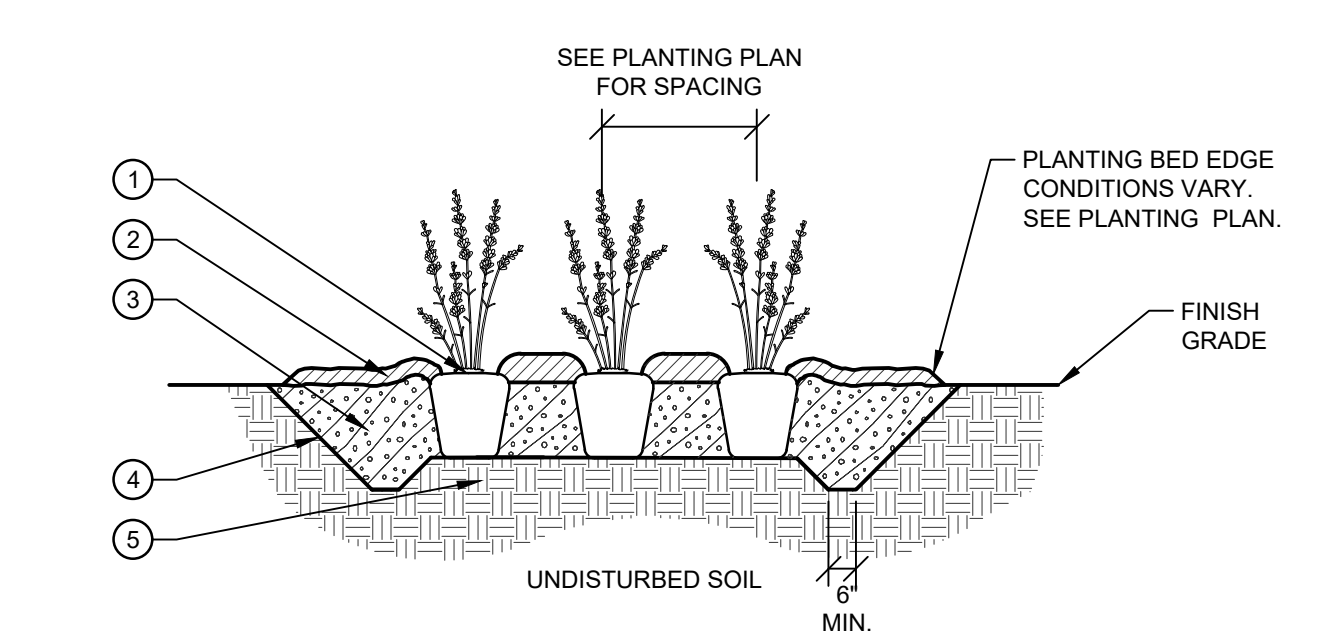


NOTES:

- B&B: REMOVE TWINE, ROPE, WIRE, & BURLAP FROM TOP $\frac{1}{4}$ OF ROOTBALL. TOP OF ROOTBALL TO BE FLUSH WITH FINISH GRADE AFTER SETTLEMENT. ROOT FLARE 1" ABOVE FINISH GRADE.
 - CONTAINER: LOOSEN ROOT BALL OF ANY ROOT BOUND SHRUB.
 - SHRUB PIT TO BE THREE TIMES THE WIDTH OF THE ROOTBALL.
 - SCARIFY BOTTOM AND SIDES OF SHRUB PIT TO 4" MIN. DEPTH.
 - SEE SPECIFICATIONS FOR ADDITIONAL SOIL INFORMATION.
 - SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS & DELETERIOUS MATERIALS. TOPSOIL AMENDED PER SOIL TESTING REPORT. BACKFILL IN 6" SOIL LIFTS. LIGHTLY COMPACT.
 - MULCH ENTIRE SHRUB BED (SEE SPECIFICATIONS FOR DEPTH). MINIMUM 36" RADIUS. DO NOT PLACE MULCH WITHIN 3" OF STEMS.
- SHRUB
 - B&B SHRUB
 - MULCH (SEE NOTES)
 - AMENDED PLANTING SOIL
 - SHRUB PIT
 - UNDISTURBED EXISTING OR RECOMPACTED BASE SOIL, 8" DEPTH
 - CONTAINER SHRUB

4 SHRUB PLANTING DETAIL

NOT TO SCALE P-25-EAS-13

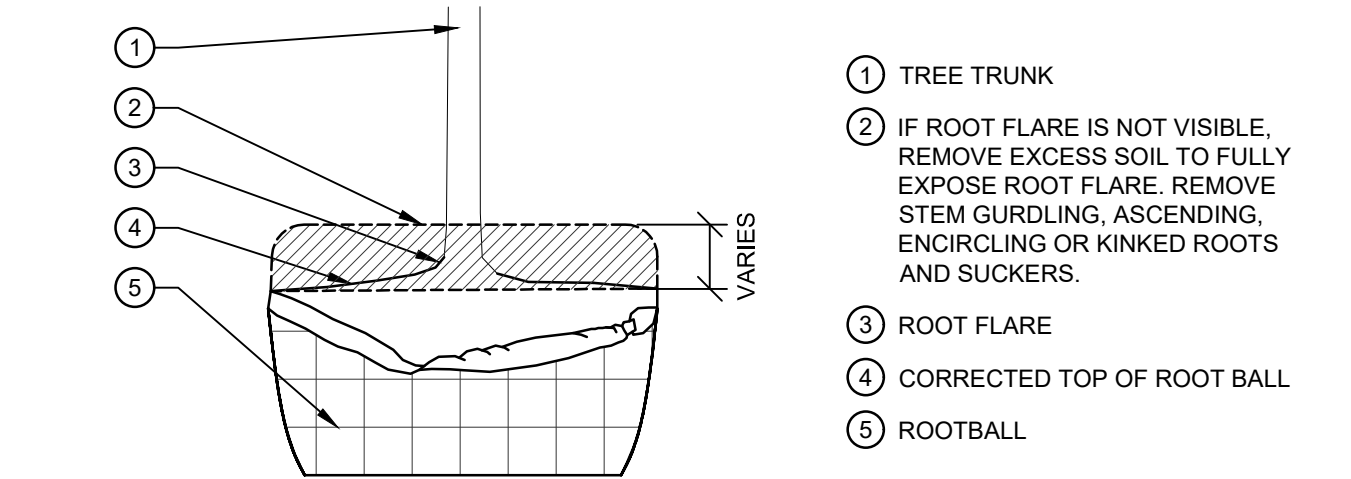


NOTES:

- REMOVE CONTAINER FROM ROOTBALL. CUT OR LOOSEN ANY ROOTS AT THE SURFACE.
 - SET TOP OF ROOT BALL 1 INCH ABOVE FINISH GRADE.
 - SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO 4" MIN. DEPTH.
 - SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS & DELETERIOUS MATERIALS. TOPSOIL AMENDED PER SOIL TESTING REPORT. BACKFILL IN 6" SOIL LIFTS. LIGHTLY COMPACT.
 - MULCH ENTIRE SHRUB BED (SEE SPECIFICATIONS FOR DEPTH). MINIMUM 36" RADIUS. DO NOT PLACE MULCH WITHIN 3" OF STEMS.
- ROOTBALL
 - MULCH (SEE NOTES)
 - AMENDED PLANTING SOIL
 - SHRUB PIT
 - UNDISTURBED EXISTING OR RECOMPACTED BASE SOIL, 8" DEPTH

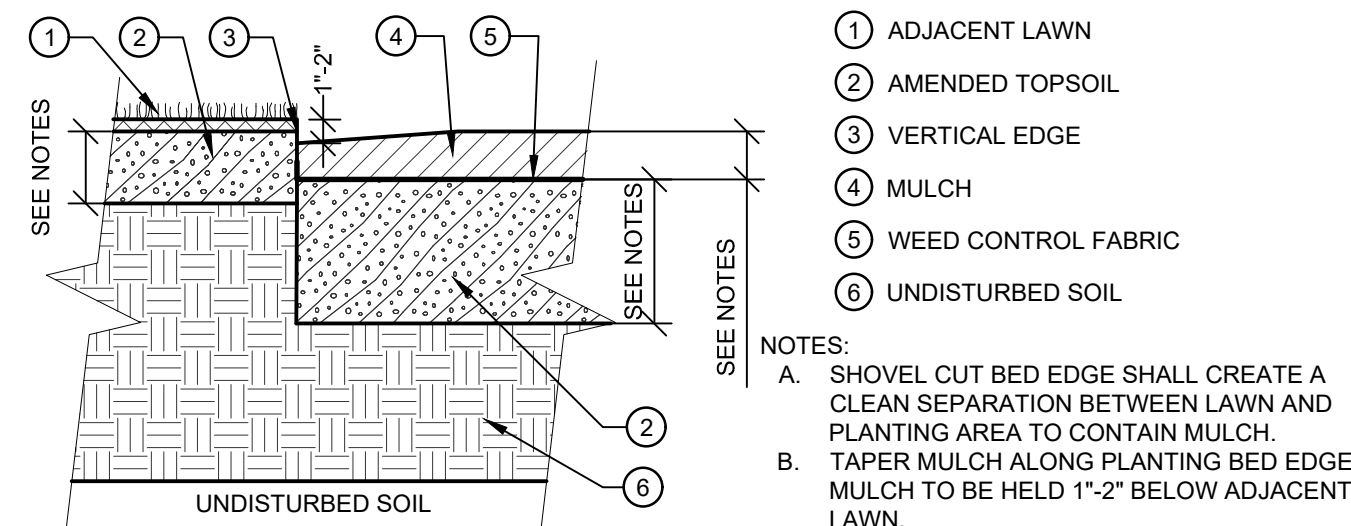
5 GRASSES & PERENNIALS PLANTING DETAIL

NOT TO SCALE P-25-EAS-14



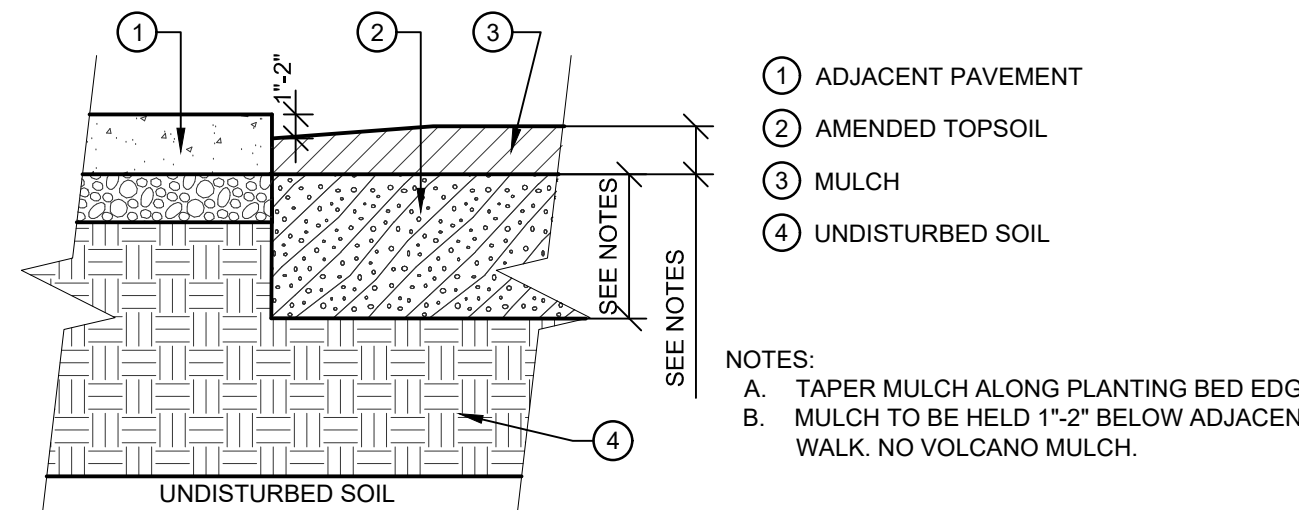
6 ROOT FLARE CORRECTION

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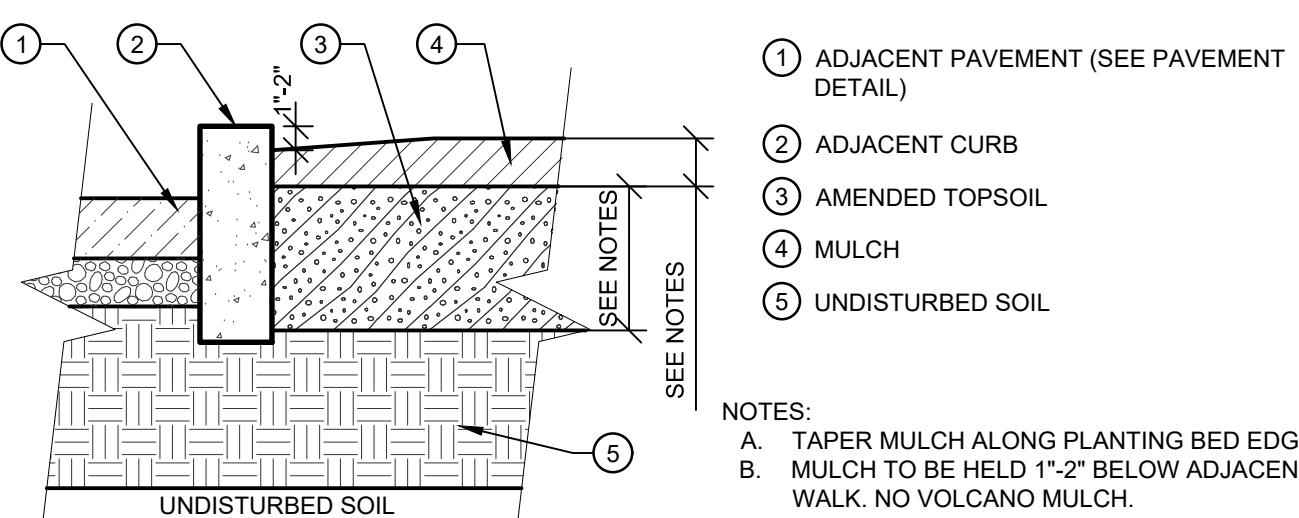
7 MULCH BED ADJACENT TO LAWN

NOT TO SCALE P-25-EAS-19



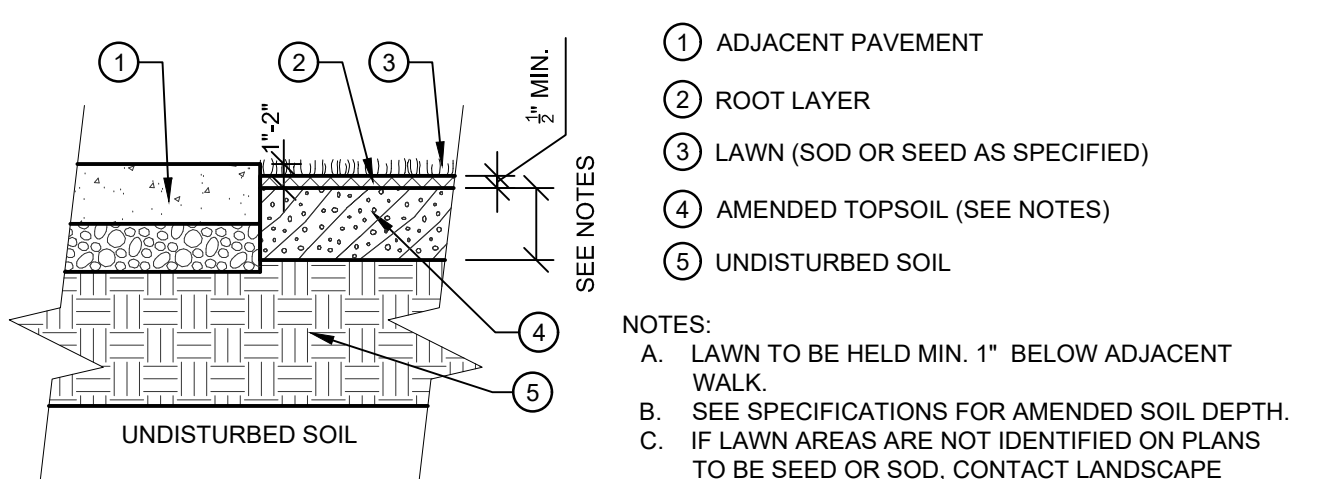
8 MULCH BED ADJACENT TO PAVED SURFACE

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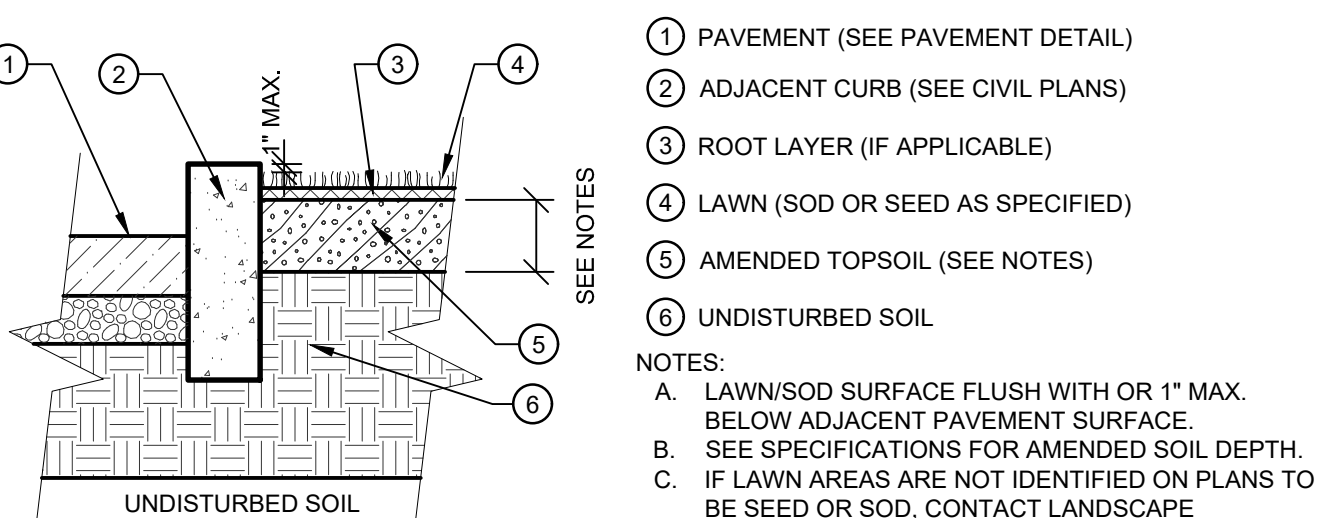
10 MULCH BED ADJACENT TO CURB

NOT TO SCALE P-25-EAS-21



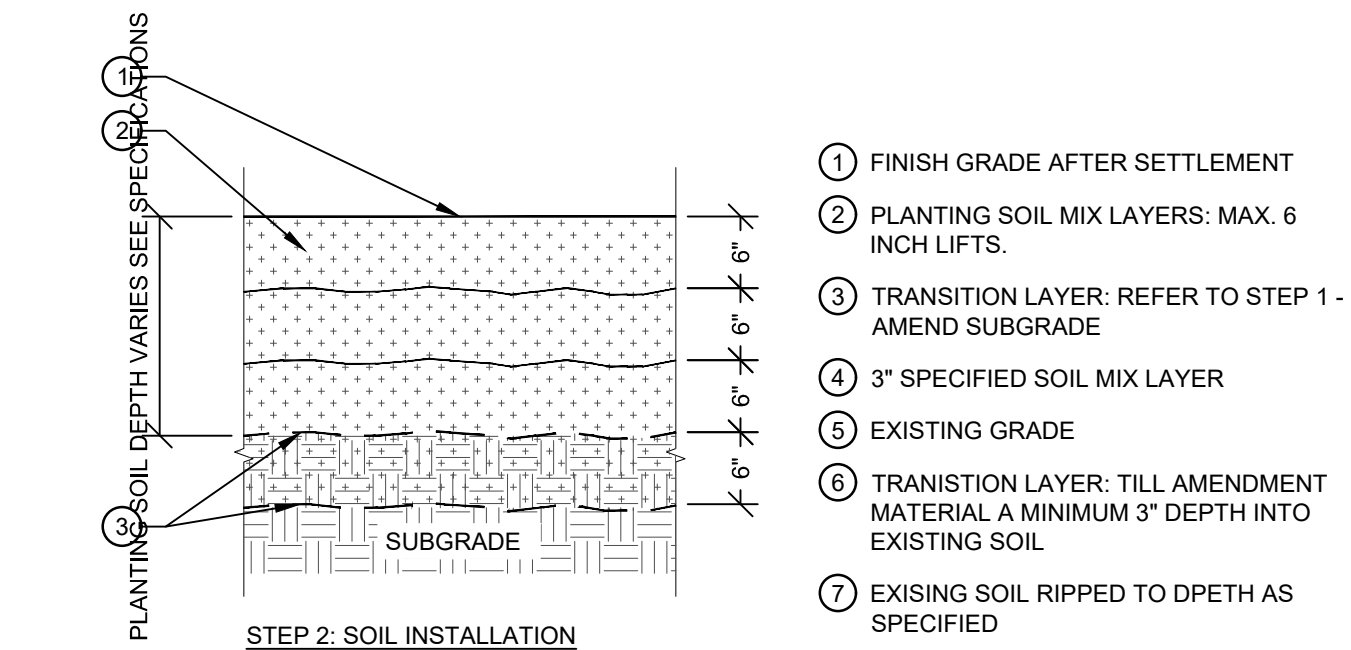
9 LAWN ADJACENT TO PAVED SURFACE

NOT TO SCALE P-25-EAS-23



11 LAWN ADJACENT TO CURB

NOT TO SCALE P-25-EAS-20



12 PLANTING SOIL MIX INSTALLATION

3/4" = 1'-0" P-25-EAS-26

GENERAL LANDSCAPE NOTES

- REFER TO LANDSCAPE SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED, FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.
- CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY REQUIREMENTS AT A MINIMUM. CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY.
- REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL TRAFFIC AND SAFETY REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.
- LANDSCAPE CONTRACT IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND/OR LOCATING PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC.
- ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT PLANTING SEASON OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL PLANT QUANTITIES. ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE LOCAL MUNICIPALITY (IF REQUIRED) PRIOR TO INSTALLATION.
- INSTALL PLANTS - REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE UNDER 5" CALIPER, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD, AT WHICH POINT ANY STAKES & WIRE ARE TO BE REMOVED BY THE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S RECOMMENDATION FOR ALL TREES THAT ARE NOT OTHERWISE IRRIGATED. GATOR BAGS TO BE INSTALLED AND FILLED BETWEEN JUNE AND AUGUST. (1) BAG REQUIRED FOR 1" - 4" CALIPER TREES AND (2) BAGS REQUIRED FOR 5"-8" CALIPER TREES.
- LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY AFFECTING SITE DRAINAGE. GRADES BEHIND CURBS FOR AREAS TO RECEIVE MULCH SHALL BE HELD 4 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOD.
- CONTRACTOR TO RUN PERCOLATION TESTS TO ASSURE PROPER DRAINAGE IN PLANTING AREAS.
- ADDITIONAL ROCK EXCAVATION AND TOPSOIL MAY BE REQUIRED TO OBTAIN SPECIFIED PLANTING DEPTHS FOR ROOT COVERAGE BASED ON SITE CONDITIONS.

**EASTON FARM APARTMENTS
FINAL DEVELOPMENT PLAN**
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OH

LANDSCAPE DETAILS

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SECTION 32 93 00 - PLANTS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

1.2 SUMMARY

- A. SECTION INCLUDES:
- PLANTS.
 - PLANTING SOILS.
 - MISCELLANEOUS PRODUCTS.
- 1.3 SUBMITTALS
- A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT IDENTIFIED, INCLUDING SOILS.
- PLANT MATERIALS: INCLUDE QUANTITIES, SIZES, QUALITY, AND SOURCES FOR PLANT MATERIALS.
 - PESTICIDES AND HERBICIDES: INCLUDE PRODUCT LABEL AND MANUFACTURER'S APPLICATION INSTRUCTIONS SPECIFIC TO THE PROJECT.
 - SAMPLES FOR VERIFICATION: SUBMIT EACH PRODUCT AND MATERIAL WHERE REQUIRED BY THE SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
 - PRODUCT CERTIFICATES: FOR EACH TYPE OF MANUFACTURED PRODUCT, FROM MANUFACTURER, AND COMPLYING WITH THE FOLLOWING:
 - MANUFACTURER'S CERTIFIED ANALYSIS OF STANDARD PRODUCTS.
 - MATERIAL TEST REPORTS: FOR STANDARDIZED ASTM D 5268 TOPSOIL, EXISTING NATIVE SURFACE TOPSOIL, AND IMPORTED OR MANUFACTURED TOPSOIL.
 - WARRANTY: SAMPLE OF SPECIAL WARRANTY.

1.4 QUALITY ASSURANCE

- A. INSTALLER QUALIFICATIONS: A QUALIFIED LANDSCAPE INSTALLER WHOSE WORK HAS RESULTED IN SUCCESSFUL ESTABLISHMENT OF PLANTS.
- EXPERIENCE: FIVE YEARS' EXPERIENCE IN LANDSCAPE INSTALLATION IN ADDITION TO REQUIREMENTS IN DIVISION 01 SECTION "QUALITY REQUIREMENTS."
 - INSTALLER'S FIELD SUPERVISION: REQUIRE INSTALLER TO MAINTAIN AN EXPERIENCED FULL-TIME SUPERVISOR ON PROJECT WHEN WORK IS IN PROGRESS.
 - PESTICIDE APPLICATION: STATE LICENSED, COMMERCIAL.
- B. SOIL ANALYSIS: FOR EACH UNNAMED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER; GRADATION OF SAND, SILT, AND CLAY CONTENT; CATION EXCHANGE CAPACITY; SODIUM ABSORPTION RATIO; DELETERIOUS MATERIAL; PH; AND MINERAL AND PLANT-NUTRIENT CONTENT OF THE SOIL.
- TESTING METHODS: FOLLOW RECOMMENDATIONS SHALL COMPLY WITH USDA'S HANDBOOK NO. 60.
 - THE SOIL-TESTING LABORATORY SHALL OVERSEE SOIL SAMPLING, WITH DEPTH, LOCATION, AND NUMBER OF SAMPLES TO BE TAKEN PER INSTRUCTIONS FROM LANDSCAPE ARCHITECT. A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIED LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES.
 - REPORT SUITABILITY OF TESTED SOIL FOR PLANT GROWTH.
- B. BASED UPON THE TEST RESULTS, STATE RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. STATE RECOMMENDATIONS IN WEIGHT PER 1000 SQ. FT. (92.9 SQ. M) OR VOLUME PER CU. YD. (0.76 CU. M) FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE SATISFACTORY PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS.
- D. REPORT PRESENCE OF PROBLEM SALTS, MINERALS, OR HEAVY METALS, INCLUDING ALUMINUM, ARSENIC, BARIUM, CADMIUM, CHROMIUM, COBALT, LEAD, LITHIUM, AND VANADIUM. IF SUCH PROBLEM MATERIALS ARE PRESENT, PROVIDE ADDITIONAL RECOMMENDATIONS FOR CORRECTIVE ACTION.
- C. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, AND WITH HEALTHY, FIRM ROOT SYSTEMS DEVELOPED BY TRANSLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- D. MEASUREMENTS: MEASURE ACCORDING TO ANSI Z60.1. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
- TREES AND SHRUBS: MEASURE WITH BRANCHES OR CANES IN THEIR NORMAL POSITION. TAKE HEIGHT MEASUREMENTS FROM OR NEAR THE TOP OF THE ROOT FLARE FOR FIELD-GROWN STOCK AND CONTAINER-GROWN STOCK. MEASURE MAIN BODY OF TREE OR SHRUB FOR HEIGHT AND SPREAD; DO NOT MEASURE BRANCHES OR ROOTS TIP TO TIP. TAKE CALIPER MEASUREMENTS 6 INCHES (150 MM) ABOVE THE ROOT FLARE FOR TREES UP TO 4-INCH (100-MM) CALIPER SIZE, AND 12 INCHES (300 MM) ABOVE THE ROOT FLARE FOR LARGER SIZES.
 - OTHER PLANTS: MEASURE WITH STEMS, PETIOLES, AND FOLIAGE IN THEIR NORMAL POSITION.
- E. PLANT MATERIAL OBSERVATION: LANDSCAPE ARCHITECT MAY OBSERVE PLANT MATERIAL EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, CULTIVAR, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, PESTS, DISEASE SYMPTOMS, INJURIES, AND LATEX DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE.
- B. BULK MATERIALS:
- DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
 - PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF BULK MATERIALS, DISCHARGE OF SOIL-BEARING WATER RUNOFF, AND AIRBORNE DUST REACHING ADJACENT PROPERTIES, WATER CONVEYANCE SYSTEMS, OR WALKWAYS.
 - ACCOMPANY EACH DELIVERY OF BULK FERTILIZERS, LIME, AND SOIL AMENDMENTS WITH APPROPRIATE CERTIFICATES.
- C. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TREE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
- D. HANDLE PLANTING STOCK BY ROOT BALL.
- E. STORE BULBS, CORMS, AND TUBERS IN A DRY PLACE AT 60 TO 65 DEG F (16 TO 18 DEG C) UNTIL PLANTING.
- F. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED, AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
 - DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
 - WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY-WET CONDITION.

1.6 PROJECT CONDITIONS

- A. FIELD MEASUREMENTS: VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, IRRIGATION SYSTEM COMPONENTS, AND DIMENSIONS OF PLANTING AREAS. CONDUCT SURVEY CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- B. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL, AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- C. COORDINATION WITH TURF AREAS (LAWNS): PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING TURF AREAS UNLESS OTHERWISE INDICATED.
- WHEN PLANTING TREES, SHRUBS, AND OTHER PLANTS AFTER PLANTING TURF AREAS, PROTECT TURF AREAS, AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.

1.7 WARRANTY

- A. SPECIAL WARRANTY: INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
- FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH & UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM ABUSE, LACK OF ADEQUATE MAINTENANCE, OR NEGLECT BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
 - FAULTY PERFORMANCE OF TREE STABILIZATION, EDGINGS.
 - DETERIORATION OF METALS, METAL FINISHES, AND OTHER MATERIALS BEYOND NORMAL WEATHERING.
- WARRANTY PERIODS FROM DATE OF PLANTING COMPLETION:
- TREES, SHRUBS, VINES, AND ORNAMENTAL GRASSES: 12 MONTHS.
 - GROUND COVERS, BIENNIALS, PERENNIALS, AND OTHER PLANTS: 12 MONTHS.
- INCLUDE THE FOLLOWING REMEDIAL ACTIONS AS A MINIMUM:
- IMMEDIATELY REMOVE DEAD PLANTS AND REPLACE UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACE PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
 - A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
 - PROVIDE EXTENDED WARRANTY FOR PERIOD EQUAL TO ORIGINAL WARRANTY PERIOD, FOR REPLACED PLANT MATERIAL.

PART 2 - PRODUCTS

2.1 PLANT MATERIAL

- A. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE OR PLANT LEGEND SHOWN ON DRAWINGS AND COMING WITH IDENTIFICATION AND LABELING INFORMATION FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT.
- B. PRUNING: PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 3/4 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A NURSERY UNLESS OTHERWISE INDICATED.

- B. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO LANDSCAPE ARCHITECT.
- D. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL.
- E. PROTECT PLANTS FROM HOT SUN AND WIND; REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.
- 3.8 PLANTING AREA MULCHING
- A. INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF 6 INCHES (150 MM) AND SECURE SEAMS WITH GALVANIZED PINS. PINS TO BE 8"-10" APART ALONG EDGES AND 12" MINIMUM IN CENTER.
- B. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED.
- TREES AND LARGE SHRUBS IN TURF AREAS: APPLY 2-INCH (50-MM) THICK LAYER OF 4-INCH (75-MM) AVERAGE THICKNESS, WITH 36-INCH (900-MM) RADIUS AROUND TRUNKS OR STEMS. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS OR VOLCANO MULCH.
 - ORGANIC MULCH IN PLANTING AREAS: APPLY 2-INCH (50-MM) AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES (300 MM) BEYOND EDGE OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER WHOLE SURFACE OF PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS.

2.2 INORGANIC SOIL AMENDMENTS

- A. LIME: ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT AND AS FOLLOWS:
- PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE. COARSE MATERIAL WILL BE ACCEPTABLE PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUANTITIES PASSING THE 100 MESH SIEVE.
 - SULFUR: GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING THROUGH NO. 6 (3.35-MM) SIEVE AND A MAXIMUM OF 10 PERCENT PASSING THROUGH NO. 40 (0.425-MM) SIEVE.

2.3 MULCHES

- A. ORGANIC MULCH: FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF HERMIDIC, PERMEABLE MOISTURE RETARDER, FILM FORMING, FOR TREES AND SHRUBS. DELIVER IN ORIGINAL, SEALED, AND FULLY LABELED CONTAINERS AND MIX ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- TYPE: DOUBLE SHREDDED HARDWOOD BARK.

2.4 MISCELLANEOUS PRODUCTS

- A. ANTIDISECCANT: WATER-INSOLUBLE EMULSION, IMPERMEABLE MOISTURE RETARDER, FILM FORMING, FOR TREES AND SHRUBS. DELIVER IN ORIGINAL, SEALED, AND FULLY LABELED CONTAINERS AND MIX ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- B. TREE-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4" WIDE MINIMUM, WITH STRETCH FACTOR 3:1 PERCENT.
- C. PRE-EMERGENT HERBICIDE: PRE-EMERGENT WEED SEEDLINGS, APPLY ONE OF THE FOLLOWING PRE-EMERGENT HERBICIDES AS MANUFACTURER'S RECOMMENDED RATE:
- ORYZALIN (SURFLAN).
 - SIMAZIN (PRINCEP).
 - TRIFLURALIN (TRIFLAN).
- D. POST-EMERGENT HERBICIDE: TO KILL EMERGENT WEEDS DURING MAINTENANCE PERIOD, APPLY ONE OF THE FOLLOWING POST-EMERGENT HERBICIDES AT MANUFACTURER'S RECOMMENDED RATE:
- SETHOXYDIM (POAST).
 - FLUAZIFOP (FUSILADE).

PART 3 - EXECUTION

3.1 EXAMINATION

- A. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE.
- VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN A PLANTING AREA.
 - DO NOT MIX OR SOIL AMENDMENTS IN FROZEN, WET, OR MUDDY CONDITIONS.
 - SUSPEND SOIL SPREADING, GRADING, AND TILLING OPERATIONS DURING PERIODS OF EXCESSIVE SOIL MOISTURE UNTIL THE MOISTURE CONTENT REACHES ACCEPTABLE LEVELS TO ATTAIN THE REQUIRED RESULTS.
 - UNIFORMLY MOISTEN EXCESSIVELY DRY SOIL THAT IS NOT WORKABLE AND WHICH IS TOO DUSTY.
- B. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- C. IF CONTAMINATION BY FOREIGN OR DELETERIOUS MATERIAL, OR LIQUID IS PRESENT IN SOIL WITHIN A PLANTING AREA, REMOVE THE SOIL AND CONTAMINATION AS DIRECTED BY LANDSCAPE ARCHITECT AND REPLACE WITH NEW PLANTING SOIL.

3.2 PREPARATION

- A. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- B. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- C. LAY OUT INDIVIDUAL TREE OR SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, AND ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- D. LAY OUT PLANTS AT LOCATIONS DIRECTED BY LANDSCAPE ARCHITECT. STAKE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS AND OUTLINE AREAS FOR MULTIPLE PLANTINGS.
- E. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE ARCHITECT AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.
- F. APPLY ANTIDISECCANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE AN ADEQUATE FILM OVER TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING DIGGING, HANDLING, AND TRANSPORTATION.
- G. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE ARCHITECT AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.
- H. WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.

3.3 PLANTING AREA ESTABLISHMENT

- A. LOOSEN SUBGRADE OF PLANTING AREAS TO A MINIMUM DEPTH OF 18 INCHES (450 MM). REMOVE STONES LARGER THAN 1 INCH (25 MM) IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- APPLY FERTILIZER DIRECTLY TO SUBGRADE BEFORE LOOSENING.
 - SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL.
 - DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS.
 - MIX LIME WITH DRY SOIL BEFORE MIXING FERTILIZER.
 - SPREAD PLANTING SOIL TO A DEPTH OF 18 INCHES (450 MM) BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- B. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- C. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- D. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.

3.4 EXCAVATION FOR TREES AND SHRUBS

- A. PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED 8 INCHES TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING AND ROOT ROT. EXCAVATE TO 12 INCHES ABOVE FINISH GRADE. EXCAVATION SHALL BE EXCAVATED APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.
- EXCAVATE AT LEAST 12 INCHES (300 MM) WIDER THAN ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS FOR BARE-ROOT STOCK.
 - IF DRAIN TILE IS SHOWN ON DRAWINGS OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF POROUS BACKFILL OVER TILE.
- B. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS OR OTHER DELETERIOUS MATERIALS.
- C. OBSTRUCTIONS: NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
- D. DRAINAGE: NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.
- E. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.

3.5 TREE, SHRUB, AND VINE PLANTING

- A. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE THE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS.
- B. REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK.
- C. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH (25 MM) ABOVE ADJACENT FINISH GRADES.
- D. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH (25 MM) ABOVE ADJACENT FINISH GRADES.
- CAREFULLY REMOVE ROOT BALL FROM CONTAINER WITHOUT DAMAGING ROOT BALL OR PLANT.
 - PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOICE AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.
- E. AFTER THE LANDSCAPE ARCHITECT HAS EXAMINED THE TRUNKS OF NEW INSTALLED TREES, WRAP TREES OF 2-INCH CALIPER AND LARGER WITH TREE-WRAP TAPE. START AT THE BASE OF THE TRUNK AND SPIRAL CIRCLE THE TRUNK TO THE HEIGHT OF THE FIRST BRANCHES. OVERLAP THE WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION; TAKE CORRECTIVE MEASURES REQUIRED BEFORE TREE WRAPPING.

3.6 TREE, SHRUB, AND VINE PRUNING

- A. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.
- B. PRUNE, THIN, AND SHAPE TREES, SHRUBS, AND VINES AS DIRECTED BY LANDSCAPE ARCHITECT.
- C. PRUNE, THIN, AND SHAPE TREES, SHRUBS, AND VINES AS DIRECTED BY LANDSCAPE ARCHITECT. HORTICULTURAL AND ARBORICULTURAL PRACTICES, UNLESS OTHERWISE INDICATED BY LANDSCAPE ARCHITECT, DO NOT CUT TREE LEADERS; REMOVE ONLY INJURED, DYING, OR DEAD BRANCHES FROM TREES AND SHRUBS; AND PRUNE TO RETAIN NATURAL CHARACTER.
- D. DO NOT APPLY PRUNING PAINT TO WOUNDS.

3.7 GROUND COVER AND PLANT PLANTING

- A. SET OUT AND SPACE GROUND COVER AND PLANTS OTHER THAN TREES, SHRUBS, AND VINES AS INDICATED IN EVEN ROWS WITH TRIANGULAR SPACING.
- B. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.

- C. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD WATER.
- D. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL.
- E. PROTECT PLANTS FROM HOT SUN AND WIND; REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.

3.8 PLANTING AREA MULCHING

- A. INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF 6 INCHES (150 MM) AND SECURE SEAMS WITH GALVANIZED PINS. PINS TO BE 8"-10" APART ALONG EDGES AND 12" MINIMUM IN CENTER.
- B. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED.
- TREES AND LARGE SHRUBS IN TURF AREAS: APPLY 2-INCH (50-MM) THICK LAYER OF 4-INCH (75-MM) AVERAGE THICKNESS, WITH 36-INCH (900-MM) RADIUS AROUND TRUNKS OR STEMS. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS OR VOLCANO MULCH.
 - ORGANIC MULCH IN PLANTING AREAS: APPLY 2-INCH (50-MM) AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES (300 MM) BEYOND EDGE OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER WHOLE SURFACE OF PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS.

3.9 PLANT MAINTENANCE

- A. MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, RESTORING PLANTING SAUCERS, ADJUSTING AND REPAIRING TREE-STABILIZATION DEVICES, RESETTling TO PROPER GRADES OR VERTICAL POSITION, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- WATER EXISTING PROTECTED TREES AND VEGETATION WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAH LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.
- B. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER PROCESSES. REPLACE MULCH MATERIALS DAMAGED OR LOST IN AREAS OF SUBSIDENCE.
- C. APPLY TREATMENTS AS REQUIRED TO KEEP PLANT MATERIALS, PLANTED AREAS, AND SOILS FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS. TREATMENTS INCLUDE PHYSICAL CONTROLS SUCH AS HOSSING OFF FOLIAGE, MECHANICAL CONTROLS SUCH AS TRAPS, AND BIOLOGICAL CONTROL AGENTS.

3.10 PESTICIDE APPLICATION

- A. APPLY PESTICIDES AND OTHER CHEMICAL PRODUCTS AND BIOLOGICAL CONTROL AGENTS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND MANUFACTURER'S WRITTEN RECOMMENDATIONS. COORDINATE APPLICATIONS WITH OWNER'S OPERATIONS AND OTHERS IN PROXIMITY TO THE WORK. NOTIFY OWNER BEFORE EACH APPLICATION IS PERFORMED.
- B. PRE-EMERGENT HERBICIDES (SELECTIVE AND NON-SELECTIVE): APPLY TO TREE, SHRUB, AND GROUND-COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDING AREAS.
- C. POST-EMERGENT HERBICIDES (SELECTIVE AND NON-SELECTIVE): APPLY ONLY AS NECESSARY TO TREAT ALREADY-GERMINATED WEEDS AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

3.11 CLEANUP AND PROTECTION

- A. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- B. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES WITHIN 20' OF CONSTRUCTION DISTURBANCE. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- C. INSTALL MINIMUM 4" TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN.
- D. AFTER INSTALLATION AND AFTER WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR OWNER OR OWNER'S REPRESENTATIVE, REMOVE NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, BURLAP, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

3.12 DISPOSAL

- A. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

END OF SECTION 32 93 00

SECTION 31 14 00 - SITE RESTORATION OF LANDSCAPING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

1.2 SUMMARY

- A. SECTION INCLUDES:
- SPREAD AND CONDITION EXISTING STOCKPILED TOPSOIL.
 - PROVIDE NEW, IF REQUIRED, LIME.
 - TILL, DISTRIBUTE AND GRADE TOPSOIL.
 - CLEAN UP.
- 1.3 SUBMITTALS (SUBMIT ALL THE FOLLOWING REPORTS, IN TRIPLICATE, TO OWNER FOR REVIEW)
- LABORATORY TESTS: SUBMIT COPIES OF TOPSOIL LABORATORY TESTS TO THE OWNER.
 - FERTILIZER: SUBMIT COPIES ATTESTING TO THE FERTILIZER COMPOSITION TO THE OWNER.
 - SEED MIX: SUBMIT COPIES ATTESTING TO THE SEED MIX COMPOSITION TO THE OWNER.
 - SOD: SUBMIT COPIES FROM THE SOD SOURCE ATTESTING TO THE SEED MIX COMPOSITION TO THE OWNER.

1.4 SITE PROTECTION

- A. PROTECT EXISTING GROUNDS, PLANTS, LAWNS AND VEGETATION TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, SKINNING, OR BRUISING OF ROOTS AND BARK. SMOTHERING OF TREES BY COMPACTION OR STOCKPIILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN FIVE FEET OF OUTER EDGE OF DRIP LINE.
 - ERECT MINIMUM OF FOUR (4) FOOT HIGH FENCE FIVE (5) FEET OUTSIDE DRIP LINE OF TREES TO REMAIN.
 - ERECT TREE PROTECTION BEFORE STARTING SITE WORK OF ANY KIND. MAINTAIN FENCING DURING CONSTRUCTION PERIOD.
 - INTERFERING BRANCHES MAY ONLY BE REMOVED WITH PRIOR CONSENT FROM LANDSCAPE ARCHITECT.
 - IDENTIFY ANY TREES LANDSCAPE ARCHITECT WOULD LIKE VERTICALLY MULCHED, TRIMMED OR REPAIRED AS RESULT OF CONSTRUCTION IMPACT AT END OF PROJECT. ALL WORK TO BE DONE BY A CERTIFIED ARBORIST TO BE APPROVED BY LANDSCAPE ARCHITECT.
- B. WATER TREES AND VEGETATION TO REMAIN WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAH LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.
- C. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO PLANTS TO REMAIN. COST FOR TREE REPLACEMENT SHALL BE DETERMINED IN ACCORDANCE WITH THE "GUIDE FOR PLANT APPRAISAL" BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS (INTERNATIONAL SOCIETY OF AGRICULTURE, PUBLICATION #P1209).

B. TEMPORARY CONSTRUCTION ACCESS: PROJECT SITE ACCESS AND EQUIPMENT ACCESS ROUTES WITHIN THE PROJECT SITE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. ANY TEMPORARY GRASSWAY OR ACCESS MUST INCLUDE A GEOTEXTILE LINER TO ENSURE FULL REMOVAL OF GRAVEL/STONE FROM PROJECT SITE AT PROJECT COMPLETION.

1.5 STRIPPING AND STORAGE OF EXISTING TOPSOIL

- A. STRIP TOPSOIL TO FULL DEPTH AT AREAS IMPACTED & AT ALL AREAS TO BE RE-GRADED OR RESURFACED.
- B. STOP TOPSOIL STRIPPING OUTSIDE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT ROOT LINE OF TREES TO REMAIN.
- C. DISPOSE OF ROOTS, STONE AND OTHER DEBRIS: STORE TOPSOIL IN PILES WITHIN THE WORK LIMITS.
- OBTAIN APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS.
 - GRADE AND SLOPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION.
 - THE REUSE OF STOCKPILED TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.

PART 2 - PRODUCTS AND MATERIALS

2.1 TOPSOIL

- A. ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND OF UNIFORM QUALITY FREE FROM HARD CLODS, STIFF CLAY, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWING:
- ORGANIC CONTENT: TOPSOIL SHALL CONTAIN BETWEEN 3% AND 10% ORGANIC MATTER AS DETERMINED BY LOSS OF IGNITION.
 - PH: TOPSOIL PH SHALL RANGE BETWEEN 6.0 AND 7.5.
 - SOIL TEXTURE: TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY PASSING THROUGH A 2.0MM (#10) SIEVE:
 - SAND: 30% TO 75%.
 - SILT: 15% TO 70%.
 - CLAY: 10% TO 30%.
- B. TOPSOIL MUST BE APPROVED BY GROUND'S MANGER PRIOR TO PLACEMENT. TOPSOIL TEST RESULTS SHALL SHOW RECOMMENDATION FOR SOIL ADDITIVES OR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY. ALL SOIL AMENDMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO USE.
- 2.2 GRASS SEED
- A. GRASS SEED SHALL BE A TURF-TYPE TALL FESCUE BLEND SUCH AS TROPHY XRE TURF-TYPE TALL FESCUE BLEND OR APPROVED EQUAL BLEND WITH FRESH, CLEAN, NEW CROP SEED MIXTURES.
- B. SEED MIXTURE SHALL BE POA-FREE MEETING OREGON STATE STANDARDS FOR NOXIOUS WEED EXAMS.
- C. SEED MIXTURE FOR RECREATION FIELDS SHALL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT.

2.3 SOD

- A. LANDSCAPE ARCHITECT APPROVED NURSERY GROWN TURF-TYPE TALL FESCUE BLEND SUITABLE FOR JOB SPECIFIC EXPOSURE, WEARABILITY, AND DISEASE RESISTANCE CONFORMING TO THE FOLLOWING PERCENTAGES OF GRASS TYPE:
- 100% - TURF TYPE TALL FESCUE
- B. PROVIDE WELL-ROOTED, HEALTHY SOD, FREE OF DISEASES, NEMATODES, AND SOIL BORNE INSECTS. PROVIDE SOD IN UNIFORM COLOR, LEAF, TEXTURE, DENSITY, AND FREE OF WEEDS, UNDESIRABLE GRASSES, CAPABLE OF GROWTH AND PROLONGED UPGROWTH WHEN PLANTED. SOD IS CONSIDERED FREE OF WEEDS IF LESS THAN 5 WEEDS ARE FOUND PER 100 SQ. FT.
- C. FURNISH SOD MACHINE STRIPPED AND OF SUPPLIER'S STANDARD WIDTH AND LENGTH; UNIFORMLY 1" TO 1-1/2" THICK WITH CLEAN CUT EDGES. SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 1/4" PERMISSIBLE. SOD SHALL BE MOWED UNIFORMLY BEFORE HARVESTING
- D. DELIVERY, STORAGE, AND HANDLING: SOD SHALL BE HARVESTED, DELIVERED, AND TRANSPORTED WITHIN A PERIOD OF TWENTY-FOUR (24) HOURS.
- DO NOT HARVEST OR TRANSPORT SOD WHEN MOISTURE CONTENT MAY ADVERSELY AFFECT SOD SURVIVAL.
 - PROTECT SOD FROM SUN, WIND, AND DEHYDRATION PRIOR TO INSTALLATION.
 - DO NOT TEAR, STRETCH, OR DROP SOD DURING HANDLING AND INSTALLATION.

ELECTRIC LUMINAIRE SCHEDULE


GENERAL NOTES:
A. REFER TO DRAWINGS FOR MOUNTING TYPE, NUMBER OF FACES AND ARROWS OF EXIT SIGNS. VERIFY IN FIELD PRIOR TO INSTALLATION.
B. VERIFY COMPATIBILITY WITH VOLTAGE, CONTROLS, ETC. FOR ALL LUMINAIRE COMPONENTS.
C. COORDINATE EACH LUMINAIRE LOCATION WITH THE ARCHITECTURAL REFLECTED CEILING PLANS, CEILING INSTALLERS, ETC. AND PROVIDE APPROPRIATE MOUNTING SYSTEM REQUIRED FOR EACH LUMINAIRE. ALSO, PROVIDE PLASTER FRAMES, WALL BRACKETS, SUPPORTS, OR OTHER APPURTENANCES AS REQUIRED FOR PROPER AND COMPLETE INSTALLATIONS.
D. WEAR CLEAN WHITE COTTON GLOVES WHEN HANDLING EXPOSED REFLECTIVE LUMINAIRE SURFACES. REMOVE PLASTIC SHIPPING BAGS ONLY AFTER INTERIOR WORK IS COMPLETE, AND CLEAN ALL SURFACES WITH CLEAN DRY CHEESECLOTH.
E. MOUNTING HEIGHTS INDICATED ARE TO THE BOTTOM OF THE LUMINAIRE, UNLESS OTHERWISE NOTED.
F. PRODUCTS: PROVIDE PRODUCTS INDICATED ON DRAWINGS AND SCHEDULES. WHERE MULTIPLE MANUFACTURER SERIES/MODEL NUMBERS ARE LISTED FOR A SINGLE LUMINAIRE, PROVIDE ONE OF THOSE LISTED, WHERE A SPECIFIC MANUFACTURER SERIES/MODEL NUMBER IS LISTED AS BASIS-OF-DESIGN, AND WHERE IT IS STATED THAT EQUIVALENTS WILL BE CONSIDERED, ANY PROPOSED NON-LISTED LUMINAIRES ARE SUBJECT TO REVIEW BY DESIGN PROFESSIONAL(S).
SUBMITTALS FOR WHICH SHALL BE FURNISHED AT LEAST (10) DAYS PRIOR TO BID DUE DATE OR THEY WILL NOT BE CONSIDERED. THESE PRE-BID SUBMITTALS SHALL CLEARLY STATE EXACTLY WHAT IS BEING PROPOSED AND SHALL DEMONSTRATE COMPLIANT EQUIVALENCY. SIMILAR REQUESTS FOR PROPOSED SUBSTITUTIONS MAY BE MADE ONLY AFTER BIDS ARE RECEIVED, AND ONLY IF OWNER CHOOSES TO CONSIDER SUBSTITUTION REQUESTS. DESIGN PROFESSIONAL(S) AND OWNER RESERVE THE RIGHT TO REJECT ALL PRODUCTS THAT ARE NOT DEEMED TO BE FULLY EQUIVALENT TO THE BASIS-OF-DESIGN LISTING(S). SUBMIT ALL REQUESTS AND QUESTIONS THROUGH THE FORMALLY ESTABLISHED BIDDING PROCESS, NOT DIRECTLY TO ENGINEER.

TYPE	DESCRIPTION	MANUFACTURER	MODEL	ACCEPTED EQUALS	SIZE	MOUNTING	FLANGE KIT	MATERIAL	OPTICS	LIGHT SOURCE	LAMP QTY	LAMP BASE	COLOR TEMPERATURE (K)	CRI	LUMEN OUTPUT (L)	DRIVER	DRIVER QTY	BATTERY	BATTERY TYPE	DIMMING PROTOCOL	FINISH	OPTIONS	LOAD (VA)	UNIVERSAL VOLTAGE (MVOLT)	VOLTAGE	PHASE	COMMENTS
AL1	PARKING LOT	LSI	MRS MIRADA SMALL AREA LIGHT	APPROVED EQUALS ONLY		1@90			TYPE 4 BACK SIDE SHIELD	LED	1		3500	82	15000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		111 VA	Yes	277 V	1	
AL2	AREA LIGHT	LSI	MRS- MIRADA SMALL AREA LIGHT	APPROVED EQUALS ONLY		1@90			TYP4 BACK SIDE SHIELD	LED	1		3500	82	18000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		135 VA	Yes	277 V	1	
PT1	PEDESTRIAN POST TOP	LSI	OPULENCE SMALL	APPROVED EQUALS ONLY		POST TOP			TYPE 5	LED	1		3000	82	8000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		55 VA	Yes	277 V		
PT2	PEDESTRIAN POST TOP	LSI	OPULENCE SMALL	APPROVED EQUALS ONLY		POST TOP			TYPE 4 HOUSE SIDE SHIELD	LED	1		3000	82	8000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		55 VA	Yes	277 V		

ELECTRIC LUMINAIRE POLE SCHEDULE

ALL FIELDS LEFT BLANK IN THE SCHEDULE BELOW ARE TBD BY POLE MANUFACTURER. MANUFACTURER IS RESPONSIBLE FOR PERFORMING CALCULATIONS AND FURNISHING A POLE THAT MEETS EPA REQUIREMENTS FOR THE PROJECT LOCATION AND THE SELECTED POLE MOUNTED LUMINAIRES. REFER TO SITE LIGHTING PLAN FOR OTHER ITEMS THAT MAY BE INSTALLED ON POLE, SUCH AS SECURITY EQUIPMENT, AND ACCOUNT FOR THIS IN THE CALCULATIONS.

TYPE	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL	SIZE	GAUGE	HEIGHT	EPA	MOUNTING	OPTIONS	FINISH	COMMENTS
P1	PARKING POLE	LSI		STEEL	4"	11	14'- 0"		SINGLE		MATCH FINISH OF LUMINAIRE	
P2	ROADWAY POLE	LSI		ALUMINUM	4"	11	18'- 0"		SINGLE		MATCH FINISH OF LUMINAIRE	FLUSH CONCRETE BASE
P3	PEDESTRIAN ROUND POLE	LSI		ALUMINUM	4"	0	10'- 0"		POST TOP		MATCH FINISH OF LUMINAIRE	FLUSH CONCRETE BASE

	Catalog #: _____	Project : _____	Type: _____												
	Prepared By : _____	_____	Date: _____												
	_____	_____	_____												
<h1>Opulence Small Post Top (OPS)</h1> <h2>Outdoor Decorative Post Top</h2> <div>       </div>															
<div>  </div>															
<table border="1"> <thead> <tr> <th colspan="2">OVERVIEW</th></tr> </thead> <tbody> <tr> <td>Lumen Package (lm)</td><td>3,000 - 14,000</td></tr> <tr> <td>Wattage Range (W)</td><td>20 - 100</td></tr> <tr> <td>Efficacy Range (LPW)</td><td>120 - 155</td></tr> <tr> <td>Weight lbs (kg)</td><td>25 (11.3)</td></tr> <tr> <td>Control Options</td><td>IMSBT, ALBCS, 2-Pin</td></tr> </tbody> </table>				OVERVIEW		Lumen Package (lm)	3,000 - 14,000	Wattage Range (W)	20 - 100	Efficacy Range (LPW)	120 - 155	Weight lbs (kg)	25 (11.3)	Control Options	IMSBT, ALBCS, 2-Pin
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Control Options	IMSBT, ALBCS, 2-Pin														
<h3>QUICK LINKS</h3> <div> Ordering Guide Performance Photometrics Dimensions </div>															
<h3>FEATURES & SPECIFICATIONS</h3> <div> <div> <h4>Construction</h4> <ul style="list-style-type: none"> Rugged die-cast aluminum housing. Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory. </div> <div> <h4>Optical System</h4> <ul style="list-style-type: none"> High density LED optical system delivers industry leading optical performance and visual comfort. 7 distribution types 3W, 4F, 5Q, 5C, 5R, 5D & AD Diffused lens version provides maximum visual comfort with reduced brightness and LED pixelization Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78-377. Also available in Phosphor Converted Amber with Peak intensity at 610nm. Minimum CRI of 80 External Shield available for field installation (see accessory order information and dimensions for details). </div> <div> <h4>Electrical</h4> <ul style="list-style-type: none"> High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection (6kV surge standard). 0-10V dimming driver (optional extended leads). </div> <div> <ul style="list-style-type: none"> Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC). Total harmonic distortion (THD): <20% Operating temperature: -40°C to +40°C (-40°F to +104°F). Power factor (PF): >90 Input power stays constant over life. Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2). Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed. </div> </div>															
<div> <div> <h4>Installation</h4> <ul style="list-style-type: none"> Designed to mount directly to a 2 3/8" - 3" outer diameter tenon (4" tall). Optional flush mount accessory slips inside the top of a 4" round pole for a virtually seamless transition from pole to luminaire. </div> <div> <h4>Warranty</h4> <ul style="list-style-type: none"> LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsiincorp.com/resources/terms-conditions-warranty/ for more information. </div> <div> <h4>Listings</h4> <ul style="list-style-type: none"> Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. IDA compliant; with 3000K and warmer color temperature selection. Title 24 Compliant; see local ordinance for qualification information. Suitable for wet locations. IP66 rated Luminaire per IEC 60598-1. 3G rated for ANSI C136.31 high vibration applications. DesignLights Consortium™ (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. </div> </div>															
<div> <p>LSI Industries Inc. 10000 Alliance Road, Cincinnati, OH 45242 • (513) 372-3200 • www.lsiincorp.com</p> <p>©2023 LSI Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.</p> </div>															
			Page 1/12 Rev. 06/25/24 SPEC-1096-K-00523												

KEYED NOTES:

1. PROVIDE 1" MINIMUM SCHEDULE 40 ELECTRICAL PVC CONDUIT. BACKFILL WITH EXCAVATED OR BORROWED MATERIAL. MATERIAL SHALL BE FREE OF ROCKS 1" DIAMETER AND LARGER. COMPACT TO 90% IN MAX 8" LIFTS OF LOOSE SOIL.
2. PROVIDE 3000# CONCRETE BASE (CLASS A FORMED SURFACE WHERE EXPOSED).
3. GROUND LUG IN BASE BOLTED TO BASE PLATE WITH MIN. #6 AWG SOLID COPPER CONDUCTOR.
4. BASE COVER OVER GALVANIZED STEEL WASHERS, NUTS & LOCKNUTS.
5. GROUND CLAMP, IRREVERSIBLE SPLICE.
6. 1/2" SCHEDULE 40 ELECTRICAL PVC FOR GROUND WIRE.
7. PROVIDE MINIMUM OF FOUR ANCHOR BOLTS, GALVANIZED STEEL.
8. PROVIDE #4 TIE LOOPS AT 3' FROM TOP AND BOTTOM AND +/- 12" C/C BETWEEN LOOPS.
9. #6 AWG VERTICAL REBARS - 1" FROM VERTICAL BARS TO THE LOOPS.
10. FOR BASES FLUSH WITH PAVEMENT, DO NOT PROVIDE CHAMFER. SEAL THE PERIMETER OF THE BASE TOP INSTEAD.
11. PROVIDE 24" MINIMUM RADIUS, EXTEND 3/4" MAXIMUM ABOVE FOUNDATION WITH NUMBER OF CONDUITS AS NEEDED, 1" MIN.
12. PROVIDE DIAMETER BOLT CIRCLE PER LUMINAIRE MANUFACTURER.
13. "X" AND "Y" DIMENSIONS ARE MINIMUM LENGTHS FROM THIS LINE WHERE GRADE OR PAVEMENT IS SLOPED. "Y" IS FROM THE LOW SIDE OF THE SLOPE AND "X" IS FROM THE HIGH SIDE OF THE SLOPE.
14. PROVIDE ROUND CONCRETE BASE.
15. PROVIDE REBAR CAGE.
16. PROVIDE 5/8" x 10' GROUND ROD.

SECTION VIEW

PLAN VIEW

POLE BASE DIMENSIONS			
POLE TYPE	"X"	"Y"	"Z"
P1	18"	BELOW	24"
P2	0.0"	BELOW	24"
P3	0.0"	BELOW	14"

POLE HEIGHT	"Y" VALUE
< 13'-0"	4'-0"
13'-0" - 20'-0"	5'-0"
21'-0" - 30'-0"	6'-0"
31'-0" - 40'-0"	8'-0"

265100-00-08 - LIGHT POLE BASE DETAIL - ROUND

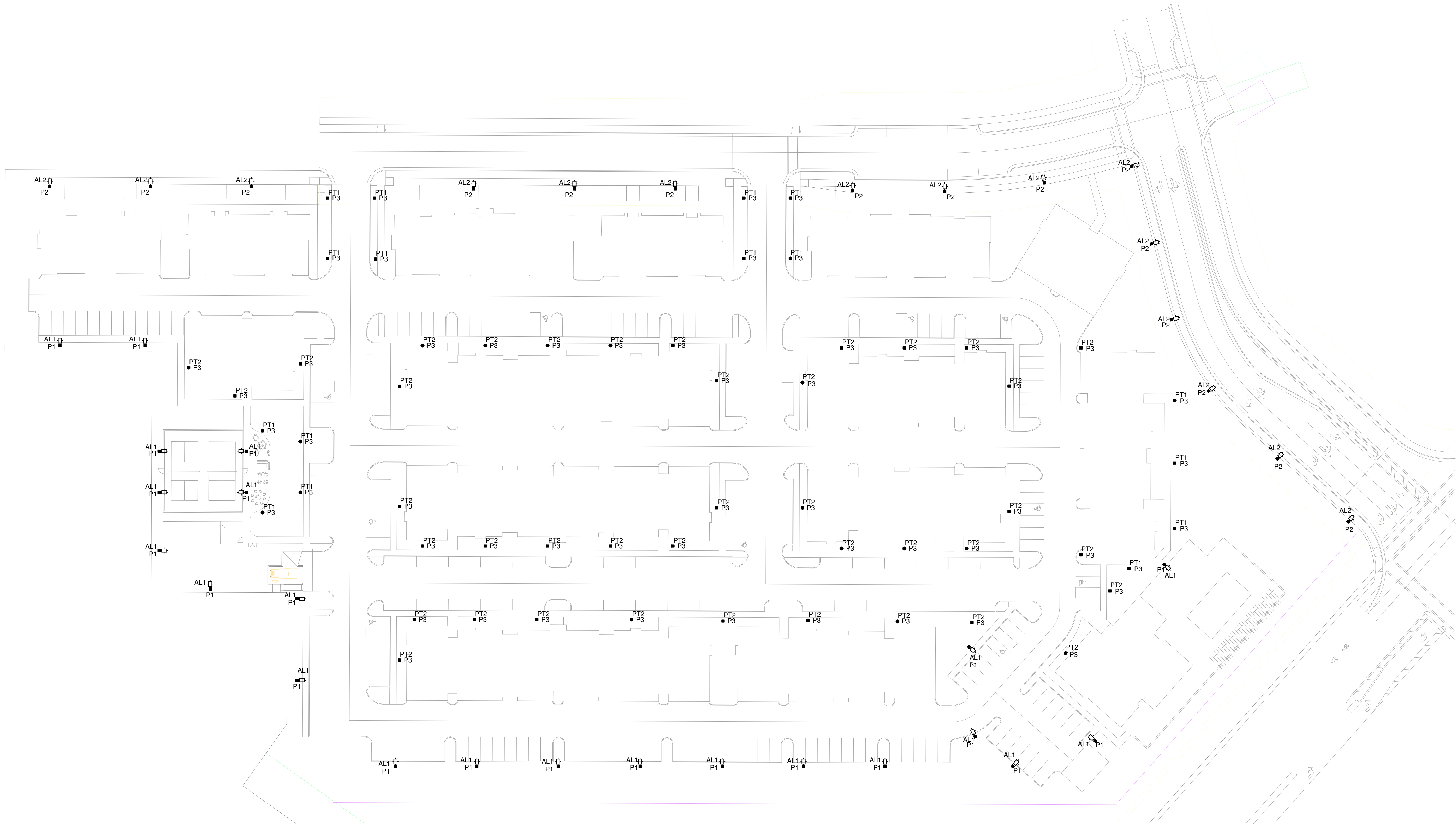
SCALE: NONE

② PEDESTRIAN POLE DETAIL
NOT TO SCALE

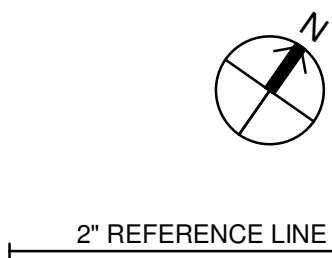
LUMINAIRE TYPE AL1 & AL2

LUMINAIRE TYPE PT1 & PT2

1 ELECTRIC SITE LIGHTING
1" = 40'-0"



ELECTRIC LEGEND	
SYMBOL	DESCRIPTION
LIGHTING AND LIGHTING CONTROLS	
	LUMINAIRE (REFER TO THE LUMINAIRE SCHEDULE) NOTE THAT OTHER SHAPES MAY ALSO BE USED TO REPRESENT LUMINAIRES
	SHADED LUMINAIRES DENOTE THOSE CONNECTED TO EMERGENCY OR STANDBY POWER AS APPLICABLE (UNSWITCHED LUMINAIRES ARE EGRESS LIGHTS AND/OR NIGHT-LIGHTS THAT OPERATE 24/7)
	OUTDOOR AREA SITE LIGHTING STANDARD NUMBER OF LUMINAIRE HEADS AS INDICATED ON DRAWINGS.
PLAN-VIEW AND GRAPHIC LINE TYPES	
WORK SHOWN BOLD-CONTINUOUS INDICATES NEW WORK (UNLESS OTHERWISE INDICATED)	



KLH ENGINEERS
1538 ALEXANDRIA PIKE, SUITE 11
FT. THOMAS, KENTUCKY 41075
800-354-9783 859-442-8650
859-442-8058 FAX
WWW.KLHENGRS.COM

EASTON FARM APARTMENTS
SITE LIGHTING PHOTOMETRICS
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP, WARREN CO., OH.

bayer becker
www.bayerbecker.com
1404 Race Street, Suite 204
Cincinnati, OH 45202 - 513.834.6151

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Drawn by:	MKM
Checked By:	SNF
Issue Date:	02-19-25
Sheet:	E4-102

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ELECTRIC SITE LIGHTING PLAN

OWNERSHIP OF INSTRUMENTS OF SERVICE
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1 ELECTRIC SITE LIGHTING
1" = 40'-0"

FOOT CANDLE RESULTS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE BASED ON SITE PLAN CONDITIONS

Name	Avg (fc)	Max (fc)	Min (fc)
Overall Site	3.1	20.8	0.0
Property Line	0.0	1.6	0.0

GENERAL PHOTOMETRIC PLAN NOTES

- A. **PHOTOMETRIC REPORT:** THIS PHOTOMETRIC REPORT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA (IES FILES). THIS LABORATORY DATA IS TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY SOMEWHAT DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- B. **ILLUMINATION LEVELS:** THE ILLUMINATION LEVELS SHOWN, MEASURED IN FOOT CANDLES, ARE BASED ON THE SPECIFIED CRITERIA. ANY SUBSTITUTIONS/DEVIATIONS IN LUMINAIRES OR MOUNTING HEIGHTS, OR ALTERATIONS TO THE LAYOUT, WILL AFFECT ILLUMINATION LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF KLH ENGINEERS.
- C. **ADJUSTMENTS:** PROVIDE FINAL ADJUSTMENTS TO AIMING ANGLE(S) OF LUMINAIRES IF OR AS REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES AND/OR ROADWAYS.
- D. **LUMINAIRE SCHEDULE:** REFER TO LUMINAIRE SCHEDULE FOR LUMINAIRE AND POLE INFORMATION. THE LUMINAIRE SCHEDULE INCLUDED ON THIS SHEET IS FOR PHOTOMETRIC REVIEW REFERENCE ONLY.
- E. **ADJACENT CONTRIBUTIONS:** CONTRIBUTIONS FROM ADJACENT STREET LIGHTING, ADJACENT PROPERTIES, AND BUILDINGS OR POLE MOUNTED LUMINAIRES NOT WITHIN THIS PROJECT SCOPE ARE NOT REFLECTED IN THIS PHOTOMETRIC REPORT.
- F. **CRITERIA:** FOOTCANDLE LEVELS SHOWN ARE MAINTAINED AND CALCULATED AT GRADE BASED ON SPECIFIED MOUNTING HEIGHT FOR POLE-MOUNTED FIXTURES.

NOT FOR
CONSTRUCTION



EASTON FARM APARTMENTS
SITE LIGHTING PHOTOMETRICS
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP, WARREN CO., OH.



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Checked By: SNF
Issue Date: 02-19-25

Sheet:
E4-201

ELECTRIC SITE LIGHTING PHOTOMETRICS

Date: February 18, 2025
Description: Lot 2
Easton Farm, Section One
Location: City of Springboro
Warren County, Ohio



Situated in Section 14, Town 2, Range 5, Between the Miamis, The City of Springboro, Clearcreek Township, Warren County, Ohio and being all of Lot 2 of Easton Farm Section One and further described as follows:

Beginning at the southeast corner of said Lot 2 and being on the west right of way of Main Street (S.R. #741) and the north line of Colleen Bossi Co. LLC as recorded in Official Record 4197, Page 186 and being the **True Point of Beginning**;

thence, from the True Point of Beginning, departing said Main Street (S.R. #741) and with said Colleen Bossi Co. LLC, South 89° 14' 37" West, 528.57 feet;

thence, departing said Colleen Bossi Co. LLC, North 00° 45' 23" West, 56.49 feet;

thence, North 36° 04' 06" West, 98.48 feet;

thence, South 53° 55' 54" West, 101.61 feet;

thence, North 36° 04' 06" West, 180.00 feet;

thence, South 53° 55' 54" West, 110.00 feet;

thence, North 36° 04' 06" West, 125.00 feet;

thence, North 53° 55' 54" East, 235.00 feet to the east right of way of Noel Drive and being on its south terminus;

thence, with the east right of way of said Noel Drive for the following five courses:

- 1) North 53° 55' 54" East, 360.50 feet;
- 2) North 61° 07' 58" East, 39.89 feet;
- 3) North 53° 55' 54" East, 66.47 feet;
- 4) with a curve to the left, having a central angle of 14° 38' 51", a radius of 430.00 feet, an arc length of 109.93 feet, and a chord bearing North 46° 36' 28" East, 109.63 feet;
- 5) North 39° 17' 02" East, 33.19 feet;

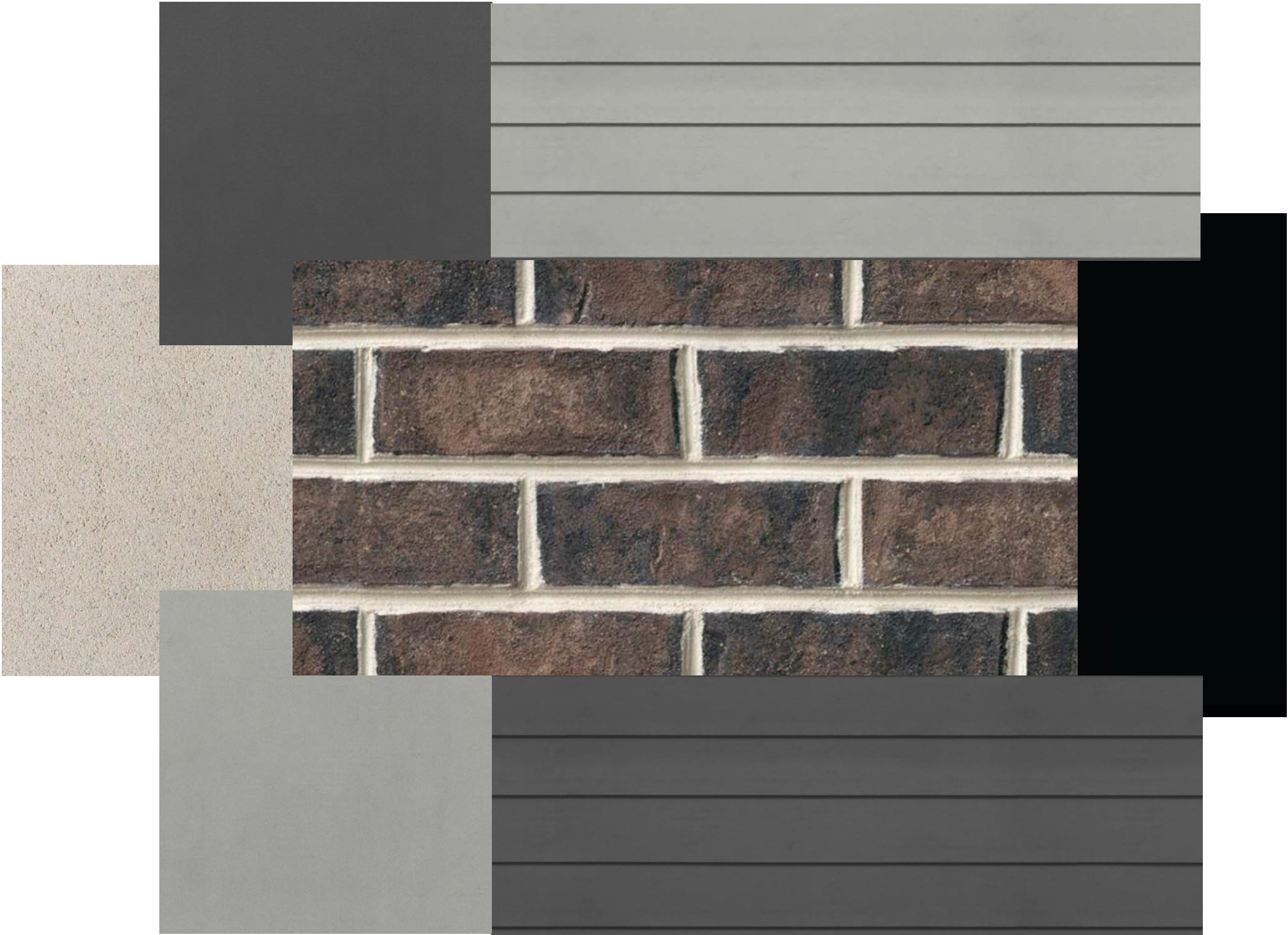
thence, departing the east right of way of said Noel Drive, with a curve to the right, having a central angle of 19° 51' 14", a radius of 13.25 feet, an arc length of 4.59 feet, and a chord bearing South 60° 38' 35" East, 4.57 feet to the south right of way of Easton Farm Boulevard;

thence, with the south right of way of said Easton Farm Boulevard for the following three courses:

- 1) South 50° 42' 58" East, 101.83 feet;
- 2) with a curve to the left, having a central angle of 33° 53' 51", a radius of 189.25 feet, an arc length of 111.97 feet, and a chord bearing South 67° 39' 54" East, 110.34 feet;
- 3) South 84° 36' 50" East, 109.26 feet;

thence, departing the south right of way of said Easton Farm Boulevard, with a curve to the right, having a central angle of 51° 22' 34", a radius of 42.75 feet, an arc length of 38.33 feet, and a chord bearing South 58° 55' 33" East, 37.06 feet to the west right of way of said Main Street (S.R. #741);

thence, with said Main Street (S.R. #741), South 05° 20' 13" West, 625.74 feet to the **True Point of Beginning** containing 10.9135 acres of land, more or less.



COLOR SCHEME 1

Fiber Cement Panel & Trim:
Peppercorn by Allura

Fiber Cement Lap Siding:
Gray Clouds by Allura

Cast Stone Lintels and Watertables:
Reisling by RockCast

Brick:
Bourbon Trail by General Shale

Windows:
Black Vinyl

Guard Rails, Gutters & Downspouts:
Black Aluminum

COLOR SCHEME 2

Fiber Cement Panel & Trim:
Gray Clouds by Allura

Fiber Cement Lap Siding:
Peppercorn by Allura

Cast Stone Lintels and Watertables:
Reisling by RockCast

Brick:
Bourbon Trail by General Shale

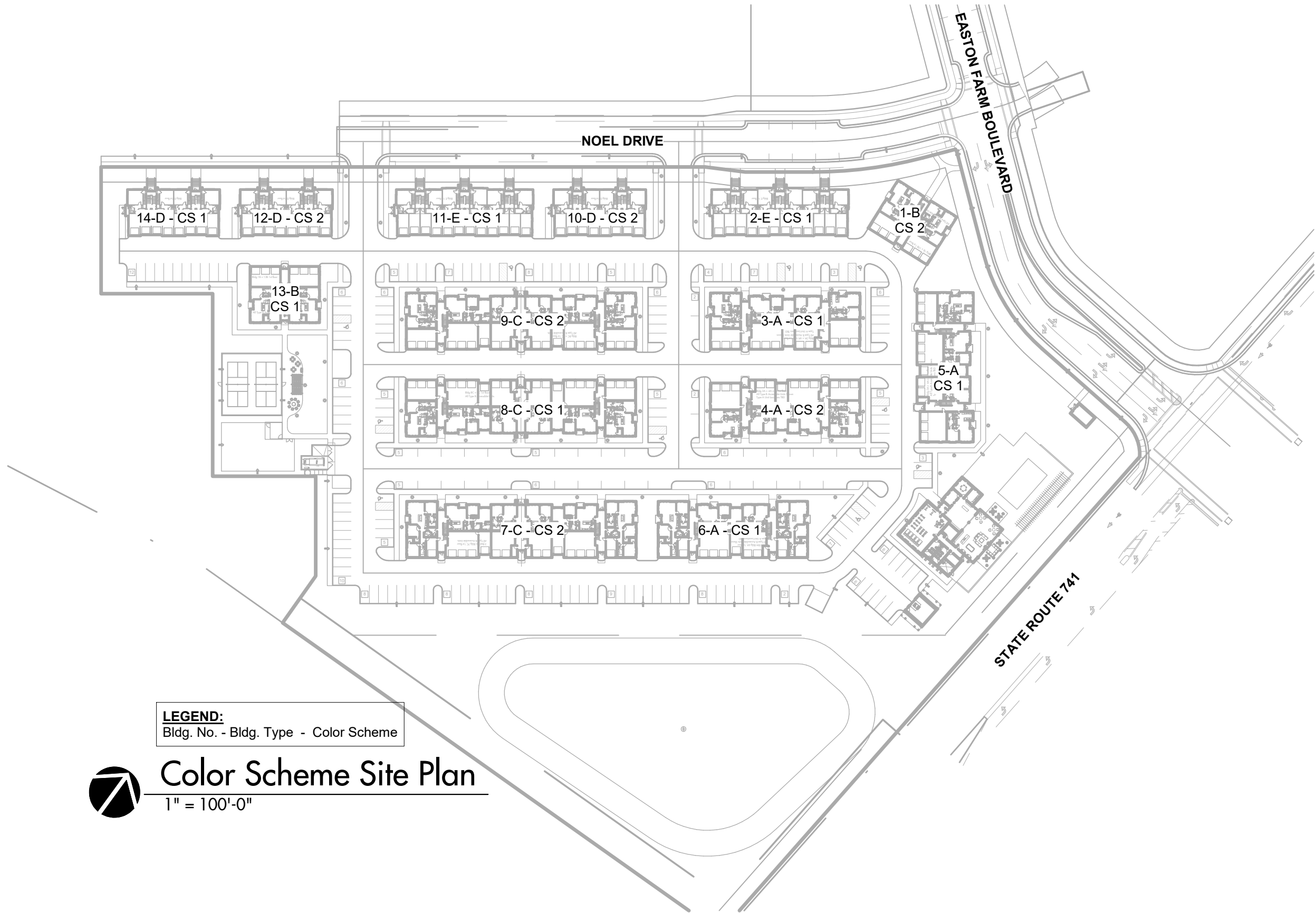
Windows:
Black Vinyl

Guard Rails, Gutters & Downspouts:
Black Aluminum



Easton Farm Apartments
Springboro, Ohio
2025-02-19

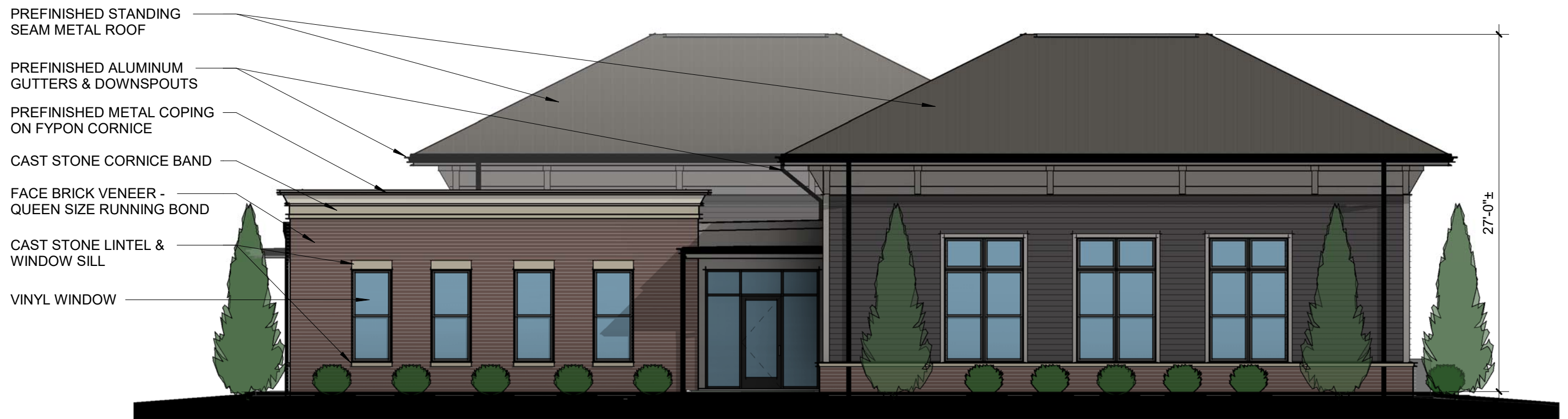




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Springboro, Ohio
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Clubhouse Front Elevation
 $1/8" = 1'-0"$

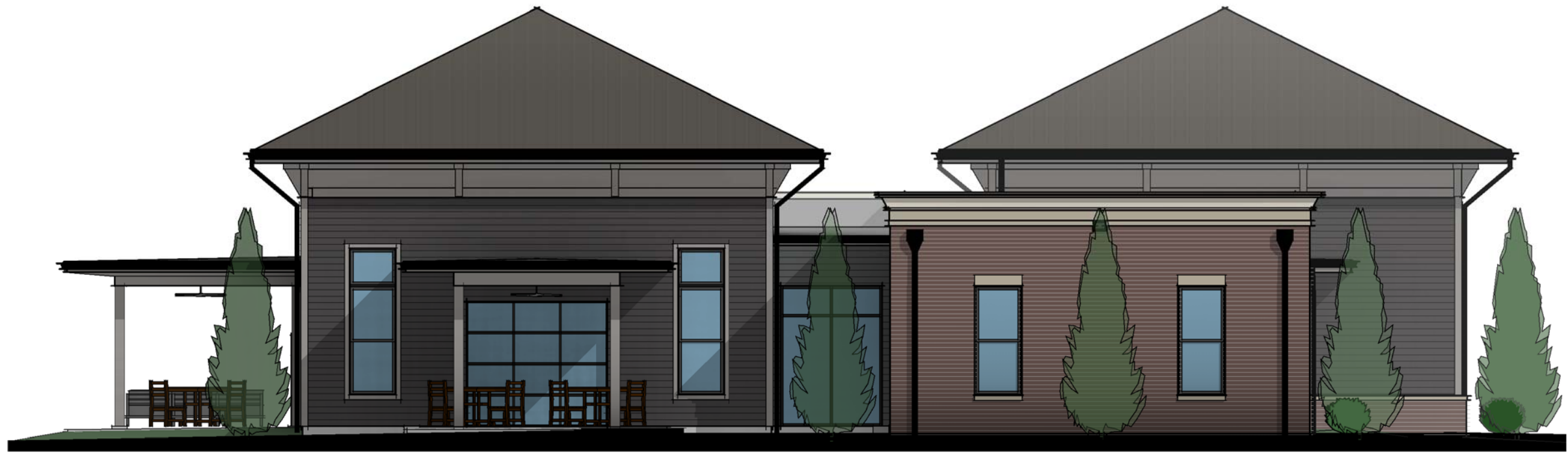


Clubhouse Rear Elevation
 $1/8" = 1'-0"$



Easton Farm Apartments
 Springboro, Ohio
 2025-02-19



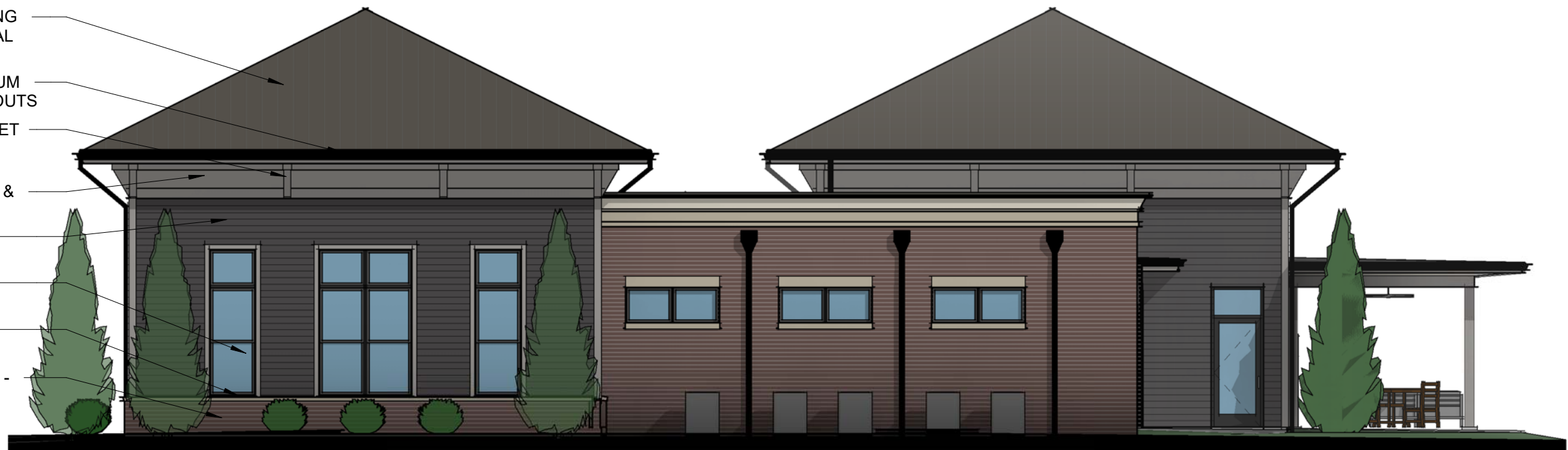


Clubhouse Right Side Elevation

1/8" = 1'-0"

- PREFINISHED STANDING SEAM METAL ROOF
- PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS
- FYPON FRIEZE BRACKET

- FIBER CEMENT PANEL & TRIM FRIEZE
- FIBER CEMENT LAP SIDING
- VINYL WINDOW & TRANSOM
- CAST STONE WATERTABLE
- FACE BRICK VENEER - QUEEN SIZE RUNNING BOND



Clubhouse Left Side Elevation

1/8" = 1'-0"



Easton Farm Apartments

Springboro, Ohio

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BUILDING INFO	
Building Height:	30'-0"
Gros Area:	5,370 sf



Easton Farm Apartments

Springboro, Ohio

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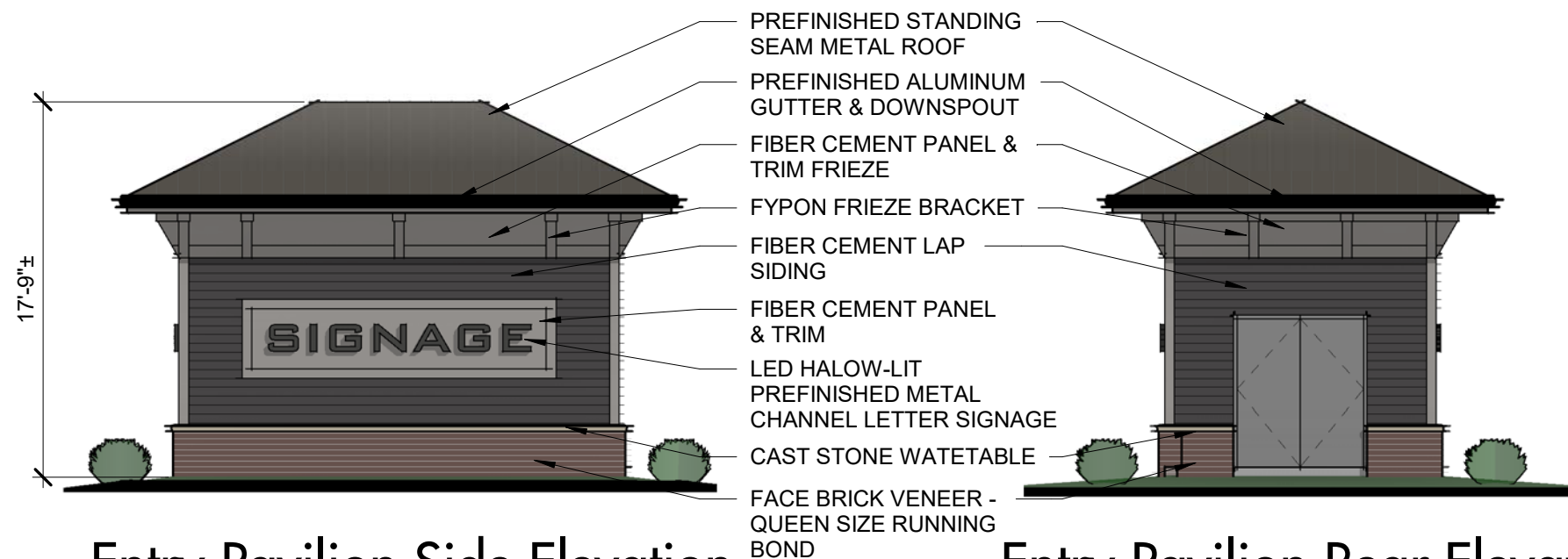
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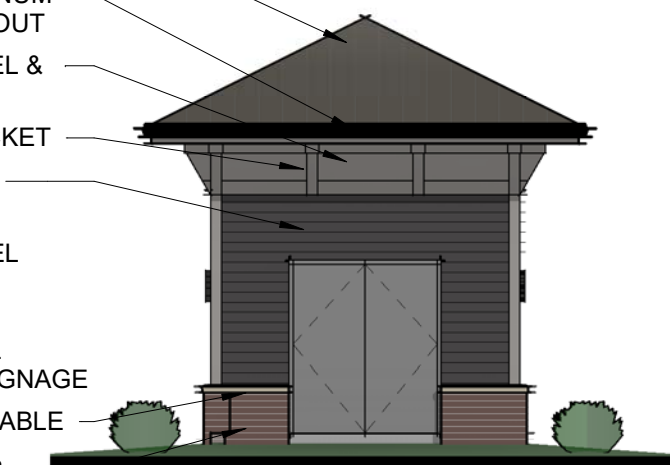
Entry Pavilion Floor Plan
1/8" = 1'-0"



Entry Pavilion Front Elevation
1/8" = 1'-0"



Entry Pavilion Side Elevation
1/8" = 1'-0"

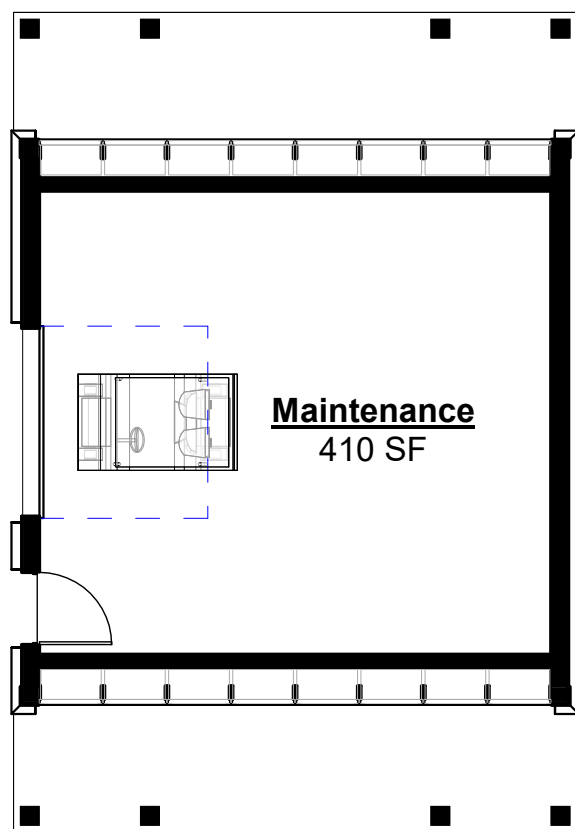


Entry Pavilion Rear Elevation
1/8" = 1'-0"

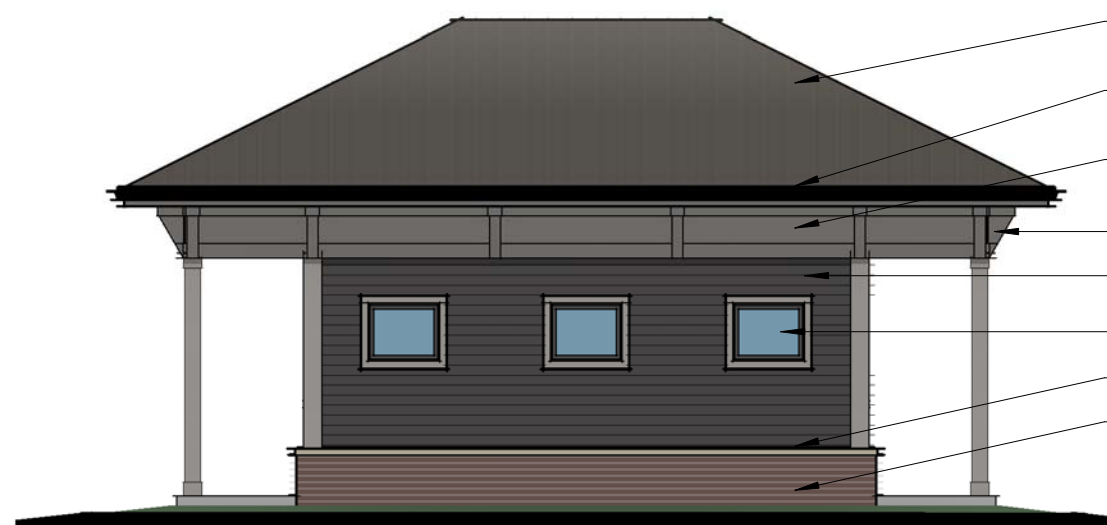


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Mail/Maint. Floor Plan
1/8" = 1'-0"



Mail/Maint. Rear Elevation
1/8" = 1'-0"

- PREFINISHED STANDING SEAM METAL ROOF
- PREFINISHED ALUMINUM GUTTER & DOWNSPOUTS
- FIBER CEMENT PANEL & TRIM FRIEZE
- FYPON FRIEZE BRACKET
- FIBER CEMENT LAP SIDING
- BLACK VINYL WINDOW
- CAST STONE WATERTABLE
- FACE BRICK VENEER - QUEEN SIZE RUNNING BOND



Mail/Maint. Front Elevation
1/8" = 1'-0"



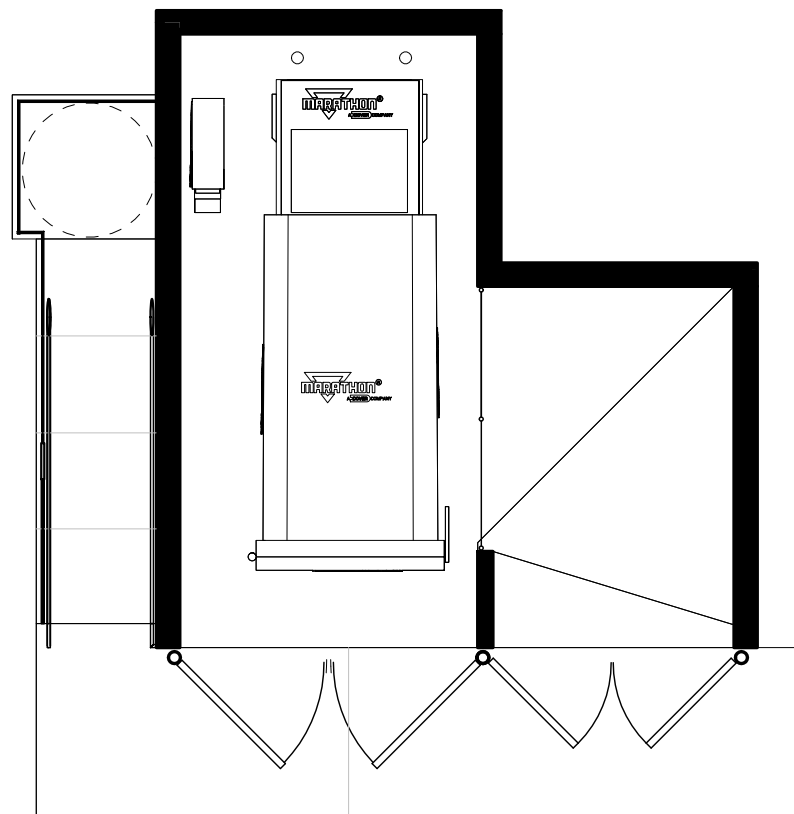
Mail/Maint. Side Elevation
1/8" = 1'-0"



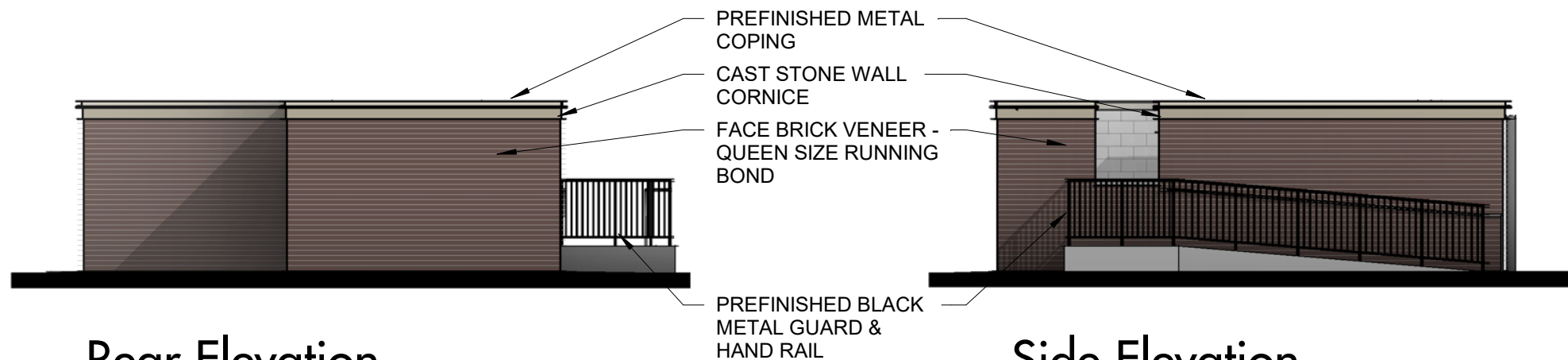
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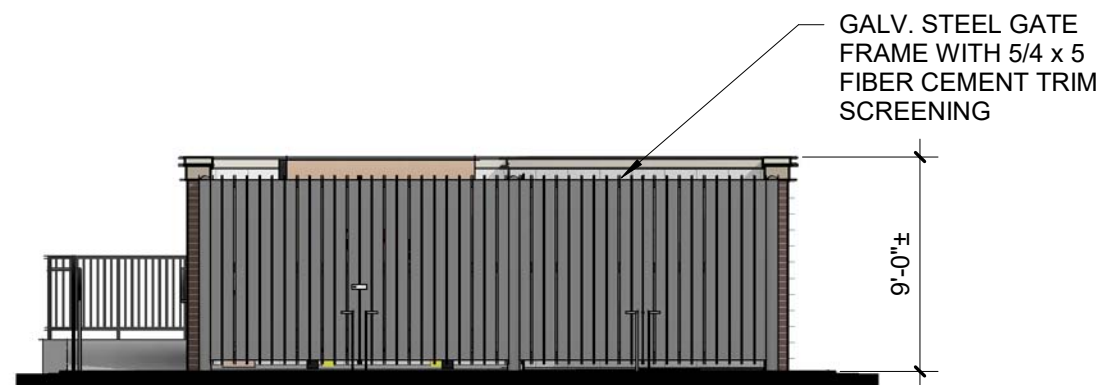


Trash Compactor Enclosure Plan
1/8" = 1'-0"



Rear Elevation
1/8" = 1'-0"

Side Elevation
1/8" = 1'-0"



Front Elevation
1/8" = 1'-0"



Side Elevation
1/8" = 1'-0"



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Building Type A



Side Elevation



Rear Elevation



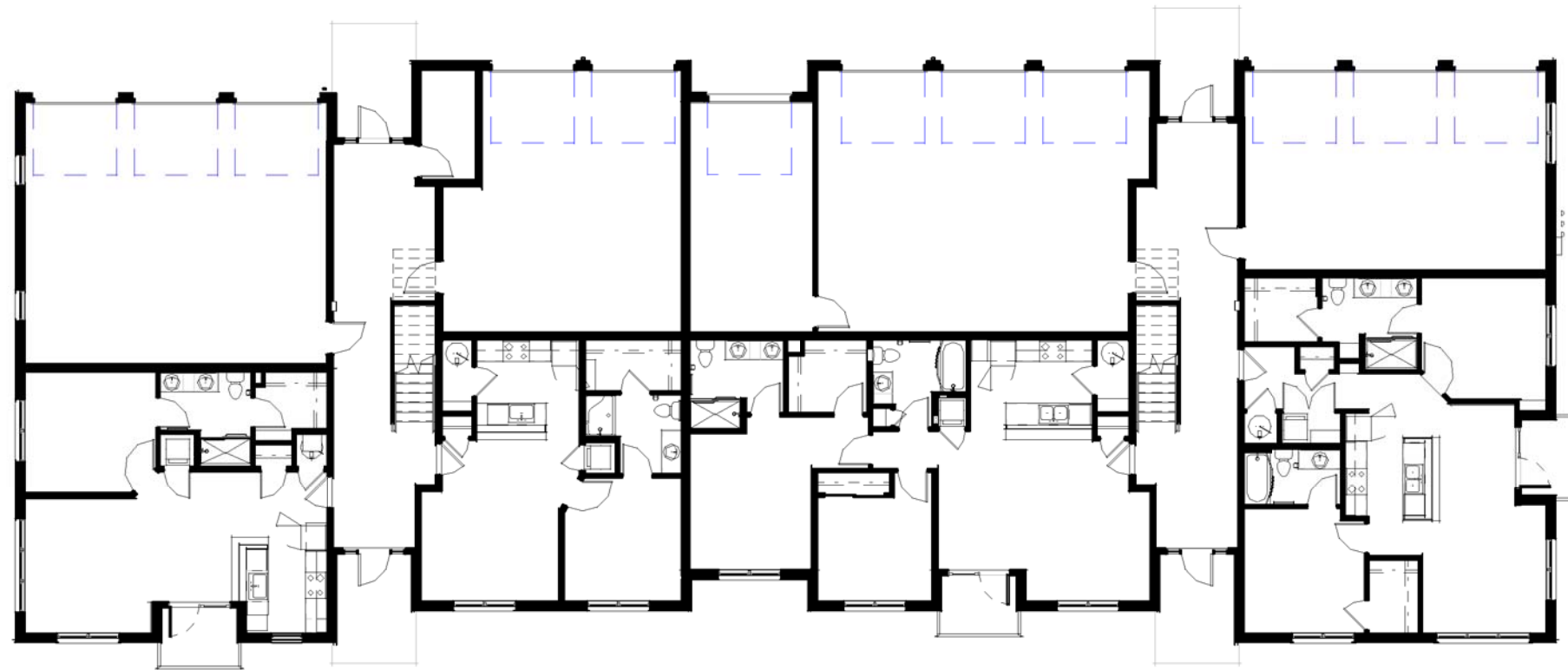
Front Elevation

NOTE: BUILDING TYPE C SIMILAR



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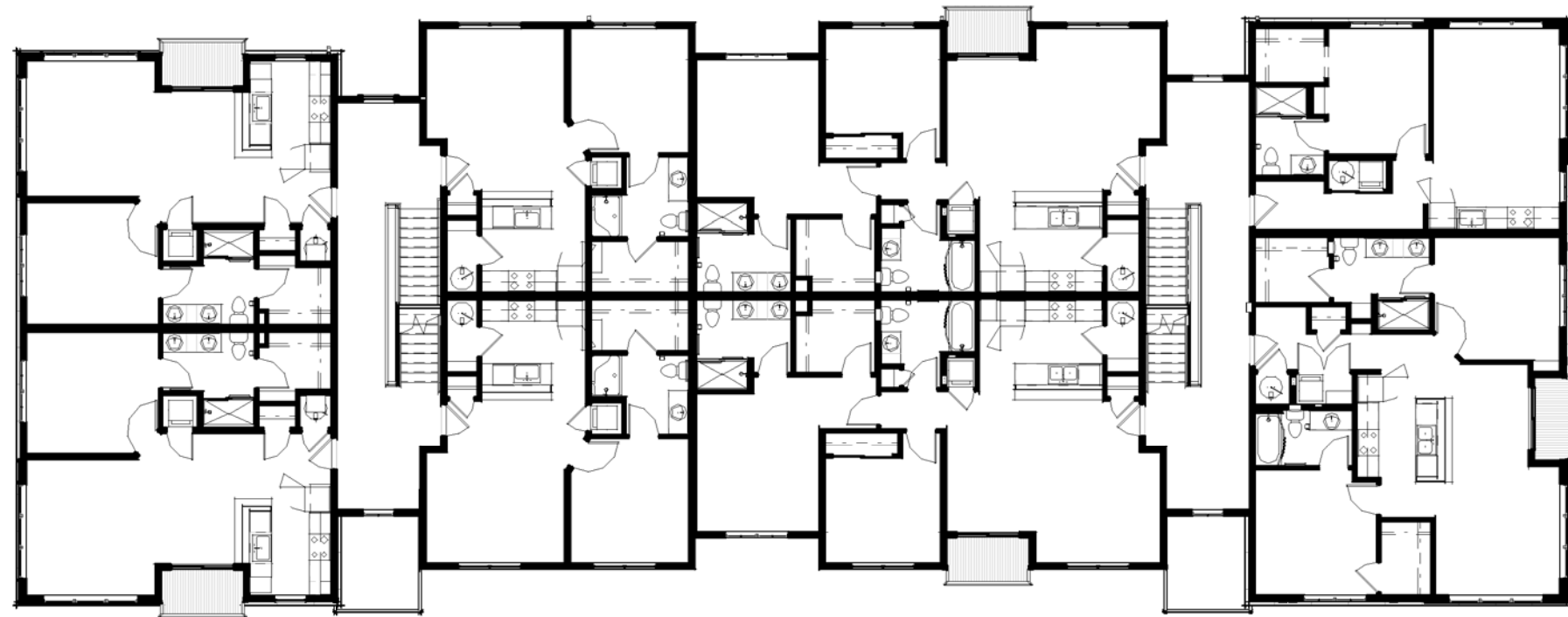


Building Type A - Floor 1 Plan
1/16" = 1'-0"



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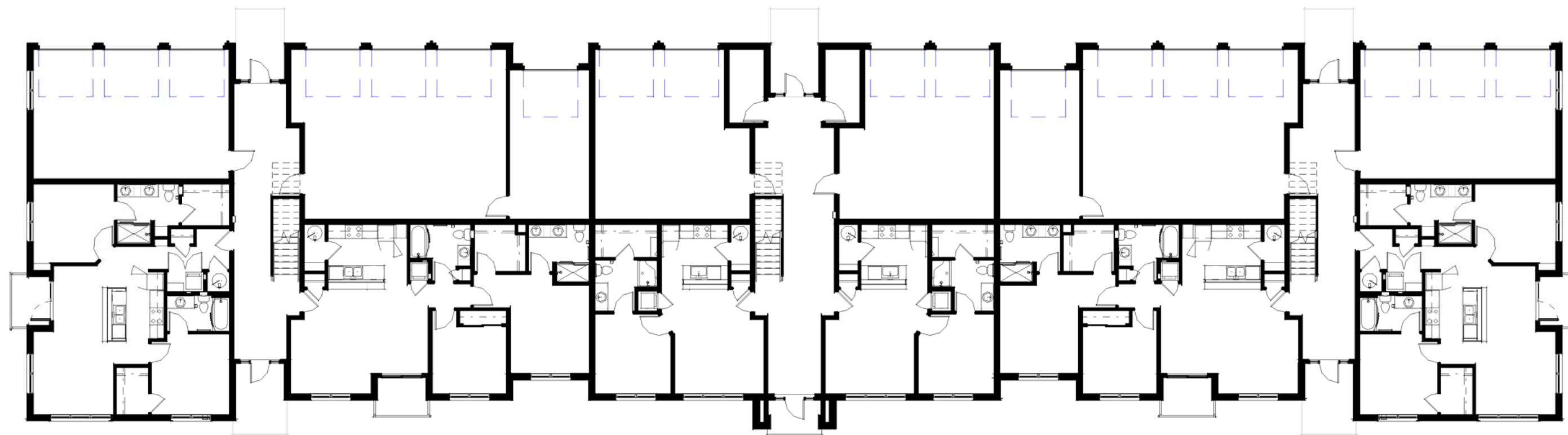
Building Type A - Floor 2 & 3 Plan
 1/16" = 1'-0"



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Building Type C - Floor 1 Plan

1/16" = 1'-0"



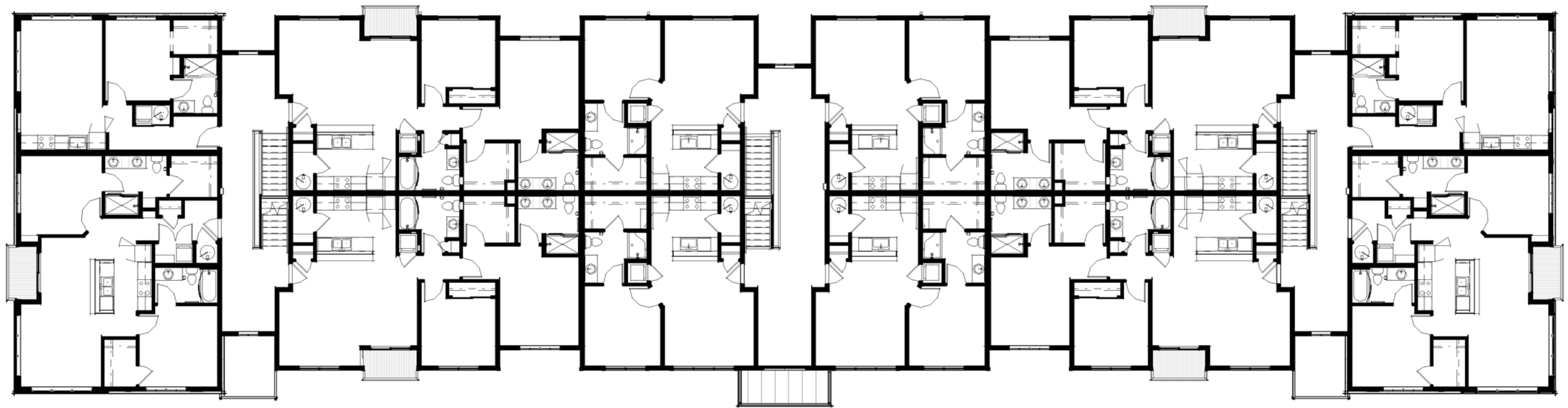
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Building Type C - Floor 2 & 3 Plan

1/16" = 1'-0"



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Building Type B



Side Elevation



Front Elevation

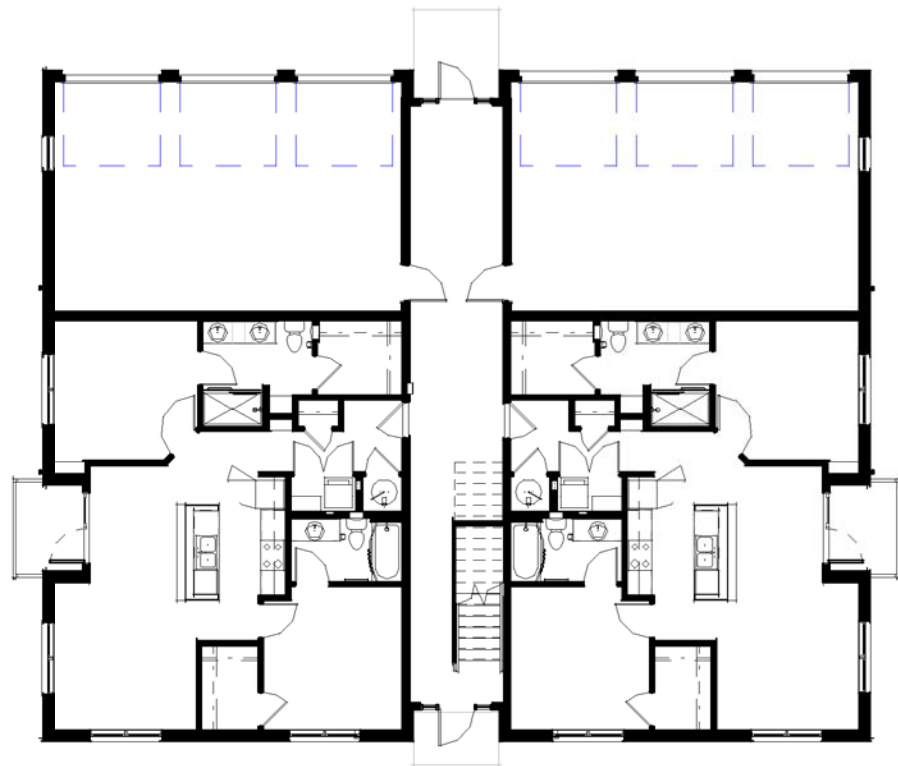


Rear Elevation



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Building Type B - Floor 1 Plan
 $\frac{1}{16"} = 1'-0"$



Building Type B - Floor 2 & 3 Plan
 $\frac{1}{16"} = 1'-0"$



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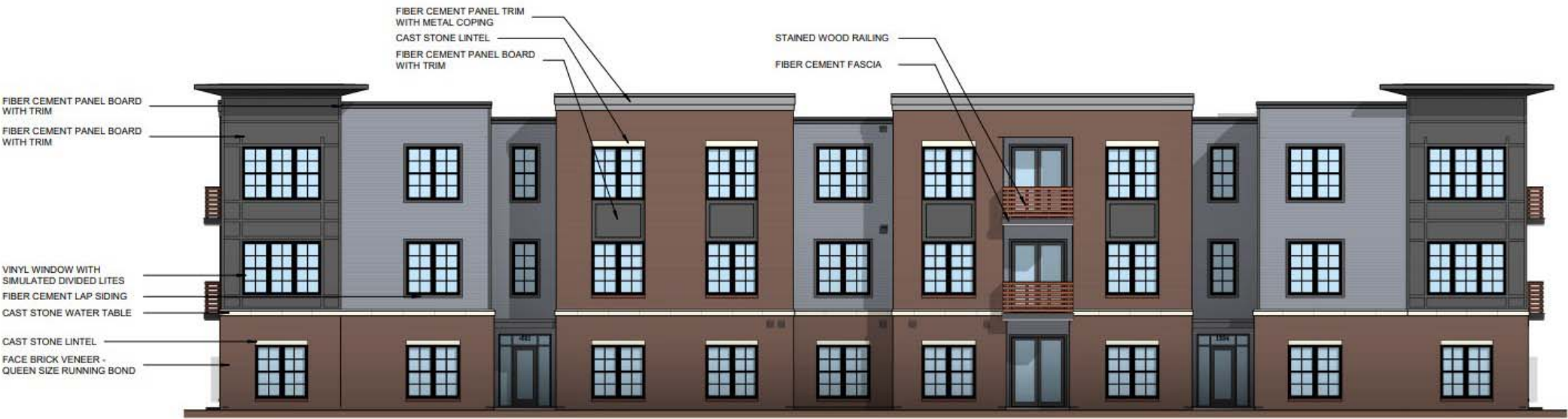
Building 6-A



Side Elevation



Rear Elevation



Front Elevation

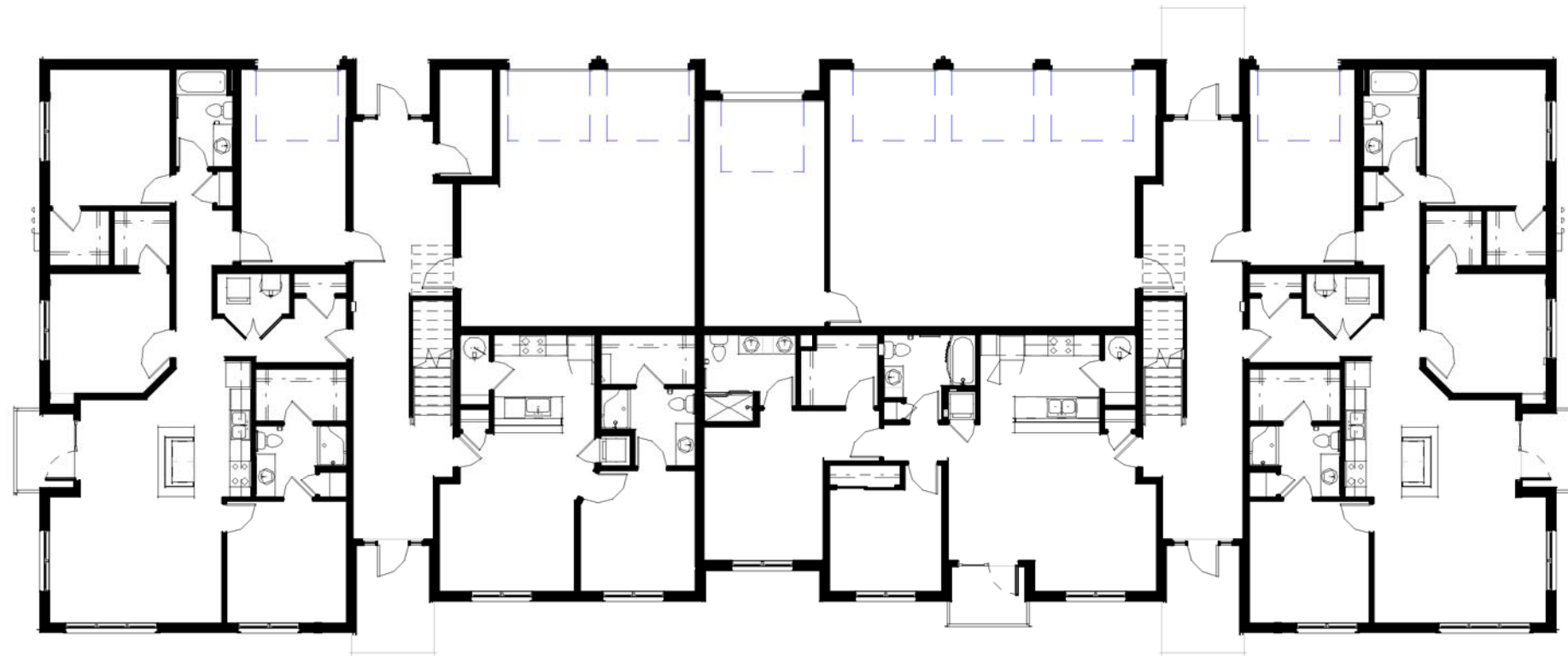
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NOTE: BUILDING 7-C SIMILAR





Building 6-A - Floor 1 Plan

1/16" = 1'-0"



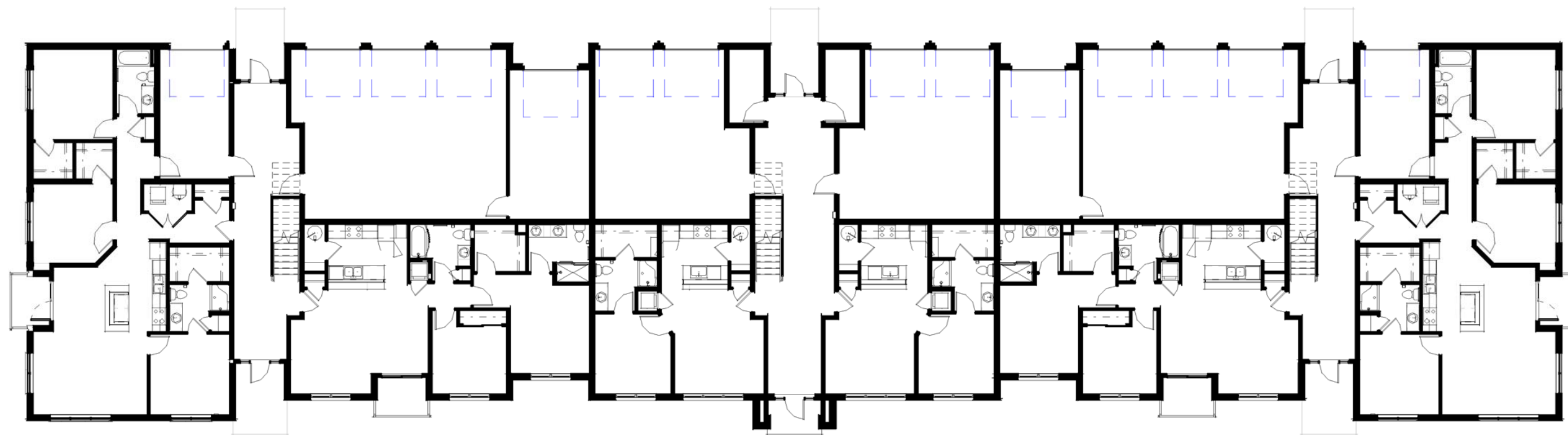
Easton Farms Apartments

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Building 7-C - Floor 1 Plan

1/16" = 1'-0"



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Building Type D - Front Elevation

1/8" = 1'-0"



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PREFINISHED METAL COPING

FIBER CEMENT LAP SIDING

PREFINISHED METAL
RAILING
FIBER CEMENT FASCIA

VINYL WINDOW WITH
SIMULATED DIVIDED LITES

CAST STONE WATER TABLE

FACE BRICK VENEER -
QUEEN SIZE RUNNING BOND



Building Type D - Rear Elevation
1/8" = 1'-0"



Easton Farm Apartments
Springboro, Ohio
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FIBER CEMENT LAP SIDING

PREFINISHED METAL
RAILING

FIBER CEMENT FASCIA

VINYL WINDOW WITH
SIMULATED DIVIDED LITES

CAST STONE WATER TABLE

FACE BRICK VENEER -
QUEEN SIZE RUNNING BOND



Building Type D Side Elevation

1/8" = 1'-0"

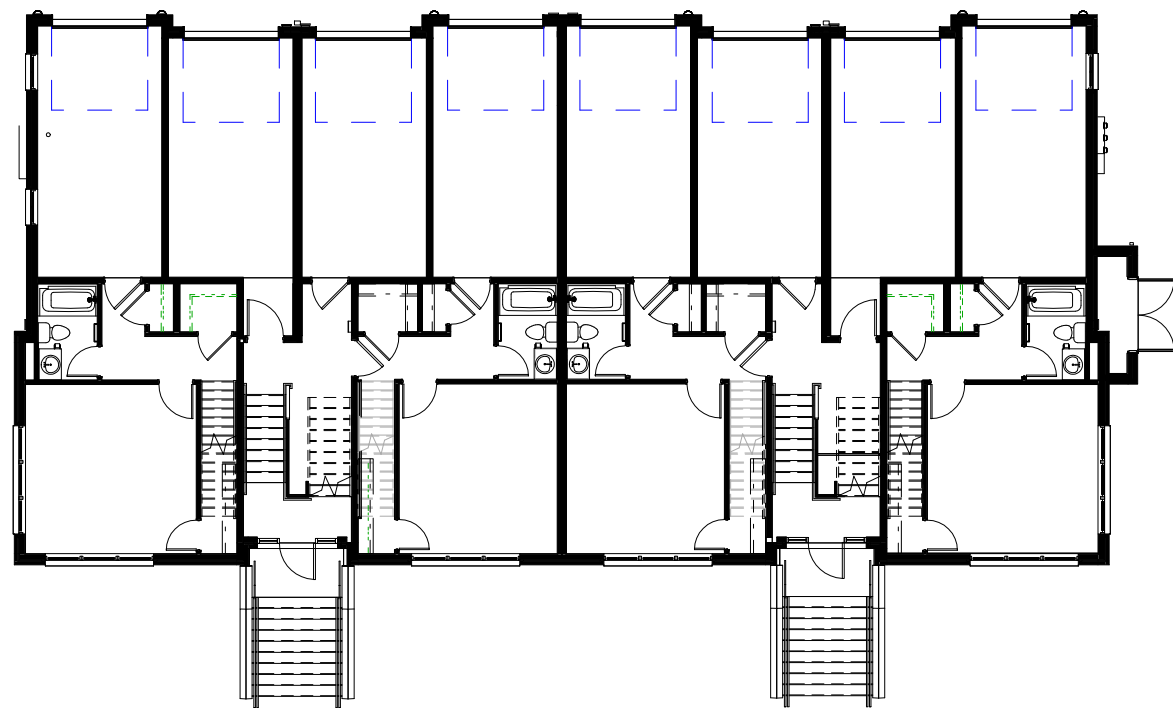


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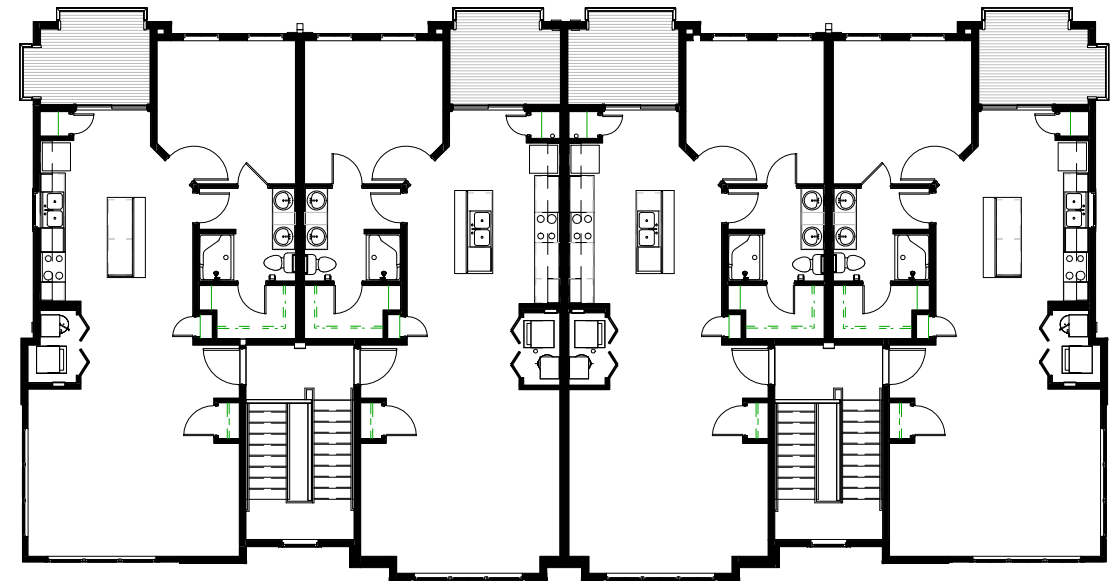
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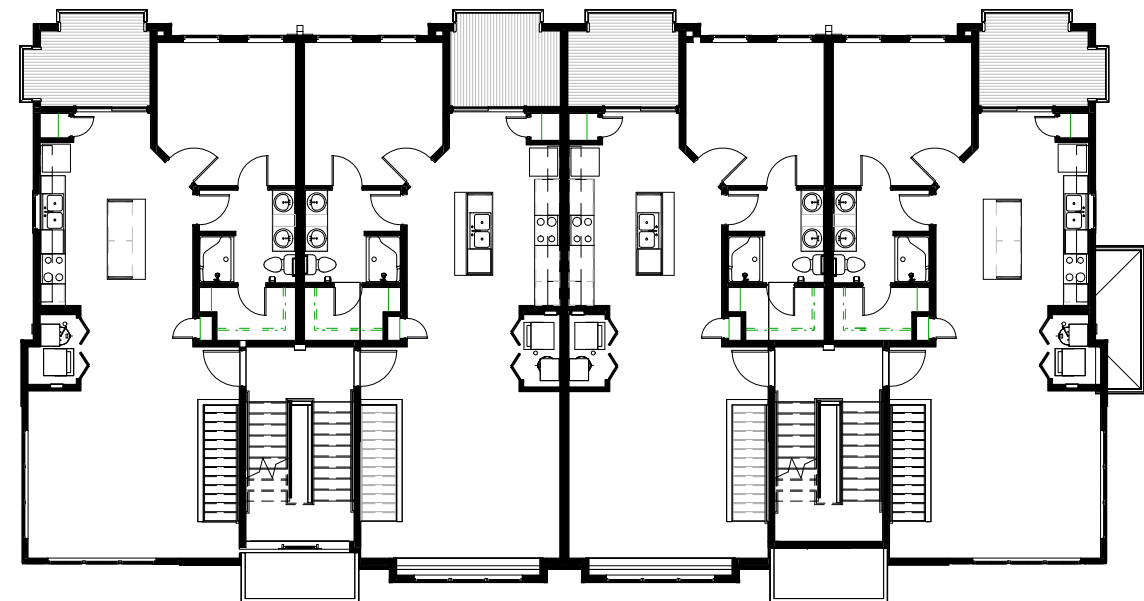




Buidling Type D - Floor 1 Plan
 1/16" = 1'-0"



Building Type D - Floor 3 Plan
 1/16" = 1'-0"



Building Type D - Floor 2 Plan
 1/16" = 1'-0"



Easton Farm Apartments

Springboro, Ohio
 2025-02-19





Building Type E - Front Elevation
 3/32" = 1'-0"



Easton Farm Apartments

Springboro, Ohio

2025-02-19





Building Type E - Rear Elevation

3/32" = 1'-0"



Easton Farm Apartments

Springboro, Ohio

2025-02-19





Building Type E - Side Elevation
 1/8" = 1'-0"

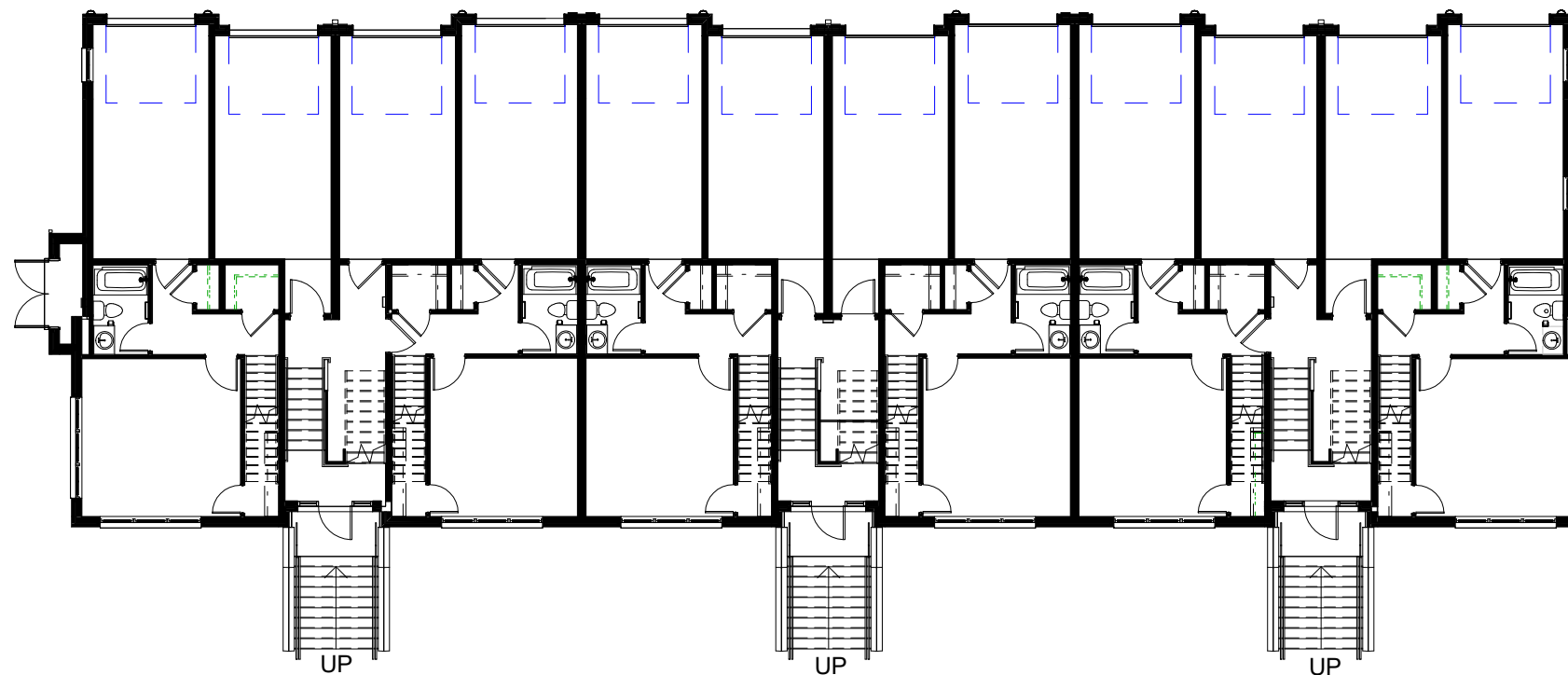


Easton Farm Apartments

Springboro, Ohio

2025-02-19





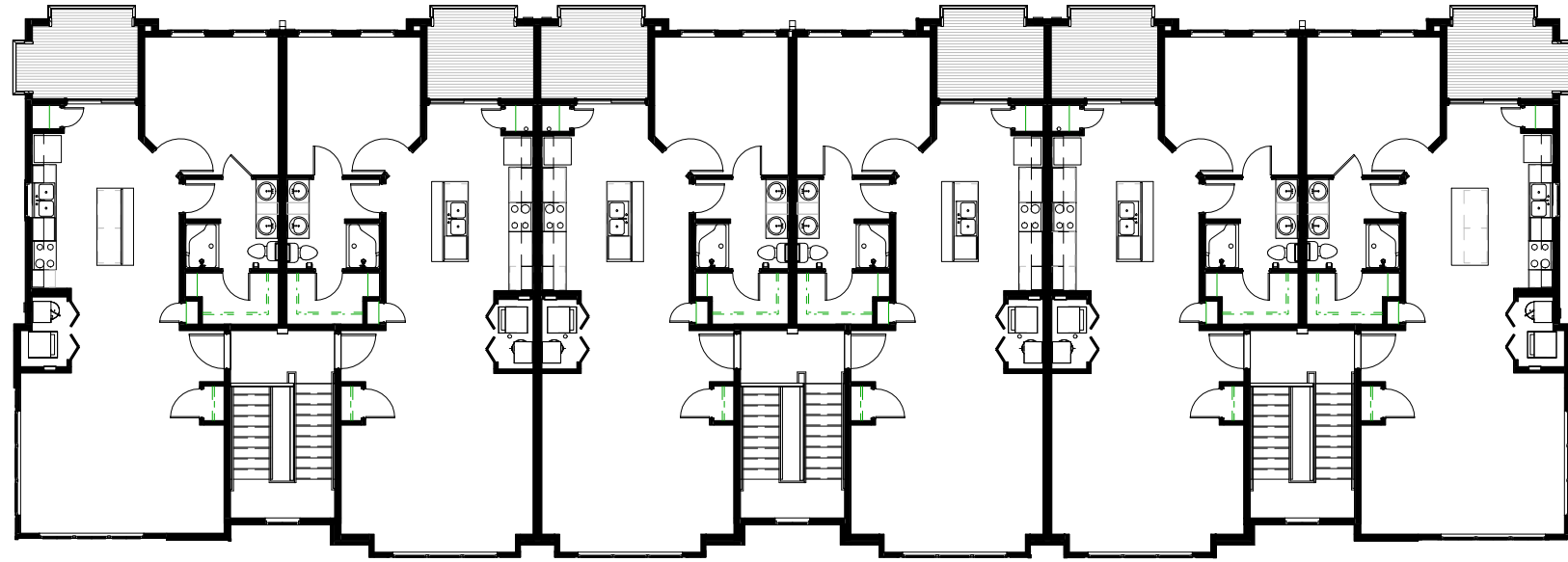
Building Type E - Floor 1 Plan
 1/16" = 1'-0"



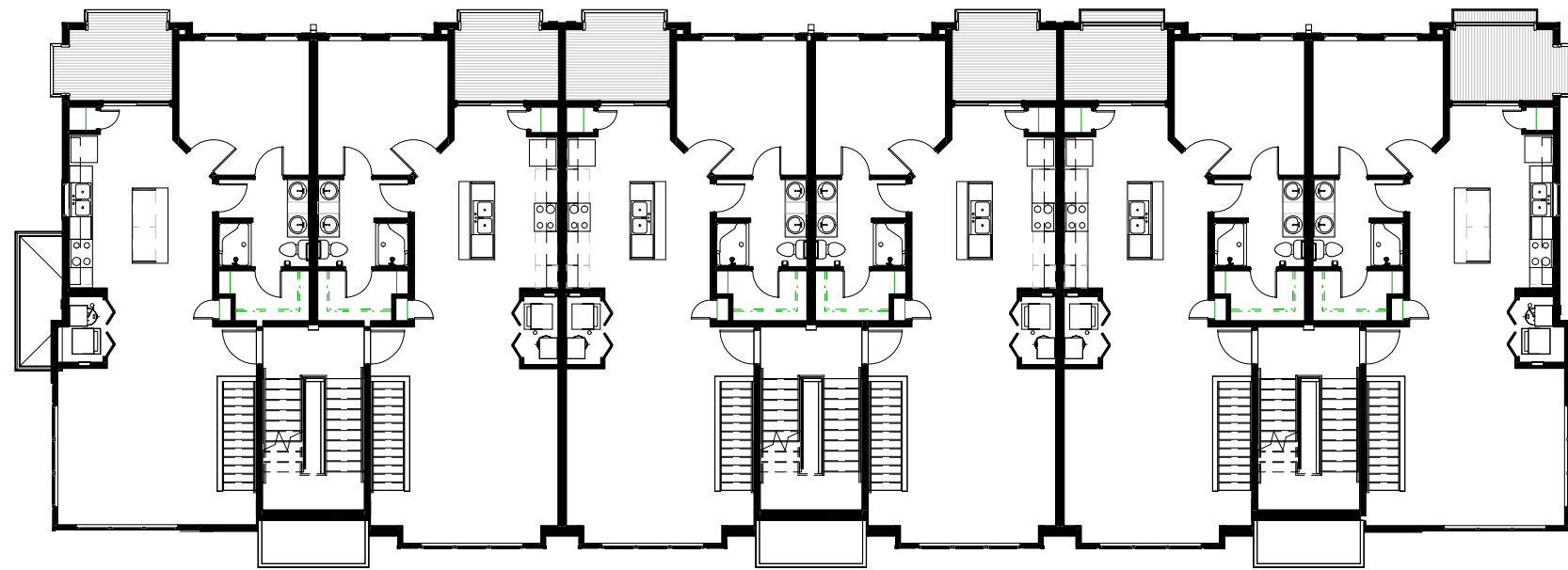
Easton Farm Apartments

Springboro, Ohio
 2025-02-19





Building Type E - Floor 3 Plan
 $1/16" = 1'-0"$



Building Type E - Floor 2 Plan
 $1/16" = 1'-0"$



Easton Farm Apartments

Springboro, Ohio
 2025-02-19





Catalog #: _____

Project: _____

Prepared By: _____

Date: _____

Mirada Small Area (MRS)

Outdoor LED Area Light

MANUFACTURED
IN THE USA

IP66 IK08



OVERVIEW

Lumen Package	6,000 - 30,000
Wattage Range	39 - 209
Efficacy Range (LPW)	112 - 163
Weight lbs(kg)	20 (9.1)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.

- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 30L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door,

underneath the housing and provides quick & easy access to the electrical compartment.

- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.





Catalog #: _____ Project: _____ Type: _____

Prepared By: _____ Date: _____

Opulence Small Post Top (OPS)

Outdoor Decorative Post Top



IP66

OVERVIEW	
Lumen Package (lm)	3,000 - 14,000
Wattage Range (W)	20 - 100
Efficacy Range (LPW)	120 - 155
Weight lbs (kg)	25 (11.3)
Control Options	IMSBT, ALBCS, 7-Pin

QUICK LINKS



FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- High density LED optical system delivers industry leading optical performance and visual comfort.
- 7 distribution types 3W, 4F, 5Q, 5C, 5R, 5D & AD
- Diffused lens version provides maximum visual comfort with reduced brightness and LED pixelization
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 80
- External Shield available for field installation (see accessory ordering information and dimensions for details).

Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection (6kV surge standard).
- 0-10V dimming driver (optional extended leads).

- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- Total harmonic distortion (THD): <20%
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- Power factor (PF): >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Integral passive infrared Bluetooth™ motion and photocell sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app.
- LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule. Updates and modifications to the control strategy are easily implemented via an intuitive iOS app.

Installation

- Designed to mount directly to a 2 3/8" - 3" outer diameter tenon (4" tall).
- Optional flush mount accessory slips inside the top of a 4" round pole for a virtually seamless transition from pole to luminaire.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K and warmer color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, January 8, 2025**

I. Call to Order

Becky Iverson, Chair, called the Wednesday, January 8, 2025 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chris Pearson, Rob Dimmitt, Steve Harding, Scott Marshall, and John Sillies.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, Elmer Dudas, Development Director, Chad Dixon, City Engineer, and Jerry McDonald, Law Director.

Mr. Harding motioned to excuse Mr. Thompson. Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

II. Approval of Minutes

November 13, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the November 13, 2024 Planning Commission minutes. Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, abstain; (5 yes – 1 abstain - 0 no)

III. Appointment of Officers for 2025-Chair and Vice Chair

Ms. Iverson asked for nominations for Vice Chair.

Mr. Harding nominated Mr. Pearson as Vice Chair.

Ms. Iverson asked if there were any other nominations for Vice Chair. There were none. She asked if there was a second for the nomination. Mr. Sillies seconded.

Ms. Iverson called for a vote appointing Mr. Pearson as Vice Chair of Planning Commission for 2025.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson asked for nominations for Chair.

Mr. Harding nominated Ms. Iverson as Chair.

Ms. Iverson asked if there were any other nominations for Chair. There were none. She asked if there was a second for the nomination. Mr. Pearson seconded.

Ms. Iverson called for a vote appointing Ms. Iverson as Chair of Planning Commission for 2025.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

IV. Appointment of Board of Zoning Appeals Planning Commission Representative for 2025

Ms. Iverson asked Mr. Boron to address this agenda item.

Mr. Boron said that Mr. Thompson has indicated that he is interested in serving as the representative for the Board of Zoning Appeals for 2025.

Ms. Iverson asked if there were any questions or comments. There were none.

Ms. Iverson called for a vote appointing Mr. Thompson as the Planning Commission representative for the Board of Zoning Appeals for 2025.

Mr. Harding made a motion to appoint Mr. Thompson as the 2025 Board of Zoning Appeals Planning Commission representative. Mr. Sillies seconded.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

V. Motion to add Agenda Item C to the published agenda

Ms. Iverson called for a motion to add Agenda Item C, Final Approval, Record Plan, The Ascent, Section Five, south terminus of West Tech Boulevard.

Mr. Pearson made a motion to add Agenda Item C, Final Approval, Record Plan, The Ascent, Section Five, south terminus of West Tech Boulevard to the published agenda. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

VI. Agenda Items

A. Final Approval

Minor Change to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), addition of home plans and exterior elevations to approved list

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, owner, and developer, requesting approval of a minor revision to the approved general plan for the Northampton PUD-R, Planned Unit Development-Residential, located at 1525 South Main Street (SR 741). The Northampton subdivision was rezoned to PUD-R by City Council in January 2024 following review and approval by Planning Commission in late 2023, a public hearing and three readings of the rezoning ordinance by City Council. The subdivision includes 75 single-family lots plus the existing Janney House. The companion general plan resolution was also approved by City Council in January 2024. M/I Homes has also obtained approval of the final development plan from Planning Commission at their May 8, 2024 meeting, and record plan approval of phase one of the subdivision at the November 13 Planning Commission meeting.

M/I Homes proposed to add nine house plans to the list of homes approved for the subdivision. This change is defined as a minor revision to the approved general plan, with approval of the revision by Planning Commission per the terms of the PUD code, Chapter 1266 of the Planning and Zoning Code. All proposed housing plans are included in the meeting materials.

Staff Recommendation

City staff recommends approval of the minor revision to the general plan site plan for the Northampton PUD-R, Planned Unit Development-Residential, subject to the following comment:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).

Discussion:

Mr. Justin Lanham, M/I Homes, was present to answer questions or comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said the purpose of this agenda item is to add to the already approved home plans and elevations for this subdivision. After consulting with the City Attorney, it was determined that this is a minor revision to the General Plan which involves approval by Planning Commission in a formal meeting. This will not be going before City Council.

Ms. Iverson asked if there were any questions from Planning Commission members or staff.

Mr. Pearson asked if the plans that include three-car garages will meet all specifications for Code 1264.06; specifically, that the garage doors are not permitted to be more than 60 percent of the width of the house.

Mr. Lanham stated that the plans submitted are sample plans and definitive plans will be provided as the building process moves forward. All requirements listed will be followed during construction.

Ms. Iverson asked if Planning Commission members had any further questions or comments. There were none.

Mr. Harding made a motion to approve the Final Approval, Minor Change to Approved General Plan, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street, (SR 741), addition of home plans and exterior elevations to approved list, with staff condition. Mr. Pearson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval

Record Plan, Easton Farm, Section One, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street (SR 741), dedication of right-of-way and creation of six lots

Background Information

This agenda item is a request for record plan approval submitted by Easton Farm Partners for Easton Farm, Section One. The record plan subject property in question is the 103.1382-acre Easton Farm parcel located at 605 North Main Street (SR 741). The record plan dedicates the right-of-way and creates six lots.

The property was subject to a rezoning and general plan application filed by Easton Farm Partners in 2021. The rezoning and general plan were denied by City Council and the applicant sued the City. In September 2022, the City and Easton Farm Partners entered into a settlement agreement through which the Court ordered that the be property be rezoned to PUD-MU, Planned Unit Development Mixed Use, and that the attached “bubble diagram” serve as the property layout. The rezoning and bubble diagram provides for mixed-use commercial and multi-family residential components fronting North Main Street, single-family residential in the interior, and preservation of the Easton farmstead on the west side of the property.

While record plan review and approval typically takes place following further development of PUDs in the form of a final development plan or series of them for larger sites, this record plan is being requested now because of further negotiations between the parties to the court action. This plan will create six lots, including a 59.8472-acre parcel to be purchased by the city, and a 13.0813-acre parcel to accommodate the Easton farmstead.

The submittal of final development plan, with uses and design standards or plans for the component properties, would be a condition of approval of the record plan. The final development plans would be submitted for review and approval to Planning Commission.

Once approved, the record plan will proceed to City Council for approval.

Staff Recommendations

City staff recommends approval of the record plan for Easton Farm, Section One, contingent on meeting the following conditions:

1. Locate existing structures on Lot 6 and dimension setbacks.
2. Remove the Declaration Reference on Sheet 1 of 2.
3. Revise the Gardner Road callout to be Anna Drive.
4. Provide base flood elevations along Flood Zone AE.
5. Revise plan per Warren County comments, if any.
6. Final development plan to be submitted to Planning Commission for review and approval prior to

development on proposed lots in this record plan consistent with September 2022 settlement agreement. Final development plan to include uses, design standards, site plan(s), and building elevations.

Discussion:

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said he was going to defer to Mr. Gerry McDonald, legal counsel for the City of Springboro, for an explanation of this project.

Mr. McDonald stated that this item is not what the Planning Commission is used to seeing with Planned Unit Developments (PUDs); the order of approval has been changed. This is a request for approval of a Record Plan, which typically comes after final development phase of the PUD approval process. The record plan is consistent with the 2022 court order, the bubble diagram sets forth the positioning of where things are approved for construction. The Borror Group and the City of Springboro have agreed to transfer ownership of the middle portion of the diagram to the City for park or school services to be determined in the future. This vote is to create six lots to enable a sale scheduled for the end of February. Once the sale has taken place, as the individual lots are developed, that is when Planning Commission and staff will see detailed plans.

Mr. Sillies asked how the plan could change based on how it is determined how the land is developed.

Mr. McDonald said this is just to create six lots; the City lot is for parks at this time. If the use changes to school property, it will have to meet all building and zoning code requirements and that is when it will come before the Planning Commission for discussion. The roads noted on the plan will remain as shown with additional access required based on development. Mr. Dudas has reviewed the plans as well and has determined that the roads shown would be adequate for the turning radius of a school bus or other large vehicle.

Mr. Boron said that the Planning Commission would see at a future date the final development plans just as were done for the recently approved Northampton residential subdivision.

Mr. McDonald said that part of the court order was development of the multi-family section and that still stands. Single family homes will not be permitted.

Mr. Pearson asked if the approximately 50 acres of land in lot five will be developed by the City as part of the PUD and subject to all PUD requirements.

Mr. McDonald said all the property is PUD and will be subject to PUD rules, whether commercial or residential.

Mr. Pearson asked if the City purchases the property, could they decide to build residential housing.

Mr. McDonald said that in theory, yes, the city could decide to build residential housing but that is highly unlikely. The court order has determined the permitted uses for the front portion of the property but once the sale has been made to the City, the City can determine how the purchased portion can be developed following the rules for Planned Unit Development-Mixed Use (PUD-MU). The back portion of the property will remain as the family home.

Ms. Iverson noted that this change in the approval process order is like the development of the Settlers Walk subdivisions where it was developed and connected in several phases over time.

Mr. Dimmitt asked if the City would be required to come before the Planning Commission as they determine what will be developed on the property if it is purchased.

Mr. McDonald stated that the City would be required to adhere to the same approval process and any other applicant.

Ms. Iverson said that another goal of the City is to eventually have Gardner Pak connected to North Park and part of that trail will go through these new developments. That has been the long-term plan for years and development of this property will help enable that plan to happen. Access would be from the eastern portion of Tamarack Trail from North Park and then at the northern portion of the property connecting to Deer Trail.

Mr. Sillies, referring to the bubble diagram, asked which part of the property is dictated by the court order that it must include.

Mr. McDonald replied it is the front portion of the property which runs along North Main Street/SR 741. It is the mixed-use area, the multi-family, and the townhomes in the corner. The open space was going to be a dedicated park of about three acres. This is no longer the case; that area is now going to be used for townhomes.

Mr. Sillies asked if the 252 new multi-family units were dictated by the court.

Mr. McDonald said yes.

Ms. Lori Steiner, President of Easton Farm Partners, Developer and Borror Group CEO, stated that the multi-family portion of the project is remaining; it is the single-family homes that have been eliminated.

Mr. Sillies questioned why, if the multi-family homes are dictated by the court, is this agenda item in front of Planning Commission members for approval.

Mr. McDonald said that with the removal of the single-family homes requirement requires a change to the approved Record Plan to create lots.

Mr. Boron said that the two frontage pieces will be developed as indicated in the 2022 court order. Planning Commission members will see the plans in more detail once development begins. It will still need to go through the normal approval process as required by the City's building and zoning regulations.

Mr. Pearson asked what lot six will be used for in the future.

Mr. McDonald replied that would remain as the family homestead.

Ms. Iverson asked if there were any further questions or comments from Planning Commission members and staff. There were none.

Mr. Harding made a motion to approve the Final Approval, Record Plan, Easton Farm, Section Once, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, 605 North Main Street/SR 741, dedication of right-of-way and creation of six lots, with staff conditions. Mr. Marshall seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

C. Final Approval
Record Plan, The Ascent, Section Five, south terminus of West Tech Boulevard

Background Information

The City of Springboro, property owner and applicant, requests final approval of a record plan for The Ascent, Section Five, record plan that contains five lots with an approximate total area of 29.1 acres. It is located at the southern terminus of West Tech Road, which extends the road further south and includes a cul-de-sac to access future development. This and other property within The Ascent portion of the South Tech Business Park is zoned ADD-1, Austin Development District 1.

Staff Recommendation

City staff recommends approval of the record plan for The Ascent, Section Five, subject to the following comment:

1. Add a road name for the cul-de-sac.
2. Verify the recorded P.B and PG. callout in the title block for The Ascent Section Four lots 14 & 15.
3. Submit to Warren County for review and revise accordingly.

Discussion:

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said that he was deferring to the City's legal counsel, Mr. McDonald, for an explanation of this matter.

Mr. McDonald said this is for The Ascent on West Tech Boulevard in the South Tech Business Park. Currently, both Synergy and the City of Springboro own these properties. Synergy and the City have agreed to a lot split that will clean up property lines which will allow for the City to be able to sell the lots located on the south side of the property. A developer has expressed interest in constructing an advanced manufacturing facility that will produce high tech products on the south property. The reason for this agenda item moving so quickly is the City does not want to miss an opportunity for economic development.

Mr. Boron said that for the benefit of orientation, lot 16 is the property that was before Planning Commission in 2024, Caesar Creek Software's second building which is currently under construction.

Mr. Sillies and Mr. Pearson asked for clarification as to who owns which lots listed on the diagram included in the meeting materials.

Mr. McDonald said that the City owns lot 18. The northern portion of lot 19 is owned by the City; the southern portion of lot 19 is owned by Synergy; with this sale, Synergy will own all of lot 19. Lot 17, the part closest to I-75, is currently owned by Synergy and it will be sold to the City after the sale following approval of the record plan. Lot 16 is where the new Caesar Creek Software building is located. Lot 20 is not buildable; it is a retention pond.

Ms. Iverson noted that the City bought all this property years ago with the intention of expanding economic development. It was a long-term plan that is coming to fruition.

Mr. Boron said that this item will go before City Council at their next meeting on January 16 if Planning Commission approves the new Record Plan.

Ms. Iverson asked if there were any further questions or comments. There were none.

Mr. Pearson made a motion to approve the Final Approval, Record Plan, The Ascent, Section Five, south terminus of West Tech Boulevard, with staff conditions. Mr. Hardin seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

VII. Guest Comments

Ms. Iverson called for guest comments. There were none.

VIII. Planning Commission and Staff Comments

Ms. Iverson announced that Mr. Scott Marshall has been appointed by City Council as the newest member of the Planning Commission. She asked him to introduce himself to staff and Planning Commission members.

Mr. Marshall stated that he has been a city resident for almost 20 years and worked with Springboro City Schools for eight years. He has recently taken a new position at Dayton's Sinclair Community College campus.

Ms. Iverson also thanked former Planning Commission member Matt Leedy for his service in previous years.

Mr. Boron said the next Planning Commission meeting will be held on Wednesday, February 12 at 6:00 pm in Council Chambers at the City Building, 320 West Central Avenue. The deadline for submittals is Friday, January 24 at noon.

IX. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the January 8, 2025 Planning Commission Meeting at 6:32 pm.

Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary