

Agenda
City of Springboro Planning Commission Meeting
Wednesday, May 14, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. April 9, 2025 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed single-family residential subdivision
 - B. Final Approval, General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed single-family residential subdivision
 - C. Preliminary Site Plan Review, Haas Factory, 85 Commercial Way, ED, Employment Center District, Commercial Use
 - D. Preliminary Review, Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed-Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
 - E. Preliminary Review, General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, May 14, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

B. Final Approval

General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, requesting approval of rezoning and general plan to allow the development of a residential subdivision located at 1405 South Main Street (SR 741) through the City's Planned Unit Development (PUD) process. The subdivision, envisioned as an addition to M/I's developing Northampton subdivision, would be located on 16.65 acres of land immediately adjacent and to the north of Northampton. While M/I intends, assuming development approvals, to combine the 16.65-acre parcel into Northampton subdivision by integrating its road system, homeowner's association, home design types, and other details, this rezoning and general plan is separate from the development approvals of the property at 1525 South Main Street.

M/I Homes proposes to develop the 16.65-acre by rezoning it from the current R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. The R-1 District allows residential development at the rate of 2.0 units per acre on lots with a minimum size of 20,000 square feet. That classification dates to 2015 when large parts of Springboro were reclassified to R-1 District from Township or (T)R-1 District. The (T)R-1 designation was allowed to remain on properties annexed over time from lands originally in Clearcreek and Franklin Townships. The R-1 and (T)R-1 have similar development densities, however moving to R-1 District allows the City to manage its own long-range development through its own Planning and Zoning Code.

M/I Homes proposes to develop this parcel at a density of 2.04 units per acre, with lots ranging from 8,360 square feet to 20,000 square feet. A total of 4.384 acres of open space is proposed in the subdivision, or 26.3 percent of the development area. Residential PUDs require a minimum of 25% dedicated open space. The R-1 District requires no dedicated open space.

M/I Homes proposes two access points to the subdivision: the primary access being from South Main Street that would be paired with the access road to the Northampton subdivision and matched to the alignment of Heatherwoode Boulevard on the east side of SR 741, and to Perthshire Drive also in Northampton to the south. A stub street to the west is also proposed. Walking trails internal to the site are indicated in the plan.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step

PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the developing Northampton subdivision.

Adjacent zoning in the Springboro portion of the vicinity is R-1 District to the north, PUD to the east encompassing the Heatherwoode PUD, and PUD-R to the south incorporating Northampton subdivision. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 16, Heatherwoode, includes the subject area and land including the Heatherwoode, Farms of Heatherwoode, and Ashton Woods subdivisions, the City's Heatherwoode Golf Course, and the Springboro Community School District's main campus. The policy area recommends residential development and redevelopment that conform to the existing character of adjoining neighborhoods. The plan also recommends connecting neighborhoods in the area and improving pedestrian and bicycle access.

The four residential subdivisions in the vicinity were developed at the following densities:

- Northampton, 75 units on 35.08 acres, 2.14 units/acre.
- Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre.
- Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre.
- Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre. This includes Glencoe Court and Dunnington Court. The golf course is not included in the density calculation.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to first preliminary review of this plan at the March 19 meeting. This plan was also reviewed on a preliminary basis at the April 9 Planning Commission meeting at which time the Planning Commission authorized this item to be placed on a future agenda for formal recommendation.

Staff Recommendation--Rezoning

City staff recommends approval of the rezoning for 1405 South Main Street from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, conditioned on complying with the comments below.

Staff Recommendation—General Plan

City staff recommends approval of the general plan for 1405 South Main Street from R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, conditioned on complying with the following comments:

1. Home plans to comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. No vinyl siding to be used within the subdivision except as trim material.
3. Homes proposed for lots #22-24, and 25-34 with exposed foundations to be bricked to within 30 inches of grade. For such homes/areas, provide plans.
4. For general plan preliminary review, identify all existing vegetation 4 inches DBH or greater on the site, then indicate those to be preserved.
5. Following preliminary review of general plan, submit a landscaping plan incorporating comments #3-4 above, and other required landscaped areas.
6. Development signage subject to review by Zoning Inspector.
7. Allow for public use of dedicated open space (paths, trails specifically) within the subdivision.
8. Following preliminary review of final development plan, submit an exterior lighting plan, if applicable, consistent with Chapter 1273 of Planning and Zoning Code.
9. Add note stating that all public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.
10. Create an HOA for Phase 3.
11. Detention pond grading to remain outside of proposed right of way line. Adjust accordingly.
12. All public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.

C. Preliminary Review

Site Plan Review, 95 Commercial Way, proposed commercial building

Background

This agenda item is a request for preliminary review of a site plan for 95 Commercial Way. The applicant, PS One LLC, property owner, is seeking approval to construct a new, 12,000-square foot commercial building on the property that is located near the western terminus of Commercial Way. The 2.98-acre parcel was originally developed in 2011-2012 for a landscaping business and has been occupied by a tenant, Haas Factory Outlet, for some time. The property owner proposes to construct a speculative building to the east of the existing Haas space on the site of the former landscaping business storage area. The property is zoned ED, Employment Center District, which allows light industrial and office uses, vehicle repair and sales, and an array of educational, medical, and public uses; the district overlays all of Commercial Way, North and South Pioneer Drive, and Pleasant Valley Drive, and other business and light industrial areas on the west side of Springboro. The south property line coincides with the Springboro Corporation Line, and boundary with Franklin Township.

Existing land uses include to the west Woodhull, LLC, at 125 Commercial Way; to the north at 90 Commercial Way a vacant former dialysis center, and at 80 Commercial Way the Tom Harrison Tennis Center; to the east at 75 Commercial Way, S&S Tool and Die; and to the south two large residential lots in Franklin Township with frontage on Sharts Road.

Adjacent zoning is ED, Employment Center District to the west, north, and east. Zoning to the south is Franklin Township R2, Two-Family Residential District.

Staff Comments

City staff recommends approval of a recommendation to City Council of this record plan.

1. Indicate proposed exterior building materials.
2. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
3. Following preliminary review of site plan, complete a lighting plan that incorporates on-building and site lighting changes, if applicable, consistent with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code.
4. Following preliminary review of site plan, prepare a landscaping plan to address changes to the portion of the site with the proposed building consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code.
5. Sanitary sewer lateral min slope is 2%. Revise note on sheet C-0.1 accordingly and utility plan Sheet C-4.0.
6. Remove proposed sanitary sewer lateral from existing manhole. The sanitary lateral shall be tied into existing 8" sewer main.
7. Remove meter pit as shown on sheet C-4.0, as meter is to be located inside building with remote reader. Provide water curb stop within 5 feet of proposed tap to water main.
8. Remove all Warren County callouts and replace with City of Springboro.
9. Provide site plan (survey) for entire parcel, including existing buildings, driveways, curb cuts, detention pond, utilities, etc.
10. Provide typical section for proposed asphalt parking lot construction.
11. Move CB1 into parking lot to capture storm water. Add additional storm structures accordingly.
12. Sheet C-5.0 – Revise title “County Details” as the plans are for City of Springboro. Remove meter box detail. Meter to be located inside building with remote reader.
13. Provide calculations verifying the pervious vs impervious changes before and after development, regarding storm water detention requirements.
14. Clearly show and label concrete barrier curb locations throughout the site.

D. Preliminary Review

Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

E. Preliminary Review

General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

Background Information

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of mixed-use development southeast of the corner of West Central Avenue (SR 73 and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as 2024. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

This item is being reviewed on a preliminary basis at the May 14 meeting as was the case at the April 9 meeting. No final approval may be made until a traffic study is completed.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area on the easternmost side of the property adjoining The Enclave assisted living facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 335 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a drive connecting to the signal at Tractor Supply. A total of 5.6 acres of open space, or 39.7% of the proposed PUD's residential component, is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank, and the Premier Health office building; to the east, The Enclave assisted living facility; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site; and HBD, Highway Business District, to the west on the site of Tractor Supply Company.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use

development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

1. City staff reserves the opportunity to comment on aspects of this application as additional information becomes available.
2. Provide a breakdown of the number of proposed townhome and apartment units and their relative location on the general plan.
3. Remove vehicle fueling stations, vehicle repair (minor), and personal wireless service facility (cell towers) from the list of permitted uses proposed for the retail component.
4. Provide a Traffic impact study. All public improvements to be completed per the traffic study recommendations, including improvements along SR 73 and dedication of right of way.
5. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
6. Create a list of permitted uses in the retail zoning portion of the general plan for planning commission review.
7. Provide an overall 25% minimum open space. Provide an overall breakout of zoning acreages.
8. Create an HOA for Development. HOA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
9. Is regional storm water detention being proposed?
10. Provide a public access easement (ingress/egress) for all private roads (if any) throughout the site.
11. Page 22 – Outdoor storage. Should outdoor storage also be screened from private roadway system, and not just the visible right of way?
12. Sanitary sewer main from the east is 8" diameter, and the 18" diameter for the north/south trunk main (generally), and 15" diameter from the west.
13. All development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, May 8, 2025 at 12:00 p.m.

Northampton Phase 3, 1405
S Main St Materials

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase Contract

APPLICANT NAME:

M/I Homes of Cincinnati, LLC

Address

9349 Waterstone Blvd. Suite 100

Cincinnati, OH 45249

Telephone No.

(513) 551-3954

Fax No.

() N/A

Email Address

jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Sandra Calmes

Address: 1405 SR 741

Springboro, OH 45066

Telephone No. (937-776-8145)

Property Address or General Location: 1405 SR 741 Springboro, OH 45066

Parcel Number(s): 0818200017 Acreage: 16.65 acres

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.04 units/acre Number of Residential Units 34

Proposed Use: 34 single-family detached homes adjacent to Northampton.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



(Signature of Applicant and/or Agent)

2/18/2025

(Date)

Justin Lanham

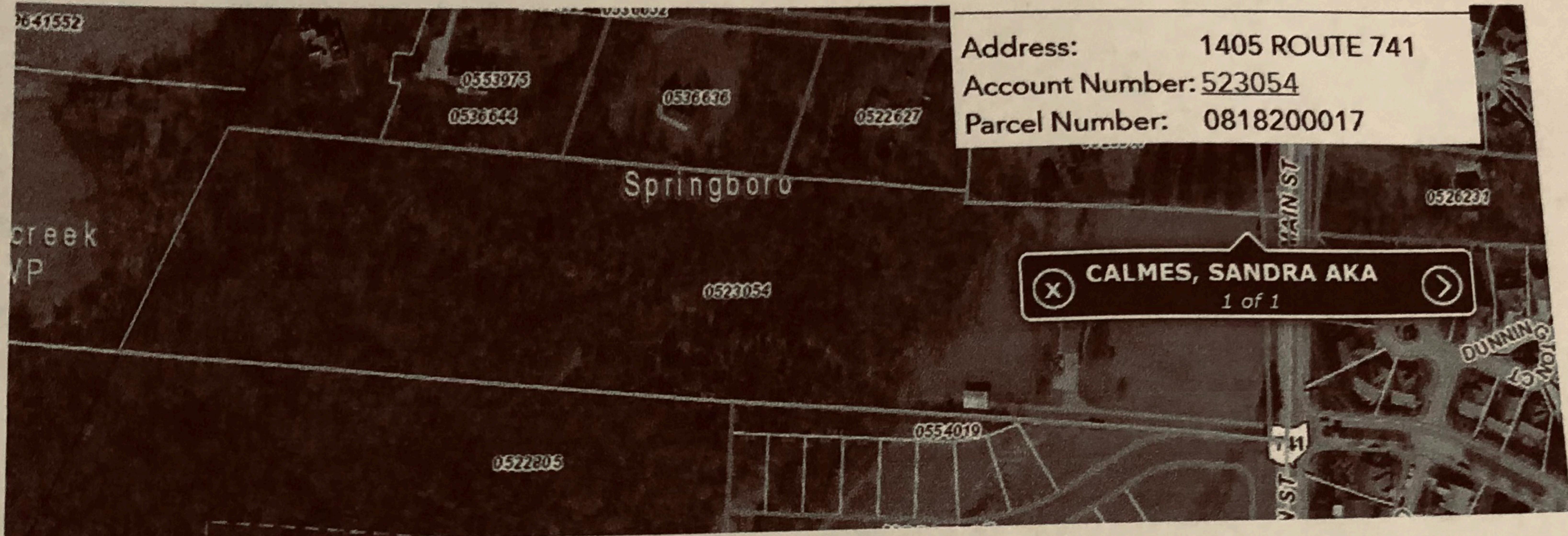
Printed Name

CALMES AUTHORIZATION

Please allow this letter to authorize M/I Homes and its agents to discuss and apply for a rezone for the Property identified below with the City of Springboro, Warren County, and any other governmental jurisdictions as needed.

CALMES, SANDRA AKA

Address: 1405 ROUTE 741
Account Number: 523054
Parcel Number: 0818200017

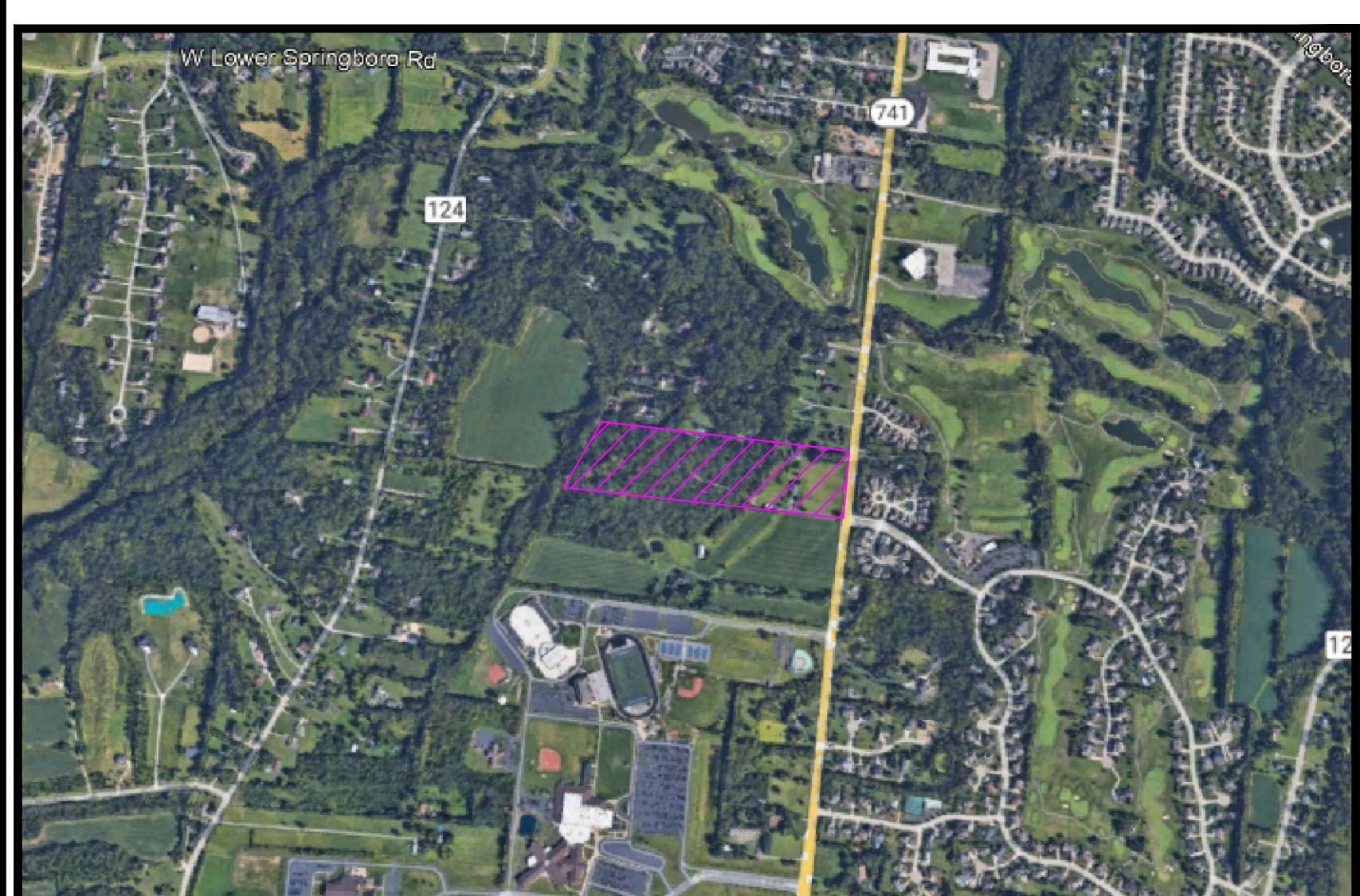


Sandra Calmes

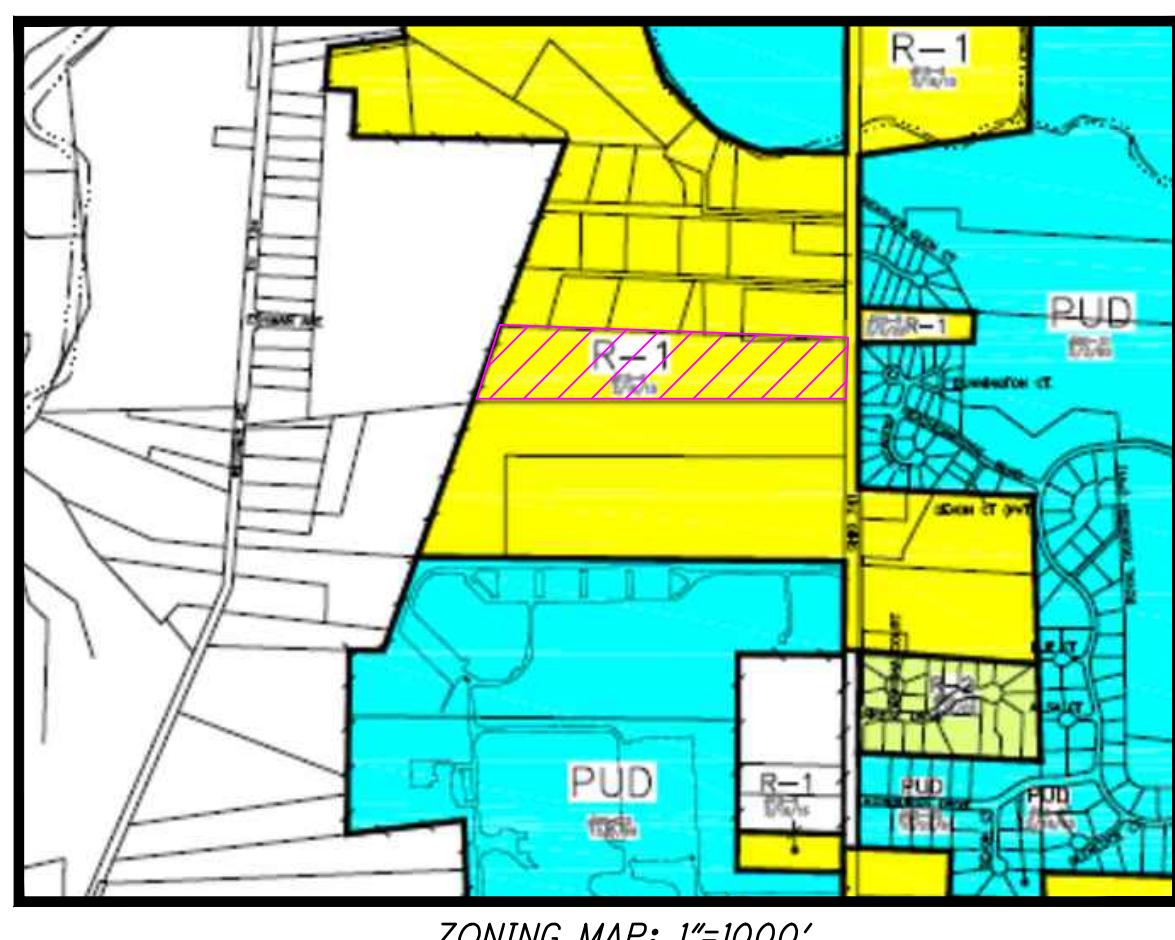
2-17-25

Sandra Calmes

Date



VICINITY MAP 1"=1000'

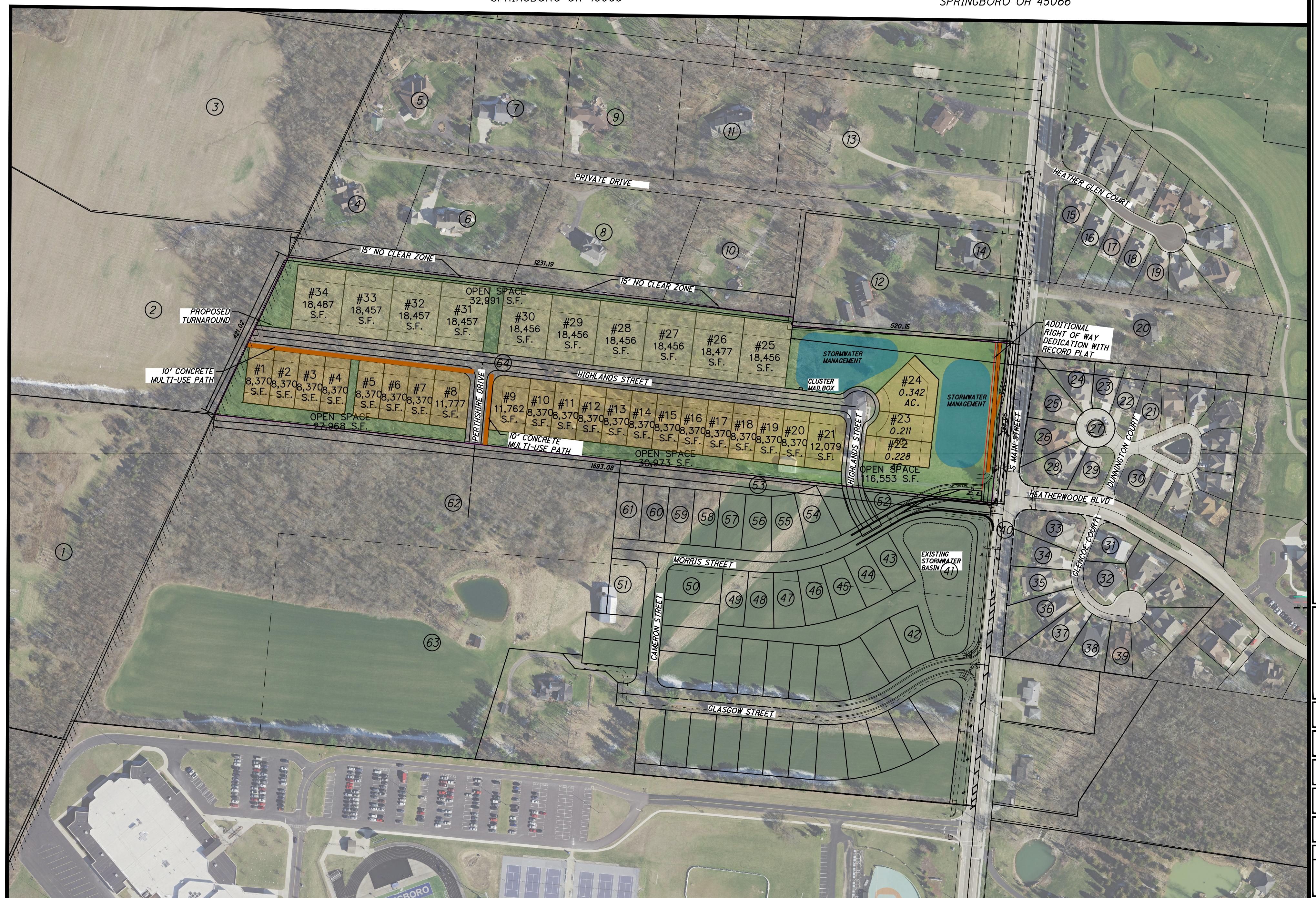


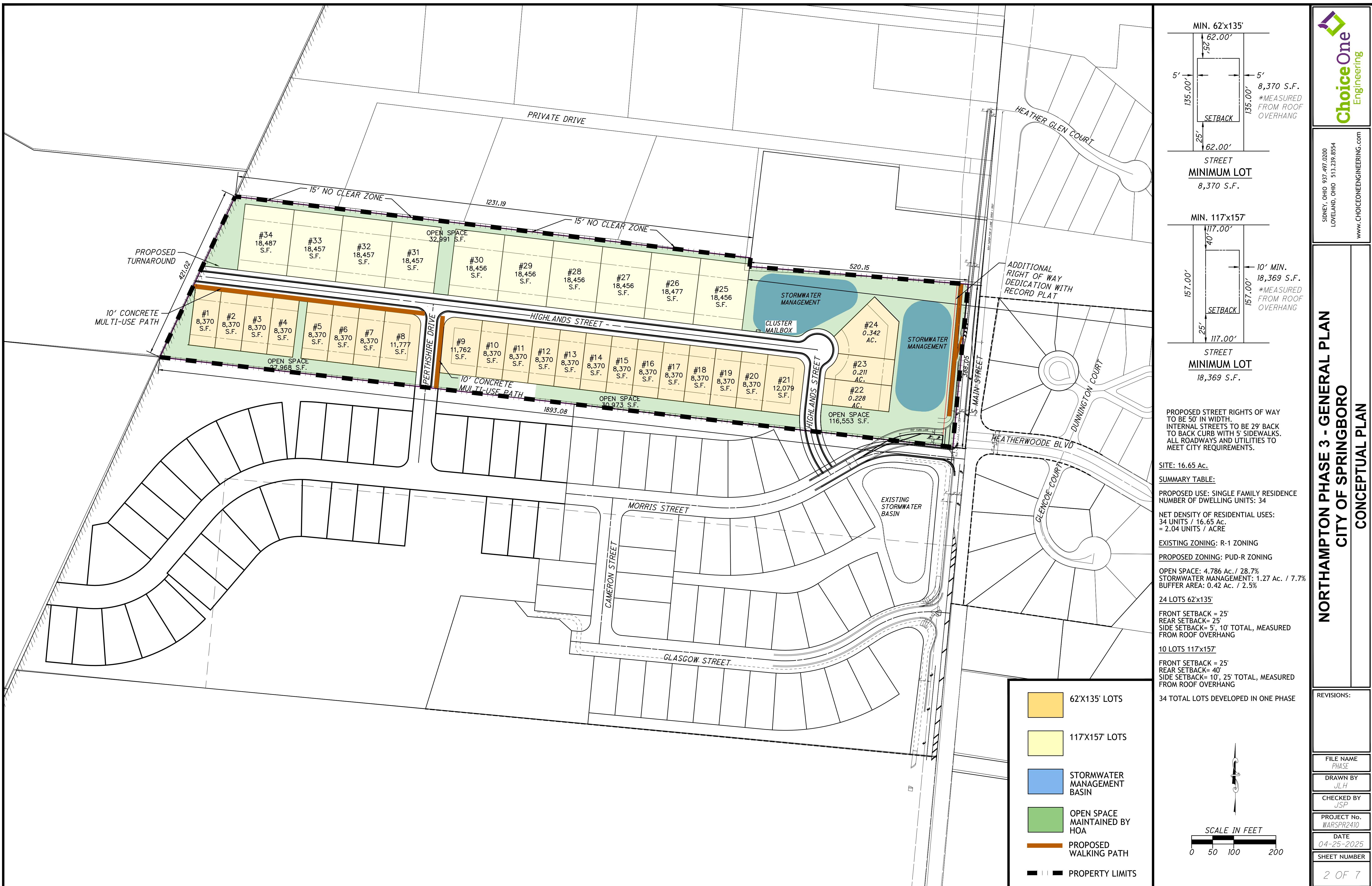
ZONING MAP: 1"=1000'

- █ (R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
- █ (R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
- █ (R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
- █ (HBD) HIGHWAY BUSINESS DISTRICT
- █ (LBD) LOCAL BUSINESS DISTRICT
- █ (CBD) CENTRAL BUSINESS DISTRICT
- █ (UVD) URBAN VILLAGE DISTRICT
- █ (M-1) LIGHT MANUFACTURING DISTRICT
- █ (M-2) HEAVY MANUFACTURING DISTRICT
- █ (ED) EMPLOYMENT CENTER DISTRICT
- █ (PUD) PLANNED UNIT DEVELOPMENT DISTRICT
- █ (PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
- █ (PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
- █ (PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
- █ (PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
- █ (O-R) OFFICE-RESIDENTIAL DISTRICT
- █ (O) OFFICE PARK DISTRICT
- █ (ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
- █ (ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

- ① KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066
- ② SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
STE 300
MIAMISBURG OH 45342
- ③ HENSING ROBERT J JR & KELLY M
3384 JENNINGS CHAPEL
WOODBINE, MD 21797
- ④ SMITH ROBERT S
1327 S MAIN ST
SPRINGBORO OH 45066
- ⑤ LAKE JASON J & LAUREN J
1321 S MAIN ST
SPRINGBORO OH 45066
- ⑥ BOCKELMAN JOSEPH &
DRIEHAUS BARBARA
1331 S MAIN ST
SPRINGBORO OH 45066
- ⑦ OMBRELLA TIMOTHY M & JENNA
1317 S MAIN ST
SPRINGBORO OH 45066
- ⑧ KESLING KIMBERLY A & BROWN
GILBERT L JR
1335 S MAIN ST
SPRINGBORO OH 45066
- ⑨ CURRY DAVID S
1313 S MAIN ST
SPRINGBORO OH 45066
- ⑩ BOND CHARISSA L & SETH M
1345 S MAIN ST
SPRINGBORO OH 45066
- ⑪ BRIAN BRAD
1309 S MAIN ST
SPRINGBORO, OH 45066
- ⑫ TUCKER ROY E & HARRIETT J TRUSTEES
1355 S MAIN ST
SPRINGBORO OH 45066
- ⑬ CRAFFREY JENNIFER & HENDERSON BROCK
1305 S MAIN ST
SPRINGBORO OH 45066
- ⑭ SMITH ERIK E
505 RENWOOD PL
SPRINGBORO, OH 45066
- ⑮ JOHNSON MICHELLE & ROBERT D
5 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑯ ROBINSON LINDA S
15 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑰ COMBS TERESA K
25 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑱ SEAMAN EDWARD G & KAY S
35 HEATHER GLEN CT
SPRINGBORO, OH 45066
- ⑲ HUMANCHUK STEFANIE A
45 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑳ ARNDTS NATHAN & NATISHA
1360 S MAIN ST
SPRINGBORO OH 45066
- ㉑ BRANDABUR JUDITH A
44 DUNNINGTON CT
SPRINGBORO, OH 45066
- ㉒ BYRD CYNTHIA S
41 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉓ MEYER DAN W
35 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉔ BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉕ LAMM JULIA A & RICHARD D
23 DUNNINGTON CT
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- ㉖ CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉗ SIR EDWARDS GLEN OWNERS
ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉘ MCCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉙ ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066
- ㉚ GOLLIHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
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- ㉛ MUNTZ GARY W & MARY L
10 GLENCOE CT
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- ㉜ BURCH KEVIN W
30 GLENCOE CT
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- ㉝ BURNS PATRICK & PAMELA
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- ㉞ VALENTINO NICHOLAS V
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- ㉟ CALMES SANDRA L
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- ㉟ ASHBY HULAN C
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- ㉟ RUTLEDGE LARRY R JR
35 GLENCOE CT
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- ㉟ HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
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- ㉟ MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066
- ㉟ CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066
- ㉟ M/I HOMES OF CINCINNATI LLC
9349 WATERSTONE BLVD
SUITE 115
CINCINNATI OH 45249
- ㉟ CALMES SANDRA L
1405 S MAIN ST
SPRINGBORO OH 45066

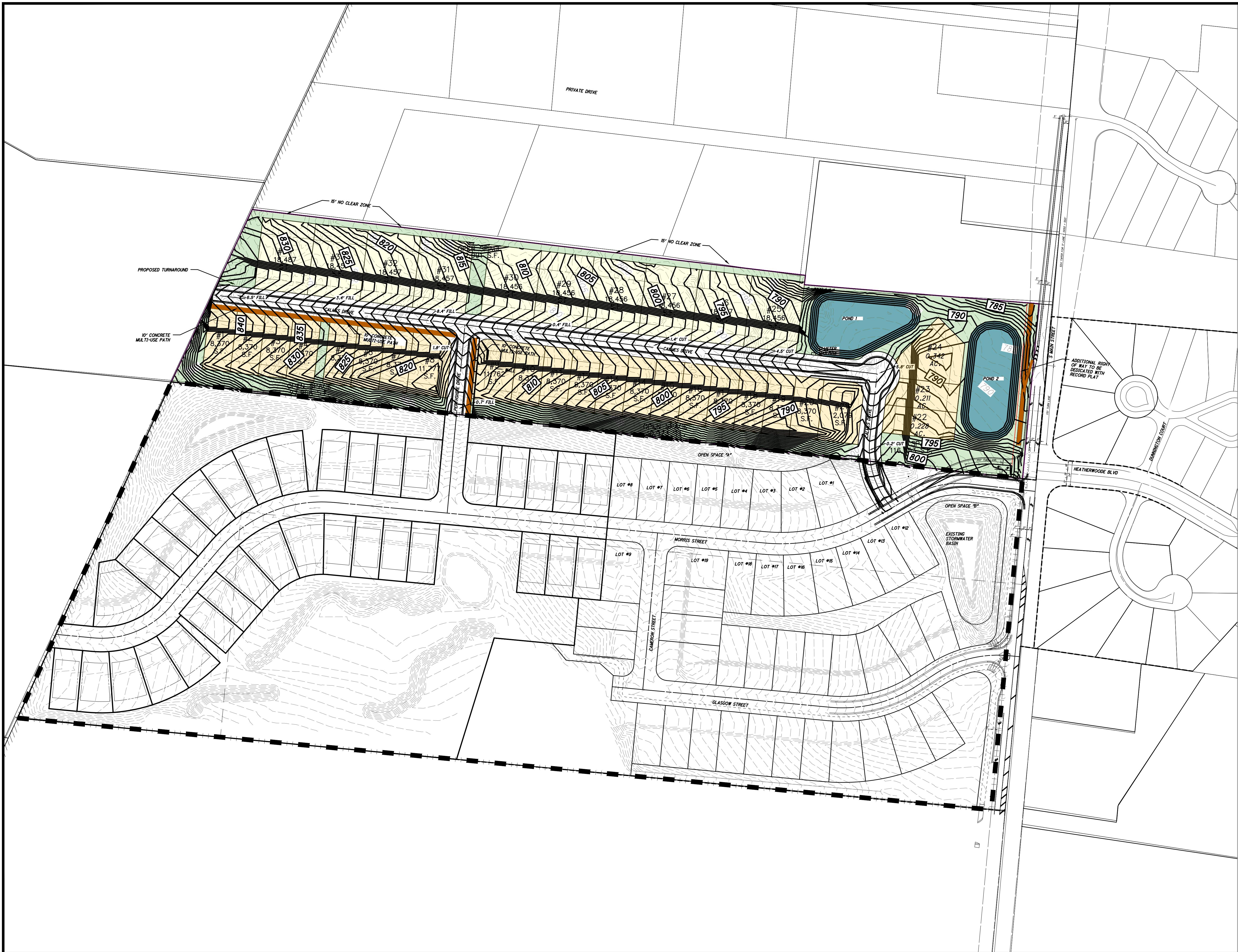
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**NORTHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO
PRELIMINARY GRADING PLAN**

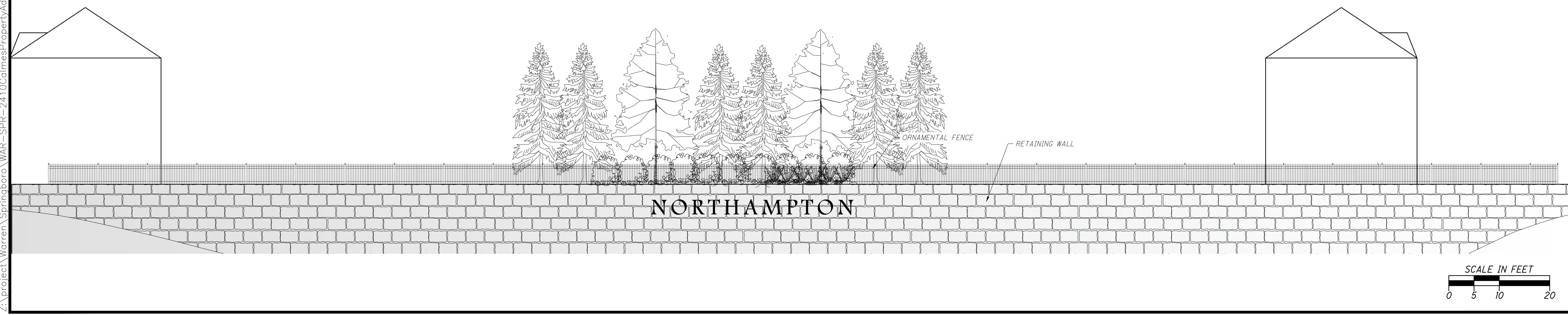
REVISIONS:
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DRAWN BY: JLH
CHECKED BY: JSP
PROJECT No.: WARSPR2410
DATE: 04-25-2025
SHEET NUMBER: 5 OF 7

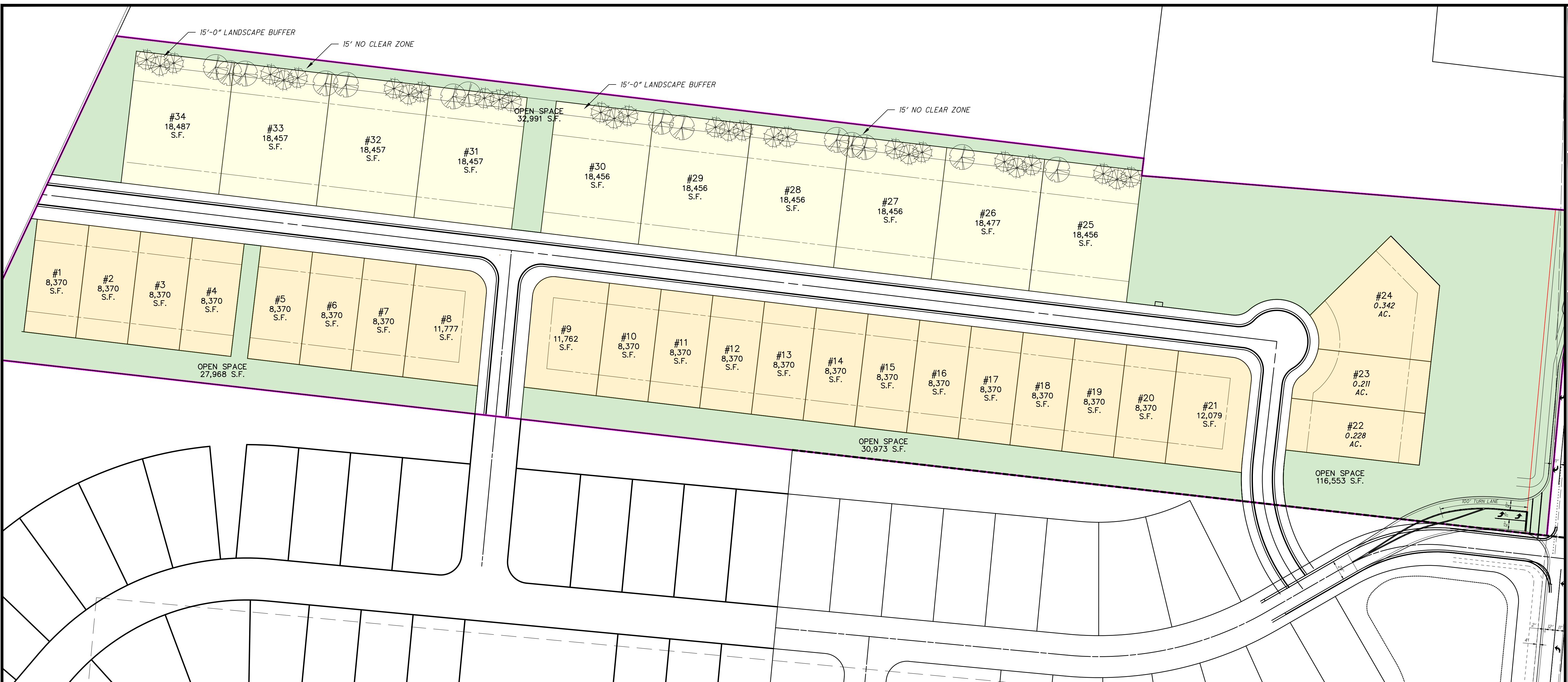
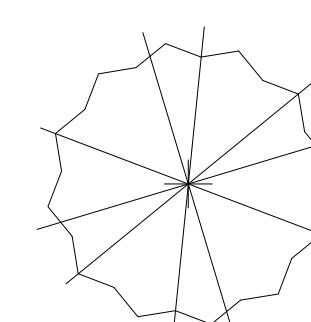
SIDNEY, OHIO 937.497.0200
LOWELLAND, OHIO 513.239.8554
www.CHOICEONEENGINEERING.com

ChoiceOne
Engineering

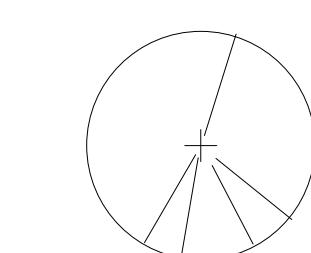


NO ADDITIONAL SIGNAGE IS PROPOSED FOR
NORTHAMPTON SECTION 1-3.



**NORTHHAMPTON PHASE 3 - GENERAL PLAN
CITY OF SPRINGBORO
LANDSCAPE PLAN**

LEGEND


EVERGREEN TREE



SHADE TREE

 SCALE IN FEET
 0 30 60 120

TYPICAL SECTION - LOTS 25-34

 REVISIONS:

 FILE NAME
 LANDSCAPE
 DRAWN BY
 JLH
 CHECKED BY
 JSP
 PROJECT No.
 WARSPr210
 DATE
 04-25-2025
 SHEET NUMBER
 7 OF 7







HOUSE PLANS

The following house plans are proposed for the Calmes property. These plans have been approved by the City of Springboro for Northampton.

<u>Name</u>	<u>Base SF</u>
➤ Faulkner	1,544sf
➤ Cooper	1,776sf
➤ Melville	1,865sf
➤ Serenity	2,330sf
➤ Clayton	1,927sf
➤ Cheswicke	2,188sf
➤ Dawson	2,461sf
➤ Inglewood	2,558sf
➤ Cooke	2,624sf
➤ Morrison	2,763sf

<u>Name</u>	<u>Base SF</u>
➤ Tolbert	2,869sf
➤ Dillon	2,913sf
➤ Barrett	3,035sf
➤ Fairview	3,322sf
➤ Ainsley II	3,175sf
➤ Hyde Park	3,372sf
➤ Nicholas	3,390sf
➤ Keating	3,598sf
➤ Monroe	3,852sf



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NORTHAMPTON

Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

*Note: Other elevation options available and may be required by community; see Mihomes.com for more elevations.


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Cooper



Elevation C - Shown w/ Opt coach lights & Stone Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation B - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,776
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

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Note: Other elevation implants available and may be required by community. See MIHomes.com for more elevations.



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Melville



Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation C - Shown w/ Opt Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

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*Note: Other elevation materials available and may be required by community; see MIHomes.com for more elevations.



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NORTHAMPTON

Serenity



Elevation D - Shown w/ Opt Stone and Metal Roof



Elevation B - Shown w/ Opt Full Brick Front



Elevation C - Shown w/ Opt Stone



Elevation E

Square Feet: 2,330
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 1

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NORTHAMPTON

Clayton



Elevation C



Elevation B



Elevation D



Elevation E - Shown w/Opt Stone

Square Feet: 1,927
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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NORTHAMPTON

Cheswicke



Elevation F - Shown with Opt. Dormer



Elevation D - Shown w/ Opt. Stone



Elevation E - Shown w/ Opt. Dormers

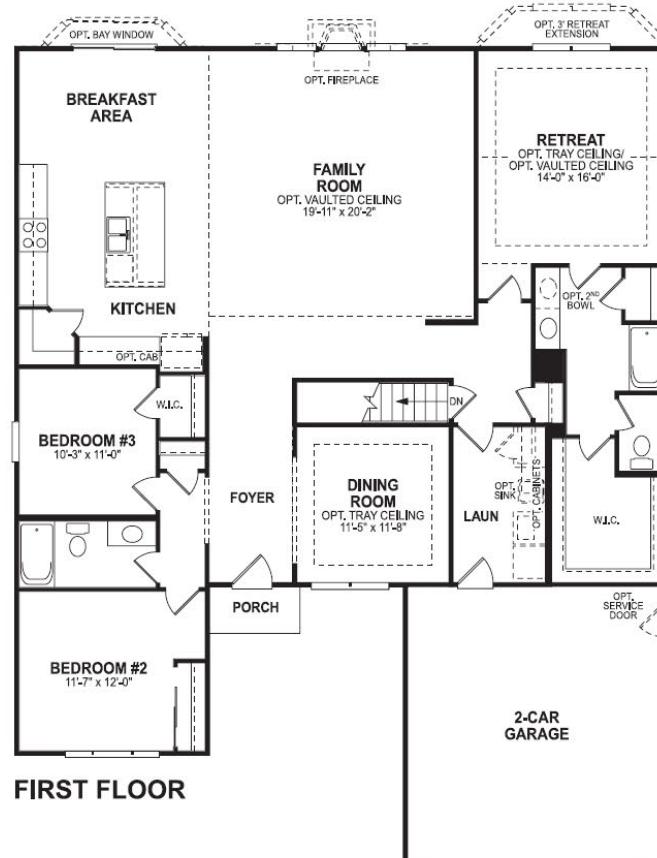


Elevation G - Shown w/ Opt. Stone and Dormer

Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

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Dawson



Elevation A



Elevation D - Shown w/Opt Stone

Square Feet: 2,461
 Bedrooms: 3
 Full Baths: 2

Half Baths: 1
 Garages: 2
 Stories: 2



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Inglewood



Elevation E - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,558
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Cooke



Elevation C - Shown w/Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

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Morrison



Elevation E - Shown with optional coach lights



Elevation A



Elevation C



Elevation D

Square Feet: 2,763
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

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Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

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Dillon



Elevation A



Elevation B

1,291 sq ft
4 bedrooms
2 full baths

Half Baths: 1
Garages: 2
Stories: 2



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Barrett



Elevation B - Shown w/Opt Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation C - Shown w/Opt Coach Lights

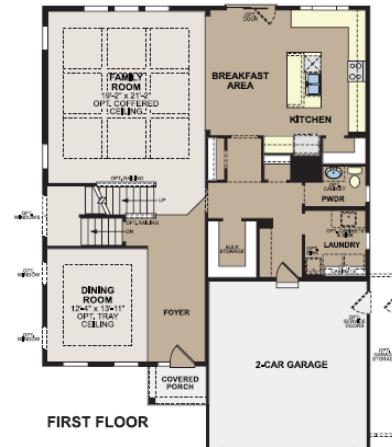


Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

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Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights

Elevation B - Shown w/ Opt Coach Lights

Elevation C - Shown w/ Opt Coach Lights

Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

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Ainsley II



Elevation D - Shown w/ Opt. Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/ Opt. Study



Elevation E

Square Feet: 3,175
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2

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Hyde Park



Elevation C - Shown w/ Opt. Brick and Coach Lights



Elevation A - Shown w/ Opt. Coach Lights



Elevation B - Shown w/ Opt. Brick and Coach Lights



Elevation D - Shown w/ Opt. Brick and Coach Lights



Elevation E - Shown w/ Opt. Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2


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Model homes are continuously improving our products. We reserve the right to make changes and/or substitute plans, features, dimensions, specifications, architectural details, and designs without notice. In certain options shown may not be available in all communities. This brochure is for illustrative purposes only and is not a part of the legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 09-22.



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Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



Elevation G

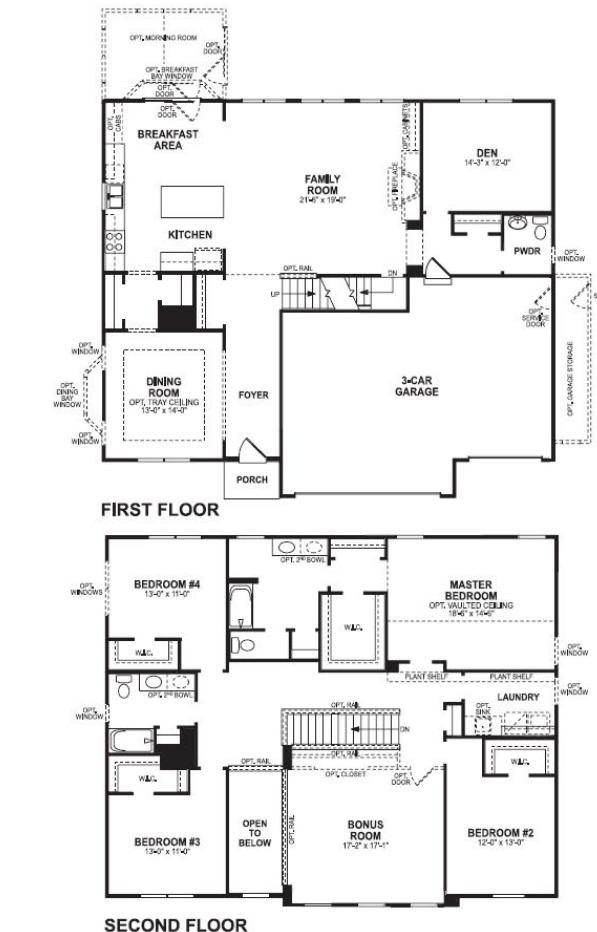


Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2


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Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2


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Monroe



Elevation B - Shown w/ Opt Garage Doors and Coach Lights



Elevation A



Elevation C - Shown w/ Opt Stone



Elevation D - Shown w/ Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2

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COMMERCIAL WAY SUBMITTALS

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** PS ONE LLC
 Agent
 Lessee **Address:** 1029 Central Ave
 Signed Purchase Contract **Address:** Middletown, Ohio 45044
Telephone No. (513) 727-8888
Fax No. (513) 727-9940
Email Address paul@pspropertiesinc.com

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

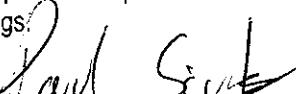
Telephone No. (_____) _____

Property Address or General Location: 95 Commercial Way, Springboro, OH 45066

Parcel Number(s): 0425226021 **Zoning District:** ED- Employment Center District

Proposed Use: Commercial use for HAAS Factory

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings:


(Signature of Applicant and/or Agent)

04/08/2025

(Date)

Paul Sivak

Printed Name

SITE DEVELOPMENT PLANS FOR: HAAS FACTORY OUTLET

95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DEVELOPMENT / DESIGN TEAM

OWNER / DEVELOPER

PS Properties
Contact: Paul Sivak
Phone: 513.727.8888
Email: paul@psproperties.com

CIVIL ENGINEER / CONSULTANT

Burkhardt Engineering
Contact: Jonathan Burkhardt
Phone: 937.388.0060
Email: jdburkhardt@burkhardtinc.com

PROJECT SUMMARY

Project will include the demolition and removal of utilities, vegetation, pavement, etc. as necessary to construct the HAAS Factory Outlet and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

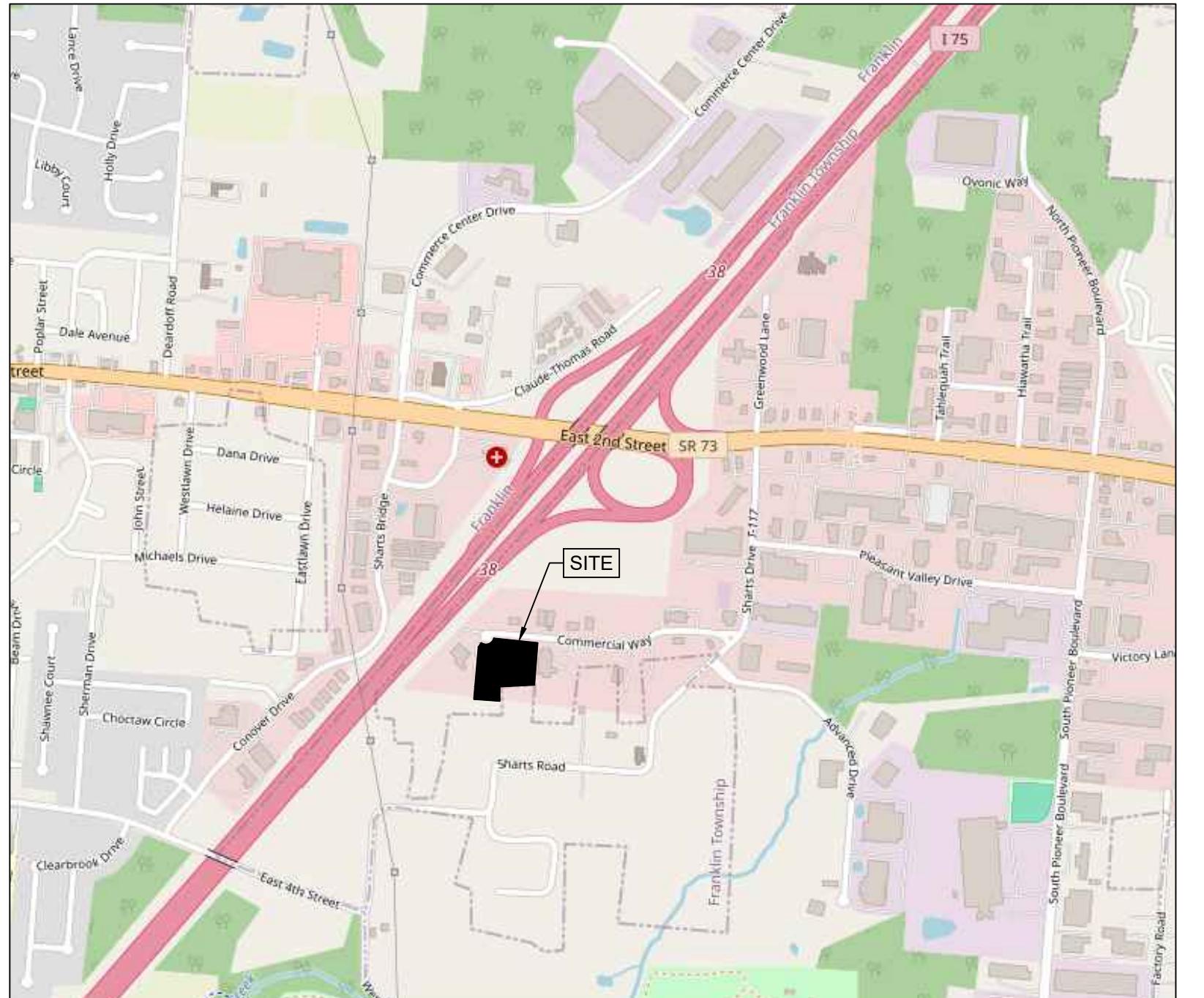
PROPERTY INFORMATION

Address: 95 Commercial Way, Springboro, Ohio 45066
Legal Description: Lot #1 of Springboro Commercial Park Section Four of the City of Springboro.
Area: 2.9876 acres
Zoning: ED - Employment Center District
Flood Zone Designation: FIRM # 39165C0017E, effective date: December 17, 2010
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

SHEET INDEX

- C-0.0 : Title Sheet
- C-0.1 : General Notes
- C-1.0 : Existing Conditions
- C-1.1 : Demolition Plan
- C-2.0 : Site Plan
- C-3.0 : Grading & Erosion Control Plan
- C-4.0 : Utility Plan
- C-5.0 : County Details

Note: Architectural, Structural, Mechanical, Electrical and Plumbing Plans in separate set.



VICINITY MAP
Not to Scale



CIVIL ISSUE LOG		
Description	Proj:	25.115
Issued for Permit Review	Date	03.21.2024
	Draw:	AFD
	Check:	SRF
	Scale:	SEE SHEET
	Date:	03.28.2024
Sheet:		
TITLE SHEET		
Sheet No.:		
C-0.0		

GENERAL CONSTRUCTION NOTES

- Site/Civil Specifications: All plans, construction, materials, workmanship, and methods shall be in accordance with the current "Rules and Regulations" of City of Springboro and the Ohio Department of Transportation Construction and Material Specifications, current edition. When in conflict, the City requirements shall prevail.
- Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
- All sediment and erosion control measures, as shown on Sheet C-3.0, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.
- North arrow, existing topography, and property lines based on field survey of the subject property prepared by Burkhardt Engineering in February 2025. An ALTA/NSPS Land Title Survey was not performed, survey may not depict any or all easements impacting the subject property. A boundary survey was not completed on the property.
- Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
- The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
- Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
- The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards.
- All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
- The Contractor shall review all plans prior to construction and immediately report any conflicts and/or discrepancies to the engineer-of-record.
- All work within public rights-of-way shall be in accordance with the City of Springboro and the Ohio Department of Transportation rules, specifications, and regulations.

GENERAL DEMOLITION NOTES

- Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
- All items noted to be removed shall be done as part of the contract for general construction.
- Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
- The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
- The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
- For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
- The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
- Limits of removal and sawcut lines shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
- Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report if available.



GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the foundation wall.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
 - Curbings: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

- All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
- The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
- The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
- The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
- The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
- The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
- The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
- In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
- The Contractor shall provide positive drainage in all areas and away from all buildings.
- All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
- ADA accessible areas shall not exceed the following slopes:
 - Ramps - 1:12 (8.3%) max.
 - Routes - 1:20 (5.0%) max.
 - Parking - 1:50 (2.0%) max.
 - Cross Slopes - 1:50 (2.0%) max.

- The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
- Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to resurfacing and should be free of subsoil, debris, and stones.
- The Contractor shall establish permanent lawn vegetation (grass) in all areas disturbed by construction (including rights-of-way and adjacent properties), unless otherwise specified on landscape plans. Seed mixture, application rate, mulch, fertilization, and watering shall be appropriate for the local climate and soil conditions, to ensure a healthy stand of lawn. Provide Owner with alternate pricing for hydroseed.
- The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
- Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
- The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.
- The Contractor shall provide geotextile weed mat under all landscape mulch/stone and rip-rap.
- If field tiles are encountered, notify Engineer, field tiles will likely need to be replaced and connected to storm sewer system.
- Proposed spot elevations are provided in a truncated form to save space, add 700' to each spot elevation to convert the elevation to NAVD88 datum.

GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.
- The Contractor shall prepare and submit shop drawings of all site utility structures and materials to engineer-of-record for review, prior to ordering materials or construction.

SANITARY SEWER NOTES:

Contractor to provide 6" (min.) sanitary sewer service line from building to public sewer main. Install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-4.0.

Contractor to confirm sanitary inverts shown on this plan (as they exit the building) match what is provided on the Plumbing Plans, notify engineers of any conflicts.

Sanitary sewer service connection, permit and construction to be coordinated with the City of Springboro / Warren County Water Department.

WATER NOTES:

Contractor to provide domestic water service from public water main to building. Install tap, valves, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate building connection with Plumbing Plans.

Contractor to provide 1" domestic water service line from public water main to building. Install tap, meter, backflow preventer, and other appurtenances as required by the City of Springboro / Warren County Water Department. Coordinate building connection with Plumbing Plans.

Domestic water service lines shall be Type "K" Copper, or approved equivalent, installed per manufacturer's recommended procedures. Lines shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with the City of Springboro / Warren County Water Department.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (RCP, ASTM C76 - Class IV, minimum) or high-density polyethylene pipe (ADS N-12 WT, watertight, or equivalent), unless otherwise noted on plans. All pipe shall be installed according to manufacturer's specifications. All storm sewer pipe and joints to be watertight, including the downspout collection system.

Contractor to provide downspout splash blocks at all downspout locations per detail on Sheet C-4.0. See architectural plans for downspout locations.

All catch basins installed in sump areas to have finger drains as detailed on Sheet C-4.0.

Contractor to provide steps, as required by ODOT and OSHA, in all catch basins and manholes.

Storm sewer connection, permit and construction to be coordinated with the City of Springboro.

GAS NOTES:

Coordinate gas service lines, meter, and connections with Plumbing and Mechanical Plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, transformer, meter, and connections with Electrical Plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

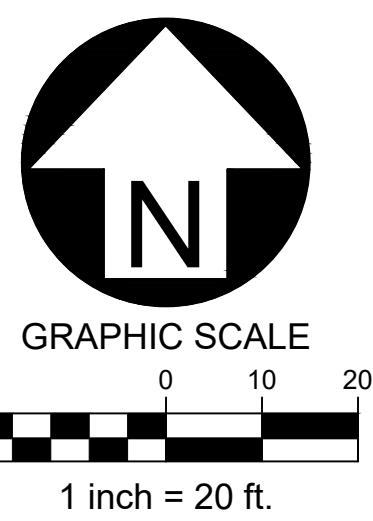


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Sheet:
GENERAL NOTES

Sheet No.:
C-0.1

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO



HAAS FACTORY OUTLET

SITE DEVELOPMENT PLANS FOR:
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT

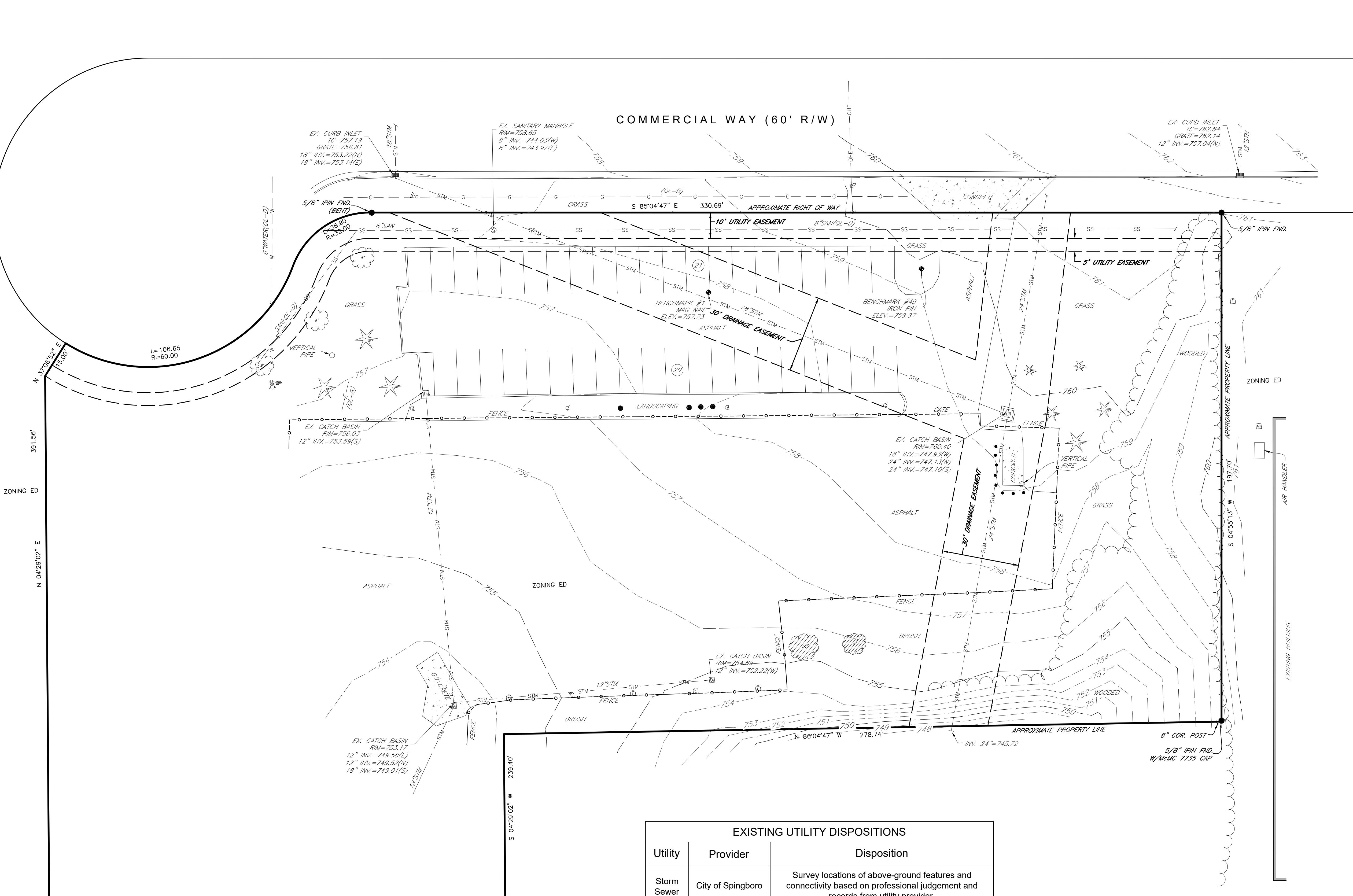
ENGINEERS & SURVEYORS

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Sheet:
EXISTING CONDITIONS

Sheet No.: **C-1.0**



EXISTING UTILITY DISPOSITIONS		
Utility	Provider	Disposition
Storm Sewer	City of Springboro	Survey locations of above-ground features and connectivity based on professional judgement and records from utility provider.
Water	City of Springboro	Survey location of above-ground features and connectivity based on record drawings from utility provider and Owner. Existing service locations unknown.
Sanitary Sewer	City of Springboro	Survey locations of above-ground features and connectivity based on professional judgement and records from utility provider. Existing service locations unknown.
Gas	CenterPoint Energy	Survey locations of above-ground features. No records from utility provider. Existing service locations unknown.
Electric	Duke Energy	Survey locations of above-ground features. No records from utility provider. Existing main and service locations unknown.
Telecom	Unknown	Survey locations of above-ground features. No records from utility provider. Existing main and service locations unknown.

ASCE SUBSURFACE UTILITY DEPICTION (ASCE 38-22)

QL-A : Precise horizontal and vertical location of utility by the actual exposure and subsequent measurement of subsurface utility.

QL-B : Information obtained through the application of appropriate surface geophysical methods to determine the existence and approximate horizontal position of subsurface utility. (811 or Utility Location Service)

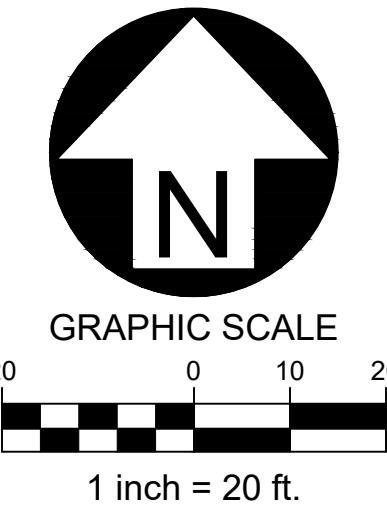
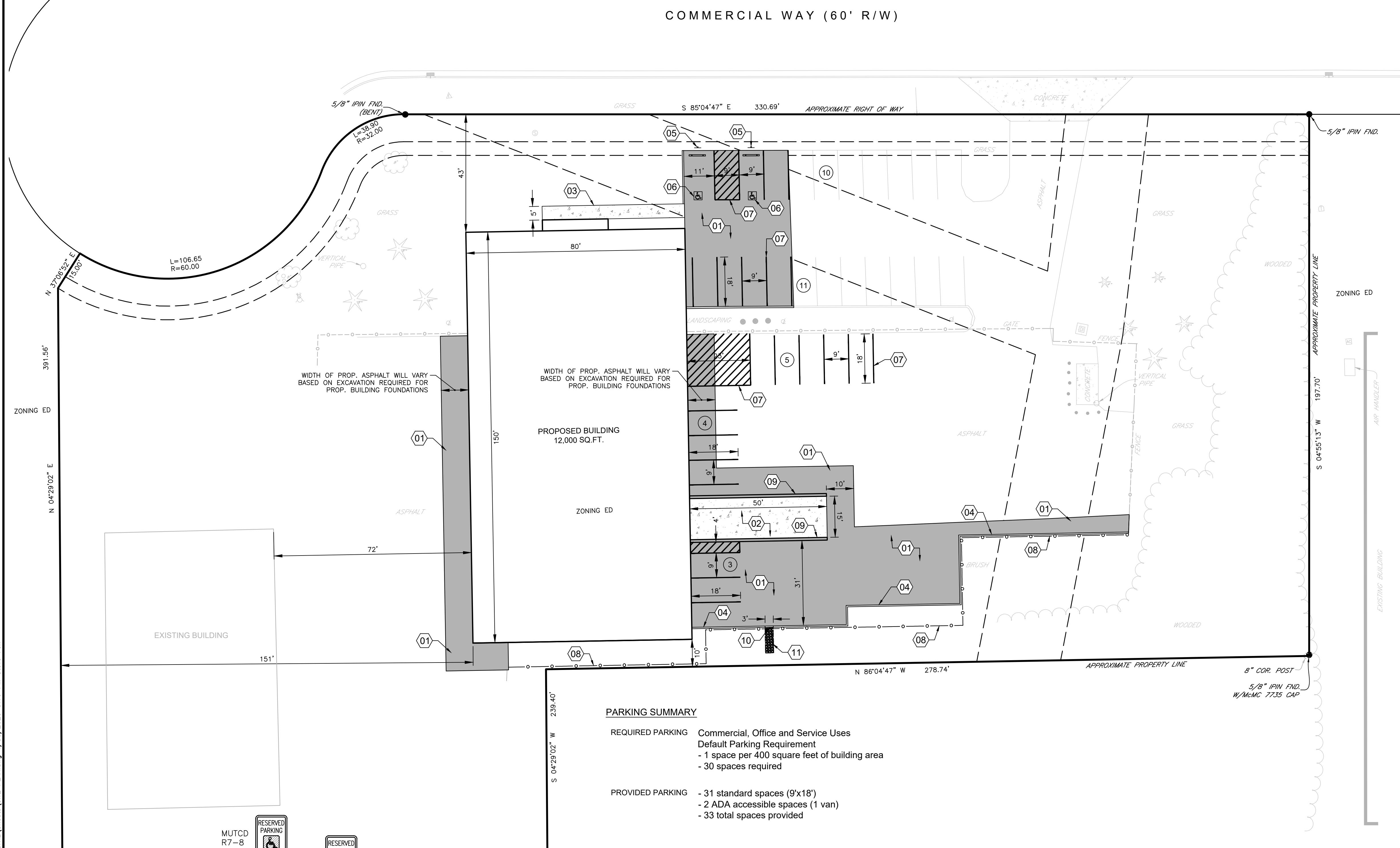
QL-C : Information obtained by surveying and plotting visible above-ground utility features and using professional judgement.

QL-D : Information derived from existing records or oral recollections.

*Utilities depicted are QL-C unless noted otherwise.

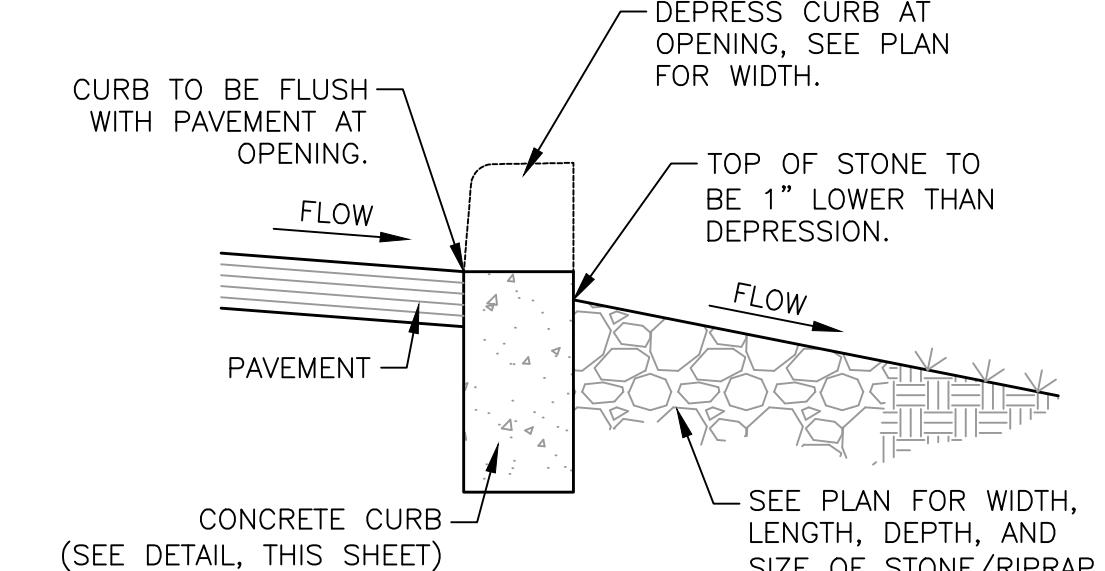
EXISTING LEGEND	
□	ELECTRIC CABINET
○	POWER POLE
↑	GUY ANCHOR
□	LIGHT POLE
△	FIBER OPTIC MARKER
○○	SANITARY CLEANOUT
◎	SANITARY MANHOLE
■	CURB INLET - ONE GRATE
□	CATCH BASIN - SQUARE
○	STORM MANHOLE
○○	FIRE HYDRANT
○○○	WATER MAIN VALVE
●	BOLLARD
●○	TREE W/ SIZE
●○○	EVERGREEN TREE
— SS —	EX. SANITARY SEWER
— STM —	EX. STORM SEWER
— W —	EX. WATER MAIN
— OHE —	EX. OVERHEAD ELECTRIC
— G —	EX. GAS MAIN





SITE KEYNOTES

- 01 ASPHALT PAVEMENT
- CONTRACTOR TO MATCH EX. ASPHALT PAVEMENT SECTION.
- PROP. ASPHALT MAY VARY BASED ON AREA REQUIRED FOR EXCAVATION FOR PROP. BUILDING.
- 02 CONCRETE PAVEMENT
- PER DETAIL / SHEET C-2.0
- 03 CONCRETE SIDEWALK
- PER DETAIL / SHEET C-2.0
- 04 CONCRETE BARRIER CURB
- PER DETAIL / SHEET C-2.0
- 05 ADA PARKING SIGNAGE
- PER DETAIL / SHEET C-2.0
- 06 ADA PARKING SYMBOL
- PER DETAIL / SHEET C-2.0
- 07 PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES.
- HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.
- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED WHITE.
- 08 PROP. FENCE
- MATCH EXISTING FENCE MATERIAL.
- SEE ARCHITECTURAL PLANS FOR DETAILS.
- 09 PROP. RETAINING WALL @ TRUCK DOCK
- RETAINING WALLS TO BE DESIGNED BY OTHERS.
- 10 PROP. CURB OPENING FOR DRAINAGE
- PER DETAIL / SHEET C-2.0
- 11 PROP. RIP-RAP
- ODOT TYPE C RIP-RAP
- 3'W x 12" DEEP



CURB OPENING FOR DRAINAGE DETAIL
NOT TO SCALE

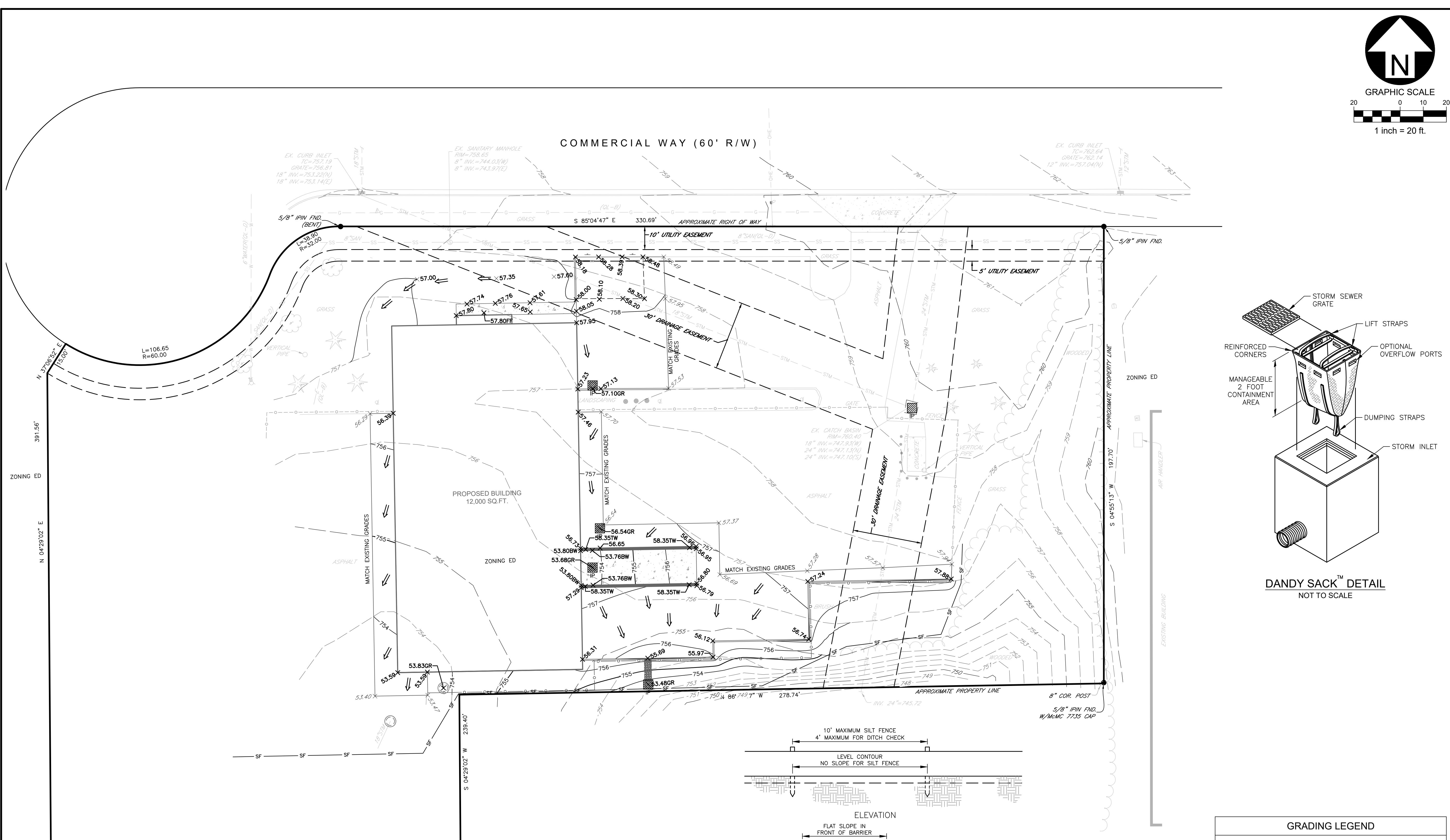
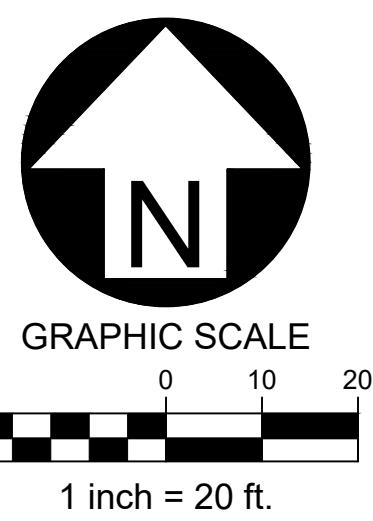
SITE & PAVEMENT LEGEND	
	NUMBER OF PARKING SPACES
	ADA PARKING SYMBOL SEE DETAIL / SHEET C-5.0
	CONCRETE WHEEL STOP SEE DETAIL / SHEET C-5.0
	PROP. CONCRETE PAVEMENT / SIDEWALK
	PROP. GRAVEL
	PROP. ASPHALT PAVEMENT

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HAAS FACTORY OUTLET
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

Date	Description
Sheet No.: C-2.0	



HAAS FACTORY OUTLET

SITE DEVELOPMENT PLANS FOR:
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

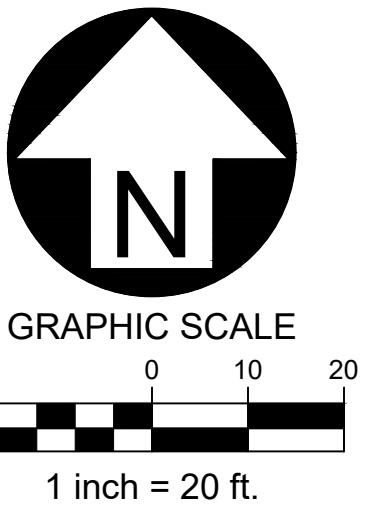
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Sheet:
GRADING & EROSION
CONTROL PLAN

Sheet No.:
C-3.0



1 inch = 20 ft.

HAAS FACTORY OUTLET

95 COMMERCIAL WAY

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

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UTILITY PLAN

Sheet No.:
C-4.0



<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR: <ol style="list-style-type: none"> CONTACTING THE INDIVIDUAL UTILITY OWNERS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE. SOLICITING THEIR AID IN LOCATING AND PROTECTING ANY UTILITY THAT MAY INTERFERE WITH CONSTRUCTION. EXAMINING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY. CALL THE OHIO UTILITY PROTECTION AT 811 AS REQUIRED BY STATE LAW. THE FOLLOWING ARE OWNERS OF UNDERGROUND UTILITIES AND SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION TO FIELD LOCATE SAID UTILITIES: <table border="0" style="width: 100%;"> <tr> <td style="width: 10%;">ELECTRIC</td> <td style="width: 10%;">DUKE ENERGY</td> <td style="width: 10%;">TELEPHONE</td> <td style="width: 10%;">WATER & SANITARY</td> <td style="width: 10%;">CABLE TELEVISION</td> <td style="width: 10%;">GAS</td> </tr> <tr> <td>210 DANA AVE, EF324</td> <td>10665 INNOVATION DR</td> <td>AT&T</td> <td>CITY OF SPRINGBORO</td> <td>SPECTRUM</td> <td>CENTERPOINT ENERGY</td> </tr> <tr> <td>CINCINNATI, OHIO 45207</td> <td>2834 MIAMISBURG—</td> <td></td> <td>320 W. CENTRAL AVE.</td> <td>9973 YANKEE STREET</td> <td>9973 YANKEE STREET</td> </tr> <tr> <td></td> <td>SPRINGBORO, OHIO 45342</td> <td></td> <td>CEMETERY ROAD</td> <td>CETREVILLE, OHIO</td> <td>CETREVILLE, OHIO</td> </tr> <tr> <td>513-651-4182</td> <td>937-388-4261</td> <td></td> <td>45342</td> <td>45342</td> <td>45342</td> </tr> <tr> <td></td> <td>937-748-0020</td> <td></td> <td>937-425-8859</td> <td>937-425-8859</td> <td>937-748-6184</td> </tr> </table> <ol style="list-style-type: none"> SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO. ALL CONSTRUCTION WITHIN THE R.O.W. SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE CITY OF SPRINGBORO STANDARDS AND/OR O.D.O.T. STANDARDS IN PLACE WHEN THESE PLANS ARE APPROVED. FOR WORK OUTSIDE THE R.O.W. THE STANDARDS SHALL BE SET FORTH IN THESE PLANS AND SPECIFICATIONS, ALONG WITH ANY CONTRACTUAL REQUIREMENTS BETWEEN THE DEVELOPER AND CONTRACTOR. ALL DISTURBED AREAS CREATED DURING CONSTRUCTION ARE TO BE SEEDED AS SOON AS POSSIBLE TO LIMIT EROSION AND TO STABILIZE THE SOIL. ALL WORK IN THE ROAD R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO STANDARDS AND/OR O.D.O.T. STANDARDS IN PLACE WHEN THESE PLANS ARE APPROVED. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED. THE CONTRACTOR SHALL RECORD THE LOCATION OF ALL IMPROVEMENTS INCLUDING SANITARY AND WATER SERVICES INSTALLED BY HIM UPON A SET OF DRAWINGS SUPPLIED TO HIM SPECIFICALLY FOR THIS PURPOSE BY THE ENGINEER. LOCATIONS OF SERVICES SHALL BE MADE AS DIRECTED BY THE ENGINEER. THESE DRAWINGS SHALL BE RETURNED TO THE ENGINEER AND DEVELOPER WHEN ALL SERVICES HAVE BEEN INSTALLED. CURBS SHALL BE MARKED TO SHOW THESE LOCATIONS. ENGINEER IS DEFINED AS THE DESIGN ENGINEER OR CITY ENGINEER. ALL STORM PIPE LENGTHS NOTED IN PLANS ARE TO CENTER OF STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT. ALL TRENCHES WITHIN THE R.O.W. SHALL BE BACKFILLED WITH O.D.O.T. #304 GRAVEL TO THE BOTTOM OF THE ASPHALT BASE PAVEMENT ELEVATION. THE ASPHALT SHALL BE PATCHED PURSUANT TO THE CITY OF SPRINGBORO'S STANDARDS. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH THE LIFE OF THE CONTRACT. THESE MAY BE THE USE OF, DIKES, SEDIMENT PITS, MULCHES, FILTER FABRICS AND OTHER DEVICES AND METHODS. PARTICULAR CARE SHALL BE TAKEN TO AVOID EROSION AND SEDIMENTATION OF EXISTING PAVED AND GRAVELED AREAS. NO PERSON SHALL INSTALL ANY PUMP, PIPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO A PUBLIC RIGHT-OF-WAY WITHOUT APPROVAL OF THE CITY OF SPRINGBORO ENGINEER. CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWING BP-7.1. HALF INCH EXPANSION JOINTS ARE TO BE LOCATED AT 100 FOOT INTERVALS AND CONTRACTION JOINTS ARE TO BE LOCATED AT FIVE (5') FOOT INTERVALS IN CURBING. CONTRACTOR SHALL AT THE END OF EACH WORK DAY REMOVE ANY MUD OR DEBRIS FROM THE ROAD PAVEMENT SURFACE. NO DIMENSIONS MAY BE SCALED. REFER UNCLEAR ITEMS TO THE DESIGN ENGINEER FOR INTERPRETATION. CONTRACTOR SHALL INCLUDE COST OF CITY INSPECTION IN UNIT PRICES BID. <p>SUBDIVISION GENERAL NOTES:</p> <ol style="list-style-type: none"> ITEM NUMBERS REFER TO THE 2016 OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND ALL WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS OF THE CITY OF SPRINGBORO REQUIREMENTS AND STANDARDS FOR SUBDIVISIONS. WHEN IN CONFLICT, THE CITY REQUIREMENTS SHALL PREVAIL. ITEMS THAT PERTAIN TO UNDERGROUND UTILITIES SUCH AS WATER MAIN PIPE, SANITARY SEWER, WATER VALVES AND MANHOLE FRAMES AND COVERS, ETC., WILL REMAIN UNDER SPECIFICATIONS OF THE UTILITY SERVING THE AREA. STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPRINGBORO CITY ENGINEER. ALL TRENCHES WITHIN THE RIGHT-OF-WAY AND FIFTEEN (15') FOOT UTILITY EASEMENTS SHALL BE COMPAKTED AND BACKFILLED IN ACCORDANCE WITH ITEM 203 AND 603 IN THE STATE SPECIFICATIONS. PRIOR TO THE SURFACE AND TACK COAT BEING APPLIED, ONE YEAR MUST PASS AFTER THE INTERMEDIATE COURSE HAS BEEN APPLIED. A WALK-THROUGH OF THE PROJECT SHALL TAKE PLACE WITH THE CITY ENGINEER AND A PUNCH LIST CREATED. DEVELOPER/CONTRACTOR SHALL COMPLETE PUNCH LIST PRIOR TO THE PLACEMENT OF SURFACE COURSE. DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONDUITS FOR THE FULL WIDTH OF THE PUBLIC RIGHT-OF-WAY AS CALLED FOR ON THE TYPICAL SECTION FOR USE BY THE ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES. THE LOCATION OF THE LINES SHALL BE COORDINATED WITH UTILITY COMPANIES BY THE DEVELOPER. ALL ELECTRICAL TRANSFORMERS SHALL BE LOCATED SO THAT THEY DO NOT INTERFERE WITH EXISTING OR PROPOSED MANHOLES OR WATER MAIN APPURTENANCES. SUMP DRAIN LINES SHALL BE FOUR INCH (4') OR SIX INCH (6') PVC SOLID WALL PIPE (SDR 35 OR 40). SEE SUMP DRAIN DETAILS. MINIMUM TEN (10') FOOT HORIZONTAL, AND EIGHTEEN (18') INCH VERTICAL SEPARATION BETWEEN WATER MAIN AND SANITARY AND/OR STORM SEWER. ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN FOUR (4') FEET SHALL BE PROVIDED WITH STEPS. ALL DISTURBED AREAS CREATED DURING CONSTRUCTION ARE TO BE SEEDED AS SOON AS POSSIBLE TO LIMIT THE EROSION AND STABILIZE SOIL. INSTALL CENTRAL MAILBOX AT A LOCATION AGREED UPON BY THE POSTMASTER. CITY OF SPRINGBORO WILL NOT BE RESPONSIBLE FOR ANY PAVEMENT OR STORM SEWER REPAIRS RESULTING FROM WATER MAIN AND SANITARY SEWER REPAIRS. CITY OF SPRINGBORO ALSO WILL NOT BE RESPONSIBLE FOR ADJUSTING MANHOLES, VALVES, FIRE HYDRANTS, METER PITS, ETC., AS A RESULT OF GRADE CHANGES. <p>SANITARY SEWER NOTES:</p> <ol style="list-style-type: none"> ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED. SANITARY MANHOLES SHALL BE PRECAST, CONFORMING TO ASTM C-478, OR MONOLITHIC CONSTRUCTED OF CLASS 'A' 4000 PSI. JOINTS BETWEEN PRECAST SANITARY MANHOLE SECTIONS SHALL CONFORM TO ASTM C-443. SANITARY SEWER PIPE AND FITTINGS SHALL BE ABS, PVC OR PVC TRUSS PIPE. ABS PIPE SHALL CONFORM TO ASTM D-2680 AND JOINTS SHALL CONFORM TO ASTM D-2235. UTILIZE SDR 35 PIPE FOR COVER DEPTHS BETWEEN 0 AND 14 FEET. FOR COVER AT 14 FEET AND OVER, USE PVC SDR 26. SANITARY SEWER PIPE JOINTS SHALL CONFORM TO ASTM D-2855. ALL SANITARY LATERALS SHALL BE OF THE SAME PIPE MATERIAL AS THE MAIN LINE SANITARY SEWER. THERE MUST BE TEN (10') FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY, STORM AND/OR WATER LINES. NO CONSTRUCTION SHALL COMMENCE UNTIL THE CITY OF SPRINGBORO SANITARY DEPARTMENT PERMITS HAVE BEEN ISSUED. NO ADDITIONS, DELETIONS, OR REVISIONS TO THE SANITARY SEWER AND/OR WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGBORO ENGINEER. WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWER, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN. ALL SANITARY SEWERS AND/OR WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO CITY OF SPRINGBORO SPECIFICATIONS. CHANNEL THE BOTTOMS OF ALL MANHOLES. MANHOLE LATERALS SHALL HAVE AN INVERT SIX (6) INCHES ABOVE THE MAIN INVERT. PROVIDE CHANNEL FOR LATERALS IN MANHOLE BOTTOM. SEWER LATERALS SHALL EXTEND TO THE HOUSE SIDE OF UTILITY EASEMENTS AND SHALL BE MARKED BY TWO (2) INCH BY FOUR (4) INCH OR LARGER POSTS. THE POST SHALL BE PAINTED RED. A SIX (6) FOOT LENGTH OF #6 REINFORCING BAR SHALL BE INSTALLED AGAINST THE TWO (2) INCH BY FOUR (4) INCH POST. ALL MANHOLES NOT IN THE FRONT YARD OR DRIVEWAYS MUST BE RAISED TO PROVIDE THE FINAL ELEVATION OF ONE (1) FOOT ABOVE FINISHED GRADE. ALL SANITARY LATERALS ARE TO BE FOUR (4) INCHES. ALL SANITARY SEWER LATERALS SHALL BE AT LEAST TWO (2) FEET BELOW A PROPOSED BASEMENT FLOOR ELEVATION AT THE CONNECTION TO THE SEWER MAIN AND SHALL NOT EXCEED A DEPTH OF TWELVE (12) FEET BELOW FINISH SEWER AS POSSIBLE. WATER CROSSES BELOW SANITARY SEWER, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN. ALL SANITARY SEWERS AND/OR WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO CITY OF SPRINGBORO SANITARY DEPARTMENT SPECIFICATIONS. AIR TEST- <ol style="list-style-type: none"> THE AIR TEST SHALL, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER TEST PROCEDURES APPROVED BY THE CITY OF SPRINGBORO. ALL AIR TEST SHALL BE DONE PRIOR TO FINAL INSPECTION BY THE CONTRACTOR IN THE PRESENCE OF THE CITY OF SPRINGBORO WHO WILL DETERMINE IF THE TESTED PIPE SPAN IS ACCEPTABLE. THE AIR TEST IS CONDUCTED BETWEEN TWO CONSECUTIVE MANHOLES. THE PIPE OUTLETS MUST BE PLUGGED IN THE SECTION BEING TESTED USING APPROVED TEST PLUGS. ONE OF THESE PLUGS MUST BE TAPPED AN USED FOR FILLING THE TEST SECTION WITH COMPRESSED AIR. AT THE TIME OF THE TEST, EACH MANHOLE SHALL BE INSPECTED BY THE CITY OF SPRINGBORO TO DETERMINE POSSIBLE LEAKS. QUESTIONABLE MANHOLES SHALL BE VACUUM TESTED. DEFLECTION TEST- <ol style="list-style-type: none"> DEFLECTION TESTS SHALL BE PERFORMED BY THE CONTRACTOR ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL IS BEEN IN PLACE IN AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NOT DEFLECTED EXCEED A DEFLECTION OF 5 PERCENT. IF DEFLECTION EXCEEDS 5 PERCENT, REPLACEMENT OR CORRECTIONS SHALL BE AS DIRECTED BY THE CITY OF SPRINGBORO. THE RIGID BALL OR MANDREL USED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER OF NOT LESS THAN 95 PERCENT OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX OF SAID ASTM SPECIFICATION, TO WHICH THE PIPE IS MANUFACTURED. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES. VACUUM TESTING- <ol style="list-style-type: none"> EACH MANHOLE SHALL BE TESTED IMMEDIATELY AFTER ASSEMBLY AND PRIOR TO BACKFILLING. ALL LIFT HOLES SHALL BE PLUGGED WITH AN APPROPRIATE NON-SHRINK GROUT. NO GROUT WILL BE PLACED IN HORIZONTAL JOINTS BEFORE TESTING, UNLESS PRIOR APPROVAL IS GRANTED BY THE CITY OF SPRINGBORO. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE CONE SECTION AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. VACUUM OF TEN INCHES (10') OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME MEASURED FOR THE VACUUM TO NOT DROP BELOW NINE INCHES (9') OF MERCURY. THE MANHOLES SHALL PASS THE TEST IF THE TIME MEETS OR EXCEEDS THE ONE HUNDRED AND FIFTY SECONDS (150'). IF THE MANHOLE FAILS THE VACUUM TEST, NECESSARY REPAIRS SHALL BE MADE WITH NON-SHRINK GROUT. RETESTING SHALL PROCEED UNTIL A SATISFACTORY TEST IS OBTAINED. <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <tr> <td style="width: 25%;">DEPTH OF MANHOLE</td> <td style="width: 25%;">48" DIAMETER</td> <td style="width: 25%;">60" DIAMETER</td> <td style="width: 25%;">72" DIAMETER</td> </tr> <tr> <td>0 - 10 FEET</td> <td>48 SECONDS</td> <td>90 SECONDS</td> <td>120 SECONDS</td> </tr> <tr> <td>11 - 20 FEET</td> <td>80 SECONDS</td> <td>120 SECONDS</td> <td>150 SECONDS</td> </tr> <tr> <td>21 - 30 FEET</td> <td>120 SECONDS</td> <td>150 SECONDS</td> <td>180 SECONDS</td> </tr> </table> <p>STORM SEWER NOTES:</p> <ol style="list-style-type: none"> THERE MUST BE A TEN (10') FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY, STORM AND/OR WATER PIPES. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO STANDARDS. STORM SEWER PIPE SHALL BE RCP ASTM C-76 (CL-4) UNLESS OTHERWISE NOTED. ADS N-12 (SMOOTH WALL) PIPE MAY BE USED WHERE SPECIFIED AS 'DPE' AS NOTED ON PLANS. ALL STORM MANHOLES ARE TO BE TYPE 'A' UNLESS NOTED OTHERWISE. CHANNEL THE BOTTOMS OF ALL MANHOLES. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED OR TIED TO THE STORM SEWER SYSTEM. ALL CATCH BASINS SHALL BE CITY OF SPRINGBORO STANDARD, AS PER PLAN UNLESS NOTED OTHERWISE. ALL SUMP DRAINS SHALL BE PVC-SDR 35 WITH TEES AND CAPS AS SHOWN. ALL ROADSIDE CATCH BASINS TO CONTAIN FISH LOGO AS SHOWN ON STANDARD DRAWINGS AND BICYCLE SAFE GRATES. 	ELECTRIC	DUKE ENERGY	TELEPHONE	WATER & SANITARY	CABLE TELEVISION	GAS	210 DANA AVE, EF324	10665 INNOVATION DR	AT&T	CITY OF SPRINGBORO	SPECTRUM	CENTERPOINT ENERGY	CINCINNATI, OHIO 45207	2834 MIAMISBURG—		320 W. CENTRAL AVE.	9973 YANKEE STREET	9973 YANKEE STREET		SPRINGBORO, OHIO 45342		CEMETERY ROAD	CETREVILLE, OHIO	CETREVILLE, OHIO	513-651-4182	937-388-4261		45342	45342	45342		937-748-0020		937-425-8859	937-425-8859	937-748-6184	DEPTH OF MANHOLE	48" DIAMETER	60" DIAMETER	72" DIAMETER	0 - 10 FEET	48 SECONDS	90 SECONDS	120 SECONDS	11 - 20 FEET	80 SECONDS	120 SECONDS	150 SECONDS	21 - 30 FEET	120 SECONDS	150 SECONDS	180 SECONDS
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HAAS FACTORY OUTLET

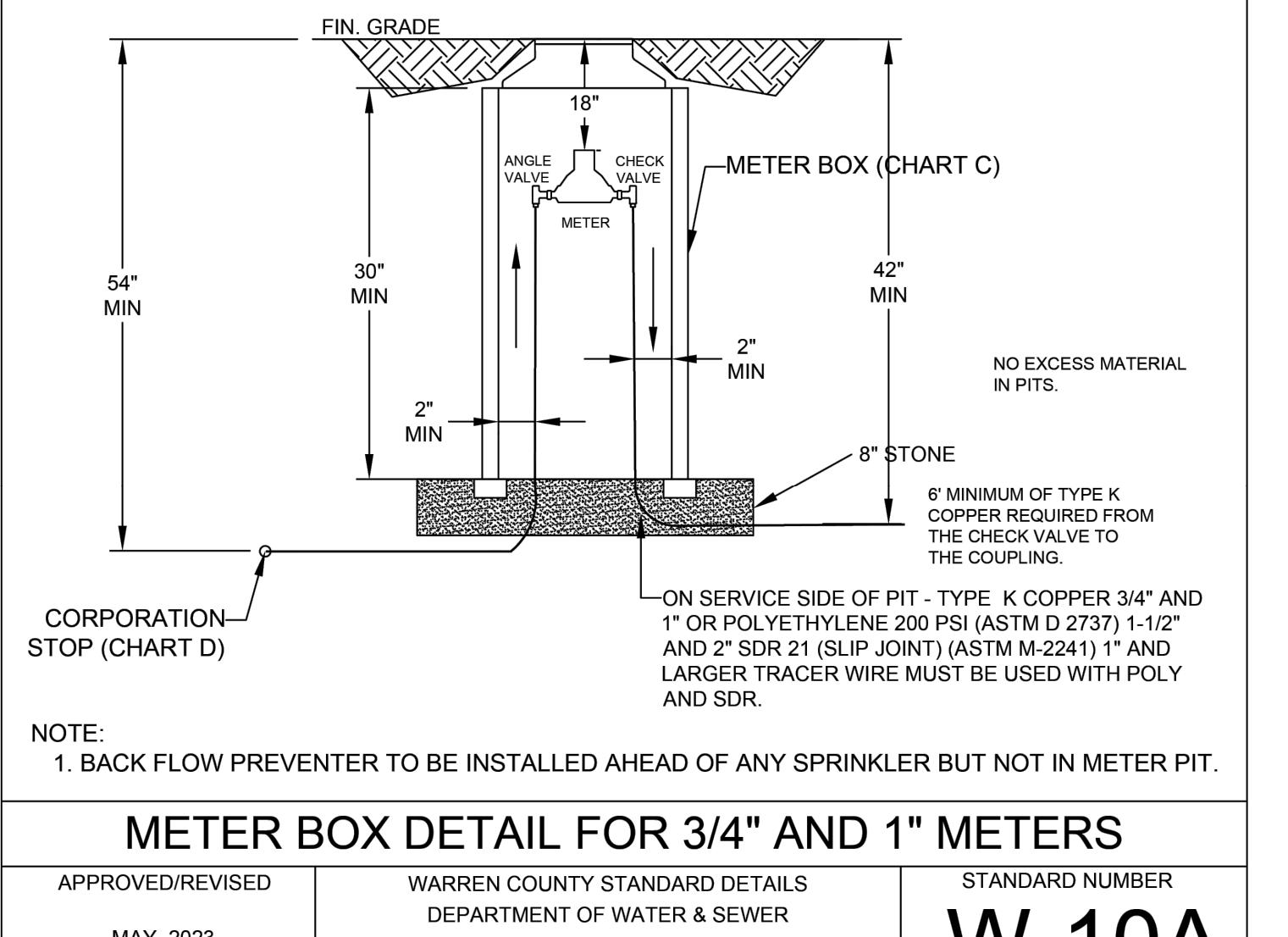
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT
ENGINEERS & SURVEYORS

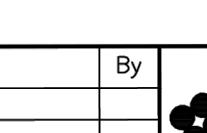
28 North Chard Street | Germantown, Ohio 45327 | Phone: 337-388-0660 | BURKHARDT.COM

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Check:	SRF	Tab:	
Scale:	SEE SHEET		
Date:	03.28.2024		
Sheet:			
COUNTY DETAILS			
Sheet No.: C-5.0			

METER SIZE	CHART A ANGLE VALVE	CHART B CHECK VALVE	CHART C METER PIT & COVER	CHART D CORP STOP	CHART E COUPLINGS
3/4"	MUELLER P24258-1 FORD BA3-322W MCDONALD 4802 B-22	MUELLER P14289 FORD HA34-233 MCDONALD 02342	METER PIT 20X30" SIGMA #2030-SW-W ROUND STRAIGHT WALL COVER FORD C-3T OR EQUAL	MUELLER P-15008 FORD FB1000 MCDONALD MAC-PAK COMPRESSION	FORD C44-33 MUELLER P 15403 MCDONALD 4758-22
5/8"					
1"	FORD BA43-444W	FORD HA34-444	METER PIT 20X30" SIGMA #2030-SW-W ROUND STRAIGHT WALL COVER FORD C-3T OR EQUAL	FORD FB1000	FORD C44-44 MUELLER P 15403 MCDONALD 4758-22
DOUBLE 3/4"	FORD UVB43-32W	FORD HA34-323	METER PIT 20X30" SIGMA #2030-SW-W ROUND STRAIGHT WALL COVER FORD C-3T OR EQUAL	FORD FB1000	FORD C44-33 MUELLER P 15403 MCDONALD 4758-22



LSSE
Civil Engineers and Surveyors



LSSE

5980 Wilcox Place, Suite J
Dublin, Ohio 43016
Phone: (614) 395-1661
Corporate: (412) 264-4400
Email: info@lsse.com

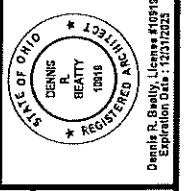
File#: 308-343TT.dwg

Date: August 2023

Maronda Homes

Clearview Crossing
at Stone Ridge
Final Development Plans
Studied In
City of Springboro, Warren County, Ohio

Sheet Title
General Notes



Dennis R. Beatty
architect
1900 FIRST AVENUE
MIDDLETON, OHIO 45044
EMAIL: ARCHITECT@CINCIGR.COM
TEL: 513.424.8333

• Residential • Commercial • Industrial



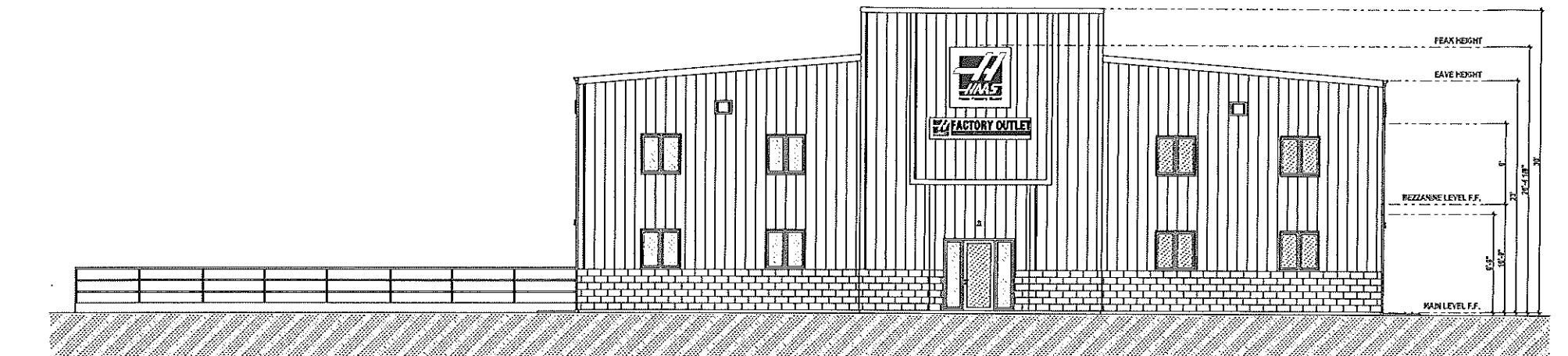
PROPOSED NEW BUILDING FOR:
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

Front & Right Side Elevations

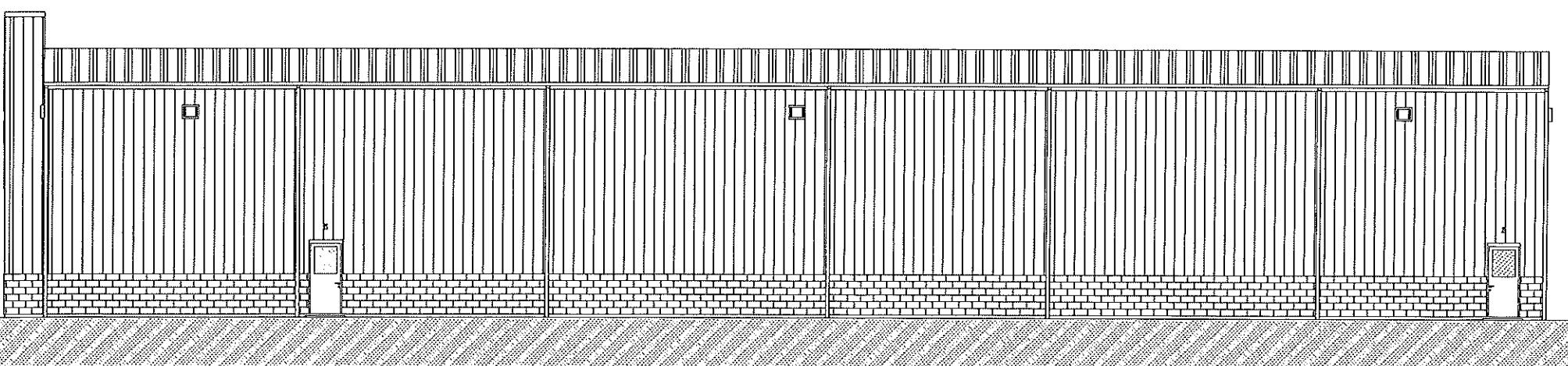
4.9.2025
As Noted
Chad D. Piquignot
FCDP25020

A-2

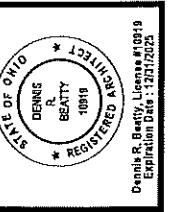
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IT IS THE RESPONSIBILITY OF THE OWNER TO MAKE
THE OWNER CAN NOT GUARANTEE AGAINST THE PLAN
BEING USED FOR CONSTRUCTION. IT IS THE
OWNER'S RESPONSIBILITY TO CHECK THE PLAN
AGAIN. ALL PLANS & CHECK ALL DIMENSIONS AND
SPECIFICATIONS. THIS PLAN IS NOT TO BE USED
FOR CONSTRUCTION UNTIL THE DESIGN
OF ANY MATERIALS.



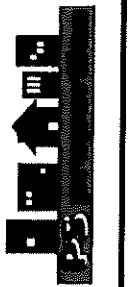
Front Elevation
SCALE: 3/16" = 1'-0"



Right Side Elevation
SCALE: 3/16" = 1'-0"



Dennis R. Beatty
Architect
1900 FIRST AVENUE
MIDDLETON, OHIO 45044
EMAIL: ARCHITECT@CINCIRR.COM
TEL: 319.424.3333 FAX: 319.424.3333
• Residential • Commercial • Industrial

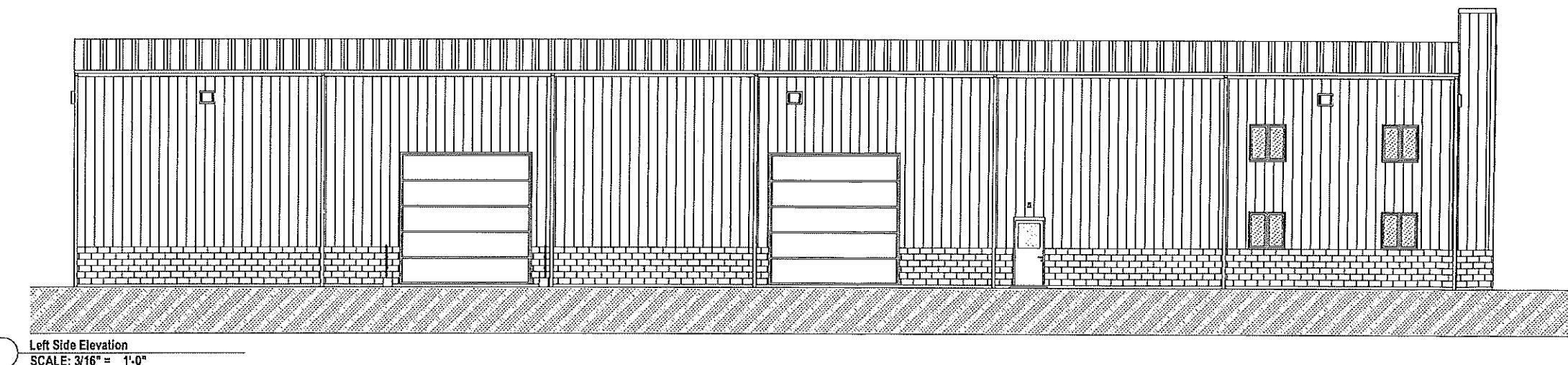


PROPOSED NEW BUILDING FOR:
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

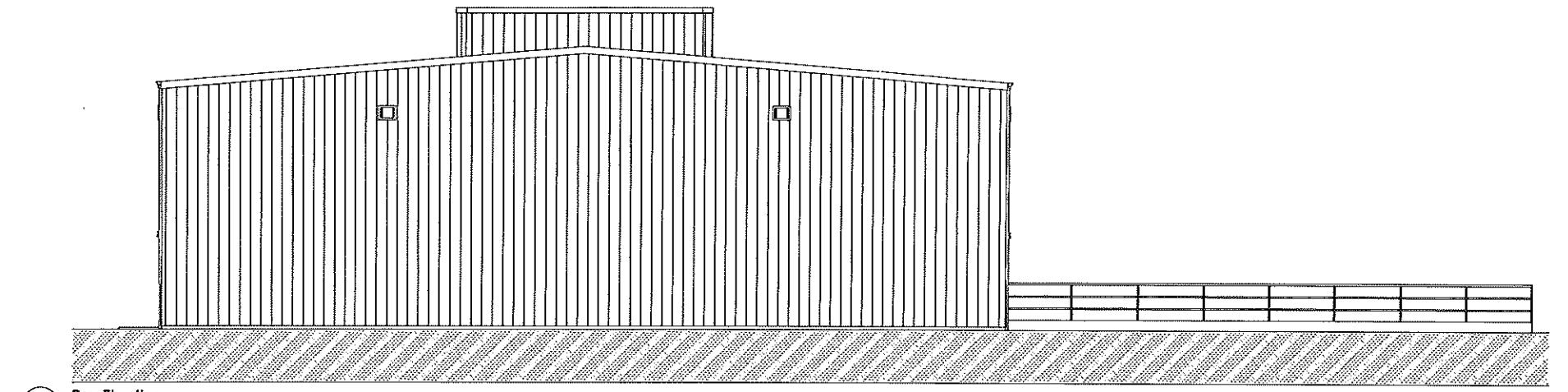
Rear & Left Side Elevations

Date: 4.9.2025
By: As Noted
Reviewed: Chad D. Requinot
Project: #CDP25528
Drawn by:

A-2.1

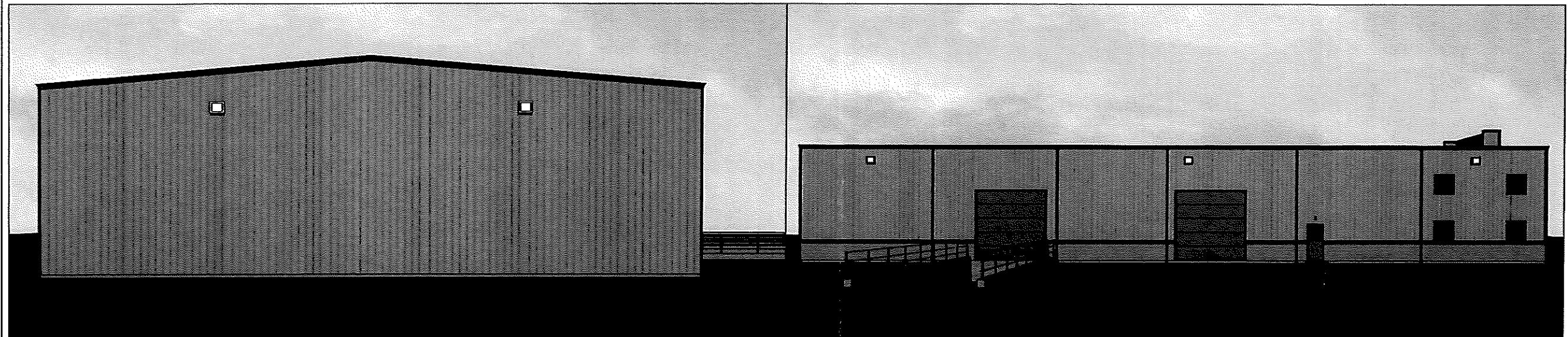
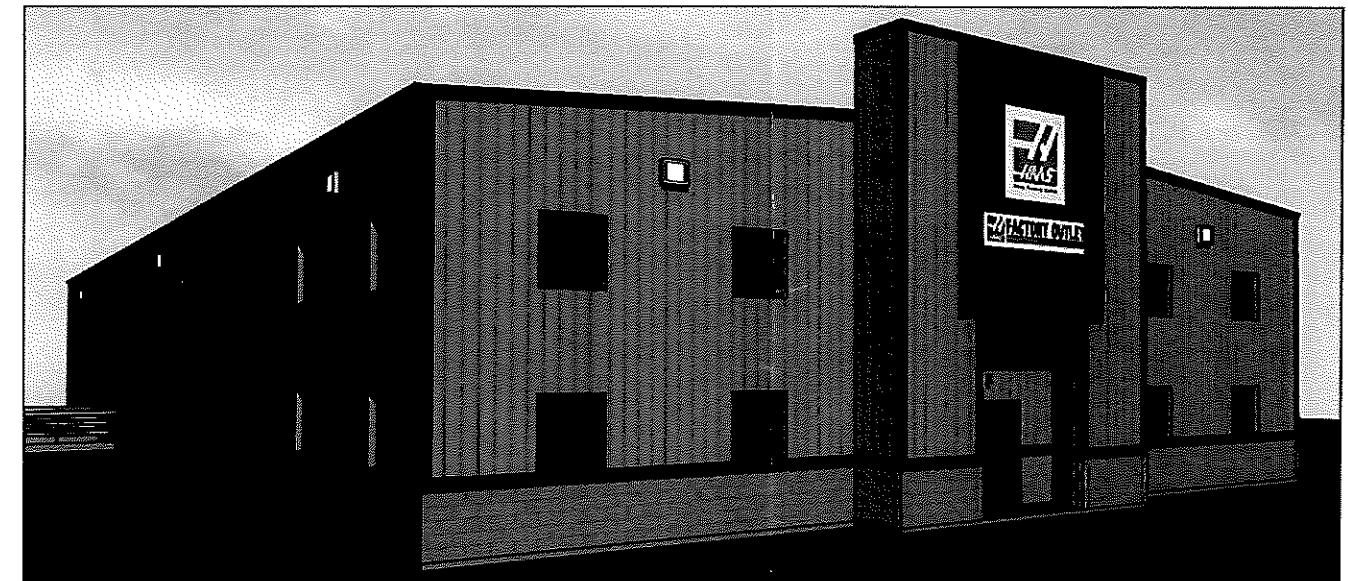
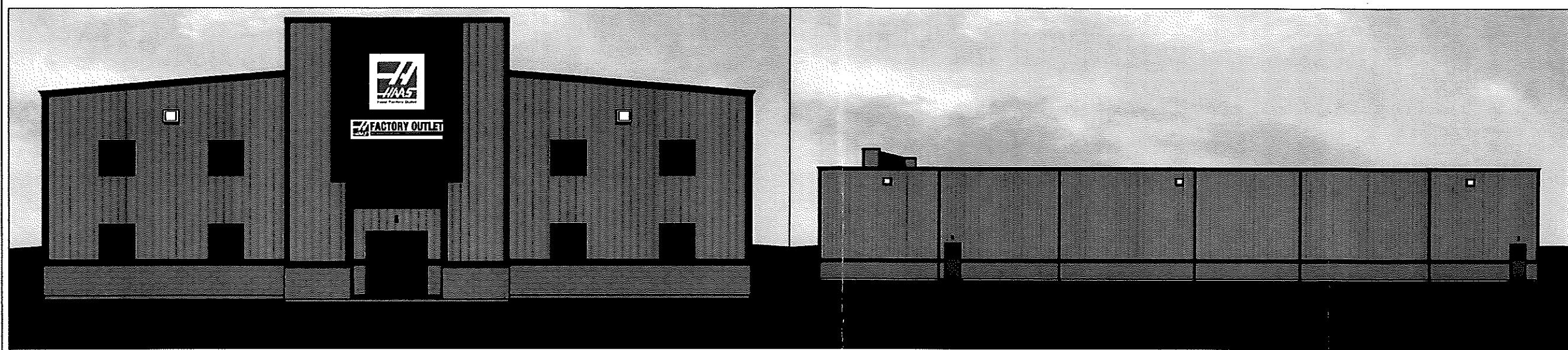


Left Side Elevation
SCALE: 3/16" = 1'-0"

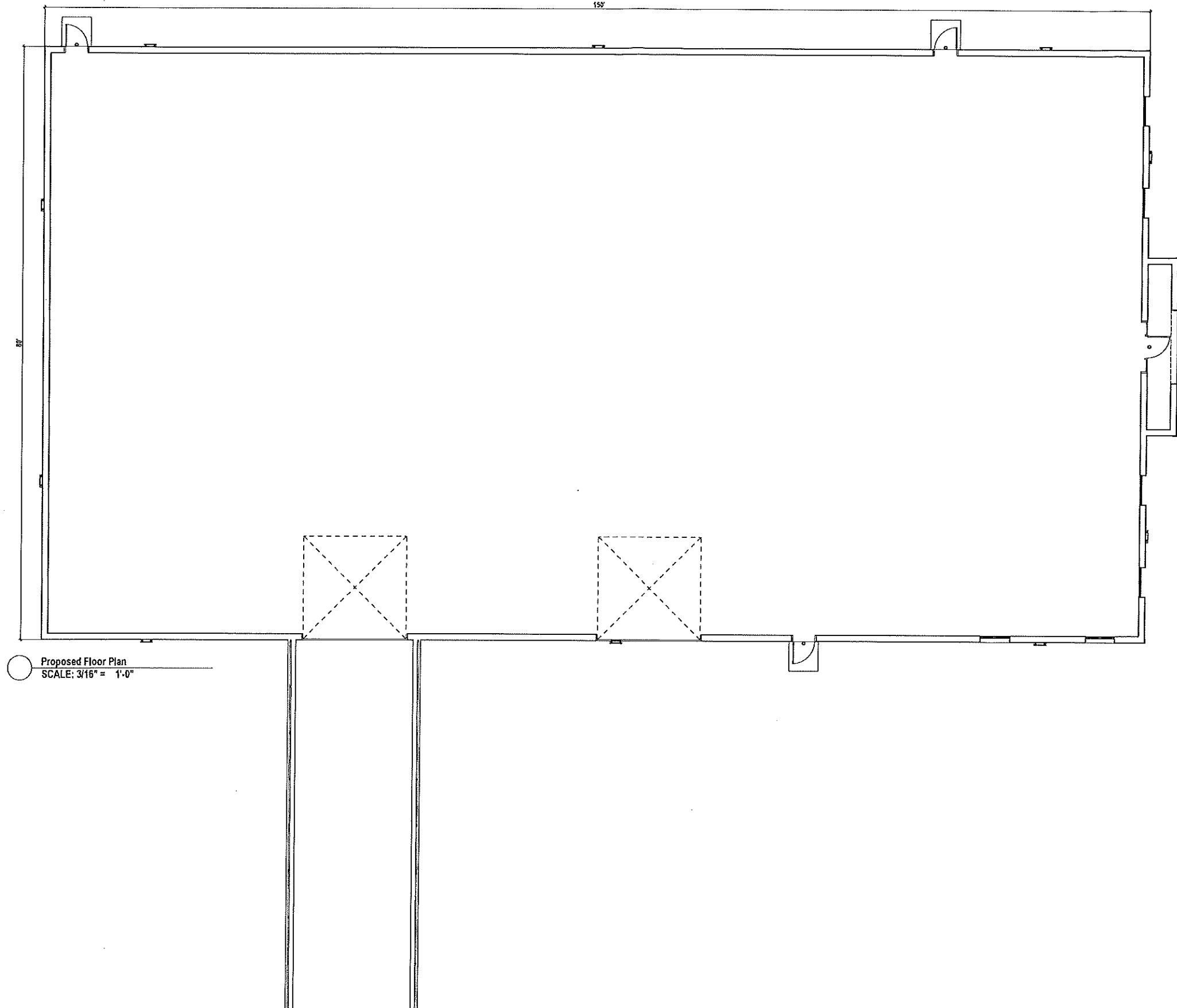


Rear Elevation
SCALE: 3/16" = 1'-0"

WHILE EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, THE MAPS CAN NOT GUARANTEE AGAINST THE USE OF OUTDATED INFORMATION. THE MAPS ARE FOR INFORMATIONAL PURPOSES ONLY. REVIEW ALL PLANS & CHECK ALL DRAWINGS AND SPECIFICATIONS FOR THE LATEST AND CURRENT INFORMATION. THE STATE OF OHIO DISCLAIMS ANY LIABILITY FOR THE USE OR MISUSE OF ANY MATERIALS.



	
FACTORY OUTLET 	
Conceptual 3D Images	
PROPOSED NEW BUILDING FOR:	
	
95 COMMERCIAL WAY SPRINGBORO, OH 45066	
	



<p>STATE OF OHIO DENNIS R. BEATTY REGISTERED ARCHITECT 1999 Dennis R. Beatty, License #5059 Expiration date: 06/2025</p>	
<p>Dennis R. Beatty architect 1910 FIRST AVENUE MIDDLE TOWNSHIP, OHIO 45044 EMAIL: ARCHITECT@GMAIL.COM TELE: 513-342-5343 FAX: 513-342-5343</p>	
<p>* Residential • Commercial • Industrial</p>	
<p></p>	
<p>PROPOSED NEW BUILDING FOR FACTORY OUTLET</p> <p>95 COMMERCIAL WAY SPRINGBORO, OH 45066</p>	<p>4.9.2025 As Noted Chad D. Pequinot DCOP25028 Sheet Number</p>
<p>WHILE EVERY EFFORT IS MADE TO ENSURE THE ACCURACY OF THE PLANS, NO WARRANTY IS MADE AS TO THE ACCURACY OF THE PLANS. THE MAKER OR OWNER OF THE PLANS SHALL NOT BE HELD LIABLE FOR ANY DAMAGES, DIRECT OR CONSEQUENTIAL, WHICH MAY RESULT FROM THE USE OF THESE PLANS. THE MAKER OR OWNER OF THE PLANS SHALL NOT BE HELD LIABLE FOR ANY DAMAGES, DIRECT OR CONSEQUENTIAL, WHICH MAY RESULT FROM THE USE OF THESE PLANS. THE STATE OF CONSTRUCTION PAYS THE RISKS OF ANY MATERIALS.</p>	

The Lawn (SR 73)

Submittals

APPLICATION“ PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME** Taft Stettinus & Hollister LLP, c/o Sonya Jindal Tork, Esq.
 Agent
 Lessee **Address** 425 Walnut Street, Suite 1800
 Signed Purchase
Contract Cincinnati, OH 45202

Telephone No. (513) 498-8756

Fax No. (513) 381-0205

Email Address jindal@taftlaw.com

PROPERTY OWNER NAME (IF OTHER): Anne Easton-Hansen, Charles A. Easton,
Terry C. Easton, James Kevin Swallow, Carrie Kendall

Address: 503 Watkins Pond Blvd.
Rockville, MD 20850

Telephone No. (937) 776-9813

Property Address or General Location: 0 W. Central Avenue Springboro, OH 45066

Parcel Number(s): 0414301006 Acreage: 35.601

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: Please see pg. 12 of the PUD package for the acreage by category.

For Residential Proposed Density 24 du/ac Number of Residential Units 335

Proposed Use: The proposed use is a mixed-use development featuring multi-family residential, retail, and public space.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Sonya Jindal

(Signature of Applicant and/or Agent)

3/20/2025

(Date)

Sonya Jindal Tork, Esq.

Printed Name

[APRIL 25, 2025]

PLANNED UNIT DEVELOPMENT APPLICATION
CITY OF SPRINGBORO, OHIO
PLANNING COMMISSION

THE LAWN SPRINGBORO

PREPARED BY:

K+CO.

Development Team

KINGSLEY & CO.

Cincinnati, OH
(513) 903-7019
info@kingsleyandcompany.com

CHINEDUM NDUKWE, FOUNDER + CEO

Email: ck@kingsleyandcompany.com

DANIEL BUCHENROTH, DEVELOPMENT MANAGER

Email: daniel@kingsleyandcompany.com

DESIGN

YARD & CO.

Cincinnati, OH
(513) 813-8266

ENGINEERING

KLEINGERS

West Chester, OH
(513) 779-7851

LEGAL

TAFT LAW

Cincinnati, OH
(513) 381-2838

JOE NICKOL, PRINCIPAL

Email: joe@buildwithyard.com

TROY MESSER, CIVIL ENGINEER

Email: troy.messer@kleingers.com

SONYA JINDAL TORK, LEGAL COUNSEL

Email: jindal@taftlaw.com

JAKE BLACKBURN, CIVIL ENGINEER

Email: jake.blackburn@kleingers.com

Introduction

The Lawn in Springboro, Ohio, (project site) is located along West Central Avenue adjacent to The Enclave of Springboro (355 W Central Ave) and Tractor Supply Co. (505 W Central Ave). The 35-acre site sits centrally between the I-75 interchange and Wright Station at the Central Avenue and Main Street intersection and is across from the SureCare Medical Center and Springboro Municipal Building. Twin Creek runs through the middle of the site, providing a valuable natural asset.

The vision for the proposed mixed-use development of The Lawn supports the City's implementation of key goals and objectives included in the 2022 Springboro Master Plan. The Master Plan is founded on four themes: growth, experience, connectivity, and identity. The Lawn advances aspects of all four by: enhancing an existing neighborhood and community assets, introducing a diverse set of new housing types and retail opportunities, activating a vacant site, providing new pedestrian and bicycle connections, and enhancing the visual identity of Springboro along a major roadway.

The Lawn further aligns with the Master Plan's recommended Future Land Use. The project site is identified as mixed-use and is located within the Plan's Policy Area 7: City Services Center (p.60). This is described as a transitional area between the highway-oriented development patterns and the convenience retail focus at the Central Avenue & Main Street intersection. PA7 encourages these aspects which have been incorporated into the proposed Concept Plan for The Lawn:

- Pedestrian access along SR 73/Central Ave
- Retail to serve adjacent residents
- Connection between North Park and the Community Park
- Buildings oriented to SR73/Central Ave
- Mix of residential types
- Development that serves as a buffer between non-residential uses and surrounding neighborhoods



The 2022 Master Plan also provides connectivity recommendations. The proposed Concept Plan will “enhance pedestrian connections to adjacent residential areas” (p.90) through separated walkways, multi-use paths, and safe street crossings. It will also “enhance the character of the major roadways to slow down traffic” (p.94) by orienting buildings toward West Central Avenue and providing sidewalks, street trees, pedestrian-scaled fixtures, and mid-block crossings.

The thorough community engagement conducted throughout the master planning process provides an additional understanding of community preferences relevant to this proposed Concept Plan. Within the topic of housing, residents noted “a desire to see housing more friendly to young professionals, single people, young families, and older retirees (p. 20).” A majority of residents who intend to move within the next 5 years want to remain in Springboro and are seeking a smaller residence. Denser housing typologies like townhomes and small apartment buildings were most encouraged along Central Avenue and Main Street. Plan participants most commonly requested “more trails, parks, and naturalized areas” (p.19) when asked about future open space improvements. Additionally, residents are eager to have high-end dining, cafes, and entertainment venues to enjoy within Springboro. When presented with three growth scenarios, a balanced approach to development was most favored among plan participants (48%, p.24-25). This scenario included a diverse housing stock designed to attract younger and older populations and support new retail options while limiting impacts on the local school system.

The Lawn concept further provides an opportunity to implement a portion of a key project described in the 2020 Bicycle and Pedestrian Plan. The Plan describes a vision for a future Central Greenway intended to serve as the backbone of the City’s pedestrian and bicycle network. When built, the Central Greenway will link neighborhoods, parks, and people to each other and the regional trail system. This proposed concept plan incorporates trail development along the Twin Creek connecting North Park to the Community Park.



PLANNING COMMISSION APPROVAL CRITERIA

Fulfillment of all Requirements for Planning Commission Recommendation under Springboro Zoning Code Section 1266.10

The Lawn proposed development and its related application for amendment of the zoning map and General Plan meet all of the criteria required for the Planning Commission to recommend an amendment to the Official Zoning Map of the City of Springboro and the General Plan for approval to City Council, as outlined in Springboro Code Section 1266.10.

1. Conformance with General Development Plan: The proposed PUD zoning and General Plan for The Lawn Springboro are fully aligned with the City of Springboro's Master Plan (which replaced its previous General Development Plan), supporting plans, and related legislation. This alignment is particularly evident in how the project embodies the vision for Policy Area 7 (Central SR 73 Corridor), as outlined in the Master Plan. Specifically, The Lawn Springboro aligns with Policy Area 7 by:

- Encouraging mixed-use development along a major corridor: The project's integration of residential, retail, and recreational spaces creates a vibrant mixed-use environment along the SR 73 corridor, precisely as envisioned in the Master Plan. This approach promotes a dynamic and interconnected community where residents can live, work, and play.
- Supporting a blend of residential and commercial uses: The project thoughtfully balances residential and commercial elements, fostering a sense of community and providing convenient access to amenities for residents. This balanced approach aligns with the Master Plan's goal of creating diverse and sustainable neighborhoods.
- Promoting walkability, connectivity, and community gathering spaces: The Lawn Springboro prioritizes pedestrian-friendly design, with interconnected walkways, inviting public spaces, and a focus on creating a walkable environment. This emphasis on connectivity and community gathering spaces directly supports the Master Plan's vision for Policy Area 7.

Furthermore, The Lawn Springboro's location in the SR 73 corridor aligns with the Master Plan's emphasis on strategic growth in this area. The Future Land Use Map specifically identifies this corridor as a key area for development that enhances community engagement and economic activity. By bringing new residents, businesses, and recreational opportunities to the area, The Lawn Springboro directly contributes to the realization of this vision.

2. **Justification for PUD Exemption:** An exemption to conventional zoning is fully justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more successfully implemented through the use of PUD zoning. Specifically, PUD zoning allows The Lawn Springboro to better achieve the City's vision and goals in the following ways:

- Encourages diverse housing options: The PUD enables the inclusion of a variety of housing types, including carriage houses, townhomes, and walk-up residential units. This diversity provides a range of housing options to meet the needs of a wider population and promotes a more inclusive community.
- Integrates housing, retail, and recreational spaces: The PUD facilitates the seamless integration of residential, commercial, and recreational spaces, creating a vibrant, pedestrian-friendly environment. This mixed-use approach fosters a sense of community and provides convenient access to amenities for residents.
- Enhances placemaking efforts: The PUD supports the creation of a strong sense of place, with well-designed public spaces, interconnected walkways, and a focus on community interaction. This aligns with the City's long-term goals of creating attractive and engaging public spaces.
- Provides flexibility in design and layout: The PUD offers the flexibility needed to achieve innovative design solutions that conventional zoning cannot accommodate. This allows for a more creative and responsive approach to site planning and development.

By utilizing PUD zoning, The Lawn Springboro can better align with Springboro's vision for a vibrant, mixed-use, pedestrian-oriented community. Conventional zoning, with its stricter regulations on land use and density, would limit the project's ability to achieve these goals. The PUD provides the necessary flexibility to create a development that truly embodies the City's vision for the future.

3. Compatibility with Site and Surrounding Land Uses: The Lawn Springboro's General Plan is compatible with the site's topography, location, and surrounding land uses, ensuring a harmonious integration with the existing community.

- Strategic Location: The site is strategically positioned along SR 73, an area designated for growth and mixed-use development in the City's Comprehensive Plan. This alignment with the City's vision for the area supports the project's compatibility.
- Balanced Land Use Transition: The proposed retail spaces will complement existing commercial corridors along SR 73, ensuring a balanced transition from the surrounding residential areas to commercial uses. This thoughtful approach to land use minimizes disruption to the existing neighborhood character.
- Minimal Nuisance Potential: The development's focus on residential and light commercial uses eliminates concerns about noise, smoke, dust, and debris typically associated with industrial or heavy commercial activities. This ensures a positive relationship with surrounding land uses.
- Sensitive Site Design: The site's gentle slope allows for efficient stormwater management and the creation of varied and attractive streetscapes. The proposed building heights and setbacks are carefully considered to respect the privacy and light access of surrounding residential properties.
- Mitigation Measures: To further minimize any potential impacts, the development will incorporate landscaping and buffering to reduce noise and visual impacts. Commercial uses will be strategically located and designed to minimize any disruption to nearby residential areas.

4. Support for Public Improvements: The General Plan is carefully designed to support and enhance existing infrastructure, including streets, utilities, other public improvements, and pedestrian connectivity. The development will connect to existing roadways and implement necessary street improvements such as turning lanes and traffic signal coordination. The Developer will coordinate with the City to ensure adequate utility capacity and develop pedestrian connections, including a trail system and pedestrian bridge, aligning with Springboro's Bicycle and Pedestrian Plan.

5. Efficient and Economic Use of Land: The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses. The proposed development optimizes land utilization by integrating 335 residential units, 55,000-80,000 square feet of retail space, and community-focused green areas. This compact, walkable environment encourages local economic activity and enhances the quality of life for residents by providing convenient access to essential services and recreational amenities.

6. Availability of Public Services: All necessary public streets, utilities, and services are either available or will be extended to support the development. Specifically, water and sewer services are accessible, with the developer responsible for extending these utilities as needed. Roadway improvements along SR 73 will be undertaken to accommodate increased traffic, and emergency services and waste management will be fully supported within the project's design.

7. **Justification for Exception from Conventional Zoning:** An exception from conventional zoning is warranted for The Lawn Springboro because it allows for the achievement of key design goals and community objectives that are not possible under traditional zoning regulations. The PUD provides the flexibility needed to create a truly unique and integrated development that aligns with the City's vision for the future. Specifically, the PUD is justified by the following factors:

- **Creating a Cohesive, Walkable Environment:** Traditional zoning would severely limit the density and mixed-use potential of the development, hindering the creation of a walkable, pedestrian-friendly environment. The PUD allows for the seamless integration of residential, commercial, and recreational spaces, fostering a sense of community and reducing reliance on automobiles.
- **Addressing Housing Needs:** The variety of housing types offered within The Lawn Springboro, including townhomes, walk-up apartments, and carriage houses, directly addresses the age-in-place and affordability concerns outlined in the Master Plan. This diversity of housing options caters to a wider range of residents and promotes a more inclusive community.
- **Promoting Economic Growth and Quality of Life:** The integrated retail, dining, and recreation areas create a vibrant hub of activity that supports both economic growth and an enhanced quality of life for residents. This unique development model fosters a sense of community and provides convenient access to amenities.

The Lawn Springboro's PUD zoning enables the creation of a dynamic and integrated community that would not be possible under conventional zoning. This exception allows the project to better align with the City's vision for a thriving, pedestrian-friendly, and inclusive community.

8. **Protection of Natural Assets:** The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic. Additionally, the developer will work with the Army Corps of Engineers and the EPA to remediate a stream on the western portion of the site, ensuring environmental integrity and long-term sustainability. The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.

9. **Positive Effect on Health, Safety, and Welfare:** The proposed PUD will have a substantial positive impact on the health, safety, and general welfare of Springboro by expanding housing options to meet growing demand, creating job opportunities through new retail and service establishments, improving public spaces and recreational areas to encourage active lifestyles, enhancing pedestrian safety with dedicated trails and street improvements to reduce vehicle congestion, and boosting the city's tax base, supporting long-term community benefits.

10. **Implementability of General Plan:** The General Plan is structured to ensure seamless implementation through a Final Development Plan that adheres to all City requirements. The developer is committed to working closely with Springboro's planning department to ensure alignment with zoning codes and land use regulations, efficient phasing of construction to minimize disruption, and delivery of high-quality design standards, ensuring the development remains a long-term asset to the City.

The Lawn PUD rezoning application and General Plan demonstrably satisfy all the criteria outlined in Springboro Zoning Code Section 1266.10. The proposed development is consistent with the City's planning documents, provides significant community benefits, and represents a well-planned and sustainable approach to development.

Master Plan

THE
LAWN

Overview / Site Design

The City of Springboro has been working hard to incrementally improve and bring vitality to its West Central Avenue corridor. It also has been focused on becoming a preeminent trail town, connecting residents and visitors to outdoor recreation throughout the city. The Lawn at Springboro addresses these twin objectives from the ground up, creating a new highly amenitized neighborhood around an expanded park and trail network.

In addition to over five acres of park and 4,750 linear feet of new trails, the new master planned neighborhood will consist of a mix of convenience and food/beverage retail anchored by a destination hospitality experience (ie "The Lawn") adjacent to the park. It will also have the opportunity to accommodate one or more mid-sized offices and a range of residential units with trailside access. The units will range from studios to three-bedroom in the form of carriage units, apartments, and townhomes.

An Association shall be created that maintains shared facilities that exist on private properties.



The Master Plan



Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.020
Retail (ac)	6.271
East District	
Residential (ac)	2.336
Commercial Retail/Office (ac)	2.212
Hospitality (ac)	3.323
Other	
Parks/Public (ac)	5.614
Rights of way (ac)	4.825
Total Units (du)	327
Average Density (du/ac)	24
Length of Trails (lf)	4,750

PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Attached townhome
- Carriage Unit
- Duplex/Attached/Two-Family Dwelling
- Triplex

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Personal Wireless Service (PWS) Facilities
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station
- Vehicle Repair, Minor

Common Spaces

The Lawn is all about bringing the residents of and visitors to Springboro together in a shared experience. This ethos centers on a five-acre park that provides a new front door to the park from West Central Avenue. Furthering Springboro's vision as a trail town, the park expansion also includes 2,200 linear feet of new publicly accessible trails.

Addressing the park and trails are two halves to the proposed master planned neighborhood. The east side of the park is anchored by a destination hospitality experience (ie "The Lawn") that is intended to combine food, an active biergarten, and active recreation such as, but not limited to, yard games, pickleball, and sand volleyball. Also on the park's eastern edge will be a commercial site and townhouses. Both of these supportive uses place their front doors and gardens along access drives or the park.

To the west of the park, the trail network extends into a largely residential community that includes a clubhouse that separates the public aspects of the trail from the private courtyards of the residential community. While each structure within the community will have patios or balconies associated with the units, the site, overall, is expected to have common open spaces that comprise approximately 9% of the community. Retail lines the West Central Avenue frontage and will include sidewalks and frontage landscape that complements the West Central Avenue streetscape and signage. It will be an integral part of an important gateway to Springboro.

The minimum amount of open space assumed to be part of each created lot is included in this application's Design Guidelines.

TOPOGRAPHIC AND HYDROLOGICAL FACTORS

The two major topographic challenges with this site are the two streams running through the site. One running from the northwest corner of the site through the western portion of the site before tying into the larger stream. The larger stream splits the site in two and content FEMA floodway and associated 100-year floodplain.

The smaller of the two streams starting at the northwest corner will be piped shortly after entering the site and piped under most of the development before being released at the same point where the stream ties into the larger stream on-site. The larger stream will be left intact throughout development and will have trails along it as required by the City of Springboro's mobility plan. Any earthmoving will be kept out of the FEMA restricted floodway

An exhibit has been provided showing the topo on site along with the FEMA mapped floodways and floodplains.



COMMON AREA MAINTENANCE

The Lawn Springboro will establish a Property Owners' Association (POA) responsible for the care and maintenance of all open spaces and recreational facilities within the development. The master developer will oversee maintenance operations, ensuring high-quality upkeep of landscaped areas, pedestrian pathways, plazas, and recreational amenities. Each tenant and property owner within the development will contribute to a Common Area Maintenance (CAM)-style fee, which will fund landscaping, lighting, cleaning, and repairs, ensuring long-term sustainability and aesthetic appeal of shared spaces.

Legal

DECLARATION OF LEGAL CONTROL AND OWNERSHIP INTERESTS

This Declaration is made as of the date set forth below by **Kingsley + Co.** ("Developer"), in connection with the zoning application for the proposed development located at **0 W. Central Ave. Springboro, OH 45066 (Parcel No. 0414301006)** (the "Property").

1. Legal Control of the Property

The Developer hereby declares and affirms that it has legal control of the Property through an executed Purchase Agreement between Developer and the Property owners, who have signed letters of authorization, attached as Exhibit A.

2. Ownership and Beneficial Interests

The current ownership and beneficial interests in the Property and the proposed development are as follows:

- Property Owner(s):** Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall
- Developer Entity:** Kingsley + Co.
- Beneficial Interest Holders:** None
- Development Partnership Structure:** TBD at the time of purchasing the property. Kingsley + Co. will retain ownership and/or interest in the development.

3. Proposed Development

The Developer intends to undertake a mixed-use development on the Property, consistent with the rezoning request. The proposed development is a mixed-use development featuring residential, retail, and recreational spaces, designed to enhance walkability, community engagement, and connectivity to nearby parks and amenities.

4. Affirmation

The Developer affirms that the information provided herein is accurate and complete to the best of its knowledge and that it has the necessary authority to submit this zoning application.

Executed this 20th day of March, 2025.

Developer:

Kingsley + Co.

By:


Chinobum Ndukwe

President + CEO

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Charles A Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 5 day of ^{March} February, 2025.

Property Owner:

Name: Charles A. Easton

Signature: Charles A. Easton

Title: OWNER UNDIVIDED

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Anne Easton-Hansen, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of March, 2025.

Property Owner:

Name: Anne Easton-Hansen

Signature: 

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Terry C. Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of February, 2025. 13, March, 2025

Property Owner:

Name: Terry C. Easton

Signature: s Terry C. Easton

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Carrie Kendall, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13 day of February, 2025.

Property Owner:

Name: Carrie Kendall

Signature: Carrie Kendall

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, James Mevin Swaller, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this _____ day of February, 2025.

Property Owner:

Name: James Mevin Swaller
Signature: James Mevin Swaller

Title: _____

Design Guidelines

THE
LAWN

Overview

The Lawn is envisioned to be a colorful and modern neighborhood nestled against the park. Its look and feel will be contemporary, clean, lush, and active with its brand identity rooted in gathering for people of all ages. The look, feel, and identity is woven throughout all aspects of the site and building design standards for the neighborhood's development.

This vision is also represented in the mix of uses that will be attracted to the site. Retail and commercial spaces will address West Central Avenue while the park will be the shared address for hospitality and residential uses. Residential buildings will be a blend of human-scaled carriage units, townhouses, and apartment buildings that each face a courtyard, trail, and/or the park itself.

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Single Use Retail	60'	5%	10'	10'	5'	2 stories	1 story
Multiple/Mixed Use	80'	5%	10'	10'	5'	3 stories	1 story
Commercial	60'	10%	10'	10'	5'	3 stories	1 story
Hospitality	60'	10%	10'	15'	5'	2 stories	1 story
Multi-Family Residential Areas	80'	15%	5'	10'	5'	3 stories	2 stories
Multi-Family Attached (Townhomes-East)	16'	5%	5'	0'	3'	3 stories	2 stories
Accessory Structures, including Carriage Units	20'	n/a	5'	10'	3'	2 stories	1 story

General Site Development

STREETS AND SITE ACCESS

Street Right-of-Way (ROW)

Streets and lanes shall be primarily designed for safe pedestrian and bicycle movements with the following requirements: When divided, drive lanes shall be a minimum of 10 feet (10') wide. In nonmarked lanes, the total clear width shall be a minimum of eighteen feet (18') in width. Sidewalks shall be a minimum of five feet (5') in width. Trails shall be a minimum of twelve feet (12') in width. Planting beds where trees are anticipated shall be a minimum of six feet (6') in width. Flat or raised curbs are permitted. Bollards are permitted to separate vehicular and pedestrian traffic. Speed limits shall not exceed twenty (20) miles per hour.

Street Radii, Corner Radii & Clear Zones

Intersections shall be primarily designed for safe pedestrian and bicycle movements while ensuring emergency and service vehicles may adequately maneuver. Corner curb radii shall be between eight feet (8') and twenty-five feet (20') as determined by the intended use. Residential areas: up to fifteen feet (15'). Mixed-use areas: up to twenty-five feet (20'). In areas where larger turning radii may be warranted, this need shall be accommodated by mountable curbs and or textured pavements. Clear zones along primary access routes shall be maintained at a twenty-five foot (25') radius to allow emergency vehicles (e.g., fire ladder trucks) to turn corners. Secondary and internal streets and drives shall have a minimum of fifteen foot (15') clear zones.

Materials

The primary materials used are conventional standard asphalt or concrete. Alternative materials like brick, cobblestone, pavers, or other paving products are also anticipated.

PARKING

Parking Requirements

Residential

A minimum of one car per residential bedroom shall be provided. A minimum of two cars per townhouse unit shall be provided. A non-reserved quarter ($\frac{1}{4}$) parking space shall be provided for every unit. One secure bike parking space shall be provided for every unit. Accommodations for electric charging stations and golf cart parking are encouraged. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Non-residential

Non-residential parking shall be set by user requirements or per the City requirements, whichever is fewer. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Shared Parking

Parking areas that are shared by one or more uses that peak at different times may share up to twenty percent (20%) of the required parking spaces.

Parking Size and Location

On-street parking stalls shall be a minimum of seven by twenty-four feet (7' x 24') in width and length. Off-street parking stalls shall be a minimum of nine by eighteen feet (9' x 18') in width and length. The minimum drive aisle width shall be twenty-four feet (24') in width. Both on and off-street parking shall contribute to meeting the minimum parking requirements.

Parking shall be to the side or rear of buildings unless that building's primary orientation is to the park or trail in which case the primary location of the parking shall be to the side of the structure. In all cases, clear pedestrian passage from sidewalks and/or trails to the primary entrance to the building shall be clearly delineated and designed.

Parking Lot Landscape

Landscape islands/beds of at least five feet (5') in width must be provided at end caps of parking aisles. Parking lots that abut a street or lane for greater than sixty linear feet shall maintain a minimum five foot (5') planting bed along the edge. Parking lots that abut property that is not included in the master planned site, a minimum of ten feet (10') planting area shall be maintained.

SITE SIGNAGE

The project shall include an overall project identity for entries, streets, and general wayfinding. Public facility signage will be established by the City. Individual project signage criteria will be developed as projects progress. All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning Zoning Code.

OTHER INFRASTRUCTURE

Minimizing the visual impact of utility and equipment may be accomplished by locating them discreetly and screening them from public view using various methods such as landscaping, walls, fences, and architectural elements. The goal is to maintain an aesthetically pleasing streetscape and protect the visual quality of public spaces.

Utility Easements along Streets

All public street utility easements should be accommodated within the planned street rights-of-way (ROW) or designated service lanes whenever feasible. These easements should be placed beneath pavement, landscaping, or sidewalks as needed. Any deviation from this standard will be considered by the City only in cases where specific site development requirements demonstrate that a variation is necessary.

Utility cabinets should be placed discreetly and screened with plant material. Exposed structures requiring open-air locations, such as rooftop mechanical/HVAC equipment, utility, and/or other functional hardware, must be adequately screened from public view. If a structure has a rooftop, these features must be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than fifty feet (50') or beyond any public-facing elevation that can be viewed from any public view. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal (excluding menu boards).

Loading Space Requirements

Retail and commercial areas, loading may be accomplished at specific curbside or parking lot locations as practical and necessary. Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character.

Screen Wall Construction and Materials

Masonry, brick, stone, decorative block, composite materials, pressure-treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached or free-standing service areas and bays. Storage facilities shall feature walls that reflect the surrounding architectural character and tall-growth landscaping.

Public Space

LANDSCAPE

Plant Material Selection

Plant materials should be chosen for their ability to thrive in the Springboro climate, moderate growth rate, and achievable maintenance requirements. All planted surfaces, whether in-ground or raised landscape beds, shall be fully irrigated and well-maintained.

The landscape design should consider the entire development site and consist of a mix of plants with year-round appeal, including annuals, perennials, shrubs, and trees. Plant selection for public facilities will be at the City's discretion.

LIGHTING

Public Space Lighting

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Lighting Design

All outdoor lighting shall be directed so as to prevent night sky pollution, glare on adjacent properties and streets, and to shield the lighting from residences, to the maximum extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of The Lawn.

Decorative Accent/Architectural Lighting

Decorative accent/architectural lighting meant to illuminate a building feature or surface, is permitted in so much as it does not conflict with other standards included in this document.

SITE FURNISHINGS/COMMON AREAS

Pedestrian Access

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Streetscape

All major roads or circulation routes shall be planted with the same or otherwise complementary species and cultivar of street tree. Street tree species shall be selected to allow growth into a continuous sidewalk canopy and to provide shade, to the extent possible, the street. Street trees shall be spaced at equal intervals (approximately thirty feet depending on species) along street frontage to establish a consistent edge. Entrances/exits must not include plantings that obscure sight lines within three feet (3') and seven feet (7') above the finished grade.

DRAINAGE AND WATER DETENTION

Stormwater management will be handled throughout the site by storm sewers that ultimately lead to either detention or retention basins that will control water quality and runoff control for the development. Locations for these basin will be determined further into design.

SIGNAGE, WAYFINDING, AND GRAPHICS

Project Signage/Brand

A unified approach to signage shall be incorporated to enhance wayfinding, create visual consistency, and improve identification across The Lawn. Sign sizes should generally correspond to the scale of the structure they accompany. All signs must maintain uniformity in type, material, and color. A clear signage hierarchy will be established to support area recognition, business identification, directional guidance, and other related signage needs. Springboro Ordinance 96-38, Section 826 of the Springboro Sign Code contains additional details.

Individual Project and/or Tenant Sign Criteria

Signage for multi-tenant properties must present a coordinated design. A cohesive design theme shall be applied to all signage, regardless of variations in size or placement.

OUTDOOR STORAGE

On occasion, Outside Storage may be necessary in multi-family amenity areas and retail areas where outdoor dining and related activities are anticipated. Outside storage of merchandise, raw material, finished products, and/or equipment must be visually screened from any publicly visible right-of-way.

Building Design

GENERAL ARCHITECTURAL CHARACTER

The Lawn's design aims to ensure consistent, high-quality design, materials, and construction that align with Site Development.

ORIENTATION TO STREET

Buildings shall orient themselves to the following preferential order, depending on the relevance to their specific location: trail, park, and then the street. Buildings located at the intersections of one or more of these types of addresses should be designed to meet both by 'turning the corner' with appropriate design attention given.

BUILDING MASSING AND REPETITION

All repeated building types/floor plans shall include a minimum of two facade options, not including options for color or corner treatments when relevant to that plan's usage. No two plans (except for town houses and carriage units) shall be used more than once in a row or across from one another. Any building longer than sixty feet shall be articulated to break down the continuous facade through the use of some combination of the following: window or bay patterns, height, step or setbacks at one or more floor levels, and/or balconies (inset or projecting).

Building Height

Building heights shall be measured in stories. No building shall exceed three stories above the highest ground on which the building sits. Finished floor elevations for residential buildings shall not be less than eighteen inches (18") above the space the building primarily addresses (i.e. a street, trail, or park).

Rooflines

Residential roofs may be flat or sloped. Flat roofs, when present, must have parapets or cornices to provide visual interest and screen rooftop equipment. Rooftop decks and patios are encouraged. All parapets and cornice features, including rooftop uses, are exempted from building height measurements.

Building Materials

Commercial-grade materials are required. Acceptable materials include pre-cast masonry, brick, decorative block, cementitious siding, wood, natural stone, cast or cultured stone, exposed metal, and stucco. Prohibited materials include EIFS, plywood, unadorned corrugated siding, vinyl siding, and plastic panels in publicly visible locations.

Glass Materials

Clear or colored glass, translucent, sandblasted, and decorative glass are acceptable. Retail and commercial storefronts should be predominantly clear glass.

Visible Roofing Materials

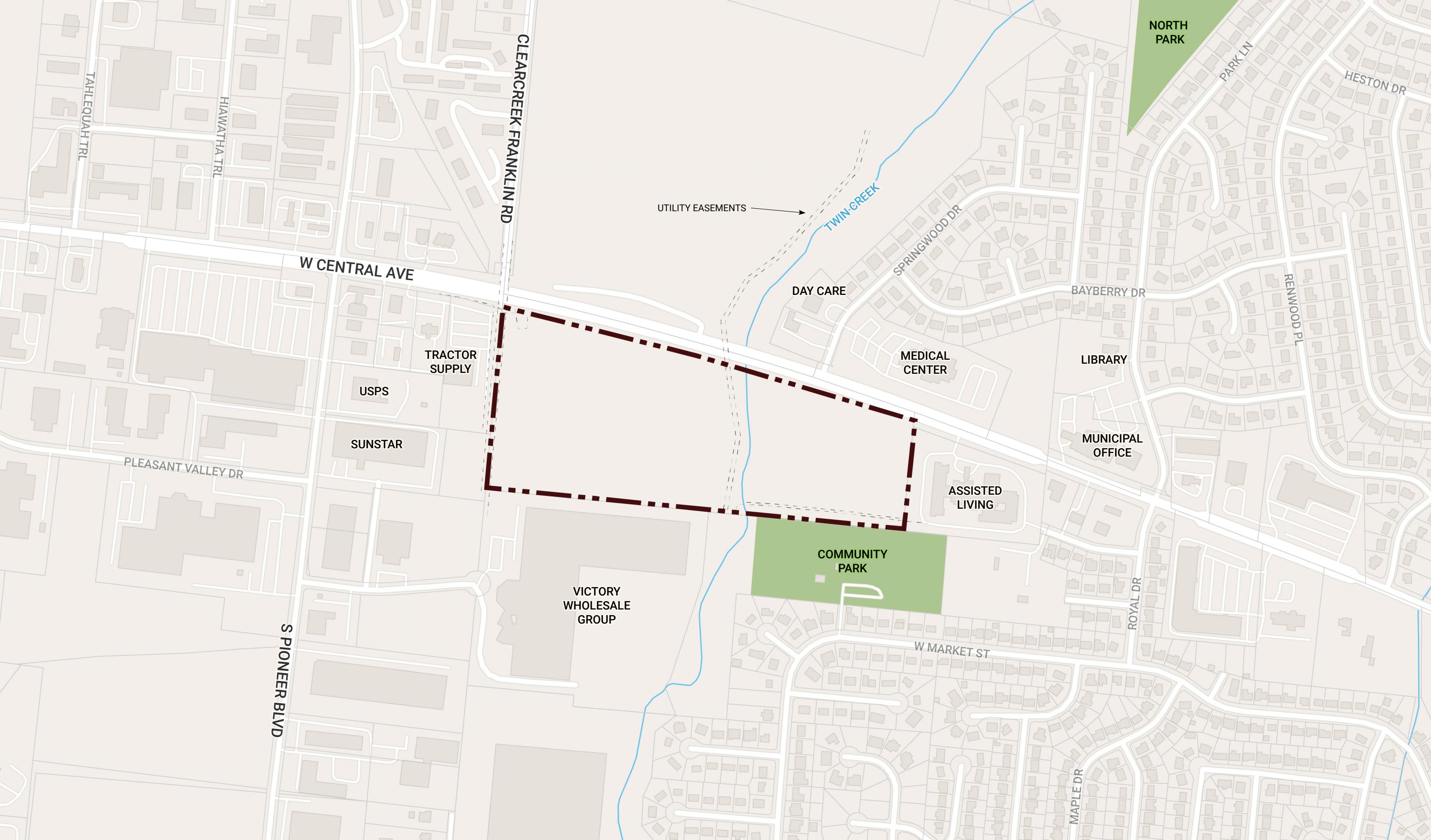
Sloped roofs may use slate-style shingles, fiberglass shingles, or standing seam metal.

Building Color

Color schemes should be limited to no more than two colors on a given facade, unless otherwise approved. Color schemes should visually tie the building's massing together. Monolithic color schemes are discouraged, but monochromatic palettes with shade variations are acceptable.

Appendix & Exhibits

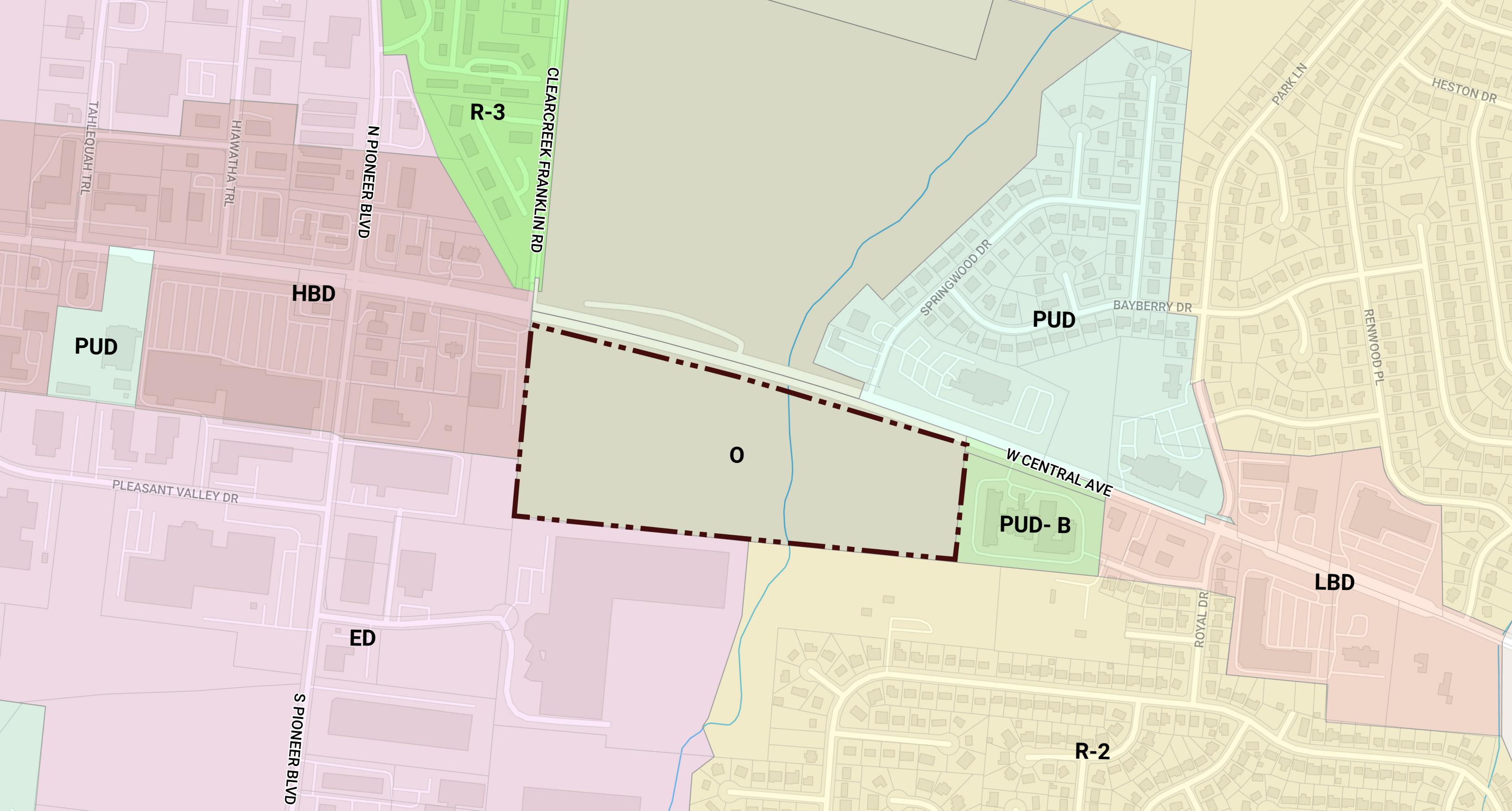
THE
LAWN



Vicinity Map

0 400 800 FEET





Zoning

O - OFFICE PARK DISTRICT

HBD - HIGHWAY BUSINESS DISTRICT

LBD - LOCAL BUSINESS DISTRICT

PUD - PLANNED UNIT DEVELOPMENT DISTRICT

PUD-B - PLANNED UNIT DEVELOPMENT- BUSINESS

R-2 - LOW DENSITY RESIDENTIAL DISTRICT

0 400 800 FEET





NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILED AVAILABILITY RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-662-2764 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



1-1

SEAL:

NO. DATE DESCRIPTION
1. 5/29/2024 SCHEMATIC DESIGN

KINGSLEY DEVELOPMENT
SPRINGBORO, OH
MONTGOMERY COUNTY

PROJECT NO: 240466.000
DATE: 5/29/2024
SCALE:

0 50 100 200

SHEET NAME:

**GIS WITH
FLOODPLAIN**

Old Republic National Title Insurance Company**SCHEDULE A
(Continued)****EXHIBIT "A"**

Situate in Section 14, Town 2, Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of Start Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 740.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 740.36 feet, and a chord bearing of S 81°57'24" E; thence S 80°13'43" E a distance of 252.52 feet to a point; thence Southeastwardly on a curve to the right an arc distance of 1085.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1085.36 feet, and a chord bearing of S 77°41'43" E; thence S 75° 09' 43" E a distance of 629.33 feet to a point on the West line of Royal Oaks Park, Section 12 as recorded in Book 5, Page 30, of the Warren County Plat Records; thence leaving said centerline S 0°12' 58" E with said Royal Oaks Park West line a distance of 398.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 393 of said Royal Oaks Park; thence S 89°57' 38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.87 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Dixie Spring Farms, Inc., tract as recorded in Book 483, Page 598 of the Warren County Deed Records; thence N 0°30' 34" W with the West line of said Section 14 a distance of 938.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT;

And being 7.2436 acres by record plat for Springboro Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 89 Page 70, and being situated in Section 14, Town 2 Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.

Revision Date: August 22, 2024 at 11:00am. Any prior Issuance of this title commitment is hereby replaced in its entirety by this Issuance of this title commitment.

This page is only part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions.

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Property Ownership

Property Owners within 300ft							
Account	Parcel ID	Owner	Property Address	City, State, ZIP	Tax Name	Tax Address	City, State, ZIP
703237	0420485028	City of Springboro	0 S Pioneer Blvd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
703252	0420485031	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703050	0420485012	Locaputo Partnership, LLC	505 W Central Ave	Springboro, OH 45066	Locaputo Partnership, LLC	4472 Bridgetown Rd	Cincinnati, OH 45211
703092	0420485016	United States Postal Service	55 S Pioneer Blvd	Springboro, OH 45066	United States Postal Service	PO Box 40595	Philadelphia, PA 19197
702108	0420485008	Sunstar Engineering Americas INC.	450 Victory Dr	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703094	0420485018	Lebanon Citizens NAT'L BA	525 W Central Ave	Springboro, OH 45066	LCNB	PO Box 59	Lebanon, OH 45036
502812	0414363001	Promotional Wholesalers	400 Victory Dr	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
515604	0413102003	Village of Springboro	666 W Market St	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
519863	0413127003	Village of Springboro	0 Oak Dr	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
552969	0414377005	Springboro OH Senior	355 W Central Ave	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
552970	0414600002	City of Springboro	0 Oak Dr	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
553664	0414376024	Miami Valley Hospital	0 W Central Ave	Springboro, OH 45066	Miami Valley Hospital	110 N Main St, STE 1250	Dayton, OH 45402
553663	0414376023	Springboro 360 APL RKC LLC LLC	360 W Cebtral Ave	Springboro, OH 45066	Springboro 360 APL RKC LLC LLC	800 W Madison #400	Chicago, IL 60607
526053	0414378015	Schueler Michael T	15 Springwood Dr	Springboro, OH 45066	Schueler Michael	PO Box 35605	Dallas, TX 75235
517542	0414378016	Sumas Holdings LLC	25 Springwood Dr	Springboro, OH 45066	Sumas Holdings LLC	3829 Top Flite Ln	Mason, OH 45040
553954	0414301007	Eastbrook Farms INC	0 Route 73	Springboro, OH 45066	Eastbrook Farms INC	3000 G Henkle Dr	Lebanon, OH 45036
702477	0420427020	Meadowview Properties I LLC	5 Clearcreek-Franklin Rd	Springboro, OH 45066	Meadowview Properties I LLC	5975 Castle Creek Pkwy Drive N STE 100	Indianapolis, IN 46250
703021	0420427018	City of Springboro	0 W Central Ave	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
701756	0420427009	Music Limited Partnership	512 W Central Ave	Springboro, OH 45066	Music Limited Partnership	405 Main St	Springboro, OH 45066
703152	0420427019	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
549410	0414301004	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066

**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, April 9, 2025**

I. Call to Order

Becky Iverson, Chair, called the Wednesday, April 9, 2025 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Rob Dimmitt, Steve Harding, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, Elmer Dudas, Development Director, and Chad Dixon, City Engineer.

Mr. Dimmitt motioned to excuse Mr. Chris Pearson; Mr. Sillies seconded the motion.

Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

II. Approval of Minutes

March 19, 2025 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the March 19, 2025 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, abstain; (5 yes - 0 no – 1 abstain)

III. Agenda Items

Ms. Iverson made a brief statement addressing how the meeting will proceed this evening with regards to how guests will be invited to make any comments or ask questions after all agenda items have been reviewed.

A. Final Approval

Northampton PUD-R, Planned Unit Development-Residential, Phase Two, residential subdivision

Background

This agenda item is a request for record plan approval for the Northampton subdivision, Phase 2, located at 1525 South Main Street, submitted by the M/I Homes of Cincinnati, LLC, owner and developer. The record plan, zoned PUD-R, Planned Unit Development-Residential, contains 34 buildable lots for a total of 17.96 acres. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of a recommendation to City Council of this record plan.

1. Construction drawings to match record plan.
2. Under General Notes – There are conflicting references to the HOA. Call out all references in the general notes as Northampton Residential Owners Association (notes 5 & 8).
3. On sheet 2, callout the typical lot detail to state “Minimum lot size is 8,370 square feet”.
4. Provide private storm sewer easements where necessary on the Open Space and/or platted lots for HOA maintenance.
5. Revise General Notes comment 5 to include multi-use trail as an HOA maintenance item.
6. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Justin Lanham, M/I Homes, was present to answer questions and comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this item is regarding Phase Two of the Northampton subdivision located at 1525 South Main Street, also known as the Morris property. This is for the coordination of property and to permit the sale of land on the second phase of the subdivision. Another portion of the subdivision is on the agenda for later in the meeting. This will allow for the creation of 34 lots as well as open space and dedication of right-of-way.

Ms. Iverson asked Mr. Lanham if he had any questions regarding staff comments and recommendations.

Mr. Lanham said he had no questions at this time.

Ms. Iverson asked if Planning Commission members or staff had any questions or comments. There were none.

Mr. Harding made a motion to approve the Final Approval, Northampton PUD-R, Planned Unit Development-Residential, Phase Two, residential subdivision with staff conditions. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Final Approval

Wadestone PUD-R, Planned Unit Development-Residential, subdivision, Section Four, residential subdivision

Background

This agenda item is a request for record plan approval for Wadestone subdivision Phase 4, located along West Factory Road, opposite the Catalpa Drive intersection, submitted by Grand Communities, LLC, owner and developer. The plan contains 18 single-family buildable lots on the PUD-R, Planned Unit Development-Residential, portion of the site, with an approximate overall area being 5.3 acres.

Record plan review is the final stage of the subdivision PUD approval process. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of a recommendation to City Council of this record plan.

1. Record utility easement across Reserve H.
2. Record plan does not scale correctly. Revise in future submittal.
3. Construction drawings to match record plan. Revise construction drawings accordingly and submit.
4. Label lot 82 as "non-buildable" on the site plan.
5. Is there a private storm sewer easement on lot 78? If not, revise note 2 on sheet 2 accordingly.
6. Submit to Warren County for review and revise accordingly.

Discussion:

Ms. Iverson called for the applicant or their representative to approach the podium. There were no applicants present.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this was the recordation of 18 single family residential lots in the PUD-R portion of the development. This project involves two types of zoning; there is conventional zoning on the west end, Wade-Wray property, of the subdivision and the west end, Swope-Hills property, is the PUD-R zoning. This record plan also shows the dedicated right-of-way. The overall area is 3.5 acres. This is the final section of the subdivision to be recorded.

Ms. Iverson asked if Planning Commission members or staff had any questions or comments.

Mr. Dimmitt asked if there was any concern that the applicant was not present.

Mr. Boron said that he did not think it was a concern; the applicants have been in close contact with staff through the development process, working through the staff comments and recommendations.

Mr. Dudas confirmed that he has been working with the applicants, and they are fine with all the comments and working to resolve them. There will be some revisions to the plans before going to council, but nothing major will change.

Mr. Dimmitt made a motion to approve the Final Approval, Wadestone PUD-R, Planned Unit Development-Residential, subdivision, Section Four, residential subdivision with staff conditions. Mr. Harding seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

C. Preliminary Review

Rezoning, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

D. Preliminary Review

General Plan, R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), proposed residential subdivision

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, requesting approval of rezoning and general plan to allow the development of residential subdivision located at 1405 South Main Street (SR 741) through the City's Planned Unit Development (PUD) process. The subdivision, envisioned as an addition to M/I's developing Northhampton subdivision, would be located on 16.65 acres of land immediately adjacent and to the north of Northhampton. While M/I intends, assuming development approvals, to combine the 16.65-acre parcel into Northhampton subdivision by integrating its road system, homeowner's association, home design types, and other details, this rezoning and general plan is separate from the development approvals of the property at 1525 South Main Street.

This item was reviewed on a preliminary basis at the March 19 Planning Commission meeting. At that time, the Planning Commission directed the applicants to resubmit plans for another preliminary review at a future date.

M/I Homes proposed to develop the 16.65-acre by rezoning it from the current R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential. The R-1 District allows residential development at the rate of 2.0 units per acre on lots with a minimum size of 20,000 square feet. That classification dates to 2015 when large parts of Springboro were reclassified to R-1 District from Township or (T)R-1 District. The (T)R-1 designation was allowed to remain on properties annexed over time from lands originally in Clearcreek and Franklin Townships. The R-1 and (T)R-1 have similar development densities, however moving to R-1 District allows the City to manage its own long-range development though its own Planning and Zoning Code.

M/I Homes proposed to develop this parcel at a density of 2.04 units per acre, with lots ranging from 8,360 square feet to 20,000 square feet. A total of 4.384 acres of open space is proposed in the subdivision, or 26.3 percent of the development area. Residential PUDs require a minimum of 25% dedicated open space. The R-1 District requires no dedicated open space.

M/I Homes proposes two access points to the subdivision: the primary access being from South Main Street that would be paired with the access road to the Northhampton subdivision and matched to the alignment of Heatherwoode Boulevard on the east side of SR 741, and to Perthshire Drive also in Northhampton to the south. A stub street to the west is also proposed. Walking trails internal to the site are indicated in the plan.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the developing Northhampton subdivision.

Adjacent zoning in the Springboro portion of the vicinity is R-1 District to the north, PUD to the east encompassing the Heatherwoode PUD, and PUD-R to the south incorporating Northampton subdivision. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 16, Heatherwoode, includes the subject area and land including the Heatherwoode, Farms of Heatherwoode, and Ashton Woods subdivisions, the City's Heatherwoode Golf Course, and the Springboro Community School District's main campus. The policy area recommends residential development and redevelopment that conform to the existing character of adjoining neighborhoods. The plan also recommends connecting neighborhoods in the area and improving pedestrian and bicycle access.

The four residential subdivisions in the vicinity were developed at the following densities:

- Northampton, 75 units on 35.08 acres, 2.14 units/acre.
- Ashton Woods, 21 units on 10.62 acres, 1.98 units/acre.
- Farms of Heatherwoode, 162 units on 80.79 acres, 1.78 units/acre.
- Heatherwoode, 221 units on 105.71 acres, 2.08 units/acre. This includes Glencoe Court and Dunnington Court. The golf course is not included in the density calculation.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to first preliminary review of this plan at the March 19 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

1. Indicate finished floor elevations for proposed home sites, and if the home sites are expected to have walkout basements and/or large areas of exposed foundations. For such areas, show concept plans for the manner in which such areas will be designed.
2. For general plan preliminary review, identify all existing vegetation 4 inches DBH or greater on the site, then indicate those to be preserved.
3. Following preliminary review of general plan, submit a landscaping plan incorporating comments #3-4 above, and other required landscaped areas.
4. Allow for public use of dedicated open space (paths, trails specifically) within the subdivision.
5. Following preliminary discussion, plans will be forwarded to active transportation consultant for review of walking and biking facilities.
6. Following preliminary review of final development plan, submit an exterior lighting plan, if applicable, consistent with Chapter 1273 of Planning and Zoning Code.
7. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
8. Add note stating that all public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way. Improvements to be shown on general plan revision.
9. Roads, sidewalks, and all utilities to be designed and built per city of Springboro specifications.
10. Create an HOA for Phase 3.
11. Show the Northampton Phase 2 lot lines/roads that match up with the proposed Perthshire Drive.

Discussion:

Ms. Iverson said this is for two projects, the preliminary review of the rezoning, and preliminary review of the general plan, for R-1, Estate-Type Residential District, to PUD-R, Planned Unit Development-Residential, for 1405 South Main Street (SR 741), proposed single-family residential subdivision. She asked the applicant to join Commission members and staff at conference table.

Mr. Justin Lanham, M/I Homes, and Mr. Jeff Puthoff, ChoiceOne Engineering, introduced themselves and were available to answer questions or comments from Planning Commission members and staff.

Ms. Iverson said this is the second preliminary review for these items and asked Mr. Boron for a summary of this agenda item.

Mr. Boron referred to the screen for guests to see the plans being presented to the Commission members. He said that this preliminary review will be like the review in March.

Mr. Boron stated that this item is a request for rezoning to a PUD-R and general plan approval for the property located at 1405 South Main Street (SR 741); this is adjacent to the record plan that was approved earlier for the Morris property at 1525 South Main Street. Much of the material that was presented at the last meeting is the same in terms of background and staff comments. Some revised comments are based on items that the applicants, M/I Homes, and their consulting teams revised and addressed, and some new comments based on the discussion that took place at the March 19 Planning Commission meeting, including comments heard from the public. The number of homes and the styles of homes have not changed.

Ms. Iverson asked the applicants to brief Planning Commission members on the revisions they have made to their plans.

Mr. Lanham said they have changed the plans to reflect that they have pulled the rear property line of the northern lots away and provided them with open space for the 15-foot no clear zone that is maintained by the HOA. A preliminary grading plan has also been included to show how M/I Homes will grade the entire site. There may be a retaining wall along Perthshire Drive, but other than that they are not intending to have any retaining walls on the site.

Mr. Dimmitt asked if the traffic study is close to being completed.

Mr. Lanham said the traffic study is in progress. It has been reviewed, and he has been working with Mr. Dudas and Mr. Dixon on the comments received.

Mr. Dudas said that he has received comments back from their consultant, Scott Knebel, and he has had a discussion with Mr. Lanham regarding those comments.

Mr. Harding asked if their intention was to have two retention basins.

Mr. Putoff replied that using two retention basins rather than one large basin has advantages; the walls won't have to be so steep, and the volume will be much less when it's divided. The elevations of the property will allow them to have two separate ponds with some grading in between them so that there won't be such a large wall like what is in Northampton.

Mr. Lanham said, tying into staff comment number 1, the result of that is that the three lots that will back up to South Main Street will be walkout lots. Based on the preliminary plans from ChoiceOne, they are confident that those three and probably most of the lots along the north side of the road will be walkouts.

Ms. Iverson asked Mr. Lanham to describe what a walkout will look like.

Mr. Lanham said that typically, a basement is below grade and then you've got a single or two stories above that. A walkout is when the grade changes on the lot and therefore the rear of the home is a basement. The basement ingress and egress are at ground level, and you can access the basement from the exterior.

Mr. Boron said that staff have heard feedback about the currently developing M/I Homes subdivision Woodgrove in Clearcreek Township, concerns about the amount of exposure the foundations would have and how it will be treated. After viewing several of the homes in the subdivision, some were treated with an architectural finish, others were not. Staff and Planning Commission members would like to have a better understanding of how many of the new homes are going to have that same issue and how to determine what finishes are going to be acceptable.

Mr. Lanham said that he thought that once the building gets closer to the interior of the property and not as visible to SR 741, it may be less concerning to the community. For the three lots along South Main Street they would commit to doing brick to grade within 30 inches of the grade.

Ms. Iverson asked if there was a visual available so that Planning Commission members could see what it would look like.

Mr. Boron said he had taken some photographs of some of the completed homes in Woodgrove and would include them in the next meeting materials packet.

Mr. Lanham said M/I would commit to brick. The 30 inches might need some leeway in some cases.

Ms. Iverson asked if Mr. Lanham had any further comments regarding staff comment number 1.

Mr. Lanham said he did not.

Mr. Lanham said that regarding staff comment number 2, they are committed to keeping the 15-foot no clear zone, but the rest of the property would be cleared of trees and vegetation.

Mr. Boron said at the previous meeting it was asked about putting the buffer area in the common area. Is there any additional opportunity to put extra protection in that area on private property? It would be new plantings and would address, in part, the concerns of the individual property owners to the north.

Mr. Lanham asked if Mr. Boron was talking about some sort of conservation area that the HOA would maintain.

Mr. Boron said yes. Another option would be to take space out of the lots and create the additional buffer and have smaller lots.

Mr. Sillies asked if this would just be vegetation and not a mound barrier.

Mr. Boron replied that it would be just vegetation because it looks like the grading will not allow mounding. When staff review plans for landscaping, there is a site requirement of roughly 15 trees per acre of non-right-of-way and non-paved areas. Landscaping is based on the overall site and then there are buffers and landscaping requirements for yards, etc. It can be written into the language in some fashion to require this additional buffer. This has been done with other new subdivision requirements.

Ms. Iverson if there were any further questions from Planning Commission members or staff.

Mr. Lanham said the drives would be lined up with Heatherwoode Boulevard once completed.

Ms. Iverson asked if there is or would be a landscaping rendering available of what M/I Homes is proposing for this site.

Mr. Boron said that M/I Homes needs to submit a concept plan for the landscaping buffer for review. This plan will not be finalized until the final development plan is submitted in greater detail. At that time Planning Commission members would then vote to approve or ask for revisions to the plan.

Mr. Lanham asked if they submit all requested information and changes before the next meeting deadline, whether it would be able to move forward with possible final approval.

Mr. Harding asked about the timing of this part of the subdivision. Would the original Northampton, Morris property, site be completed before any work begins on this part, the Calmes property, other than connecting the roadways?

Mr. Lanham said that they plan to complete Northampton 1 and 2 before moving onto Phase 3, except for the entrance roadways.

Mr. Sillies asked what percentage of the homes in the original Northampton site are already sold.

Mr. Lanham replied that none have been sold, these properties have not been listed for sale yet.

Mr. Scott Knebel, Traffic Engineer, introduced himself to the Planning Commission and staff.

Mr. Boron said that the City's Traffic Engineer, Scott Knebel, was present at tonight's meeting to answer questions regarding the traffic study that was conducted for the Northampton site. He said that Mr. Dudas and Mr. Dixon had a meeting on April 7 with Mr. Knebel and representatives from M/I Homes to discuss the preliminary traffic study. He asked Mr. Dudas for a summary of their meeting.

Mr. Dudas said he could provide a quick summary of their meeting. There will be some pavement widening along SR 741 with the intersection to be lined up with Heatherwoode Boulevard in the first two phases to the south. They will realign it to match. There will be dual, or opposing, left turn lanes at the intersection, north and south, and then a right drop lane going southbound into the subdivision. There will still be a bicycle lane on both sides of SR 741.

Mr. Knebel said there would be no new signalization. It is too close to the Junior High School light and the traffic study showed that the warrants were not met to indicate the need for another traffic signal.

Mr. Boron said this would help alleviate a long-time point of contention about left turn lanes into Heatherwoode when driving south.

Ms. Iverson asked if there were any other options for additional traffic control in this area such as a roundabout.

Mr. Knebel said that a roundabout is not an option given the limited space available.

Ms. Iverson asked if there were any other traffic-related questions. There were none.

Mr. Iverson asked if there were any other topics that Planning Commission members or staff would like to discuss with the applicants. There were none.

Mr. Boron asked if the applicants felt ready to move forward with regards to the traffic study information they received.

Mr. Lanham said that he was satisfied with the discussion that was had this week, and he had all his questions answered.

Mr. Boron continued, stating that the remaining comments were all preliminary in nature and would be further addressed later in future development plans. Much of the engineering associated with this project will come during the second phase and then with construction plans after that.

Mr. Dudas said that the general plan should show concepts and improvements of SR 741.

Mr. Boron said that from a staff perspective, this item could be moved forward for final approval if all staff comments and recommendations have been submitted by the applicant by the submittal deadline of Friday, April 25 at noon.

Ms. Iverson asked about photos or renderings of other properties developed by M/I in reference to the exposed foundations and how they will be treated.

Mr. Lanham said that he could submit an art drawing that would show the treatments and elevations of the foundations.

Mr. Boron reminded Planning Commission members and the applicants that this will be for a recommendation to City Council for final approval. Phase 2 would consist of reviewing and approving general and construction Plans.

Ms. Iverson asked if there were any further questions or comments. There were none. Ms. Iverson thanked the applicants for their time.

E. Preliminary Review

Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

F. Preliminary Review

General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

Background Information

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of mixed-use development southeast of the corner of West Central Avenue (SR 73 and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as 2024. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area on the easternmost side of the property adjoining The Enclave assisted living facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 335 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a drive connecting to the signal at Tractor Supply. A total of 5.6 acres of open space, or 39.7% of the proposed PUD's residential component, is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in several sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank, and the Premier Health office building; to the east, The Enclave assisted living facility; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site; and HBD, Highway Business District, to the west on the site of Tractor Supply Company.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential being included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

1. City staff reserves the opportunity to comment on aspects of this application as additional information becomes available.
2. Provide a breakdown of the number of proposed townhome and apartment units and their relative location on the general plan.
3. Indicate proposed uses for the retail and residential components including accessory uses.
4. Provide a Traffic impact study. All public improvements to be completed per the traffic study recommendations, including improvements along SR 73 and dedication of right of way.
5. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including stormwater management plan.
6. Obtain any and all regulatory permissions to pipe the stream on the property.
7. Create a list of permitted uses in the retail zoning portion of the general plan for planning commission review.
8. Identify areas to be set aside as open space within the residential component. Provide an overall breakout of zoning acreages.
9. Existing landscaping protected under the PUD may be used as credit against landscaping required under Chapter 1280, Landscaping.
10. Why 3 stories for retail use?
11. Parking for multifamily uses to be at the rate of 2.2 spaces/unit. That number may be reduced by using on-street parking and joint parking arrangements with operations with compatible land uses.
12. Create an HOA for the development. HOA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc. Is regional storm water detention being proposed?
13. Page 18 of site development guidelines – under Street Radii, Corner Radii, etc. Revise curb radii so that the number listed for radius matches the word mentioned. i.e... eight feet (8').
14. Page 19 of site development guidelines – Parking requirements. Parking requirements for residential and non-residential to meet city code, and not as stated in document. Parking stall size to match city code minimums (9 feet wide) and drive aisle to be min 24 feet. Revise document accordingly.
15. Page 20 of the site development guidelines, Signage, should cross-reference Chapter 1281, Signs, in the Planning and Zoning Code. The Planning and Zoning Code should be the baseline condition for development of the site features including but not limited to signage, landscaping (page 21), lighting (page 21) but the guidelines should unify and elevate it.
16. Provide a public access easement (ingress/egress) for all private roads (if any) throughout the site.
17. Page 21 of site development guidelines--Public Space. There is a statement regarding expanding Community Park; where is that on the general plan?
18. Page 22 – Outdoor storage. Which sites require outdoor storage?

Discussion

Ms. Iverson said these agenda items are for the preliminary review of the rezoning and general plan for The Lawn PUD-MU, rezoning from O, Office District to PUD-MU, Planned Unit Development-Mixed-Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development. She asked the applicants to join Planning Commission members and staff at the conference table.

Sonya Jindal Tork, Taft Stettinius Law, legal representative for the developer, Daniel Buchenroth, Development Manager, Kingsley and Company, Troy Messer, Kleininger Group, Joe Nickol, Yard and Company, Mark Wolfe, traffic engineer, introduced themselves and were available to answer questions or comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron referred to the projection screen showing and image of the boundaries of the property; it is the area immediately west of The Enclave assisted living facility, extending to the Tractor Supply Company boundary. This property is also known as the Easton property, a different part of the same family that owns the Easton Farm on North Main Street (SR 741).

This property is approximately 35 acres. When the assisted living facility was first developed this property was originally part of this parcel. This agenda item is for two items listed as rezoning and general plan. It is currently zoned O-Office, which allows for general and medical office development. The applicant is proposing development into two components; one component will be developed primarily as retail, the second being for residential development. The plan has been kept general at this time for the purposes of discussion.

The applicants are proposing several access points to the site which abuts and shares a property line with Tractor Supply to the west. There is a traffic signal at this location which coincides with the entrance to Tractor Supply and the terminus of Clearcreek-Franklin Road. There is another signalized intersection at the north side of the intersection which is in the vicinity of Springwood Lane and SR 73. When the assisted living facility was developed, there was also an access point provided to SR 73. An additional entrance is proposed between Twin Creek and the signal at Tractor Supply.

Mr. Boron said that when the *Springboro Master Plan* was adopted by the City Council in February, 2022, it recommended mixed-use development in this area. Staff comments for this project include the Master Plan layout and the Design Guide as well.

Ms. Iverson asked the applicants if they had any questions or comments.

Mr. Buchenroth said they were unable to get their replies to the staff comments in writing before tonight's meeting but that was not possible, but they would be happy to address them now.

Ms. Iverson said Planning Commission and staff would like to address the comments one by one and just go down the list if that was acceptable to the applicants.

Mr. Buchenroth replied that it would be fine with them.

Ms. Iverson addressed staff comment numbers one and two; 1. City staff reserves the opportunity to comment on aspects of this application as additional information becomes available and 2. Provide a breakdown of the number of proposed townhome and apartment units and their relative location on the general plan.

Mr. Buchenroth said the site has been divided into two districts, a west district and an east district. The west district is to the west of Twin Creek; the east district is to the east of Twin Creek. The townhomes will be located on the east side and the apartments on the west side, some of which will be carriage houses. There will be 36 townhome units and there will be 47 carriage house units and 252 2-story walk-up units; there will be no elevators.

Mr. Buchenroth said his team has been trying to have a conversation with Tractor Supply about trying to redesign the entrance point at the traffic light on SR 73, but Tractor Supply has not been responsive to the idea of repositioning the entrance. The easement they currently have onto the property only allows for just enough room to turn left.

Mr. Dimmitt asked Mr. Boron if there were any environmental concerns about the creek being right in the middle of the property and the removal of so much vegetation.

Mr. Boron replied that staff expressed concern about the regulatory process to pipe the tributary stream on the property in comment number six.

Mr. Messer said they already have an environmental consultant on board and the consultant has approached the Army Corp of Engineers on this issue. The plan is to pick up the pipe location and have more directly into Twin Creek and then it would be filled in. Fill-in points would be limited due to mitigation costs, but they will be filled in as directed and then about 100 feet below the creek as well. Grading will be determined.

Mr. Sillies asked how many total housing units are proposed.

Mr. Buchenroth said there would be 335 units total residential units.

Ms. Iverson moved on to comment number three, indicate proposed uses for retail and residential components including accessory uses.

Mr. Buchenroth said he would speak about the west district and Mr. Nickol would address the east district components. The western district is proposed to include food/restaurants with a drive-thru, a convenience service station with a drive-thru and a financial institution with a drive-thru.

Mr. Dimmitt asked if there was a prohibition of drive-throughs east of Clearcreek-Franklin Road.

Mr. Boron said there was no prohibition of drive-throughs, it can be discussed during this review.

Mr. Nickol said on the east side the focus is two-fold; one is the close proximity to Community Park and the creek. The space on the southeast portion of property will be a destination kind of experience-based retail with patios and outdoor food and beverages, possibly games, that will be pointed toward the park and the trail system. The northeast side fronting West Central Avenue will be commercial office space.

Mr. Marshall asked what is included in the entertainment side of the property.

Mr. Nickol thinks it is 3.323 acres and will be like Wright Station and the Dorothy Lane Market complex on SR 741. There are other examples in nearby communities as well. They would like to create a shared community space on this property with connections to the parks and trails.

Mr. Sillies asked if a service gas station was being considered as a tenant.

Mr. Buchenroth said it would be a convenience store, service station, gas station, but no definitive plans have been determined. He knows that there is concern about the number of gas stations in the area, but it is a challenging site with regard to the creek that is running through it, so they are looking for users who will fit the area. They do not have a prospective user at this time, but they feel a service station would be a good fit on the corner. The remaining portions next to it would be more of the quick-style retail with drive-throughs.

Mr. Harding asked if there were restrictions with service stations being built close to a tributary; are there concerns about possible ground seepage?

Mr. Boron said if they clear the required environmental hurdles, it would not be restricted.

Mr. Harding asked if all the paths would be paved.

Mr. Buchenroth said most of them would be paved with the possibility for some soft-surface trails.

Ms. Iverson addressed comment number four requiring a traffic impact study and all public improvements to be completed per the traffic study recommendations, including improvements along SR 73 and dedication of right-of-way.

Mr. Wolfe said he had coordinated with Scott Knebel regarding the required scope of the traffic study. Mr. Wolfe's team collected the traffic counts of the study intersections, and they are in the process of preparing that report.

Mr. Boron asked what Mr. Wolfe thought the timetable would be for submitting the report to city staff.

Mr. Wolfe said they were getting close on the MOU document and after that, it just depends on the review time and preparation of the study itself.

Mr. Boron said that for everybody's benefit on Planning Commission, City staff must have the results of the traffic study in hand before it can be recommended to City Council. This traffic study is much more complex because of the relationship with the two existing traffic signals, one to be expanded and then the request for two more connections, not knowing the nature of the one on the west yet.

Mr. Boron continued to say that this item may or may not be back in front of Planning Commission in May, but at least the applicant is moving forward and there may be other issues that can be addressed while they wait for the completed traffic study.

Ms. Iverson moved on to comment number 5, which includes standard language for utility and roadway improvements and stormwater management plans.

There was a brief discussion among Planning Commission members and staff about the need for a public sidewalk along SR 73. It was determined that there has been a long-term goal to have all sidewalks connected all along SR 73 and this new development will help to accomplish this goal and provide more connectivity to more off-road paths and trails for both pedestrian and bicycle traffic.

Ms. Iverson said that comment number six had been addressed earlier and moved on to comment number seven, create a list of permitted uses in the retail zoning portion of the general plan for planning commission review.

There were no additional questions or comments on comment seven.

Ms. Iverson said that comment number eight states that areas to be set aside as open space within the residential component need to be identified and to provide an overall breakout of zoning acreages.

Mr. Nickol said on the west side there will be some open space provided in the residential area.

There was another brief discussion about open space and how it can be dedicated. It was determined that the creek area would be considered open space if it was dedicated as such on the general plan.

Ms. Iverson said that comment nine relates to existing landscaping protected under the PUD that may be used as credit against landscaping requirements.

Mr. Boron clarified that comment nine should really say trees or specimens, so quite a lot of trees still located on the property could remain and if they do, they will count as credit for the overall space.

Ms. Iverson relayed comment number ten, why three stories for retail use?

Mr. Nikol said this would apply to the retail/commercial section of the east side to encompass offices that might utilize this space. There may be some ground floor retail with office located above them on additional stories.

Ms. Iverson said comment number eleven discusses parking space requirements.

Mr. Nickol said their question is that given this is a PUD development, is there flexibility regarding parking calculations to be more assigned to bedrooms and visitors as opposed to a standard rate regardless of size?

Mr. Boron said the answer is yes, but staff would need to see something presented to them in some format that would show how their plan would work. It also depends on whether the internal roadway system is designated as public or private residential parking; that could influence the number of parking spaces required.

Mr. Nickol asked if parking share consideration for the mixed-use aspect of the property would be allowed. For example, if the office building facing SR 73 were a medical office with mostly daytime hours and the retail area are mostly night and weekend hours, would that be backed by staff and Planning Commission?

Mr. Boron said that if the hours of operation coincide to support this arrangement, it would be considered.

Ms. Iverson read comments numbered thirteen, fourteen and fifteen.

Mr. Nickol asked about the timing and process for sign design submittal and approval.

Mr. Boron said the concept would need to be fulfilled in the design guidelines when more detailed plans are submitted. The whole concept for sign design is to unify the entire site.

Mr. Nickol stated that with regards to dedication of public infrastructure, the streets, the team went the route of dedicating streets then will elevate those streets through all the city standards.

Ms. Iverson said she skipped comment twelve, so went back to that comment regarding the establishment of an HOA and its maintenance responsibilities.

There were no comments from the applicants about comment twelve.

Ms. Iverson continued to comment sixteen, providing public access easements and identifying any private roads and comment seventeen, expanding into Community Park and where it would be located on the general plan.

Mr. Buchenroth said nothing had really been decided regarding Community Park, but they would like to tie into the existing trail/path system so that it would eventually connect to Clearcreek-Franklin Road.

Mr. Boron said it was still being discussed about how to connect the trails and paths along this area.

Mr. Dimmitt asked if the proposed connection to Clearcreek-Franklin Road would run underneath SR 73.

Mr. Nickol said that wherever these intersections align and where they want the connector to be located must be carefully determined when considering public safety and pedestrian access. There are several options being considered at this time.

Mr. Boron said that the city is working on a feasibility study with regards to connecting Community Park with North Park. The Master Plan gave options, so now the city is trying to make a more concrete decision with our options that will be generated by the study.

One option could be something like what was done on the trail under I-75 going into Franklin from the extension at Hazel Woods Park.

Ms. Iverson said the last comment, number 18, asks which sites will require outdoor storage.

Mr. Nickol said it is conceivable that some of the outdoor space in the residential side might need outdoor storage and then some of the retail hospitality venues might require outdoor storage for umbrellas, tables, games, etc. The storage would be sheds most likely.

Ms. Iverson asked if there were any further questions or concerns from staff or Planning Commission members.

Mr. Marshall asked if there were any concerns or issues in the entertainment district with noise and the housing community located nearby.

Mr. Nickol said the way the entertainment district is located to the park and to the residents south of the park, they would back their way into an acceptable type of programming.

Ms. Iverson thanked the applicants for answering their questions this evening and asked Mr. Boron what the next steps would be.

Mr. Boron said the submittal deadline for the May 14 meeting is Friday, April 25 at noon.

Mr. Buchenroth asked if the next time they come back for review, should they make the obvious changes that were discussed or that were included in the comments.

Mr. Boron said yes, this includes outlining some of the uses and addressing all staff comments. He said he did not know if it would be prudent to wait until the traffic study is done. No recommendation can be made to City Council for approval until a traffic study has been received and reviewed by staff. Another big consideration is the channelization of Twin Creek. The Army Corp of Engineers' report will determine how to proceed as well.

Ms. Iverson thanked the applicants and said they look forward to seeing them in the future for further discussion and review.

VII. Guest Comments

Ms. Iverson called for guest comments. She asked that guests keep their comments to five minutes or less.

Tim and Jen Ombrello, 1317 South Main Street, approached the podium. Mr. Ombrello said they were at the last meeting and would like to speak again this evening regarding Northampton Phase 3. He appreciates that some of their concerns were addressed by staff and the applicants. He is concerned about the lack of privacy that will result with the development to their south. He does not feel that the no clear zone, while improved, is still not adequate to protect their existing privacy.

Ms. Ombrello is concerned that they will be looking at the new homes from their property and they don't want that. She requested that the no clear zone be increased to a minimum of 30 feet. Could greenspace requirements be revised to require the developer to include more greenspace in the new phase?

Mr. Ombrello is also concerned about the new traffic pattern with the left turn lanes; would there be addition of another lane in between the north and southbound lanes? Will this require widening of the road in this area?

Mr. Dudas said they would have to see if it can be done within the right-of-way or not.

Ms. Ombrello asked if the traffic study had included the projected residents for all three phases of Northampton.

Mr. Dixon confirmed that those populations had been projected into the study.

Ms. Ombrello continued and asked why the City Ordinances allow for so much development. The schools are crowded already and how are they going to handle the additional student-load?

Ms. Iverson said the schools are entirely separate and it is their fiduciary responsibility to be aware of what is coming from Planning Commission.

Mr. Bob Smith, 1327 South Main Street, approached the podium. He said he echoes all the Ombrello's sentiments. In addition, he said there were a couple of items that were said tonight that he wanted some clarification on. Will the gradients of the land that will have walkout basement abutting his property be re-graded and how will that affect the diversion of water?

He asked about the retention ponds at the front of the property. Will they have walls or be level ponds?

Mr. Boron said they would be level.

Mr. Smith asked about the additional 15 feet of greenspace that has been added to the plans. Would that remain wooded or cut and graded with no woods? Will the conservation easement that was discussed be required to have some trees or vegetation planted there?

Another concern of Mr. Smith is the new traffic pattern. How far will the new lane run in either direction?

Mr. Knebel said they will have further information regarding this after the next submittal.

Ms. Kim Kesling, 1535 South Main Street, said she would like to thank all her neighbors for supporting their properties and requested that anything that could be done to save their wooded properties would be appreciated.

Mr. Lee Sherlow, 5129 Cedarbrook Court, is concerned about all the development that is going on and how it will affect the traffic patterns throughout the city. He feels that Springboro is moving away from an agricultural feel to more of a suburban feel.

Ms. Iverson closed guest comments for the evening.

VIII. Planning Commission and Staff Comments

Ms. Iverson asked Mr. Boron if he had any additional comments.

Mr. Boron said the next Planning Commission meeting will be held on Wednesday, May 14 at 6:00 pm in Council Chambers at the City Building, 320 West Central Avenue. The deadline for submittals is Friday, April 25 at noon.

Ms. Iverson asked if anyone on Planning Commission would not be able to attend the May 14 meeting.

Ms. Iverson called for any other questions or comments from Planning Commission members. There were none.

IX. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the April 9, 2025 Planning Commission Meeting at 7:32 pm.

Mr. Sillies seconded the motion.

Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary