

Agenda
City of Springboro Planning Commission Meeting
Wednesday, September 10, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. August 20, 2025 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in rear yard setback
 - B. Final Approval, Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road West Central Avenue (SR 73)
 - C. Final Approval, Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road West Central Avenue (SR 73)
 - D. Final Approval, Record Plan, 605 North Main Street (SR 741), Easton Farm PUD-MU, Planned Unit Development-Mixed Use, replat in multi-family component
 - E. Preliminary Review, Site Plan Review, 216 Tahlequah Trail, building addition, new parking lot for Thaler Machine
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, September 10, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear yard setback

Background Information & Staff Recommendation

This agenda item is an application, filed by Nathan Carmack, contractor, on behalf of Hannah and Daren Yingling, property owners, requesting a variance from the minimum rear setback to allow the construction of a covered patio on the residence located at 295 Montgomery Lane in the Beck Ridge subdivision. The rear yard setback for this property is 25 feet; the applicants would like to construct an attached covering to an existing patio to within 16 feet of the rear property line.

Beck Ridge is zoned PUD-R, Planned Unit Development-Residential. The Planning and Zoning Code provides relief from the strict interpretation of the code in PUDs such as Beck Ridge from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zoned properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

This item was reviewed on a preliminary basis at the August 20 Planning Commission meeting. The documentation requested by City staff—Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property—has been submitted.

City staff recommends approval of the variance request as submitted.

B. Final Approval

Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73)

Background Information

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 A, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, includes 19 buildable lots on a total of 13.18 acres. The subdivision plan including this section was approved by Planning Commission in March. The original record plan for Eastbrook Farm has been broken into two phases due to the slow progress of construction. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions:

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon.
4. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

C. Final Approval

Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road West Central Avenue (SR 73)

Background Information

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 B, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, contains 26 buildable lots on a total of 7.67 acres. The subdivision plan including this section was approved by Planning Commission in March. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development.
4. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

D. Final Approval

Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component

Background Information

This agenda item is a request for record plan approval for Easton Farm, Section Two. The plan is a replatting of the apartment component, adjusting for the additional property obtained at the southwest corner of that component of the Easton Farm PUD-MU, Planned Unit Development-Mixed Use. The record plan is also adding additional right of way along Noel Drive to match the frontage of the apartment site. This record plan corresponds to the final development plan approved at the August 20 Planning Commission meeting. Once approved, the plan will proceed to City Council for final approval.

E. Preliminary Review

Site Plan Review, 216 Tahlequah Trail, building addition, new parking lot for Thaler Machine

Background Information

This agenda item is as request for site plan review approval for improvements to the Thaler Machine operation located at 216 Tahlequah Trail. Thaler Machine intends to construct a 31,500-square foot addition on the east side of the existing building. That site is the present location of Thaler's principal parking lot. At this time Ferguson Construction, on behalf of Thaler, is seeking approval to install a new 78-space parking lot on the northeast corner of site with access from Hiawatha Trail, install a new stormwater retention area on the Hiawatha Trail frontage, and prepare the existing parking lot site for the addition. Plans for the building addition are presently incomplete; Planning Commission's review of the building details would need to be presented at a future meeting.

This item is scheduled for preliminary review by the Planning Commission at the September 10 meeting. However, if Planning Commission finds the parking lot/stormwater retention plan acceptable, it may make a formal recommendation of approval by amending the agenda, with the building addition being excluded from the approval.

Staff Comments

City staff has the following comments regarding this agenda item:

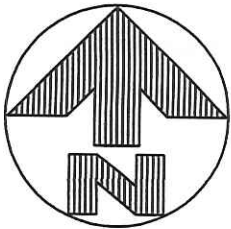
1. Details on the proposed building addition—elevations and a floor plan—to be submitted to City staff for review of that portion of the site plan review process. Parking lot approval contingent on completion of proposed addition and review by Planning Commission at a future meeting.
2. Provide information on the proposed lighting of the parking lot including photometrics, fixtures, and other information to determine compliance with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code.
3. Provide a landscape buffer along the north side of the proposed parking lot and along Hiawatha Trail consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code.
4. Provide proposed building population (at build-out) that is being used to determine parking lot requirements for the site.
5. Provide information on how pedestrian access will be provided between the parking lot and existing/proposed building.
6. Detention design under review.

7. Locate existing 8-inch water main and verify min depth of 4.5 feet for improvements. Otherwise, lower watermain accordingly.
8. Add note at curb cut stating that existing curb and gutter to be removed and replaced with depressed ODOT Type 2 curb and gutter.
9. Provide Storm Water Pollution Prevention Plan (SWPPP) per EPA requirements.
10. Identify benchmark.

The information contained in this report is based on material provided to the City of Springboro as of Wednesday, September 3, 2025 at 12:00 p.m.



295 Montgomery Ln Variance Request, covered patio



15 0 15 30 45

YINGLING RESIDENCE
295 MONTGOMERY LANE

SETBACKS:
FRONT YARD=30'
REAR YARD=25'
SIDE YARD=5'

C19
R=50.00'
L=43.83'



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF
WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY
AN ENGINEERING FIRM, CONTRACTOR TAKES FULL
RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH
FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS
CONTRACTOR'S RESPONSIBILITY.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH
AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND
AND AWAY FROM HOUSES.

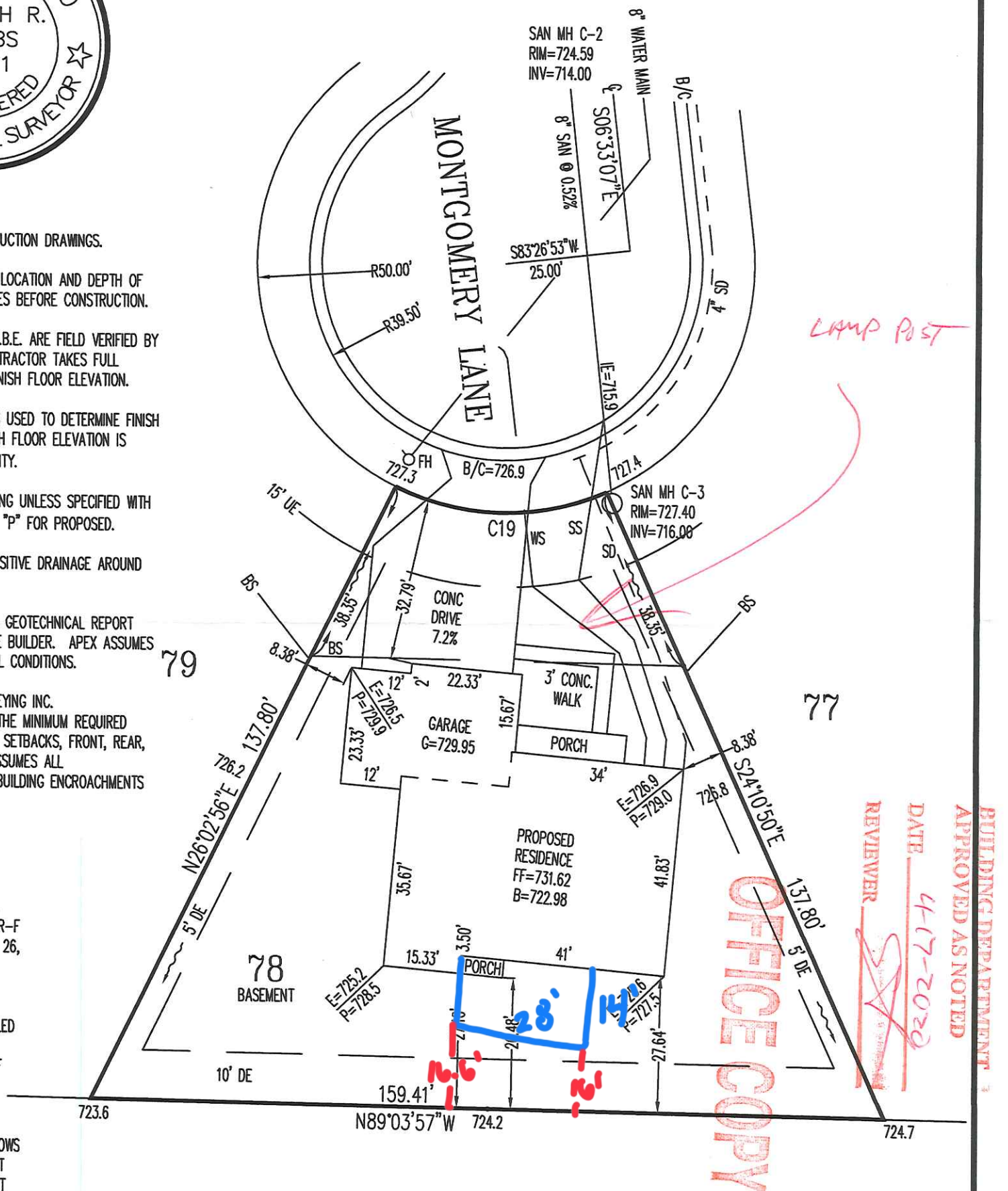
PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT
SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES
NO RESPONSIBILITY FOR SOIL CONDITIONS.

APEX ENGINEERING & SURVEYING INC.
ADVISES AGAINST HOLDING THE MINIMUM REQUIRED
DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR,
AND SIDES. THE BUILDER ASSUMES ALL
RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS
THAT MAY OCCUR.

ORIGINAL F.E.M.A. PANEL
39165C0017E, EFF. DEC. 17,
2010. AND REVISED BY LOMR-F
20-05-1943A, DATED MAR. 26,
2020

CORNER GRADES SHOWN
HEREON ARE FROM A SUPPLIED
DRAWING AND ARE
REPRESENTATIVE OF LOMR-F
20-05-1943A

TOP OF WINDOW WELLS OR
BOTTOM OF BASEMENT WINDOWS
TO BE AT OR ABOVE LOWEST
LOT ELEVATION FOR THIS LOT
PER LOMR-F 20-05-1943A



PROJECT No. BECK RIDGE

REVISED: 03/31/2020
DWG No. 200515PB

DATE: 03/10/2020

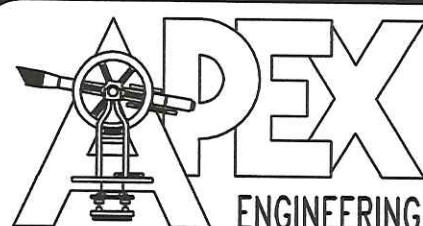
ASSOCIATE CONSTRUCTION

PLOT PLAN
LOT 78 (12,458 SF) 0.2860 AC.
BECK RIDGE, SECTION THREE
CITY OF SPRINGBORO
CLEARCREEK TWP. WARREN COUNTY, OHIO

SCALE: 1"=30'

DRAWN: JLS

CHECKED: KC

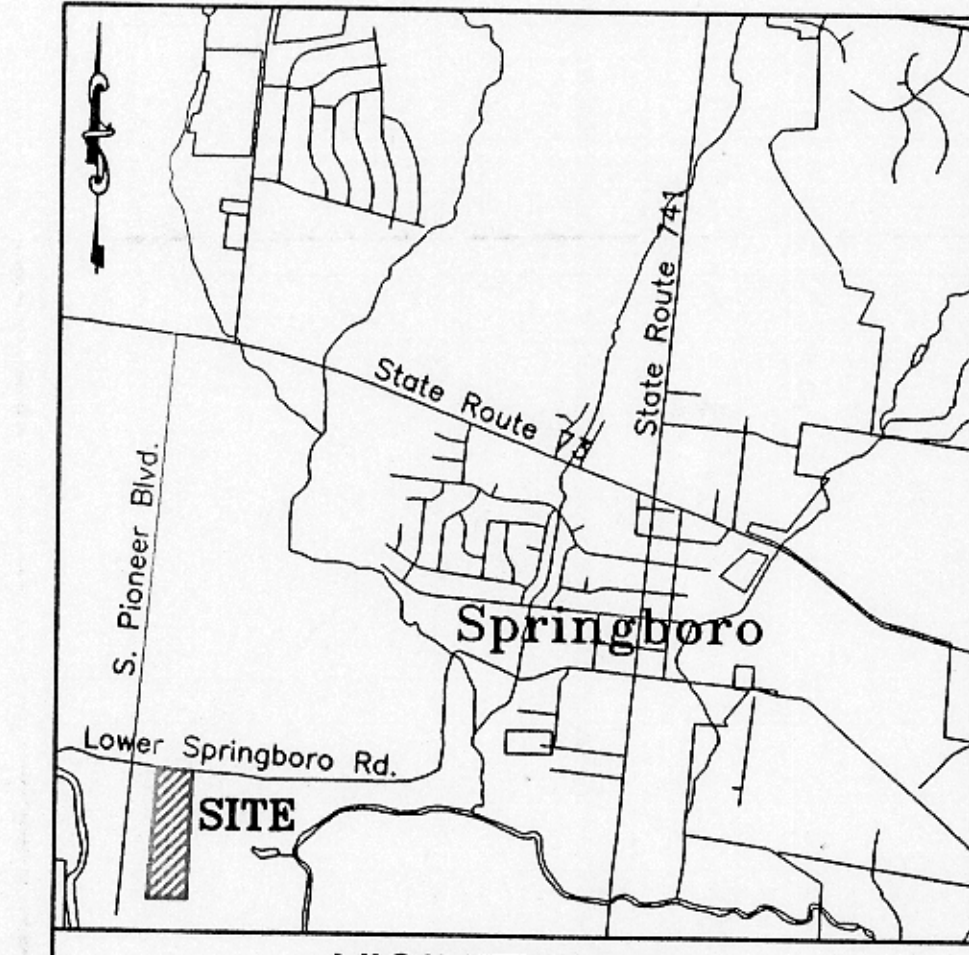


ENGINEERING & SURVEYING, INC.
1068 NORTH UNIVERSITY BLVD. MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

RECEIVED

APR 15 2020

AMB



VICINITY MAP
N.T.S.

Beck Ridge	
Single Family Area	
Design Criteria For 72' Wide Lots 7 Total Lots	
Minimum Lot Area: 8,640 S.F.	
Minimum Lot Width: 72'	
Minimum Front Yard: 30'	
Minimum Rear Yard: 25'	
Minimum Side Yard: 5'	
Maximum Bldg. Height: 35'	
Minimum Dwelling Unit Floor Space: 1,000 S.F.	
Minimum Offstreet Parking: 4	

Beck Ridge	
Single Family Area	
Design Criteria For 75' Wide & Larger Lots 85 Total Lots	
Minimum Lot Area: 9,000 S.F.	
Minimum Lot Width: 75'	
Minimum Front Yard: 30'	
Minimum Rear Yard: 25'	
Minimum Side Yard: 5'	
Maximum Bldg. Height: 35'	
Minimum Dwelling Unit Floor Space: 1,000 S.F.	
Minimum Offstreet Parking: 4	

Total Area Summary	
Lots & Streets: 27.11 Ac.	
Reserve A & B: 23.14 Ac.	
Total: 50.25 Ac.	
Density: 1.83 Units/Acre	

Reserve Area Summary	
Reserve A: 19.25 Ac.	
Reserve B: 3.89 Ac.	
Total Reserve Area: 23.14 Ac. (46.0% of 50.25 Ac.)	

BECK RIDGE

PRELIMINARY DEVELOPMENT PLAN

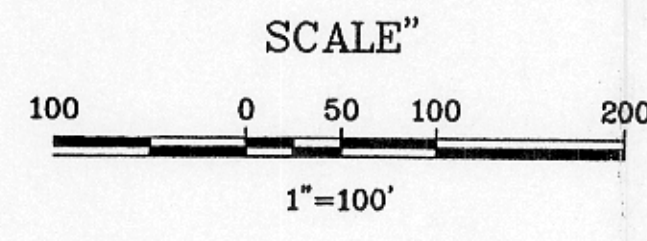
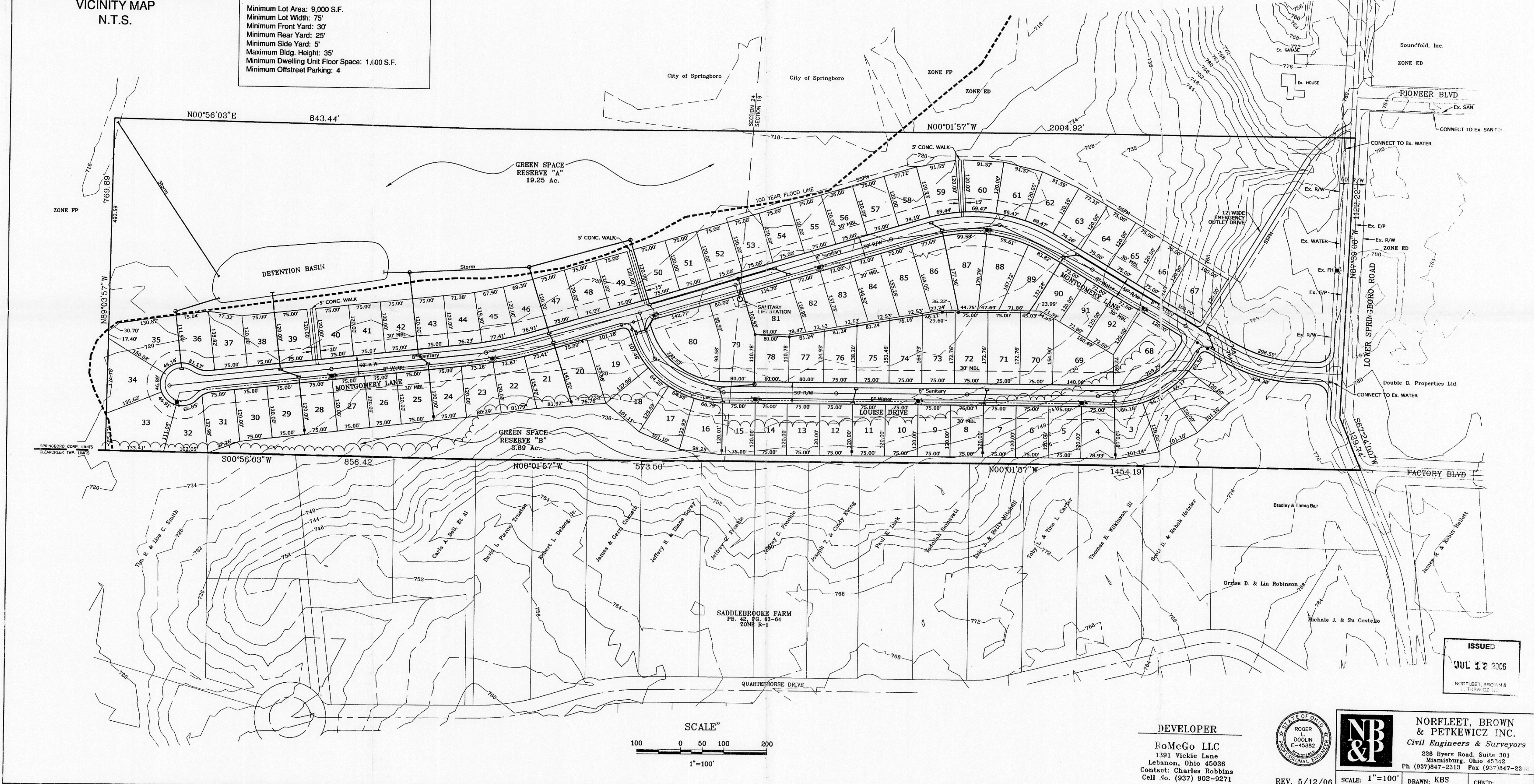
SECTION 19 & 24, TOWN 3, RANGE 4

CITY OF SPRINGBORO

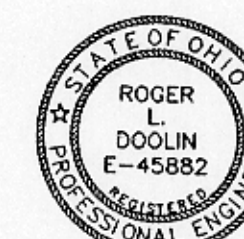
WARREN COUNTY, OHIO

50.25 Ac.
92 LOTS

- GENERAL NOTES:
- EXISTING ZONING: ED, EMPLOYMENT CENTER DISTRICT.
 - PROPOSED ZONING: R-PUD, RESIDENTIAL PLANNED UNIT DEVELOPMENT.
 - TYPICAL PUBLIC STREET SECTION: 29' B-B OF CURB WITH NO SIDEWALK.
 - RESERVE AREAS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - ALL PROPOSED STORM SEWERS OUTSIDE OF STREET R/W SHALL BE IN A 15' EASEMENT.
 - GREEN SPACE AREAS SHALL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - DECKS AND PATIOS ARE PERMITTED IN THE REAR SETBACK AREA.



DEVELOPER
RoMcGo LLC
1391 Vickie Lane
Lebanon, Ohio 45036
Contact: Charles Robbins
Cell No. (937) 902-9271



NORFLEET, BROWN & PETKEWICZ INC.
Civil Engineers & Surveyors
228 Byers Road, Suite 301
Miamisburg, Ohio 45342
Ph (937) 847-2313 Fax (937) 847-2314

REV. 5/12/06	SCALE: 1"=100'	DRAWN: KBS	CHK'D:
REV. 7/11/06	DATE: JULY, 2006	JOB No.: 05-5943	

General Plan reviewed @ 7/26 Plan Comm.
mtg; see also Exhibit A.

City has asked the applicant to provide documentation from the Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property. I have spoke with both abutting residents and they will provide emails for the hearing. I have attached the proposed design provided by Nathan Carmack as well as the plot plan. If you have any questions regarding the design for HOA approval, please dont hesitate to contact Nathan at 937-475-0320

The archived message is obsolete to this date

You - August 13, 2025 7:09 PM

Your application is approved.

Mollie Moore - August 21, 2025 12:49 AM

Enter message





[View Calendar](#)

Architectural Review Requests

[Submit New Review](#)

We have hired a cont...

44 days ago

APPROVED



[Show All](#)

Maintenance Requests

[Request Maintenance](#)

You currently do not have any open maintenance requests.

Date: August 20, 2025 at

3:05:05 PM EDT

To: "D. Yingling"

<darenyingling@gmail.com>

**Subject: RE: Agenda Item and
Staff Comments for City of
Springboro Planning Commission
meeting, Wednesday, August 20,
2025 at 6:00 pm**

***I have no objections to Daren
adding a back porch attached
to his home.***

Jeff Zellers

From: D. Yingling

<darenyingling@gmail.com>

Sent: Wednesday, August 13, 2025 9:59

PM



D. Yingling Aug 13



to jeff.zellers, me ▾

Jeff,

This is an email provided by Mr. Carmack, our hired contractor. Please reply all to ensure he receives the email as well so we can add your response to our file. Appreciate you Jeff!
-Daren



GARY CANTERB... Aug 14



to Yingling, me ▾

Absolutely no concerns.

**Gary Canterbury
289 Montgomery
45066**

On Aug 13, 2025, at 7:22 PM, D. Yingling
<darenyingling@gmail.com> wrote:



Eastbrook Farms Section 1 Phases A & B



February 18, 2025

To Whom It May Concern,

Michael T. Schueler as owner and representative member of Eastbrook Farms Inc., Bunnell Hill Development and parcel #0414153025 located in Springboro Ohio, authorize John S. Del Verne and or Bayer Becker, to present the record plats for the proposed Eastbrook Farms, Section Phase A & B Subdivision on my behalf.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Michael T. Schueler', is written over the printed name.

Michael T. Schueler
Eastbrook Farms Inc.
Bunnell Hill Development

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Bayer Becker

Address 6900 Tylersville Rd, Suite A
Mason, Ohio 45040

Telephone No. (513) 492-7141

Fax No. ()

Email Address allieperdue@bayerbecker.com

PROPERTY OWNER NAME (IF OTHER): Bunnell Hill Development Company Inc.

Address: 3000 Henkle Dr
Lebanon, Ohio 45036

Telephone No. (513) 932-6010

Property Address or General Location: East of Clearcreek Franklin Rd & South of Whispering Pines

Parcel Number(s): 0414153025 **Zoning District:** R-2

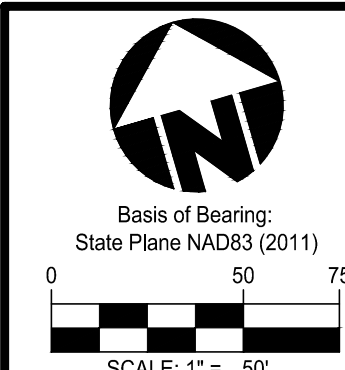
Proposed Use: Single Family Residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Allie Perdue
(Signature of Applicant and/or Agent)

8/22/25
(Date)

Allie Perdue
Printed Name

[illegible]

EASTBROOK FARMS
SECTION 1, PHASE A
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
RECORD PLAT

**bayer
becker**

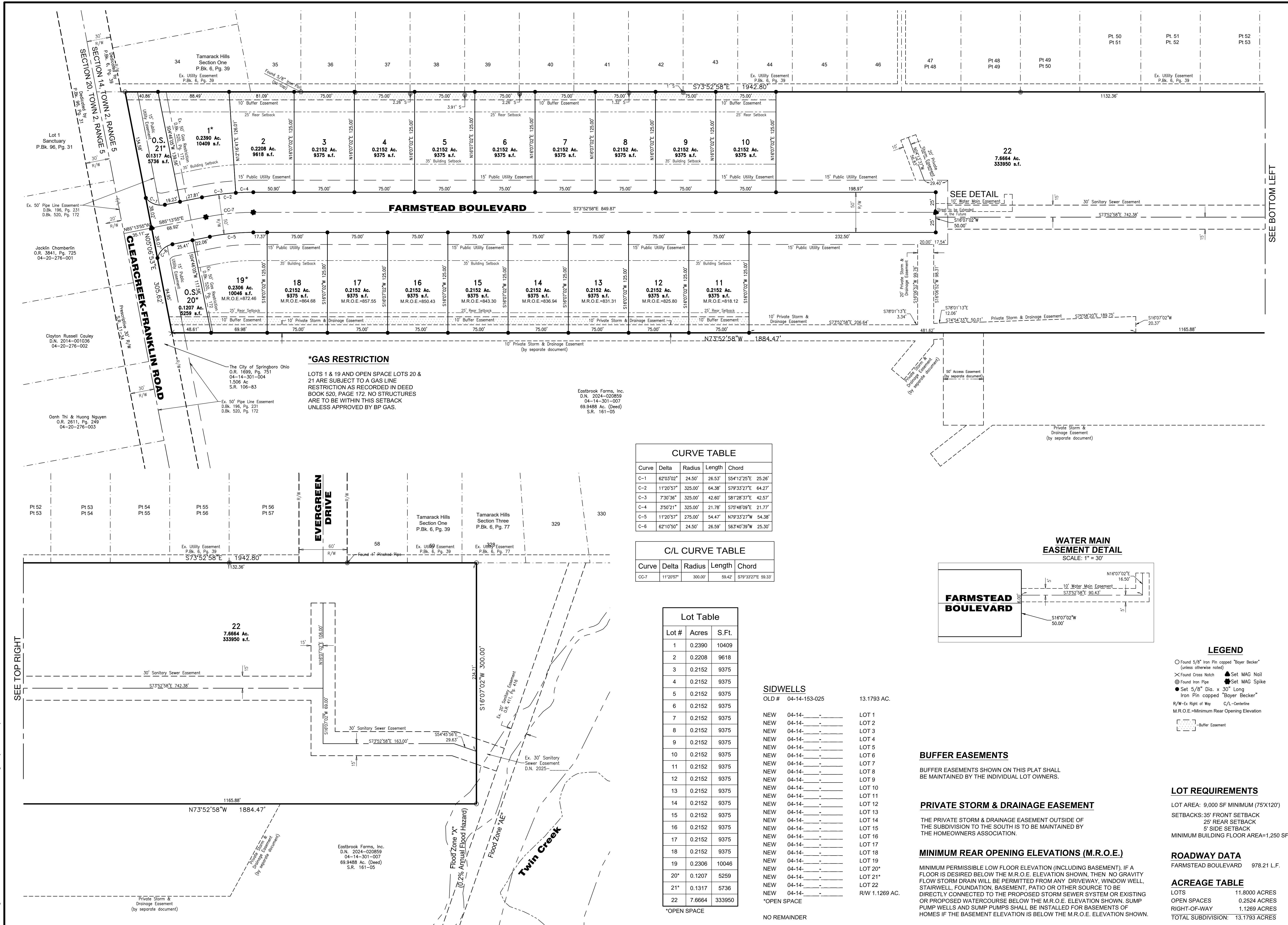
www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 • 513.336.6600

Drawing: 23-0256 RP

Checked By:	TM
Issue Date:	

Check:

2/2



Plot time: Aug 22, 2025 - 7:04am
Drawing name: J:\2023\23-0256\SV\DWG\23-0256 RP 1A.dwg - Layout Tab: Layout1

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Bayer Becker

Address 6900 Tylersville Rd, Suite A
Mason, Ohio 45040

Telephone No. (513) 492-7141

Fax No. ()

Email Address allieperdue@bayerbecker.com

PROPERTY OWNER NAME (IF OTHER): Bunnell Hill Development Company Inc.

Address: 3000 Henkle Dr
Lebanon, Ohio 45036

Telephone No. (513) 932-6010

Property Address or General Location: East of Clearcreek Franklin Rd & South of Whispering Pines

Parcel Number(s): 0414153025 **Zoning District:** R-2

Proposed Use: Single Family Residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Allie Perdue
(Signature of Applicant and/or Agent)

8/22/25
(Date)

Allie Perdue
Printed Name



Easton Farm Record Plan, Replat

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☒ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Easton Farm Partners, LLC

Address: 985 N High Street, Suite 200
Columbus, OH 43201

Telephone No. (614) 356-5502

Fax No. ()

Email Address CWesterheide@borror.com

PROPERTY OWNER NAME (IF OTHER): Easton Farm Partners, LLC & City of Springboro

Address: 985 N High Street, Suite 200, Columbus, OH 43201 &
320 W Central Avenue , Springboro ,OH 45066

Telephone No. ()

Property Address or General Location: 605 North Main Street, Springboro, OH 45066

Parcel Number(s): 04-14-235-001, 04-14-240-001, 04-14-227-006, Acreage: 90.05
04-14-230-001, 04-14-227-007, 04-14-600-003

PUD Category: ☐ Residential ☐ Retail ☐ Office ☐ Manufacturing ☒ Mixed Use

If Mixed Use, Acreage in Each Category: Commercial (Lot 1A)=11.9060 Ac, Multi-Family (Lot 2A)=11.8329 Ac, Townhomes-1 (Lot 3A)=1.8728 Ac, Townhomes-2 (Lot 4A)=2.0228 Ac, City (Lot 5A)=58.5312 Ac, Right-of-Way=3.8912 Ac

For Residential Proposed Density N/A Number of Residential Units TH=70 units
MF=252 units

Proposed Use: This Record Plan application requests approval for the re-plat of Lots 1-5 as shown on the original Easton Farm Section 1 Record Plan for the reconfiguration of Noel Drive and Easton Farm Drive and the addition of several easements required for the development.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

8/22/2025
(Date)

Connor Westerheide
Printed Name

August 26, 2025

City of Springboro
320 West Central Avenue
Springboro, OH 45066

Re: Easton Farm Development Record Plan Submission

To Whom It May Concern:

This letter is to confirm that Lori Steiner, President of Easton Farm Partners, LLC, authorizes this application with the City of Springboro and Warren County and any other governmental authority for any and all required approvals for a Parcel Split of Owner's Land and for Record Plat approval of the Property as identified on the attached legal description and submission documents ("Attachment A").

If you should have any questions regarding this matter, please do not hesitate to contact me.

Very Truly Yours,



LoriBeth M. Steiner
President
Easton Farm Partners, LLC
614-356-5502

Cc: Chris Pozzuto
Dan Boron



August 26, 2025

Ms. September Bee, Secretary
Springboro Planning Commission
320 West Central Avenue
Springboro, Ohio 45066

RE: Record Plan/Replat for Easton Farm PUD-MU

Dear Ms. Bee,

The City of Springboro, owner of parcels #04-14-227-007 and #04-14-600-003, located in the City of Springboro, authorize Easton Farm Partners, LLC., and/or Borrer to submit a Record Plan application for the proposed Easton Farm subdivision.

Sincerely,

Chris Pozzuto, City Manager
City of Springboro

DEED REFERENCE

SITUATED IN SECTION 14, TOWN 2, RANGE 5, BETWEEN THE MIAMIS, THE CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP, WARREN COUNTY, OHIO, CONTAINING 86.6056 ACRES OF LAND AND BEING ALL OF LOTS 1-4 OF EASTON FARM, SECTION ONE AS RECORDED IN PLAT BOOK 110, PAGE 73 AND AS CONVEYED TO EASTON FARM PARTNERS, LLC AS RECORDED IN DOCUMENT NUMBER 2025-004560 AND DOCUMENT NUMBER 2025-004561; ALL OF LOT 5 OF SAID EASTON FARM, SECTION ONE AS CONVEYED TO CITY OF SPRINGBORO, OHIO AS RECORDED IN DOCUMENT NUMBER 2025-004616; AND ALL 0.0173 ACRES OF NOEL DRIVE VACATED BY DOCUMENT NUMBER 2025-____ AS CONVEYED TO EASTON FARM PARTNERS, LLC AS RECORDED BY DOCUMENT NUMBER 2025-____, WARREN COUNTY, OHIO.

OWNER CONSENT AND DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND TRAILS AND FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES, SIDEWALKS, AND TRAILS. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, SIDEWALKS, TRAILS, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO THE CITY OF SPRINGBORO, DUKE ENERGY, AT&T & CHARTER COMMUNICATIONS.

OWNER: EASTON FARM PARTNERS, LLC
AN OHIO LIMITED LIABILITY COMPANY

SIGNATURE: _____

PRINTED NAME: _____

TITLE: _____

STATE OF OHIO

COUNTY OF WARREN

ON THE _____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED EASTON FARM PARTNERS, LLC, AN OHIO LIMITED LIABILITY COMPANY, AS REPRESENTED BY _____ ITS _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

OWNER: CITY OF SPRINGBORO, OHIO
A MUNICIPAL CORPORATION

SIGNATURE: _____

PRINTED NAME: _____

TITLE: _____

STATE OF OHIO

COUNTY OF WARREN

ON THE _____ DAY OF _____ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF OHIO, PERSONALLY APPEARED CITY OF SPRINGBORO, OHIO, A MUNICIPAL CORPORATION AS REPRESENTED BY _____ ITS _____ WHO ACKNOWLEDGED THE ACCOMPANYING PLAN TO BE THE OFFICIAL PLAN OF SUBDIVISION SITUATED IN THE CITY OF SPRINGBORO, WARREN COUNTY, OHIO AND DESIRED THAT SAID PLANS BE RECORDED ACCORDING TO LAW. WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

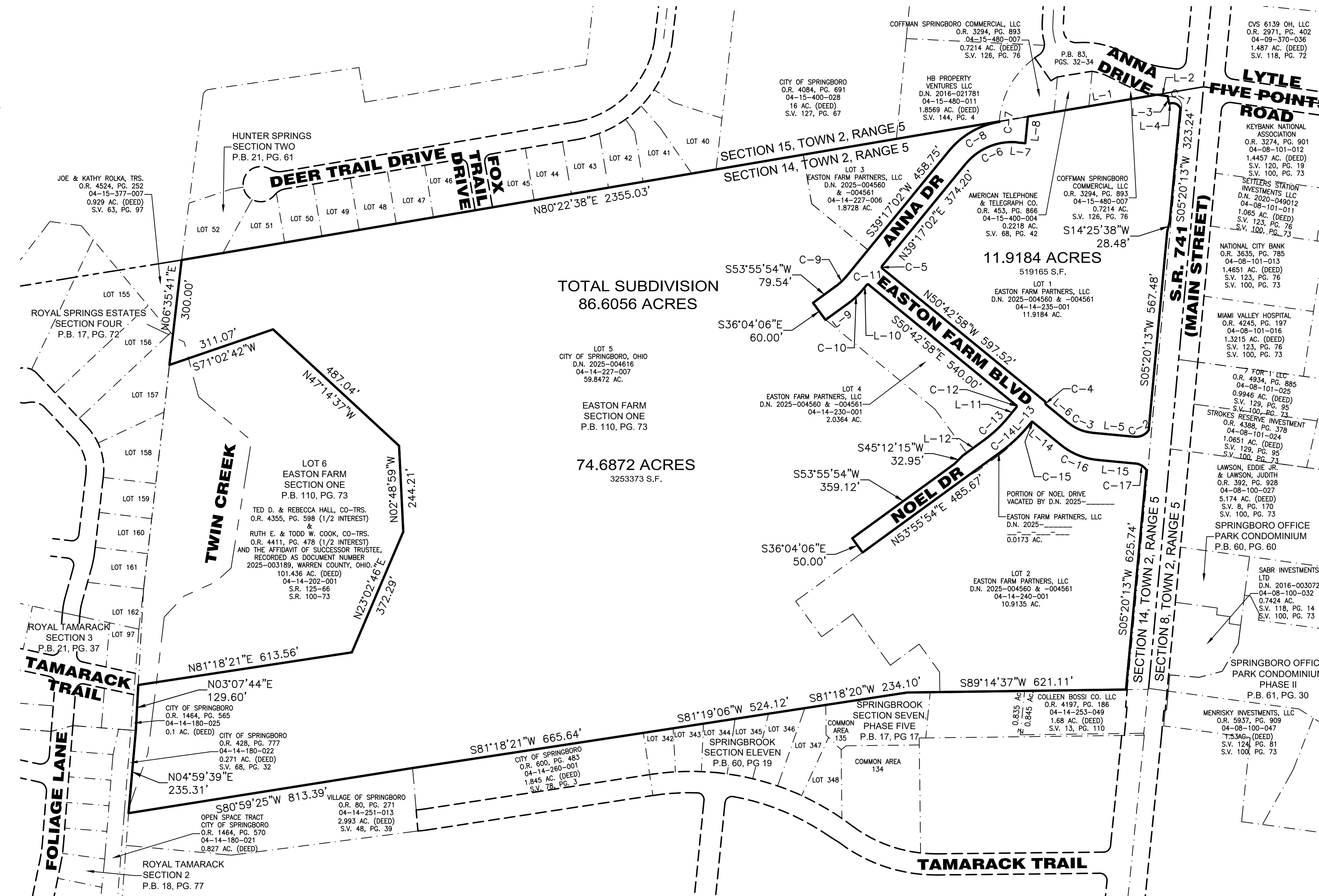
MY COMMISSION EXPIRES: _____

CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS A COMPLETE SURVEY MADE UNDER MY DIRECTION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

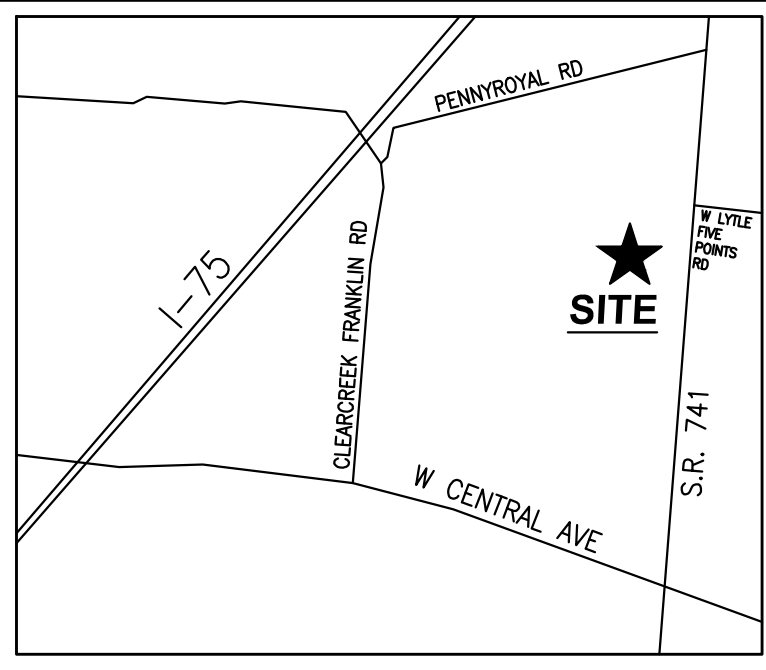
THOMAS M. EDWARDS _____ DATE _____
PROFESSIONAL SURVEYOR #8941
IN THE STATE OF OHIO

EASTON FARM, SECTION TWO
BEING A REPLAT OF LOTS 1-5 OF EASTON FARM, SECTION ONE
PLAT BOOK 110, PAGE 73
& 0.0173 ACRES OF VACATED NOEL DRIVE
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
AUGUST, 2025



SHEET INDEX

1. TITLE SHEET
2. OVERALL SITE
- 3-4. LOT & EASEMENT DETAILS
5. LOT 2A WATER MAIN DETAIL



VICINITY MAP
N.T.S.

OWNER
EASTON FARM PARTNERS, LLC
985 HIGH STREET SUITE 200
COLUMBUS, OHIO 43201

OWNER
CITY OF SPRINGBORO, OHIO
320 WEST CENTRAL AVENUE
SPRINGBORO, OHIO 45066

SURVEYOR
BAYER BECKER, INC.
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040
PH: (513) 336-6600

APPROVALS

THIS PLAT APPROVED BY COUNCIL OF THE CITY OF SPRINGBORO ON THIS _____ DAY OF _____, 2025.

ATTEST:

CLERK OF COUNCIL

MAYOR

CITY ENGINEER

COUNTY AUDITOR

TRANSFERRED ON THIS _____ DAY OF _____, 2025, AT _____ M.

COUNTY AUDITOR

DEPUTY

PRINTED NAME: _____

COUNTY RECORDER

FILE NO. _____

RECEIVED ON THIS _____ DAY OF _____, 2025, AT _____ M.

RECORDED ON THIS _____ DAY OF _____, 2025, AT _____ M.

RECORDED IN PLAT BOOK NO. _____ ON PAGE NO. _____

FEE: _____

COUNTY RECORDER

DEPUTY

PRINTED NAME: _____

EASEMENT NOTE

SANITARY SEWER, STORM AND WATER MAIN EASEMENTS SHOWN ON THIS PLAT ARE CONSIDERED PUBLIC EASEMENTS UNLESS OTHERWISE STATED.

SURVEY NOTES

1. BASIS OF BEARING: NAD83 (2011) GPS OBSERVATIONS (O.D.O.T. RTN, OHIO SOUTH ZONE 3402).
2. PRIOR DEED REFERENCES: DOCUMENT NUMBER 2025-004560
DOCUMENT NUMBER 2025-004561
DOCUMENT NUMBER 2025-004616
DOCUMENT NUMBER 2025-____
3. LINES OF OCCUPATION WHERE THEY EXIST GENERALLY AGREE WITH BOUNDARY LINES UNLESS OTHERWISE SHOWN ON PLAT.
4. 5/8" DIAMETER X 30" LONG IRON PINS WILL BE SET ON ALL LOT CORNERS AND ALL CHANCES OF DIRECTION ONLY OVER COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
5. ALL EXISTING MONUMENTS ARE IN GOOD CONDITION.
6. ALL DOCUMENTS USED AS SHOWN.

CITY OF SPRINGBORO NOTES

1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
2. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AS PER CITY ORDINANCE NUMBER 0-90-36.
3. NO PERSON SHALL INSTALL ANY PUMP, PUMPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO THE PUBLIC RIGHT-OF-WAY WITHOUT THE APPROVAL OF THE CITY ENGINEER.
4. THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAINAGE DITCHES OR CHANNELS DESIGNATED AS DRAINAGE EASEMENT ON THIS PLAT.
5. ALL SUMP DRAINS, DETENTION BASINS, ISLANDS, AND OPEN SPACE LOTS SHALL BE MAINTAINED BY THE LOT OWNER.
6. NO DEVELOPMENT TO OCCUR IN THE FLOODWAY AND/OR FLOOD PLAIN WITHOUT PRIOR PERMIT APPROVAL BY THE CITY ENGINEER.+
7. NO PRIVATE IMPROVEMENTS OF ANY KIND SHALL BE MADE ON ANY RIGHT OF WAY OR EASEMENT WHICH WOULD INTERFERE WITH ACCESS TO ANY PROPOSED STREET, UTILITY, OR OTHER SERVICES IMPROVEMENT, PRESENT OR FUTURE, AND THE CITY OF SPRINGBORO SHALL NOT BE RESPONSIBLE TO ANY PRESENT OR FUTURE OWNERS OF THE PROPERTY INDICATED ON THIS PLAN FROM ANY DAMAGE DONE ON SAID RIGHT OF WAY OR EASEMENT TO SHOD, SHRUBBERY, TREES, DRIVEWAY OR OTHER IMPROVEMENTS, EITHER NATURAL OR ARTIFICIAL BY REASON OF ENTERING FOR CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF SAID IMPROVEMENTS.
8. ALL UTILITY FACILITIES, INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC POWER, TELEPHONE, AND CABLE SERVICES, SHALL BE LOCATED UNDERGROUND THROUGHOUT THE SUBDIVISION.

GRANT OF PUBLIC UTILITY EASEMENT

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "PUBLIC UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS OR IMMEDIATELY ADJACENT THERETO, NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

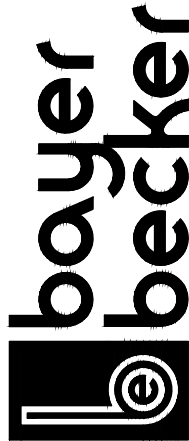
ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATEROALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.



Basis of Bearing:
State Plane NAD83 (2011)
0 200 300
SCALE: 1" = 200'

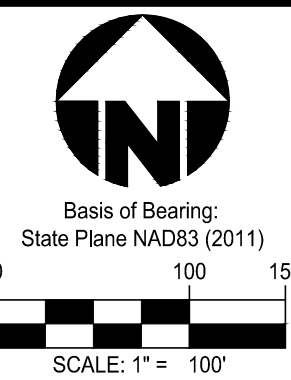
EASTON FARM, SECTION TWO
BEING A REPLAT OF LOTS 1-5 OF EASTON FARM, SECTION ONE
PLAT BOOK 110, PAGE 73
& 0.0173 ACRES OF VACATED NOEL DRIVE
SECTION 14, TOWN 2, RANGE 5 BTM
CITY OF SPRINGBORO, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO

RECORD PLAT



www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 20-0225 RP2 TITLE
Drawn by: PAH
Checked by: TME
Issue Date: 08-22-25
Sheet: 1/5

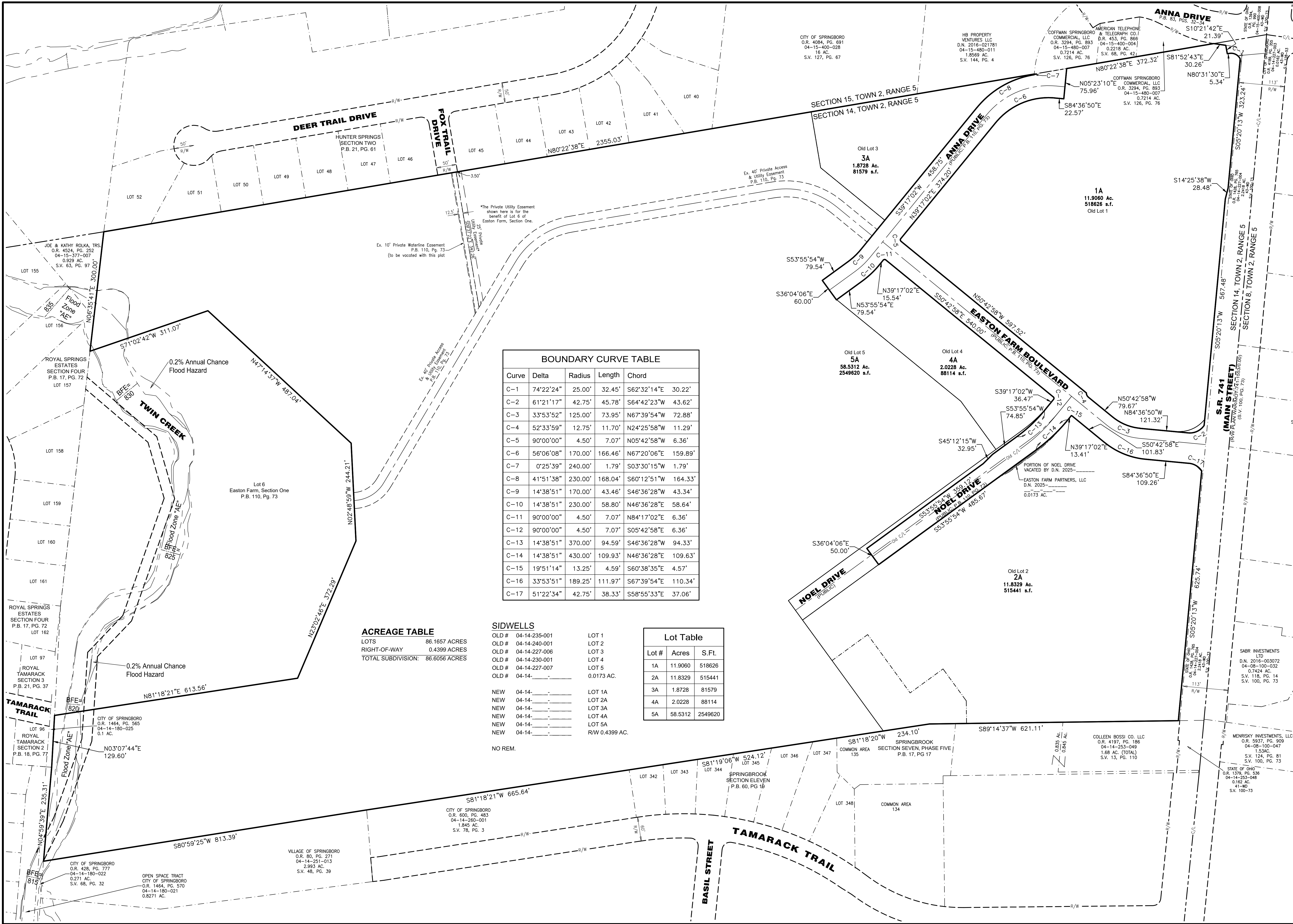


	Item	Revision Description	Date	Dwn:	Cht:
EASTON FARM, SECTION TWO BEING A REPLAT OF LOTS 1,5 OF EASTON FARM, SECTION ONE PLATT BOOK NO. 70, PAGE 72, & 0.0173 ACRES OF VACATED NOEL DRIVE SECTION 14, TOWN 2 , RANGE 5 BTM CITY OF SPRINGBORO, CLAIR CREEK TOWNSHIP WARREN COUNTY, OHIO					
OVERALL SITE					

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6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

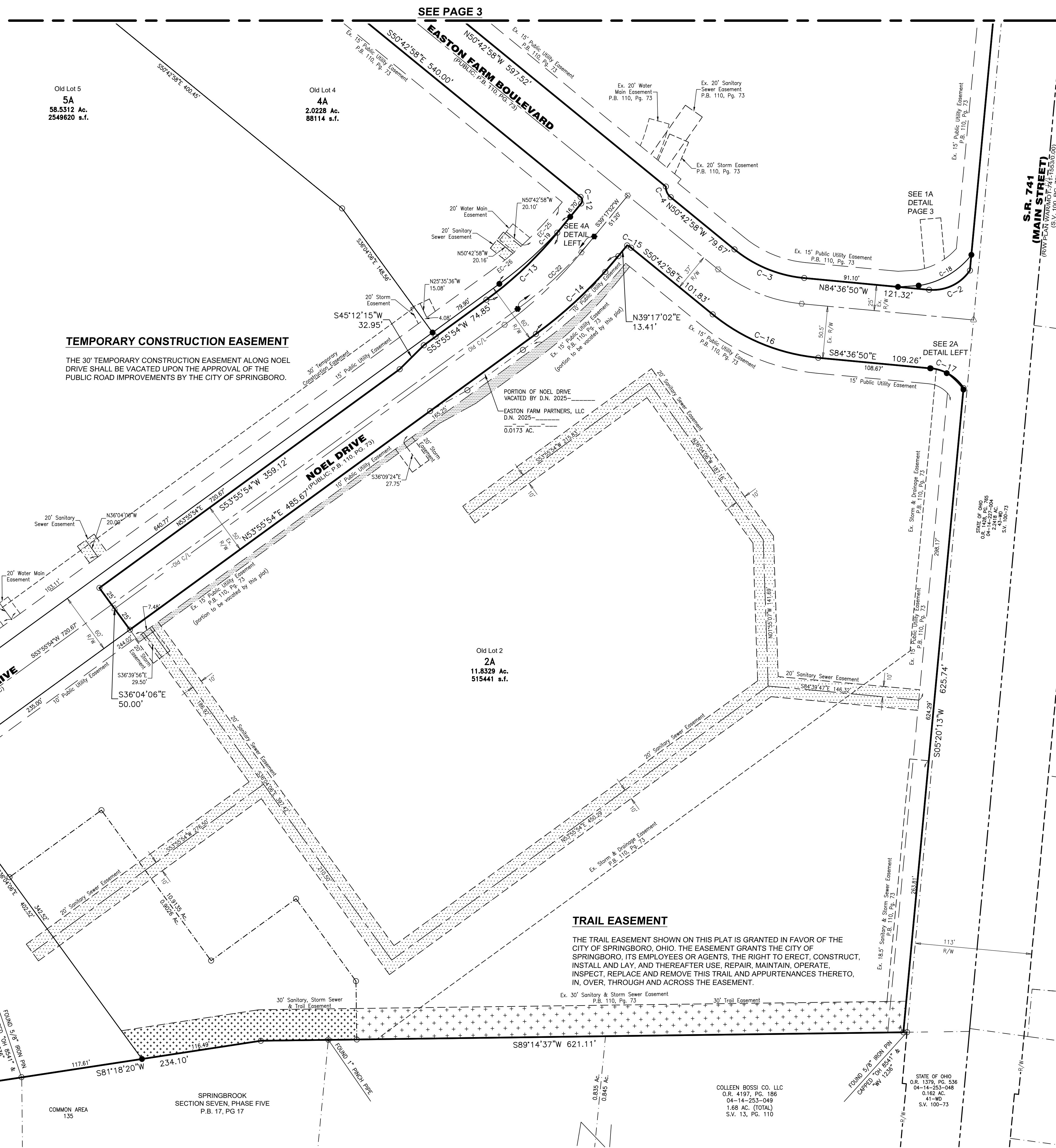
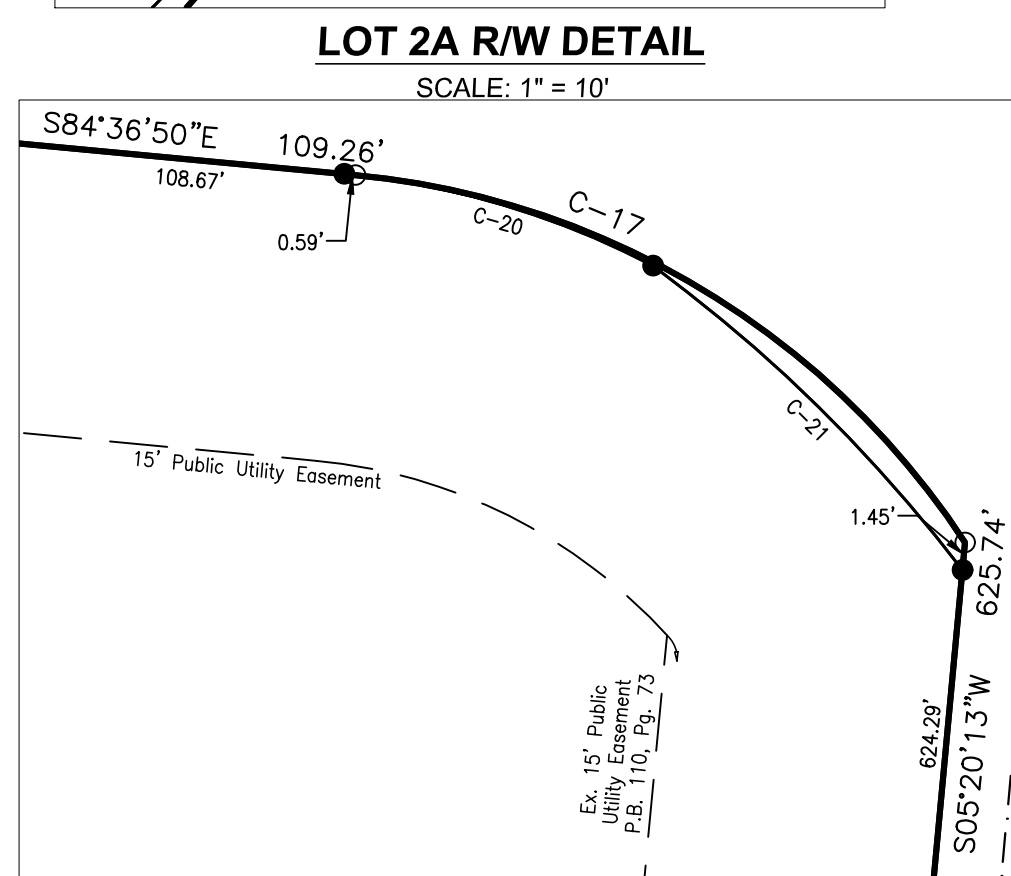
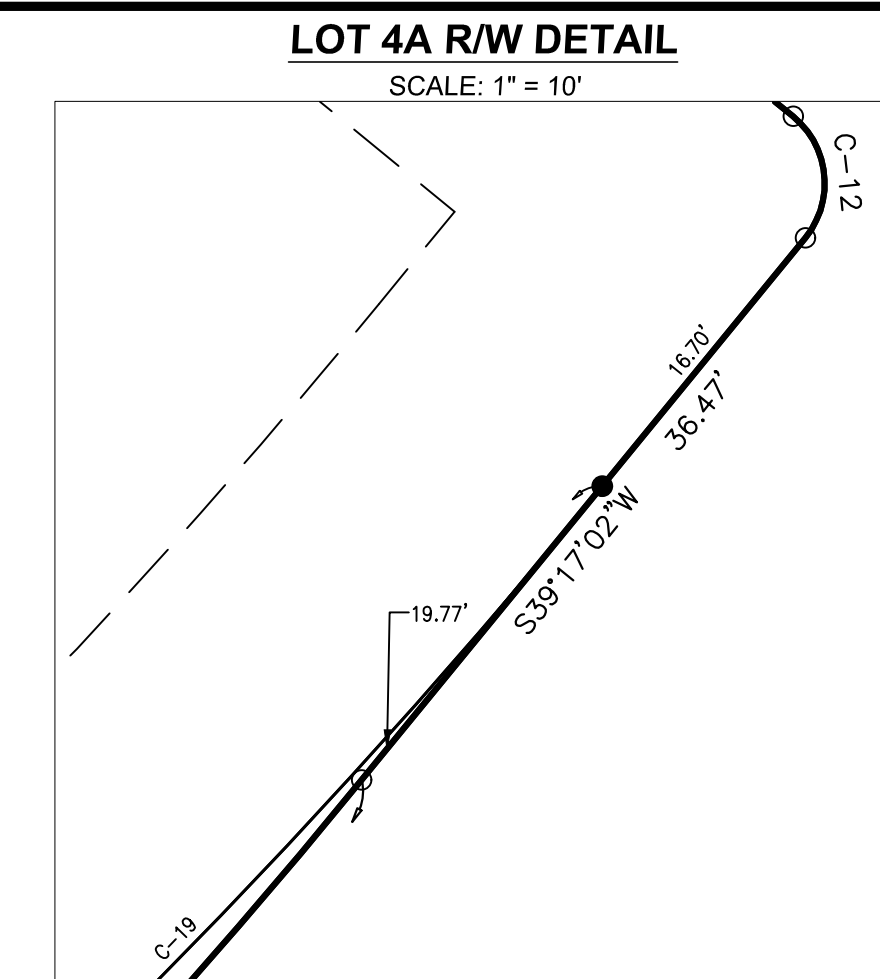
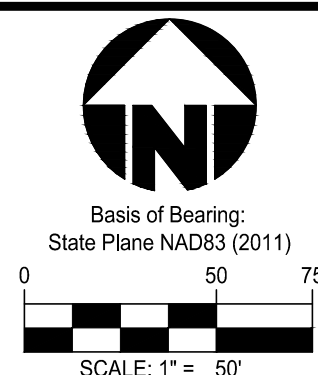
Drawing:	20-0225 RP2
Drawn by:	PAH
Checked By:	TME
Issue Date:	08-22-25
Sheet:	





Drawing:	20-0225 RP2
Drawn by:	PAH
Checked By:	TME
Issue Date:	08-22-25
Sheet:	





EASEMENT CURVE TABLE				
Curve	Delta	Radius	Length	Chord
EC-23	15°50'38"	64.92'	17.95'	N72°54'24"E 17.89'
EC-24	3°00'22"	245.00'	12.85'	N52°25'42"E 12.85'
EC-25	8°08'43"	355.00'	50.47'	N43°21'24"E 50.43'
EC-26	4°32'26"	355.00'	28.13'	N51°39'41"E 28.13'



EASEMENT NOTE
ALL 20' EASEMENTS SHALL BE TAKEN 10'
EVENLY OFF OF DESCRIBED CENTERLINES
UNLESS OTHERWISE NOTED.

ROADWAY DATA
NOEL DRIVE 874.13 L.F.

LEGEND

- Found 5/8" Iron Pin capped "Bayer Becker" (except as noted)
 ● Set 5/8" Iron Pin (5/8"x30" w/ID Cap "Bayer Becker")
 ⊗ Found Iron Pipe ▲ Set MAG Nail
 ⊕ Found MAG Nail ▲ Set Spike
 ☆ Found MAG Spike R/W-Ex Right of Way
 □ Found Man. Box
 ✕ Found Cross Natch in Concrete
-  -Sanitary Sewer Easement
 -Trail Easement
 -Sanitary, Storm Sewer & Trail Easement
 -portion of Existing 15' P.U.E. (P.B. 110, Pg. 73)
 Voted by this plat

BOUNDARY CURVE TABLE					
Curve	Delta	Radius	Length	Chord	
C-1	74°22'24"	25.00'	32.45'	S62°32'14"E	30.22'
C-2	61°21'17"	42.75'	45.78'	S64°42'23"W	43.62'
C-3	33°53'52"	125.00'	73.95'	N67°39°54"W	72.88'
C-4	52°33'59"	12.75'	11.70'	N24°25'58"W	11.29'
C-5	90°00'00"	4.50'	7.07'	N05°42'58"W	6.36'
C-6	56°06'08"	170.00'	166.46'	N67°20'06"E	159.89'
C-7	0°25'39"	240.00'	1.79'	S03°30'15"W	1.79'
C-8	41°51'38"	230.00'	168.04'	S60°12'51"W	164.33'
C-9	14°38'51"	170.00'	43.46'	S46°36'28"W	43.34'
C-10	14°38'51"	230.00'	58.80'	N46°36'28"E	58.64'
C-11	90°00'00"	4.50'	7.07'	N84°17'02"E	6.36'
C-12	90°00'00"	4.50'	7.07'	S05°42'58"E	6.36'
C-13	14°38'51"	370.00'	94.59'	S46°36'28"W	94.33'
C-14	14°38'51"	430.00'	109.93'	N46°36'28"E	109.63'
C-15	19°51'14"	13.25'	4.59'	S60°38'54"E	4.50'
C-16	33°53'51"	189.25'	111.97'	S67°39'55"E	110.34'
C-17	51°22'34"	42.75'	38.33'	S58°55'33"E	37.06'

LOT CURVE TABLE				
Curve	Delta	Radius	Length	Chord
C-18	43°19'21"	79.92'	60.43'	S59°43'41"W 59.00'
C-19	14°38'51"	370.00'	94.59'	N46°36'28"E 94.33'
C-20	22°21'42"	43.25'	22.88'	S73°25'58"E 16.77'
C-21	16°15'20"	79.92'	22.67'	S45°29'24"E 22.60'

CL CURVE TABLE				
Curve	Delta	Radius	Length	Chord
CC-22	14°38'51"	400.00'	102.26'	S46°36'28"W 101.98'

EASEMENT CURVE TABLE					
Curve	Delta	Radius	Length	Chord	
EC-23	15°50'38"	64.92'	17.95'	N72°54'24"E	17.89'
EC-24	3°00'22"	245.00'	12.85'	N52°25'42"E	12.85'
EC-25	8°08'43"	355.00'	50.47'	S43°21'24"E	50.43'
EC-26	4°32'26"	355.00'	28.13'	N51°39'41"E	28.13'

TEMPORARY ACCESS & CONSTRUCTION EASEMENT

THE TEMPORARY ACCESS AND CONSTRUCTION EASEMENT SHOWN ON THIS PLAT SHALL HOUSE A TEMPORARY T-TYPE TURNAROUND. IT AND THE EASEMENT SHALL BOTH BE VACATED UPON THE EXTENSION OF NOEL DRIVE.

TRAIL EASEMENT

THE TRAIL EASEMENT SHOWN ON THIS PLAT IS GRANTED IN FAVOR OF THE CITY OF SPRINGBORO, OHIO. THE EASEMENT GRANTS THE CITY OF SPRINGBORO, ITS EMPLOYEES OR AGENTS, THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY, AND THEREAFTER USE, REPAIR, MAINTAIN, OPERATE, INSPECT, REPLACE AND REMOVE THIS TRAIL AND APPURTENANCES THERETO, IN, OVER, THROUGH AND ACROSS THE EASEMENT.

Ex. 30' Sanitary & Storm Sewer Easement
P.B. 110, Pg. 73

COLLEEN BOSSI CO. LLC
O.R. 4197, PG. 186
04-14-253-049
1.68 AC. (TOTAL)
S.V. 13, PG. 110

EASTON FARM, SECTION TWO
BEING A REPLAT OF LOTS 1-5 OF EASTON FARM, SECTION ONE
PLAT BOOK 110, PAGE 73
& 0.0173 ACRES OF VACATED NOEL DRIVE
SECTION 2, TOWNSHIP 10 NORTH, RANGE 10 EAST, COUNTY
CITY OF SPRINGBORO, CLERMONT COUNTY, OHIO
WARREN COUNTY, OHIO

LOT AND EASEMENT DETAILS

**bayer
becker**

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6900 Tylersville Road, Suite A
Mason, OH 45040 • 513.336.6600

Drawing: 00 0005 DB

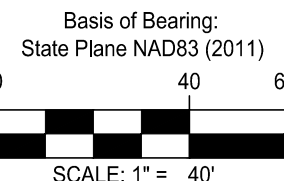
Drawn by: PAH

Checked By: _____ TME

Issue Date: 08-22-25

4/5

Plot time: Aug 22, 2025 - 10:17am
Drawing name: J:\2020\20-0225\SV\DWG\20-0225 RP2.dwg - Layout Tab: Layout1



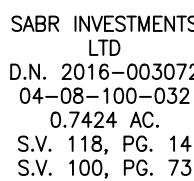
EASTON FARM, SECTION TWO
BEING A REPLAT OF LOTS 1-5 OF EASTON FARM, SECTION ONE
PLAT BOOK 110, PAGE 73
& 0.173 ACRES, TOWNSHIP 2, RANGE 15 ELM,
SECTION 36, TOWN 2, RANGE 15 ELM,
CITY OF SPRINGCREEK, CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO

LOT 2A WATER MAIN EASEMENT DETAIL

**bayer
becker**

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6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

5/5





Preliminary Review, Thaler Machine Addition/new parking lot

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Ferguson Construction

Address 400 Canal St
Sidney, OH 45365

Telephone No. (937) 499-2381

Fax No. ()

Email Address smeyer@ferguson-construction.com

PROPERTY OWNER NAME (IF OTHER): TFI Springboro OH LLC

Address: 216 Tahlequah Trail
Springboro, OH 45066

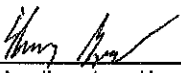
Telephone No. (937) 550-2400

Property Address or General Location: 216 Tahlequah Trail Springboro, OH 45066

Parcel Number(s): 04204020232 **Zoning District:** ED

Proposed Use: A new parking lot to provide parking for employees now, and ~~also~~ when a future addition is constructed.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

8/19/25
(Date)

Shawn Meyer
Printed Name



400 Canal Street, P.O. Box 726
Sidney, OH 45365-0726
Phone: 937-498-2381
Fax: 937-498-2243

August 19, 2025

Mr. Dan Boron
City of Springboro
320 West Central Avenue
Springboro, OH 45066

Dear Mr. Boron:

Below is the response to the comments on the site plan review for the Thaler Machine – New Parking Lot project.

Planning/Zoning

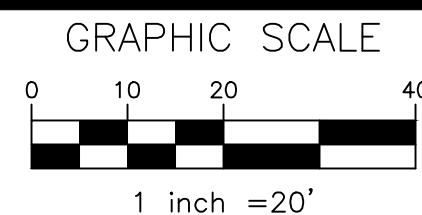
1. Please see attached storm water report for detention design calculations.
2. The existing 8" water main has been located on the site plan. The existing water main currently has 7' of cover over the new access drive location. After improvements, the water main will have 5' of cover.
3. Storm sewer pipe length, slope, and material have been added to sheet C-1.2. See sheet C-2.1 for storm structure details.
4. Rip-rap width and depth have been added to sheet C-1.2.
5. A note to remove existing curb and replace with ODOT Type 2 curb and gutter has been added to sheet C-1.1. The width of the new curb cut is 43' and the width of the new access drive is 24'. See sheet C-1.2.
6. The parking lot has been tied down to the north property line and a benchmark has been identified, see sheet C-1.2.
7. Rip-rap has been added to the drain basin in the new detention basin to match the detention outlet detail. Please see sheet C-1.2.
8. Asphalt saw cutting and patching has been added to sheet C-1.2 for the new 8" storm crossing. An asphalt patching detail has also been added to sheet C-2.1.
9. Please see sheet C-1.2 for a parking schedule for the current phase of the project and see sheet C-1.3 for a parking schedule for a future phase.
10. ADA access from the parking lot to the building has been added to sheet C-1.2.

If there are any other questions feel free to call me at 937-498-2381.

Sincerely,

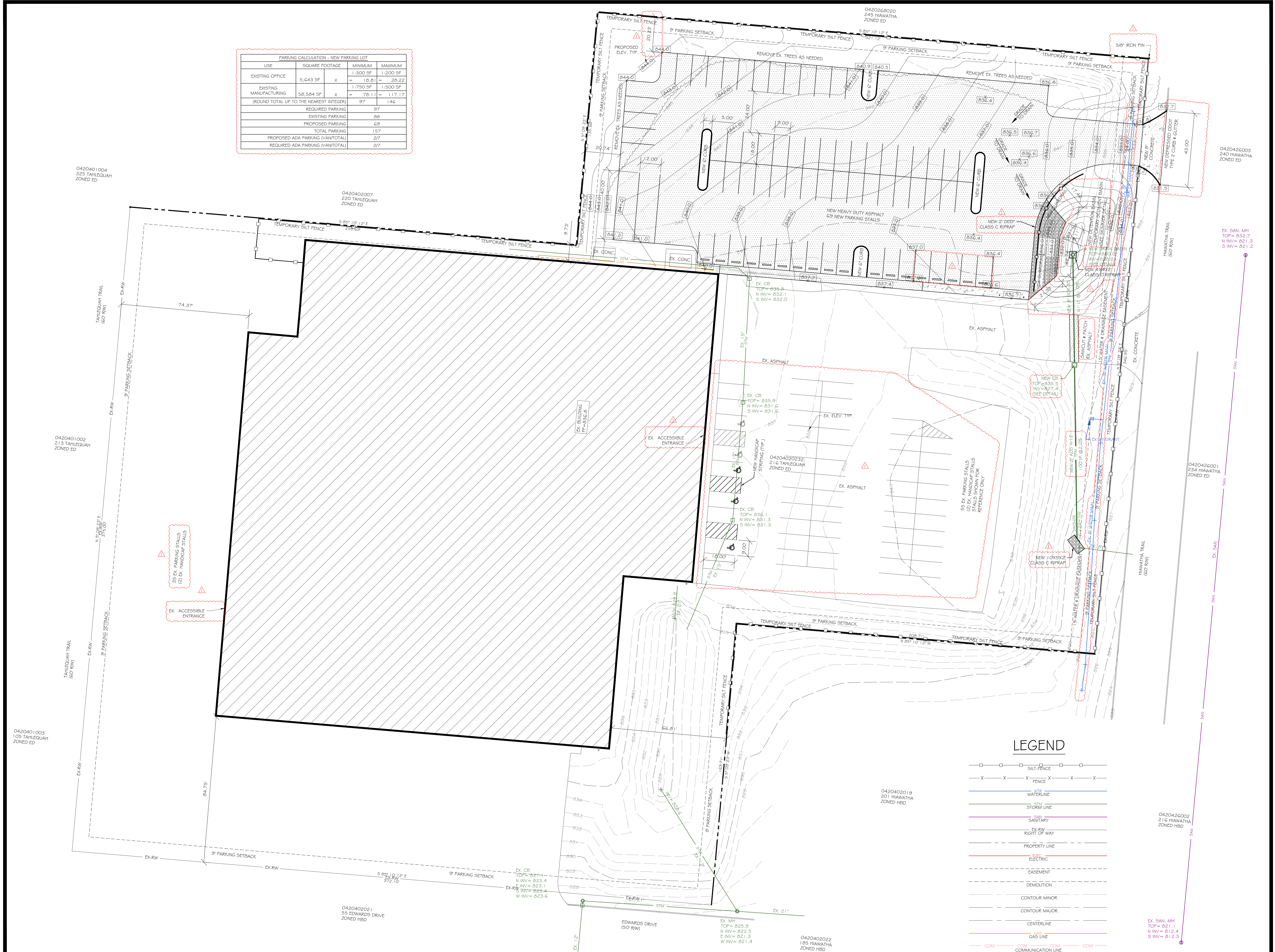
FERGUSON CONSTRUCTION COMPANY

Shawn Meyer
Civil Designer

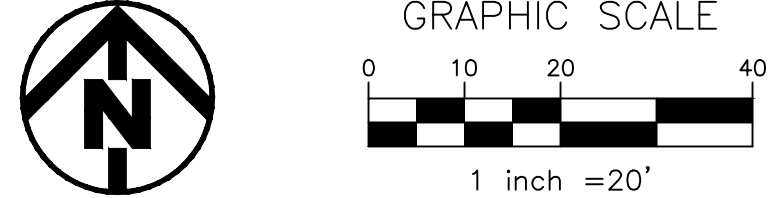


C-1.1

PARKING CALCULATION - NEW PARKING LOT					
USE	SQUARE FOOTAGE	MINIMUM	MAXIMUM		
EXISTING OFFICE	5,643 SF	X	= 15.81	= 28.22	
EXISTING MANUFACTURING	58,564 SF	X	= 78.11	= 117.17	
(ROUND TOTAL UP TO THE NEAREST INTEGER)					
REQUIRED PARKING				97	
EXISTING PARKING				88	
PROPOSED PARKING				69	
TOTAL PARKING				157	
PROPOSED ADA PARKING (VANTOTAL)				2/7	
REQUIRED ADA PARKING (VANTOTAL)				2/7	



SITE PLAN
SCALE : 1" = 20' - 0"
PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



LEGEND	
[Symbol]	SILT FENCE
[Symbol]	FENCE
[Symbol]	WATERLINE
[Symbol]	STORM LINE
[Symbol]	SANITARY
[Symbol]	EX-RW RIGHT OF WAY
[Symbol]	PROPERTY LINE
[Symbol]	ELECTRIC
[Symbol]	EASEMENT
[Symbol]	DEMOLITION
[Symbol]	CONTOUR MINOR
[Symbol]	CONTOUR MAJOR
[Symbol]	CENTERLINE
[Symbol]	GAS LINE
[Symbol]	COMMUNICATION LINE

Revisions		
#	Date	Description
1	8/1/25	SITE REVISIONS

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Expires: 12/31/25

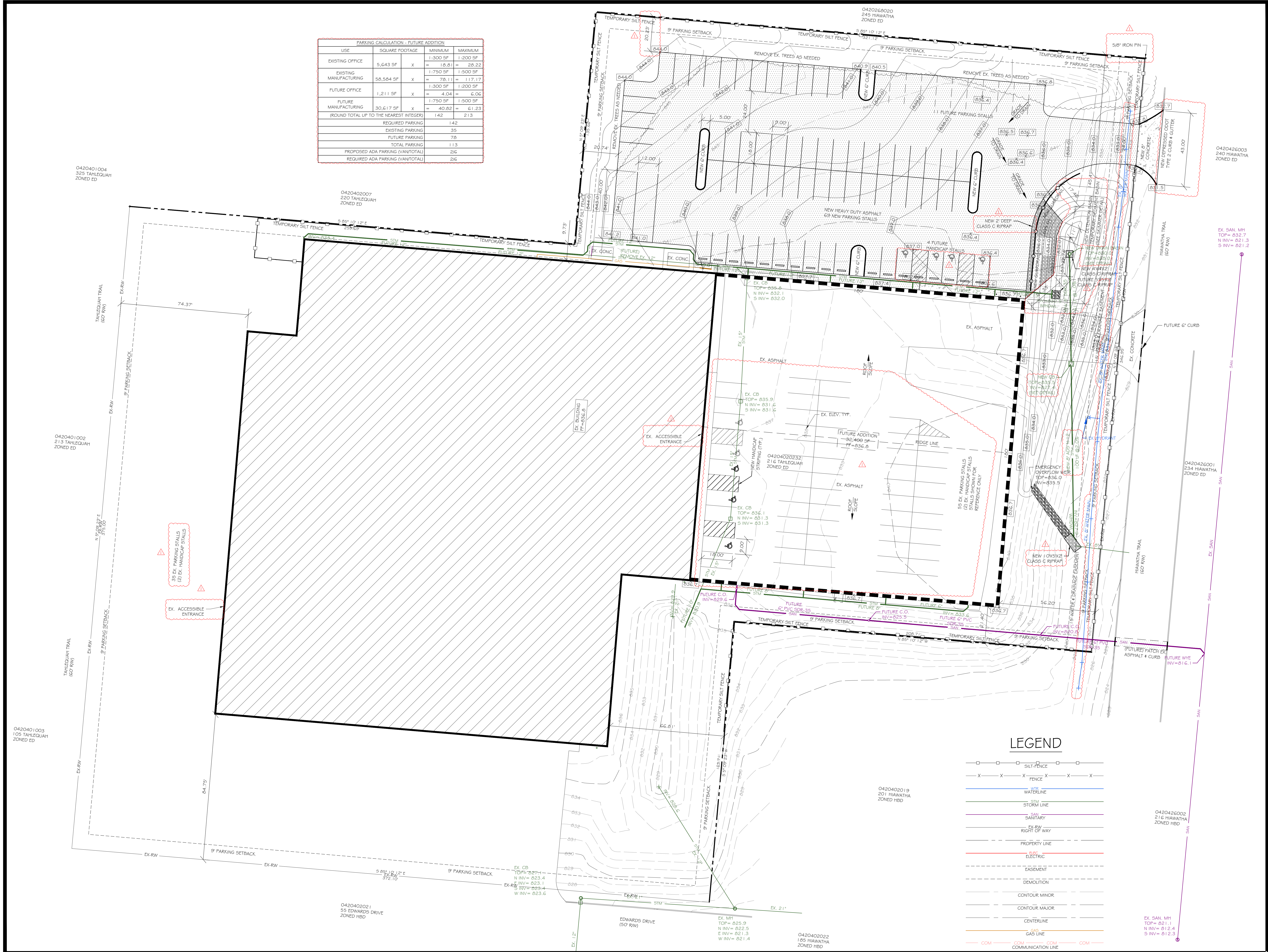
NEW PARKING LOT
FOR
E-45003
WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066

- Sidney, Ohio**
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381
- Dayton, Ohio**
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173
- Columbus, Ohio**
3595 Johnny Appleseed Ct.
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- Indianapolis, Indiana**
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

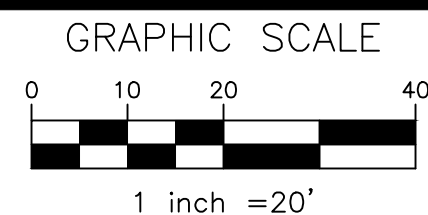
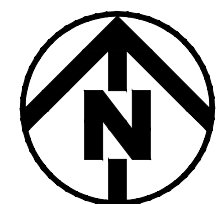
Job Number	E-45003
Date	8/6/25
Drawn By	SMM
Checked By	JWM

SITE PLAN
C-1.2

PARKING CALCULATION - FUTURE ADDITION					
USE	SQUARE FOOTAGE	MINIMUM	MAXIMUM		
EXISTING OFFICE	5,643 SF	X	= 15.81	= 28.22	
EXISTING MANUFACTURING	58,584 SF	X	= 78.11	= 117.17	
FUTURE OFFICE	1,211 SF	X	= 4.04	= 6.06	
FUTURE MANUFACTURING	30,617 SF	X	= 40.82	= 61.23	
(ROUND TOTAL UP TO THE NEAREST INTEGER)					
REQUIRED PARKING					142
EXISTING PARKING					35
FUTURE PARKING					78
TOTAL PARKING					113
PROPOSED ADA PARKING (VAN/TOTAL)					216
REQUIRED ADA PARKING (VAN/TOTAL)					216



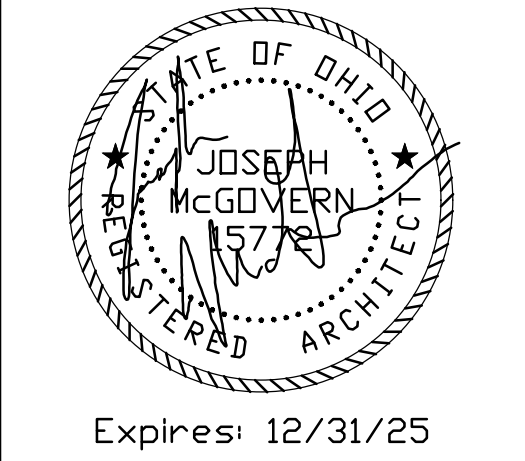
SITE PLAN SCALE : 1" = 20' - 0"



LEGEND	
[Symbol]	SILT FENCE
[Symbol]	FENCE
[Symbol]	WATERLINE
[Symbol]	STORM LINE
[Symbol]	SANITARY
[Symbol]	EX-RW RIGHT OF WAY
[Symbol]	PROPERTY LINE
[Symbol]	ELECTRIC
[Symbol]	EASEMENT
[Symbol]	DEMOLITION
[Symbol]	CONTOUR MINOR
[Symbol]	CONTOUR MAJOR
[Symbol]	CENTERLINE
[Symbol]	GAS
[Symbol]	GAS LINE
[Symbol]	COMMUNICATION LINE

Revisions		
#	Date	Description
1	8/1/25	SITE REVISIONS

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NEW PARKING LOT
FOR
E-45003
WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
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Job Number	E-45003
Date	8/6/25
Drawn By	SMM
Checked By	JWM

FUTURE SITE
PLAN

C-1.3

GENERAL NOTES

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC. AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM PAVEMENT AREAS, STOCK PILE AND RESPREAD. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL EXCESS MATERIAL OFF-SITE.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

SITE CONCRETE

REPLACE THE EXISTING CURB WITH DEPRESSED CURB AT THE NEW DRIVE LOCATIONS PER CITY STANDARDS.

ALL OUTSIDE HVAC UNITS SHALL BE ON A 6" CONCRETE PAD.

SITE CONCRETE SHALL BE 8" THICK (4,000 PSI - AIR ENTRAINED) WITH ONE LAYER OF #2 @ W.W.F. ON 6" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE. (EXCEPT FOR SIDEWALKS AND DOOR STOPS)

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING CREW IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

AT CROSSING THE WATERLINE SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 1'6" FROM STORM AND SANITARY SEWERS. ALSO ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 5T 1B PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE ODOT HW-1, 2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

EXCAVATING CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY DRAWING DISCREPANCIES OF UTILITIES DISCOVERED THAT ARE NOT SHOWN ON THE SITE PLAN.

ASPHALT NOTES

HEAVY-DUTY ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 2-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 9" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

CONCRETE PARKING BUMPERS WILL BE INSTALLED WHERE SHOWN ON THE DRAWINGS.

CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN (3) WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL. / SQ. YD.)

PARKING LOT STRIPING IS TO RECEIVE ONE COAT OF WHITE PAINT 4" WIDE AS PER LAYOUT ON SITE PLAN INCLUDING DIRECTIONAL ARROWS WHERE SHOWN. (BY ASPHALT CONTRACTOR)

HANDICAP PARKING

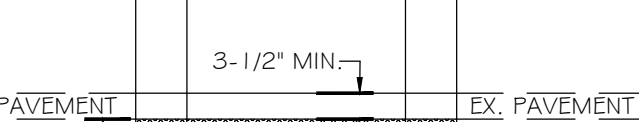
PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER OBC SECTION 111.0 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG 4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

PLANTING, LANDSCAPING AND SEEDING SHALL BE BY THE OWNER.

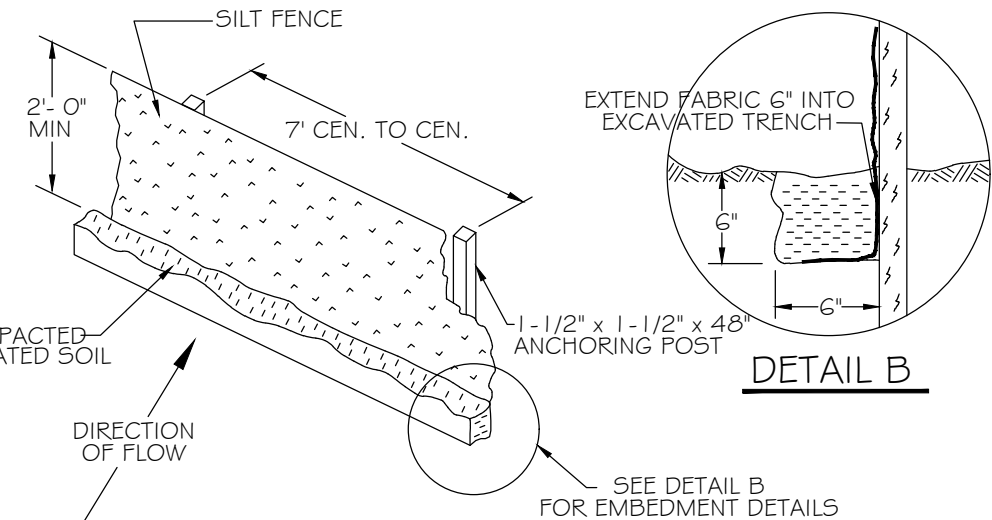
CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.



TYPICAL PAVEMENT RESTORATION DETAIL

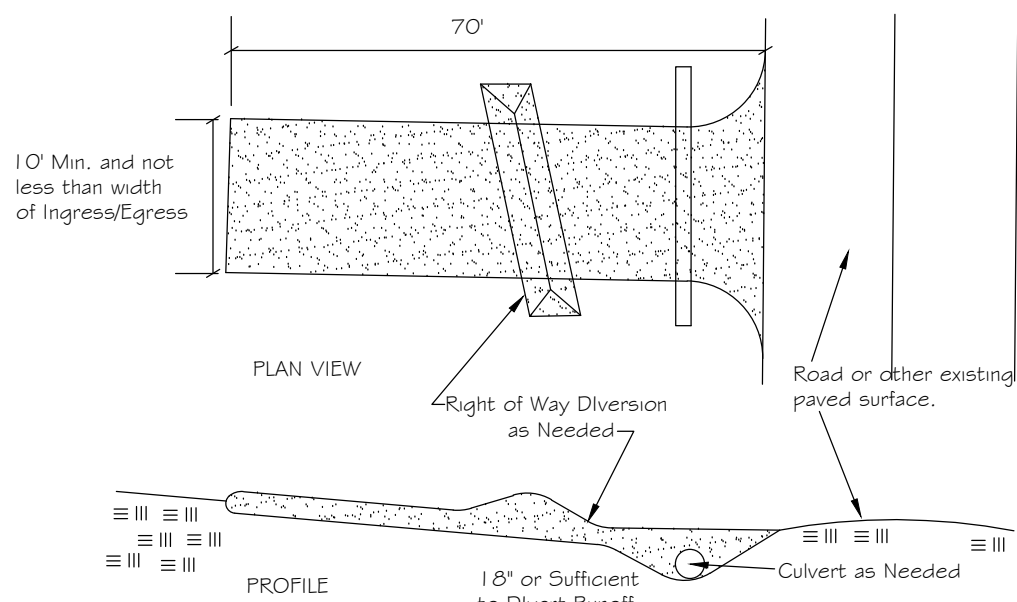
TYPICAL PAVEMENT RESTORATION NOTES

- A) MINIMUM GRAVEL PAVEMENT REPLACEMENT 2" OF ODOT #67 ON 12" OF ODOT ITEM 304, IN LIFTS OF 3" MAXIMUM
- B) MINIMUM ASPHALT PAVEMENT REPLACEMENT PERMANENT PAVEMENT REPLACEMENT SHALL MATCH EXISTING PAVEMENT THICKNESS, BUT MUST BE A MINIMUM OF 3-1/2 INCHES, WHICHEVER IS GREATER.
- C) SOIL BORINGS SHALL BE CAPPED WITH A MINIMUM OF 9" OF ODOT CLASS C CONCRETE.

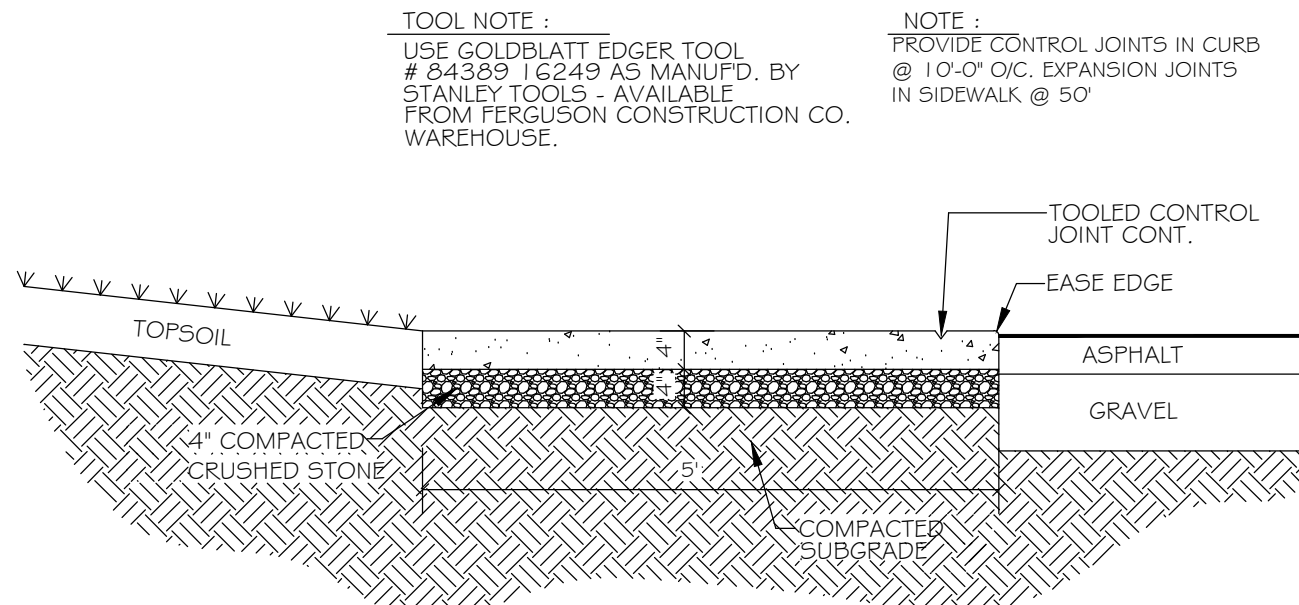


SILT FENCE DETAIL

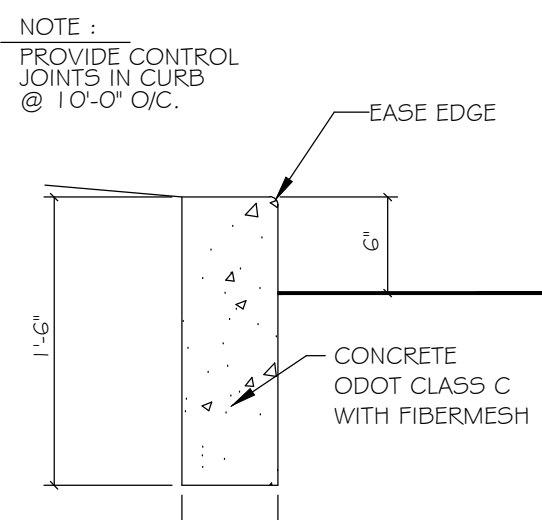
Construction Entrance



- 1. STONE SIZE - TWO-INCH STONE SHALL BE USED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70'.
- 3. THICKNESS- THE STONE LAYER SHALL BE AT LEAST 6" THICK.
- 4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 10' WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 5. BEDDING- IF SUBGRADE IS SOFT A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A GRAD TENSILE STRENGTH OF AT LEAST 200 lb. AND A MULLIN BURST STRENGTH OF AT LEAST 150 lb.
- 6. CULVERT- A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- 7. WATER BAR- A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- 8. MAINTENANCE-TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASTED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SKIPPING OR SWEEPING.
- 9. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.

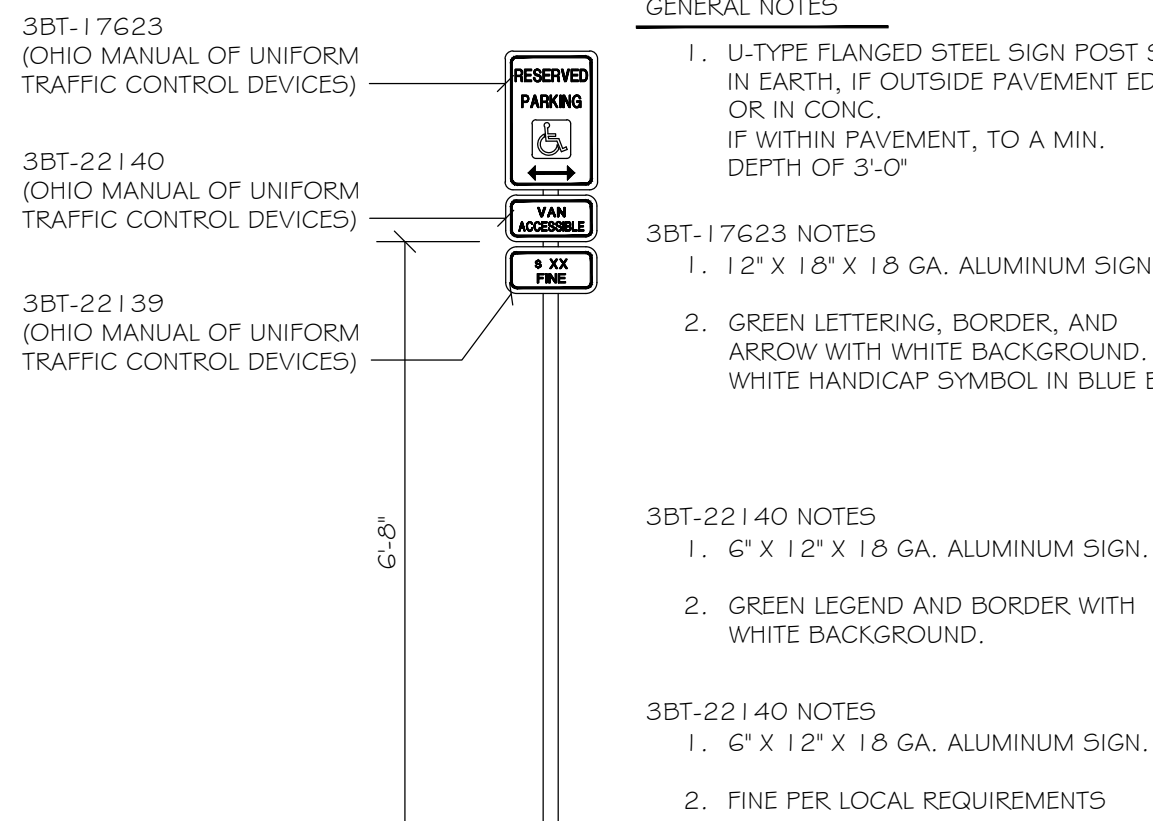


SIDEWALK - FLUSH WITH ASPHALT



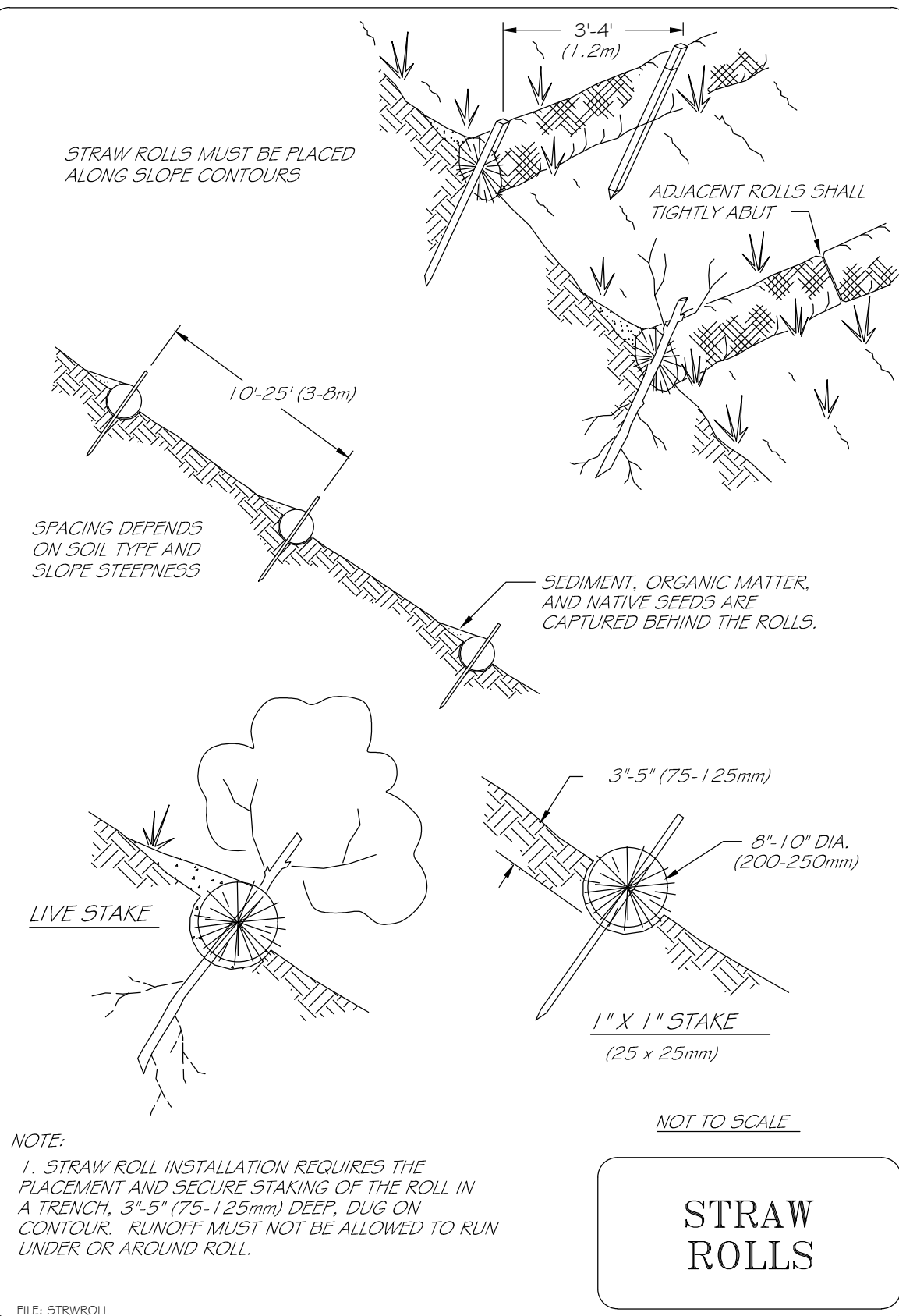
CONCRETE CURB

SCALE: 1" = 1'-0"

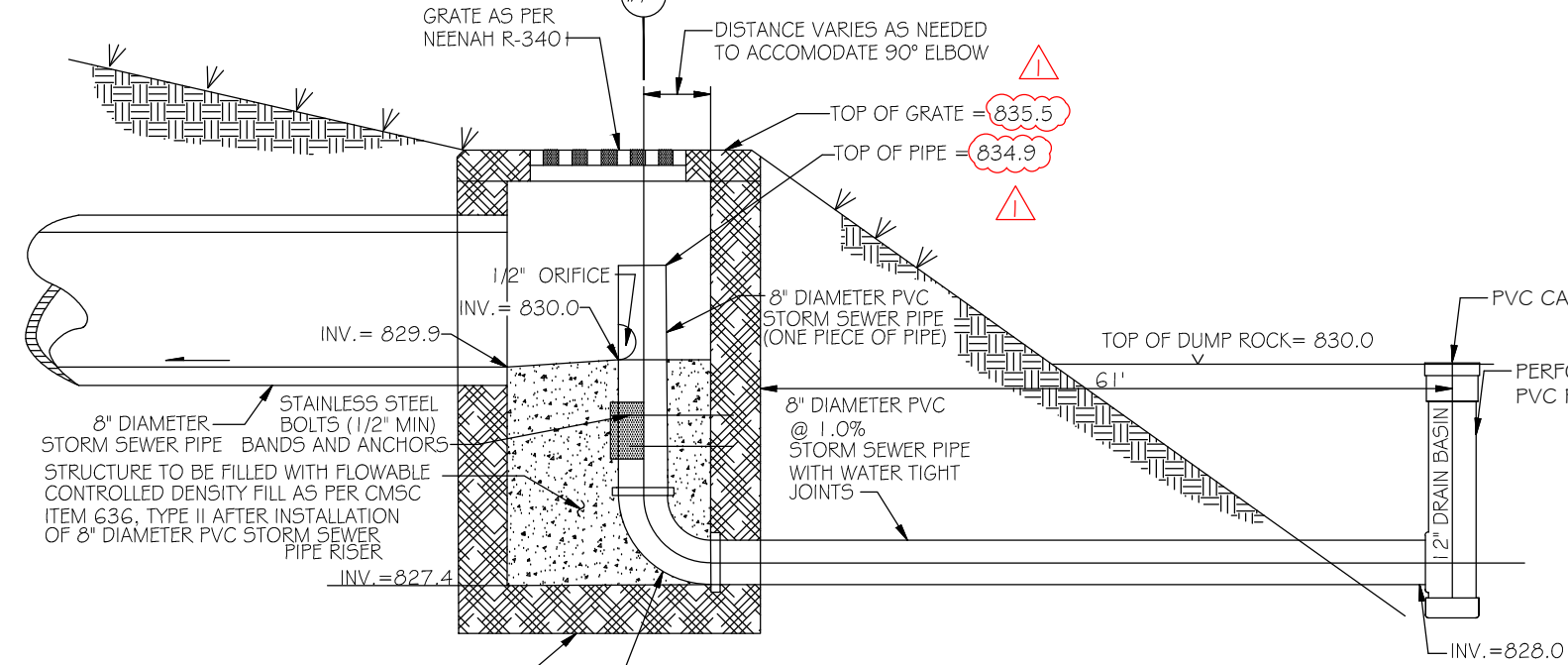


ACCESSIBLE PARKING SIGN DETAIL

N.T.S.



STRAW ROLLS



DETENTION OUTLET DETAIL

N.T.S.

SITE DEVELOPMENT DETAILS

PROJECT DESCRIPTION: THE SITE IS A 5.2 ACRES PARCEL THAT WILL BE REDEVELOPED WITH A NEW G7 STALL PARKING LOT.

EXISTING SITE: THE SITE CONSISTS OF A 64,227 SF BUILDING, AN EASTERN PARKING LOT, A WESTERN PARKING LOT, AND A GRAVEL STORAGE AREA.

RECEIVING STREAM: STORMWATER RUNOFF FLOWS EAST INTO THE EXISTING CITY STORM SYSTEM.

SOILS: WYNN-URBAN LAND COMPLEX & URBAN LAND-DANA COMPLEX

DISTURBED ACREAGE: 1.1 ACRES

CONSTRUCTION SEQUENCE:

- 1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AREA.
- 2. REMOVE NECESSARY VEGETATION AND INSTALL PERIMETER SEDIMENT FENCE WHERE SHOWN ON THE EROSION PLAN.
- 3. INSTALL SEDIMENT BASIN & OUTLET STRUCTURE.
- 4. CLEAR AND GRUB THE SITE AND GRADE TO PROPOSED GRADES SHOWN ON SITE PLAN.
- 5. INSTALL UTILITIES AS SHOWN ON THE SITE PLAN.
- 6. INSTALL INLET PROTECTION ON CATCH BASINS.
- 7. TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN IDE FOR MORE THAN 14 DAYS.
- 8. FINE GRADE THE SITE AND PERMANENTLY STABILIZE THE DISTURBED AREAS.
- 9. INSTALL NEW PAVEMENT AS SHOWN.
- 10. REMOVE THE TEMPORARY SEDIMENT CONTROLS UPON THE ESTABLISHMENT OF PERMANENT VEGETATION.

TABLE #1 - TEMPORARY STABILIZATION

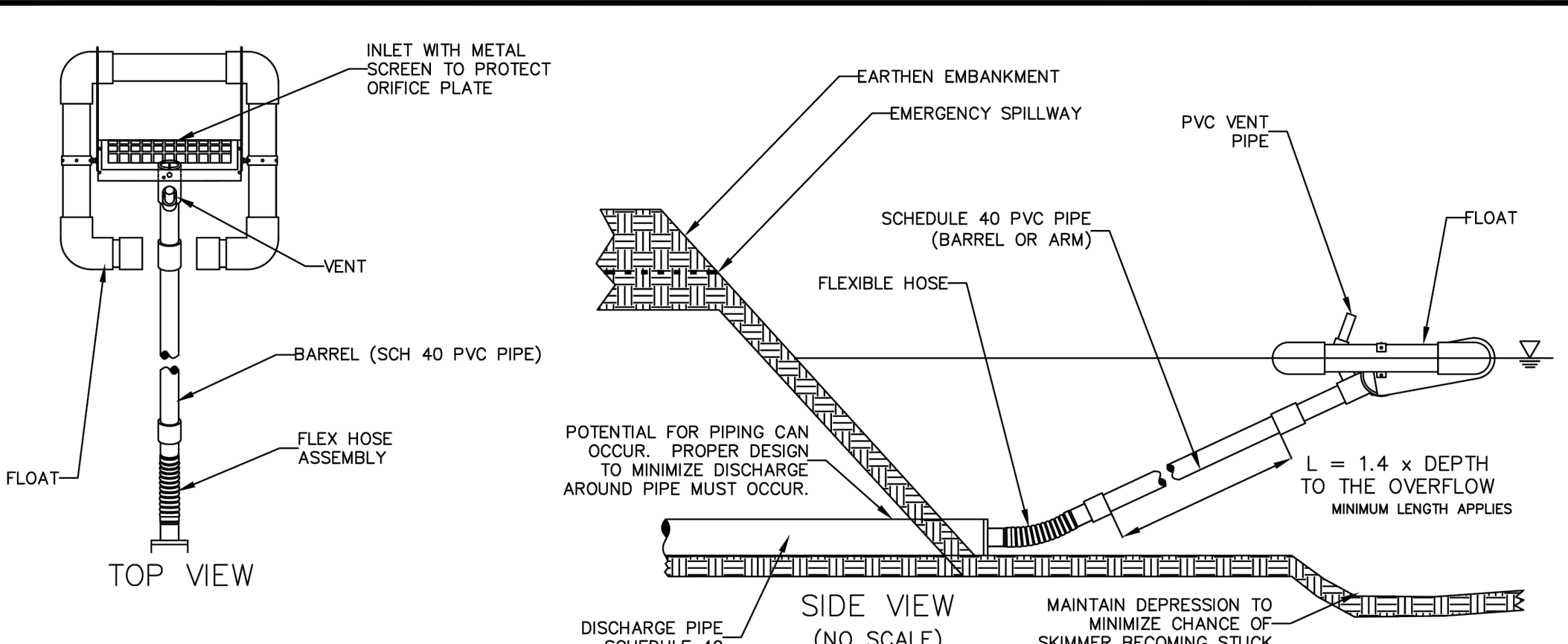
Any disturbed area within 50 feet of a stream and not at final grade.	Within 2 days of the most recent disturbance if that area will remain idle for more than 21 days.
For all construction activities, any disturbed area, including soil stockpiles, that will be dormant for more than 21 days, and not within 50 feet of a stream.	Within 7 days of the most recent disturbance within the area.
Disturbed areas that will be idle over winter.	Prior to onset of winter weather.

TABLE #2 - PERMANENT STABILIZATION

Any area that will be dormant for 12 months or more.	Within 7 days of the most recent disturbance.
Any area within 50 feet of a stream and at final grade.	Within two days of reaching final grade.
Any area at final grade.	Within 7 days of reaching final grade within that area.

TABLE #3 - MAXIMUM DRAINAGE AREA TO SILT FENCE

Maximum drainage area (in acres) to 100 linear feet of silt fence	Range of slope for a particular drainage area (percent)
0.5	≤ 2%
0.25	≤ 2% but > 20%
0.125	≤ 20% but > 50%



THALER MACHINE NEW PARKING LOT				
Name	Skimmer Size	Sliding Orifice %	Required Basin Volume	Days to Drain
New Detention Basin	1.5 in.	50%	1,980	2

- GENERAL NOTES:
 - 1. FAIRCLOTH SKIMMER FLOW RATES WERE USED AS THE BASIS OF DESIGN WHEN DETERMINING DRAINAGE CALCULATIONS. UTILIZING A PRODUCT FROM AN ALTERNATIVE MANUFACTURER WILL CREATE A SIGNIFICANT DEVIATION TO THE DESIGN AND MUST BE APPROVED AND RECALCULATED BY THE DESIGN ENGINEER.
 - 2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
 - 3. BARREL PIPE SHOULD BE 1.4 X DEPTH OF THE BASIN TO ENSURE PROPER FUNCTION.

DRAWN BY T. R. EVANS 08/24

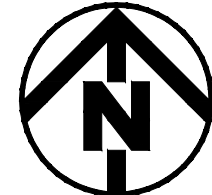
FAIRCLOTH SKIMMER® DISCHARGE SYSTEM WITH EMBANKMENT

FAIRCLOTH SKIMMER
WWW.FAIRCLOTHSKIMMER.COM
TELEPHONE: (919) 732-1244
FAX: (919) 732-1266
EMAIL: SALES@FAIRCLOTHSKIMMER.COM



VICINITY MAP

SCALE : N.T.S.

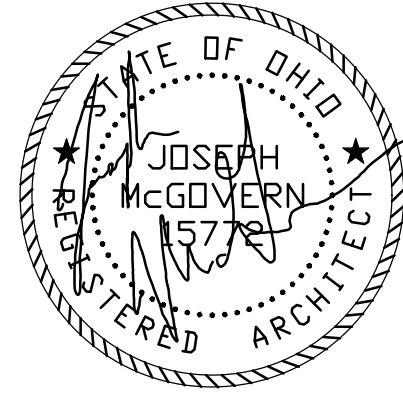


Revisions

#	Date	Description
1	8/1/25	SITE REVISIONS

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Expires: 12/31/25

NEW PARKING LOT
FOR

E-45003

WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066

FERGUSON
CONSTRUCTION
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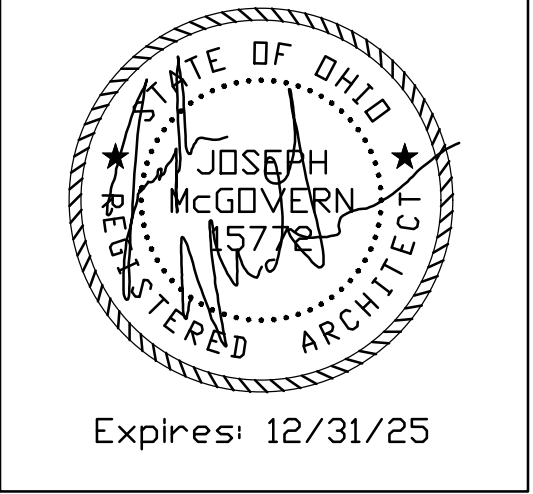
GENERAL
NOTES &
DETAILS

C-2.1



Revisions		
#	Date	Description

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Job Number	E-45003
Date	8/18/25
Drawn By	SMM
Checked By	JWM

EROSION
CONTROL
PLAN

C-3.1



August 20, 2025 PC Minutes for review

**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, August 20, 2025**

I. Call to Order

Becky Iverson, Chair, called the Wednesday, August 20, 2025, Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chris Pearson, Rob Dimmitt, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, and Elmer Dudas, Development Director.

Mr. Pearson motioned to excuse Steve Harding; Mr. Thompson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

II. Approval of Minutes

July 9, 2025 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Sillies motioned to approve the July 9, 2025 Planning Commission minutes. Mr. Marshall seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

III. Agenda Items

A. Final Approval

Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component

Background Information

This agenda item is an application of a final development plan, submitted by CASTO, Columbus, Ohio, seeking approval to construct the multifamily component of the Easton Farm located at 605 North Main Street (SR 741). CASTO's application was submitted under the authority of Easton Farm Partners, LLC, of Columbus, Ohio, owner. Final development plan review and approval by Planning Commission is the second step in the three-step Planned Unit Development (PUD) approval process. The application includes several elements including civil engineering and site layout, building elevations and floor plans, and design standards.

This item was reviewed on a preliminary basis at the March 19 and June 11 Planning Commission meetings. At the conclusion of the June 11 review the Planning Commission authorized the applicant to submit plans for formal approval at a future Planning Commission meeting.

The property at 605 North Main Street (SR 741), commonly known as the Easton Farm, was rezoned to PUD-MU, Planned Unit Development-Mixed Use, under order of the Warren County Court of Common Pleas in 2022. The order, a Judgment Entry, rezoned the property from R-1, Estate-Type Residential District, to PUD-MU with four components: a mixed-use area on the northeast corner of the property, a residential component comprising the bulk of the property, a component on the west edge property reserved for maintenance of the original farmstead including two single-family homes and farm buildings, and a multifamily component, located on the southeast corner of the property, that is the subject of this application. Since the Judgment Entry, the City of Springboro purchased 60 acres of the site originally proposed for the residential component.

No other components of the PUD-MU will be discussed as part of this application except for the street connections necessary to accommodate the multifamily component's development. The Judgment Entry provides for review of the details for the multifamily component by Planning Commission through the final development plan process. No review or approval by City Council is required of the final development plan.

Since the June 11 review of the final development plan, the applicants have removed vinyl as an exterior building material, provided links to walkways on the larger development, expanded the submittal to include construction details, provided plans for lighting and signage, and made revisions to the landscaping plan.

The multifamily component is 11.83 acres in area with frontage on North Main Street (SR 741). The property will also have frontage on Easton Farm Boulevard and Noel Drive. Easton Farm Boulevard is the principal access road to the PUD-MU and is located proximate to the existing driveway to the property/farmstead. Direct access to the multifamily component is by way of two drives accessing Noel Drive.

CASTO's proposal for the multifamily component includes 248 apartment units, four fewer than the 252 units permitted under the 2022 Judgment Entry. The residential buildings range in size from 8 to 30 units. All the apartment buildings contain no more than three occupied floors. CASTO proposes 127 one-bedroom, 117 two-bedroom, and 4 three-bedroom apartments.

Also proposed in the component is a clubhouse (including rental office), mailroom/maintenance facility, and a pool, all internal to the apartment buildings. On the south end of the component is a programmed green space, dog park, and pickleball area. The southeast corner of the site includes a retention pond.

A total of 476 parking spaces are proposed for the site, up from the 360 proposed in the March 19 plan. This includes 159 garage spaces on the first floor of the apartment buildings, and 207 surface parking spaces. No structured parking is proposed.

Staff Recommendation

City staff recommends approval of the final development plan for the multifamily component of the Easton Farm PUD-MU contingent on addressing the following comments:

1. List permitted uses on proposed for the component: multi-family residential dwellings, uses and structures normally accessory to the use on sheet C3.0 (copy from page 3 of design manual).
2. Proposed lighting fixtures are consistent with Chapter 1273, Exterior Lighting, of Planning and Zoning Code and Dark Sky provisions. The following needs to be addressed in the plan on sheet E4-201:
 - a. Lighting levels in parking/circulation areas need to be within range of 0.4 and 6.0 foot-candles and conform with uniformity standards expressed in with maximum to minimum (no more than 10:1), and average to minimum (no more than 4:1) ratios.
 - b. See Table 9 in Chapter 1273 for lighting level minima/maxima for building entrances, walkways, and other side elements.
 - c. Lighting for pickleball courts to comply with lighting uniformity standards.
 - d. Lighting (AL2 P2) in adjacent public right-of-way is outside this review.
3. For landscaping plan, please address the following:

- a. On sheet L2.0, under Site Landscaping remove statement *Buffer trees count towards this requirement. They do not, however, the number of trees provided appears to meet standard.
- b. Provide landscaping on SR 741 frontage adjacent to proposed detention area.
4. Signage plan to be reviewed by Zoning Inspector. consistent with Chapter 1281 of Planning and Zoning Code. In the meantime, the following comments apply:
 - a. Signage not permitted on residential structures. See also comment #19f.
 - b. Development signs to be designed for entire PUD and situated at SR 741/Easton Farm Boulevard intersection outside of this review process; development signage to be moved inbound of that intersection towards intersection of Easton Farm Boulevard and Noel Drive.
 - c. Identity and other signage to be submitted to Zoning Inspector for review separate from the final development plan process.
5. Bike racks to be consistent with APBP Bicycle Parking Guidelines; contact City staff for additional information.
6. Mechanical systems, if applicable, to be screened from rights-of-way immediately adjacent to site through building design for rooftop mechanical, and landscaping/fencing for ground units.
7. Public roadway construction drawings (Easton Farm Blvd & Noel Drive & SR 741) under review.
8. Roadway Improvements are to be completed as a part of the FDP, including the roadway frontage of Easton Farm Blvd and Noel Drive as well as SR741 traffic signal improvements and turn lanes at the agreed upon schedule.
9. Storm water pollution prevention plan (SWPPP) to meet EPA requirements.
10. Move storm sewer along the south boundary to be 7 feet offset from northerly easement line.
11. Provide water master meter in each building in a meter room.
12. Add a sewer span and manhole along Street A to the west of Noel Drive (120 feet at 0.5%) tying into manhole AA. Add note stating 6" sewer laterals to be SDR 35 or SCH 40 material at min 2% slope.
13. Provide record plan replatting the site to include the new boundary for the apartments, additional right of way along Noel Drive, along with any other revisions due to roadway/site plan revisions. Also add street names and label them as private on the record plan, as well as adding public water and sewer easements.
14. Add curb stops within three feet of water lateral tap at main line. Provide 4" water main material on plans (ductile iron pipe class 52).
15. Verify that 30-unit buildings requires two~4" water laterals.
16. How is maintenance of the detention pond being accomplished, through a development association? Provide documentation for review.
17. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.
18. The following comments apply to the July 25 development standards:
 - a. Page 2, paragraph 3, change phrase to "radii shall be a minimum" in first sentence.
 - b. Page 3, per comment #1, include this information on sheet C3.0.
 - c. Page 3, use requirements table, remove or cite superscript 1 reference after Multi-Family.
 - d. Page 9, paragraph 1, remove last phrase "unless otherwise noted below." All standards meet Chapter 1273 provisions.
 - e. Page 11, under Parking Ratio, update figure to 1.92.
 - f. Page 13, remove Building Signage provision.

Discussion:

Mr. Chris Tumblin, CASTO, Matt Lytle, Sullivan Brock Architects, and Mr. John DelVerne, Bayer and Becker, Civil Engineer, were present to answer questions from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of the agenda item.

Mr. Boron said that he and Mr. Dudas met with the applicants earlier today; while the number of comments is large, this is a large, complicated project. Staff is recommending removal of comment number 4b given that the signs proposed for the frontage in the plans is acceptable following discussion with City staff.

Ms. Iverson asked if the applicants had any questions about the staff comments they would like to address.

Mr. Tumblin said they would like to address several items that he, Mr. Dudas, and Mr. Boron discussed in a prior meeting. Regarding staff comment number 3b, landscaping along SR 741 frontage, they are proposing to put trees along that 10-foot strip of land between the decline and stormwater basin where he can plant near the utilities located there. Trees would be placed approximately every 20 feet in that area, a mix of evergreens, shade trees, shrubs, and ornamentals to screen the stormwater basin.

Ms. Iverson asked if they had any other questions about the comments.

Mr. Tumblin deferred to Mr. Del Verne to address staff comment numbers 2 and 12.

Mr. Del Verne said that regarding staff comment number 2d, he wanted to make a clarification. He would like to have the lighting pulled into this review rather than later. They would like to know if it is possible to include those lights to be approved as part of the final development plan because the developer, CASTO, will be installing the lighting and it will not be included in the roadway plans.

Mr. Boron said this was an issue that could be worked out with staff who initially thought this lighting would be located in the right-of-way, which is not the case. He thanked Mr. Del Verne for that clarification.

Mr. DelVerne referred to staff comment number 12 and said they were fine with the sewer plan, but plans may have to be adjusted as the project develops. Right now, it is going to come out of the multi-family portion and then cross the public roadway and that will connect to another drive which will be included in a different set of plans as the development moves forward.

Mr. Boron and Mr. Dudas had no problem with this clarification.

Mr. Tumblin addressed another clarification for staff comment number 15, water lateral requirements. He said that his team was double-checking the plans, but he was confident that the 30-unit building would include two 4-inch water laterals.

Mr. Dudas said that it was acceptable for staff.

Referring to staff comment number 16, Mr. Tumblin said that the detention pond maintenance would be provided by the Development Association that is being created to include the retail entity to the north and then the townhouse entity will have a separate Development Association and they would responsible for this maintenance jointly.

Mr. Tumblin said the last comment he had was for staff comment number 18e, parking ratio. Mr. Tumblin, Mr. Boron and Mr. Dudas had a conversation discussing removing this from the design standards and making sure they have the accurate parking counts listed on the plans as they currently are.

Ms. Iverson said that staff comments 2d, 4b, and 18e would be stricken from the staff comments.

Ms. Iverson asked Planning Commission members if they had any questions or comments.

Mr. Sillies asked, assuming this plan is approved, what is the timeline for this whole development?

Mr. Tumblin said it was their intention to start work the first quarter of 2026 with probably about a 22-month build-out schedule but could deliver the first units within about 15 months of start of the project.

Ms. Iverson asked if there were any questions from Planning Commission members. There were none.

Ms. Iverson called for a motion to approve the Final Approval, Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component, with the amendment that staff comments 2d, 4b, and 18e be stricken from the comments.

Mr. Thompson made a motion to approve the Final Approval, Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously.

B. Preliminary Review

Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear yard setback

Background Information

This agenda item is an application, filed by Nathan Carmack, contractor, on behalf of Hannah and Daren Yingling, property owners, requesting a variance from the minimum rear setback to allow the construction of a covered patio on the residence located at 295 Montgomery Lane in the Beck Ridge subdivision. The rear yard setback for this property is 25 feet; the applicants would like to construct an attached covering to an existing patio to within 16 feet of the rear property line.

Beck Ridge is zoned PUD-R, Planned Unit Development-Residential. The Planning and Zoning Code provides relief from the strict interpretation of the code in PUDs such as Beck Ridge from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zone properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

The City has asked the applicant to provide documentation from the Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property.

Staff Comments

City staff has the following comments regarding this variance request.

1. Complete variance application with City staff (fee, etc.).
2. Provide documentation from Beck Ridge HOA and adjacent property owners.

Discussion:

Mr. Nathan Carmack, contractor and Mr. Daren Yingling, property owner, joined the table and introduced themselves.

Ms. Iverson said that this item is for preliminary review only and no vote will be taken this evening. She asked Mr. Boron for a summary of this request.

Mr. Boron thanked the applicants for attending the meeting and said the point of this review is to have any questions answered tonight so that the applicants can move forward as soon as possible, and that would be at the Planning Commission meeting on September 10. He said that Planning Commission reviews all PUD variances, unlike all other variance requests which are heard before the Board of Zoning Appeals.

Mr. Boron noted this property is the southernmost property in the subdivision, abutting City-owned land in E. Milo Beck Park, and there is a 25-foot rear yard setback requirement here. There is an existing concrete slab patio which is as close at 16 feet to the rear yard setback and the applicants would like to build a pergola over the patio area. As part of this review process, city staff asks for acknowledgement that the two neighbors on either side and the HOA are aware of the request, and they agree with the request.

Mr. Yingling said they had heard from the neighbors earlier in the day and did not have an opportunity to either forward or print out the emails prior to tonight's meeting, but the neighbors had no problem with them adding the pergola. He will provide those to staff as soon as possible. There is a pending review in front of the HOA Board, and they will be meeting on August 11. He does not anticipate any problems and will forward their decision to city staff when he receives it as well.

Mr. Boron said that if Planning Commission is comfortable with this, and assuming everything is approved by the HOA, he will add this item to the September 10 Planning Commission agenda for formal approval.

Mr. Thompson asked for clarification that the closest overhang is 16 feet from the rear yard.

Mr. Carmack confirmed that it was at 16 feet.

Ms. Iverson asked Planning Commission members if they had any further questions or concerns.

A short discussion was held among Planning Commission members, and it was agreed that they should wait to formally approve this variance request until the official HOA approval has been received by the applicant and that this request should be submitted for final approval at the September 10 meeting.

Ms. Iverson asked if there were any other questions or concerns. There were none.

Ms. Iverson thanked the applicants for their time and said they look forward to seeing them at the September 10 Planning Commission meeting.

VII. Guest Comments

Ms. Iverson called for guest comments. There were none.

VIII. Planning Commission and Staff Comments

Ms. Iverson asked Mr. Boron if he had any additional comments.

Mr. Boron said he anticipates this item to be back on the agenda for formal approval on September 10 and then another item will be added for a site plan review for a commercial property. The Easton Farm replat and extending the right-of way frontage may be submitted for the land that they purchased from the city to square off the corner of the development.

IX. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Pearson motioned to adjourn the August 20, 2025 Planning Commission Meeting at 6:22 pm.

Mr. Marshall seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Ms. Iverson said the motion was approved unanimously and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary