

**Agenda**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, October 8, 2025, 6:00 p.m.**  
**Council Chambers, City Building, 320 West Central Avenue**

- I. Call to Order
  
- II. Approval of Minutes
  - A. September 10, 2025 Planning Commission Meeting
  
- III. Agenda Items
  - A. Final Approval, Minor Revision to Approved General Plan #2, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), additional elevations
  - B. Final Approval, Site Plan Review, 216 Tahlequah Trail, Thaler Machine, new building addition
  - C. Preliminary Review, Site Plan Review, 610 North Main Street (SR 741), China Cottage, proposed new restaurant
  - D. Preliminary Review, Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
  - E. Preliminary Review, General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
  - F. Preliminary Review, Rezoning, R-2, Low Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, residential development
  - G. Preliminary Review, General Plan, R-2, Low Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, residential development
  
- IV. Guest Comments
  
- V. Planning Commission and Staff Comments
  
- VI. Adjournment

**Background Information & Staff Recommendations**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, October 8, 2025, 6:00 p.m.**  
**Council Chambers, City Building, 320 West Central Avenue**

**III. Agenda Items**

**A. Final Approval**

**Minor Revision to Approved General Plan #2, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), addition of home plans and exterior elevations to approved list**

**Background Information**

This agenda item is a request for a minor revision to the approved general plan for the Northampton PUD-R, Planned Unit Development-Residential, subdivision located at 1525 South Main Street (SR 741). The Northampton subdivision was rezoned to PUD-R by City Council in January 2024; the general plan was also approved at that time by City Council; final development plan approval by Planning Commission followed in 2024, and record plan review and approval (in two phases) from Planning Commission and City Council took place in 2025. The subdivision has been referred to as Northampton 1-2 to distinguish it from the adjoining Northampton 3 located at 1405 South Main Street. The subdivision includes 75 single-family lots plus the historic Janney House.

M/I Homes proposed adding two additional home plans, Hampton and Windsor II, with variations to the list of homes approved for the subdivision. This change is defined as a minor revision to the approved general plan, with approval of the revision by Planning Commission per the terms of the PUD code, Chapter 1266 of the Planning and Zoning Code. A similar request was approved by Planning Commission for this subdivision at the January 8, 2025 meeting. All proposed housing plans are included in the meeting materials.

**Staff Recommendation**

City staff recommends approval of the minor revision to the general plan site plan for the Northampton PUD-R, Planned Unit Development-Residential, subject to the following comment:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
2. Will the proposed house plans fit on the site with the existing setbacks and other development standards for the subdivision?

**B. Final Approval**

**Site Plan Review, 216 Tahlequah Trail, Thaler Machine, new building addition**

**Background Information**

This agenda item is as request for site plan review approval for improvements to the Thaler Machine operation located at 216 Tahlequah Trail at the request of Ferguson Construction. At the September 10 meeting, Planning Commission approved a 78-space parking lot on the northeast side of the Thaler site with access from Hiawatha Trail, the installation of a new stormwater retention area on the

Hiawatha Trail frontage, and demolition of the existing parking on the east side of the building. Representatives for Thaler were advised to prepare plans for the building addition for review at a future meeting. The property is zoned ED, Employment Center District, which permits the proposed addition.

Adjacent land uses includes the existing Thaler operation to the west; to the north, Machine Glass Specialists; to the east on the east side of Hiawatha Trail, Sandy's Towing and Springboro Automotive; to the south, Johnson Flooring, and a Thaler outbuilding on the south side of Edwards Drive. Zoning in the vicinity includes ED to the west, north, and northeast, and HBD, Highway Business District, to southeast (Johnson Flooring).

### **Staff Recommendation**

Staff recommends approval of the site plan subject to the following conditions:

1. Incorporate comments from September 10 review of parking lot/retention approval for this site.
2. Detention design under review.
3. Locate existing 8-inch water main and verify minimum depth of 4.5 feet for improvements. Otherwise, lower water main accordingly.

## **C. Preliminary Review**

### **Site Plan Review, 610 North Main Street (SR 741), China Cottage, proposed new building and location**

#### **Background Information**

This is a request for preliminary site plan review for a proposed retail development including a new China Cottage restaurant at 610 North Main Street (SR 741) submitted on behalf of Wen Wang, owner/operator of the China Cottage restaurants. The property is in the O-R, Office-Residential District, which permits restaurants without drive-throughs. As of October 3, the O-R District will permit outdoor dining as an accessory use to restaurants. Access to the site will be provided by way of an easement through the Kentwood Mortgage site and an adjoining property to the south.

Adjacent uses include the Hidden Creek assisted living facility (1345 Lytle-Five Points Road) to the north, accessed from Lytle-Five Points Road; to the east single family residential in the Woodland Greens subdivision (note: the property directly abutting the restaurant site is a detention pond); a residential property to the south (590 North Main Street); and to the east Kentwood Mortgage and an office building immediately to the north, both fronting North Main Street. Adjacent zoning includes O-R District to the north, south, and east, and R-1, Estate-Type Residential District, to the east coincided with the Woodland Greens subdivision (Springboro portion).

#### **Staff Comments**

Staff has the following comments regarding this agenda item:

1. Provide building elevations with graphic scale indicating proposed exterior building materials and dimensioned to determine height and massing. See also Section 1262.04, Non-Residential Building Design Standards, of Planning and Zoning Code (typical), for acceptable building materials and other requirements.
2. Explain in writing and graphically what is proposed for area along north property line in terms of grading and hardscaping.

3. For future Planning Commission reviews, provide printed plans at a larger size (24x36).
4. Indicated proposed dumpster location and provide exterior elevations.
5. Provide seating capacity for proposed Building to determine off-street parking requirement for proposed site. See Table 12 in Chapter 1279, Parking, for off-street parking requirements for individual uses identified for building.
6. Existing landscaping to be retained to be indicated on plan. Vegetation 4 inches DBH to be marked for credit against landscaping requirement for final approval stage of site plan review process.
7. Landscaping plan for required for parking area consistent with Chapter 1280, Landscaping.
8. Lighting plan for building and site to be prepared concurrent to final approval and consistent with Chapter 1273, Lighting.
9. Please contact Zoning Inspector for signage requirements for this site; signage review is outside the Planning Commission's site plan review process.
10. Development in the special flood hazard area (floodplain/floodway) shall be meet chapter 1448 of the Springboro Code. All permitting to be reviewed by the City Engineer and FEMA is required.
11. Provide offsite access easement documentation as well as offsite storm water easements.
12. Provide engineered site plan drawings on a scale not smaller than 40 feet to an inch. Existing topography and contours shall be with one-foot intervals.
13. Provide details for all streets, aisles, and parking spaces with spot elevations throughout.
14. Provide design of storm water detention, water main, and sanitary sewer, which shall meet city specifications.

**D. Preliminary Review**

**Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development**

**E. Preliminary Review**

**General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development**

**Background Information**

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of a mixed-use development southeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as this summer. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

This item is being reviewed on a preliminary basis at the July 9 meeting as was the case at the April 9, May 14, and July 9 meetings.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area

on the easternmost side of the property adjoining The Enclave assisted living/memory care facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 327 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro. The proposed residential development density is 20.77 dwelling units per acre for the residential component, although this number would be reduced considering the open space requirement of the residential component.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a from the signal to Tractor Supply. A total of 4.66 acres of open space, or 29.6% of the proposed PUD's residential component; is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement. The retail component of the PUD also has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank (15 Springwood Drive), and the Premier Health office building (360 West Central Avenue); to the east, The Enclave; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site (400 Victory Drive); and HBD, Highway Business District, to the west on the site of Tractor Supply Company (505 West Central Avenue).

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential uses included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

### **Staff Comments**

City staff has the following comments regarding this agenda item:

The following comments are regarding the development plan exhibits and narrative:

1. Reach out to City staff prior to October 8 meeting to clarify component acreage.
2. What part of the existing vegetation and topography is projected to remain on the site post-development? This will need to be provided during final development plan stage of PUD approval process.
3. Verify no detention ponds are proposed for West Central Avenue frontage.
4. Traffic impact study under review.
5. Parking requirements to meet City code.
6. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
7. Create a Property owners association (POA) for the development. POA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
8. Provide public access easements (ingress/egress) for all private roads throughout the site. Public roads to be built to City specifications including road width to be 24 feet wide (12 feet wide lanes & 29 feet b/b curb) with 50' right of way dedication.
9. SR 73 right-of-way to be dedicated with a width of not less than 60 feet, along with 15 feet utility easement. Improvements shall include all traffic impact analysis recommendations as well as curb and gutter, sidewalk, bike lane, and storm sewers along SR 73.
10. Any development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.
11. Verify scale on sheets. Does not appear to scale correctly.

The following comments are regarding the proposed design manual beginning on page 16 of the booklet:

12. Page 24, Building materials, add vinyl to description of prohibited building material.
13. Page 25, Building color, see Section 1262.04(g)(3), Color, for code limitations.

### **F. Preliminary Review**

**Rezoning, R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, single-family residential redevelopment**

### **G. Preliminary Review**

**General Plan, R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, single-family residential redevelopment**

### **Background Information**

This agenda item is a request from the City of Springboro to rezone approximately 1.07 acres of land located at 100-150 East Street from the current R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential. The properties were purchased by the City in 2024 and 2025;

the five single-family homes on the property were demolished in September 2024 and June 2025. The subject property is in the Historic District.

The City is seeking rezoning to PUD-R to accommodate the redevelopment of the subject property with single-family detached residential lots. The north half of the property will be developed beginning in 2026 with four lots. The R-2 District allows single-family detached residential lots at a density of 4.0 units per acre. R-2 District zoning was placed on this site and others in 2015 as part of a planning and zoning initiative that resulted in a major revision to the Planning and Zoning Code text and the Official Zoning Map of the City of Springboro. Prior to 2015, the subject property was zoned R-3, Medium Density Residential District, which permitted at the time up to 12 dwelling units per acre. The majority of the Historic District was developed at a density of 6.0 dwelling units per acre, a density permitted under the CBD, Central Business District. The CBD allows a wide array of land uses including retail, office, residential, religious institutions, and more. The effective residential development density of the CBD is higher than 6.0 units per acre in some cases since apartments are permitted.

The subject property is in the Historic District. Approval by the Architectural Review Board (ARB) of all changes to protected properties is required for any improvement that results in a change to the exterior appearance of buildings/sites in terms of materials, color, or outward appearance including new construction. All five buildings on the subject property were protected as contributing structures: their demolition was reviewed and approved by the ARB. New construction such as that proposed as part of these agenda items will need to be reviewed by the ARB as part of its Certificate of Appropriateness review process. The ARB uses the Historic Design Standards for New Construction chapter to evaluate such proposals. All vacant sites in the Historic District are so protected. The New Construction chapter of the Design Standards promotes construction like those found elsewhere in the Historic District but in contemporary terms. Examples of new construction built under these standards include SPARC and Go at 320 South Main Street, and additions to 220, 400, and 535 South Main Street.

The proposed redevelopment of the subject property will be at a gross density of 7.46 units per acre. For the near term, the north half of the site will be developed including four residential lots with three facing East Street, and one facing North Street.

The proposed redevelopment of the site will maintain the east-west alley that bisects the site; it will be used for vehicular access and utility placement. A north-south alley is also proposed as part of the redevelopment. Both alleys will be paved and owned and maintained by the City like other public rights-of-way.

The City is requesting that the open space requirement for this redevelopment be waived. Three City parks are located within 1,100 feet of the subject property. Providing up to 11,650 square feet of open space on this site would either remove 2 lots from the redevelopment or result in much smaller lots/homes on the remainder of the subject property. The latter would be inconsistent with the goals of the redevelopment to provide as many affordable housing units as possible into the Historic District setting. As stated in the PUD Code, Section 1266.01, Intent and Objectives, "It is the intent of this chapter to accommodate creative and imaginative [PUDs] and to permit...innovations in land development that are in the best interest of the City..., in situations where conventional zoning is inappropriate or unduly restrictive. In order to accomplish this intent, it is the purpose of a PUD District to permit, in a carefully-designed development, a variety of uses and/or dwelling types, and to permit the flexible spacing of lots and buildings, the conservation of natural features of the landscape, the provision of accessible and enjoyable open spaces, and the provision of a necessary complement of community and neighborhood facilities."

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The ARB will be provided with a courtesy review of the redevelopment plan at their October 13 meeting and will review plans for new home construction and other details concurrent to the final development plan stage of the PUD review process.

Adjacent land uses include Springboro United Methodist Church (60 East North Street) to the northwest; the parking lot for the Springboro Eagles to the north; single-family residential to the east, south, and west; to the southeast a vacant former church building (145 East Market Street); a multiuse building (205 East Street) in the former township building to the southwest housing White Dover Circle of Light spiritual center and Springhouse Architects; the Methodist Church/City parking lot to the west and Reveals Truth Tabernacle church (130 East Street). Adjacent zoning includes R-2 District to the northwest, north, east, south, and west; CBD zoning can be found to the southeast and southwest.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 13, Historic Core, includes the subject property and others on East Street and South Main Street. The policy area recommends, among other actions, maintenance of the historic character and identity of the policy area through enforcement of the design guidelines to ensure property maintenance, infill, and new development are conducive to the policy area's design and atmosphere, and providing a mix of residential, service, and retail businesses to ensure a lively and interactive district.

### **Staff Comments**

City staff has the following comments regarding this agenda item:

1. Include historical references as part of ARB approval of demolitions of existing homes on the subject property.
2. Plan subject to review by ARB. Details for proposed redevelopment subject to Design Standards addressing new construction and streetscape.
3. Other plan elements—lighting, landscaping—subject to Planning and Zoning Code provisions.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, October 3, 2025 at 12:00 p.m.



# **Northampton Phase 1 & 2 Additional Floor Plans/Elevations**

City of Springboro  
320 West Central Avenue  
Springboro, OH 45066  
Phone: (937) 748-4343  
Fax: (937) 748-0815  
[www.ci.springboro.oh.us](http://www.ci.springboro.oh.us)





Cincinnati Division  
9349 Waterstone Boulevard, Suite 100  
Cincinnati, OH 45249  
513.248.5400 OFFICE



September 19, 2025

Daniel J. Boron, AICP  
Planner, City of Springboro  
320 West Central Avenue  
Springboro, Ohio 45066

Subject: Northampton Ph. 1 & 2 – Minor Modification  
Enclosed: Additional House Plans & Elevations

Dear Mr. Boron,

M/I Homes is requesting approval to offer the enclosed house plans at Northampton Ph. 1 & 2. The additional plans include the two-story Hampton and Windsor II as well as new elevations for previously approved Serenity and Monroe. These new plans fall within the previously approved range of 1,544sf - 3,852sf.

We would request the City allow future house plans added to Northampton be considered and approved by staff if consistent with the approved General Plan. Should you have any questions, please contact me.

Respectfully,

**Justin Lanham**

M/I Homes of Cincinnati, LLC  
9349 Waterstone Boulevard, Suite 100  
Cincinnati, OH 45249  
(513) 551-3954  
[janham@mihomes.com](mailto:janham@mihomes.com)





11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

**TYPICAL EXTERIOR TRIM FINISH**

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED EQUALLY AS A GUIDE FOR TRIM SIZE. ALL TRIM NOTED ON THE ELEVATIONS IS PROVIDED FOR TRIM FINISH AND MATERIAL.

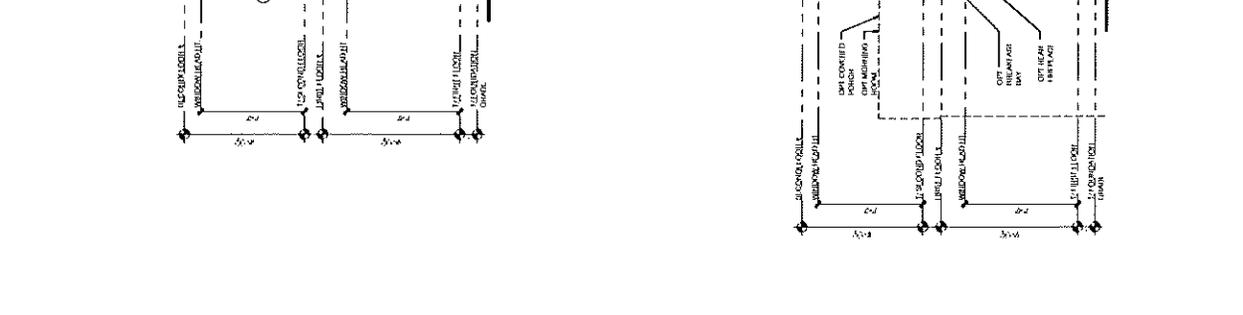
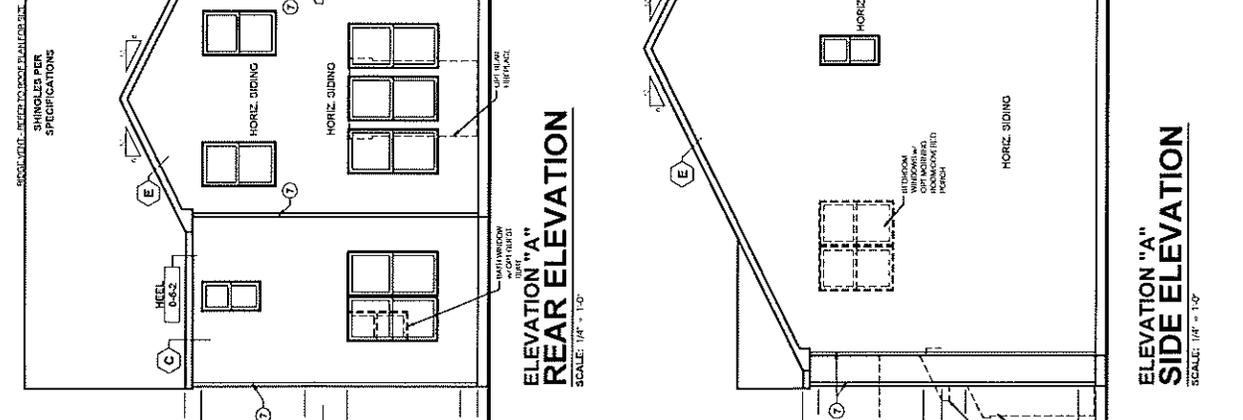
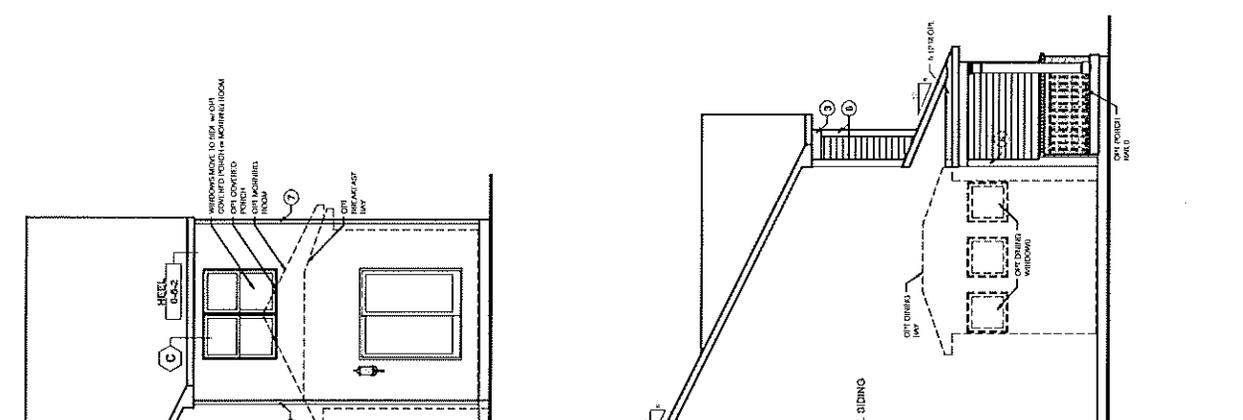
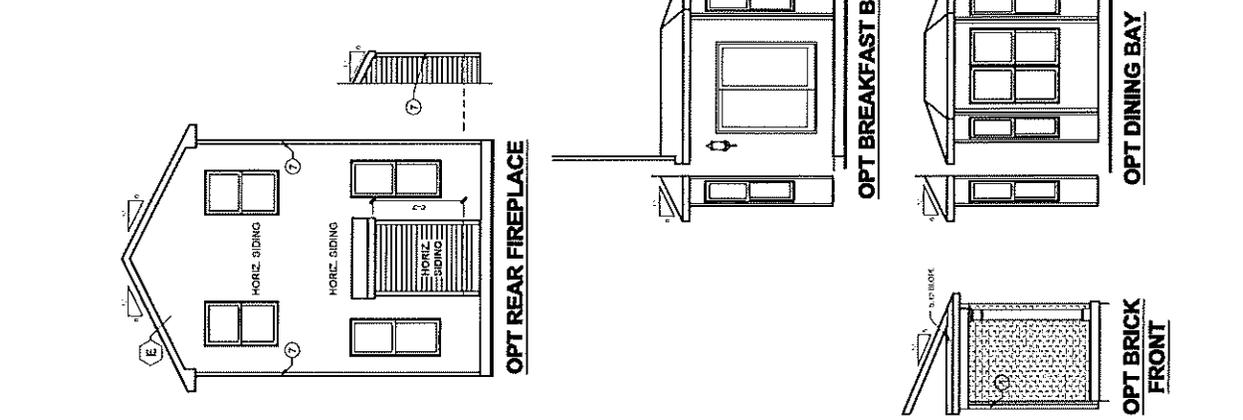
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|---|--|
| 1 | 4" TRIM (1/4, 3/4, 1 1/2, VINYL LINCOLN)                 |
| 2 | 6" TRIM (1/4, 3/4, 1 1/2, VINYL LINCOLN)                 |
| 3 | 8" TRIM (1/4, 3/4, 1 1/2, VINYL LINCOLN)                 |
| 4 | 10" TRIM   |
| 5 | 4" TRIM  |
| 6 | FRONT CORNERS - 4" TRIM (1/4, 3/4, 1 1/2, VINYL LINCOLN) |
| 7 | REAR CORNERS - 4" TRIM (1/4, 3/4, 1 1/2, VINYL LINCOLN)  |

**NOTES:**

- USE THE WRAPPING OF THE O.C. ON PORCH CEILING WHERE APPLICABLE.

SEE SHEET 01.0 FOR EAVE DETAILS

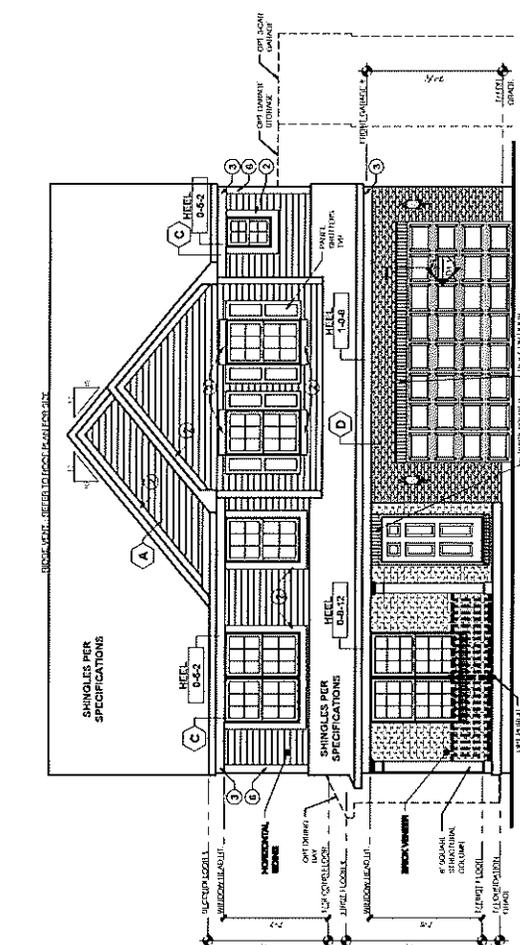
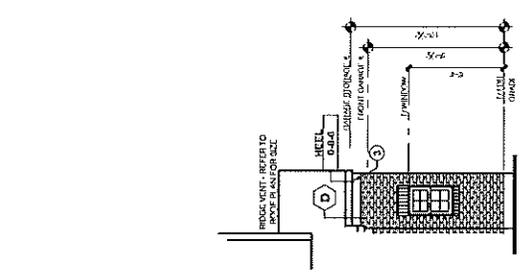
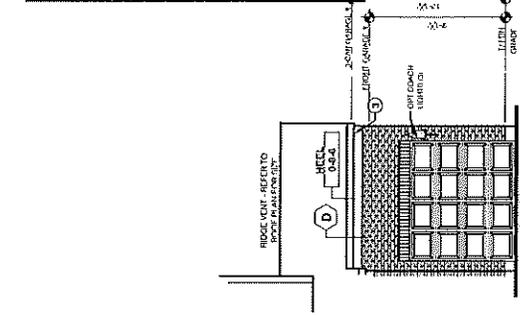
SEE SHT 01.1 FOR LINTEL SCHEDULE



11x17 PRINTS ARE 1/2 SCALE

**CLASSIC SERIES**

|   |  |
|---|--|
| <b>TYPICAL EXTERIOR TRIM FINISH</b>   |  |
| THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED EXCEPT AS A GUIDE FOR TRIM SIZE. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM DIMENSIONS AND FINISH. |  |
| 1   | 1" x 4" TRIM (1/4" x 3/4" x 3" VENEER LINICAL) |
| 2   | 1" x 6" TRIM (1/4" x 3/4" x 5" VENEER LINICAL) |
| 3   | 1" x 8" TRIM (1/4" x 3/4" x 7" VENEER LINICAL) |
| 4   | 1" x 10" TRIM                                  |
| 5   | 1" x 12" TRIM                                  |
| <b>NOTES:</b>   |  |
| 1. USE 1/4" STRAPPING IF 1/2" O.C. ON PORCH CEILING WHERE VENEER IS USED  |  |



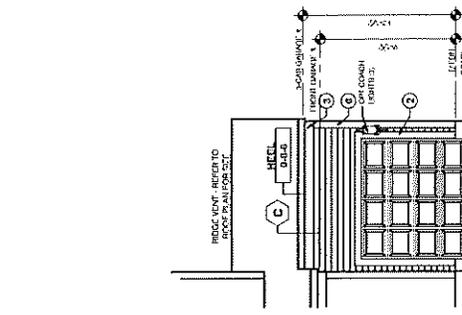
**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED FULLY AS A GUIDE FOR TRIM GOES. ALL TRIM NOTED ON THE ELEVATIONS IS TO BE INSTALLED PER THE FINISH SCHEDULE AND MATERIAL.

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|---|--|
| 1 | 4" TRIM (1x4 3/4x 3/2" VINYL LINCOLN)          |
| 2 | 6" TRIM (1x6 3/4x 3" VINYL LINCOLN)            |
| 3 | 8" TRIM (1x8 3/4x 7" VINYL LINCOLN)            |
| 4 | 10" TRIM                                       |
| 5 | 12" TRIM                                       |
| 6 | FRONT CORNERS - 1" FINISH SCHEDULE - 1/2" BEAD |
| 7 | REAR CORNERS - 1" FINISH SCHEDULE - 1/2" BEAD  |

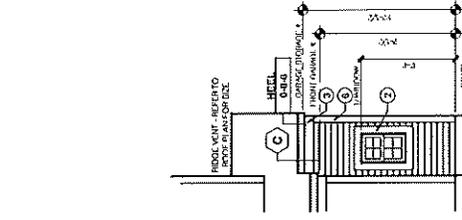
**NOTES:**  
 1. USE 1x4 SHIMMING AT TOP OF CORNER CEILING WHERE VINYL IS USED

SEE SHEET D1.0 FOR EAVE DETAILS

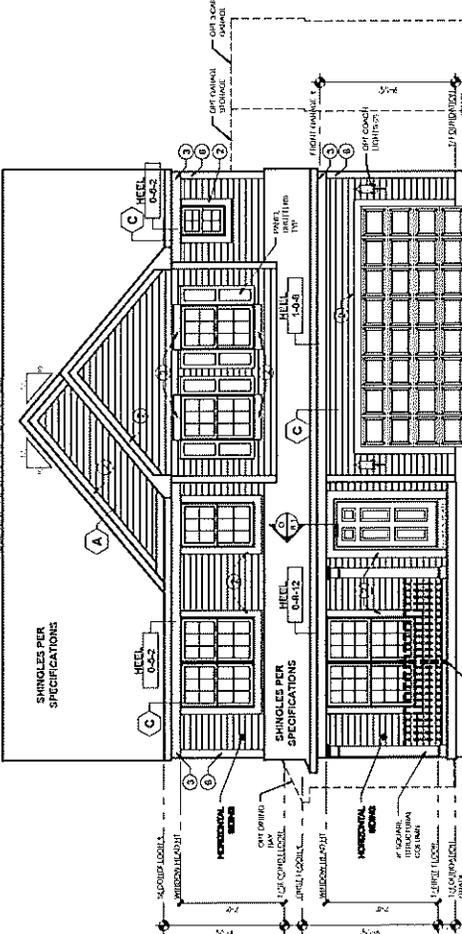
SEE SHT C1.1 FOR LINTEL SCHEDULE



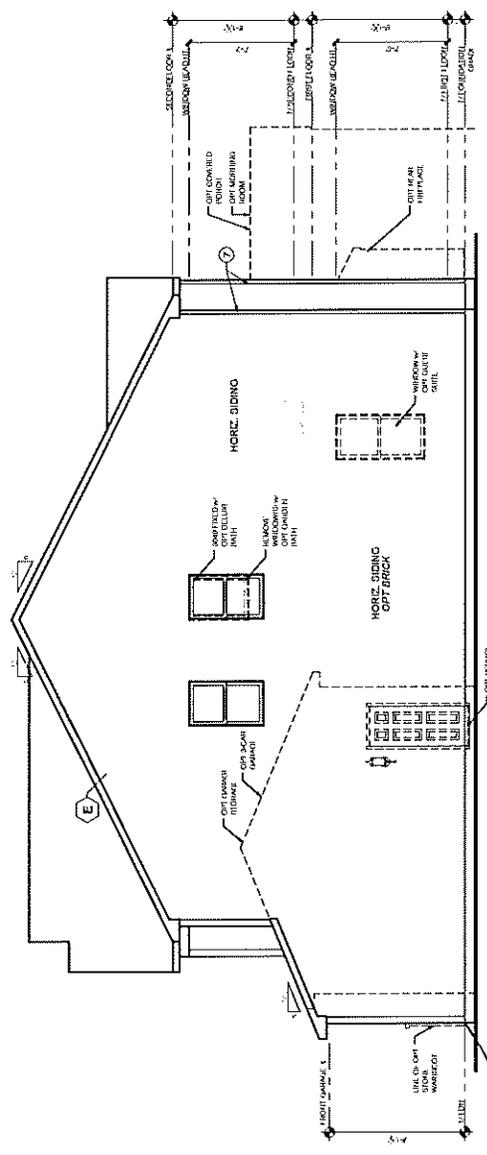
**OPT 3-CAR GARAGE**



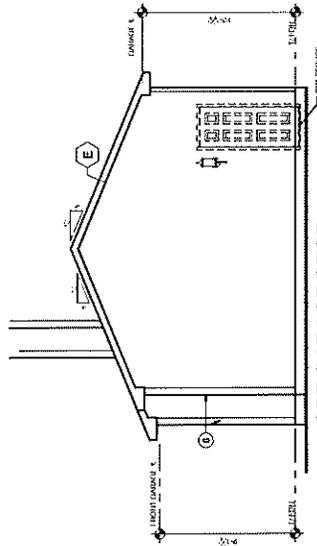
**OPT GARAGE STOR**



**ELEVATION "A"  
 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

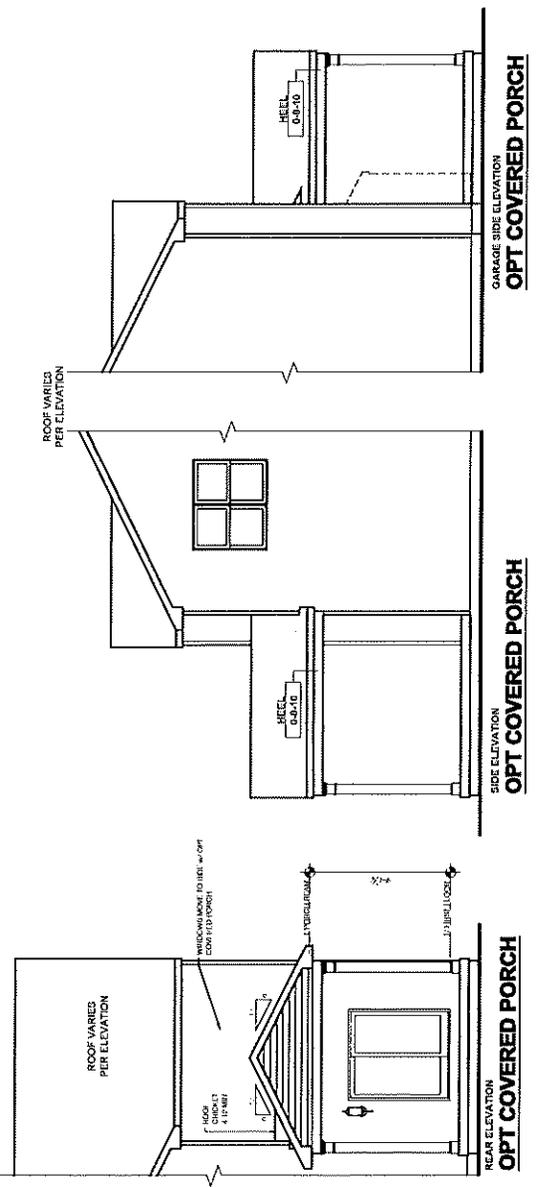
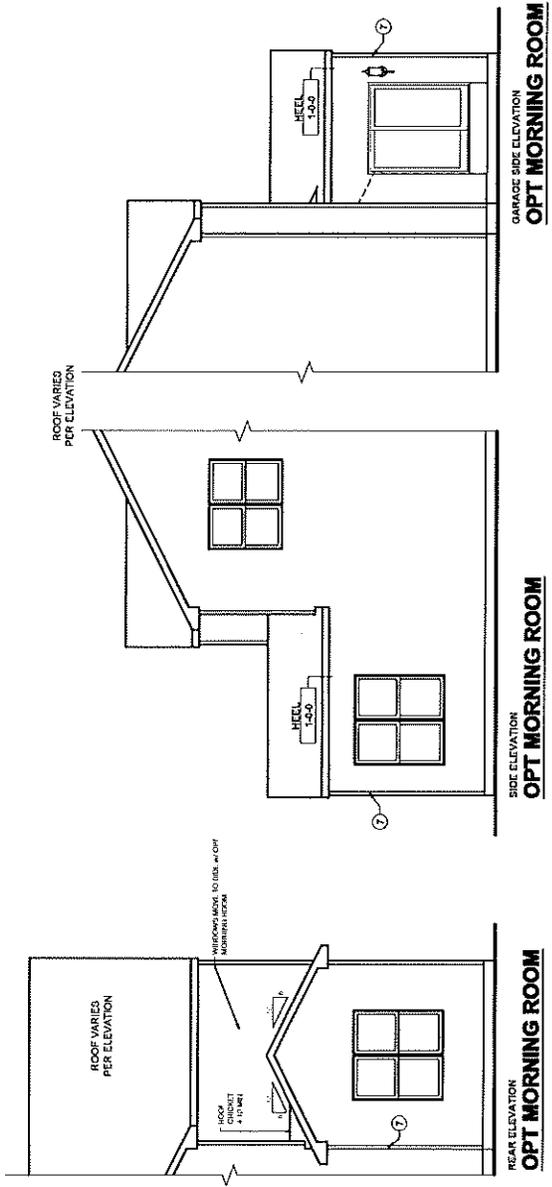


**ELEVATION "A"  
 GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**OPT GARAGE STOR of  
 3-CAR GARAGE SIDING**

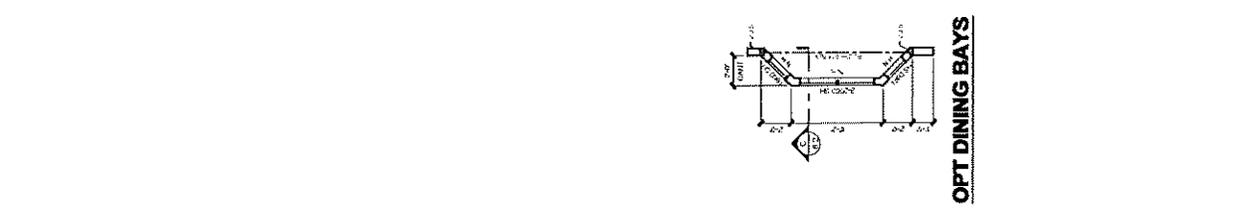
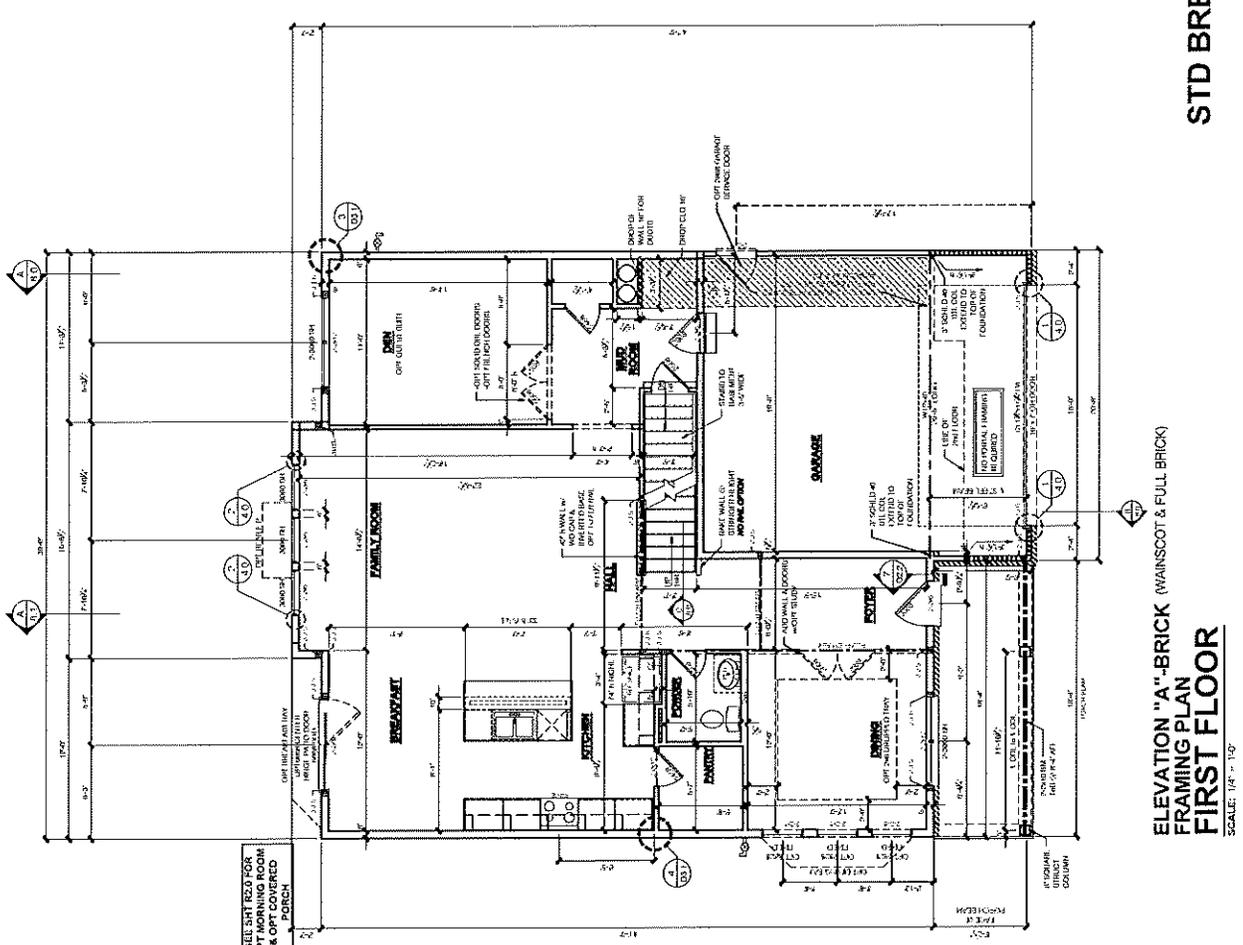
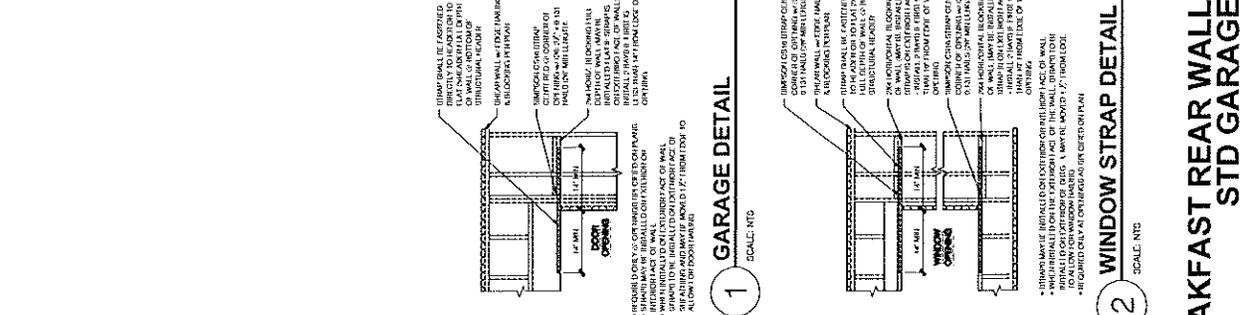




11X17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

- ### 9' FLOOR PLAN NOTES
1. ALL WALLS ARE 8" CONCRETE BLOCK WITH 1/2" GYPSUM BOARD INTERIOR AND 1/2" GYPSUM BOARD EXTERIOR UNLESS NOTED OTHERWISE.
  2. ALL WALLS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" DRYWALL UNLESS NOTED OTHERWISE.
  3. ALL WALLS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" DRYWALL UNLESS NOTED OTHERWISE.
  4. ALL PORT COVERS TO BE RECOGNIZED AND IDENTIFIED BY THE ARCHITECT.
  5. BLOCK UNDER ALL EXTERIOR DOORS AND WINDOWS TO BE 8" CONCRETE BLOCK WITH 1/2" GYPSUM BOARD INTERIOR AND 1/2" GYPSUM BOARD EXTERIOR UNLESS NOTED OTHERWISE.
  6. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  7. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
- ### TYPICAL PORT COVERS
1. EXTERIOR WALL PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  2. INTERIOR WALL PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  3. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  4. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  5. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  6. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
  7. PORT COVERS TO BE IDENTIFIED BY THE ARCHITECT.
- ### SEE SHEET 1 FOR LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS
- GARAGE OPT WALL NOTE:**  
 ALL GARAGE OPT WALLS SHALL BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD INTERIOR AND 1/2" GYPSUM BOARD EXTERIOR UNLESS NOTED OTHERWISE.



**9' FLOOR PLAN NOTES**

**WALLS:**

- INDICATED WALL REQUIREMENTS
- INDICATED PARTITION WALLS ARE AUTOMATICALLY ASSUMED TO BE FULL HEIGHT UNLESS NOTED OTHERWISE
- INDICATED SLOPED WALLS AS NOTED

**ROOFING:**

- INDICATED ROOFING REQUIREMENTS
- INDICATED ROOFING REQUIREMENTS AS NOTED

**FOUNDATION:**

- INDICATED FOUNDATION REQUIREMENTS
- INDICATED FOUNDATION REQUIREMENTS AS NOTED

**GENERAL NOTES:**

- ALL WALLS SHALL BE 8" CONCRETE CMU WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
- ALL PARTITION WALLS SHALL BE 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
- ALL PARTITION WALLS SHALL BE 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
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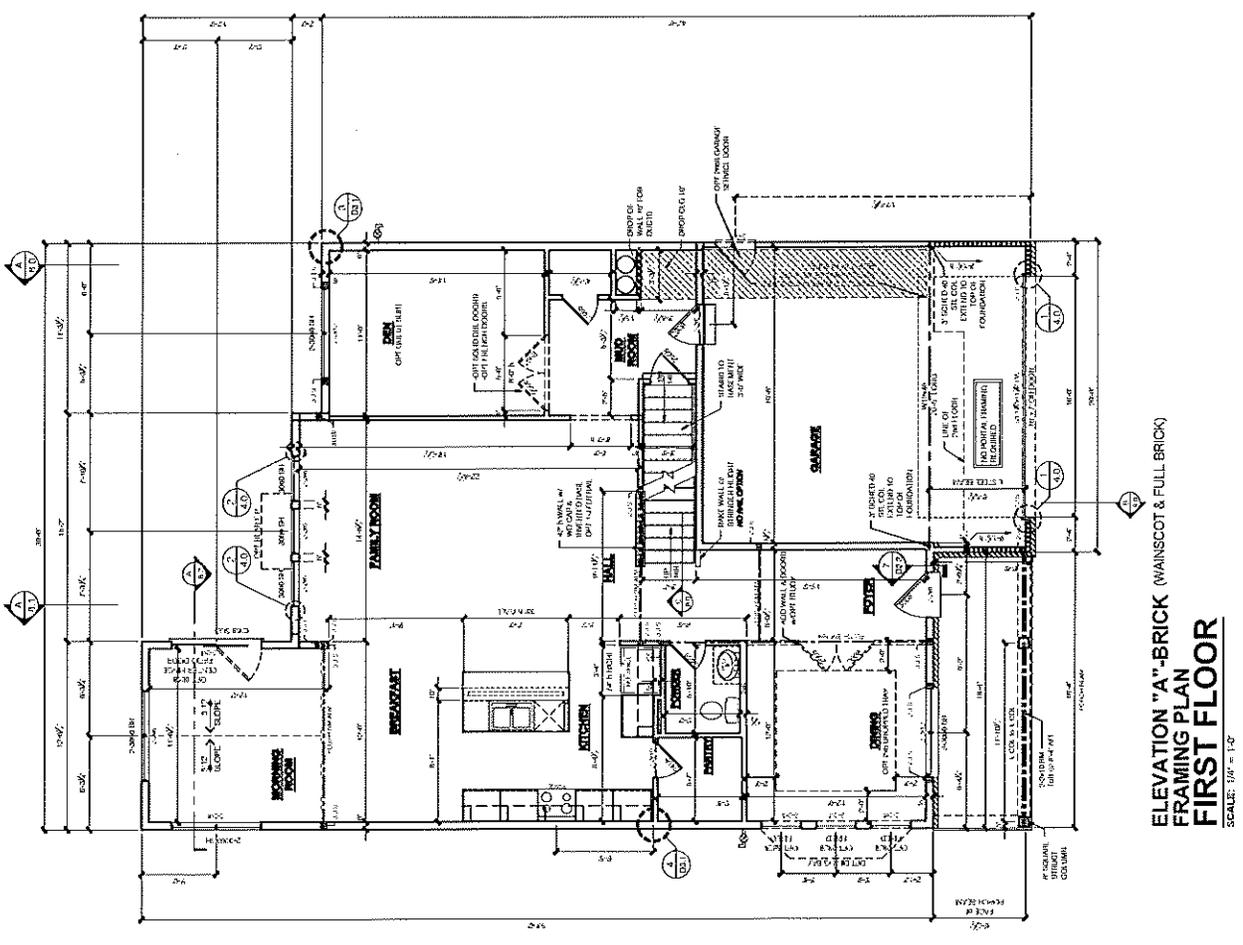
**TYPICAL DETAIL NOTES:**

- LATERAL WALLS TO BE SHEATHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
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- ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.

**SEE DETAILS FOR LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS**

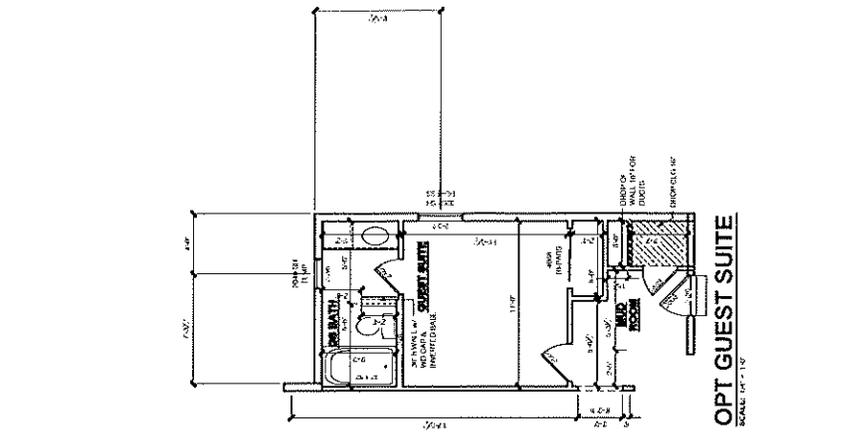
**DAMAGE DETAIL NOTES:**

- ALL DAMAGE NOTES COMMON WALLS

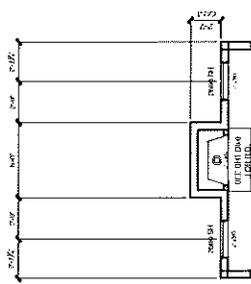


**ELEVATION "A" - BRICK (MAINS COT & FULL BRICK)**  
**FRAMING PLAN**  
**FIRST FLOOR**  
 SCALE: 1/4" = 1'-0"

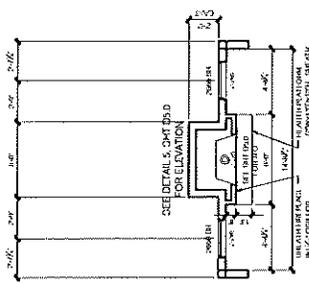




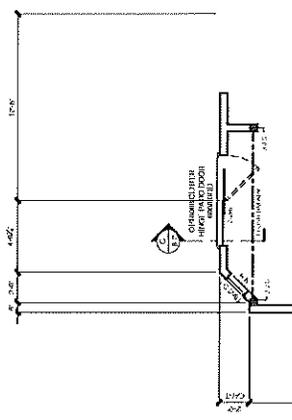
**OPT GUEST SUITE**  
SCALE: 1/8" = 1'-0"



**OPT REAR FIREPLACE**  
SCALE: 1/8" = 1'-0"

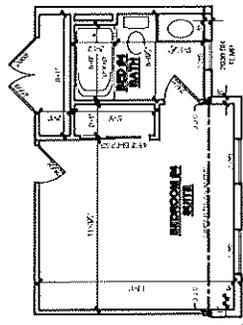
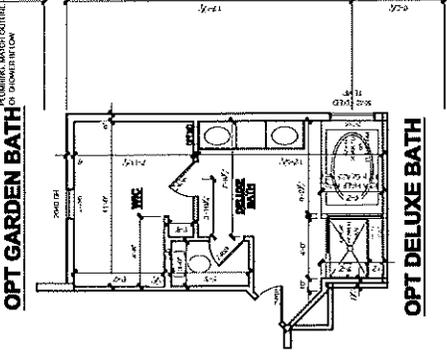
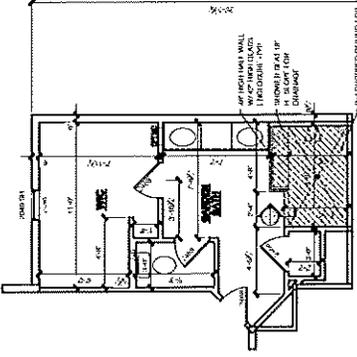
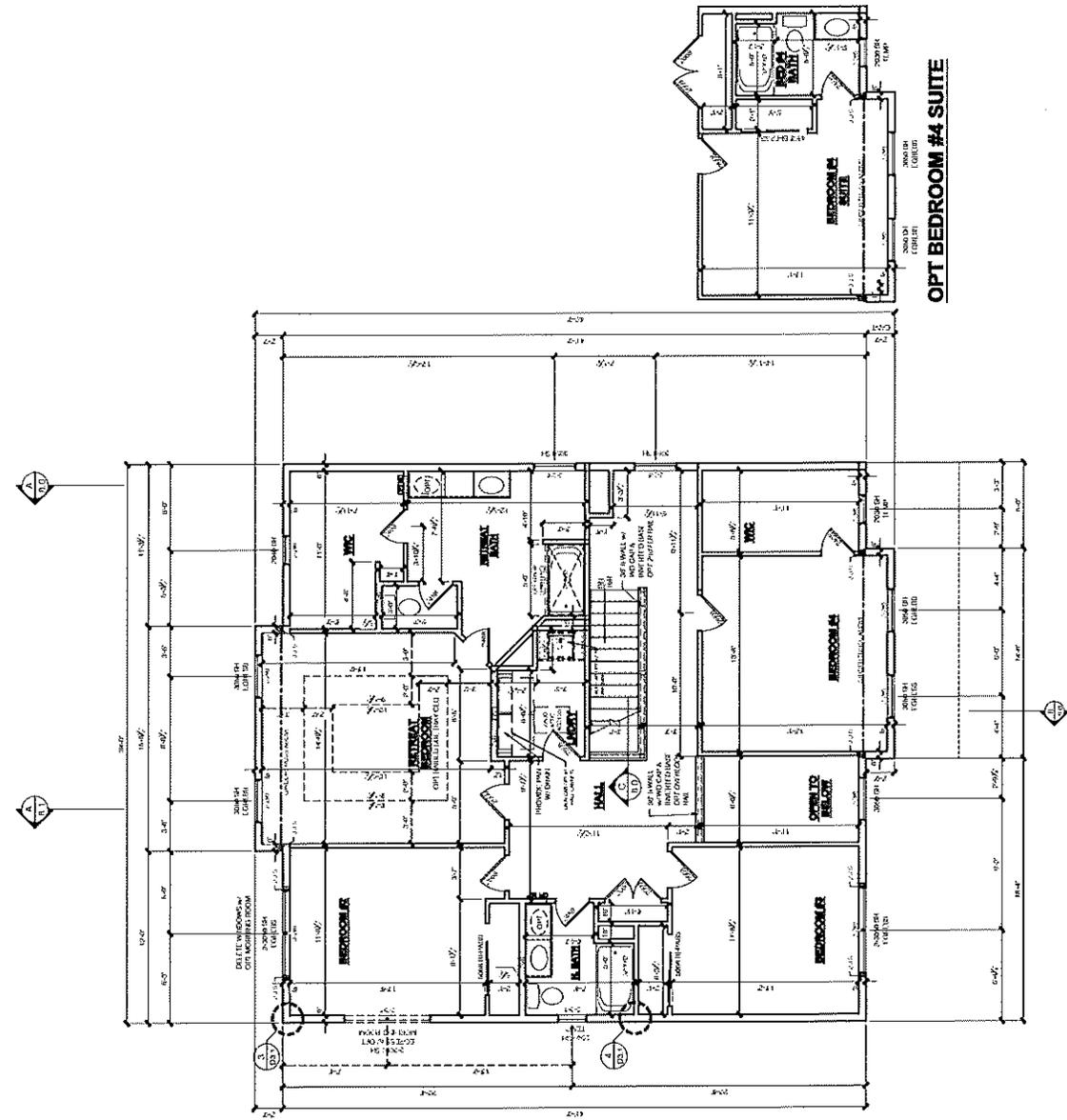


**OPT STONE FIREPLACE**  
SCALE: 1/8" = 1'-0"



**OPT BREAKFAST BAY**  
SCALE: 1/8" = 1'-0"

- FLOOR PLAN NOTES**
- 1. INDICATES WALL HEIGHTS ONLY THAT SHAPED HEIGHT ADDED
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  - 100. INDICATES WALL HEIGHTS WHERE SHAPED HEIGHT ADDED



**OPT BEDROOM #4 SUITE**

**ELEVATION "A"  
 FRAMING PLAN  
 SECOND FLOOR**  
 SCALE: 1/8" = 1'-0"

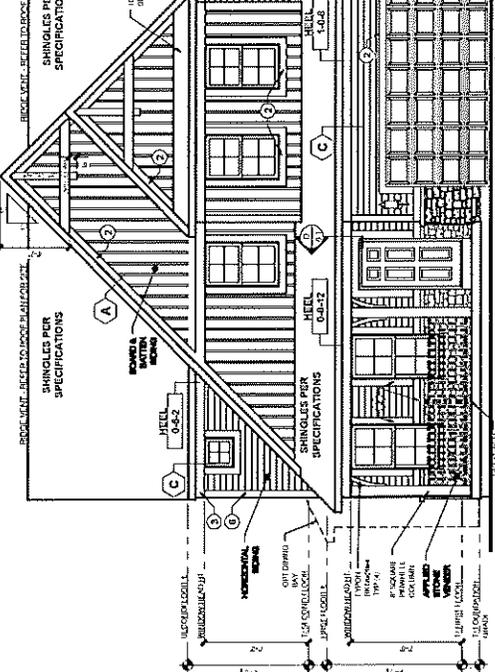
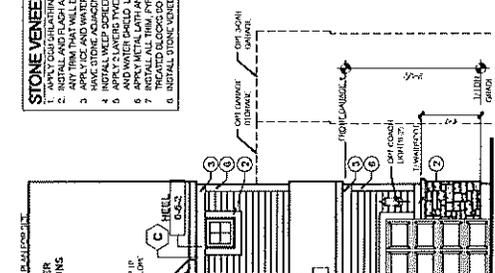
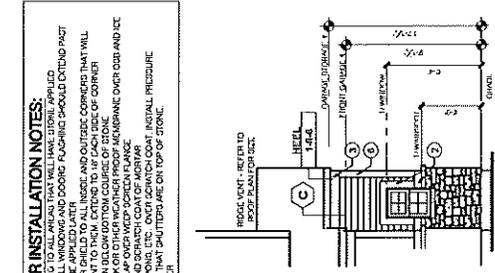
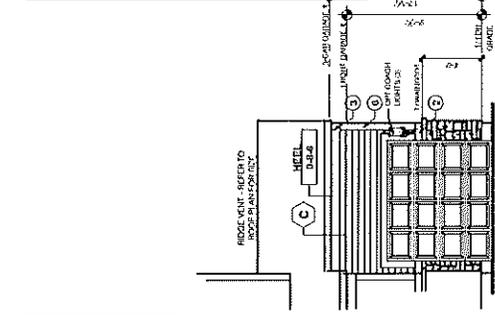
**CLASSIC SERIES**

**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PRECISELY AS SHOWN. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIALS.

|   |   |
|---|---|
| 1 | = 4" TRIM (1 1/4" DIA. 3/4" WALL LINEN)               |
| 2 | = 6" TRIM (1 1/4" DIA. 3/4" WALL LINEN)               |
| 3 | = 8" TRIM (1 1/4" DIA. 3/4" WALL LINEN)               |
| 4 | = 10" TRIM  |
| 5 | = 12" TRIM  |
| 6 | FRONT CORNERS = 4" TRIM (1 1/4" DIA. 3/4" WALL LINEN) |
| 7 | REAR CORNERS = 4" TRIM (1 1/4" DIA. 3/4" WALL LINEN)  |

**NOTES:**  
 1. USE 3/4" STRAPPING AT TOP OF GARAGE CEILING WHERE WIRE IS USED

SEE SHEET D1.0 FOR GABLE DETAILS  
 SEE SHEET C1.4 FOR LINTEL SCHEDULE



**OPT 3-CAR GARAGE**

**OPT GARAGE STOR**

**OPT 3-CAR GARAGE**

**OPT GARAGE STOR**

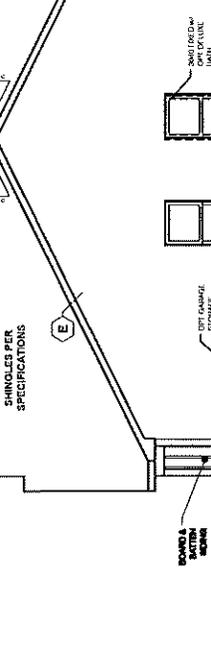
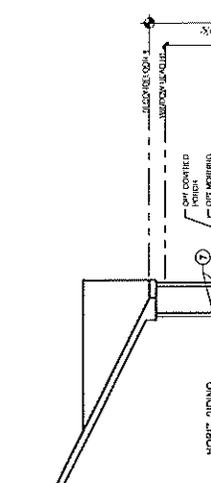
**OPT 3-CAR GARAGE**

**STONE VENEER INSTALLATION NOTES:**

- APPLY GROUTING TO ALL AREAS THAT WILL HAVE STONE APPLIED
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- APPLY GROUTING TO ALL AREAS THAT WILL HAVE STONE APPLIED
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**HARDI BOARD & BATTENS TO USE**  
 2 1/2" BATTEN BOARDS @ 16" O.C.  
 CENTER PATTERN ON GABLES &  
 WINDOWS UNDER PORCH

**ELEVATION "B"-STONE FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**OPT GARAGE STOR OF 3-CAR GARAGE-STONE**

**OPT GARAGE STOR**

**OPT GARAGE STOR**

**STONE VENEER INSTALLATION NOTES:**

- APPLY GROUTING TO ALL AREAS THAT WILL HAVE STONE APPLIED
- APPLY GROUTING TO ALL AREAS THAT WILL HAVE STONE APPLIED
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**HARDI BOARD & BATTENS TO USE**  
 2 1/2" BATTEN BOARDS @ 16" O.C.  
 CENTER PATTERN ON GABLES &  
 WINDOWS UNDER PORCH

**ELEVATION "B"-STONE GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



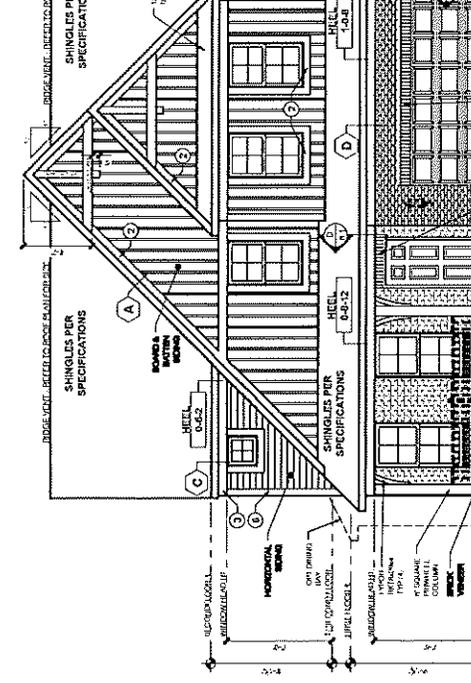
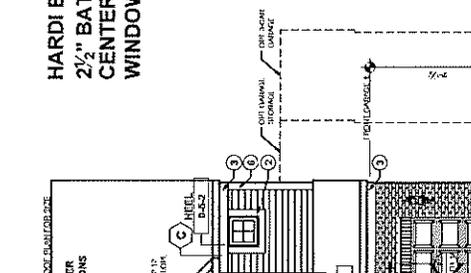
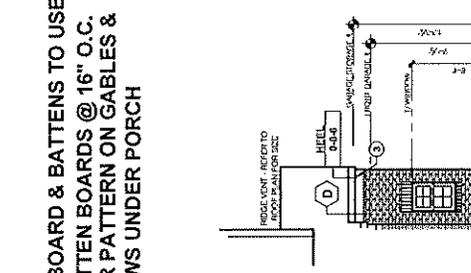
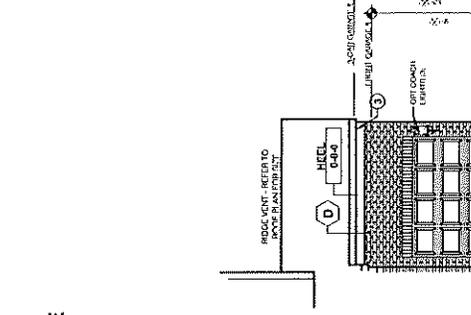


CLASSIC SERIES

**TYPICAL EXTERIOR TRIM FINISH**  
 THE FINISHES ON THE ELEVATIONS IS PACKAGED COLLECTIVELY AS A GUIDE FOR TRIM BIDD. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIALS.

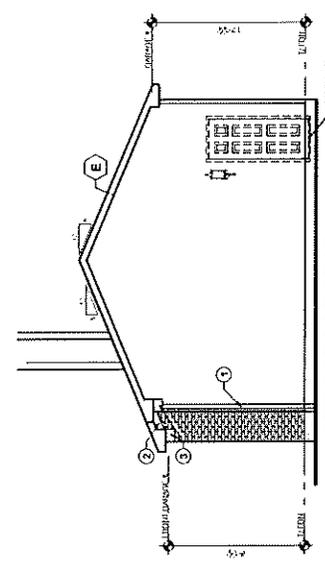
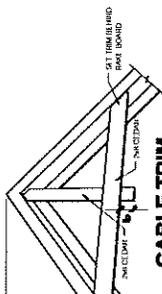
- 1 - 4" TRIM (1/4" X 3/4" X 3/4" W/1" LINGUAL)
- 2 - 6" TRIM (1/4" X 3/4" X 5/8" W/1" LINGUAL)
- 3 - 8" TRIM (1/4" X 3/4" X 7/8" W/1" LINGUAL)
- 4 - 10" TRIM
- 5 - 12" TRIM
- 6 FRONT CORNERS - 4" TRIM (1/4" X 3/4" X 3/4" W/1" LINGUAL)
- 7 REAR CORNERS - 4" TRIM (1/4" X 3/4" X 3/4" W/1" LINGUAL)

**NOTES:**  
 1. USE 1/4" STRAPPING 1/2" O.C. ON PORCH CEILING WHERE W/1" IS USED



HARDI BOARD & BATTENS TO USE  
 2 1/2" BATTEN BOARDS @ 16" O.C.  
 CENTER PATTERN ON GABLES &  
 WINDOWS UNDER PORCH

SEE SHEET D1.0 FOR GABLE DETAILS  
 SEE SHT C1.1 FOR LINTEL SCHEDULE



OPT GARAGE STOR of  
 3-CAR GARAGE  
 OPT BRICK FRONT

ELEVATION "B"-BRICK FRONT  
 FRONT ELEVATION  
 SCALE: 3/8" = 1'-0"

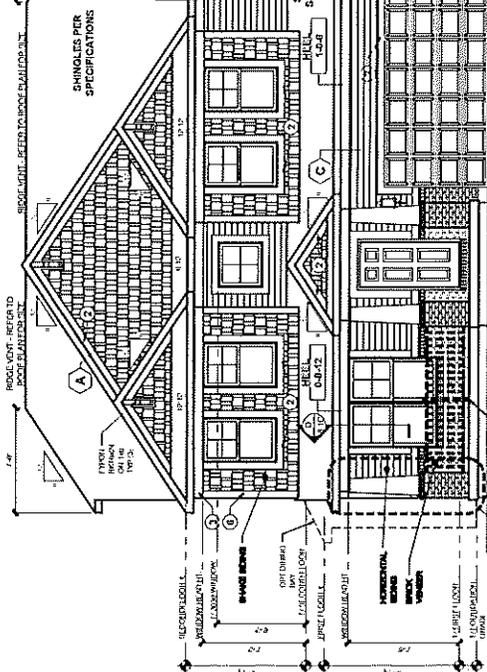
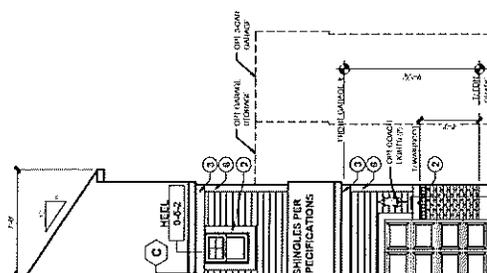
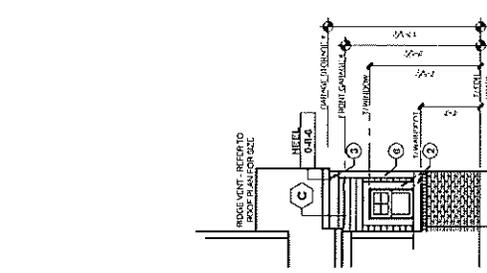
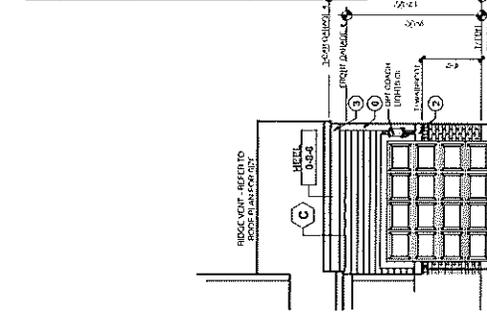


**CLASSIC SERIES**  
 1/4" PRINTS ARE 1/2" SCALE

**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED ONLY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS HORIZONTAL. SEE SPECIFICATIONS FOR TRIM FINISHES AND MATERIALS.

|   |               |                                   |
|---|---------------|-----------------------------------|
| 1 | 4" TRIM       | (1-1/4" SHIM, 3/4" VINAL LINCOLN) |
| 2 | 6" TRIM       | (1-1/4" SHIM, 3/4" VINAL LINCOLN) |
| 3 | 8" TRIM       | (1-1/4" SHIM, 3/4" VINAL LINCOLN) |
| 4 | 10" TRIM      | (1-1/4" SHIM, 3/4" VINAL LINCOLN) |
| 5 | 12" TRIM      | (1-1/4" SHIM, 3/4" VINAL LINCOLN) |
| 6 | FRONT CORNERS | 6" FINISHED BRICK-SEE SPEC        |
| 7 | REAR CORNERS  | 6" FINISHED BRICK-SEE SPEC        |

**NOTES:**  
 1. USE THE TRIMMING IF IT IS ON PORCH CEILING WHERE NOT LISTED.



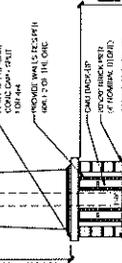
**ELEVATION "C"-BRICK WAINSCOT FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR or 3-CAR GARAGE-SIDING BRICK WAINSCOT**  
 SCALE: 3/4" = 1'-0"



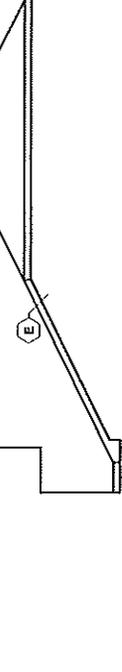
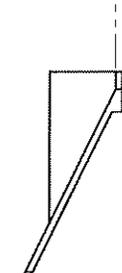
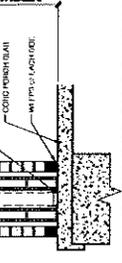
**5'-0" FRONT PORCH COLUMN**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**ELEVATION "C"-BRICK GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**ELEVATION "C"-BRICK GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**OPT GARAGE STOR**  
 SCALE: 3/4" = 1'-0"

**ELEVATION "C"-BRICK GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



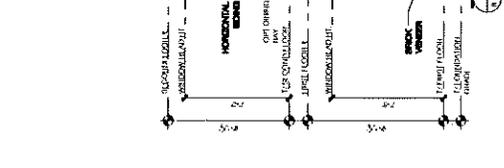
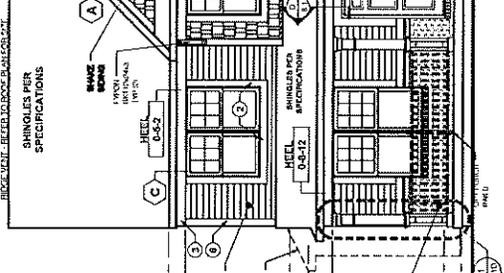
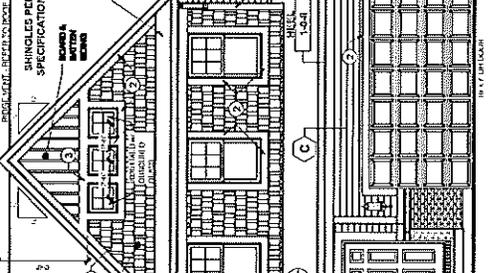
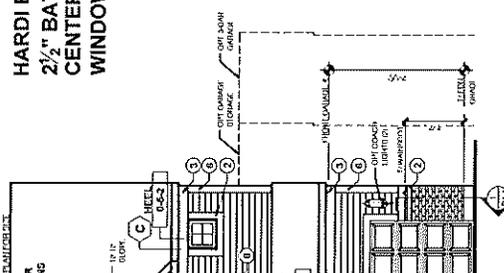
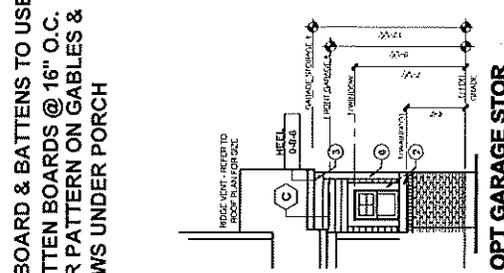
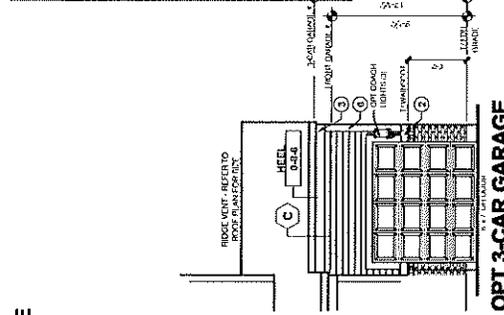


**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED ONLY AS A GUIDE FOR TRIM SELECTION. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM SIZES AND FINISHES.

|   |   |
|---|---|
| 1 | 4" TRIM (1/4" SHIM, 3/4" VINYL LINICAL) |
| 2 | 6" TRIM (1/4" SHIM, 3/4" VINYL LINICAL) |
| 3 | 8" TRIM (1/4" SHIM, 3/4" VINYL LINICAL) |
| 4 | 10" TRIM                                |
| 5 | 12" TRIM                                |
| 6 | FRONT CORNERS - #11111111111111111111   |
| 7 | REAR CORNERS - #11111111111111111111    |

**NOTES:**  
 1. USE 1/4" CHIMNEY 1" IF O.C. ON PORCH CEILING WHERE VINYL IS USED

SEE SHEET D10 FOR EAVE DETAILS  
 SEE SHT C1.1 FOR LINTEL SCHEDULE

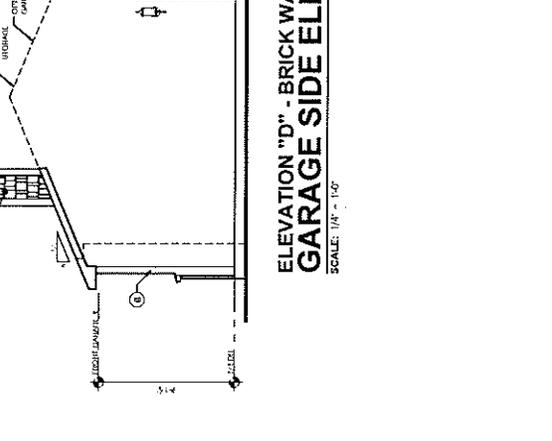
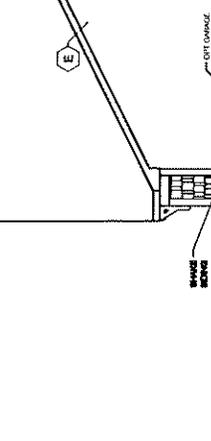
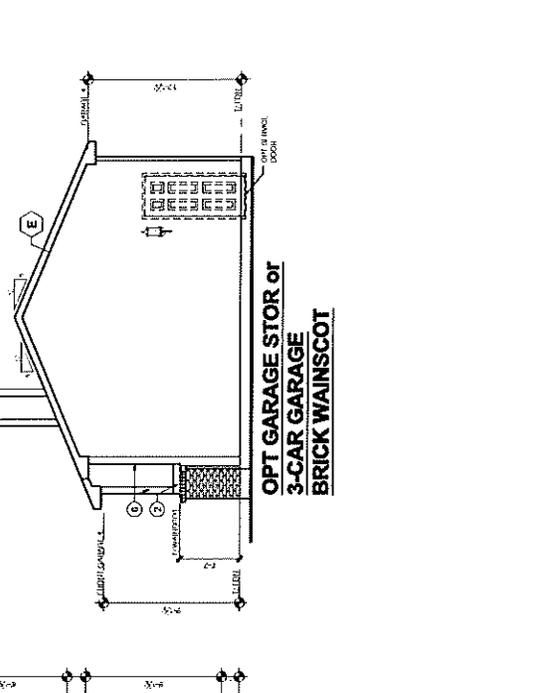


**ELEVATION "D" - BRICK WAINSCOT FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**ELEVATION "D" - BRICK WAINSCOT GARAGE SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

**OPT GARAGE STOR**  
 OPT GARAGE STOR or 3-CAR GARAGE BRICK WAINSCOT

**OPT GARAGE STOR or 3-CAR GARAGE BRICK WAINSCOT**



**OPT GARAGE STOR or 3-CAR GARAGE BRICK WAINSCOT**

**OPT GARAGE STOR or 3-CAR GARAGE BRICK WAINSCOT**

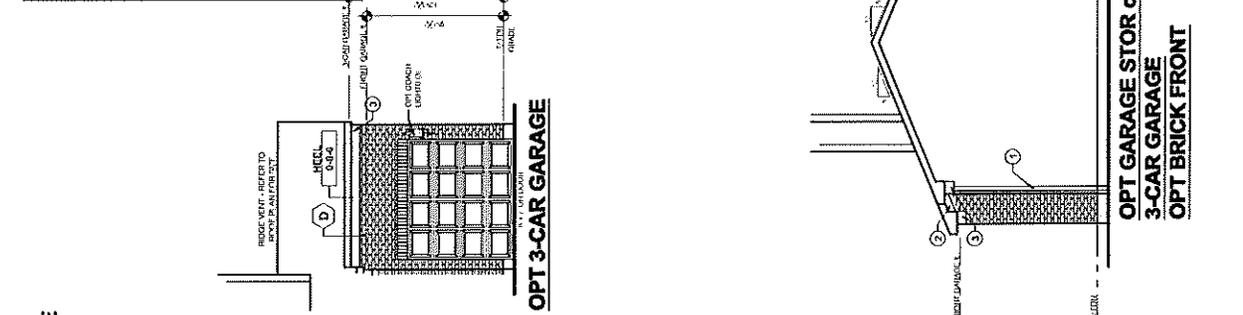
**OPT GARAGE STOR or 3-CAR GARAGE BRICK WAINSCOT**

11X17 PRINTS ARE 1/8" SCALE

CLASSIC SERIES

| TYPICAL EXTERIOR TRIM FINISH   |  |
|--|--|
| THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED ONLY AS A GUIDE FOR TRIM SIZE. ALL TRIM NOTED ON THE ELEVATIONS IS TO BE ORDERED FROM THE TRIM SUPPLIER AND MATERIAL FINISH AND MATERIAL. |  |
| 1  | 4" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 2  | 6" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 3  | 8" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 4  | 10" TRIM                               |
| 5  | 12" TRIM                               |
| 6  | FRONT CORNERS - #71111111111111111111  |
| 7  | REAR CORNERS - #71111111111111111111   |

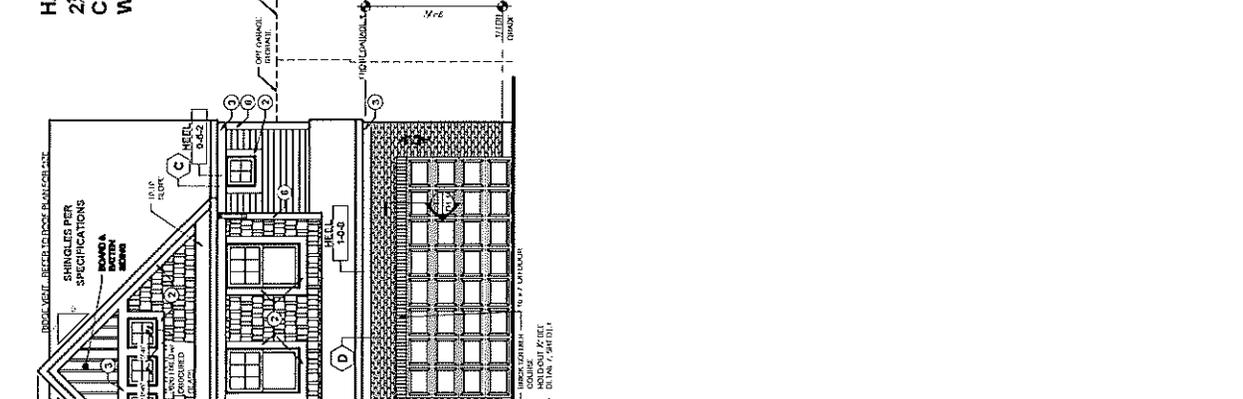
**NOTES:**  
 1. USE 1/2" DRIPPING IS 1/8" O.C. ON PORCH CEILING WHERE TRIM IS USED.  
 2. SEE SHEET 01.0 FOR EAVE DETAILS.  
 3. SEE SHT C1.1 FOR LINTEL SCHEDULE



**OPT 3-CAR GARAGE**



**OPT GARAGE STOR**



**ELEVATION "D"-BRICK FRONT FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

17X17 PRINTS ARE 1/8" SCALE

CLASSIC SERIES

| TYPICAL EXTERIOR TRIM FINISH   |  |
|--|--|
| THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED ONLY AS A GUIDE FOR TRIM SIZE. ALL TRIM NOTED ON THE ELEVATIONS IS TO BE ORDERED FROM THE TRIM SUPPLIER AND MATERIAL FINISH AND MATERIAL. |  |
| 1  | 4" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 2  | 6" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 3  | 8" TRIM (1/4" SHAN, 3/4" VINYL LINEAL) |
| 4  | 10" TRIM                               |
| 5  | 12" TRIM                               |
| 6  | FRONT CORNERS - #71111111111111111111  |
| 7  | REAR CORNERS - #71111111111111111111   |

**NOTES:**  
 1. USE 1/2" DRIPPING IS 1/8" O.C. ON PORCH CEILING WHERE TRIM IS USED.  
 2. SEE SHEET 01.0 FOR EAVE DETAILS.  
 3. SEE SHT C1.1 FOR LINTEL SCHEDULE



**OPT GARAGE STOR OF 3-CAR GARAGE OPT BRICK FRONT**

11X17 PRINTS ARE 1/8" SCALE

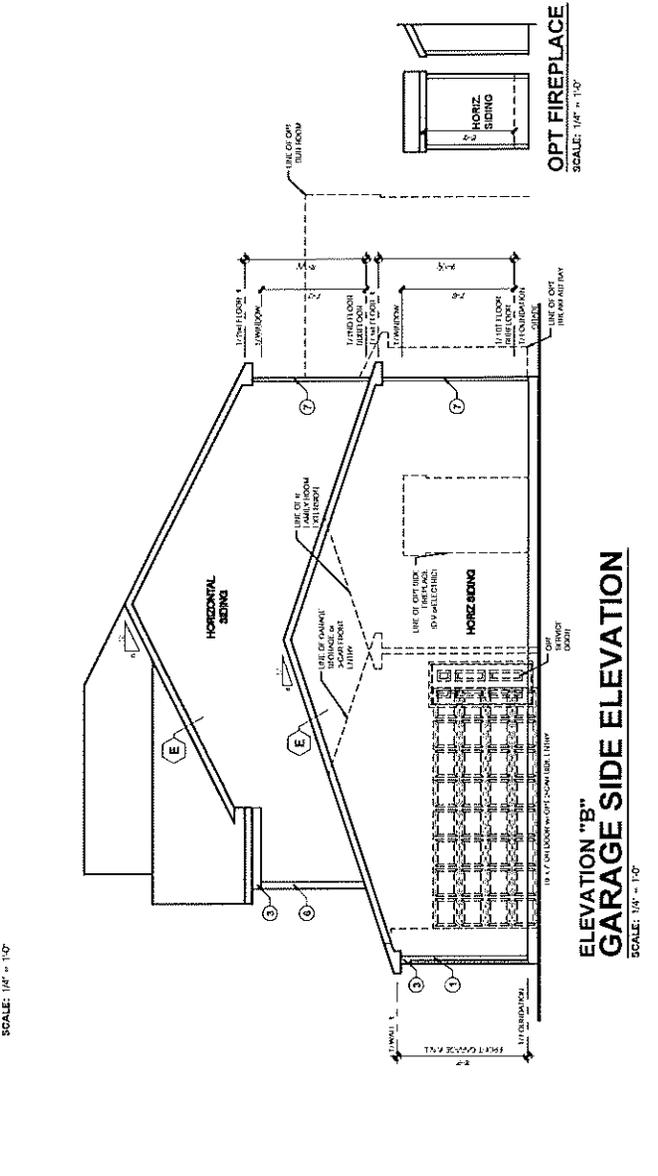
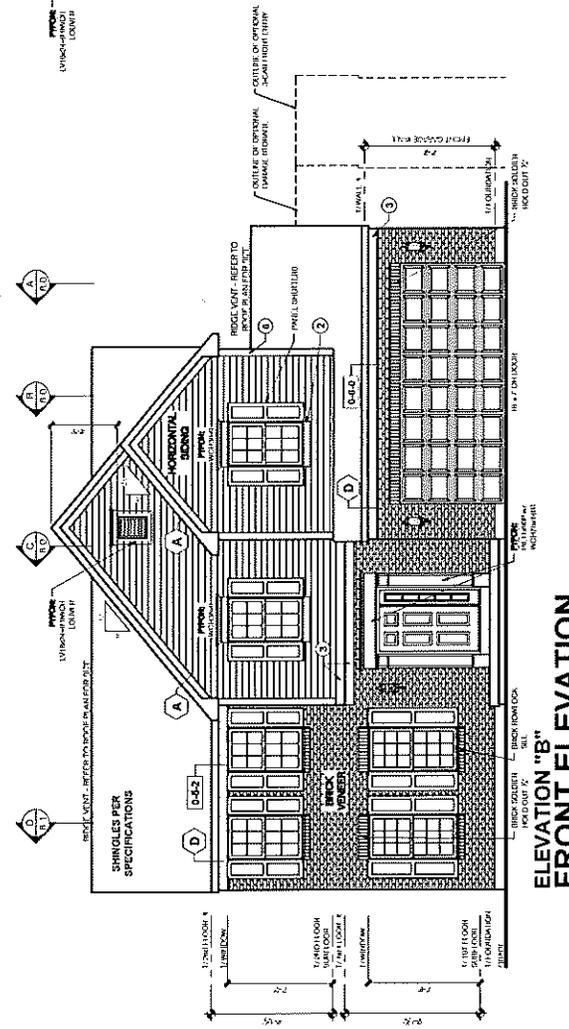
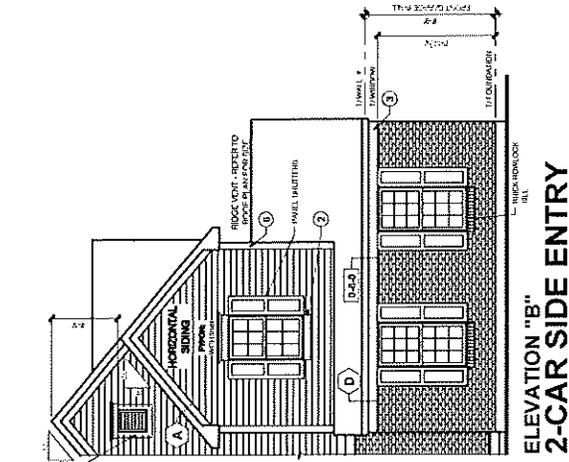
CLASSIC SERIES



- TYPICAL EXTERIOR TRIM FINISH**  
THE TRIMMED OR THE ELEVATIONS IS PROVIDED SOLELY FOR INFORMATION. THE FINISH TO BE USED SHALL BE DETERMINED BY THE ARCHITECT. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.
- 1 = 4" TRIM (1/4" SHIM, 3/4" VINYL LINCOLN)
  - 2 = 6" TRIM (1/4" SHIM, 3/4" VINYL LINCOLN)
  - 3 = 8" TRIM (1/4" SHIM, 7/8" VINYL LINCOLN)
  - 4 = 10" TRIM
  - 5 = 12" TRIM
  - 6 FRONT CORNERS - 4" FRAMING-NON-DESIGNS
  - 7 REAR CORNERS - 4" FRAMING-NON-DESIGNS
- DIVISION NOTE**  
FINISH TO BE USED SHALL BE DETERMINED BY THE ARCHITECT. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL. THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM TYPES, WHETHER PAINTED, VINYL, OR ALUMINUM, ARE SHOWN.
- SEE SHEET D-1.0 FOR EAVE DETAILS

**LINTEL SCHEDULE**

| MAX SPAN | HEIGHT OF VENEER |            | BOARDING |
|----------|------------------|------------|----------|
|          | 18"              | 24"        |          |
| 3'-0"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 3'-6"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 4'-0"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 4'-6"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 5'-0"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 5'-6"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |
| 6'-0"    | 3'-0" x 6"       | 3'-0" x 6" | 6"       |





11x17 PRINTS ARE 1/2 SCALE

|            |            |
|------------|------------|
| Sheet:     | 4.0B       |
| Project:   | Windsor II |
| Client:    | M/I Homes  |
| Architect: | M/I Homes  |
| Engineer:  | M/I Homes  |
| Designer:  | M/I Homes  |
| Checker:   | M/I Homes  |
| Drawn:     | M/I Homes  |
| Revised:   |            |
| Issue:     |            |
| Notes:     |            |

- NOTES:**
1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
  2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

**TYPICAL STUCCO WALL RESIST PER LOCATION:**

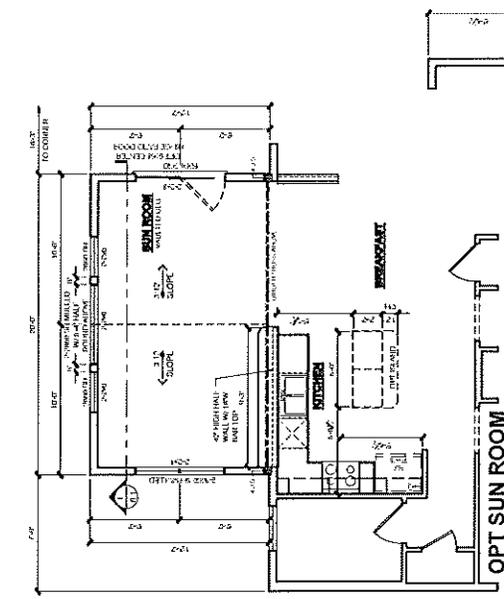
- 1. EXTERIOR WALLS AT CORNERS OR AT 90 DEGREE CORNERS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 2. EXTERIOR WALLS AT OTHER LOCATIONS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 3. INTERIOR WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 4. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 5. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 6. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 7. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 8. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 9. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.
- 10. ALL WALLS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.

**WINDOW/DOOR FRAMING NOTE:**

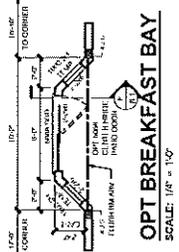
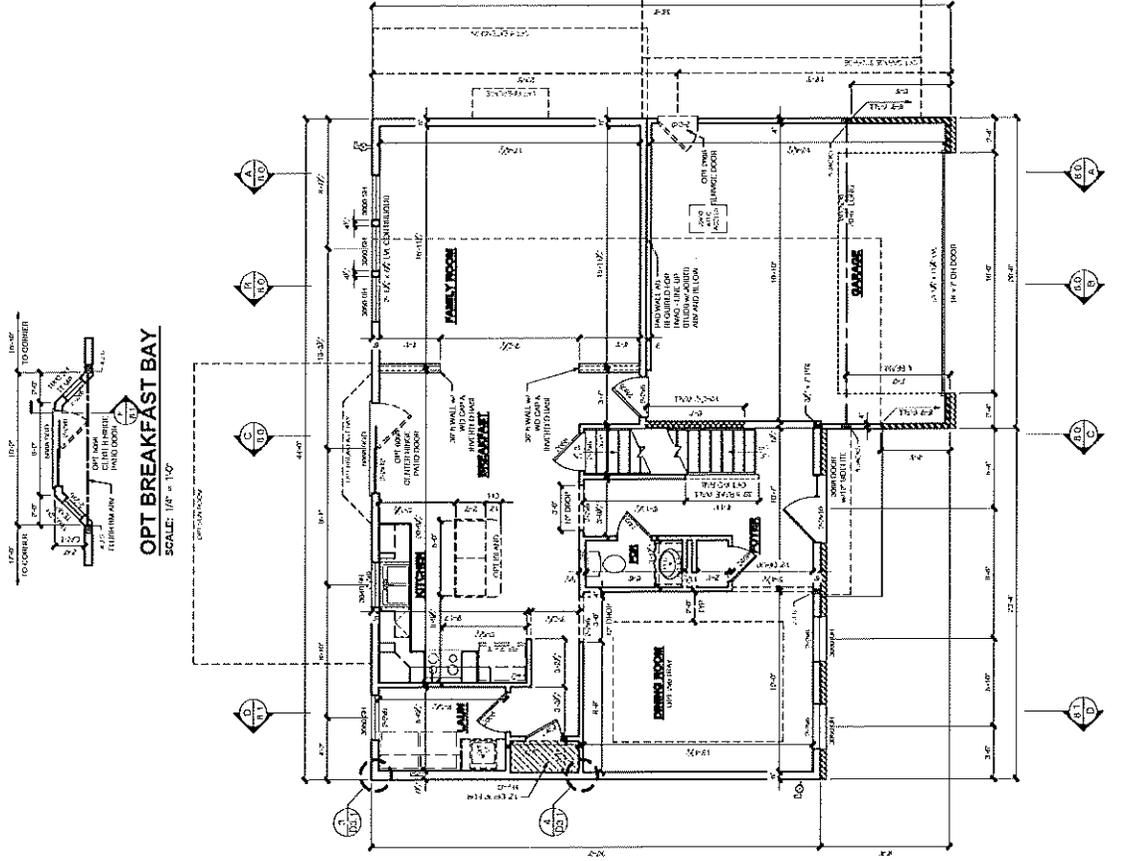
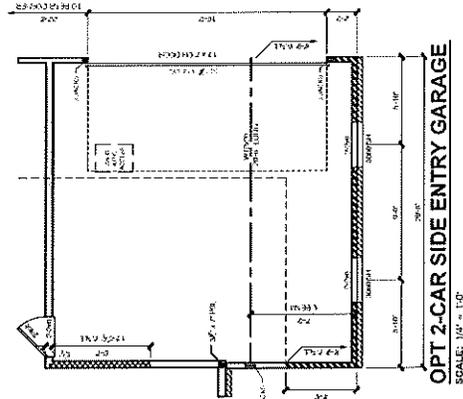
WINDOW AND DOOR FRAMING SHALL BE CONSIDERED AS PER SECTION 050500-2.1 AND FRAMING SHALL BE CONSIDERED AS PER SECTION 050500-2.1. SEE SHEET D6.0 FOR ROUGH OPENING SIZES.

**GLASS INSTALLATION NOTE:**

GLASS SHALL BE INSTALLED AS PER SECTION 050500-2.1 AND GLASS SHALL BE CONSIDERED AS PER SECTION 050500-2.1.



**OPT FIREPLACE**  
SCALE: 1/8" = 1'-0"



**ELEVATION "B" FRAMING PLAN FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

1/4" = 1'-0" PRINTS ARE 1/2" SCALE

**CLASSIC SERIES**

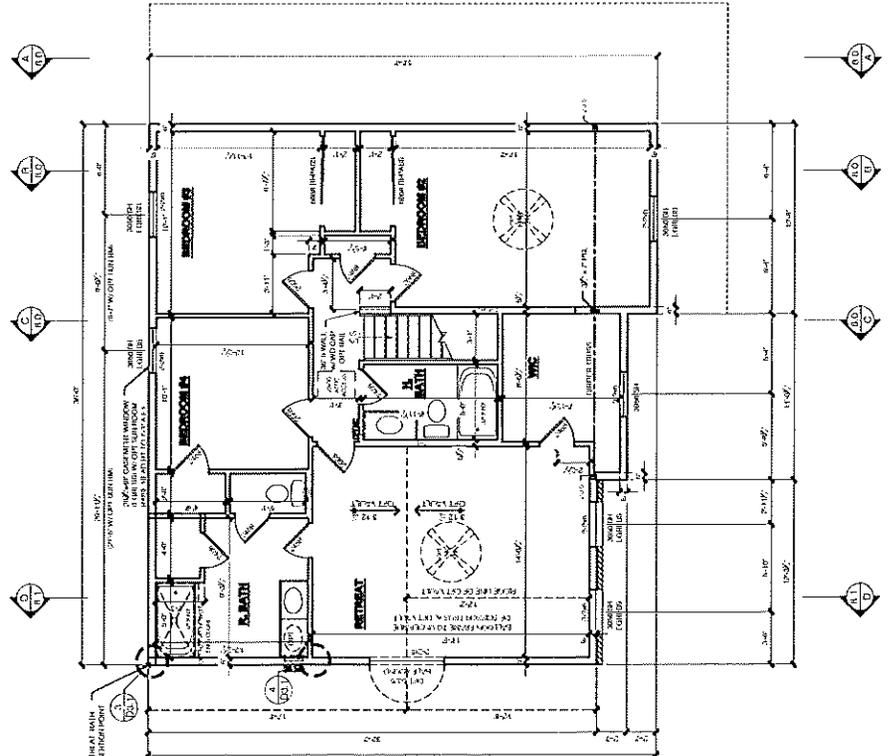
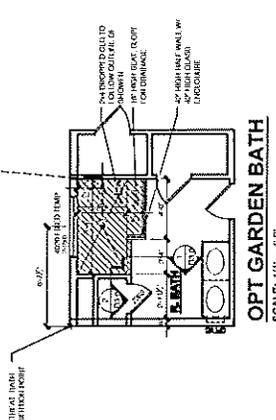
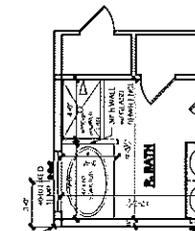
**NOTE:**

- 1. DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 2. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 3. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 4. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 5. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 6. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 7. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 8. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 9. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 10. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 11. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 12. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 13. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 14. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 15. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 16. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 17. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 18. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 19. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.
- 20. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.

**TYPICAL STUDD WALL ROZES PER LOCATION:**

- 1. EXTERIOR WALL TO INTERIOR WALL: 2x6 @ 16" OC
- 2. INTERIOR WALL TO INTERIOR WALL: 2x4 @ 16" OC
- 3. EXTERIOR WALL TO EXTERIOR WALL: 2x6 @ 16" OC
- 4. INTERIOR WALL TO EXTERIOR WALL: 2x4 @ 16" OC
- 5. INTERIOR WALL TO INTERIOR WALL: 2x4 @ 16" OC
- 6. EXTERIOR WALL TO INTERIOR WALL: 2x6 @ 16" OC
- 7. INTERIOR WALL TO EXTERIOR WALL: 2x4 @ 16" OC
- 8. EXTERIOR WALL TO EXTERIOR WALL: 2x6 @ 16" OC
- 9. INTERIOR WALL TO INTERIOR WALL: 2x4 @ 16" OC
- 10. EXTERIOR WALL TO INTERIOR WALL: 2x6 @ 16" OC
- 11. INTERIOR WALL TO EXTERIOR WALL: 2x4 @ 16" OC
- 12. EXTERIOR WALL TO EXTERIOR WALL: 2x6 @ 16" OC
- 13. INTERIOR WALL TO INTERIOR WALL: 2x4 @ 16" OC
- 14. EXTERIOR WALL TO INTERIOR WALL: 2x6 @ 16" OC
- 15. INTERIOR WALL TO EXTERIOR WALL: 2x4 @ 16" OC
- 16. EXTERIOR WALL TO EXTERIOR WALL: 2x6 @ 16" OC
- 17. INTERIOR WALL TO INTERIOR WALL: 2x4 @ 16" OC
- 18. EXTERIOR WALL TO INTERIOR WALL: 2x6 @ 16" OC
- 19. INTERIOR WALL TO EXTERIOR WALL: 2x4 @ 16" OC
- 20. EXTERIOR WALL TO EXTERIOR WALL: 2x6 @ 16" OC

**WINDOW/DOOR FRAMING NOTE:**  
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (2) KING STUD EA. SIDE UNCL. SEE DETAIL 2 SHEET D3.1 SEE SHEET D6.0 FOR ROUGH OPENING SIZES



**ELEVATION "B" FRAMING PLAN SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

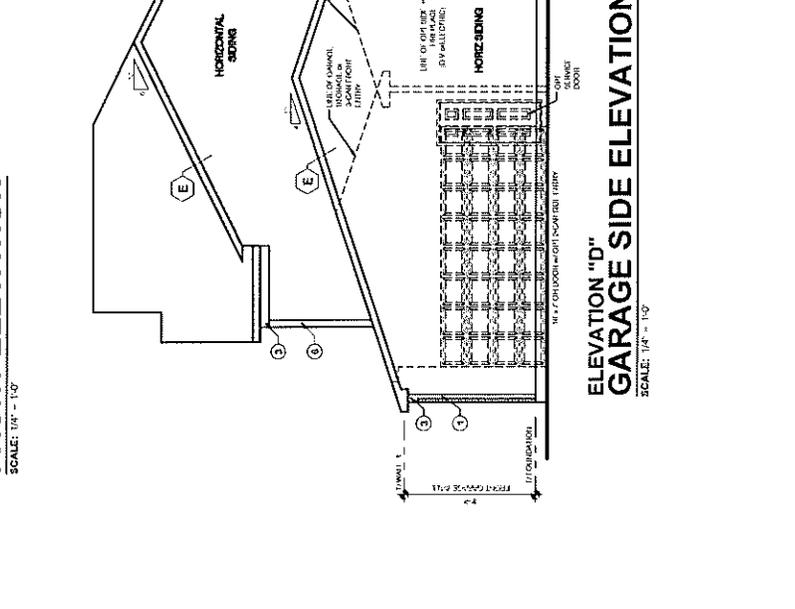
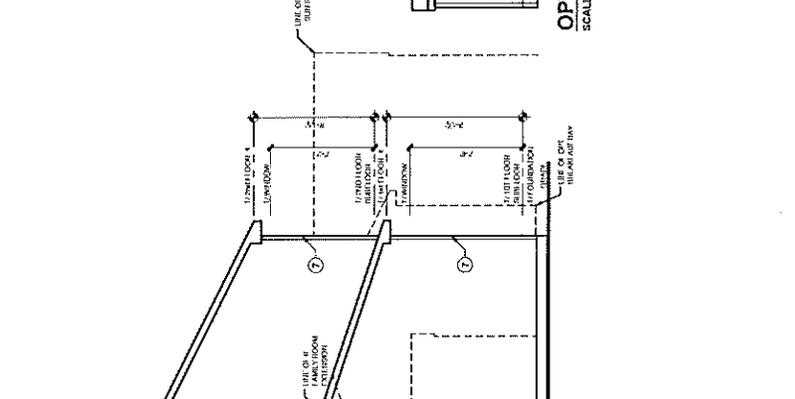
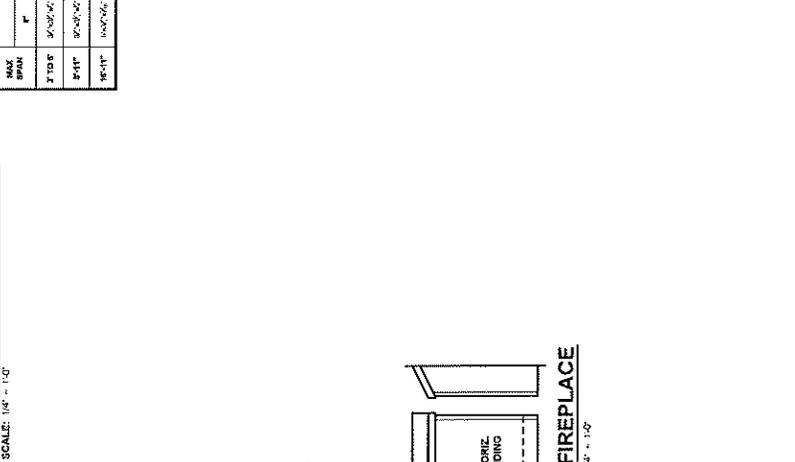
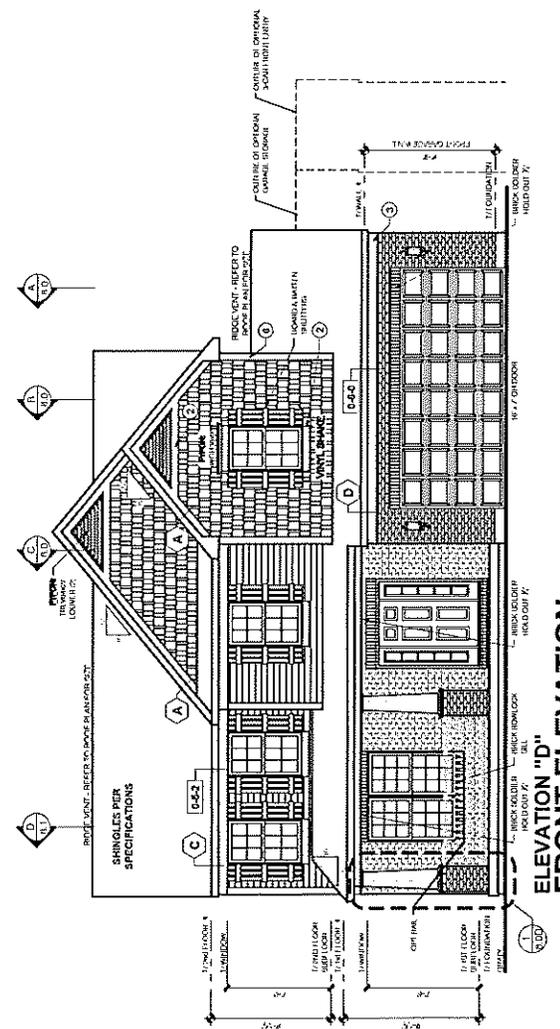
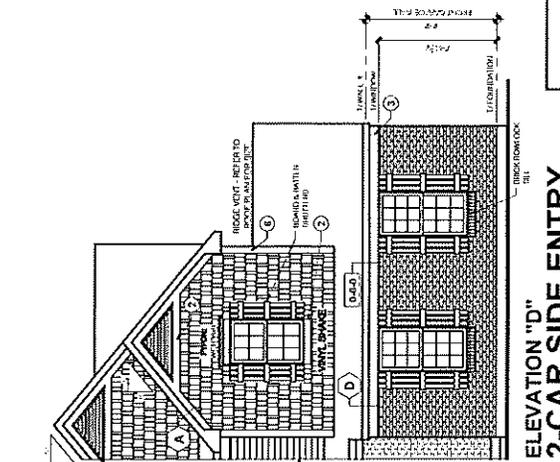




- TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM TYPES. ALL TRIM NOTED ON THE ELEVATIONS IS TO BE INSTALLED WITH THE FINISH AND MATERIAL.
- 1 = 4" TRIM (1/4" SHAB, 3/4" W/AL LINEN)
  - 2 = 6" TRIM (1/4" SHAB, 3/4" W/AL LINEN)
  - 3 = 8" TRIM (1/4" SHAB, 7/8" W/AL LINEN)
  - 4 = 10" TRIM
  - 5 = FRONT CORNERS - 3/4" W/AL LINEN - 3/4" BEVEL
  - 6 = REAR CORNERS - 3/4" W/AL LINEN - 3/4" BEVEL
- DIVISION NOTE:**  
 IT IS THE RESPONSIBILITY OF EACH DIVISION TO VERIFY THE TRIM TYPES, FINISHES, AND MATERIALS TO BE USED ON THE PROJECT. THE DIVISIONS SHALL BE RESPONSIBLE FOR THE CORRECT INSTALLATION OF THE TRIM AND MATERIALS.
- SEE SHEET D1.0 FOR GAVE DETAILS

**LINTEL SCHEDULE**

| MAX SPAN | HEIGHT OF VENEER | BEARING |
|----------|------------------|---------|
| 8'-0"    | 8'-0"            | 8"      |
| 10'-0"   | 8'-0"            | 8"      |
| 12'-0"   | 8'-0"            | 8"      |
| 14'-0"   | 8'-0"            | 8"      |
| 16'-0"   | 8'-0"            | 8"      |
| 18'-0"   | 8'-0"            | 8"      |
| 20'-0"   | 8'-0"            | 8"      |
| 22'-0"   | 8'-0"            | 8"      |
| 24'-0"   | 8'-0"            | 8"      |
| 26'-0"   | 8'-0"            | 8"      |
| 28'-0"   | 8'-0"            | 8"      |
| 30'-0"   | 8'-0"            | 8"      |







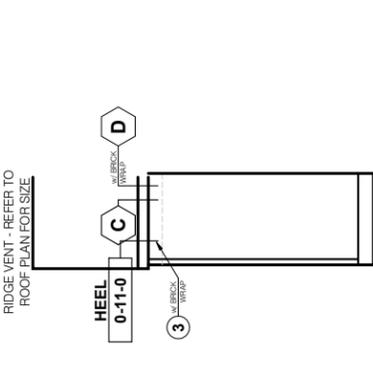
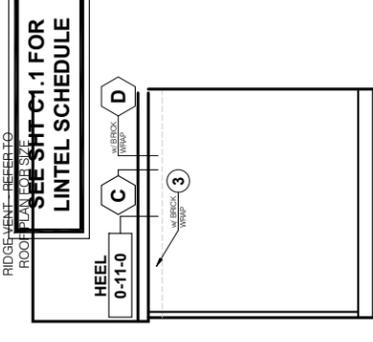
11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

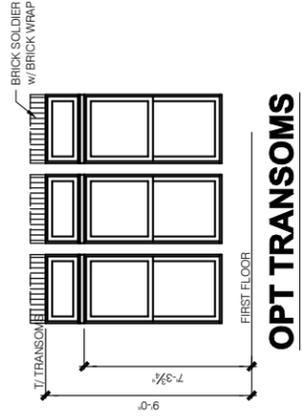
**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

|   |  |                                 |
|---|--|---------------------------------|
| 1 | = 4" TRIM  | (1x4, 5/8x4, 3/2" VINYL LINEAL) |
| 2 | = 6" TRIM  | (1x6, 5/8x6, 5" VINYL LINEAL)   |
| 3 | = 8" TRIM  | (1x8, 5/8x8, 7" VINYL LINEAL)   |
| 4 | = 10" TRIM                                       |                                 |
| 5 | = 12" TRIM                                       |                                 |
| 6 | FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS |                                 |
| 7 | REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS  |                                 |

**NOTES:**  
 1. USE 1x4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

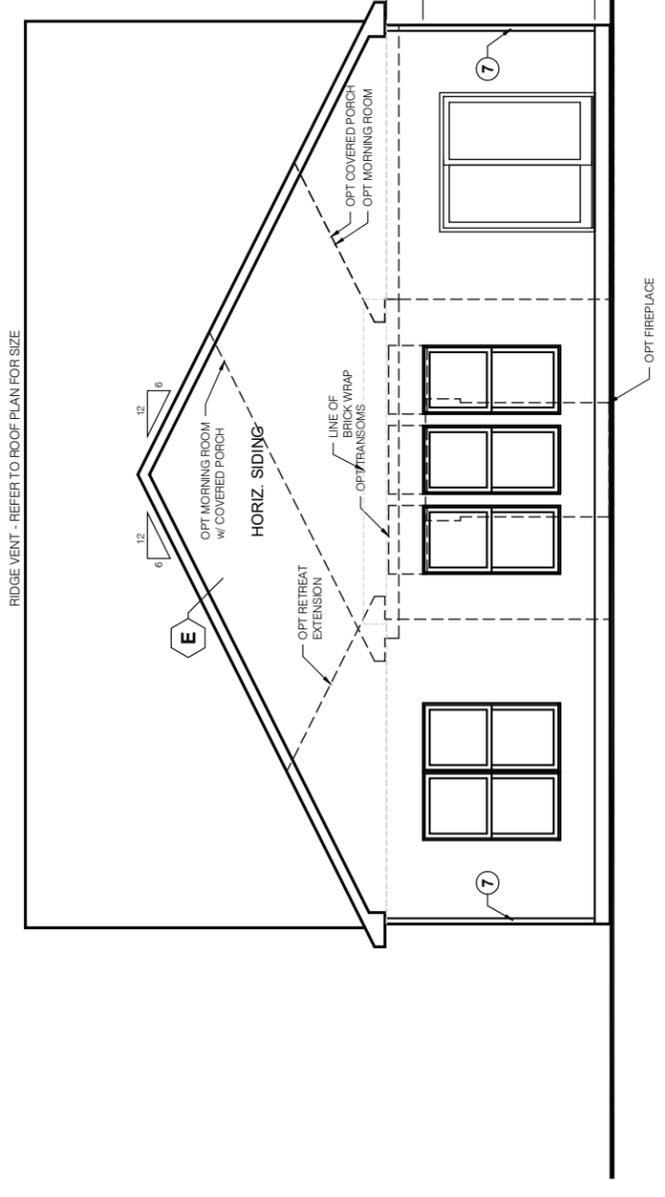


**GARAGE STORAGE 3-CAR FRONT ENTRY**

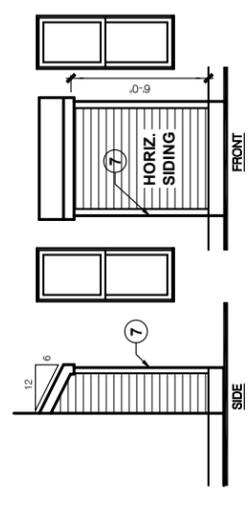


**OPT TRANSOMS**

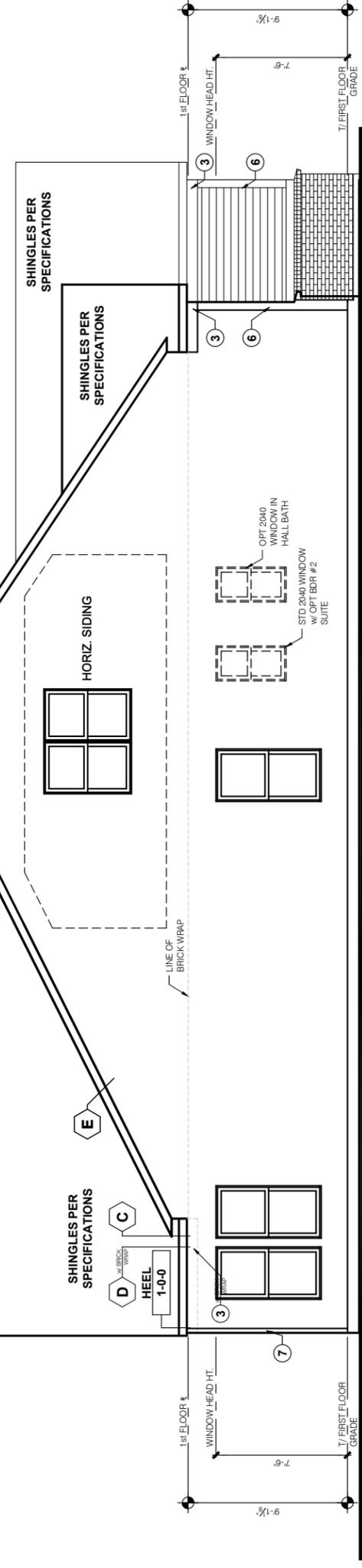
**ELEVATION "A"  
 REAR ELEVATION w/ 2nd FLOOR**  
 SCALE: 1/4" = 1'-0"



**OPT FIREPLACE w/ TRANSOMS**

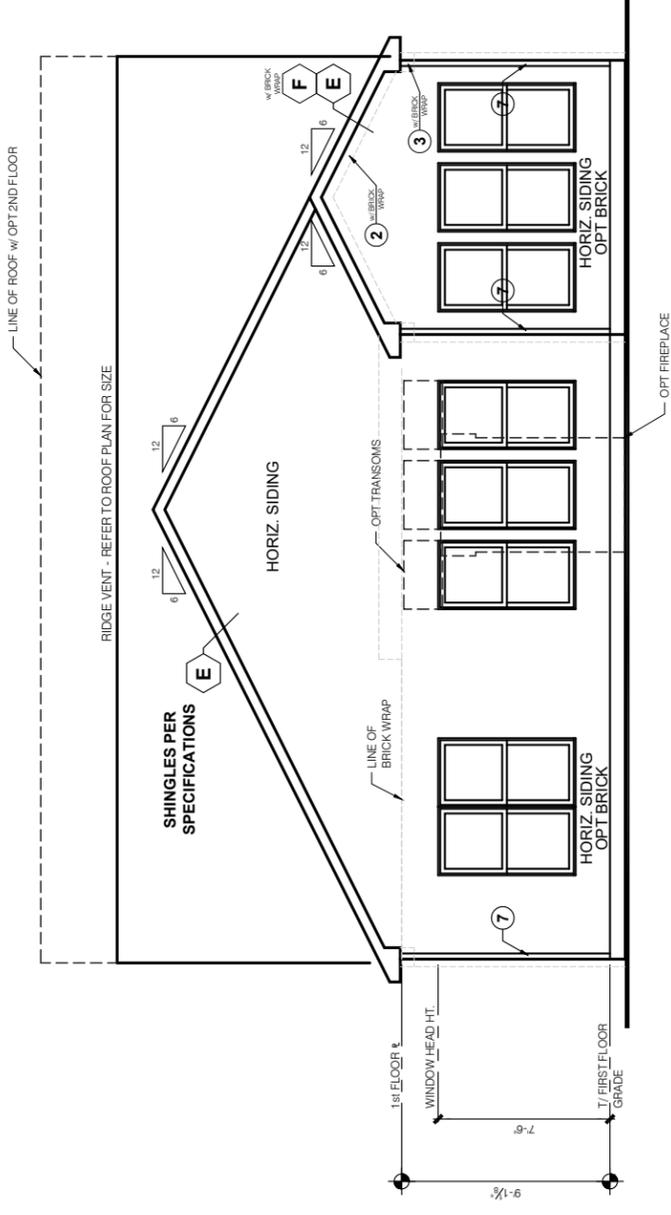


**OPT FIREPLACE**



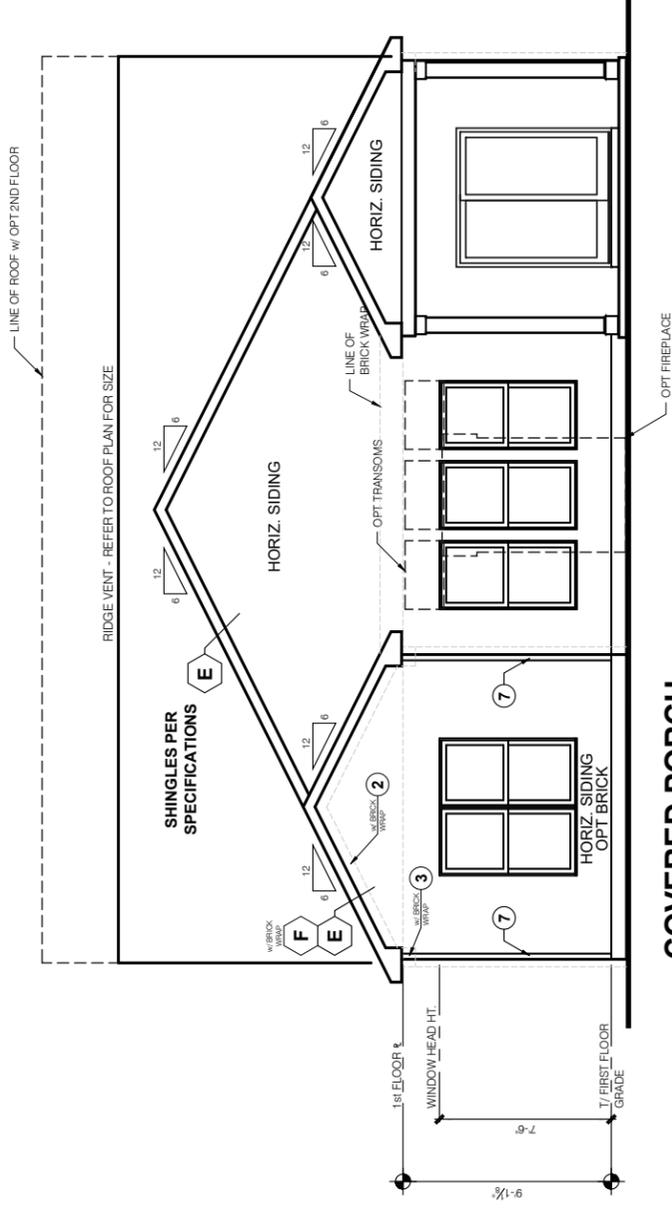
**ELEVATION "A" - BRICK WAINSCOT  
 SIDE ELEVATION w/ 2nd FLOOR**  
 SCALE: 1/4" = 1'-0"

• STANDARD REAR - NO OPTIONS



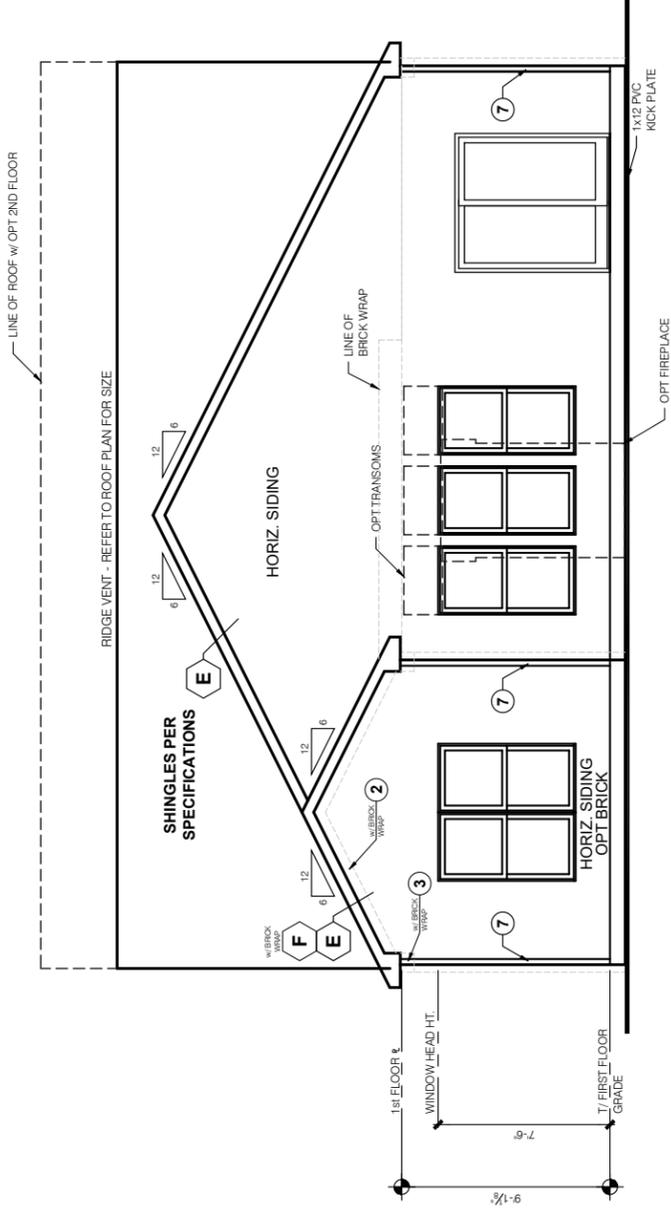
**MORNING ROOM  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



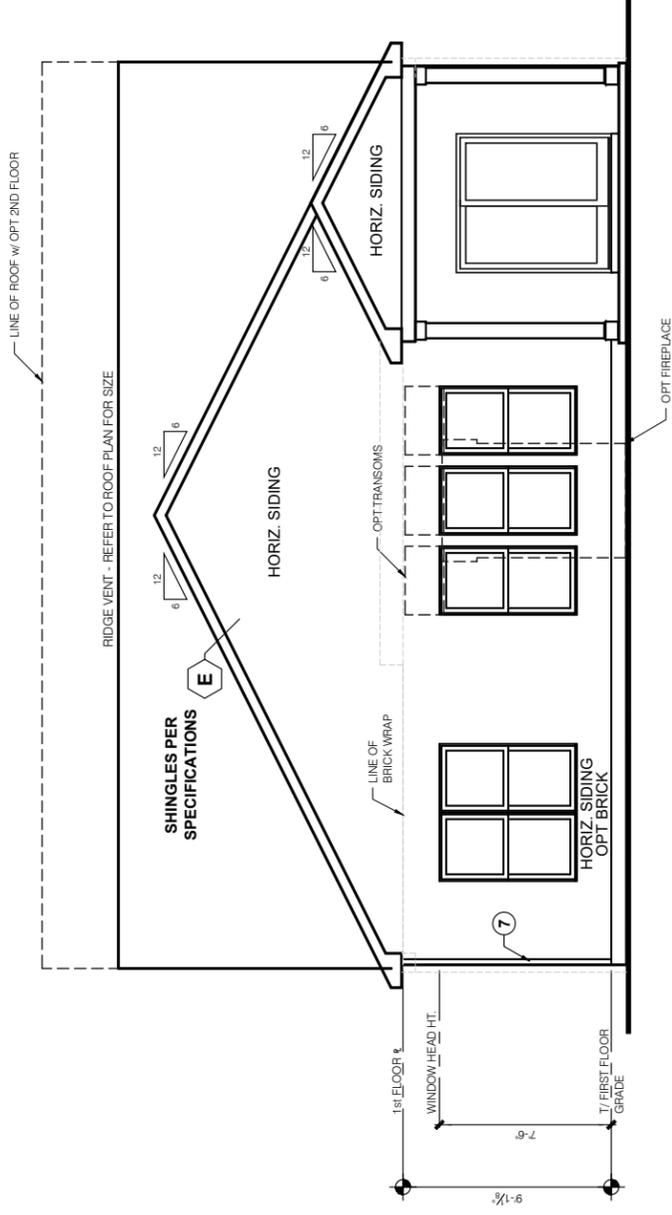
**COVERED PORCH  
 RETREAT EXTENSION  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



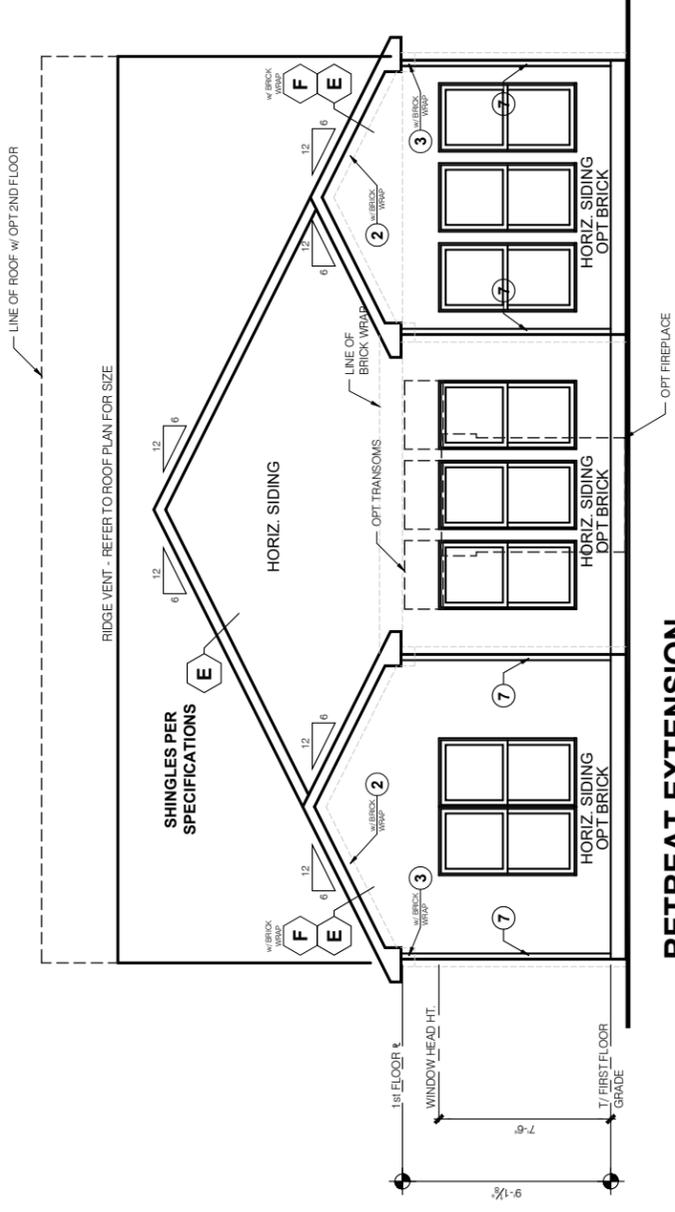
**RETREAT EXTENSION  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



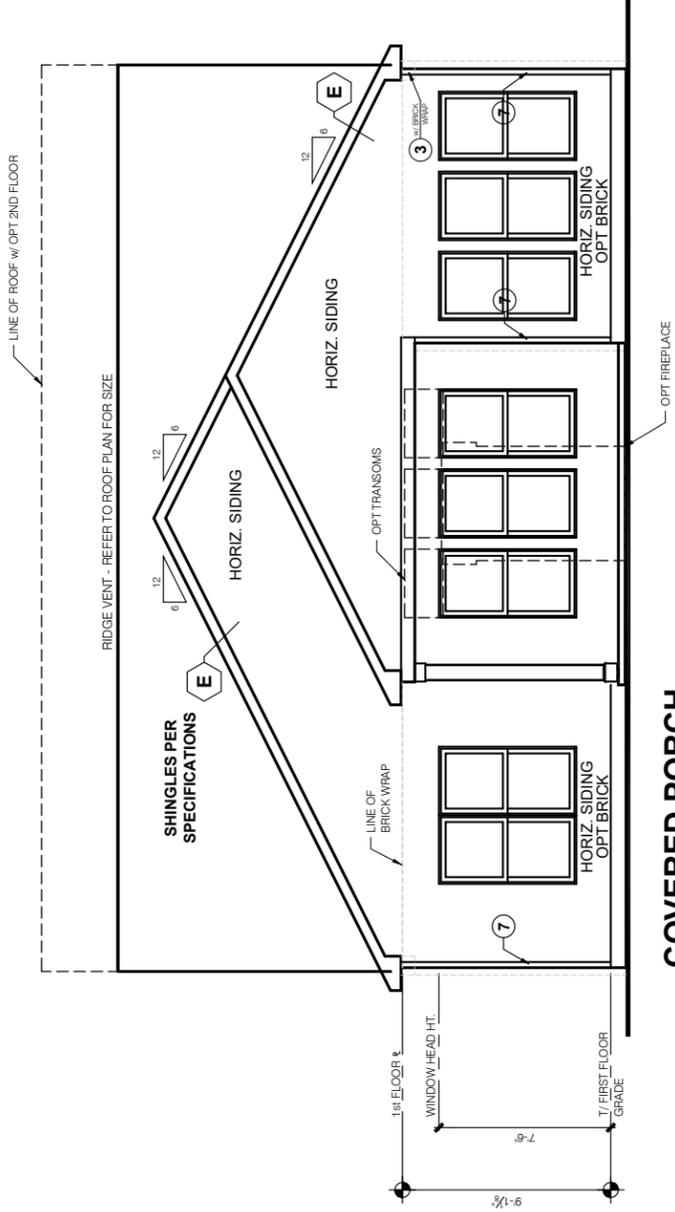
**COVERED PORCH  
 RETREAT EXTENSION  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



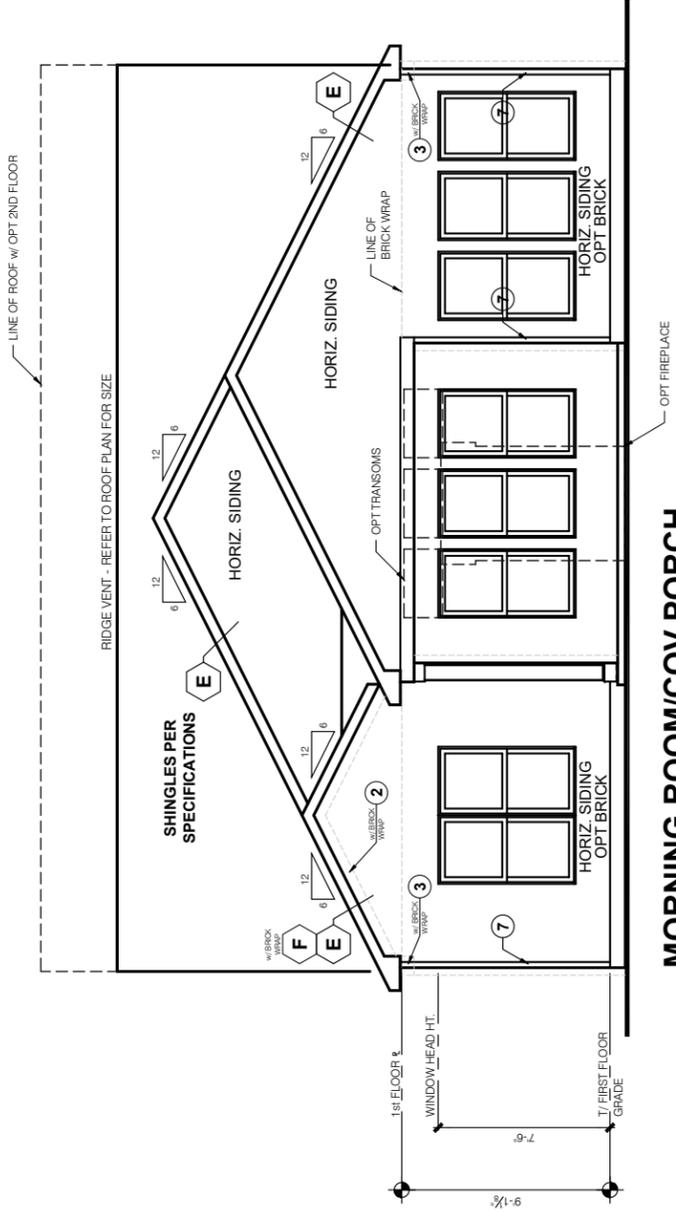
**RETREAT EXTENSION  
 MORNING ROOM  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**COVERED PORCH  
 MORNING ROOM  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**MORNING ROOM/COV PORCH  
 RETREAT EXTENSION  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"















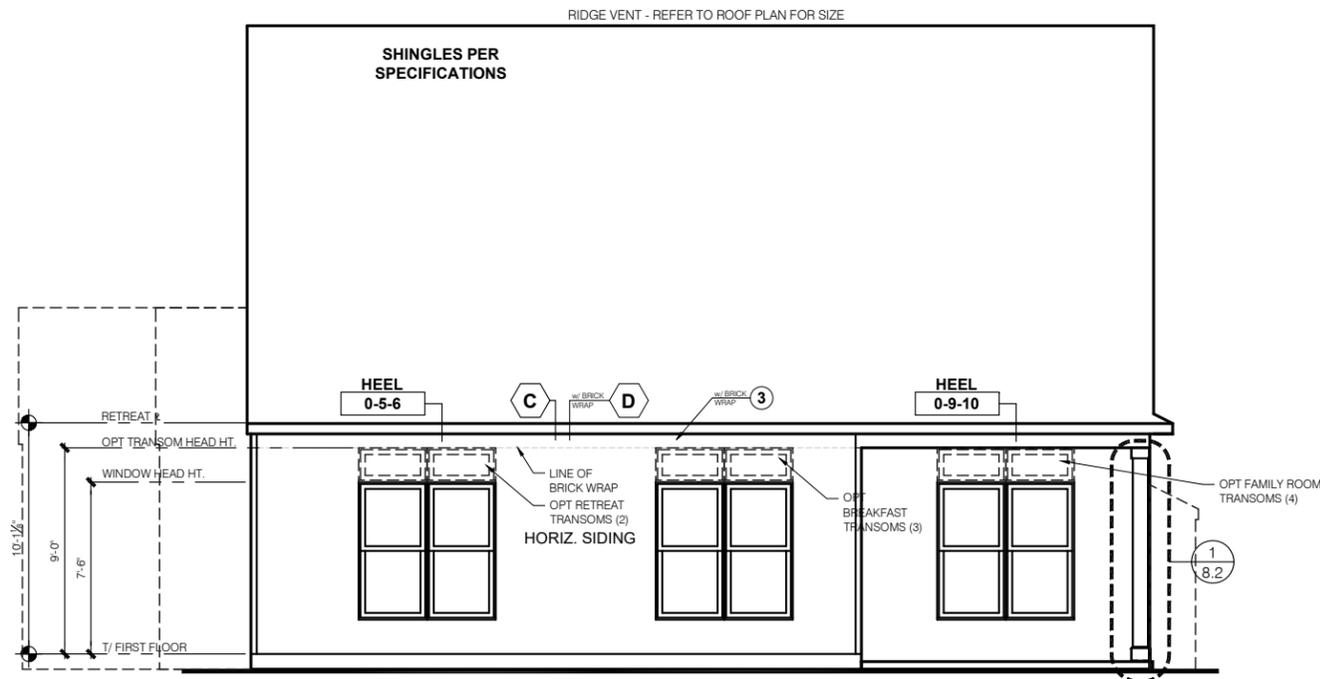






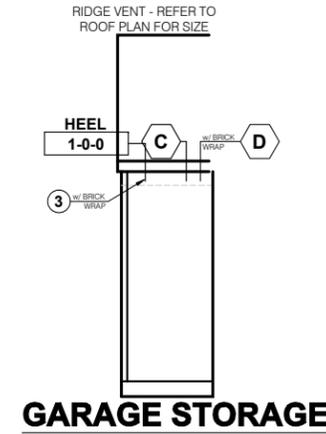




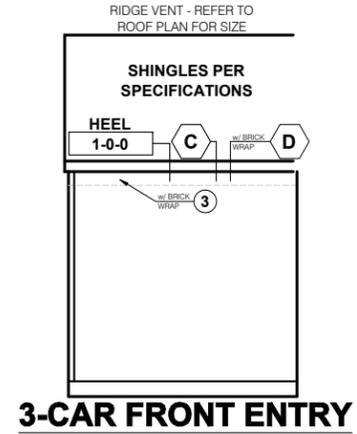


**ELEVATION "A"  
REAR ELEVATION**

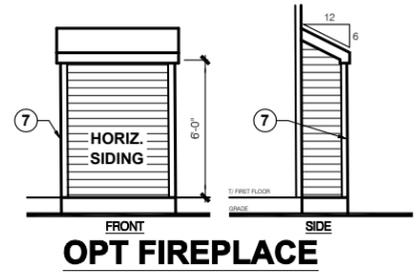
SCALE: 1/4" = 1'-0"



**GARAGE STORAGE**



**3-CAR FRONT ENTRY**

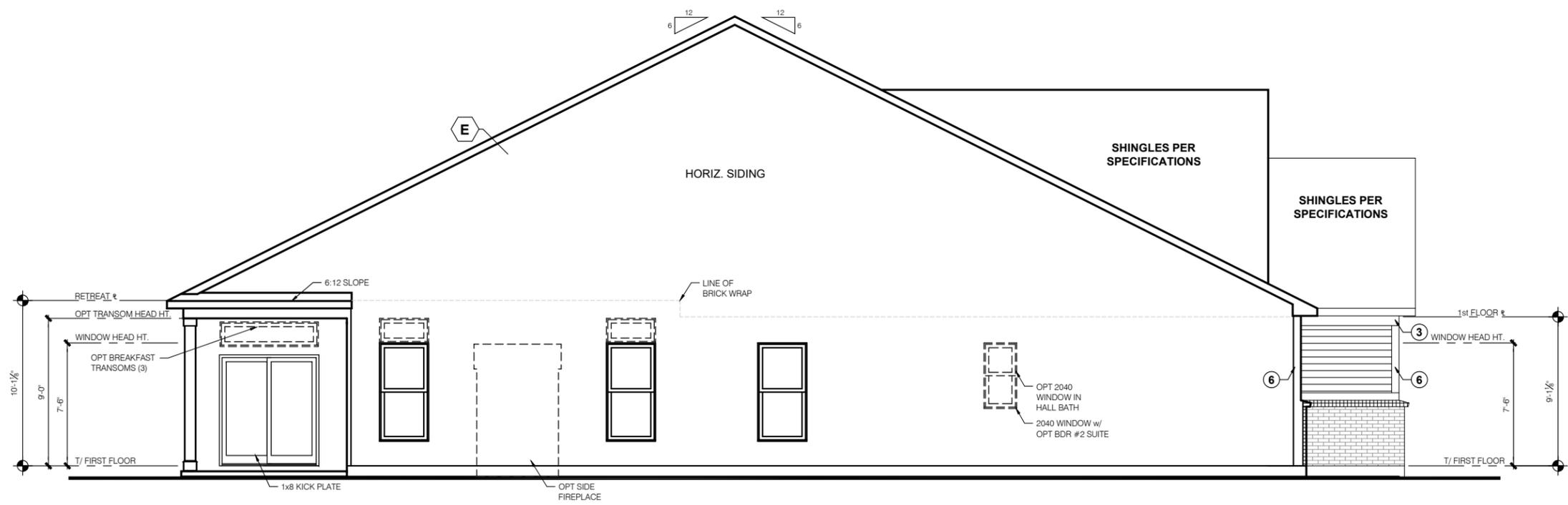


**OPT FIREPLACE**

| TYPICAL EXTERIOR TRIM FINISH   |  |
|--|--|
| THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL. |  |
| ①  | = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)      |
| ②  | = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)          |
| ③  | = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)          |
| ④  | = 10" TRIM                                       |
| ⑤  | = 12" TRIM                                       |
| ⑥  | FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS |
| ⑦  | REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS  |

NOTES:  
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED

SEE SHT C1.1 FOR LINTEL SCHEDULE



**ELEVATION "A" - BRICK WAINSCOT  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CLASSIC SERIES

  
 Issued Date: 2-1-24  
 BASE PLAN REVISION:  
 ① 7-1-24  
 ② ---  
 ③ ---  
 ④ ---  
 M/I Homes  
 Cincinnati Division  
 9349 Waterstone Blvd  
 Cincinnati, OH 45249  
 Ph 513.248.5400  
  
**M/I HOMES**

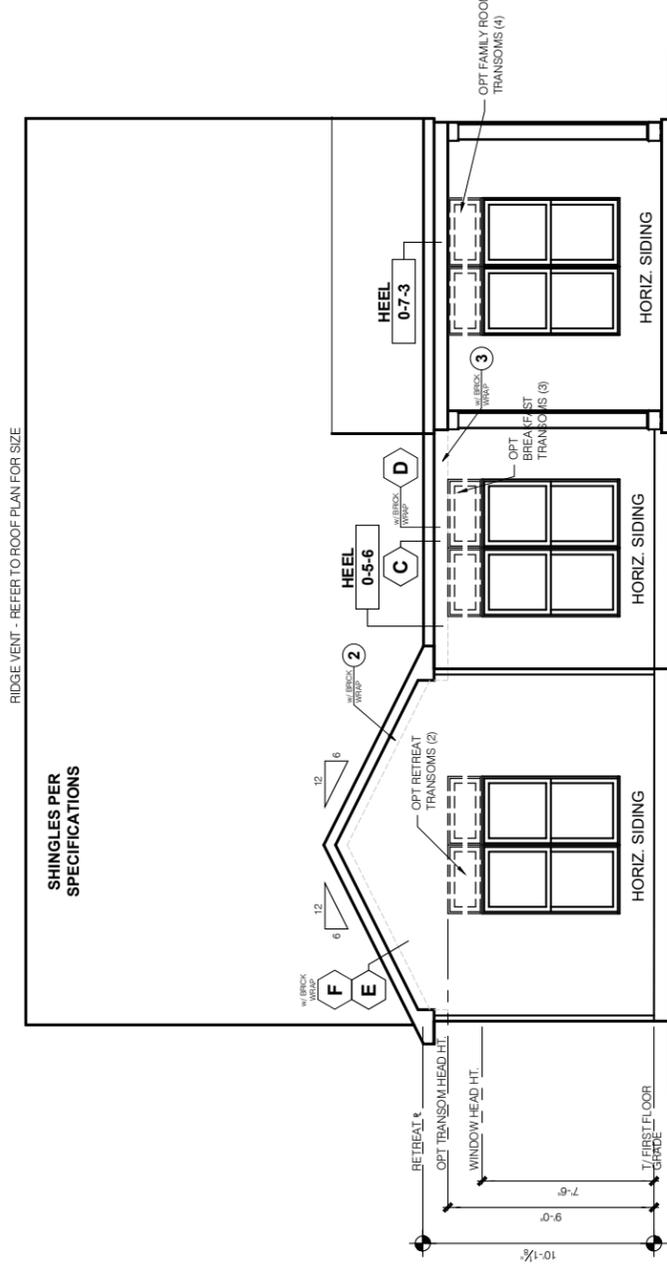
11x17 PRINTS ARE 1/2" SCALE

**Wallace**  
 BID SET / REVIEW  
 7-1-24

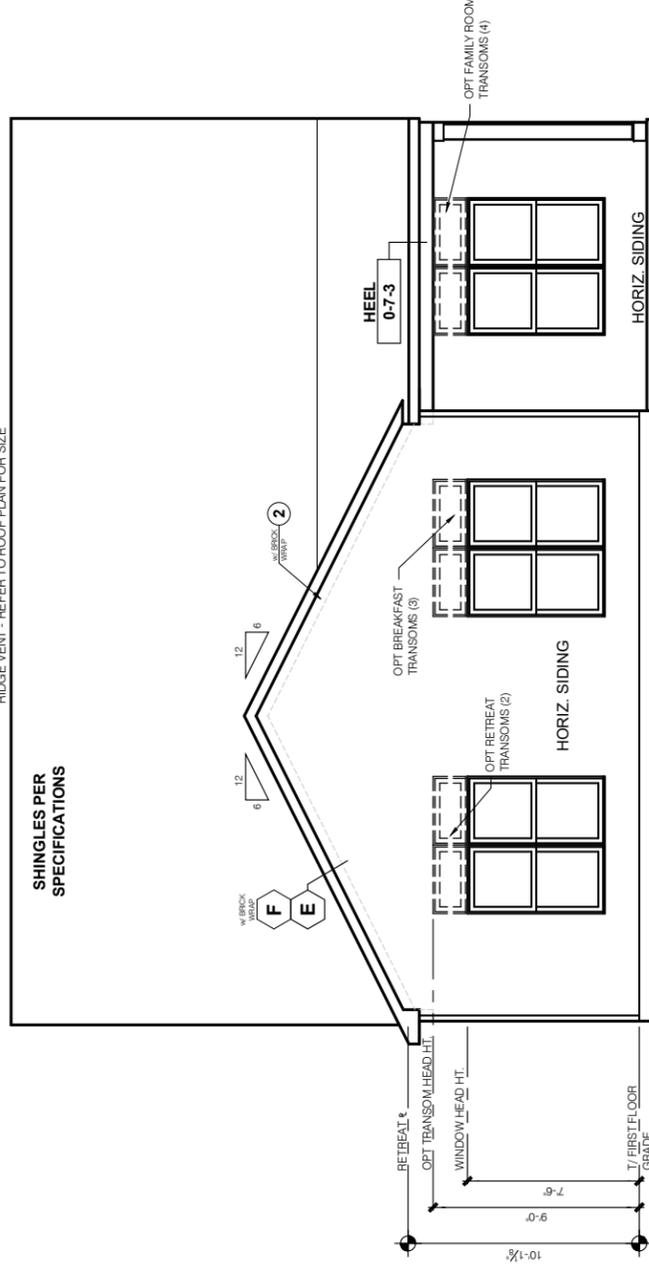
|              |                             |
|--------------|-----------------------------|
| Job #:       | ###                         |
| LSP Date:    | x/x/xx                      |
| LSP By:      | BY                          |
| LSP Rev:     | ---                         |
| Sheet Title: | Rear and Side Elevations -2 |
| Sheet:       | 1.1A                        |

CLASSIC SERIES

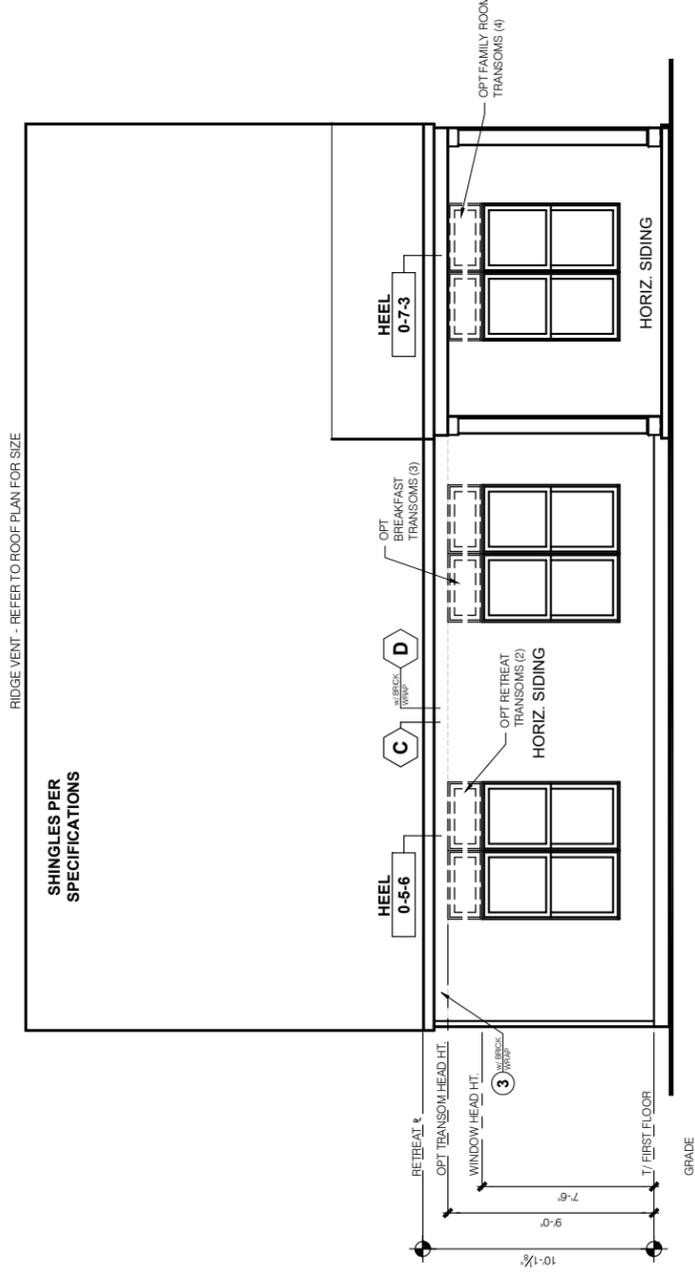
11x17 PRINTS ARE 1/2 SCALE



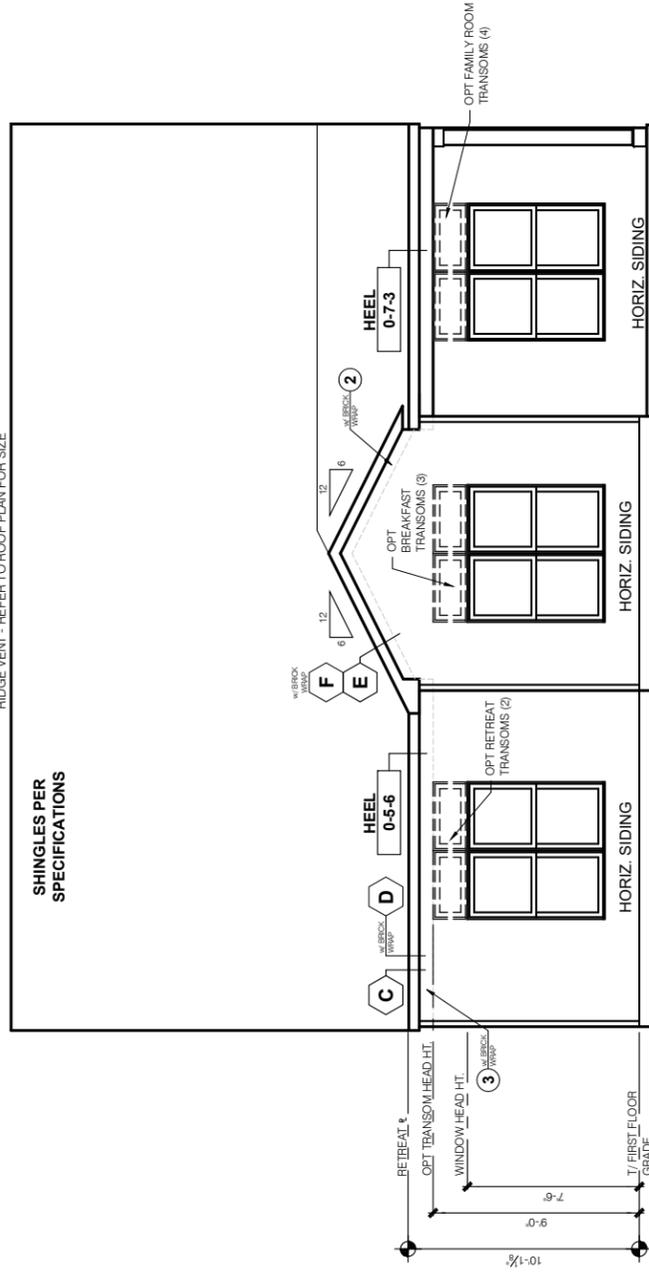
4' PORCH EXTENSION  
 4' RETREAT EXTENSION  
**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



4' PORCH EXTENSION  
 4' BREAKFAST EXTENSION - 4' PORCH EXTENSION  
**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



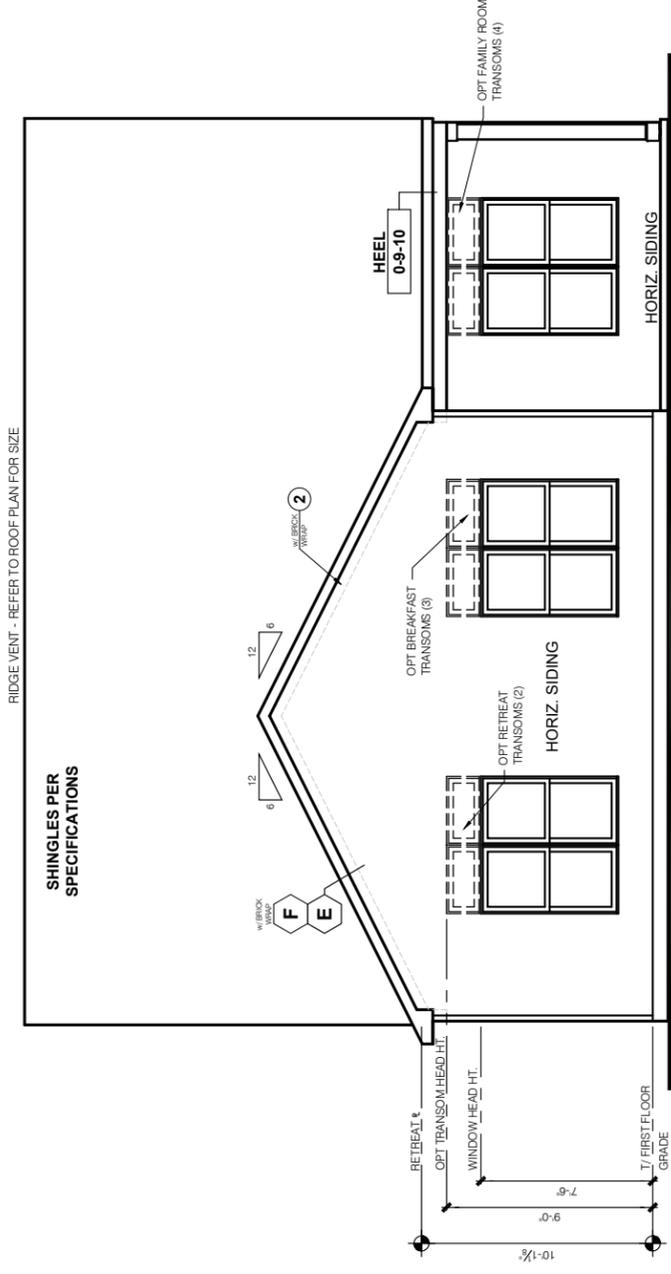
4' PORCH EXTENSION  
 4' RETREAT EXTENSION  
**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



4' PORCH EXTENSION  
 4' BREAKFAST EXTENSION  
**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

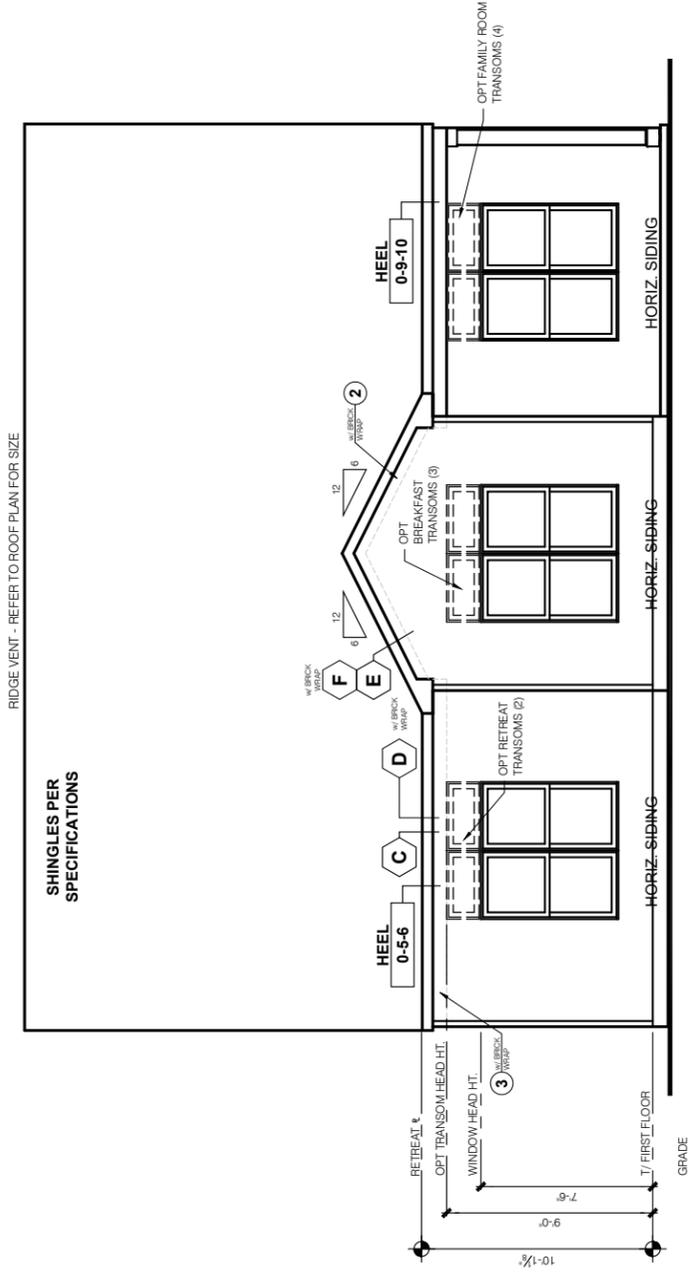
11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES



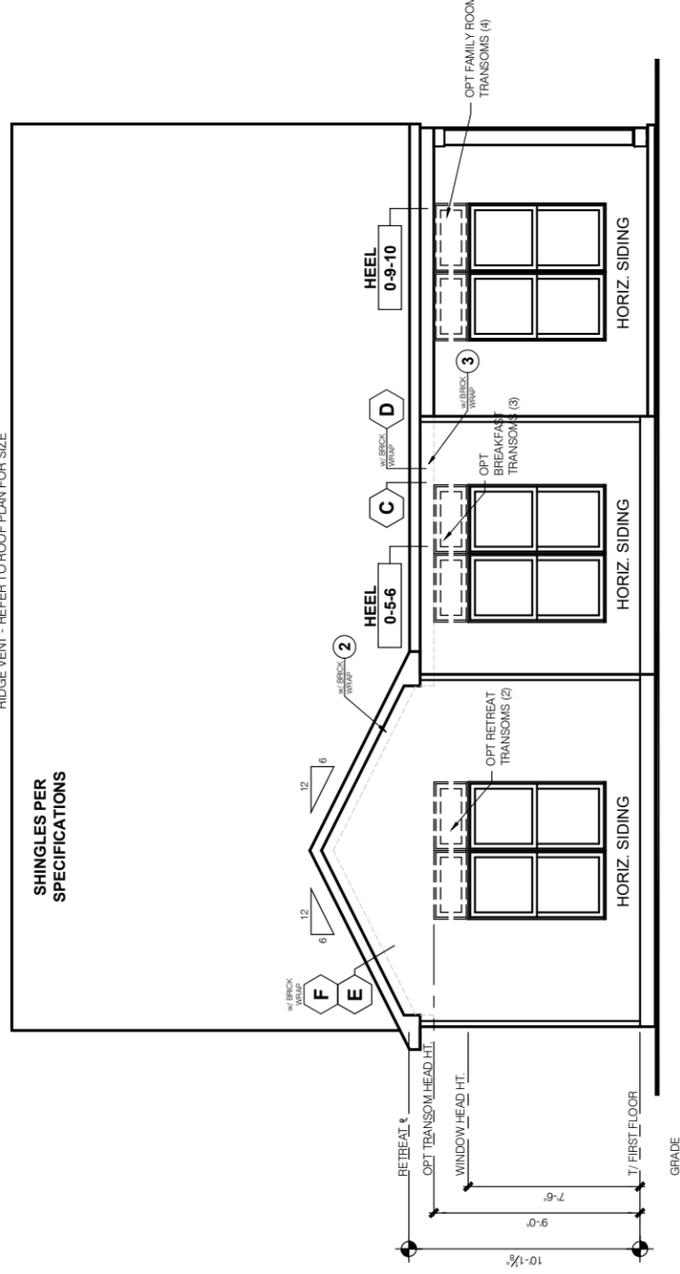
**4' RETREAT EXTENSION  
 4' BREAKFAST EXTENSION  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



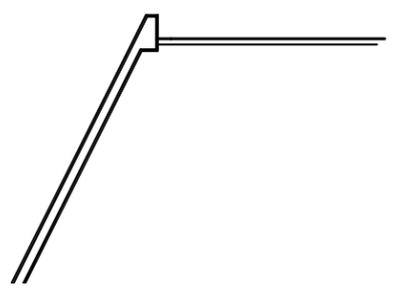
**4' BREAKFAST EXTENSION/MORNING ROOM  
 REAR ELEVATION**

SCALE: 1/4" = 1'-0"

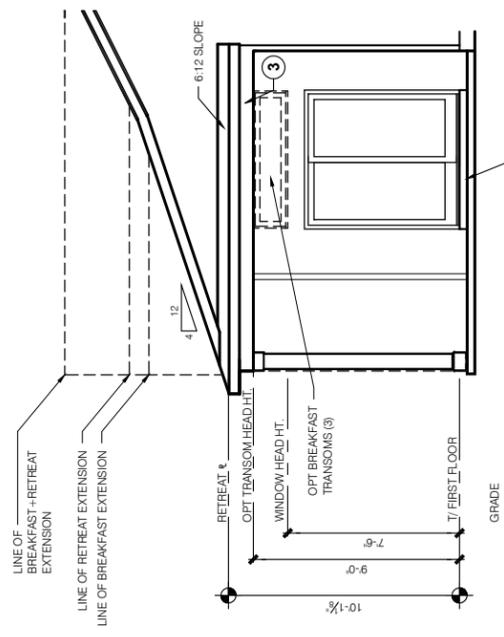


**4' RETREAT EXTENSION  
 REAR ELEVATION**

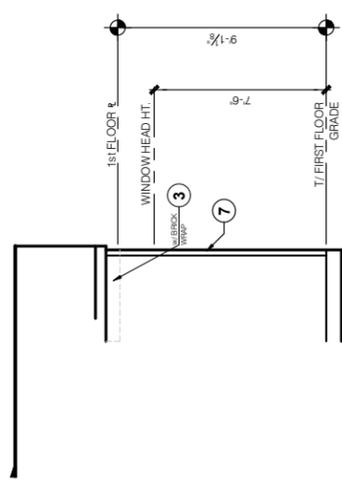
SCALE: 1/4" = 1'-0"



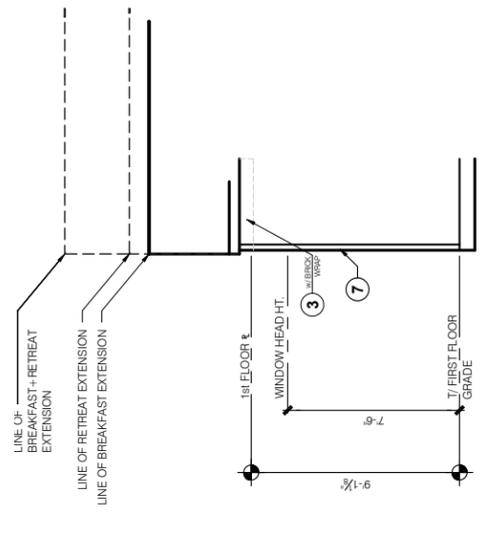
**PORCH EXTENSION GARAGE SIDE ELEV**  
 SCALE: 1/4" = 1'-0"



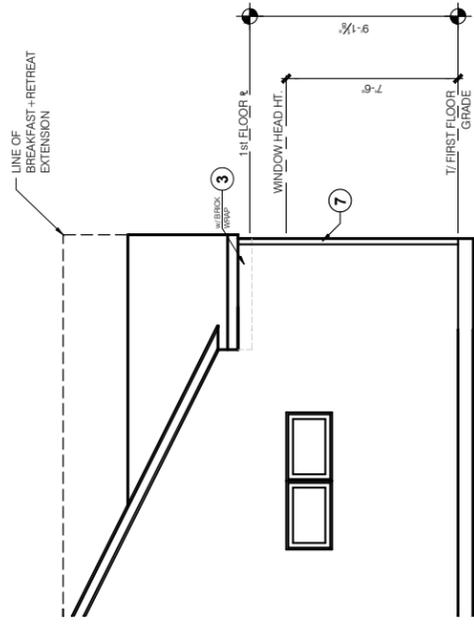
**PORCH EXTENSION SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**BREAKFAST EXTENSION GARAGE SIDE ELEV**  
 SCALE: 1/4" = 1'-0"



**BREAKFAST of RETREAT EXTENSION SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RETREAT EXTENSION GARAGE SIDE ELEV**  
 SCALE: 1/4" = 1'-0"

# REAR OPTIONS - SIDE ELEVATIONS



























# **Preliminary Review, Thaler Machine Addition/new parking lot**

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN    REVISION TO APPROVED SITE PLAN    CONCEPT PLAN    PRELIMINARY SUBDIVISION    RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner  
 Agent  
 Lessee  
 Signed Purchase Contract

**APPLICANT NAME:** Ferguson Construction  
**Address** 400 Canal St  
Sidney, OH 45365  
**Telephone No.** ( 937 ) 449-2381  
**Fax No.** (        )                       
**Email Address** smeyer@ferguson-construction.com

**PROPERTY OWNER NAME (IF OTHER):** TFT Springboro OH LLC

**Address:** 21b Tahlequah Trail  
Springboro, OH 45066

**Telephone No.** ( 937 ) 550-2400

**Property Address or General Location:** 21b Tahlequah Trail Springboro, OH 45066

**Parcel Number(s):** 04204020232      **Zoning District:** ED

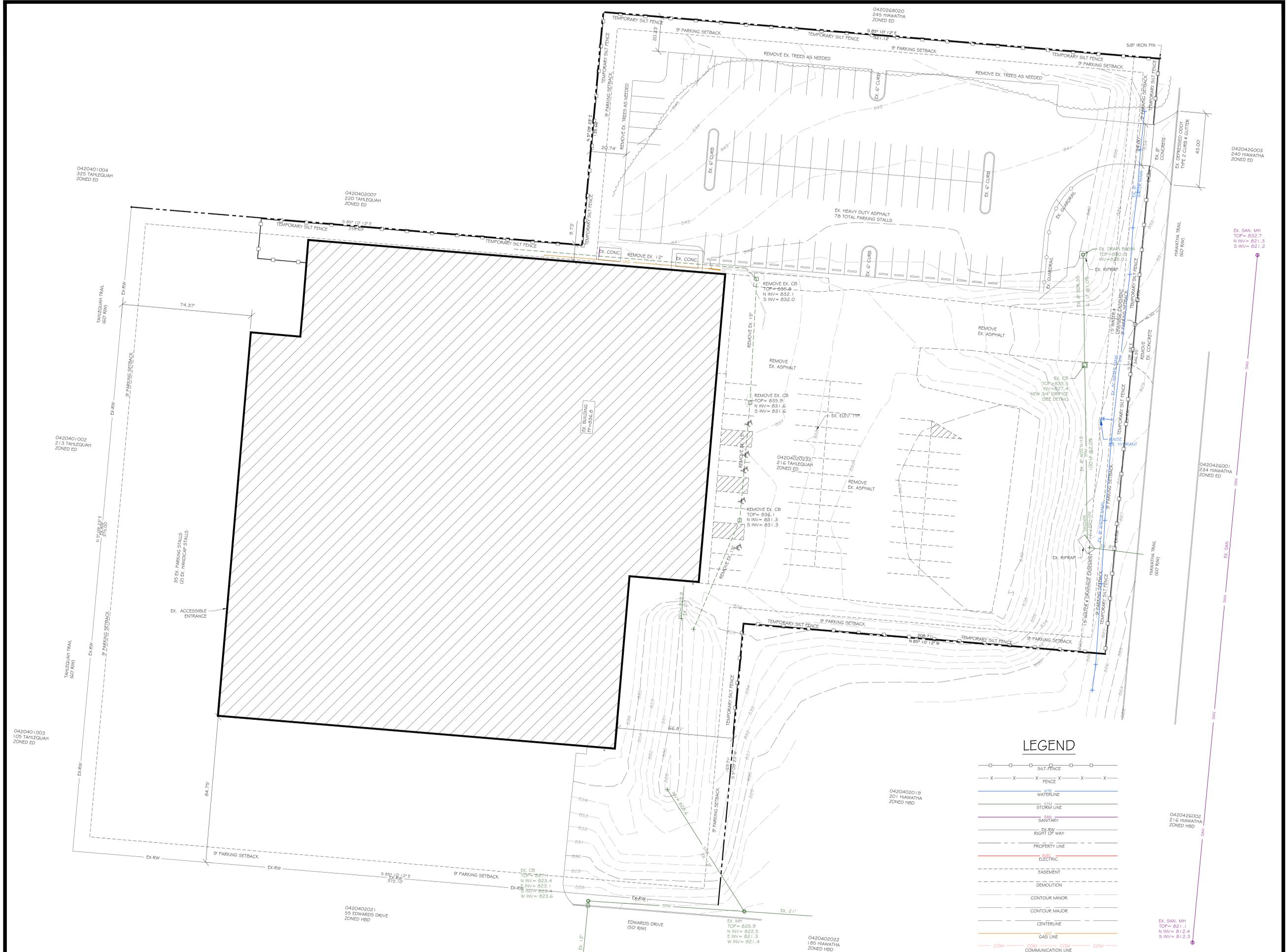
**Proposed Use:** A new 32,400 SF building addition.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

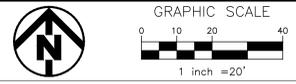
Shawn Meyer  
(Signature of Applicant and/or Agent)

9/19/25  
(Date)

Shawn Meyer  
Printed Name



**SITE PLAN** SCALE: 1" = 20' - 0"  
 PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



**LEGEND**

|  |                        |
|--|------------------------|
|  | SILT FENCE             |
|  | FENCE                  |
|  | W/B WATERLINE          |
|  | STORM LINE             |
|  | SAN SANITARY           |
|  | EX-RW RIGHT OF WAY     |
|  | PROPERTY LINE          |
|  | E/C ELECTRIC           |
|  | DEMOLITION             |
|  | CONTOUR MINOR          |
|  | CONTOUR MAJOR          |
|  | CENTERLINE             |
|  | GAS GAS LINE           |
|  | COM COMMUNICATION LINE |

**Revisions**

| # | Date | Description |
|---|------|-------------|
|   |      |             |
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|   |      |             |
|   |      |             |

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Expires: 12/31/25

**NEW ADDITION FOR**  
**THALER MACHINE**  
 WARREN COUNTY  
 216 TAHLEQUAH TRAIL  
 SPRINGBORO, OH 45066



**Sidney, Ohio**  
 400 Canal Street  
 Sidney, OH 45365-0726  
 Phone: (937) 498-2361

**Dayton, Ohio**  
 825 S. Ludlow St.  
 Dayton, OH 45402  
 Phone: (937) 274-1173

**Columbus, Ohio**  
 3595 Johnny Appleseed Ct.  
 Columbus, OH 43231  
 Phone: (614) 876-8496

**Indianapolis, Indiana**  
 7157 W. 200 N.  
 Greenfield, IN 46140  
 Phone: (317) 477-3615

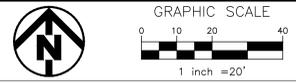
Job Number **E-45003**  
 Date **9/18/25**  
 Drawn By **SMM**  
 Checked By **JWM**

**PHASE II**  
**DEMO PLAN**

**C-1.1**



**SITE PLAN** SCALE: 1" = 20' - 0"  
 PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



| Revisions |      |             |
|-----------|------|-------------|
| #         | Date | Description |
|           |      |             |
|           |      |             |
|           |      |             |

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NEW ADDITION FOR  
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 Greenfield, IN 46140  
 Phone: (317) 477-3615

Job Number: E-45003  
 Date: 9/18/25  
 Drawn By: SMM  
 Checked By: JWM

PHASE II SITE PLAN

**C-1.2**

**GENERAL NOTES**

**EROSION CONTROL**

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEMANDS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

**SITE PREPARATION AND GRADING**

CLEAR SITE OF EXISTING TREES, SHRUBS, ETC., AS INDICATED ON DRAWINGS. STRIP TOPSOIL FROM PAVEMENT AREAS, STOCK PILE AND RESPADE. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW EXCAVATIONS SHOWN. HAUL EXCESS MATERIAL OFF-SITE.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

**BUILDING PAD**

NEW FLOOR SLAB IS TO BE 6" CONCRETE WITH ONE LAYER OF 4# W.W.F. ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY.

**SITE CONCRETE**

ALL OUTSIDE HVAC UNITS SHALL BE ON A 6" CONCRETE PAD.

SITE CONCRETE SHALL BE 8" THICK (4,000 PSI - AIR ENTRAINED) WITH ONE LAYER OF 4# W.W.F. ON 4" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE. (EXCEPT FOR SIDEWALKS AND DOOR STOOPS)

**UTILITIES**

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

FURNISH AND INSTALL A COMPLETE SPRINKLER WATER LINE AND NATURAL GAS SERVICE LINE FROM THE EXISTING BUILDING TO THE NEW ADDITION AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR LOCAL REQUIREMENTS.

WATERLINES SHALL HAVE 4'-6" MINIMUM COVER. THE WATER SERVICE SHALL BE TYPE 'K' COPPER AND HAVE A BACKFLOW PREVENTOR UNLESS SPECIFIED DIFFERENTLY.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

- THE INSTALLING WATERLINE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
- 1) NOTIFYING THE AUTHORITY HAVING JURISDICTION AND THE OWNER'S REPRESENTATIVE OF THE TIME AND DATE TESTING IS TO BE PERFORMED.
  - 2) PERFORMING ALL REQUIRED ACCEPTANCE TESTS.
  - 3) COMPLETING AND SIGNING THE CONTRACTOR'S MATERIAL AND TEST CERTIFICATE.

UNDERGROUND PIPING, FROM THE WATER SUPPLY TO THE SYSTEM RISER AND LEAD-IN CONNECTIONS TO THE SYSTEM RISER SHALL BE COMPLETELY FLUSHED BEFORE CONNECTION IS MADE TO DOWNSTREAM FIRE PROTECTION SYSTEM PIPING.

WHEN WORK IS STOPPED, THE OPEN ENDS OF PIPE, VALVES, HYDRANTS AND FITTINGS SHALL BE PLUGGED TO PREVENT STONES AND FOREIGN MATERIALS FROM ENTERING.

ALL TEES, PLUGS, CAPS, BENDS, REDUCERS, VALVES, AND HYDRANT BRANCHES SHALL BE RESTRAINED AGAINST MOVEMENT BY USING THRUST BLOCKS OR WITH RESTRAINED JOINT SYSTEMS.

PIPING WITH FLUED, THREADED, GROOVED, OR WELDED JOINTS SHALL NOT REQUIRE ADDITIONAL RESTRAINING, PROVIDED THAT SUCH JOINTS CAN PASS THE HYDROSTATIC TEST WITHOUT SHIFTING OF PIPING OR LEAKAGE IN EXCESS OF PERMITTED AMOUNTS.

**STORM WATER MANAGEMENT**

NEW STORM PIPING TO BE ADS N-12 5T IB PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE ODOT HW-1.2 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

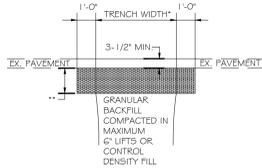
EXCAVATING CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY DRAWING DISCREPANCIES OF UTILITIES DISCOVERED THAT ARE NOT SHOWN ON THE SITE PLAN.

**SEEDING AND LANDSCAPING**

AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED. (FERTILIZER, STRAW, ROCK PICK-UP, MULCH & TACKIFIER, ETC. REQUIRED)

PLANTING, LANDSCAPING AND SEEDING SHALL BE BY THE OWNER.

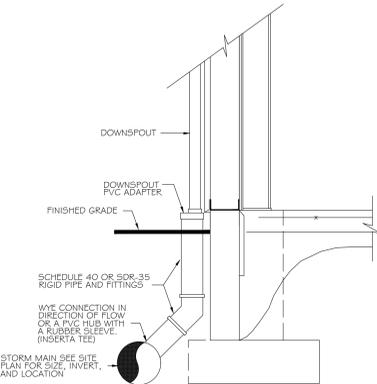
CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.



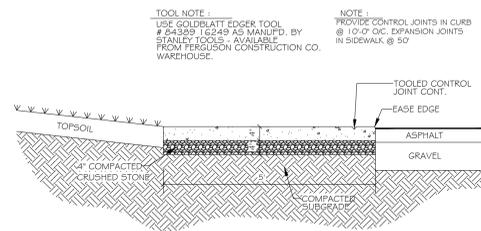
**TYPICAL PAVEMENT RESTORATION DETAIL**

**TYPICAL PAVEMENT RESTORATION NOTES**

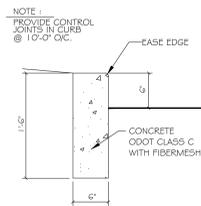
- MINIMUM GRAVEL PAVEMENT REPLACEMENT 2" OF ODOT #67 ON 12" OF ODOT ITEM 304, IN LIFTS OF 3" MAXIMUM
- MINIMUM ASPHALT PAVEMENT REPLACEMENT PERMANENT PAVEMENT REPLACEMENT SHALL MATCH EXISTING PAVEMENT THICKNESS, BUT MUST BE A MINIMUM OF 3-1/2 INCHES, WHICHEVER IS GREATER.
- SOIL BORINGS SHALL BE CAPPED WITH A MINIMUM OF 9" OF ODOT CLASS C CONCRETE.



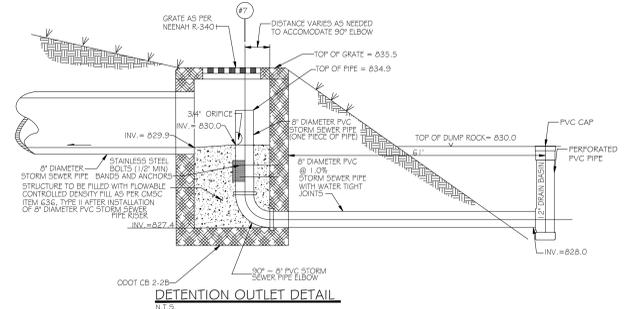
**DOWNSPOUT DETAIL**



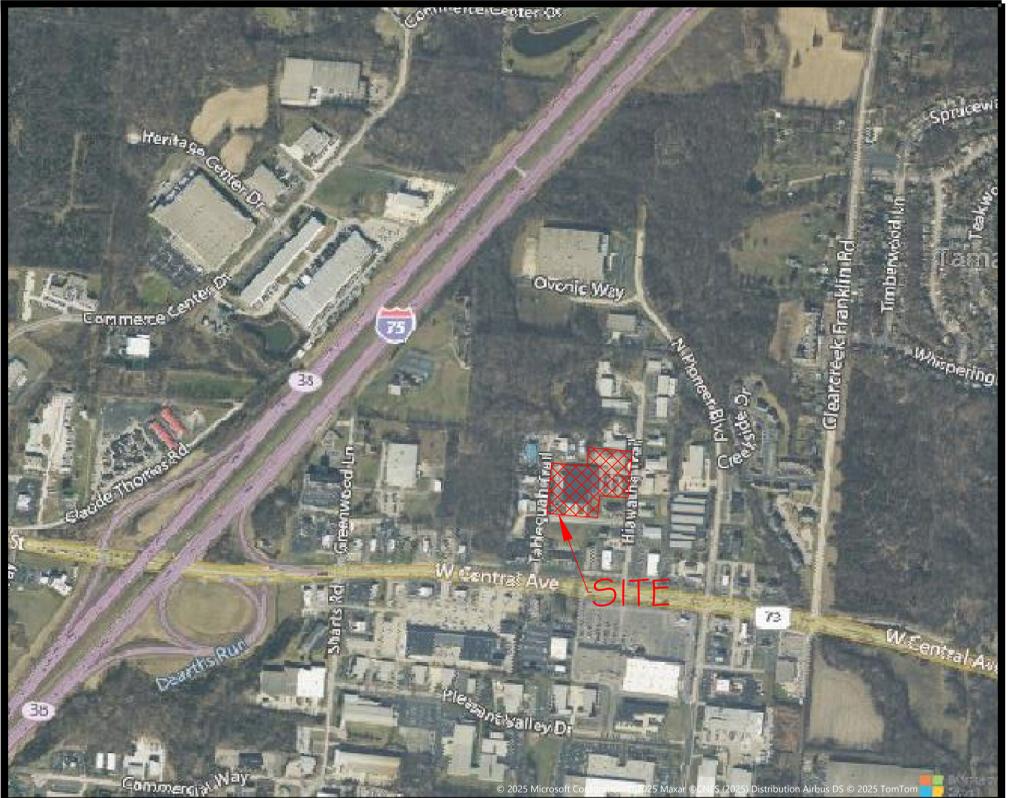
**SIDEWALK - FLUSH WITH ASPHALT**  
N.T.S.



**CONCRETE CURB**  
SCALE: 1" = 1'-0"



**DETECTION OUTLET DETAIL**  
N.T.S.



**VICINITY MAP** SCALE : N.T.S.



| Revisions |      |             |
|-----------|------|-------------|
| #         | Date | Description |
|           |      |             |
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**NEW ADDITION FOR THALER MACHINE**  
 WARREN COUNTY  
 216 TAHLEQUAH TRAIL  
 SPRINGBORO, OH 45066



**Sidney, Ohio**  
400 Canal Street  
Sidney, OH 45365-0726  
Phone: (937) 498-2381

**Dayton, Ohio**  
825 S. Ludlow St.  
Dayton, OH 45402  
Phone: (937) 274-1173

**Columbus, Ohio**  
3595 Johnny Appleseed Ct.  
Columbus, OH 43231  
Phone: (614) 876-8496

**Indianapolis, Indiana**  
7157 W. 200 N.  
Greenfield, IN 46140  
Phone: (317) 477-3615

|            |         |
|------------|---------|
| Job Number | E-45003 |
| Date       | 9/18/25 |
| Drawn By   | SMM     |
| Checked By | JWM     |

GENERAL NOTES & DETAILS

**C-2.1**



| Revisions |      |             |
|-----------|------|-------------|
| #         | Date | Description |
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Expires: 12/31/25

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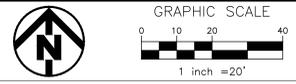
STORMWATER POLLUTION PREVENTION PLAN

C-3.1

**LEGEND**

|  |                    |
|--|--------------------|
|  | SILT FENCE         |
|  | FENCE              |
|  | WATERLINE          |
|  | STORM LINE         |
|  | SANITARY           |
|  | RIGHT OF WAY       |
|  | PROPERTY LINE      |
|  | ELECTRIC           |
|  | EASEMENT           |
|  | DEMOLITION         |
|  | CONTOUR MINOR      |
|  | CONTOUR MAJOR      |
|  | CENTERLINE         |
|  | GAS LINE           |
|  | COMMUNICATION LINE |

**SITE PLAN** SCALE: 1" = 20' - 0"  
 PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



**SITE DEVELOPMENT DETAILS**

PROJECT DESCRIPTION: THE SITE IS A 5.2 ACRES PARCEL THAT WILL BE REDEVELOPED WITH A NEW 32,500 SF BUILDING ADDITION AND A NEW 7th STALL PARKING LOT.

EXISTING SITE: THE SITE CONSISTS OF A 64,227 SF BUILDING, AN EASTERN PARKING LOT, A WESTERN PARKING LOT, AND A GRAVEL STORAGE AREA.

RECEIVING STREAM: STORMWATER RUNOFF FLOWS EAST INTO THE EXISTING CITY STORM SYSTEM.

SOILS: WYNN-URBAN LAND COMPLEX 4 URBAN LAND/DANA COMPLEX

DISTURBED ACREAGE: 1.1 ACRES

**CONSTRUCTION SEQUENCE:**

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AREA.
2. REMOVE NECESSARY VEGETATION AND INSTALL PERIMETER SEDIMENT FENCE WHERE SHOWN ON THE EROSION PLAN.
3. INSTALL SEDIMENT BASIN & OUTLET STRUCTURE.
4. CLEAR AND GRUB THE SITE AND GRADE TO PROPOSED GRADES SHOWN ON SITE PLAN.
5. INSTALL UTILITIES AS SHOWN ON THE SITE PLAN.
6. INSTALL INLET PROTECTION ON CATCH BASINS.
7. TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
8. FINE GRADE THE SITE AND PERMANENTLY STABILIZE THE DISTURBED AREAS.
9. INSTALL NEW PAVEMENT AS SHOWN.
10. REMOVE THE TEMPORARY SEDIMENT CONTROLS UPON THE ESTABLISHMENT OF PERMANENT VEGETATION.

**TABLE #1 - TEMPORARY STABILIZATION**

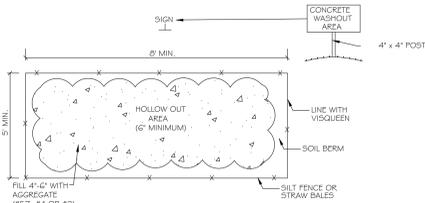
|   |   |
|---|---|
| Any disturbed area within 50 feet of a stream and not at final grade.   | Within 2 days of the most recent disturbance if that area will remain idle for more than 21 days. |
| For all construction activities, any disturbed area, including soil stockpiles, that will be dormant for more than 21 days, and not within 50 feet of a stream. | Within 7 days of the most recent disturbance within the area.                                     |
| Disturbed areas that will be idle over winter.  | Prior to onset of winter weather.   |

**TABLE #2 - PERMANENT STABILIZATION**

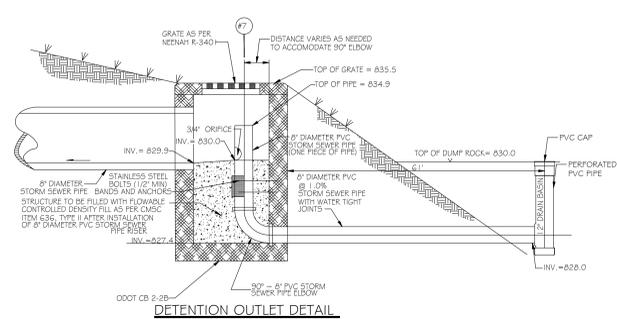
|   |   |
|---|---|
| Any area that will be dormant for 12 months or more.    | Within 7 days of the most recent disturbance.           |
| Any area within 50 feet of a stream and at final grade. | Within two days of reaching final grade.                |
| Any area at final grade.                                | Within 7 days of reaching final grade within that area. |

**TABLE #3 - MAXIMUM DRAINAGE AREA TO SILT FENCE**

| Maximum drainage area (in acres) to 100 linear feet of silt fence | Range of slope for a particular drainage area (percent) |
|---|---|
| 0.5   | ± 2%  |
| 0.75  | ± 2% but = 20%  |
| 0.125   | ± 20% but = 50%   |



**CONCRETE WASHOUT AREA**  
N.T.S.



**CLEAN STORM SYSTEM**

IMMEDIATELY PRIOR TO FINAL COMPLETION OF THE PROJECT, CONTRACTOR SHALL ENSURE THE ENTIRE STORM SYSTEM, INCLUDING BUT NOT LIMITED TO, THE DETENTION BASINS, CATCH BASINS, MANHOLES, PIPING, UNDERDRAINS AND UNDERDRAIN TRENCHES ARE FREE FROM SEDIMENTATION AND OTHER POLLUTANTS AND FOREIGN MATERIALS AND ARE TO BE CLEANED AS NEEDED TO ENSURE MAXIMUM STORMWATER QUALITY AND FULL FUNCTIONALITY.

**OFFSITE CONSTRUCTION ACTIVITIES:**

IT IS EXPECTED ALL CONSTRUCTION ACTIVITIES WILL TAKE PLACE ON SITE.

**SPILL REPORTING REQUIREMENTS:**

IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, SPECIAL HANDING PROCEDURES MUST BE USED. IN THE EVENT OF A LARGE RELEASE (25 GALLONS OR MORE) OF PETROLEUM WASTE, YOU MUST CONTACT THE OHIO EPA (1-1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

**VEHICLE FUELING**

VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED VIA A SMALL REFUEL TANK WITH SECONDARY CONTAINMENT.

**OPEN BURNING NOTE:**

OPEN BURNING IS NOT PERMITTED IN THE CORPORATION LIMIT.

**SWPPP AND INSPECTION REPORTS LOCATION:**

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

**WASTE DISPOSAL NOTE:**

THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER OR FOREMAN'S VEHICLE.

**FUELING AND STAGING NOTE:**

CONTRACTOR'S STAGING AREA WILL BE LOCATED WITHIN CONSTRUCTION LIMITS OF THE PROJECT. FUEL TANKS AND OTHER HAZARDOUS MATERIALS TO BE SAFELY STORED, PROTECTED, AND PROPERLY HANDLED BY CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STAGING/STORAGE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

**SOIL STOCKPILE NOTE:**

CONTRACTOR'S SHALL LOCATE SOIL STOCKPILE AREAS WITHIN THE PROJECT AREA SO AS NOT TO BE WITHIN THE IMMEDIATE PROXIMITY OF ANY SURFACE WATERS OR STORM INLET STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STOCKPILE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

**DEWATERING NOTE:**

PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR ANY OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATER, DITCH OR STREAM CORRIDORS, ANY CORRIDORS OR STORM SEWERS IS PROHIBITED. ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SOIL PARTICLES PRIOR TO ITS RELEASE. IF AN AREA OF THE SITE OR TRENCH NEEDS DEWATERED, IT SHOULD BE PUMPED FROM A SUMP PIT WITH A SOCK FILTER OR OTHER TYPE OF FILTERING DEVICE ON THE DISCHARGE OF THE HOSE. DO NOT ALLOW DISCHARGED WATER TO PASS OVER DISTURBED GROUND. IF THE DISCHARGE WATER IS BEING PUMPED INTO A SEDIMENT POND THEN NO FILTER IS REQUIRED AT THE END OF THE HOSE. IF THE GROUNDWATER MUST BE LOWERED, THE WATER MAY BE FREELY DISCHARGED AS LONG AS THE WATER REMAINS CLEAN. DO NOT CO-MINGLE CLEAN GROUND WATER WITH SEDIMENT LADEN WATER OR DISCHARGE IT BY ALLOWING IT TO PASS OVER DISTURBED GROUND.

**LOG/DOCUMENTATION SHEETS:**

AS PART OF THE SWPPP, THE CONTRACTOR SHALL MAINTAIN LOG/DOCUMENTATION SHEETS FOR THE FOLLOWING: 1) A SIGNATURE LOG CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE SWPPP AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWPPP. 2) A GRADING AND STABILIZATION LOG DOCUMENTING THE PROJECTS GRADING AND STABILIZATION ACTIVITIES AND 3) A SWPPP AMENDMENT LOG DOCUMENTING CHANGES/AMENDMENTS TO THE SWPPP, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

**MAINTENANCE NOTE:**

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWPPP SHALL BE DESIGNED TO MINIMIZE MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

**SWPPP AND INSPECTION AVAILABILITY AND UPDATES NOTE:**

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE SWPPP AND INSPECTION REPORTS ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM AND DOCUMENT ALL REQUIRED SWPPP INSPECTIONS AND ALL UPDATES AND AMENDMENTS TO THE SWPPP.

**PROCESS WASTEWATER/LEACHATE MANAGEMENT NOTE:**

ALL PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, AND CONCRETE WASHOUTS) MUST BE COLLECTED AND DISPOSED OF PROPERLY TO A PUBLICLY OWNED TREATMENT WORKS. THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT ONLY AUTHORIZES THE DISCHARGE OF STORM WATER AND CERTAIN UNCONTAMINATED NON-STORM WATER. THE DISCHARGE OF NON-STORM WATERS TO WATERS OF THE STATE MAY BE IN VIOLATION OF LOCAL, STATE, AND FEDERAL LAWS OR REGULATIONS.

**HANDLING OF TOXIC OR HAZARDOUS MATERIALS NOTE:**

NO SOLID, SANITARY, OR TOXIC WASTE IS TO BE DISPOSED OF ON THE PROJECT SITE. RECYCLING OF USED OR UNUSED HAZARDOUS MATERIALS SHALL NOT OCCUR ON SITE EITHER. AREAS DESIGNATED FOR CEMENT TRUCK WASHOUTS, AND VEHICLE FUELING SHALL NOT TAKE PLACE ON PARKING LOT BASE.

**CONSTRUCTION CHEMICAL COMPOUNDS NOTE:**

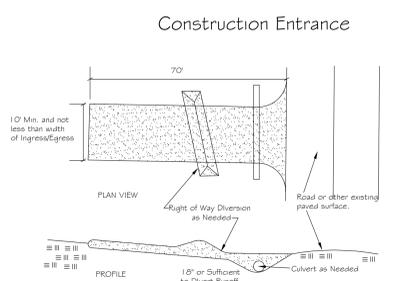
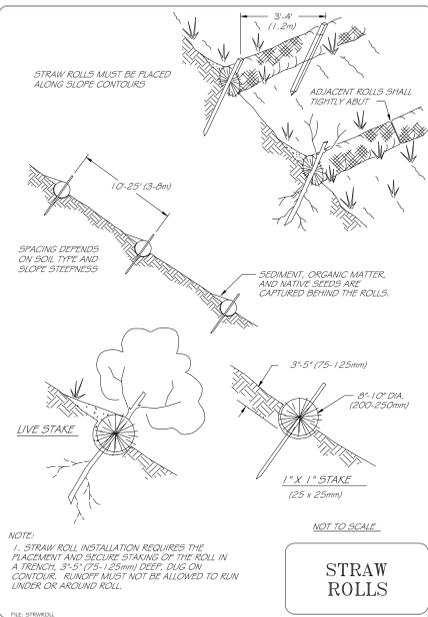
NO MIXING OR STORAGE OF CHEMICAL COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE ARE PERMITTED TO TAKE PLACE ON-SITE. ALL MIXING SHALL TAKE PLACE BEFORE ENTERING THE SITE.

**CONSTRUCTION OR DEMOLITION DEBRIS NOTE:**

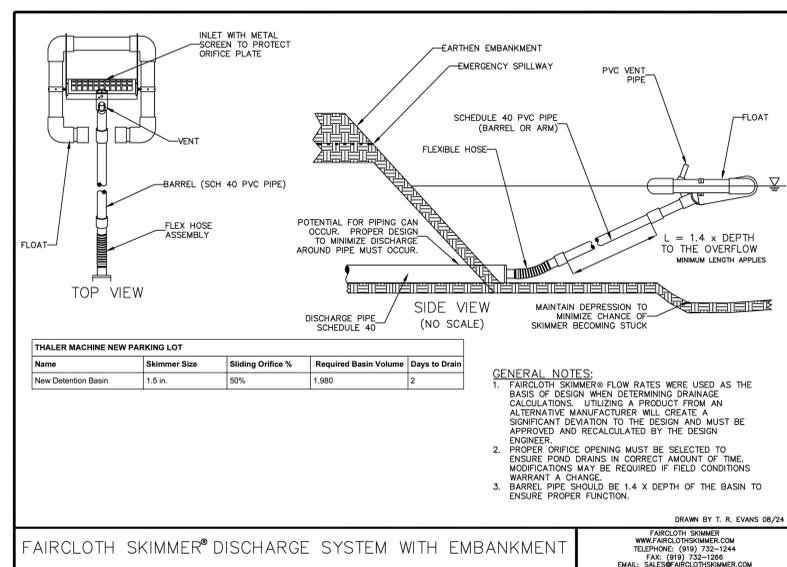
ALL CONSTRUCTION AND DEMOLITION DEBRIS WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED LANDFILL AS REQUIRED BY OHIO REVISID CODE 3714. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

**CONTAMINATED SOILS NOTE:**

SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS SHALL BE HANDLED AND DISPOSED OF PROPERLY. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED OF IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY. IF CONTAMINATION HAPPENS TO OCCUR, TAKES ARE TO BE USED TO PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.



1. STONE SIZE - TWO-INCH STONE SHALL BE USED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 7'0".
3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6" THICK.
4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 10' WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. BEDDING - IF SUBGRADE IS SOFT A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A GRAB TENSILE STRENGTH OF AT LEAST 200 LB. AND A MULLEN BURST STRENGTH OF AT LEAST 180 LB.
6. CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
7. WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
8. MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
9. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.



| THALER MACHINE NEW PARKING LOT |              |                   |                       |               |
|--------------------------------|--------------|-------------------|-----------------------|---------------|
| Name                           | Skimmer Size | Sliding Orifice % | Required Basin Volume | Days to Drain |
| New Detention Basin            | 1.5 in.      | 50%               | 1,980                 | 2             |

- GENERAL NOTES:**
1. FAIRCLOTH SKIMMER® FLOW RATES WERE USED AS THE BASIS OF DESIGN WHEN DETERMINING DRAINAGE CALCULATIONS. UTILIZING A PRODUCT FROM AN ALTERNATIVE MANUFACTURER WILL CREATE A SIGNIFICANT DEVIATION TO THE DESIGN AND MUST BE APPROVED AND RECALCULATED BY THE DESIGN ENGINEER.
  2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
  3. BARREL PIPE SHOULD BE 1.4 x DEPTH OF THE BASIN TO ENSURE PROPER FUNCTION.

DRAWN BY: T. R. EVANS 08/24  
FAIRCLOTH SKIMMER  
WWW.FAIRCLOTHSKIMMER.COM  
TELEPHONE: (919) 732-1144  
FAX: (919) 732-1268  
EMAIL: SALES@FAIRCLOTHSKIMMER.COM



**VICINITY MAP** SCALE : N.T.S.



**Revisions**

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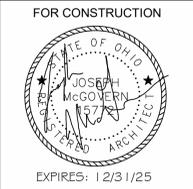
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Greenfield, IN 46140  
Phone: (317) 477-3615

Job Number: E-45003  
Date: 9/18/25  
Drawn By: SMM  
Checked By: JWM

SWPPP NOTES & DETAILS  
**C-3.2**

| Revisions |      |             |
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| #         | Date | Description |
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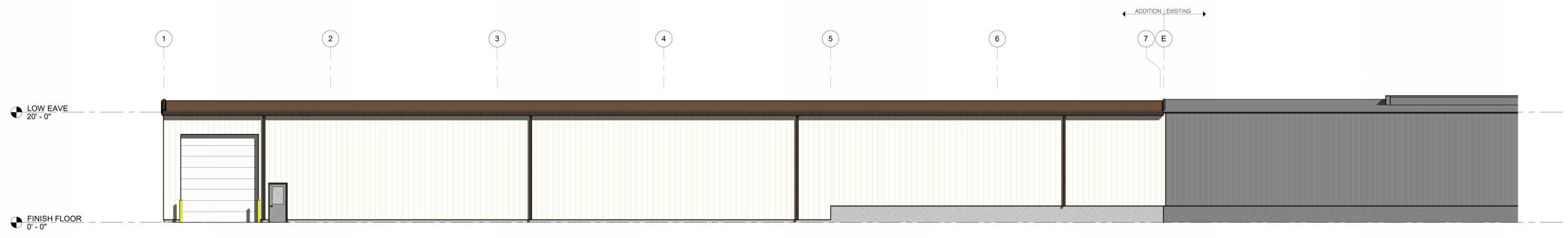
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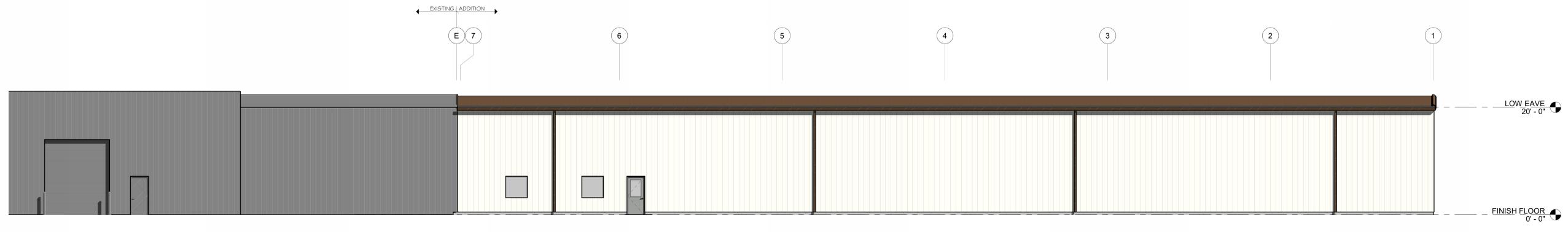
Job Number E-45003  
 Date 09/18/25  
 Drawn By TRF  
 Checked By JWM

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 ELEVATIONS  
**A-3.2**

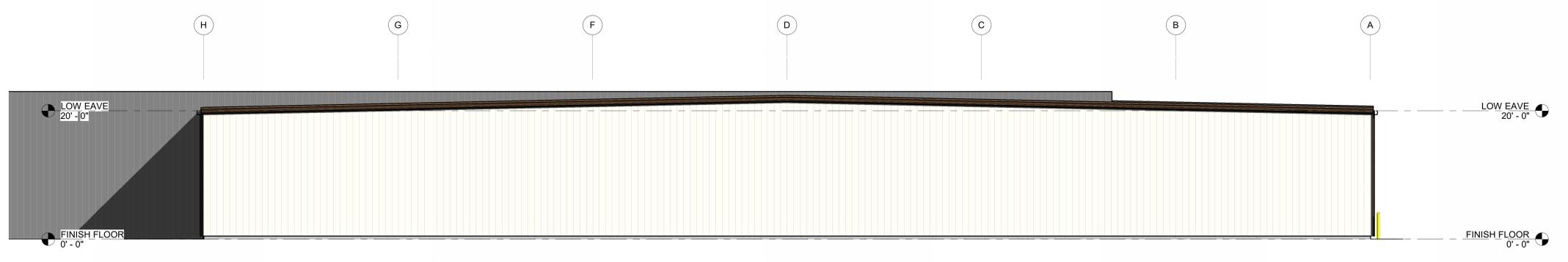
9/19/2025 8:13:41 AM



3 NORTH COLORED  
 1/8" = 1'-0"



2 SOUTH COLORED  
 1/8" = 1'-0"



1 EAST COLORED  
 1/8" = 1'-0"



# **China Cottage New Location / Building 610 N Main St**

City of Springboro  
320 West Central Avenue  
Springboro, OH 45066  
Phone: (937) 748-4343  
Fax: (937) 748-0815  
[www.ci.springboro.oh.us](http://www.ci.springboro.oh.us)

# APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

## CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN    REVISION TO APPROVED SITE PLAN    CONCEPT PLAN    PRELIMINARY SUBDIVISION    RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner      **APPLICANT NAME:**      Wen H. Wang  
 Agent  
 Lessee      Address      42 Pinehurst Place  
 Signed Purchase Contract      Springboro, OH 45066

Telephone No.      ( 937 ) 286-8885  
Fax No.      ( 937 ) 436-0008  
Email Address      tigerwang\_585@hotmail.com

**PROPERTY OWNER NAME (IF OTHER):** N/A

Address: \_\_\_\_\_

Telephone No. ( \_\_\_\_\_ ) \_\_\_\_\_

Property Address or General Location: Near N. Main St. and Lytle-Five Point Rd.  
(behind 590 N. Main Street)

Parcel Number(s): 0408101023      Zoning District: O-R

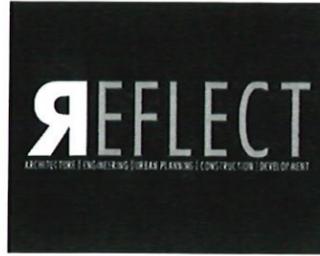
Proposed Use: Applicant is planning to build a five-unit commercial property, which would include two restaurants and three other commercial units.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
\_\_\_\_\_  
(Signature of Applicant and/or Agent)

9/24/2025  
\_\_\_\_\_  
(Date)

Wen H. Wang  
\_\_\_\_\_  
Printed Name



Attn: City of Springboro – Zoning & Planning

**Re: Proposed Occupancy & Use for new development on 610 Main Street, Springboro, OH**

**To Whom it may concern,**

This is a formal letter to highlight the intended use of the new proposed building development at 610 Main Street, Springboro, OH. The intention of said development is to construct a new multi-tenant commercial building. The building will consist of 5 lease spaces, they have been broken up into the following:

Two of the lease spaces (Units 1 & Unit 4) will have be occupied by restaurants or Assembly (A-2) use as these will have full commercial kitchens and a dining area. Both units will be approximately 5,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interiors.

Unit 2 is intended to be a Business (B) use group, with the intention of having a future nail salon. This space will be approximately 2,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Unit 3 is intended to be a retail space or Mercantile (M) use, with the intention of having a future retail tenant. This space will be approximately 3,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Unit 5 has the intention of being a café or coffee shop with a Business (B)/Assembly (A-2) use depending on if the number of occupants surpasses 49 or not. The coffee shop/cafe will be similar to Starbucks. This space will be approximately 2,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Should any more information be needed, feel free to reach out directly via phone at (202) 774-6409 or via email at [jmorales@reflectdbgroup.com](mailto:jmorales@reflectdbgroup.com).

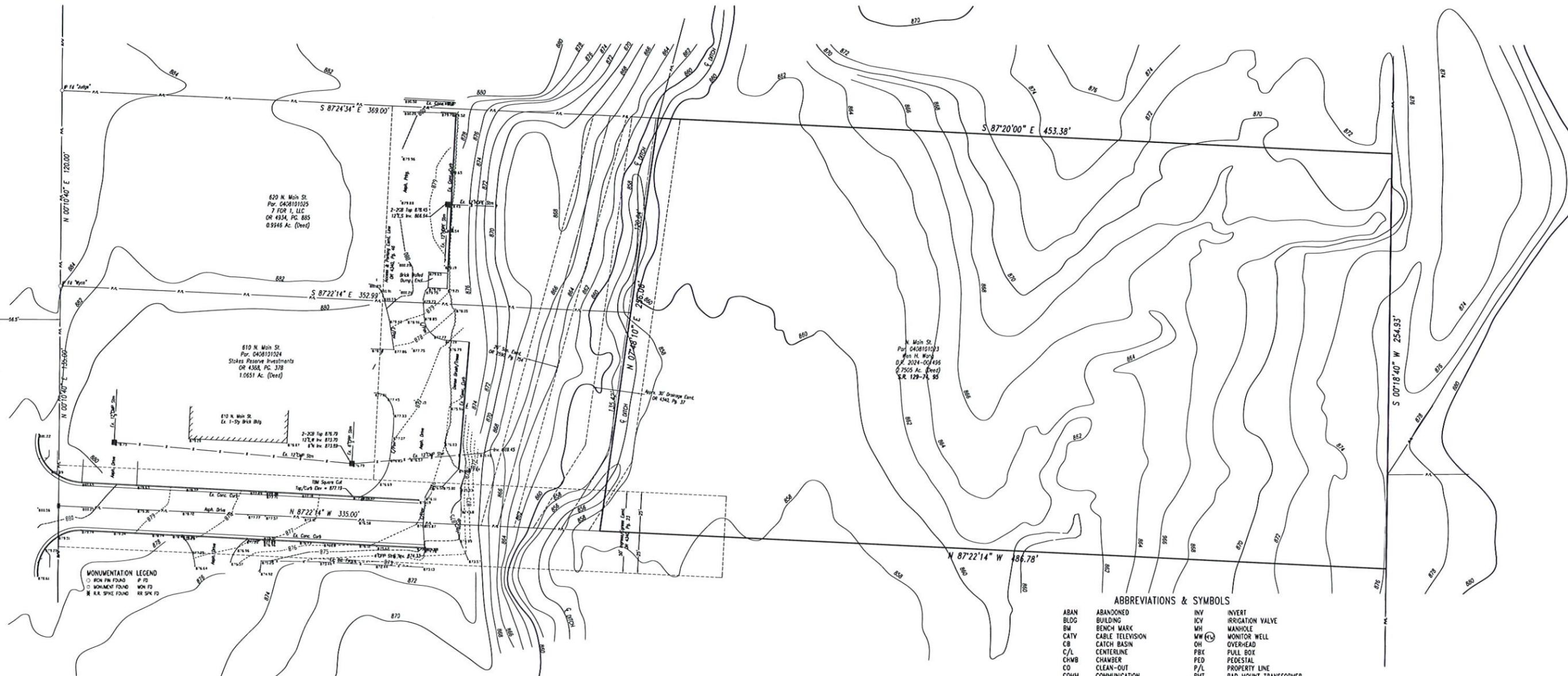
Best regards,

Jose E. Morales, CEO

HEADQUARTERS  
1900 Market Street  
Philadelphia, PA 19103

CONTACT  
TEL: 484-695-2693  
Email: [contact@reflectdbgroup.com](mailto:contact@reflectdbgroup.com)

N. MAIN STREET (S.R. 741)



**MONUMENTATION LEGEND**  
 ○ IRON PIN FOUND    P FD  
 □ MONUMENT FOUND    W/FD  
 \* N.E.K. SPK FOUND    IR SPK FD

**ABBREVIATIONS & SYMBOLS**

|          |                   |         |                       |
|----------|-------------------|---------|-----------------------|
| ABAN     | ABANDONED         | INV     | INVERT                |
| BLDG     | BUILDING          | ICV     | IRRIGATION VALVE      |
| BM       | BENCH MARK        | MH      | MANHOLE               |
| CATV     | CABLE TELEVISION  | MW      | MONITOR WELL          |
| CB       | CATCH BASIN       | OH      | OVERHEAD              |
| C/L      | CENTERLINE        | PBK     | PULL BOX              |
| CHWB     | CHAMBER           | PE      | PEDESTAL              |
| CO       | CLEAN-OUT         | P/L     | PROPERTY LINE         |
| COMM     | COMMUNICATION     | PMT     | PAD MOUNT TRANSFORMER |
| CONC     | CONCRETE          | R/W     | RIGHT OF WAY          |
| DS       | DOWNSPOUT         | SAN     | SANITARY              |
| E, ELEC  | ELECTRIC          | SH      | SPRINKLER HEAD        |
| C.L. FEN | CHAIN-LINK FENCE  | STM     | STORM                 |
| S.R. FEN | SPLIT-RAIL FENCE  | TBM     | TEMPORARY BENCH MARK  |
| BO. FEN  | BOARD FENCE       | T/C     | TOP OF CURB           |
| F/FL     | FINISH FLOOR      | T, TELE | TELEPHONE             |
| FH       | FIRE HYDRANT      | UG      | UNDERGROUND           |
| FD       | FOUND             | WM      | WATER METER           |
| GAS REG  | GAS REGULATOR     | WSY     | WATER SERVICE VALVE   |
| GM       | GAS METER         | WV      | WATER VALVE           |
| GSV      | GAS SERVICE VALVE | WP      | WATER POLE            |
| GV       | GAS VALVE         | WY      | WATER VALVE           |
| T        | TREE              | WY      | WATER VALVE           |
| ET       | EVERGREEN TREE    | WY      | WATER VALVE           |

**TOPOGRAPHIC SURVEY**  
**N. MAIN STREET**  
**SECTION 8, TOWN 2, RANGE 5N, M.R.s.**  
**CITY OF SPRINGBORO**  
**WARREN COUNTY, OHIO**  
**2.7505 ACRES**

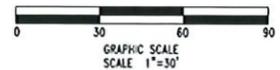
**NOTES:**  
 1. ELEVATIONS/CONTOURS & TBMs ON NAD83 DATUM.  
 2. 2' CONTOURS SHOWN ON SUBJECT PARCEL SHOWN FROM WARREN COUNTY GIS DATA.

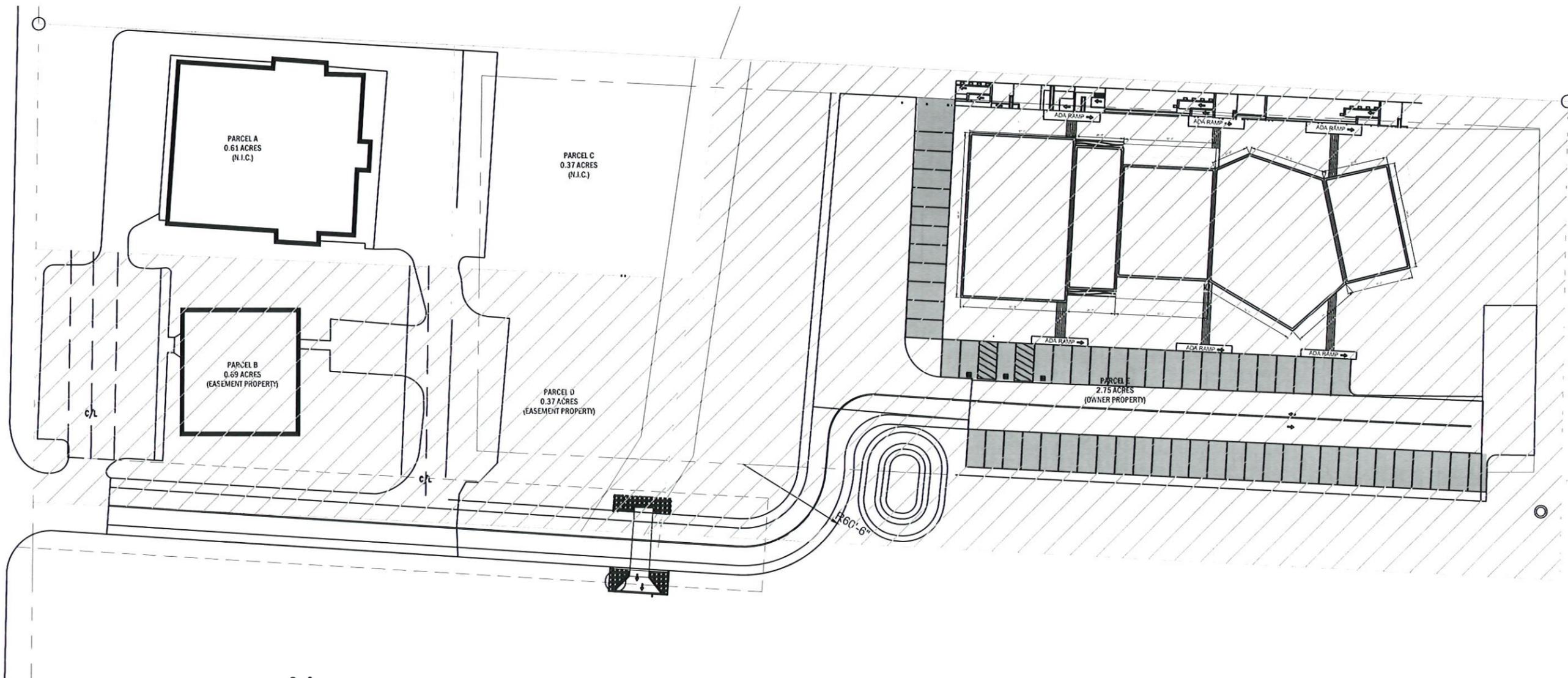
**TOPOGRAPHIC SURVEY NOTES:**  
 1. ANY BOUNDARY, LOT LINES, OR EASEMENT LINES THAT MIGHT BE DRAWN HEREON ARE SHOWN IN THEIR APPROXIMATE LOCATION AND ARE SUBJECT TO CHANGE, ADDITION OR DELETION SHOULD A COMPLETE BOUNDARY SURVEY AND/OR UP-TO-DATE TITLE REPORT BE CONDUCTED.  
 2. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO ABOVE-GROUND FIELD SURVEY OBSERVATIONS AND UTILITY PLANS PROVIDED THE SURVEYOR ONLY. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE OR COMPLETE. NOTIFY THE FOLLOWING 48 HOURS PRIOR TO CONSTRUCTION TO FIELD LOCATE UTILITIES. OHIO UTILITIES PROTECTION SERVICE DAL 811

THIS TOPOGRAPHIC SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED UNDER MY SUPERVISION ON MAY 21, 2024.

LUIS G. RIANCHO  
 OHIO PROFESSIONAL SURVEYOR No. 5287

**RECEIVED**  
 SEP 19 2025  
 Springboro  
 Planning Department





1

# WORK AREA PLAN

SCALE: 1" = 60'-0"



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CHECKED BY: JM  
DATE ISSUED: 2025/04/14

DocuSigned by:

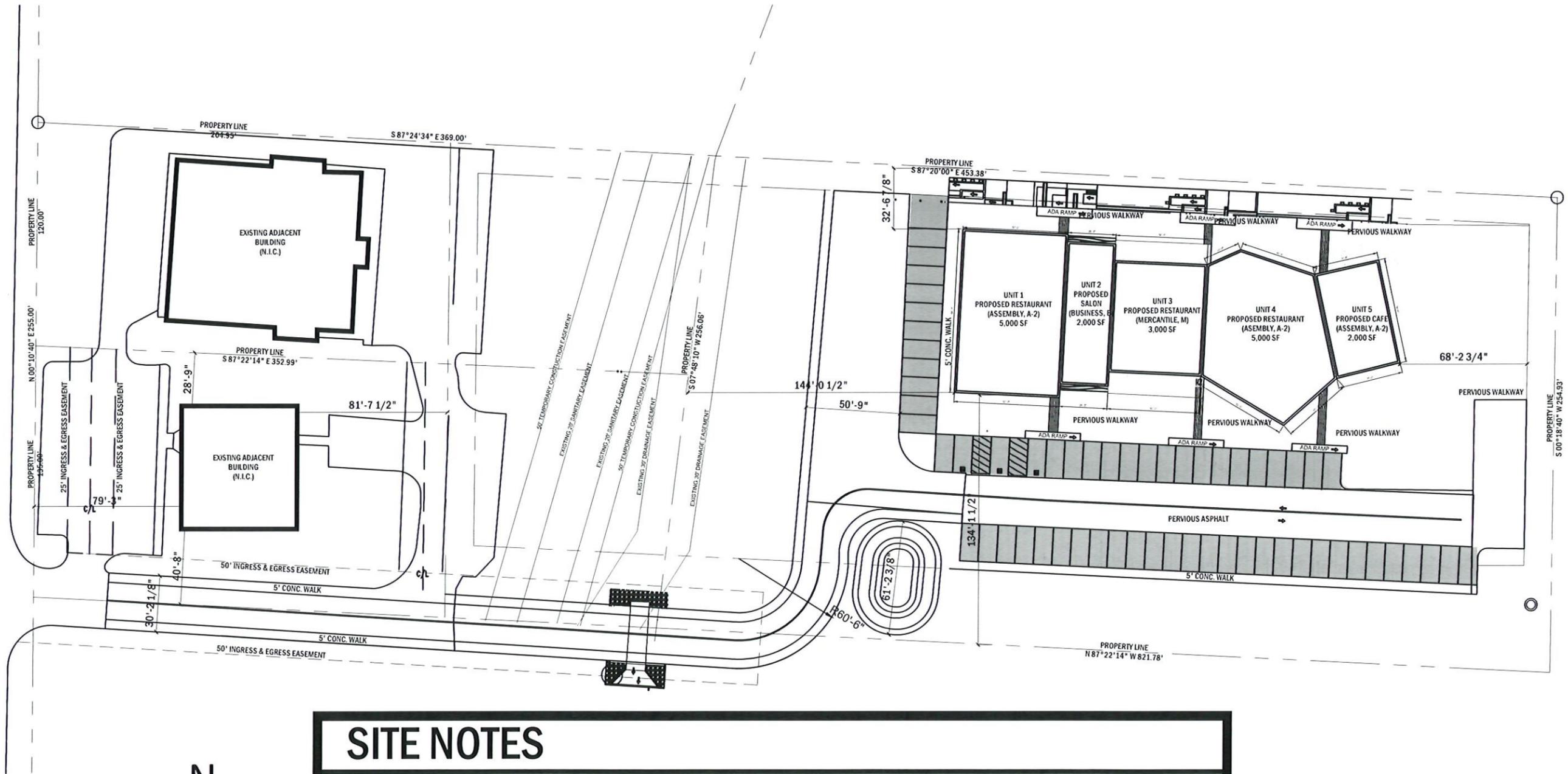
*Paul Jones*

STATE OF OHIO

PAUL G. JONES  
E-76998

## RETAIL DEVELOPMENT

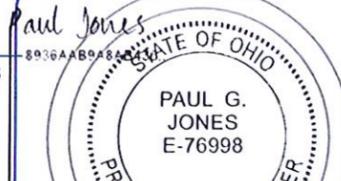
100



### SITE NOTES

1. SITE PLAN IS FOR DESIGN PURPOSES ONLY. REFER TO SIGN AND SEAL SURVEY FOR PROPOSED STRUCTURE LOCATION.
2. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.
3. CONTRACTOR TO REVIEW DRAWINGS IN ITS ENTIRETY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.
4. OSHA REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES. CERTIFIED HARD HATS SHALL BE WORN WHILE ON SITE.
5. VERIFY SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
6. VERIFY ALL UTILITY LOCATIONS. MARK WITH IDENTIFIABLE FLUORESCENT PAINT PRIOR TO CONSTRUCTION.
7. DISCONNECT ANY UNNECESSARY SERVICES PRIOR TO CONSTRUCTION. CAP ANY UNUSED SERVICES BELOW GRADE.
8. ALL DEBRIS SHALL BE DISCARDED IN ASSIGNED LOCATION/S IE. DUMPSTER.

DocuSigned by:



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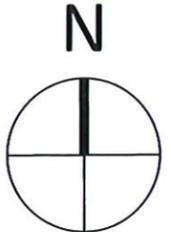
## RETAIL DEVELOPMENT



1

## SITE PLAN

SCALE: 1" = 30'-0"



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8. ALL DEBRIS SHALL BE DISCARDED IN ASSIGNED LOCATION/S IE. DUMPSTER.

# ZONING INFORMATION

|                                 |                             |
|---------------------------------|-----------------------------|
|                                 | PROPOSED                    |
| TAX AUTHORITY                   | CITY OF SPRINBORO           |
| ZONING                          | OFFICE RESIDENTIAL DISTRICT |
| ACRES/DIMENSIONS                | 2.75                        |
| MINIMUM LOT AREA                | N/A                         |
| MINIMUM LOT WIDTH               | 100                         |
| MINIMUM FRONT YARD SETBACK      | 40'                         |
| MINIMUM REAR YARD SETBACK       | 40'                         |
| MINIMUM SIDE YARD SETBACK       | 10'                         |
| MAXIMUM BUILDING HEIGHT IN FEET | 35'/2-1/2" STORIES          |
| LOT COVERAGE                    | 75%                         |

# CODE SUMMARY

|                     |                   |
|---------------------|-------------------|
|                     | PROPOSED          |
| FINISHED AREA       | 18,370 SF         |
| FINISHED BUILDING 1 | 18,370 SF         |
|                     |                   |
| TOTAL FINISHED AREA | 18,370 SF         |
|                     |                   |
| LOT COVERAGE        | 18,370 SF         |
| BUILDING & PATIOS   | 40,226 SF         |
| SIDEWALKS           | 21,896 SF         |
| DRIVEWAY (PERVIOUS) | 36,184 SF         |
| TOTAL COVERAGE      | 76,410 SF (63.8%) |
| ALLOWABLE COVERAGE  | 89,842.5 SF (75%) |

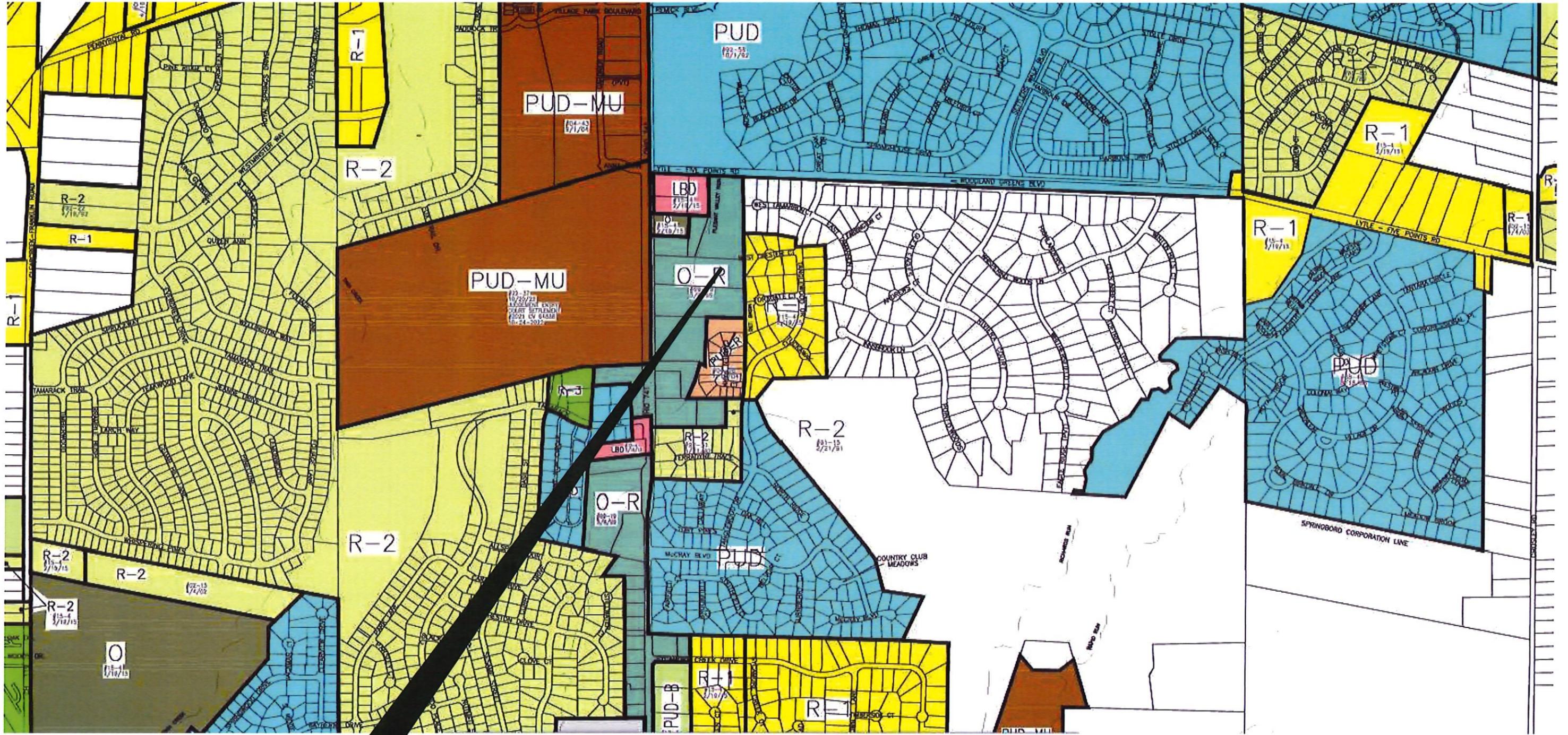


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DEVELOPMENT**



**SITE LOCATION**

**ZONING MAP**



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DocuSigned by:  
*Paul Jones*  
 STATE OF OHIO  
 PAUL G. JONES  
 E-76998

**RETAIL DEVELOPMENT**

0 202

# ZONING LEGEND

|        |   |
|--------|---|
| R-1    | (R-1) ESTATE-TYPE RESIDENTIAL DISTRICT                            |
| R-2    | (R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)            |
| R-3    | (R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY) |
| HBD    | (HBD) HIGHWAY BUSINESS DISTRICT                                   |
| LBD    | (LBD) LOCAL BUSINESS DISTRICT                                     |
| CBD    | (CBD) CENTRAL BUSINESS DISTRICT                                   |
| UVD    | (UVD) URBAN VILLAGE DISTRICT                                      |
| M-1    | (M-1) LIGHT MANUFACTURING DISTRICT                                |
| M-2    | (M-2) HEAVY MANUFACTURING DISTRICT                                |
| EO     | (EO) EMPLOYMENT CENTER DISTRICT                                   |
| PUD    | (PUD) PLANNED UNIT DEVELOPMENT DISTRICT                           |
| PUD-MU | (PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE                       |
| PUD-O  | (PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE                           |
| PUD-B  | (PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS                         |
| PUD-R  | (PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL                      |
| O-R    | (O-R) OFFICE-RESIDENTIAL DISTRICT                                 |
| O      | (O) OFFICE PARK DISTRICT  |
| ADD-1  | (ADD-1) AUSTIN DEVELOPMENT DISTRICT 1                             |
| ADD-2  | (ADD-2) AUSTIN DEVELOPMENT DISTRICT 2                             |



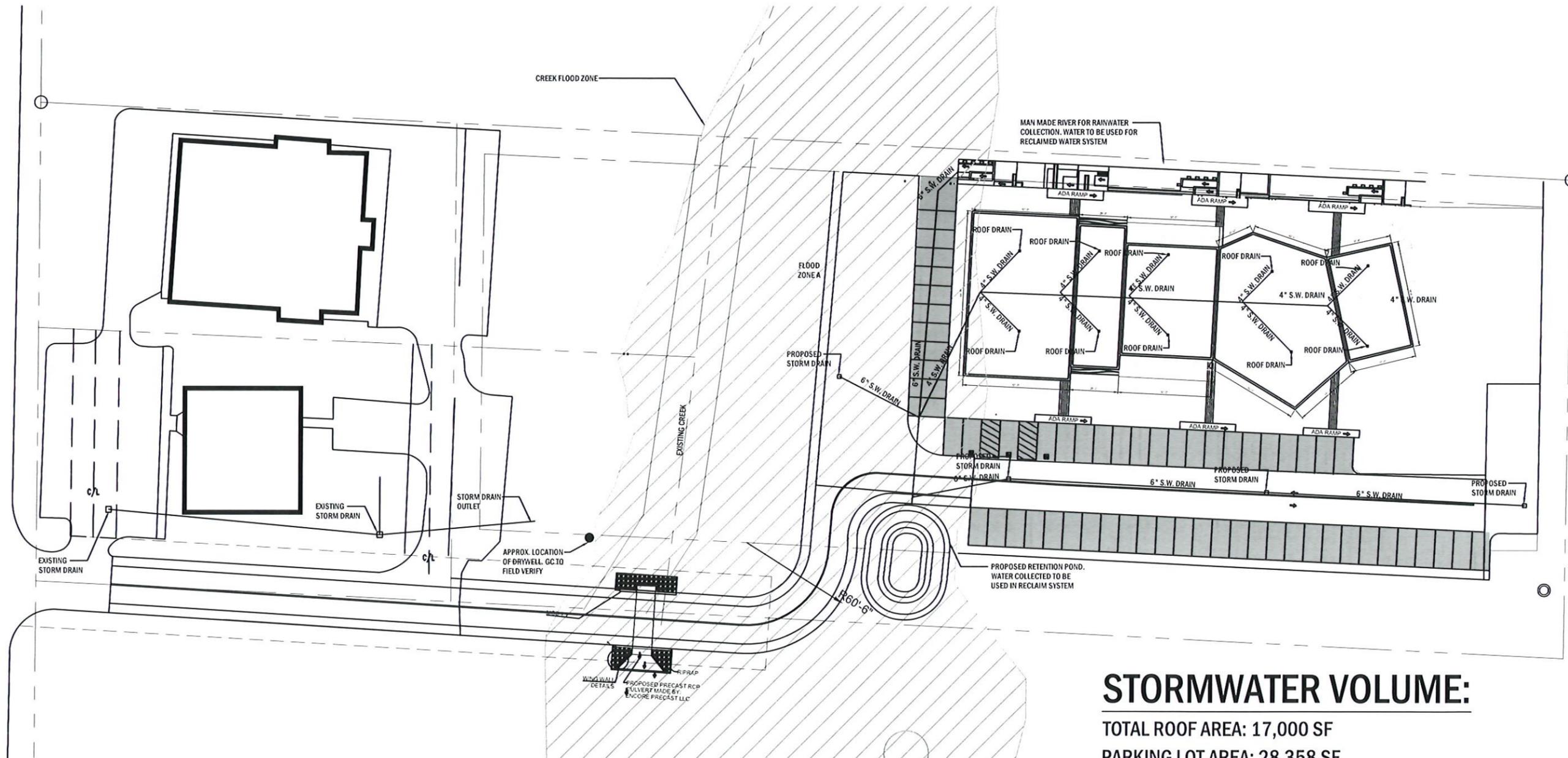
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PAUL G. JONES  
E-76998  
STATE OF OHIO  
PROFESSIONAL ENGINEER

**RETAIL  
DEVELOPMENT**

0 202



**STORMWATER VOLUME:**

TOTAL ROOF AREA: 17,000 SF  
 PARKING LOT AREA: 28,358 SF

TOTAL IMPERVIOUS AREA: 45,358 SF

45,358\*0.9\*2=81,644.4 CUBIC FEET

1

**STORMWATER MANAGEMENT SITE PLAN**

SCALE: 1" = 60'-0"



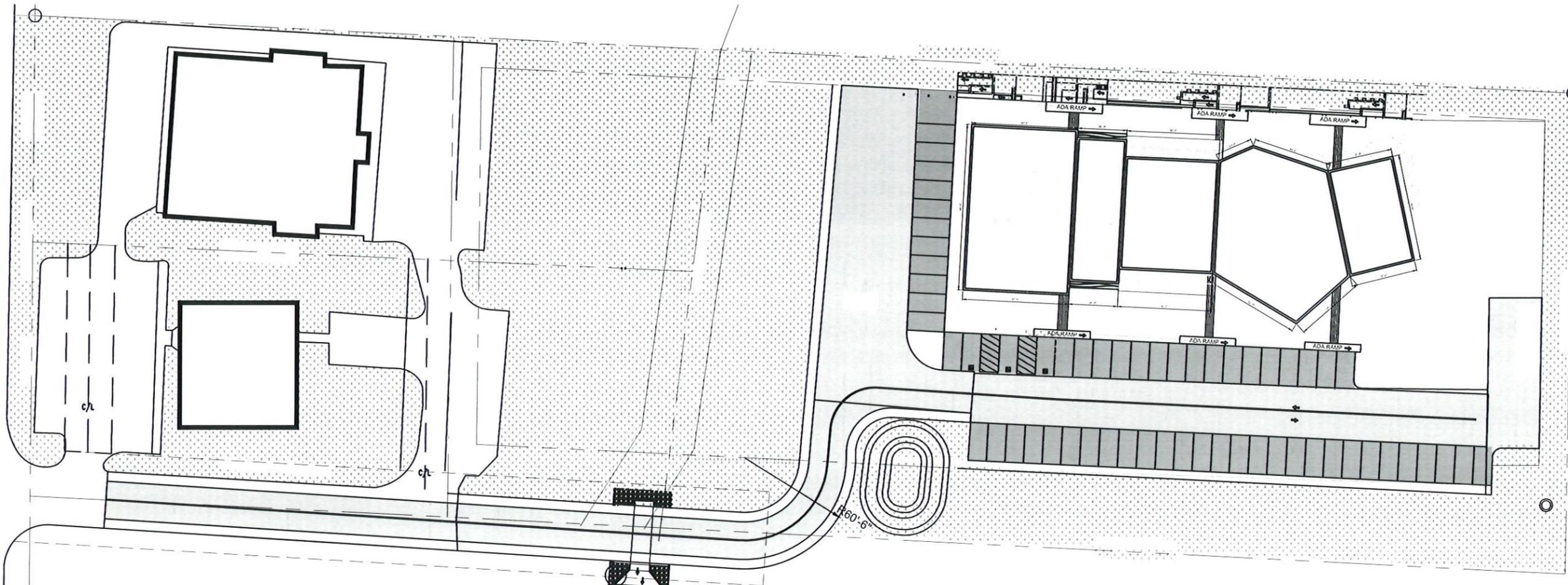
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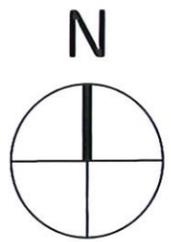
0 200



1

# HARDSCAPE PLAN

SCALE: 1" = 60'-0"



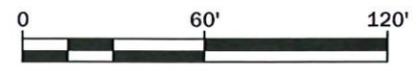
## REQUIRED PARKING:

- 1 SPACE PER 400 SF
- UNIT 1**  
5,000 SF / 400 SF / SPACE = 12.5 SPACES
- UNIT 2**  
2,000 SF / 400 SF = 5 SPACES
- UNIT 3**  
3,000 SF / 400 SF = 7.5 SPACES
- UNIT 4**  
5,000 SF / 400 SF = 12.5 SPACES
- UNIT 5**  
2,000 SF / 400 SF = 5 SPACES

## MINIMUM DIMENSIONS

- DRIVE AISLE (MINIMUM): 25'
- STD. STALL (MIN.): 8.5'x18'
- TOTAL REQUIRED: 43 SPACES**
- TOTAL PROVIDED: 62 SPACES**

| LEGEND |                |
|--------|----------------|
|        | HEAVY DUTY PCC |
|        | HEAVY DUTY AC  |
|        | LIGHT DUTY AC  |
|        | LANDSCAPE      |



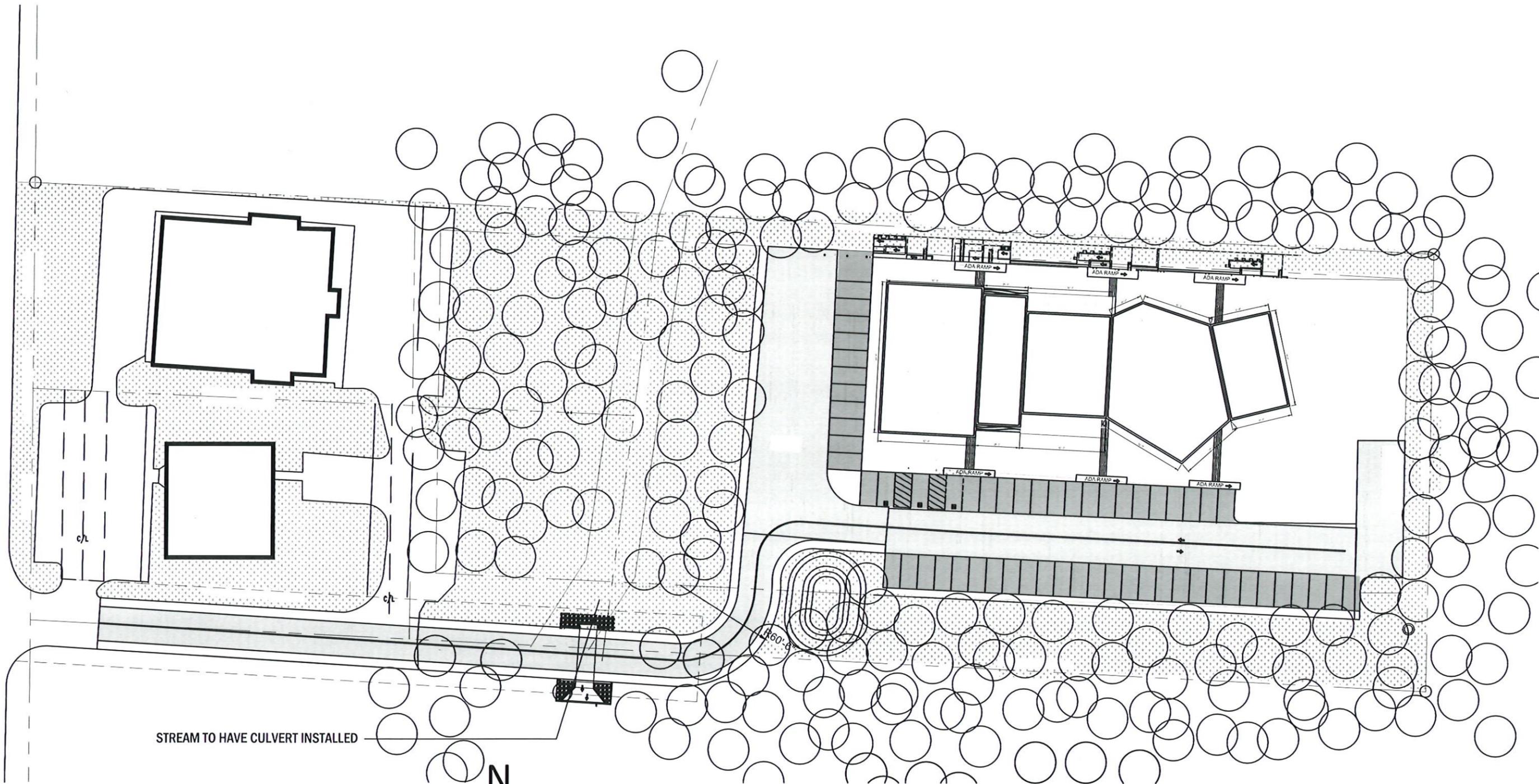
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C 400



STREAM TO HAVE CULVERT INSTALLED

N

1

# LANDSCAPING PLAN

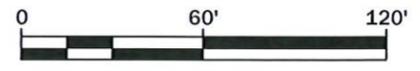
SCALE: 1" = 60'-0"



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0 500



1

# NORTH ELEVATION

SCALE: 1/16" = 1'-0"



2

# WEST ELEVATION

SCALE: 1/16" = 1'-0"



3

# EAST ELEVATION

SCALE: 1/16" = 1'-0"



4

# SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



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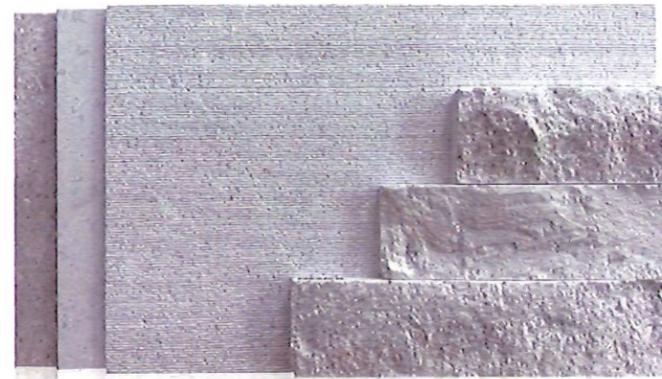
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DEVELOPMENT

A 100



## EXTERIOR WOOD PANELING

MANUFACTURER: FRONTEK  
 MODEL NO.: W300  
 COLOR: POPLAR WOOD PLANK



## EXTERIOR STONE VENEER

MANUFACTURER: ARCHITESSA  
 MODEL NO.: 63610061780  
 COLOR: NATURAL STONE



## BRAKE METAL TRIM

MANUFACTURER: TBD BY GC  
 MODEL NO.: N/A  
 COLOR: BLACK

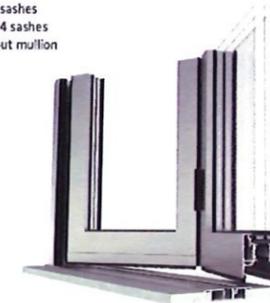
## BI-FOLD PANORAMIC WALL



### DESIGN ESSENTIALS

#### STANDARD FEATURES

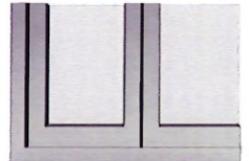
- Operation:
  - Inward Opening: Bi-fold from 2 to 14 sashes
  - Outward Opening: Bi-fold from 2 to 14 sashes
  - Possibility of a 90° corner sash without mullion
- Maximum dimensions/sash:
  - Width 47-1/4" (1,200 mm)
  - Height 118" (3,000 mm)
- Sections:
  - Frame: 2-7/8" (73 mm)
  - Sash: 2-7/8" (73 mm)
- Profile thickness:
  - Door: 1-1/16" (1.8 mm)
- Polyamide strip length:
  - Frame: 3/4" (20 mm)
  - Sash: 1-3/16" (30 mm)
- Max weight/sash: 264lb. (120kg)
- Max glazing: 1-3/4" (45 mm)



OPTIONAL EMBEDDED ULTRA-LOW THRESHOLD

#### OPTIONS

- DUAL COLOR
- WIDE RANGE OF GLASS OPTIONS
- ANTI-BACTERIAL POWDER COATING
- ADJUSTABLE JAMB
- ARGON GAS INFILL
- LOW-E ENERGY-CONSERVING GLASS
- UNLIMITED COLORS (ANODIZED AND POWDER COAT)
- INSULATING PILE WEATHERSTRIPPING AND PERIMETER SEALS
- SYSTEM ALLOWS FOR DOUBLE AND TRIPLE CLAZING
- SECURITY AND ANTI-THEFT HARDWARE



ULTRA-SLIM CENTRAL SASH (4-3/8")

## BI-FOLD PANORAMIC WALL



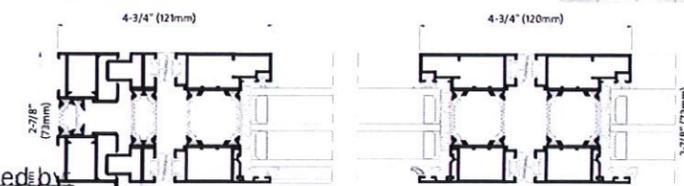
### FLEXIBILITY AND PERFORMANCE

Vetrina's Panoramic V-Wall Aluminum Bi-Fold Door System is designed for use in both residential and commercial applications. Constructed from the highest grade 6063 T-5 thermal extrusion aluminum alloy, our bottom-running Bi-Fold system can be configured to be outward- or inward-opening as specified, and includes a choice of "fully weathered" or "low level" sills, as well as a range of integrated locking solutions for all levels of access control and security. The Bi-Fold system utilizes adjustable jamba technology for achieving a perfect fit.

#### PERFORMANCE

| DESCRIPTION                    | VALUE*            |
|--------------------------------|-------------------|
| Class:**                       | CW PC30 (type SP) |
| Air Infiltration (cfm/ft²)     | 0.1               |
| Water resistance (psf)         | 12.53             |
| U-Value                        | 0.36              |
| Maximum glazing thickness (in) | 1-3/4             |

\*Values may vary depending on glazing packages utilized. Use of thermally efficient polyamide strips ensures better U-values.  
 \*\*Test Specifications: NAFS North American Fenestration Standard/specification for windows, doors, and skylights; AAMA/WDMA/CSA 1011.5 2015 2014-08, 2014-09-09, Canadian Supplement; AS 1547 04-14 Forced Entry Resistance Tests for Sliding Glass Doors; CAWV 309-96 Forced Entry Resistance Tests for Sliding Glass Doors; and AAMA 1014-02 Forced Entry Resistance Tests for Side Hinged Doors. Full report available upon request.  
 Primary Designer: Class - CW PC30 3810 x 2438 mm (150 x 96 in) Type: SP, Date of Test Report: 12-05-2019



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RETAIL DEVELOPMENT



# **The Lawn @ SR73 & Clearcreek- Franklin Road**

**Rezoning, mixed  
use development  
w/multi-family,  
residential, retail &  
public spaces**

# APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN     FINAL DEVELOPMENT PLAN     RECORD PLAN     VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner                    **APPLICANT NAME:**                    Taft Stettinus & Hollister LLP, c/o Sonya Jindal Tork, Esq.  
 Agent  
 Lessee                    Address                    425 Walnut Street, Suite 1800  
 Signed Purchase                    Cincinnati, OH 45202  
Contract

Telephone No. ( 513 ) 498-8756  
Fax No. ( 513 ) 381-0205  
Email Address jindal@taftlaw.com

**PROPERTY OWNER NAME (IF OTHER):** Anne Easton-Hansen, Charles A. Easton,  
Terry C. Easton, James Kevin Swallow, Carrie Kendall

Address: 503 Watkins Pond Blvd.  
Rockville, MD 20850

Telephone No. ( 937 ) 776-9813

Property Address or General Location: 0 W. Central Avenue Springboro, OH 45066

Parcel Number(s): 0414301006                    Acreage: 35.601

PUD Category:  Residential     Retail     Office     Manufacturing     Mixed Use

If Mixed Use, Acreage in Each Category: Please see the General Plan for the acreage by category.

For Residential Proposed Density 20.8 du/ac                    Number of Residential Units 327

Proposed Use: The proposed use is a mixed-use development featuring multi-family  
residential, retail, and public space.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

*Sonya Jindal*  
(Signature of Applicant and/or Agent)

9/18/2025  
(Date)

Sonya Jindal Tork, Esq.  
Printed Name

## **List of Changes on the PUD Application**

1. The traffic impact study has been updated to incorporate the City's suggested changes.
2. The Development Plan has been relabeled as the "General Plan."
3. Permitted uses have been added to the General Plan.
4. The table from page 17 of the submittal booklet has been incorporated into the General Plan.
5. The residential density statement has been revised to 20.8 units per acre.
6. A description of the carriage houses has been included on page 10 of the PUD booklet.
7. Minor vehicle repair has been removed as a permitted use in the retail component.
8. Public Water Supply (PWS) has been removed as a permitted use in the retail component.
9. Outdoor dining has been added as a permitted use on page 12.
10. Parking requirements on page 19 have been confirmed to meet the standards outlined in Chapter 1279 of the City Code.
11. A Property Owners Association (POA)/Homeowners Association (HOA) will be established prior to permit issuance, as noted on page 10 of the PUD booklet.
12. A note on page 20 references Chapter 1281, stating that "All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning and Zoning Code."
13. A note has been added to page 19 referencing Chapter 1280 parking lot landscaping requirements.
14. Imagery of the proposed signage has been included on page 20 of the PUD booklet.

[ SEPTEMBER 19, 2025 ]

PLANNED UNIT DEVELOPMENT APPLICATION

CITY OF SPRINGBORO, OHIO

PLANNING COMMISSION

# THE LAWN SPRINGBORO

PREPARED BY: **K+CO.**

# Development Team

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info@kingsleyandcompany.com

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#### DESIGN

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### SONYA JINDAL TORK, LEGAL COUNSEL

Email: jindal@taftlaw.com

# Introduction

The Lawn in Springboro, Ohio, (project site) is located along West Central Avenue adjacent to The Enclave of Springboro (355 W Central Ave) and Tractor Supply Co. (505 W Central Ave). The 35-acre site sits centrally between the I-75 interchange and Wright Station at the Central Avenue and Main Street intersection and is across from the SureCare Medical Center and Springboro Municipal Building. Twin Creek runs through the middle of the site, providing a valuable natural asset.

The vision for the proposed mixed-use development of The Lawn supports the City's implementation of key goals and objectives included in the 2022 Springboro Master Plan. The Master Plan is founded on four themes: growth, experience, connectivity, and identity. The Lawn advances aspects of all four by: enhancing an existing neighborhood and community assets, introducing a diverse set of new housing types and retail opportunities, activating a vacant site, providing new pedestrian and bicycle connections, and enhancing the visual identity of Springboro along a major roadway.

The Lawn further aligns with the Master Plan's recommended Future Land Use. The project site is identified as mixed-use and is located within the Plan's Policy Area 7: City Services Center (p.60). This is described as a transitional area between the highway-oriented development patterns and the convenience retail focus at the Central Avenue & Main Street intersection. PA7 encourages these aspects which have been incorporated into the proposed Concept Plan for The Lawn:

- Pedestrian access along SR 73/Central Ave
- Retail to serve adjacent residents
- Connection between North Park and the Community Park
- Buildings oriented to SR73/Central Ave
- Mix of residential types
- Development that serves as a buffer between non-residential uses and surrounding neighborhoods



The 2022 Master Plan also provides connectivity recommendations. The proposed Concept Plan will “enhance pedestrian connections to adjacent residential areas” (p.90) through separated walkways, multi-use paths, and safe street crossings. It will also “enhance the character of the major roadways to slow down traffic” (p.94) by orienting buildings toward West Central Avenue and providing sidewalks, street trees, pedestrian-scaled fixtures, and mid-block crossings.

The thorough community engagement conducted throughout the master planning process provides an additional understanding of community preferences relevant to this proposed Concept Plan. Within the topic of housing, residents noted “a desire to see housing more friendly to young professionals, single people, young families, and older retirees (p. 20).” A majority of residents who intend to move within the next 5 years want to remain in Springboro and are seeking a smaller residence. Denser housing typologies like townhomes and small apartment buildings were most encouraged along Central Avenue and Main Street. Plan participants most commonly requested “more trails, parks, and naturalized areas” (p.19) when asked about future open space improvements. Additionally, residents are eager to have high-end dining, cafes, and entertainment venues to enjoy within Springboro. When presented with three growth scenarios, a balanced approach to development was most favored among plan participants (48%, p.24-25). This scenario included a diverse housing stock designed to attract younger and older populations and support new retail options while limiting impacts on the local school system.

The Lawn concept further provides an opportunity to implement a portion of a key project described in the 2020 Bicycle and Pedestrian Plan. The Plan describes a vision for a future Central Greenway intended to serve as the backbone of the City’s pedestrian and bicycle network. When built, the Central Greenway will link neighborhoods, parks, and people to each other and the regional trail system. This proposed concept plan incorporates trail development along the Twin Creek connecting North Park to the Community Park.



# PLANNING COMMISSION APPROVAL CRITERIA

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Fulfillment of all Requirements for Planning Commission Recommendation under Springboro Zoning Code Section 1266.10

The Lawn proposed development and its related application for amendment of the zoning map and General Plan meet all of the criteria required for the Planning Commission to recommend an amendment to the Official Zoning Map of the City of Springboro and the General Plan for approval to City Council, as outlined in Springboro Code Section 1266.10.

1. **Conformance with General Development Plan:** The proposed PUD zoning and General Plan for The Lawn Springboro are fully aligned with the City of Springboro's Master Plan (which replaced its previous General Development Plan), supporting plans, and related legislation. This alignment is particularly evident in how the project embodies the vision for Policy Area 7 (Central SR 73 Corridor), as outlined in the Master Plan. Specifically, The Lawn Springboro aligns with Policy Area 7 by:
  - Encouraging mixed-use development along a major corridor: The project's integration of residential, retail, and recreational spaces creates a vibrant mixed-use environment along the SR 73 corridor, precisely as envisioned in the Master Plan. This approach promotes a dynamic and interconnected community where residents can live, work, and play.
  - Supporting a blend of residential and commercial uses: The project thoughtfully balances residential and commercial elements, fostering a sense of community and providing convenient access to amenities for residents. This balanced approach aligns with the Master Plan's goal of creating diverse and sustainable neighborhoods.
  - Promoting walkability, connectivity, and community gathering spaces: The Lawn Springboro prioritizes pedestrian-friendly design, with interconnected walkways, inviting public spaces, and a focus on creating a walkable environment. This emphasis on connectivity and community gathering spaces directly supports the Master Plan's vision for Policy Area 7.

Furthermore, The Lawn Springboro's location in the SR 73 corridor aligns with the Master Plan's emphasis on strategic growth in this area. The Future Land Use Map specifically identifies this corridor as a key area for development that enhances community engagement and economic activity. By bringing new residents, businesses, and recreational opportunities to the area, The Lawn Springboro directly contributes to the realization of this vision.

2. **Justification for PUD Exemption:** An exemption to conventional zoning is fully justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more successfully implemented through the use of PUD zoning. Specifically, PUD zoning allows The Lawn Springboro to better achieve the City's vision and goals in the following ways:

- Encourages diverse housing options: The PUD enables the inclusion of a variety of housing types, including carriage houses, townhomes, and walk-up residential units. This diversity provides a range of housing options to meet the needs of a wider population and promotes a more inclusive community.
- Integrates housing, retail, and recreational spaces: The PUD facilitates the seamless integration of residential, commercial, and recreational spaces, creating a vibrant, pedestrian-friendly environment. This mixed-use approach fosters a sense of community and provides convenient access to amenities for residents.
- Enhances placemaking efforts: The PUD supports the creation of a strong sense of place, with well-designed public spaces, interconnected walkways, and a focus on community interaction. This aligns with the City's long-term goals of creating attractive and engaging public spaces.
- Provides flexibility in design and layout: The PUD offers the flexibility needed to achieve innovative design solutions that conventional zoning cannot accommodate. This allows for a more creative and responsive approach to site planning and development.

By utilizing PUD zoning, The Lawn Springboro can better align with Springboro's vision for a vibrant, mixed-use, pedestrian-oriented community. Conventional zoning, with its stricter regulations on land use and density, would limit the project's ability to achieve these goals. The PUD provides the necessary flexibility to create a development that truly embodies the City's vision for the future.

3. **Compatibility with Site and Surrounding Land Uses:** The Lawn Springboro’s General Plan is compatible with the site’s topography, location, and surrounding land uses, ensuring a harmonious integration with the existing community.
- **Strategic Location:** The site is strategically positioned along SR 73, an area designated for growth and mixed-use development in the City’s Comprehensive Plan. This alignment with the City’s vision for the area supports the project’s compatibility.
  - **Balanced Land Use Transition:** The proposed retail spaces will complement existing commercial corridors along SR 73, ensuring a balanced transition from the surrounding residential areas to commercial uses. This thoughtful approach to land use minimizes disruption to the existing neighborhood character.
  - **Minimal Nuisance Potential:** The development’s focus on residential and light commercial uses eliminates concerns about noise, smoke, dust, and debris typically associated with industrial or heavy commercial activities. This ensures a positive relationship with surrounding land uses.
  - **Sensitive Site Design:** The site’s gentle slope allows for efficient stormwater management and the creation of varied and attractive streetscapes. The proposed building heights and setbacks are carefully considered to respect the privacy and light access of surrounding residential properties.
  - **Mitigation Measures:** To further minimize any potential impacts, the development will incorporate landscaping and buffering to reduce noise and visual impacts. Commercial uses will be strategically located and designed to minimize any disruption to nearby residential areas.
4. **Support for Public Improvements:** The General Plan is carefully designed to support and enhance existing infrastructure, including streets, utilities, other public improvements, and pedestrian connectivity. The development will connect to existing roadways and implement necessary street improvements such as turning lanes and traffic signal coordination. The Developer will coordinate with the City to ensure adequate utility capacity and develop pedestrian connections, including a trail system and pedestrian bridge, aligning with Springboro’s Bicycle and Pedestrian Plan.
5. **Efficient and Economic Use of Land:** The General Plan represents an efficient and economic use of the land in view of the community’s need for a balance of land uses. \The proposed development optimizes land utilization by integrating 335 residential units, 55,000-80,000 square feet of retail space, and community-focused green areas. This compact, walkable environment encourages local economic activity and enhances the quality of life for residents by providing convenient access to essential services and recreational amenities.
6. **Availability of Public Services:** All necessary public streets, utilities, and services are either available or will be extended to support the development. Specifically, water and sewer services are accessible, with the developer responsible for extending these utilities as needed. Roadway improvements along SR 73 will be undertaken to accommodate increased traffic, and emergency services and waste management will be fully supported within the project’s design.

7. **Justification for Exception from Conventional Zoning:** An exception from conventional zoning is warranted for The Lawn Springboro because it allows for the achievement of key design goals and community objectives that are not possible under traditional zoning regulations. The PUD provides the flexibility needed to create a truly unique and integrated development that aligns with the City's vision for the future. Specifically, the PUD is justified by the following factors:

- **Creating a Cohesive, Walkable Environment:** Traditional zoning would severely limit the density and mixed-use potential of the development, hindering the creation of a walkable, pedestrian-friendly environment. The PUD allows for the seamless integration of residential, commercial, and recreational spaces, fostering a sense of community and reducing reliance on automobiles.
- **Addressing Housing Needs:** The variety of housing types offered within The Lawn Springboro, including townhomes, walk-up apartments, and carriage houses, directly addresses the age-in-place and affordability concerns outlined in the Master Plan. This diversity of housing options caters to a wider range of residents and promotes a more inclusive community.
- **Promoting Economic Growth and Quality of Life:** The integrated retail, dining, and recreation areas create a vibrant hub of activity that supports both economic growth and an enhanced quality of life for residents. This unique development model fosters a sense of community and provides convenient access to amenities.

The Lawn Springboro's PUD zoning enables the creation of a dynamic and integrated community that would not be possible under conventional zoning. This exception allows the project to better align with the City's vision for a thriving, pedestrian-friendly, and inclusive community.

8. **Protection of Natural Assets:** The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic. Additionally, the developer will work with the Army Corps of Engineers and the EPA to remediate a stream on the western portion of the site, ensuring environmental integrity and long-term sustainability. The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.

9. **Positive Effect on Health, Safety, and Welfare:** The proposed PUD will have a substantial positive impact on the health, safety, and general welfare of Springboro by expanding housing options to meet growing demand, creating job opportunities through new retail and service establishments, improving public spaces and recreational areas to encourage active lifestyles, enhancing pedestrian safety with dedicated trails and street improvements to reduce vehicle congestion, and boosting the city's tax base, supporting long-term community benefits.

10. **Implementability of General Plan:** The General Plan is structured to ensure seamless implementation through a Final Development Plan that adheres to all City requirements. The developer is committed to working closely with Springboro’s planning department to ensure alignment with zoning codes and land use regulations, efficient phasing of construction to minimize disruption, and delivery of high-quality design standards, ensuring the development remains a long-term asset to the City.

The Lawn PUD rezoning application and General Plan demonstrably satisfy all the criteria outlined in Springboro Zoning Code Section 1266.10. The proposed development is consistent with the City's planning documents, provides significant community benefits, and represents a well-planned and sustainable approach to development.

# Master Plan

**THE  
LAWN**

# Overview / Site Design

The City of Springboro has been working hard to incrementally improve and bring vitality to its West Central Avenue corridor. It also has been focused on becoming a preeminent trail town, connecting residents and visitors to outdoor recreation throughout the city. The Lawn at Springboro addresses these twin objectives from the ground up, creating a new highly amenitized neighborhood around an expanded park and trail network.

In addition to over five acres of park and 5,075 linear feet of new trails, the new master planned neighborhood will consist of a mix of convenience and food/beverage retail anchored by a destination hospitality experience (ie “The Lawn”) adjacent to the park. It will also have the opportunity to accommodate one or more mid-sized offices and a range of residential units with trailside access. The units will range from studios to three-bedroom in the form of carriage units, apartments, and townhomes.

An Association shall be created that maintains shared facilities that exist on private properties.



# The Master Plan



|                               |            |
|-------------------------------|------------|
| <b>Parcel Number</b>          | 0414301006 |
| <b>Acreage</b>                | 35.601     |
| <b>PUD Category</b>           | Mixed-Use  |
| <b>West District</b>          |            |
| Residential (ac)              | 11.079     |
| Retail (ac)                   | 6.031      |
| <b>East District</b>          |            |
| Residential (ac)              | 2.374      |
| Commercial Retail/Office (ac) | 2.212      |
| Hospitality (ac)              | 3.323      |
| <b>Other</b>                  |            |
| Parks/Public (ac)             | 4.662      |
| Rights of way (ac)            | 5.92       |
| Total Units (du)              | 327        |
| Average Density (du/ac)       | 20.8       |
| Length of Trails (lf)         | 5,075      |

## PROPOSED USES

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### The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Attached townhome
- Carriage Unit
- Duplex/Attached/Two-Family Dwelling
- Triplex

### The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Restaurant- Outdoor Dining
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station

# Common Spaces

The Lawn is all about bringing the residents of and visitors to Springboro together in a shared experience. This ethos centers on a four-acre park that provides a new front door to the park from West Central Avenue. Furthering Springboro's vision as a trail town, the park expansion also includes 2,475 linear feet of new publicly accessible trails.

Addressing the park and trails are two halves to the proposed master planned neighborhood. The east side of the park is anchored by a destination hospitality experience (ie "The Lawn") that is intended to combine food, an active biergarten, and active recreation such as, but not limited to, yard games, pickleball, and sand volleyball. Also on the park's eastern edge will be a commercial site and townhouses. Both of these supportive uses place their front doors and gardens along access drives or the park.

To the west of the park, the trail network extends into a largely residential community that includes a clubhouse that separates the public aspects of the trail from the private courtyards of the residential community. While each structure within the community will have patios or balconies associated with the units, the site, overall, is expected to have common open spaces that comprise approximately 9% of the community. Retail lines the West Central Avenue frontage and will include sidewalks and frontage landscape that complements the West Central Avenue streetscape and signage. It will be an integral part of an important gateway to Springboro.

The minimum amount of open space assumed to be part of each created lot is included in this application's Design Guidelines.

## TOPOGRAPHIC AND HYDROLOGICAL FACTORS

The two major topographic challenges with this site are the two streams running through the site. One running from the northwest corner of the site through the western portion of the site before tying into the larger stream. The larger stream splits the site in two and content FEMA floodway and associated 100-year floodplain.

The smaller of the two streams starting at the northwest corner will be piped shortly after entering the site and piped under most of the development before being released at the same point where the stream ties into the larger stream on-site. The larger stream will be left intact throughout development and will have trails along it as required by the City of Springboro's mobility plan. Any earthmoving will be kept out of the FEMA restricted floodway

An exhibit has been provided showing the topo on site along with the FEMA mapped floodways and floodplains.



## COMMON AREA MAINTENANCE

The Lawn Springboro will establish a Property Owners' Association (POA) responsible for the care and maintenance of all open spaces and recreational facilities within the development. The master developer will oversee maintenance operations, ensuring high-quality upkeep of landscaped areas, pedestrian pathways, plazas, and recreational amenities. Each tenant and property owner within the development will contribute to a Common Area Maintenance (CAM)-style fee, which will fund landscaping, lighting, cleaning, and repairs, ensuring long-term sustainability and aesthetic appeal of shared spaces.

# Legal

## DECLARATION OF LEGAL CONTROL AND OWNERSHIP INTERESTS

This Declaration is made as of the date set forth below by **Kingsley + Co.** (“Developer”), in connection with the zoning application for the proposed development located at **0 W. Central Ave. Springboro, OH 45066 (Parcel No. 0414301006)** (the “Property”).

### 1. Legal Control of the Property

The Developer hereby declares and affirms that it has legal control of the Property through an executed Purchase Agreement between Developer and the Property owners, who have signed letters of authorization, attached as Exhibit A.

### 2. Ownership and Beneficial Interests

The current ownership and beneficial interests in the Property and the proposed development are as follows:

- Property Owner(s):** Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall
- Developer Entity:** Kingsley + Co.
- Beneficial Interest Holders:** None
- Development Partnership Structure:** TBD at the time of purchasing the property. Kingsley + Co. will retain ownership and/or interest in the development.

### 3. Proposed Development

The Developer intends to undertake a mixed-use development on the Property, consistent with the rezoning request. The proposed development is a mixed-use development featuring residential, retail, and recreational spaces, designed to enhance walkability, community engagement, and connectivity to nearby parks and amenities.

### 4. Affirmation

The Developer affirms that the information provided herein is accurate and complete to the best of its knowledge and that it has the necessary authority to submit this zoning application.

**Executed this 20th day of March, 2025.**

**Developer:**  
Kingsley + Co.

By:   
Chinedum Ndukwe  
President + CEO

**OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN**

I, Charles A Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 5 day of <sup>March</sup>~~February~~, 2025.

**Property Owner:**

Name: Charles A Easton

Signature: Charles A Easton

Title: OWNER 1/4 UNDIVIDED

**OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN**

I, Anne Easton-Hansen, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of March, 2025.

**Property Owner:**

Name: Anne Easton-Hansen

Signature: 

Title: Owner

**OWNER’S AUTHORIZATION FOR ZONING APPLICATION AND  
GENERAL PLAN**

I, Terry C. Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the “Property”).

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of February, 2025.      13, March, 2025

**Property Owner:**

Name: Terry C. Easton

**Signature:** s Terry C. Easton

Title: Owner

**OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN**

I, Carrie Kendall, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13 <sup>March</sup> day of February, 2025.

**Property Owner:**

Name: Carrie Kendall

Signature: Carrie Kendall

Title: Owner

**OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN**

I, James Kevin Swallow, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this \_\_\_\_\_ day of February, 2025.

**Property Owner:**

Name: James Kevin Swallow

Signature: James Kevin Swallow

Title: \_\_\_\_\_

# Design Guidelines

**THE  
LAWN**

# Overview

The Lawn is envisioned to be a colorful and modern neighborhood nestled against the park. Its look and feel will be contemporary, clean, lush, and active with its brand identity rooted in gathering for people of all ages. The look, feel, and identity is woven throughout all aspects of the site and building design standards for the neighborhood’s development.

This vision is also represented in the mix of uses that will be attracted to the site. Retail and commercial spaces will address West Central Avenue while the park will be the shared address for hospitality and residential uses. Residential buildings will be a blend of human-scaled carriage units, townhouses, and apartment buildings that each face a courtyard, trail, and/or the park itself.

## PERMITTED USES

|   | Minimum Lot Width or Area | Minimum Open Space | Front Yard Setback | Sum of Side Yard Setback | Rear Yard Setback | Maximum Occupied Height | Minimum Occupied Height |
|---|---------------------------|--------------------|--------------------|--------------------------|-------------------|-------------------------|-------------------------|
| <b>Single Use Retail</b>                              | 60'                       | 5%                 | 10'                | 10'                      | 5'                | 2 stories               | 1 story                 |
| <b>Multiple/Mixed Use</b>                             | 80'                       | 5%                 | 10'                | 10'                      | 5'                | 3 stories               | 1 story                 |
| <b>Commercial</b>                                     | 60'                       | 10%                | 10'                | 10'                      | 5'                | 3 stories               | 1 story                 |
| <b>Hospitality</b>                                    | 60'                       | 10%                | 10'                | 15'                      | 5'                | 2 stories               | 1 story                 |
| <b>Multi-Family Residential Areas</b>                 | 80'                       | 15%                | 5'                 | 10'                      | 5'                | 3 stories               | 2 stories               |
| <b>Multi-Family Attached (Townhomes-East)</b>         | 16'                       | 5%                 | 5'                 | 0'                       | 3'                | 3 stories               | 2 stories               |
| <b>Accessory Structures, including Carriage Units</b> | 20'                       | n/a                | 5'                 | 10'                      | 3'                | 2 stories               | 1 story                 |

# General Site Development

## STREETS AND SITE ACCESS

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### Street Right-of-Way (ROW)

Streets and lanes shall be primarily designed for safe pedestrian and bicycle movements with the following requirements: When divided, drive lanes shall be a minimum of 10 feet (10') wide. In nonmarked lanes, the total clear width shall be a minimum of eighteen feet (18') in width. Sidewalks shall be a minimum of five feet (5') in width. Trails shall be a minimum of twelve feet (12') in width. Planting beds where trees are anticipated shall be a minimum of six feet (6') in width. Flat or raised curbs are permitted. Bollards are permitted to separate vehicular and pedestrian traffic. Speed limits shall not exceed twenty (20) miles per hour.

### Street Radii, Corner Radii & Clear Zones

Intersections shall be primarily designed for safe pedestrian and bicycle movements while ensuring emergency and service vehicles may adequately maneuver. Corner curb radii shall be between eight feet (8') and twenty-five feet (20') as determined by the intended use. Residential areas: up to fifteen feet (15'). Mixed-use areas: up to twenty-five feet (20'). In areas where larger turning radii may be warranted, this need shall be accommodated by mountable curbs and or textured pavements. Clear zones along primary access routes shall be maintained at a twenty-five foot (25') radius to allow emergency vehicles (e.g., fire ladder trucks) to turn corners. Secondary and internal streets and drives shall have a minimum of fifteen foot (15') clear zones.

### Materials

The primary materials used are conventional standard asphalt or concrete. Alternative materials like brick, cobblestone, pavers, or other paving products are also anticipated.

# PARKING

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## Parking Requirements

### *Residential*

A minimum of one car per residential bedroom shall be provided. A minimum of two cars per townhouse unit shall be provided. A non-reserved quarter (¼) parking space shall be provided for every unit. One secure bike parking space shall be provided for every unit. Accommodations for electric charging stations and golf cart parking are encouraged. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

### *Non-residential*

Non-residential parking shall be set by user requirements or per the City requirements, whichever is fewer. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

## Shared Parking

Parking areas that are shared by one or more uses that peak at different times may share up to twenty percent (20%) of the required parking spaces.

## Parking Size and Location

On-street parking stalls shall be a minimum of seven by twenty-four feet (7' x 24') in width and length. Off-street parking stalls shall be a minimum of nine by eighteen feet (9' x 18') in width and length. The minimum drive aisle width shall be twenty-four feet (24') in width. Both on and off-street parking shall contribute to meeting the minimum parking requirements.

Parking shall be to the side or rear of buildings unless that building's primary orientation is to the park or trail in which case the primary location of the parking shall be to the side of the structure. In all cases, clear pedestrian passage from sidewalks and/or trails to the primary entrance to the building shall be clearly delineated and designed.

## Parking Lot Landscape

Landscape islands/beds of at least five feet (5') in width must be provided at end caps of parking aisles. Parking lots that abut a street or lane for greater than sixty linear feet shall maintain a minimum five foot (5') planting bed along the edge. Parking lots that abut property that is not included in the master planned site, a minimum of ten feet (10') planting area shall be maintained. For other specifications, reference City requirements on Chapter 1280.

# SITE SIGNAGE

The project shall include an overall project identity for entries, streets, and general wayfinding. Public facility signage will be established by the City. Individual project signage criteria will be developed as projects progress. All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning Zoning Code.



Reference imagery for entrance and wayfinding signage.

## **OTHER INFRASTRUCTURE**

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Minimizing the visual impact of utility and equipment may be accomplished by locating them discreetly and screening them from public view using various methods such as landscaping, walls, fences, and architectural elements. The goal is to maintain an aesthetically pleasing streetscape and protect the visual quality of public spaces.

### **Utility Easements along Streets**

All public street utility easements should be accommodated within the planned street rights-of-way (ROW) or designated service lanes whenever feasible. These easements should be placed beneath pavement, landscaping, or sidewalks as needed. Any deviation from this standard will be considered by the City only in cases where specific site development requirements demonstrate that a variation is necessary.

Utility cabinets should be placed discreetly and screened with plant material. Exposed structures requiring open-air locations, such as rooftop mechanical/HVAC equipment, utility, and/or other functional hardware, must be adequately screened from public view. If a structure has a rooftop, these features must be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than fifty feet (50') or beyond any public-facing elevation that can be viewed from any public view. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal (excluding menu boards).

### **Loading Space Requirements**

Retail and commercial areas, loading may be accomplished at specific curbside or parking lot locations as practical and necessary. Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character.

### **Screen Wall Construction and Materials**

Masonry, brick, stone, decorative block, composite materials, pressure-treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached or free-standing service areas and bays. Storage facilities shall feature walls that reflect the surrounding architectural character and tall-growth landscaping.

# Public Space

## LANDSCAPE

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### Plant Material Selection

Plant materials should be chosen for their ability to thrive in the Springboro climate, moderate growth rate, and achievable maintenance requirements. All planted surfaces, whether in-ground or raised landscape beds, shall be fully irrigated and well-maintained.

The landscape design should consider the entire development site and consist of a mix of plants with year-round appeal, including annuals, perennials, shrubs, and trees. Plant selection for public facilities will be at the City's discretion.

## LIGHTING

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### Public Space Lighting

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

### Lighting Design

All outdoor lighting shall be directed so as to prevent night sky pollution, glare on adjacent properties and streets, and to shield the lighting from residences, to the maximum extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of The Lawn.

### Decorative Accent/ Architectural Lighting

Decorative accent/architectural lighting meant to illuminate a building feature or surface, is permitted in so much as it does not conflict with other standards included in this document.

## SITE FURNISHINGS/COMMON AREAS

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### Pedestrian Access

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

## **Streetscape**

All major roads or circulation routes shall be planted with the same or otherwise complementary species and cultivar of street tree. Street tree species shall be selected to allow growth into a continuous sidewalk canopy and to provide shade, to the extent possible, the street. Street trees shall be spaced at equal intervals (approximately thirty feet depending on species) along street frontage to establish a consistent edge. Entrances/exits must not include plantings that obscure sight lines within three feet (3') and seven feet (7') above the finished grade.

## **DRAINAGE AND WATER DETENTION**

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Stormwater management will be handled throughout the site by storm sewers that ultimately lead to either detention or retention basins that will control water quality and runoff control for the development. Locations for these basin will be determined further into design.

## **SIGNAGE, WAYFINDING, AND GRAPHICS**

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### **Project Signage/Brand**

A unified approach to signage shall be incorporated to enhance wayfinding, create visual consistency, and improve identification across The Lawn. Sign sizes should generally correspond to the scale of the structure they accompany. All signs must maintain uniformity in type, material, and color. A clear signage hierarchy will be established to support area recognition, business identification, directional guidance, and other related signage needs. Springboro Ordinance 96-38, Section 826 of the Springboro Sign Code contains additional details.

### **Individual Project and/or Tenant Sign Criteria**

Signage for multi-tenant properties must present a coordinated design. A cohesive design theme shall be applied to all signage, regardless of variations in size or placement.

## **OUTDOOR STORAGE**

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On occasion, Outside Storage may be necessary in multi-family amenity areas and retail areas where outdoor dining and related activities are anticipated. Outside storage of merchandise, raw material, finished products, and/or equipment must be visually screened from any publicly visible right-of-way and private roadways.

# Building Design

## GENERAL ARCHITECTURAL CHARACTER

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The Lawn's design aims to ensure consistent, high-quality design, materials, and construction that align with Site Development.

## ORIENTATION TO STREET

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Buildings shall orient themselves to the following preferential order, depending on the relevance to their specific location: trail, park, and then the street. Buildings located at the intersections of one or more of these types of addresses should be designed to meet both by 'turning the corner' with appropriate design attention given.

## BUILDING MASSING AND REPETITION

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All repeated building types/floor plans shall include a minimum of two facade options, not including options for color or corner treatments when relevant to that plan's usage. No two plans (except for town houses and carriage units) shall be used more than once in a row or across from one another. Any building longer than sixty feet shall be articulated to break down the continuous facade through the use of some combination of the following: window or bay patterns, height, step or setbacks at one or more floor levels, and/or balconies (inset or projecting).

### Building Height

Building heights shall be measured in stories. No building shall exceed three stories above the highest ground on which the building sits. Finished floor elevations for residential buildings shall not be less than eighteen inches (18") above the space the building primarily addresses (i.e. a street, trail, or park).

### Rooflines

Residential roofs may be flat or sloped. Flat roofs, when present, must have parapets or cornices to provide visual interest and screen rooftop equipment. Rooftop decks and patios are encouraged. All parapets and cornice features, including rooftop uses, are exempted from building height measurements.

### Building Materials

Commercial-grade materials are required. Acceptable materials include pre-cast masonry, brick, decorative block, cementitious siding, wood, natural stone, cast or cultured stone, exposed metal, and stucco. Prohibited materials include EIFS, plywood, unadorned corrugated siding, and plastic panels in publicly visible locations.

## **Glass Materials**

Clear or colored glass, translucent, sandblasted, and decorative glass are acceptable. Retail and commercial storefronts should be predominantly clear glass.

## **Visible Roofing Materials**

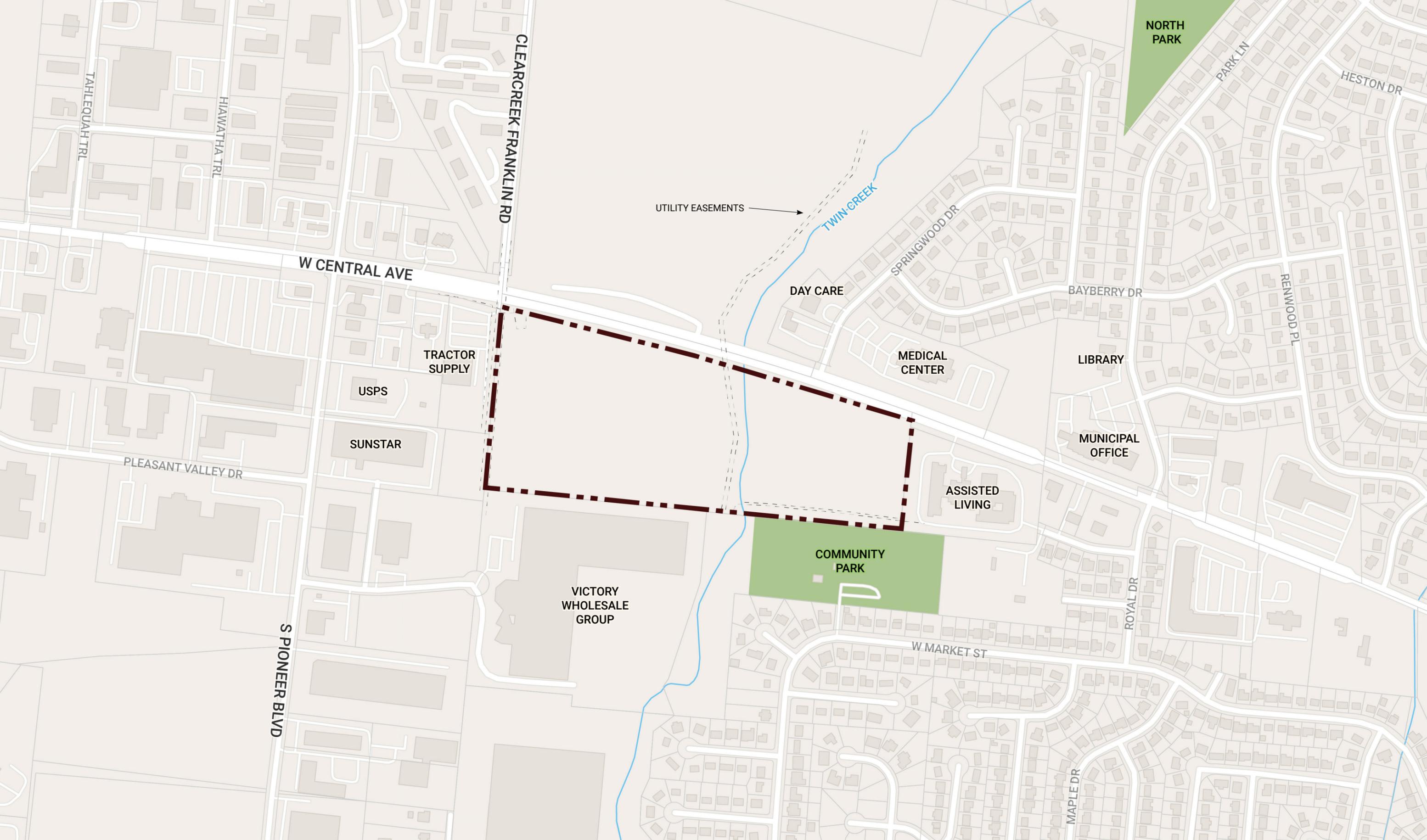
Sloped roofs may use slate-style shingles, fiberglass shingles, or standing seam metal.

## **Building Color**

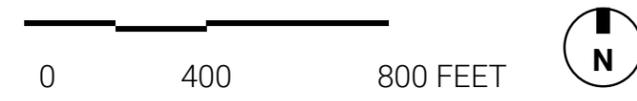
Color schemes should be limited to no more than two colors on a given facade, unless otherwise approved. Color schemes should visually tie the building's massing together. Monolithic color schemes are discouraged, but monochromatic palettes with shade variations are acceptable.

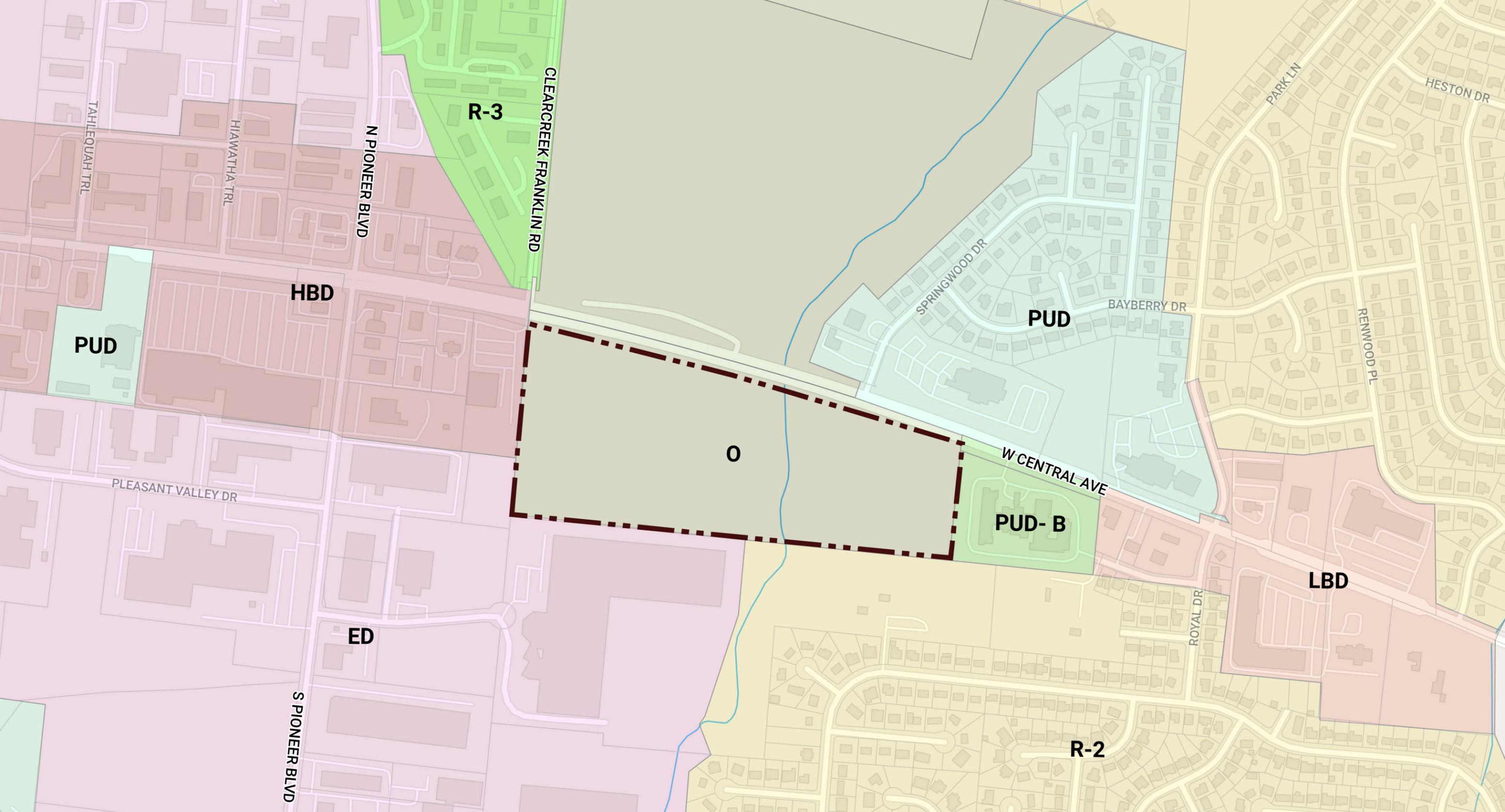
# Appendix & Exhibits

**THE  
LAWN**



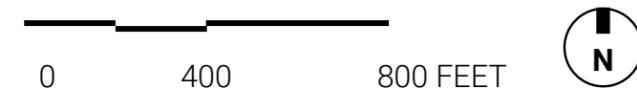
Vicinity Map





# Zoning

- O** - OFFICE PARK DISTRICT
  - HBD** - HIGHWAY BUSINESS DISTRICT
  - LBD** - LOCAL BUSINESS DISTRICT
- PUD** - PLANNED UNIT DEVELOPMENT DISTRICT
  - PUD-B** - PLANNED UNIT DEVELOPMENT-BUSINESS
  - R-2** - LOW DENSITY RESIDENTIAL DISTRICT
- R-3** - MEDIUM DENSITY RESIDENTIAL



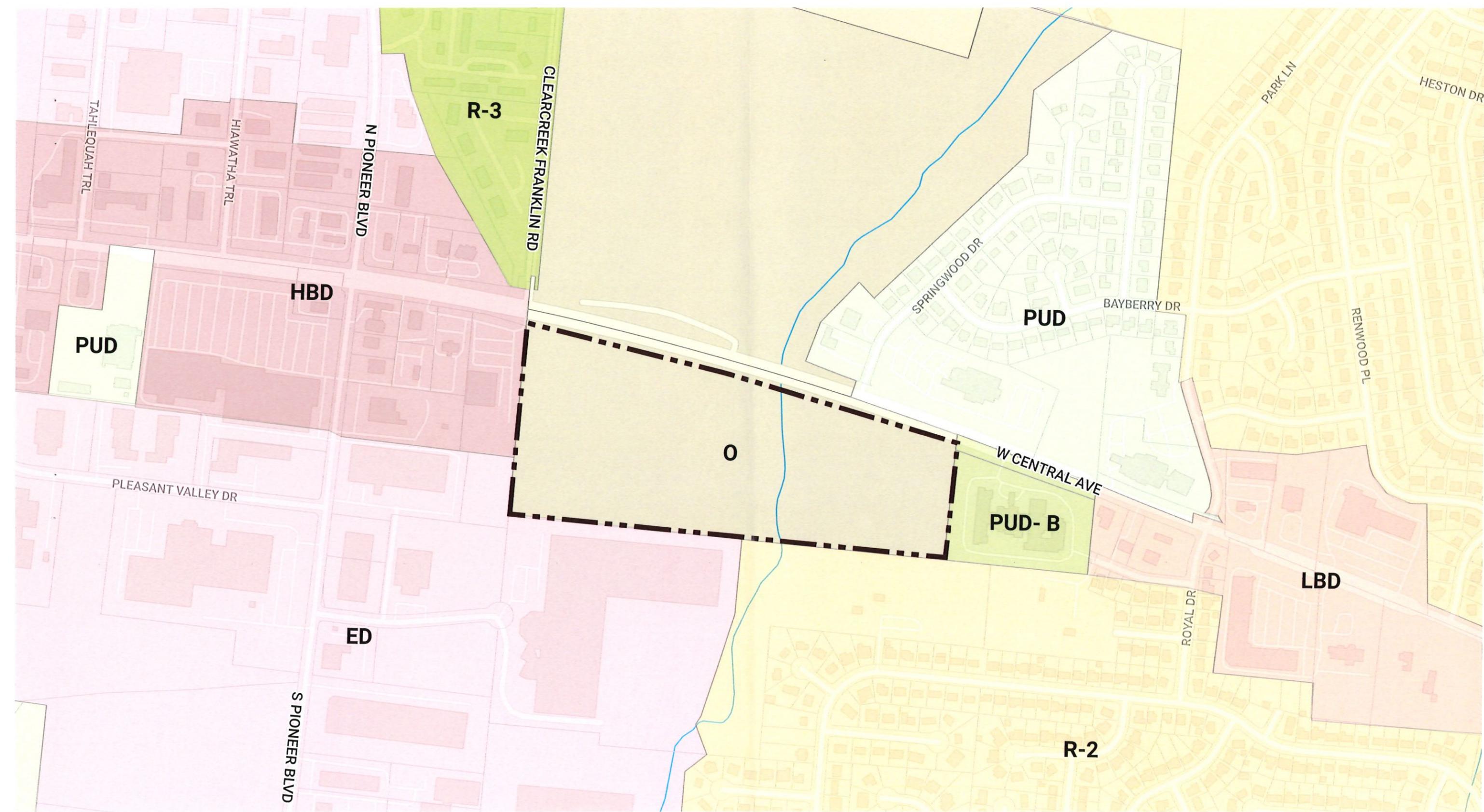
- RETAIL
- MULTI-FAMILY
- TOWNHOMES
- SITE ACCESS
- TRAILS
- PARCEL



# Development Plan



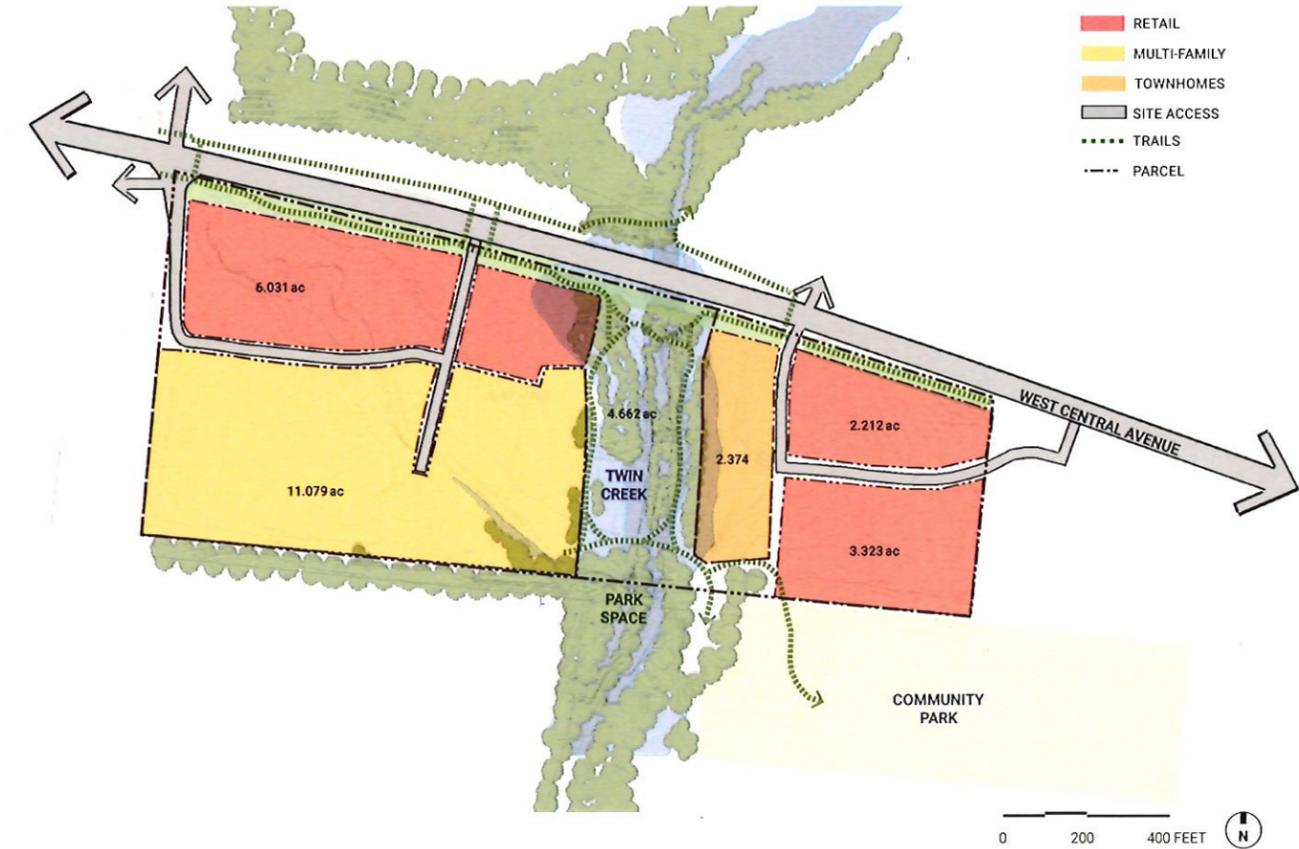
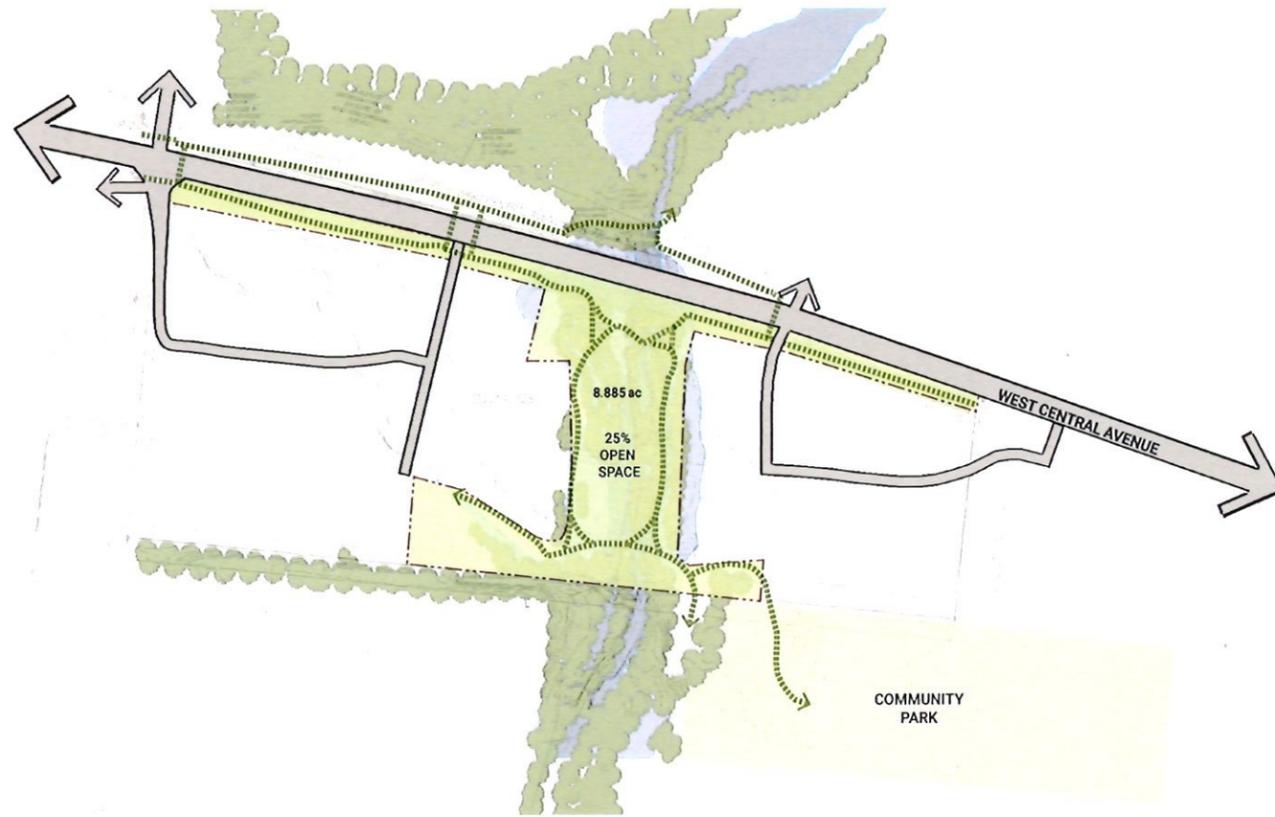
SECTION 2 SECTION 14  
SECTION 15 SECTION 13



**Zoning**

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  - R-2** - LOW DENSITY RESIDENTIAL DISTRICT
- R-3** - MEDIUM DENSITY RESIDENTIAL





**PROPOSED USES**

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Duplex/Attached/Two-Family Dwelling
- Attached townhome
- Triplex
- Carriage Unit

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Restaurant- Outdoor Dining
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station

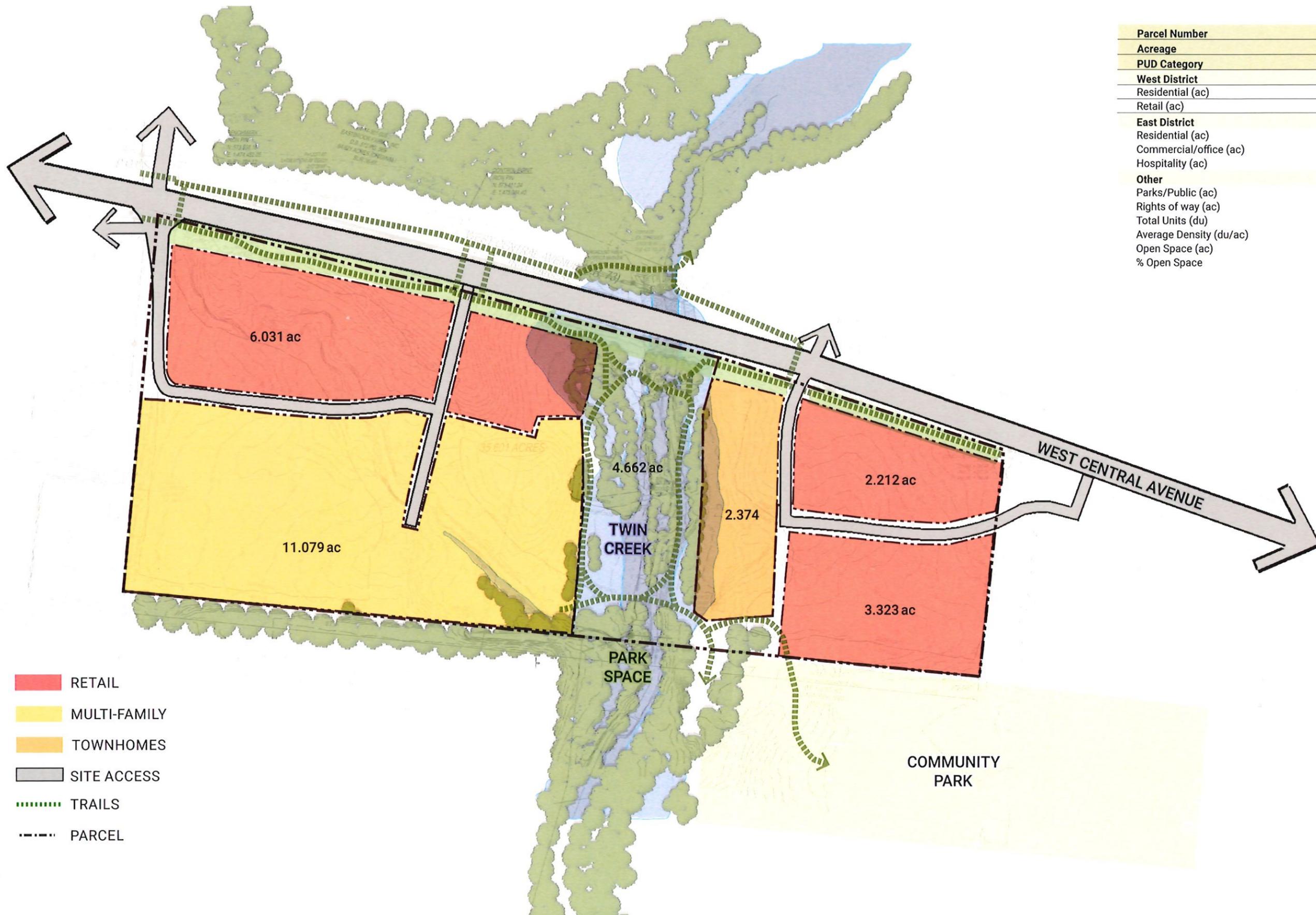
|                         |            |
|-------------------------|------------|
| <b>Parcel Number</b>    | 0414301006 |
| <b>Acreage</b>          | 35.601     |
| <b>PUD Category</b>     | Mixed-Use  |
| <b>West District</b>    |            |
| Residential (ac)        | 11.079     |
| Retail (ac)             | 6.031      |
| <b>East District</b>    |            |
| Residential (ac)        | 2.374      |
| Commercial/office (ac)  | 2.212      |
| Hospitality (ac)        | 3.323      |
| <b>Other</b>            |            |
| Parks/Public (ac)       | 4.662      |
| Rights of way (ac)      | 5.92       |
| Total Units (du)        | 327        |
| Average Density (du/ac) | 20.8       |
| Open Space (ac)         | 8.885      |
| % Open Space            | 25         |

**PERMITTED USES**

|  | Minimum Lot Width or Area | Minimum Open Space | Front Yard Setback | Sum of Side Yard Setback | Rear Yard Setback | Maximum Occupied Height | Minimum Occupied Height |
|--|---------------------------|--------------------|--------------------|--------------------------|-------------------|-------------------------|-------------------------|
| Single Use Retail                              | 60'                       | 5%                 | 10'                | 10'                      | 5'                | 2 stories               | 1 story                 |
| Multiple/Mixed Use                             | 80'                       | 5%                 | 10'                | 10'                      | 5'                | 3 stories               | 1 story                 |
| Commercial                                     | 60'                       | 10%                | 10'                | 10'                      | 5'                | 3 stories               | 1 story                 |
| Hospitality                                    | 60'                       | 10%                | 10'                | 15'                      | 5'                | 2 stories               | 1 story                 |
| Multi-Family Residential Areas                 | 80'                       | 15%                | 5'                 | 10'                      | 5'                | 3 stories               | 2 stories               |
| Multi-Family Attached (Townhomes-East)         | 16'                       | 5%                 | 5'                 | 0'                       | 3'                | 3 stories               | 2 stories               |
| Accessory Structures, including Carriage Units | 20'                       | n/a                | 5'                 | 10'                      | 3'                | 2 stories               | 1 story                 |

**RESIDENTIAL UNITS MINIMUM FLOOR AREAS**

- Minimum unit size: 500 square feet.
- Minimum building footprint: 500 square feet



|                         |            |
|-------------------------|------------|
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- RETAIL
- MULTI-FAMILY
- TOWNHOMES
- SITE ACCESS
- TRAILS
- PARCEL

# SITE PLAN





**PROPOSED LEGEND**

|   |                     |
|---|---------------------|
|  | REGULATORY FLOODWAY |
|  | 100 YEAR FLOODPLAIN |
|  | 500 YEAR FLOODPLAIN |



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-368-3764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.




**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
 www.kleingers.com  
 5219 Centre Park Dr. West Chester, OH 45069  
 513.779.7551

SEAL:

| NO. | DATE      | DESCRIPTION      |
|-----|-----------|------------------|
| 1.  | 5/29/2024 | SCHEMATIC DESIGN |

**KINGSLEY DEVELOPMENT**  
 SPRINGBORO, OH  
 MONTGOMERY COUNTY

PROJECT NO. 240466.000  
 DATE: 5/29/2024  
 SCALE:



SHEET NAME:  
**GIS WITH FLOODPLAIN**

SHEET NO.  
**1-1**



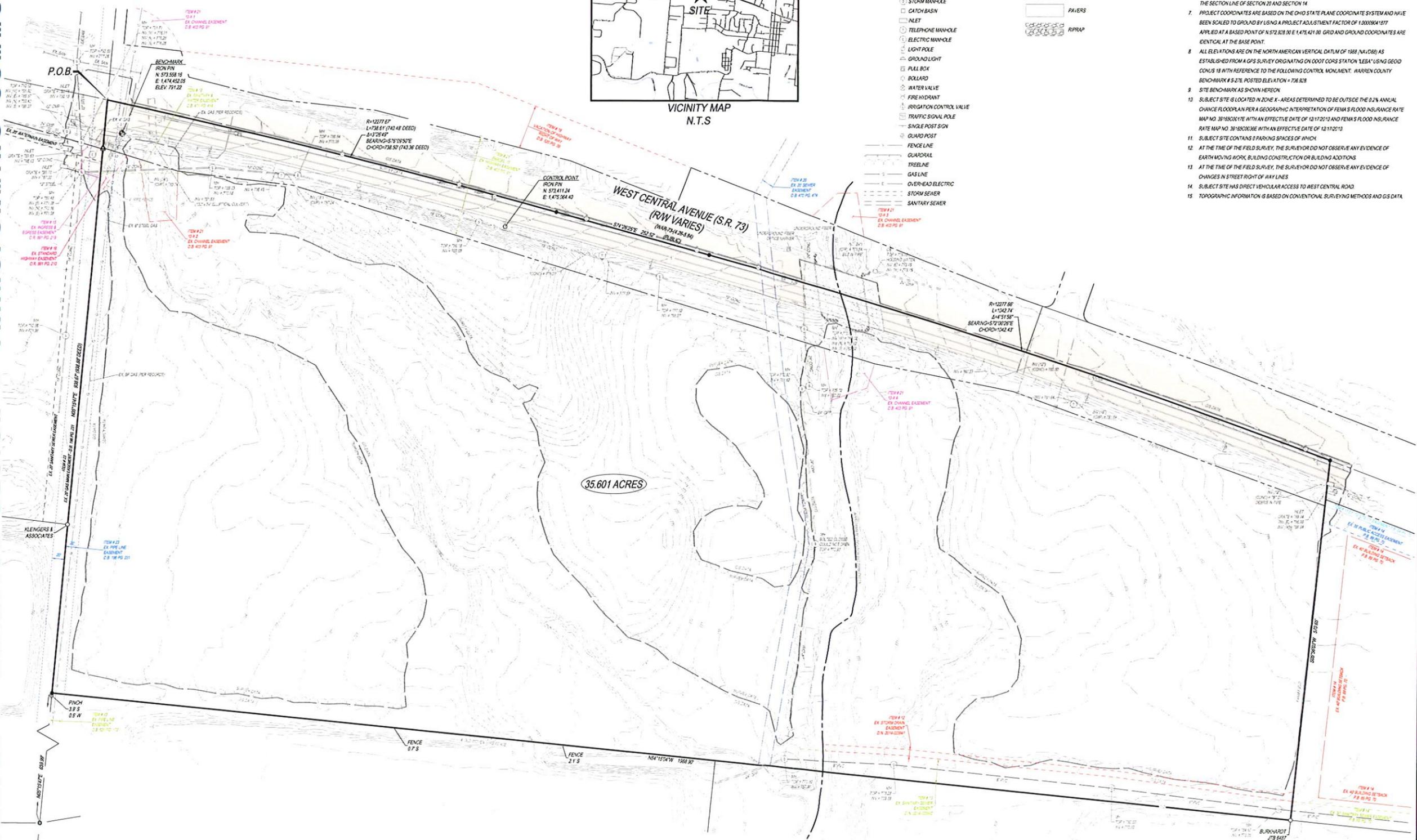
**LEGEND:**

- ◆ BENCHMARK
- 5/8" IRON PIN FOUND (UNLESS NOTED OTHERWISE)
- 5/8" IRON PIN SET
- ⊙ 1" PIPE FOUND
- ▲ RAILROAD SPIKE FOUND
- ⊙ STONE FOUND
- ▲ MASONRY SET
- ① SANITARY MANHOLE
- ② STORM MANHOLE
- ③ CATCH BASIN
- INLET
- ④ TELEPHONE MANHOLE
- ⑤ ELECTRIC MANHOLE
- ⊕ LIGHT POLE
- ⊕ GROUND LIGHT
- ⊕ FULL BOX
- ⊕ ROLLER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ SINGLE POST SIGN
- ⊕ GUARD POST
- ⊕ FENCE LINE
- ⊕ GUARDRAIL
- ⊕ TREELINE
- ⊕ GAS LINE
- ⊕ OVER-HEAD ELECTRIC
- ⊕ STORM SEWER
- ⊕ SANITARY SEWER

- HARDWOOD TREE
- CONCRETE
- ASPHALT
- GRAVEL
- LANDSCAPE
- PAVERS
- RIPRAP

**NOTES:**

1. SOURCE DOCUMENTS AS NOTED
2. OCCUPATION IN GENERAL: FITS SURVEY
3. MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED
4. ALL IRON PINS SET ARE 5/8" DIAMETER x 30" IRON REBAR WITH D CAP STAMPED "KLEINGERS"
5. DISTANCE UNITS ARE BASED ON THE US SURVEY FOOT DEFINITION (1 FT = 1200/381 METERS)
6. BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, AND NORTH AMERICAN DATUM OF 1983 (2011) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON COOT COORS STATION "LEBA" WITH A BEARING OF N05°19'54"E AS SHOWN ALONG THE SECTION LINE OF SECTION 20 AND SECTION 14
7. PROJECT COORDINATES ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000041577 APPLIED AT A BASE POINT OF N 572.828 00 E 1,476,421 00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
8. ALL ELEVATIONS ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD83) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON COOT COORS STATION "LEBA" USING GEOID CORRS IS WITH REFERENCE TO THE FOLLOWING CONTROL MONUMENT, WARREN COUNTY BENCHMARK # 9-278, POSTED ELEVATION = 726.828
9. SITE BENCHMARKS SHOWN HEREON
10. SUBJECT SITE IS LOCATED IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER A GEOGRAPHIC INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 38160C017E WITH AN EFFECTIVE DATE OF 12/17/2013 AND FEMA'S FLOOD INSURANCE RATE MAP NO. 38160C0036E WITH AN EFFECTIVE DATE OF 12/17/2013
11. SUBJECT SITE CONTAINS 8 PARKING SPACES OF WHICH:
12. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS
13. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CHANGES IN STREET FRONT OF WAY LINES
14. SUBJECT SITE HAS DIRECT VEHICULAR ACCESS TO WEST CENTRAL ROAD
15. TOPOGRAPHIC INFORMATION IS BASED ON CONVENTIONAL SURVEYING METHODS AND GS DATA



NOTE:  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2784 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



**SURVEYOR'S CERTIFICATION**  
TO STAR TITLE AGENCY, LLC, FINAL TERM HOLDINGS & LLC, AN OHIO LIMITED LIABILITY COMPANY, JAMES KEVIN SWALLOW (1/3 INTEREST), CARRIE KENDALL (1/3 INTEREST), ANNE S HANSEN (1/4 INTEREST), TERRY C EASTON (1/4 INTEREST) AND CHARLES A. EASTON (1/4 INTEREST):  
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2017 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(A), 6(B), 7(A), 7(B), 7(C), 8, 9, 10(A), 11(A), 12, 14 AND 15-19 OF TABLE THEREOF.  
THE FIELD WORK WAS COMPLETED ON 8-14-2024  
DATE OF PLAN OR MAP 8-19-2024  
BY: RYTHEN D. HEBESKIN  
OHIO PROFESSIONAL SURVEYOR NO. 8111  
DATE

|   |
|---|
| SEAL:   |
| NO. DATE DESCRIPTION<br>1 08-19-24 ALTA/NSPS TITLE SURVEY - AB  |
| <b>ALTA/NSPS LAND TITLE SURVEY</b><br><b>35.601 ACRES</b><br>SECTION 14, TOWN 2, RANGE 5, M.R.<br>CITY OF SPRINGBORO<br>CLEARCREEK TOWNSHIP<br>WARREN COUNTY, OHIO<br>FOR: KINGSLEY AND COMPANY |
| PROJECT NO. 240466VSD000<br>DATE 08-19-2024   |
| SCALE 1" = 60'  |
| 0 30 60 120   |
| SHEET NAME<br><b>KINGSLEY DEVELOPMENT</b>   |
| SHEET NO.<br><b>1 OF 2</b>  |

STAR TITLE AGENCY LLC  
 COMMENT FOR TITLE INSURANCE  
 FILE NO 24-1137  
 EFFECTIVE DATE JULY 12, 2024

- 11. Access Easement granted to Columbia/Wygran Springs, LLC, a Delaware limited liability company, dated September 8, 2014, and filed for record September 11, 2014 at 12:35:30 PM in Document Number 2014-024018, Warren County records.  
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)
- 12. Storm Drain Easement granted to Columbia/Wygran Springs, LLC, a Delaware limited liability company, dated September 5, 2014, and filed for record September 10, 2014 at 1:52:30 PM in Document Number 2014-023941, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #12.)
- 13. Sanitary Sewer Easement granted to the City of Springboro dated September 5, 2014, and filed for record September 10, 2014 at 1:52:31 PM in Document Number 2014-023941, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #13.)
- 14. Easement(s) and setback lines as shown in Record Plan Springboro Senior Living dated August 29, 2014 and filed for record August 29, 2014 in Deed Book 88, page 73, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #14.)
- 15. Terms and Conditions of easement for vehicular and pedestrian ingress and egress granted to Thomas G. Easton, Anne Easton Hansen & Anne S. Easton, Charles A. Easton and Terry C. Easton, dated March 31, 1994, and filed for record April 26, 1994, at 10:35 AM in O.R. 154 991, page 219, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #15.)
- 16. Easement for roadway purposes granted to the City of Springboro dated March 17, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. 154 991, page 210, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #16.)
- 17. Easement for limited access highway purposes (4-75) through and across 21.87 acres as referenced in Warranty Deed, dated March 26, 1993, and filed for record April 13, 1993, at 10:28 AM in O.R. 154 935, page 573, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, NOT PLOTTED.)
- 18. Vacation of a Portion of Highway Right of Way dated June 7, 1978, and filed for record June 27, at 12:57 AM, in Deed Vol. 520, page 37, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #18.)
- 19. Easement for sanitary sewer and water line purposes granted to the Village of Springboro, dated October 1, 1974, and filed for record October 8, 1974, at 2:12 PM, in Deed Vol. 473, page 424, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #19.)
- 20. Terms and conditions of easement granted to the Village of Springboro for sewer line purposes dated July 7, 1969, and filed for record November 26, 1969, at 2:23 PM, in Vol. 411, page 416, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #20.)
- Assignment of Water and Sewer Tap Rights, dated January 16, 1978, and filed for record March 1, 1978, at 12:36 AM in Deed Vol. 515, page 200, Warren County records.  
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)
- 21. Easements for highway and channel purposes granted to the State of Ohio dated November 22, 1968, and filed for record February 6, 1969, at 3:32 PM in Deed Vol. 453, page 91, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #21.)
- 22. Easement for waterline purposes granted to the Village of Springboro dated June 23, 1965, and filed for record July 12, 1965, at 9:15 AM in Vol. 365, page 353, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, NOT PLOTTED.)
- 23. Pipe Line Right-of-Way granted to Miami Valley Corporation, an Ohio corporation, dated July 26, 1950, and filed for record July 31, 1950, at 2:17 PM in Vol. 196, pg 291, Warren County records.  
(YES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #23.)
- Partial Release of Pipe Line Right-of-Way dated June 27, 1978, and filed for record June 28, 1978, at 11:54 AM in Vol. 520, page 172, Warren County records.  
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #23.)
- Assignment to BP Exploration & Oil, Inc., an Ohio corporation, dated August 24, 1994, and filed for record October 7, 1994, at 9:26 AM in O.R. Vol. 1244, page 852, Warren County records.  
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)
- Assignment and Conveyance Agreement to BP Central Pipelines LLC, a Delaware limited liability company, dated October 26, 2019, and filed for record October 5, 2021 at 06:47:48 AM in Document Number 2021-045251, Warren County records.  
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)
- 24. Easement for electric purposes granted to The Cincinnati Gas & Electric Co. dated October 11, 1945, and filed for record December 3, 1945 at 12:05 AM, in Vol. 152, page 27, Warren County records.  
(UNABLE TO DETERMINE WITH AVAILABLE INFORMATION.)

**LEGAL DESCRIPTION**

Situated in Section 14, Town 2, Range 5, M.Rs., City of Springboro, Clearcreek Township, Warren County, Ohio being part of a 42.887 acre (original) tract of land conveyed to Anne Stanton Easton Hansen (1/4 interest), Terry C. Easton (1/4 interest), Charles Arthur Easton (1/4 interest), Kevin James Swallow (1/8 interest) & Carrie Kendall (1/8 interest) as recorded in D.B. 497 Pg. 555 and D.N. 2019-024085 of the Warren County, Ohio Recorder's Office, the boundary of which being more particularly described as follows:

Beginning at a point in the west line of Section 14 at the intersection of the centerline of West Central Avenue (S.R. 73);

Thence along the centerline of said West Central Avenue (S.R. 73), the following three (3) courses:

1. Along a curve to the right an arc distance of 738.61 feet to a set 5/8" iron pin, said curve having a radius of 12277.67 feet, a delta of 10°25'49" and a chord bearing S79°09'50"E a distance of 738.50 feet;
2. S74°25'25"E a distance of 252.50 feet to a set 5/8" iron pin;
3. Along a curve to the right an arc distance of 1542.74 feet to a set 5/8" iron pin at the north-west corner of Springboro Senior Living as recorded in P.B. 89 Pg. 73, said curve having a radius of 12277.66 feet, a delta of 04°51'58" and a chord bearing S72°00'29"E a distance of 1542.43 feet.

Thence along the west line of said Springboro Senior Living, S05°56'03"W a distance of 570.85 feet to a found 5/8" iron pin at the southwest corner of Springboro Senior Living and in the north line of a 13.11 acre (dead) tract of land conveyed to Village of Springboro, Ohio as recorded in D.B. 50 Pg. 322.

Thence along the north line of said 13.11 acre (dead) tract and along the north line of a 22.463 acre (dead) tract of land conveyed to Promotional Wholesalers Partnership, P.L.L. as recorded in O.R. 4457 Pg. 278, N84°15'04"W a distance of 1988.90 feet to a set 5/8" iron pin in the aforementioned west line of Section 14.

Thence along said section line and along the east line of Lot 2 of Sunstar as recorded in P.B. 87 Pg. 85 and the east line of a 3.54 acre (dead) tract of land conveyed to Loopnuts Partnership, LLC as recorded in D.N. 2019-024591, N05°15'47"E, passing a set nail at 892.96 feet, a total distance of 538.67 feet to the Point of Beginning.

Containing 35.601 acres of land, more or less and being subject to easements, restrictions and rights of way record.

All iron pins set are 5/8" diameter x 30" iron rebar with ID cap stamped "Kleingers".

Bearings are based on the Ohio State Plane Coordinate System, South Zone, and North American Datum of 1983 (2011) as established from a GPS survey originating on COOT CORN Station 1.65A with a bearing of N05°15'47"E as shown along the Section Line of Section 20 and Section 14.

THE ABOVE DESCRIBED LEGAL DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON, IS ALL OF THE LANDS AS DESCRIBED IN D.B. 497 PG. 555 AND D.N. 2019-024085 WHICH IS CONTAINED WITHIN THE COMMENT FOR TITLE INSURANCE COMMITMENT NUMBER 24-1137 AND IS DESCRIBED AS FOLLOWS:

Situate in Section 14, Town 2, Range 5, MRS. City of Springboro, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of State Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 743.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 743.36 feet, and a chord bearing of S 71°19'24"E, thence S 89°13'42"E a distance of 252.52 feet to a point, thence Southeastwardly on a curve to the right an arc distance of 1565.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1565.36 feet, and a chord bearing of S 77°41'42"E, thence S 75°19'42"E a distance of 629.33 feet to a point on the West line of Royal Oaks Park, Section 12 as recorded in Book 30, of the Warren County Plat Records, thence bearing said centerline S 71°12'58"E with said Royal Oaks Park West line a distance of 398.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 393 of said Royal Oaks Park, thence S 89°57'38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.87 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Olive Spring Farms, Inc., tract as recorded in Book 483, Page 598 of the Warren County Deed Records; thence N 2°30' 34" W with the West line of said Section 14 a distance of 638.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT:

And being 7.2436 acres by record plat for Springboro Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 89 Page 72 and being situated in Section 14, Town 2 Range 5, MRS. City of Springboro, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.

|       |
|-------|
| SEAL: |
|-------|

|     |          |                              |
|-----|----------|------------------------------|
| NO. | DATE     | DESCRIPTION                  |
| 1   | 08-19-24 | ALTA/NSPS TITLE SURVEY - A91 |

**ALTA/NSPS LAND TITLE SURVEY**  
**35.601 ACRES**  
 SECTION 14, TOWN 2, RANGE 5, M.Rs.  
 CITY OF SPRINGBORO  
 CLEARCREEK TOWNSHIP  
 WARREN COUNTY, OHIO  
 FOR: KINGSLEY AND COMPANY

PROJECT NO: 240466VS0000  
 DATE: 08-19-2024  
 SCALE:

SHEET NAME:  
**KINGSLEY DEVELOPMENT**

SHEET NO:  
**2 OF 2**



# **100 – 150 East St Housing Redevelopment**

Proposed Rezoning

R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential  
Site Area: 1.07 acres gross.

Existing Use:

Vacant. Five homes on site were demolished in 2024, 2025.

Proposed Uses:

Single-Family Detached Dwellings

Accessory Buildings and Structures

Accessory Uses

Home Occupations

These are the same uses as permitted in R-2 District.

The existing east-west alley the bisects the site will be retained for vehicular and utility access. A second north-south alley is proposed; it will provide rear-year access to one-car garages proposed in the PUD-R. Both alleys will be publicly owned and maintained.

Current Gross Development Density: 4 units/acre

CBD, Central Business District, Gross Development Density: 6 units/acre

Proposed Gross Development Density: 7.46 units/acre

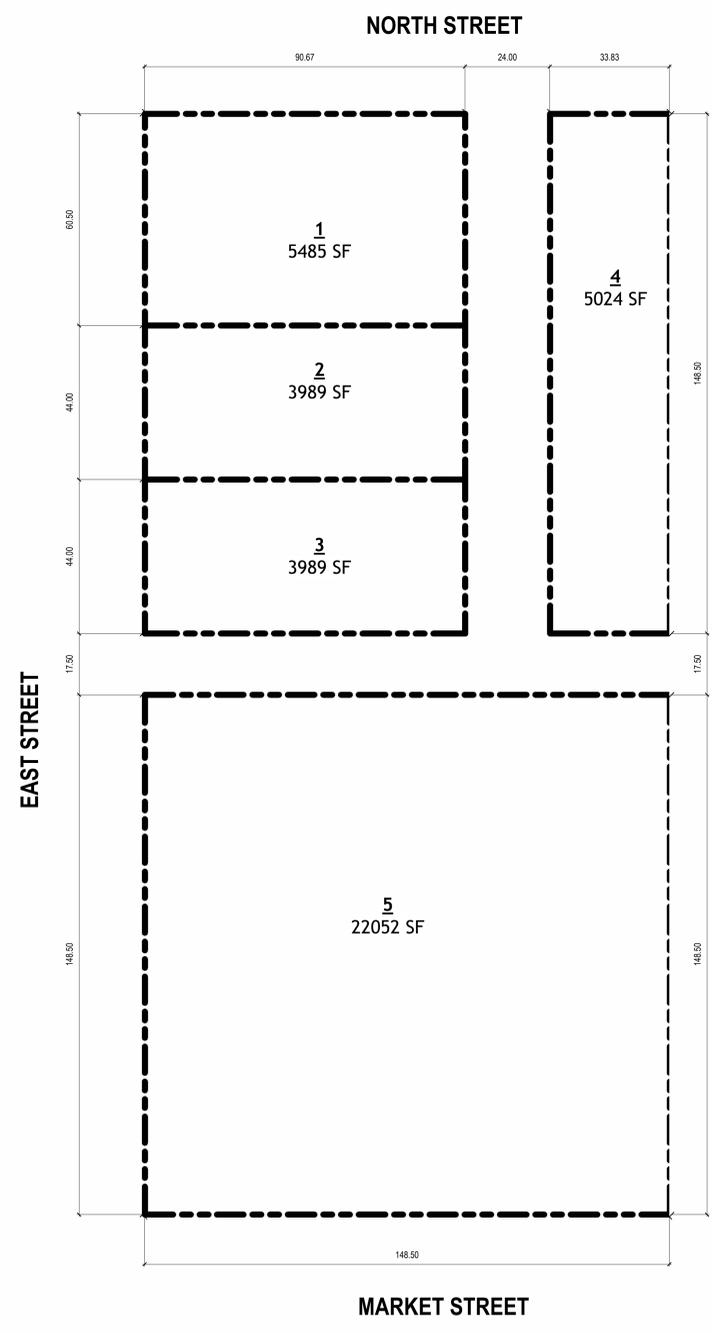
Development of the north half of the site only is proposed currently. Lots would range in size from 3,989 square feet (lots 1-2) to 5,485 square feet (lot 1).

Site is located in Historic District. Vacate sites in the Historic District are contributing properties of the Springboro Historic District. Changes to site above maintenance and repair are subject to review by the Architectural Review Board.

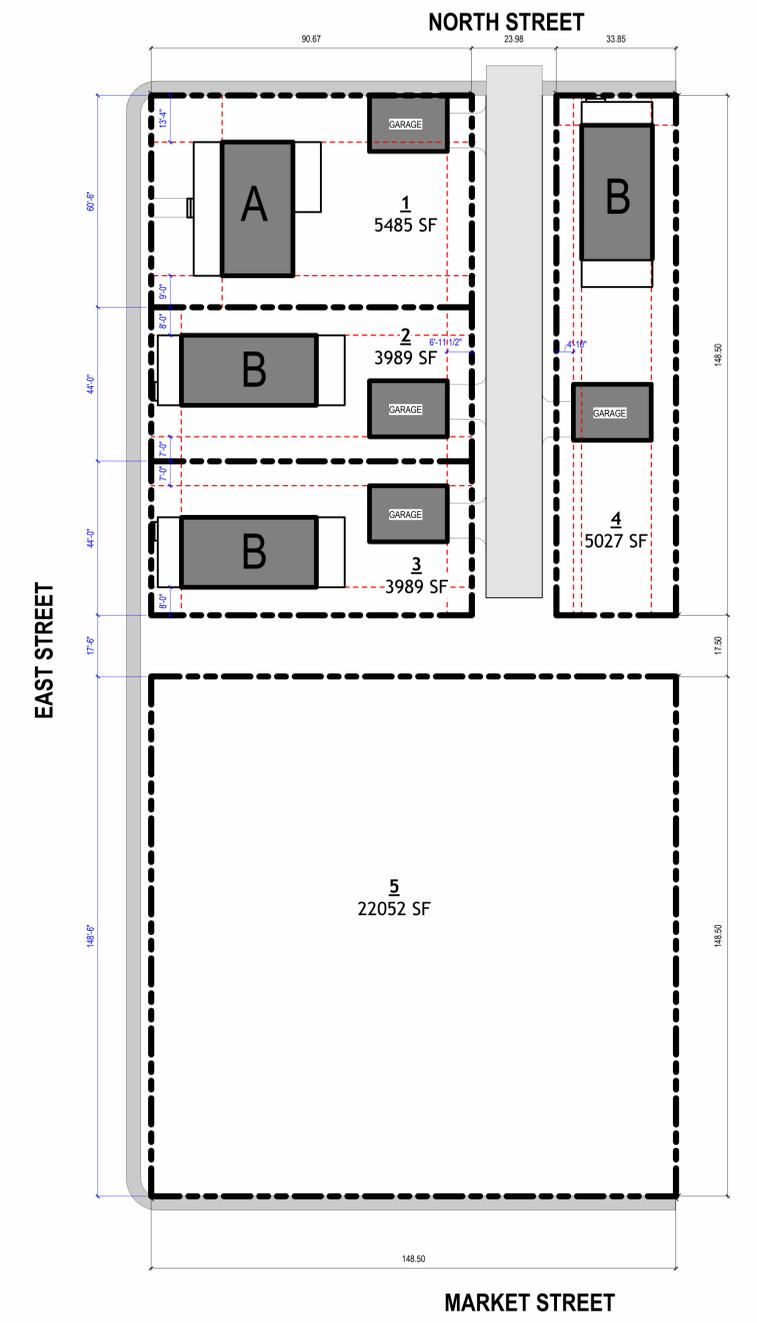
The City is asking for the waiving of the 25% open space requirement for this PUD-R. Providing such open space would eliminate up to two lots in the long-term under this proposal. The rezoning site is 550 feet to Mills Park/320 South Main Street, and 1,025 feet from the common area within Wright Station.



SITE PLAN  
SCALE: 1" = 20'-0"  
1 AS001

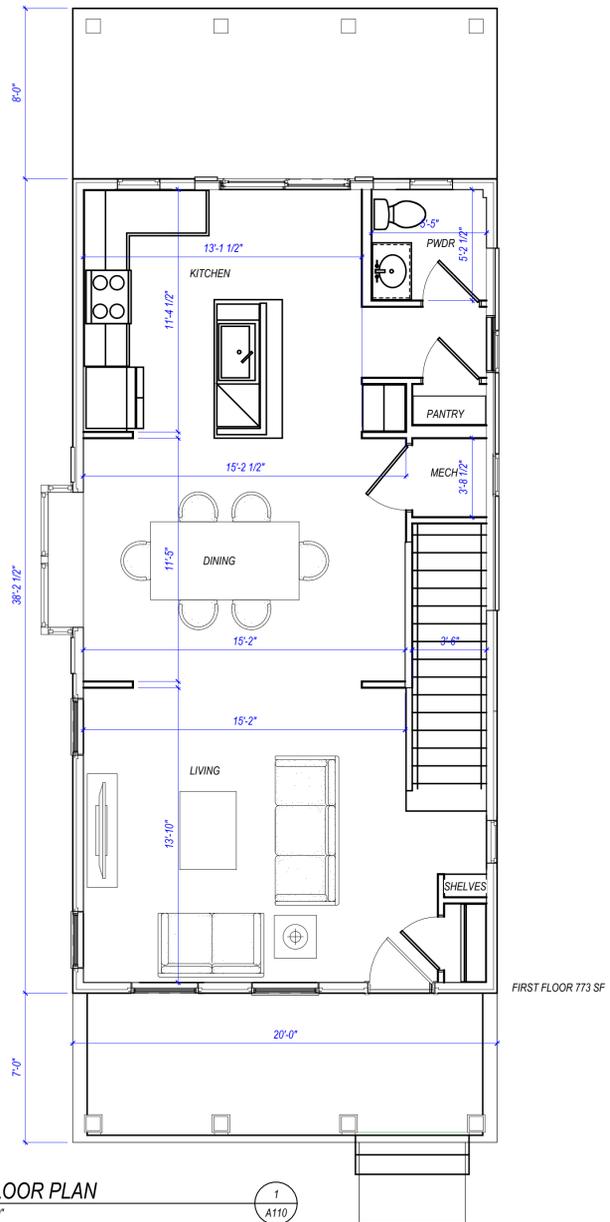


SITE PLAN  
SCALE: 1" = 20'-0"  
2 AS001



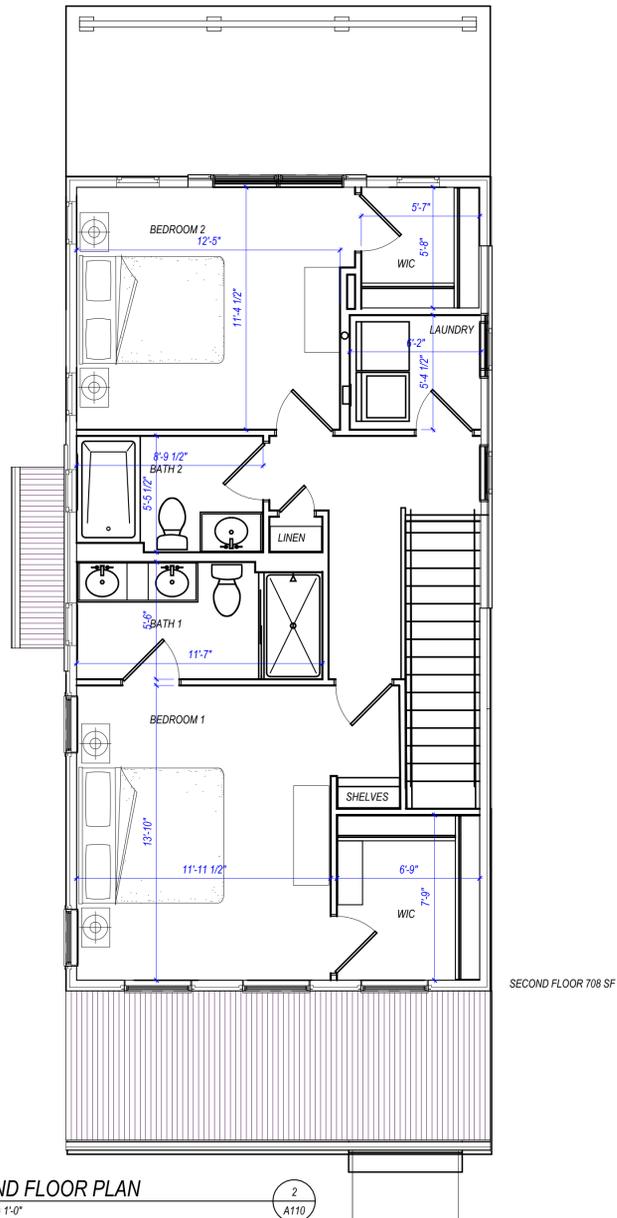
SITE PLAN  
SCALE: 1" = 20'-0"  
3 AS001

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

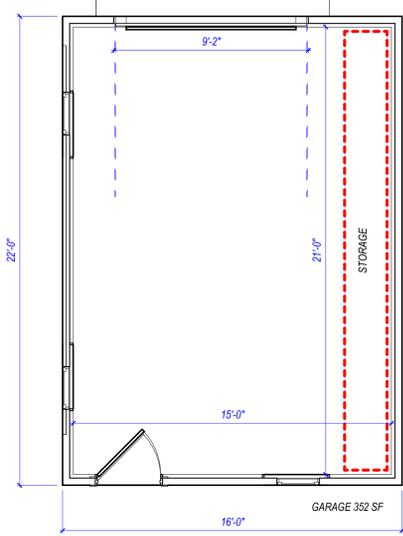


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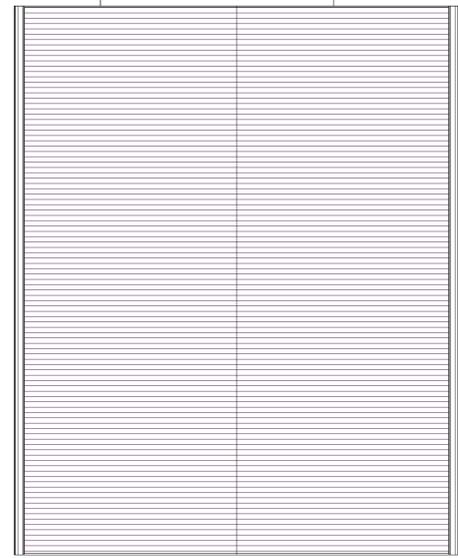
**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



2  
A110



GARAGE 352 SF



**KEYNOTES**

**DRAWING NOTES**

1 in a keyed note

**SPRINGBORO HOUSING STUDY**  
EAST, NORTH & MARKET STREETS, SPRINGBORO, OHIO 45066  
**CITY OF SPRINGBORO**  
XXXX

**NOT FOR CONSTRUCTION**

|                         |          |
|-------------------------|----------|
| ISSUED                  | DATE     |
|                         |          |
| SHEET TITLE             |          |
| <b>FIRST FLOOR PLAN</b> |          |
| SHEET SIZE              | COMM No. |
| 24" x 36"               | E-00000  |
| DRAWN BY                | DATE     |
| Author                  |          |
| SHEET#                  |          |
| <b>A110</b>             |          |



NOT FOR CONSTRUCTION

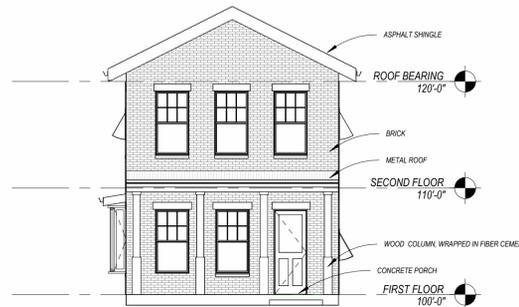
ISSUED DATE

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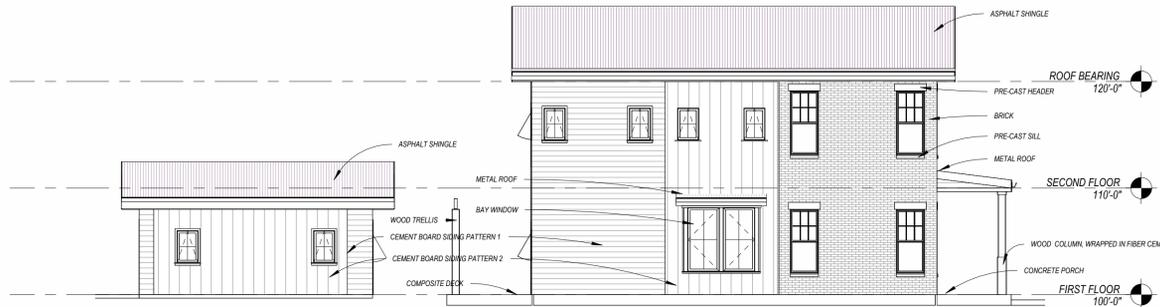
EXTERIOR ELEVATIONS

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DRAWN BY Author DATE  
SHEET#

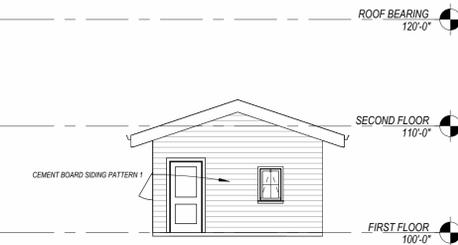
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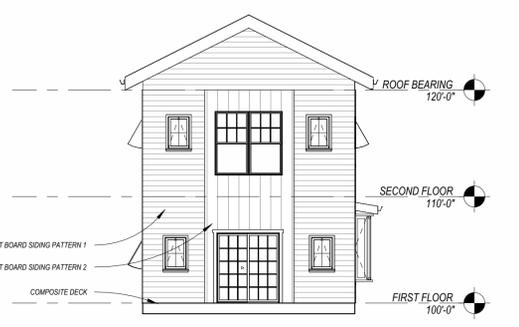
PLAN SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" (4) A200



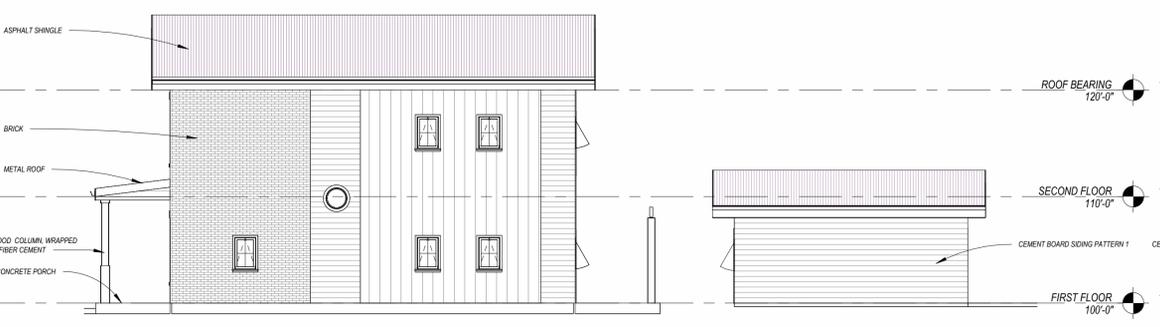
PLAN WEST ELEVATION  
SCALE: 1/8" = 1'-0" (3) A200



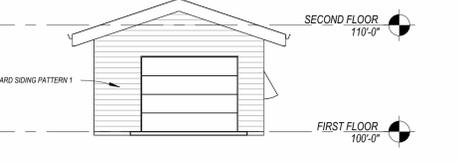
PLAN SOUTH ELEVATION GARAGE  
SCALE: 1/8" = 1'-0" (5) A200



PLAN NORTH ELEVATION  
SCALE: 1/8" = 1'-0" (2) A200



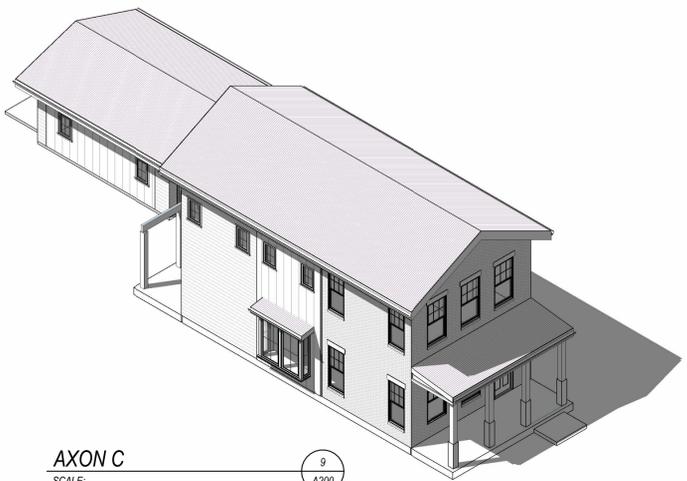
PLAN EAST ELEVATION  
SCALE: 1/8" = 1'-0" (1) A200



PLAN NORTH ELEVATION GARAGE  
SCALE: 1/8" = 1'-0" (6) A200



AXON A  
SCALE: (10) A200



AXON C  
SCALE: (9) A200



AXON B  
SCALE: (8) A200

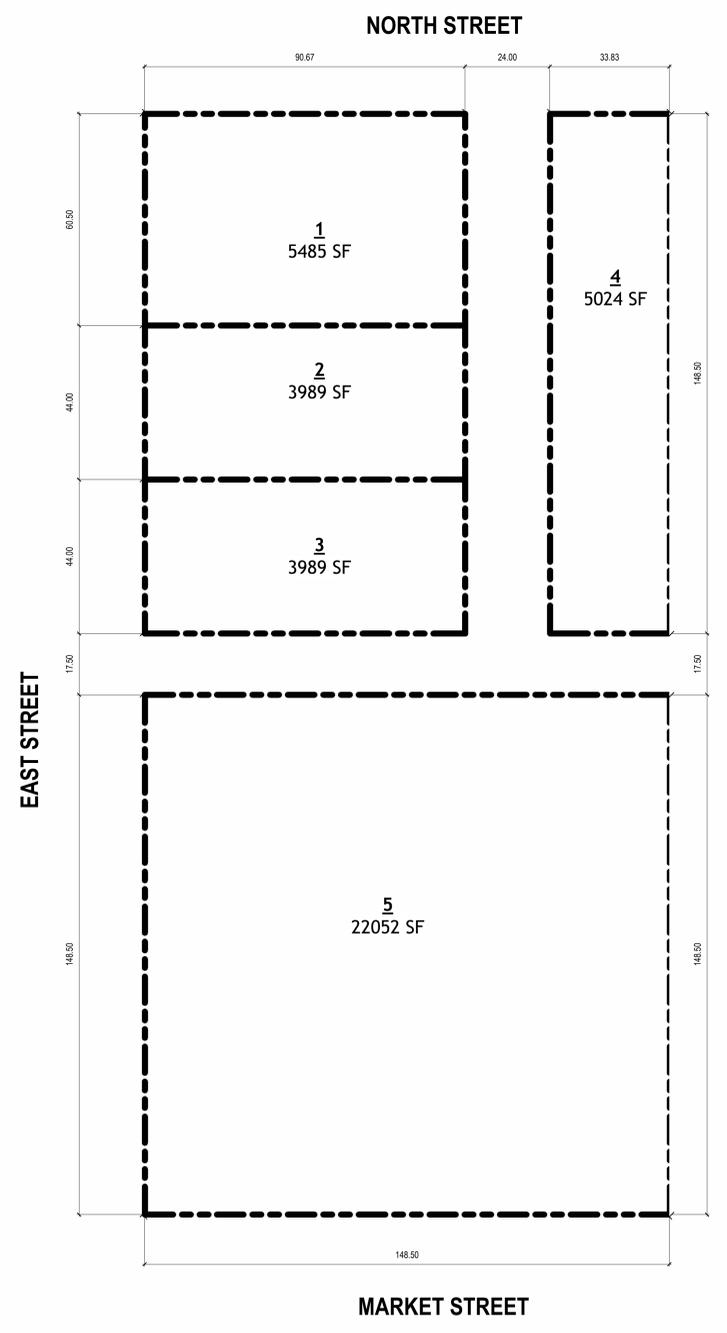


AXON D  
SCALE: (7) A200

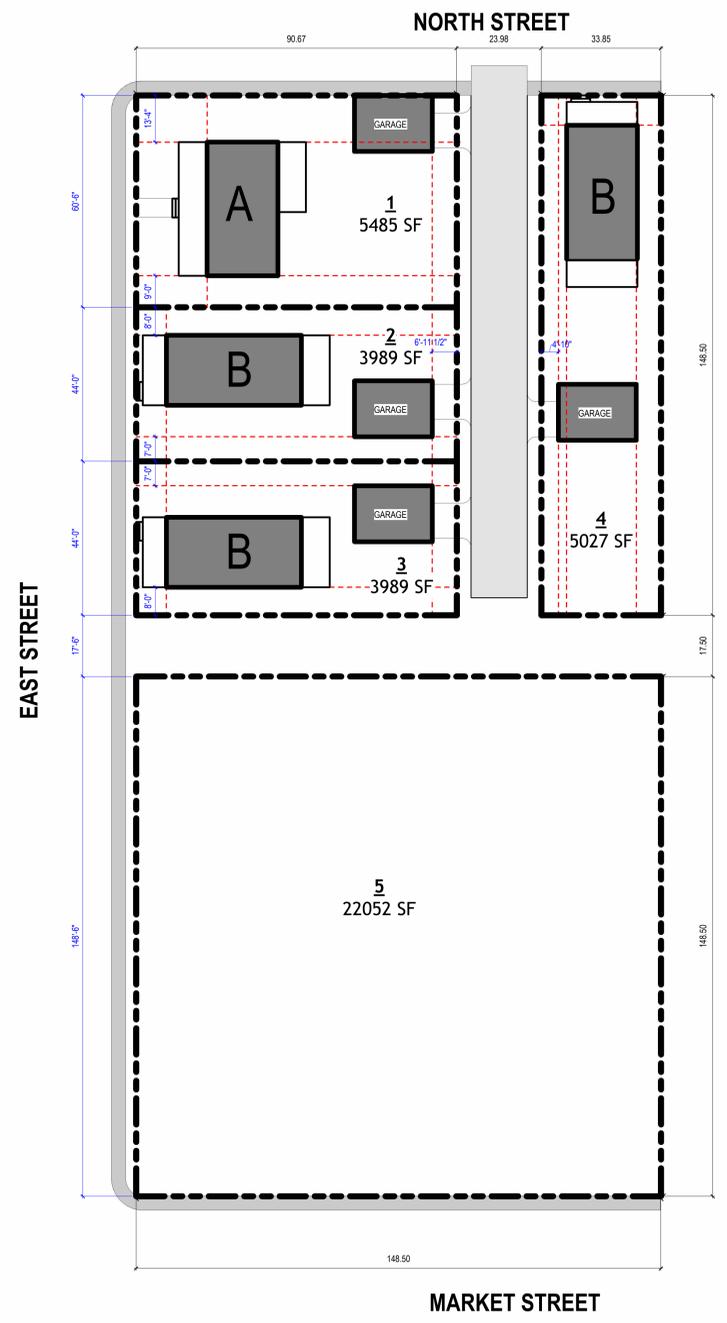
LEGEND



SITE PLAN  
SCALE: 1" = 20'-0"  
1 AS001

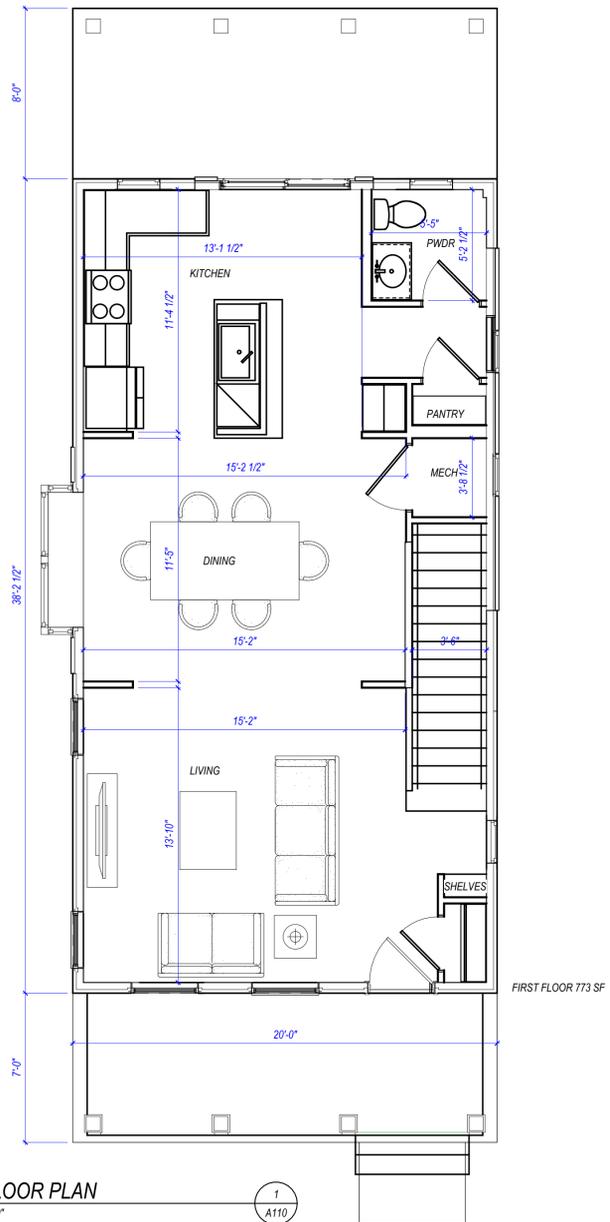


SITE PLAN  
SCALE: 1" = 20'-0"  
2 AS001



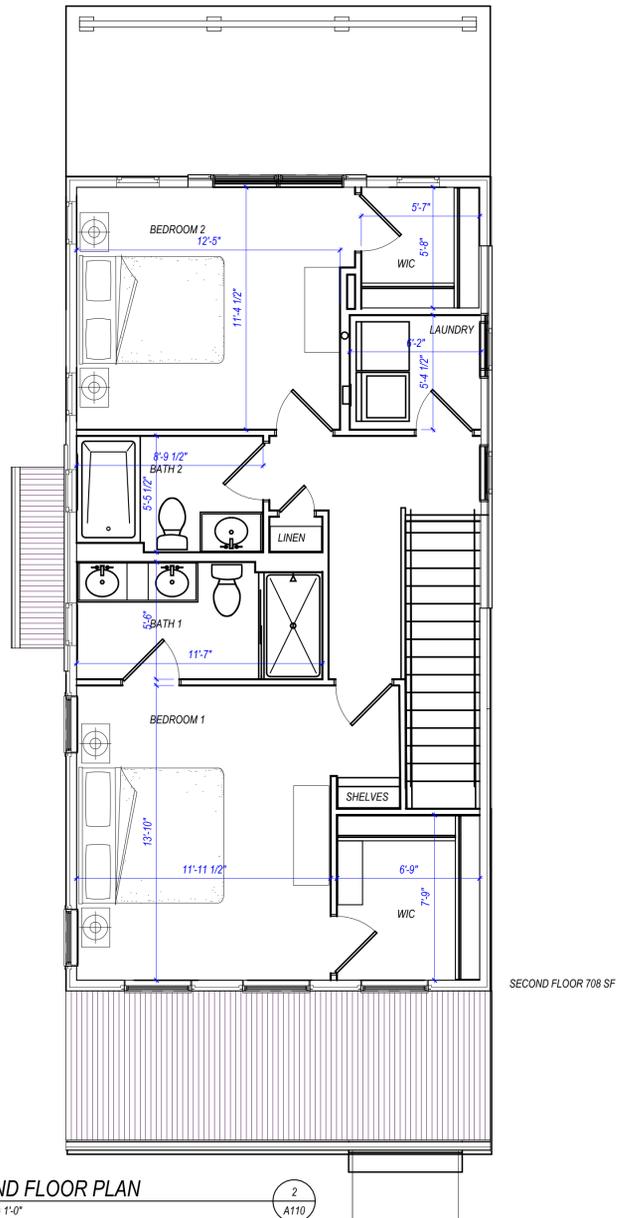
SITE PLAN  
SCALE: 1" = 20'-0"  
3 AS001

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

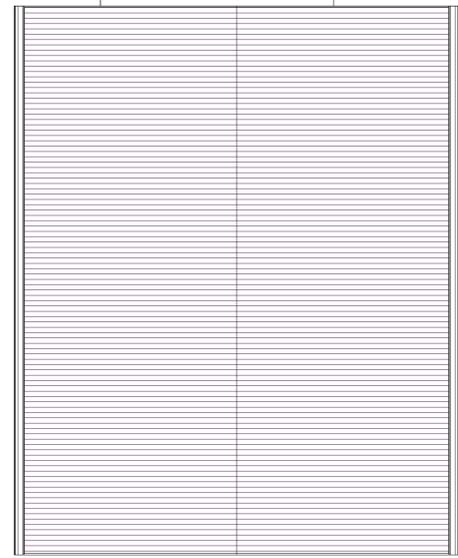
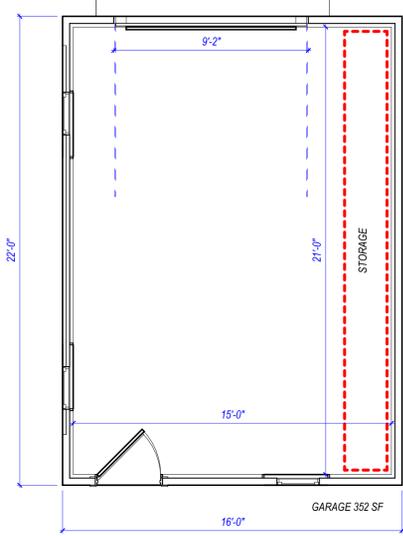


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A110

**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



2  
A110



KEYNOTES

DRAWING NOTES

1 in a keyed note

**SPRINGBORO HOUSING STUDY**  
EAST, NORTH & MARKET STREETS, SPRINGBORO, OHIO 45066  
**CITY OF SPRINGBORO**  
XXXX

**NOT FOR CONSTRUCTION**

ISSUED DATE

SHEET TITLE

**FIRST FLOOR PLAN**

|                         |                     |
|-------------------------|---------------------|
| SHEET SIZE<br>24" x 36" | COMM No.<br>E-00000 |
| DRAWN BY<br>Author      | DATE                |
| SHEET#                  |                     |

**A110**

THIS DRAWING IS PART OF A SET



6/20/2013 10:07 PM

NOT FOR CONSTRUCTION

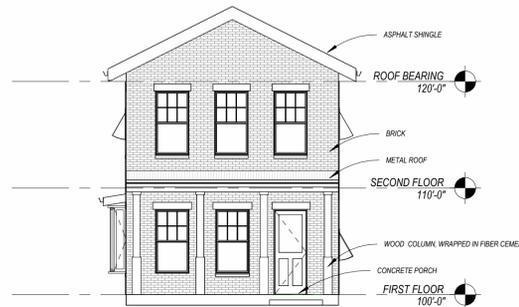
ISSUED DATE

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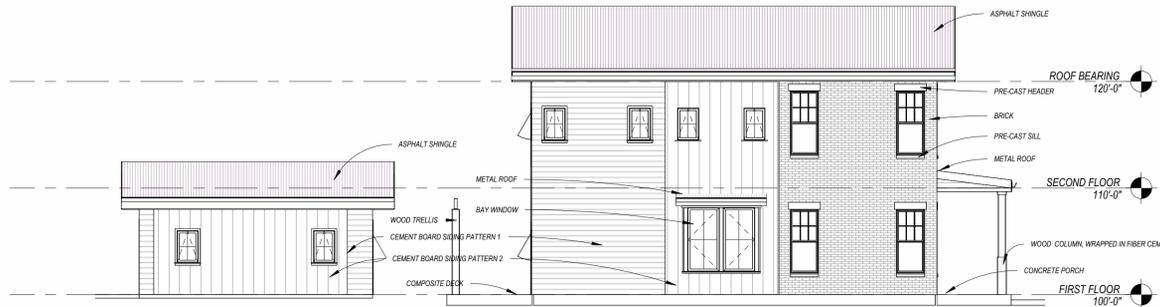
EXTERIOR ELEVATIONS

SHEET SIZE 24" x 36" COMM. No. E-00000  
DRAWN BY DATE  
Author DATE  
SHEET#

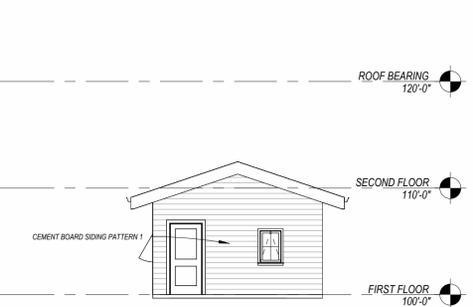
A200



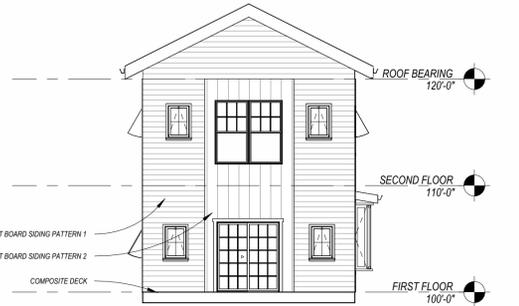
PLAN SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" 4 A200



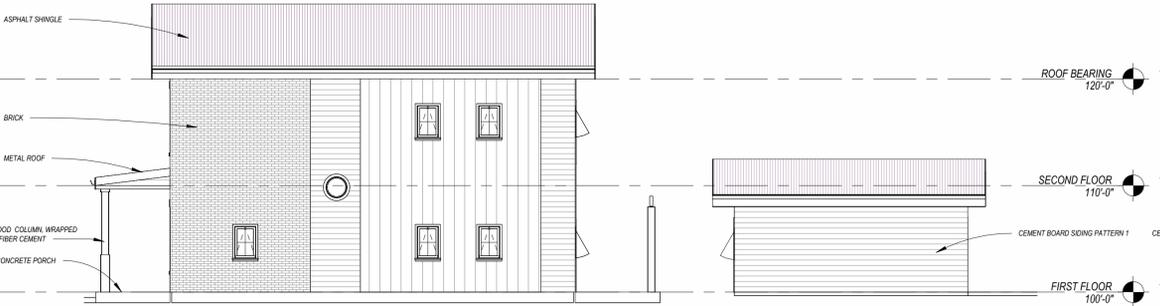
PLAN WEST ELEVATION  
SCALE: 1/8" = 1'-0" 3 A200



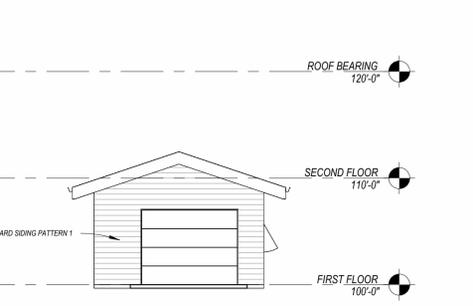
PLAN SOUTH ELEVATION GARAGE  
SCALE: 1/8" = 1'-0" 5 A200



PLAN NORTH ELEVATION  
SCALE: 1/8" = 1'-0" 2 A200



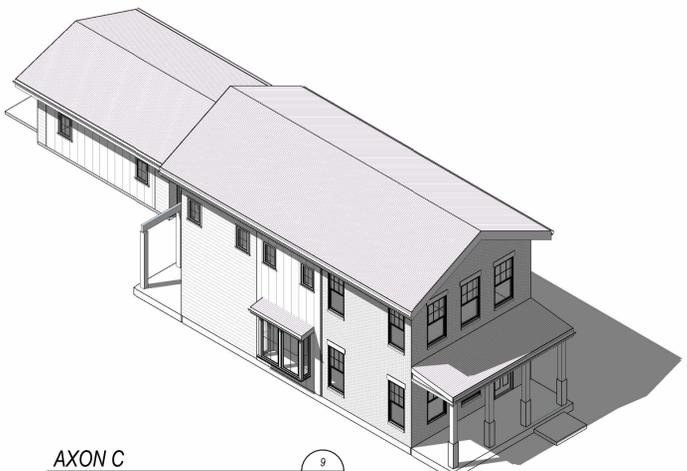
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SCALE: 1/8" = 1'-0" 1 A200



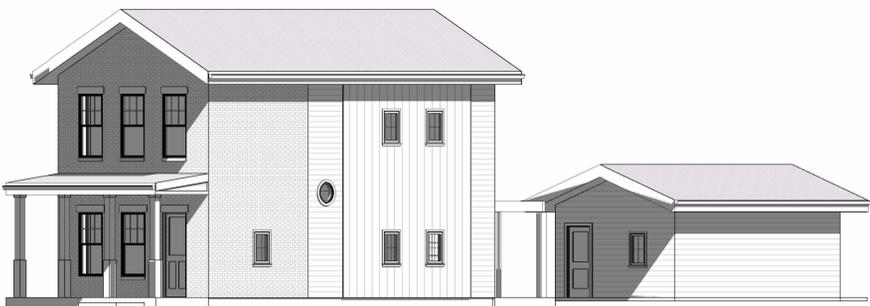
PLAN NORTH ELEVATION GARAGE  
SCALE: 1/8" = 1'-0" 6 A200



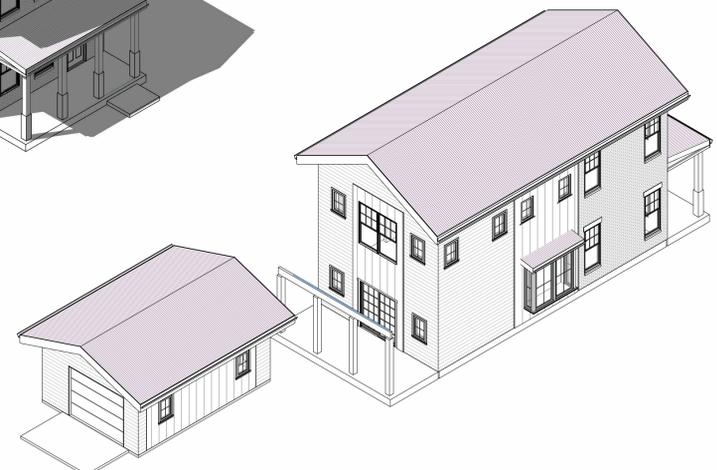
AXON A  
SCALE: 10 A200



AXON C  
SCALE: 9 A200



AXON B  
SCALE: 8 A200



AXON D  
SCALE: 7 A200

LEGEND



**September 10,  
2025  
PC Minutes  
for review**

**City of Springboro**  
**320 West Central Avenue, Springboro, Ohio 45066**  
**Planning Commission Meeting**  
**Wednesday, September 10, 2025**

**I. Call to Order**

Chris Pearson, Vice Chair, called the Wednesday, September 10, 2025, Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Chris Pearson, Rob Dimmitt, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, and Elmer Dudas, Development Director.

*Mr. Sillies motioned to excuse Becky Iverson and Steve Harding; Mr. Dimmitt seconded the motion.*

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

**II. Approval of Minutes**

**August 20, 2025 Planning Commission Minutes**

Mr. Pearson asked for corrections or additions to the minutes. There were none.

*Mr. Marshall motioned to approve the August 20, 2025 Planning Commission minutes. Mr. Dimmitt seconded the motion.*

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

**III. Agenda Items**

**A. Final Approval**

**Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear yard setback**

**Background Information & Staff Recommendation**

This agenda item is an application, filed by Nathan Carmack, contactor, on behalf of Hannah and Daren Yingling, property owners, requesting a variance from the minimum rear setback to allow the construction of a covered patio on the residence located at 295 Montgomery Lane in the Beck Ridge subdivision. The rear yard setback for this property is 25 feet; the applicants would like to construct an attached covering to an existing patio to within 16 feet of the rear property line.

Beck Ridge is zoned PUD-R, Planned Unit Development-Residential. The Planning and Zoning Code provides relief from the strict interpretation of the code in PUDs such as Beck Ridge from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zoned properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

This item was reviewed on a preliminary basis at the August 20 Planning Commission meeting. The documentation requested by City staff—Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property—has been submitted.

City staff recommends approval of the variance request as submitted.

**Discussion:**

Mr. Nathan Carmack, contractor, and Mr. Daren Yingling, property owner, were present to answer questions from Planning Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of the agenda item.

Mr. Boron said this item was on the August 20 agenda for preliminary review of a variance request in a Planned Unit Development-Residential, PUD-R. The applicant has requested this variance to be allowed to have a patio cover installed over an existing patio. Letters from two adjoining property owners and the HOA stating they have no objections to the request have been received and entered into the record. Staff recommends approval of this request.

Mr. Pearson asked if there were any questions from Planning Commission members. There were none.

Mr. Pearson called for a motion to approve the Final Approval, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear setback.

*Mr. Thompson made a motion to approve the Final Approval, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear setback. Mr. Sillies seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson said the motion was approved unanimously.

**B. Final Approval  
Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73)**

**Background Information**

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 A, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, includes 19 buildable lots on a total of 13.18 acres. The subdivision plan including this section was approved by Planning Commission in March. The original record plan for Eastbrook Farm has been broken into two phases due to the slow progress of construction. Once approved, the plan will proceed to City Council for final approval.

## **Staff Recommendation**

Staff recommends approval of the record plan subject to the following conditions:

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon.
4. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

## **C. Final Approval**

### **Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road West Central Avenue (SR 73)**

#### **Background Information**

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 B, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, contains 26 buildable lots on a total of 7.67 acres. The subdivision plan including this section was approved by Planning Commission in March. Once approved, the plan will proceed to City Council for final approval.

#### **Staff Recommendation**

Staff recommends approval of the record plan subject to the following conditions.

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development.
4. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

#### **Discussion:**

Mr. John Del Verne, Site Civil Engineer, Bayer-Becker, was present to answer questions from Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of this agenda item.

Mr. Boron deferred to Mr. Dudas, City Development Director, for comments regarding these two agenda items.

Mr. Dudas stated that these items was reviewed by Planning Commission at a previous meeting and was approved as a one-phase development, but due to construction issues, the applicant would like to split it into two phases, A and B. There are 19 lots in the first phase, Phase A, and the second phase, Phase B, will have 26 buildable lots. Engineering comments have been forwarded to the Engineer. After Planning Commission approval, this item will go before City Council for final approval.

Mr. Pearson said that both agenda items B and C will be discussed together, but there will be two separate votes for the two items. He asked Mr. Del Verne if he had any questions regarding the staff comments. He did not.

Mr. Sillies asked if anything had changed from what was previously approved other than splitting it into two phases.

Mr. Dudas confirmed that nothing else had changed.

There was a brief discussion about the expected construction timeline. Phase A construction will start this fall and Phase B will start in the spring of 2026 with a completion date of the entire project by the end of the summer.

There being no further questions or comments, Mr. Pearson called for a motion to approve the Final Approval, Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73).

*Mr. Thompson made a motion to approve the Final Approval, Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73). Mr. Sillies seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson called for a motion to approve the Final Approval, Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73).

*Mr. Sillies made a motion to approve the Final Approval, Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73). Mr. Marshall seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson said both agenda items were approved unanimously.

#### D. Final Approval

##### **Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component**

#### **Background Information**

This agenda item is a request for record plan approval for Easton Farm, Section Two. The plan is a replatting of the apartment component, adjusting for the additional property obtained at the southwest corner of that component of the Easton Farm PUD-MU, Planned Unit Development-Mixed Use. The record plan is also adding additional right of way along Noel Drive to match the frontage of the apartment site. This record plan corresponds to the final development plan approved at the August 20 Planning Commission meeting. Once approved, the plan will proceed to City Council for final approval.

#### **Staff Recommendation**

Staff recommends approval of the record plan subject to the following conditions.

1. Revise the line weights of the plan to show the proposed new lot line/ROW in bold and the existing lot lines/ROW less bold.
2. Vacate existing right of way per record plan. Fill in blanks with Warren County recording information (document numbers).
3. Construction drawings to match record plan.
4. Submit to Warren County for review and revise accordingly.

#### **Discussion:**

Mr. John Del Verne, Site Civil Engineer, Bayer-Becker, was present to answer questions from Commission members and staff.

Mr. Boron said that the staff recommendations for this agenda item were inadvertently left out of the meeting materials that were distributed on September 3 but had been submitted to all Commission members and the applicant. The applicant has agreed to all recommendations. The comments listed above in the minutes reflect the accurate comments. All comments are minor.

Mr. Pearson asked if there was any discussion about this matter. There were no questions or comments.

Mr. Pearson called for a motion to approve the Final Approval, Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component.

*Mr. Thompson made a motion to approve the Final Approval, Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component. Mr. Marshall seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson said both agenda items were approved unanimously.

## **E. Preliminary Review**

### **Site Plan Review, 216 Tahlequah Trail, building addition, new parking lot for Thaler Machine**

#### **Background Information**

This agenda item is as request for site plan review approval for improvements to the Thaler Machine operation located at 216 Tahlequah Trail. Thaler Machine intends to construct a 31,500-square foot addition on the east side of the existing building. That site is the present location of Thaler's principal parking lot. At this time Ferguson Construction, on behalf of Thaler, is seeking approval to install a new 78-space parking lot on the northeast corner of site with access from Hiawatha Trail, install a new stormwater retention area on the Hiawatha Trail frontage, and prepare the existing parking lot site for the addition. Plans for the building addition are presently incomplete; Planning Commission's review of the building details would need to be presented at a future meeting.

This item is scheduled for preliminary review by the Planning Commission at the September 10 meeting. However, if Planning Commission finds the parking lot/stormwater retention plan acceptable, it may make a formal recommendation of approval by amending the agenda, with the building addition being excluded from the approval.

#### **Staff Comments**

City staff has the following comments regarding this agenda item:

1. Details on the proposed building addition—elevations and a floor plan—to be submitted to City staff for review of that portion of the site plan review process. Parking lot approval contingent on completion of proposed addition and review by Planning Commission at a future meeting.
2. Provide information on the proposed lighting of the parking lot including photometrics, fixtures, and other information to determine compliance with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code.
3. Provide a landscape buffer along the north side of the proposed parking lot and along Hiawatha Trail consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code.
4. Provide proposed building population (at build-out) that is being used to determine parking lot requirements for the site.
5. Provide information on how pedestrian access will be provided between the parking lot and existing/proposed building.
6. Detention design under review.
7. Locate existing 8-inch water main and verify min depth of 4.5 feet for improvements. Otherwise, lower watermain accordingly.
8. Add note at curb cut stating that existing curb and gutter to be removed and replaced with depressed ODOT Type 2 curb and gutter.
9. Provide Storm Water Pollution Prevention Plan (SWPPP) per EPA requirements.
10. Identify benchmark.

#### **Discussion:**

Mr. Brent Given and Mr. Shawn Meyer, Ferguson Construction, were present for the applicant, Thaler Machine.

Mr. Pearson asked Mr. Boron for a summary of this project.

Mr. Boron said this is a two-stage project: one portion will be for the addition of a new parking lot to accommodate employee parking for the second phase of the project, a new building addition to Thaler's existing

facility on the site of the existing parking lot. Tonight's discussion will be focused on the new parking lot. The new building addition plans will be submitted to the Planning Commission at a future meeting.

There was a general discussion about the need for the new parking lot to be constructed before the addition is built. There will be enough parking available to allow all employees to be able to park in the parking lot, off the street. Staff has reviewed the plans as if everything is on the table except the building. The applicant has requested that the parking lot receive final approval at this evening's meeting so they can start moving forward before the asphalt plants close.

After another discussion, Mr. Pearson called for a motion to amend the agenda to allow for final approval of the parking lot only.

*Mr. Thompson motioned to amend the agenda to allow for final approval of the parking lot at 216 Tahlequah Trail. Mr. Sillies seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson called for a motion to approve the Final Approval, Site Plan Review, 216 Tahlequah Trail, new parking lot for Thaler Machine.

*Mr. Dimmitt motioned to approve the Final Approval, Site Plan Review, 216 Tahlequah Trail, new parking lot for Thaler Machine. Mr. Thompson seconded the motion.*

Mr. Pearson called for roll call.

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson said the new parking lot was approved unanimously.

## **VII. Guest Comments**

Mr. Pearson called for guest comments. There were none.

## **VIII. Planning Commission and Staff Comments**

Mr. Pearson asked Mr. Boron if he had any additional comments.

Mr. Boron said he wanted to update Planning Commission members about what transpired at the September 4, 2025 City Council meeting. The text change for allowing outdoor dining in the O-R District was approved by Council and will become effective October 3. He expects that China Cottage will present a preliminary site plan as early as October.

The rezoning and general plan for Phase 3 of Northampton was also approved by City Council on September 4 as well. City Council made several revisions to the approved plan recommended by Planning Commission with respect to the landscaping on the frontage. Guardrails along appropriately sized ponds will also be required.

**IX. Adjournment**

Mr. Pearson called for a motion to adjourn.

*Mr. Marshall motioned to adjourn the September 10, 2025 Planning Commission Meeting at 6:30 pm.  
Mr. Thompson seconded the motion.*

**Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)**

Mr. Pearson said the motion was approved unanimously and the meeting is adjourned.

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Becky Iverson, Planning Commission Chairperson

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Dan Boron, Planner

\_\_\_\_\_  
September Bee, Planning Commission Secretary

DRAFT