

Agenda
City of Springboro Planning Commission Meeting
Wednesday, October 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. September 10, 2025 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Minor Revision to Approved General Plan #2, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), additional elevations
 - B. Final Approval, Site Plan Review, 216 Tahlequah Trail, Thaler Machine, new building addition
 - C. Preliminary Review, Site Plan Review, 610 North Main Street (SR 741), China Cottage, proposed new restaurant
 - D. Preliminary Review, Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
 - E. Preliminary Review, General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
 - F. Preliminary Review, Rezoning, R-2, Low Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, residential development
 - G. Preliminary Review, General Plan, R-2, Low Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, residential development
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, October 8, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Minor Revision to Approved General Plan #2, Northampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), addition of home plans and exterior elevations to approved list

Background Information

This agenda item is a request for a minor revision to the approved general plan for the Northampton PUD-R, Planned Unit Development-Residential, subdivision located at 1525 South Main Street (SR 741). The Northampton subdivision was rezoned to PUD-R by City Council in January 2024; the general plan was also approved at that time by City Council; final development plan approval by Planning Commission followed in 2024, and record plan review and approval (in two phases) from Planning Commission and City Council took place in 2025. The subdivision has been referred to as Northampton 1-2 to distinguish it from the adjoining Northampton 3 located at 1405 South Main Street. The subdivision includes 75 single-family lots plus the historic Janney House.

M/I Homes proposed adding two additional home plans, Hampton and Windsor II, with variations to the list of homes approved for the subdivision. This change is defined as a minor revision to the approved general plan, with approval of the revision by Planning Commission per the terms of the PUD code, Chapter 1266 of the Planning and Zoning Code. A similar request was approved by Planning Commission for this subdivision at the January 8, 2025 meeting. All proposed housing plans are included in the meeting materials.

Staff Recommendation

City staff recommends approval of the minor revision to the general plan site plan for the Northampton PUD-R, Planned Unit Development-Residential, subject to the following comment:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
2. Will the proposed house plans fit on the site with the existing setbacks and other development standards for the subdivision?

B. Final Approval

Site Plan Review, 216 Tahlequah Trail, Thaler Machine, new building addition

Background Information

This agenda item is as request for site plan review approval for improvements to the Thaler Machine operation located at 216 Tahlequah Trail at the request of Ferguson Construction. At the September 10 meeting, Planning Commission approved a 78-space parking lot on the northeast side of the Thaler site with access from Hiawatha Trail, the installation of a new stormwater retention area on the

Hiawatha Trail frontage, and demolition of the existing parking on the east side of the building. Representatives for Thaler were advised to prepare plans for the building addition for review at a future meeting. The property is zoned ED, Employment Center District, which permits the proposed addition.

Adjacent land uses includes the existing Thaler operation to the west; to the north, Machine Glass Specialists; to the east on the east side of Hiawatha Trail, Sandy's Towing and Springboro Automotive; to the south, Johnson Flooring, and a Thaler outbuilding on the south side of Edwards Drive. Zoning in the vicinity includes ED to the west, north, and northeast, and HBD, Highway Business District, to southeast (Johnson Flooring).

Staff Recommendation

Staff recommends approval of the site plan subject to the following conditions:

1. Incorporate comments from September 10 review of parking lot/retention approval for this site.
2. Detention design under review.
3. Locate existing 8-inch water main and verify minimum depth of 4.5 feet for improvements. Otherwise, lower water main accordingly.

C. Preliminary Review

Site Plan Review, 610 North Main Street (SR 741), China Cottage, proposed new building and location

Background Information

This is a request for preliminary site plan review for a proposed retail development including a new China Cottage restaurant at 610 North Main Street (SR 741) submitted on behalf of Wen Wang, owner/operator of the China Cottage restaurants. The property is in the O-R, Office-Residential District, which permits restaurants without drive-throughs. As of October 3, the O-R District will permit outdoor dining as an accessory use to restaurants. Access to the site will be provided by way of an easement through the Kentwood Mortgage site and an adjoining property to the south.

Adjacent uses include the Hidden Creek assisted living facility (1345 Lytle-Five Points Road) to the north, accessed from Lytle-Five Points Road; to the east single family residential in the Woodland Greens subdivision (note: the property directly abutting the restaurant site is a detention pond); a residential property to the south (590 North Main Street); and to the east Kentwood Mortgage and an office building immediately to the north, both fronting North Main Street. Adjacent zoning includes O-R District to the north, south, and east, and R-1, Estate-Type Residential District, to the east coincided with the Woodland Greens subdivision (Springboro portion).

Staff Comments

Staff has the following comments regarding this agenda item:

1. Provide building elevations with graphic scale indicating proposed exterior building materials and dimensioned to determine height and massing. See also Section 1262.04, Non-Residential Building Design Standards, of Planning and Zoning Code (typical), for acceptable building materials and other requirements.
2. Explain in writing and graphically what is proposed for area along north property line in terms of grading and hardscaping.

3. For future Planning Commission reviews, provide printed plans at a larger size (24x36).
4. Indicated proposed dumpster location and provide exterior elevations.
5. Provide seating capacity for proposed Building to determine off-street parking requirement for proposed site. See Table 12 in Chapter 1279, Parking, for off-street parking requirements for individual uses identified for building.
6. Existing landscaping to be retained to be indicated on plan. Vegetation 4 inches DBH to be marked for credit against landscaping requirement for final approval stage of site plan review process.
7. Landscaping plan for required for parking area consistent with Chapter 1280, Landscaping.
8. Lighting plan for building and site to be prepared concurrent to final approval and consistent with Chapter 1273, Lighting.
9. Please contact Zoning Inspector for signage requirements for this site; signage review is outside the Planning Commission's site plan review process.
10. Development in the special flood hazard area (floodplain/floodway) shall be meet chapter 1448 of the Springboro Code. All permitting to be reviewed by the City Engineer and FEMA is required.
11. Provide offsite access easement documentation as well as offsite storm water easements.
12. Provide engineered site plan drawings on a scale not smaller than 40 feet to an inch. Existing topography and contours shall be with one-foot intervals.
13. Provide details for all streets, aisles, and parking spaces with spot elevations throughout.
14. Provide design of storm water detention, water main, and sanitary sewer, which shall meet city specifications.

D. Preliminary Review

Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

E. Preliminary Review

General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

Background Information

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of a mixed-use development southeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as this summer. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

This item is being reviewed on a preliminary basis at the July 9 meeting as was the case at the April 9, May 14, and July 9 meetings.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area

on the easternmost side of the property adjoining The Enclave assisted living/memory care facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 327 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro. The proposed residential development density is 20.77 dwelling units per acre for the residential component, although this number would be reduced considering the open space requirement of the residential component.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a from the signal to Tractor Supply. A total of 4.66 acres of open space, or 29.6% of the proposed PUD's residential component; is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement. The retail component of the PUD also has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank (15 Springwood Drive), and the Premier Health office building (360 West Central Avenue); to the east, The Enclave; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site (400 Victory Drive); and HBD, Highway Business District, to the west on the site of Tractor Supply Company (505 West Central Avenue).

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential uses included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

The following comments are regarding the development plan exhibits and narrative:

1. Reach out to City staff prior to October 8 meeting to clarify component acreage.
2. What part of the existing vegetation and topography is projected to remain on the site post-development? This will need to be provided during final development plan stage of PUD approval process.
3. Verify no detention ponds are proposed for West Central Avenue frontage.
4. Traffic impact study under review.
5. Parking requirements to meet City code.
6. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
7. Create a Property owners association (POA) for the development. POA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
8. Provide public access easements (ingress/egress) for all private roads throughout the site. Public roads to be built to City specifications including road width to be 24 feet wide (12 feet wide lanes & 29 feet b/b curb) with 50' right of way dedication.
9. SR 73 right-of-way to be dedicated with a width of not less than 60 feet, along with 15 feet utility easement. Improvements shall include all traffic impact analysis recommendations as well as curb and gutter, sidewalk, bike lane, and storm sewers along SR 73.
10. Any development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.
11. Verify scale on sheets. Does not appear to scale correctly.

The following comments are regarding the proposed design manual beginning on page 16 of the booklet:

12. Page 24, Building materials, add vinyl to description of prohibited building material.
13. Page 25, Building color, see Section 1262.04(g)(3), Color, for code limitations.

F. Preliminary Review

Rezoning, R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, single-family residential redevelopment

G. Preliminary Review

General Plan, R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential, 100-150 East Street, single-family residential redevelopment

Background Information

This agenda item is a request from the City of Springboro to rezone approximately 1.07 acres of land located at 100-150 East Street from the current R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential. The properties were purchased by the City in 2024 and 2025;

the five single-family homes on the property were demolished in September 2024 and June 2025. The subject property is in the Historic District.

The City is seeking rezoning to PUD-R to accommodate the redevelopment of the subject property with single-family detached residential lots. The north half of the property will be developed beginning in 2026 with four lots. The R-2 District allows single-family detached residential lots at a density of 4.0 units per acre. R-2 District zoning was placed on this site and others in 2015 as part of a planning and zoning initiative that resulted in a major revision to the Planning and Zoning Code text and the Official Zoning Map of the City of Springboro. Prior to 2015, the subject property was zoned R-3, Medium Density Residential District, which permitted at the time up to 12 dwelling units per acre. The majority of the Historic District was developed at a density of 6.0 dwelling units per acre, a density permitted under the CBD, Central Business District. The CBD allows a wide array of land uses including retail, office, residential, religious institutions, and more. The effective residential development density of the CBD is higher than 6.0 units per acre in some cases since apartments are permitted.

The subject property is in the Historic District. Approval by the Architectural Review Board (ARB) of all changes to protected properties is required for any improvement that results in a change to the exterior appearance of buildings/sites in terms of materials, color, or outward appearance including new construction. All five buildings on the subject property were protected as contributing structures: their demolition was reviewed and approved by the ARB. New construction such as that proposed as part of these agenda items will need to be reviewed by the ARB as part of its Certificate of Appropriateness review process. The ARB uses the Historic Design Standards for New Construction chapter to evaluate such proposals. All vacant sites in the Historic District are so protected. The New Construction chapter of the Design Standards promotes construction like those found elsewhere in the Historic District but in contemporary terms. Examples of new construction built under these standards include SPARC and Go at 320 South Main Street, and additions to 220, 400, and 535 South Main Street.

The proposed redevelopment of the subject property will be at a gross density of 7.46 units per acre. For the near term, the north half of the site will be developed including four residential lots with three facing East Street, and one facing North Street.

The proposed redevelopment of the site will maintain the east-west alley that bisects the site; it will be used for vehicular access and utility placement. A north-south alley is also proposed as part of the redevelopment. Both alleys will be paved and owned and maintained by the City like other public rights-of-way.

The City is requesting that the open space requirement for this redevelopment be waived. Three City parks are located within 1,100 feet of the subject property. Providing up to 11,650 square feet of open space on this site would either remove 2 lots from the redevelopment or result in much smaller lots/homes on the remainder of the subject property. The latter would be inconsistent with the goals of the redevelopment to provide as many affordable housing units as possible into the Historic District setting. As stated in the PUD Code, Section 1266.01, Intent and Objectives, "It is the intent of this chapter to accommodate creative and imaginative [PUDs] and to permit...innovations in land development that are in the best interest of the City..., in situations where conventional zoning is inappropriate or unduly restrictive. In order to accomplish this intent, it is the purpose of a PUD District to permit, in a carefully-designed development, a variety of uses and/or dwelling types, and to permit the flexible spacing of lots and buildings, the conservation of natural features of the landscape, the provision of accessible and enjoyable open spaces, and the provision of a necessary complement of community and neighborhood facilities."

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The ARB will be provided with a courtesy review of the redevelopment plan at their October 13 meeting and will review plans for new home construction and other details concurrent to the final development plan stage of the PUD review process.

Adjacent land uses include Springboro United Methodist Church (60 East North Street) to the northwest; the parking lot for the Springboro Eagles to the north; single-family residential to the east, south, and west; to the southeast a vacant former church building (145 East Market Street); a multiuse building (205 East Street) in the former township building to the southwest housing White Dover Circle of Light spiritual center and Springhouse Architects; the Methodist Church/City parking lot to the west and Reveals Truth Tabernacle church (130 East Street). Adjacent zoning includes R-2 District to the northwest, north, east, south, and west; CBD zoning can be found to the southeast and southwest.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 13, Historic Core, includes the subject property and others on East Street and South Main Street. The policy area recommends, among other actions, maintenance of the historic character and identity of the policy area through enforcement of the design guidelines to ensure property maintenance, infill, and new development are conducive to the policy area's design and atmosphere, and providing a mix of residential, service, and retail businesses to ensure a lively and interactive district.

Staff Comments

City staff has the following comments regarding this agenda item:

1. Include historical references as part of ARB approval of demolitions of existing homes on the subject property.
2. Plan subject to review by ARB. Details for proposed redevelopment subject to Design Standards addressing new construction and streetscape.
3. Other plan elements—lighting, landscaping—subject to Planning and Zoning Code provisions.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, October 3, 2025 at 12:00 p.m.



Northampton Phase 1 & 2 Additional Floor Plans/Elevations

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN ☐ FINAL DEVELOPMENT PLAN ☐ RECORD PLAN ☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
☐ Agent
☐ Lessee Address 9349 Waterstone Blvd. Suite 100
☐ Signed Purchase Contract Cincinnati, OH 45249

Telephone No. (513) 833-2206

Fax No. () N/A

Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Same as above

Address: Same as above

Same as above

Telephone No. () Same as above

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): Multiple - Northampton Phases 1 & 2 Acreage: 35.631

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75

Proposed Use: This application seeks to add Hampton, Windsor, Serenity, & Monroe house plans and/or new elevations to Northampton Ph. 1 & 2.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Justin R. Lanham
(Signature of Applicant and/or Agent)

9/19/25
(Date)

Justin Lanham
Printed Name



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 OFFICE



September 19, 2025

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton Ph. 1 & 2 – Minor Modification
Enclosed: Additional House Plans & Elevations

Dear Mr. Boron,

M/I Homes is requesting approval to offer the enclosed house plans at Northampton Ph. 1 & 2. The additional plans include the two-story Hampton and Windsor II as well as new elevations for previously approved Serenity and Monroe. These new plans fall within the previously approved range of 1,544sf - 3,852sf.

We would request the City allow future house plans added to Northampton be considered and approved by staff if consistent with the approved General Plan. Should you have any questions, please contact me.

Respectfully,

Justin Lanham

M/I Homes of Cincinnati, LLC
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
(513) 551-3954
ilanham@mihomes.com

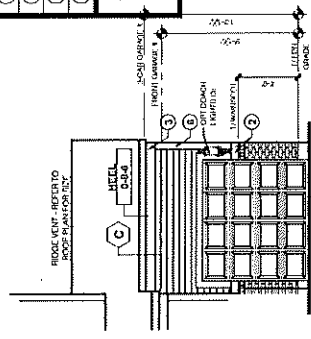
TYPICAL EXTERIOR TRIM FINISH

THE FINISHES ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SELECTION. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISHES AND MATERIALS.

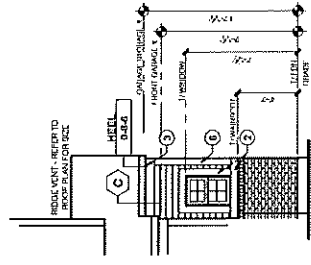
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2	= 6" TRIM (1x6, 2x6, 3x6, 4x6, 5x6, 6x6, 8x6, 10x6)
3	= 8" TRIM (1x8, 2x8, 3x8, 4x8, 5x8, 6x8, 8x8, 10x8)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 4" TRIM (1x4, 2x4, 3x4, 4x4, 5x4, 6x4, 8x4, 10x4)
7	REAR CORNERS = 4" TRIM (1x4, 2x4, 3x4, 4x4, 5x4, 6x4, 8x4, 10x4)

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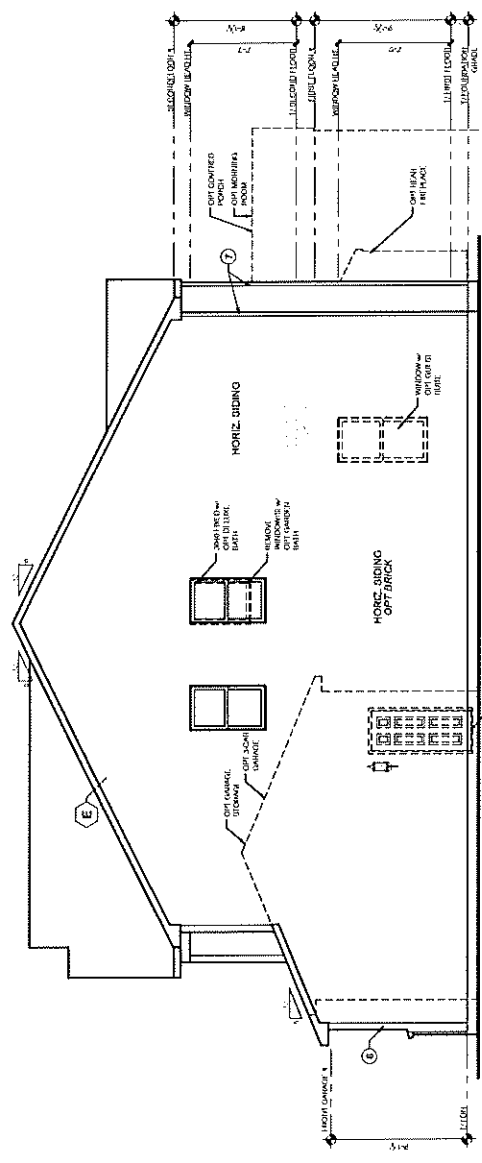
1. USE THE STRAPPING IS TO BE ON ON PORCH COULINGS WHERE APPLICABLE.



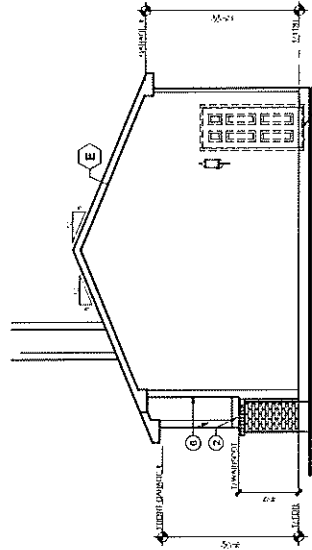
ELEVATION "A" - BRICK WAINSCOT FRONT ELEVATION
SCALE: 1/4" = 1'-0"



OPT 3-CAR GARAGE



ELEVATION "A" - BRICK WAINSCOT GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



OPT GARAGE STOR or 3-CAR GARAGE STD WAINSCOT

CLASSIC SERIES

11x17 PRINTS ARE 1/2 SCALE

TYPICAL EXTERIOR TRIM FINISH
 THE TRIM NOTED ON THE ELEVATIONS IS PROMISED SOLYLLA
 AS A GUIDE FOR ITEM ORDER. ALL TRIM NOTED ON THE
 ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM
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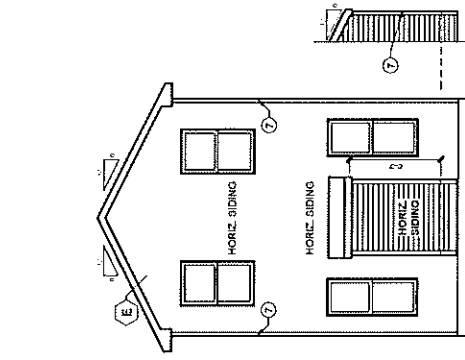
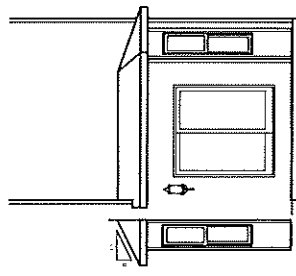
- ① = 6" TRIM (1/4" X 4 1/4" X 3/4" VINYL LINCOLN)
- ② = 6" TRIM (1/4" X 4 1/4" X 3/4" VINYL LINCOLN)
- ③ = 8" TRIM (1/4" X 4 1/4" X 3/4" VINYL LINCOLN)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS - 6" TRIM (PITCHBARK-BEFORE)
- ⑦ REAR CORNERS - 6" TRIM (PITCHBARK-BEFORE)

NOTES:
 1. USE 1/4" STRAPPING AT 16" O.C. ON GYPSUM CEILINGS
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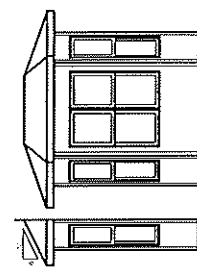
NOTES:

1. USE 1X4 STRAPPING @ 16" O.C. ON
WHICH VINYL IS USED

SEE SHEET Q1.0 FOR EAVE DETAILS

SEE SHY C1.1 FOR
LINTEL SCHEDULE**OPT REAR FIREPLACE**

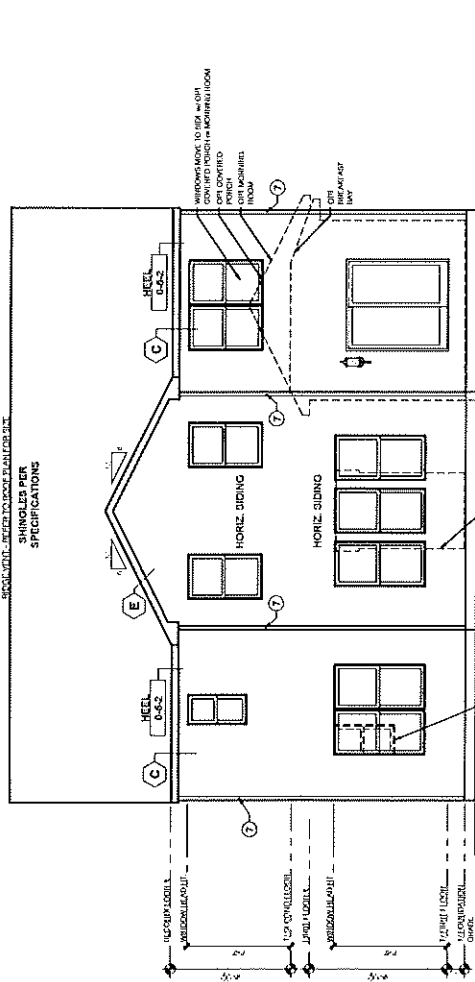
OPT BREAKFAST BAY



OPT DINING BAY

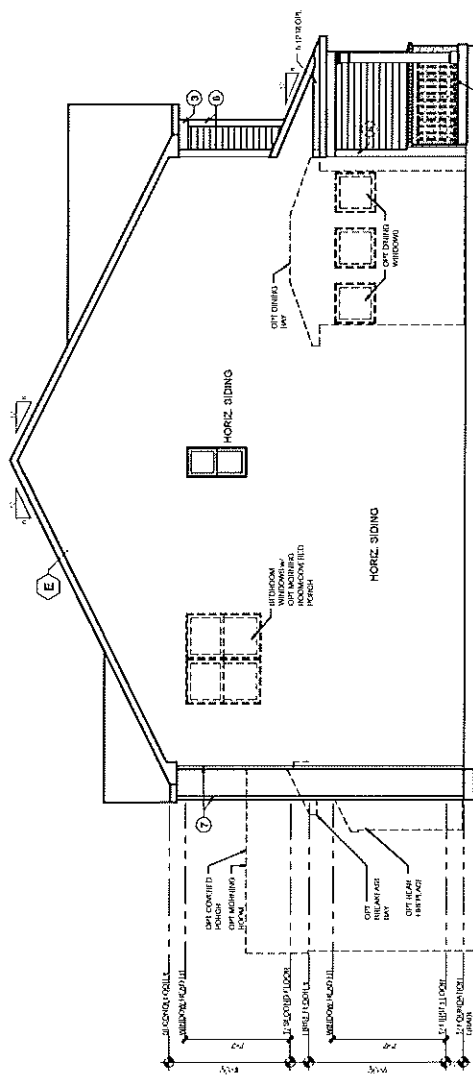


OPT BRICK
FRONT



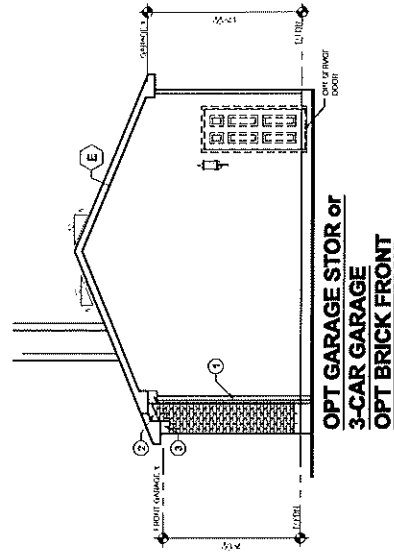
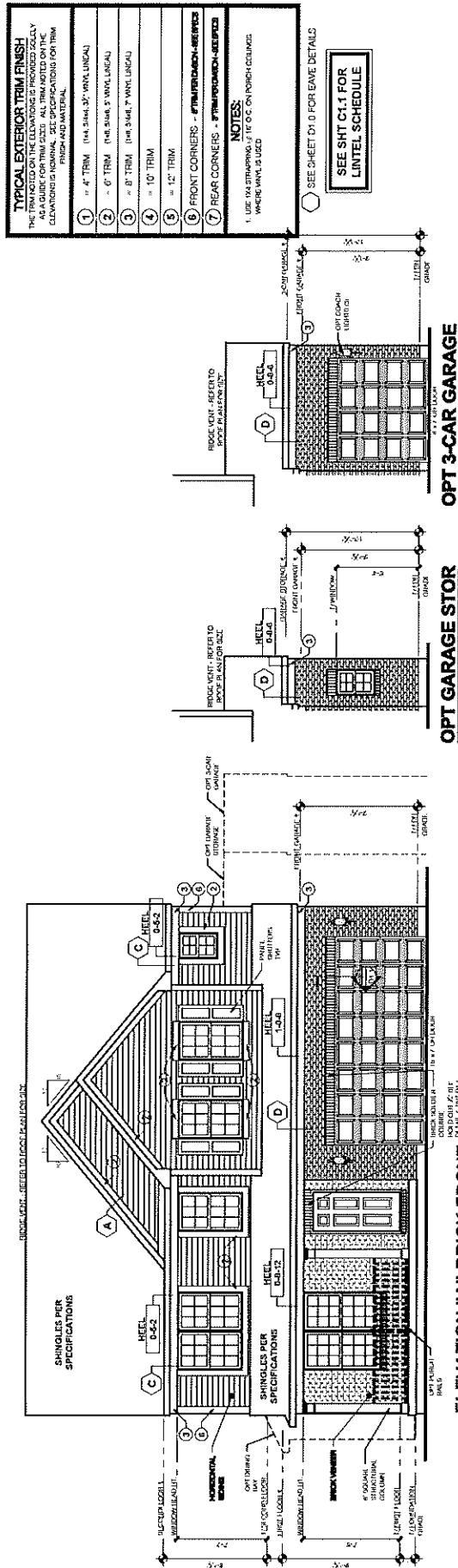
ELEVATION "A" REAR ELEVATION

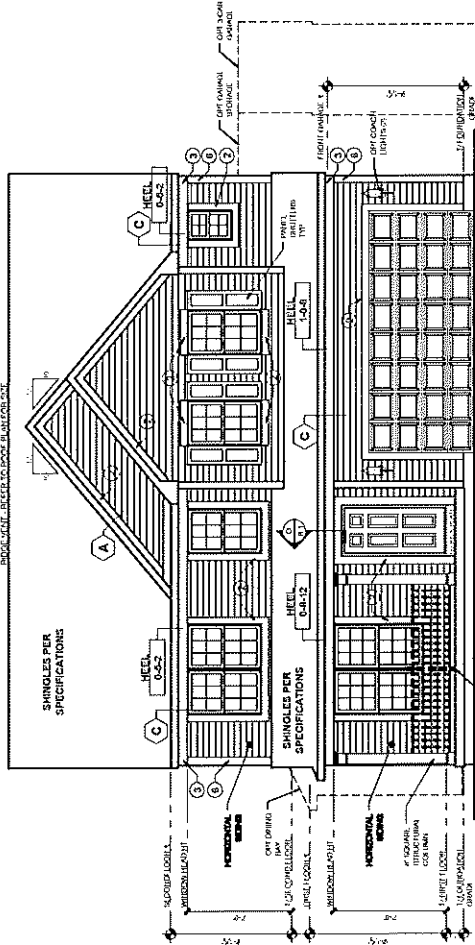
SCALE: 1/4" = 1'-0"



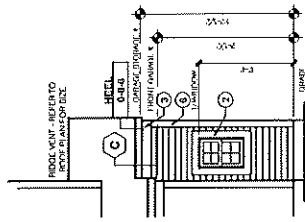
ELEVATION "A"
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

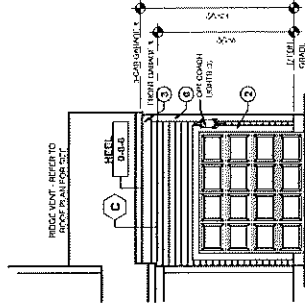




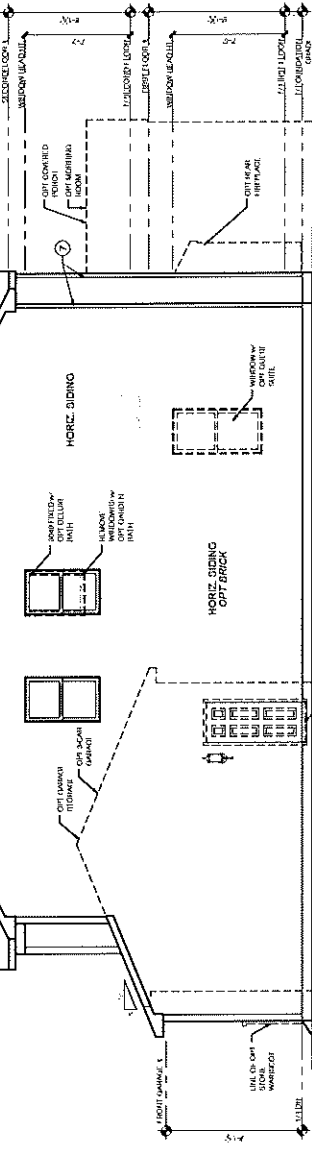
ELEVATION "A"
FRONT ELEVATION



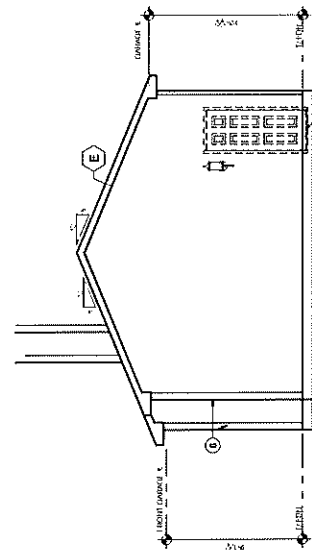
OPT GARAGE STOR



OPT 3-CAR GARAGE



ELEVATION "A"
GARAGE SIDE ELEVATION



OPT GARAGE STOR or
3-CAR GARAGE-SIDING

TYPICAL EXTERIOR TRIM FINISH: THE FOLLOWING TRIM FINISHES ARE TO BE USED FOR ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISHES AND MATERIALS.
1 = 4" TRIM (1/4, 3/4, 1 1/2", VINYL LINEN)
2 = 6" TRIM (1/4, 3/4, 1 1/2", VINYL LINEN)
3 = 8" TRIM (1/4, 3/4, 1 1/2", VINYL LINEN)
4 = 10" TRIM
5 = 12" TRIM
6 FRONT CORNERS - STAINLESS STEEL
7 REAR CORNERS - STAINLESS STEEL
NOTES: 1. USE TRIM STRAPPING 1/4" WIDE ON PORCH CEILING WHERE VINYL IS USED

SEE SHT C1.1 FOR
LINTEL SCHEDULE

SEE SHEET D1.0 FOR EAVE DETAILS

NOTES:

1 USE 1X4 STRAPPING UP 16" O.C. ON PORCH CEILING WHERE VENT. IS USED

⑥ FRONT CORNERS - STAMP PERMISSION-SEE 2B

4 10" TRIM

② 6" TRIM (1x6, 3/4x6, 5" VINYL LINCOLN)

FINDING AND MATERIAL

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLD

11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SETS. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (114, 5444, 32" VINYL LINEAL)
- ② = 6" TRIM (114, 5444, 5" VINYL LINEAL)
- ③ = 8" TRIM (114, 5444, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM

⑥ FRONT CORNERS - CRIMPED DRAINAGE - SEE NOTES

NOTES:

1. USE 1X4 STRAPPING 1.0 18" O.C. ON PORCH CEILING

SEE SHEET D1.0 FOR FAVE DETAILS.

SEE SHT C1.1 FOR
UNTEL SCHEDULE

OPT 3-CAR GARAGE
OPT STONE

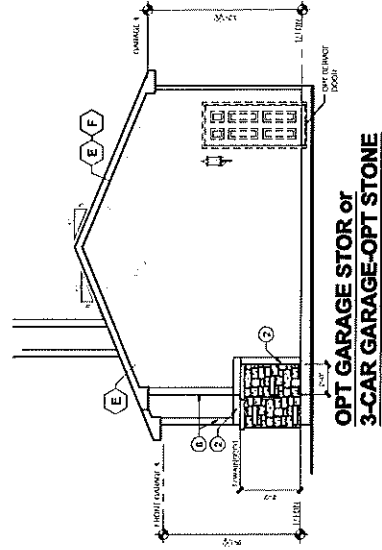
OPT GARAGE STOR
OPT STONE

**ELEVATION "A" - STONE WAINSCOT
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

STONE VENEER INSTALLATION NOTES:

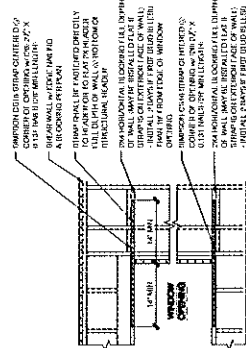
1. APPLY GELBEE FLAKING TO ALL WALLS THAT WALL BOARDING APPLIED
2. INSTALL AND FLASH ALL WINDOWS AND DOORS. FLASHING SHOULD EXTEND PAST ANY TRIM THAT WILL BE APPLIED LATER
3. APPLY TIC AND WATER BARRIER TO ALL ROOF AND OUTSIDE CORNERS THAT WILL BE COVERED BY THE ROOFING OR SIDING
4. APPLY 2" LAYER OF INSULATION ON OUTSIDE OF ROOF AND SIDING
5. APPLY 2" LAYER OF THICK OR OTHER WEATHER PROOF MEMBRANE OVER USED ROOF AND WATER BARRIER. LAY OVER WITH GRADED FLANGE
6. APPLY METAL LATH AND ZEMDASH COAT OF MORTAR
7. INSTALL ALL TRIM, FINISH TIC, OVER SCATCH COAT OF MORTAR
8. INSTALL ALL SIDING. DO NOT DAUGHTER ON TOP OF STONE
9. HOOK UP ROOFING



OPT GARAGE STOR or
3-CAR GARAGE-OPT STONE

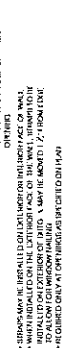
①

GRT



(2)

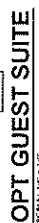
CCALF: NT9



ELEVATION "A"-BRICK (WAINSCOT & FULL BRICK)
FRAMING PLAN
FIRST FLOOR
SCALE: 3/4" = 1'-0"

SCALE: 100 = 100%

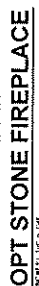
11x17 PRINTS ARE 1/2 SCALE



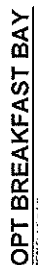
OPT GUEST SUITE



OPT REAR FIREPLACE



OPT STONE FIREPLACE



OPT BREAKFAST BAY

11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PRICED AS SHOWN
AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE
ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM
SIZES AND WEIGHTS.

1	= 4" TRIM (1X4 S4X4, 2" WPLY LINICAL)
2	= 6" TRIM (1X6 S4X6, 2" WPLY LINICAL)
3	= 8" TRIM (1X8 S4X8, 2" WPLY LINICAL)
4	= 10" TRIM (1X10 S4X10, 2" WPLY LINICAL)
5	= 12" TRIM
6	FRONT CORNERS = PTERODROMED-REPAIR
7	REAR CORNERS = PTERODROMED-REPAIR

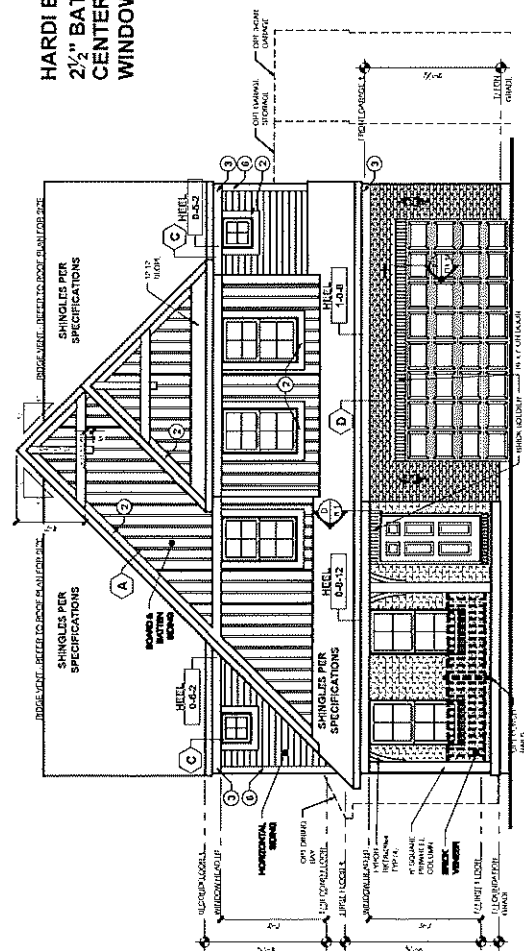
NOTES:
1. USE 1X4 STRAPPING AT 16" O.C. ON WHICH CEILING
WHOLE WPLY IS USED

SEE SHT C1.1 FOR
LINTEL SCHEDULE

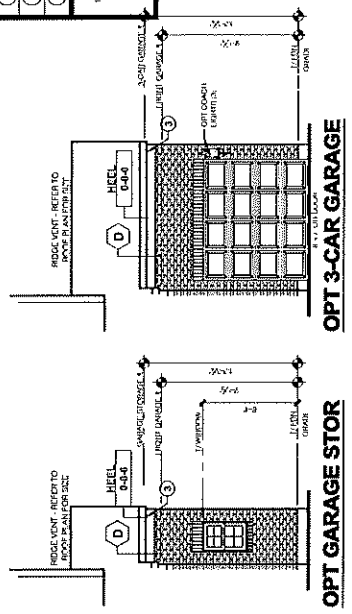
NOTES:

1. USE 1X4 STRAPPING, 1/2" O.C. ON PORCH CEILING WHERE VINYL IS USED

**HARDI BOARD & BATTENS TO USE
2½" BATTEN BOARDS @ 16" O.C.
CENTER PATTERN ON GABLES &
WINDOWS UNDER PORCH**

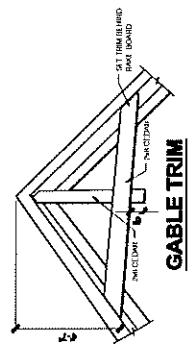


**ELEVATION "B"-BRICK FRONT
FRONT ELEVATION**

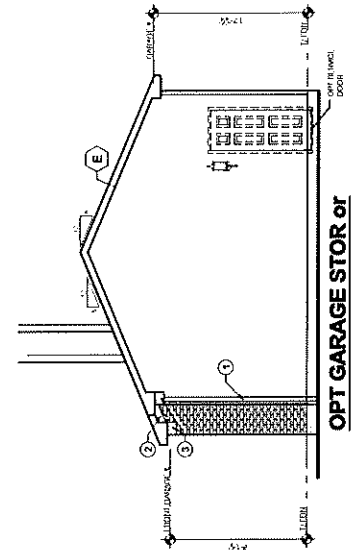


OPT 3-CAR GARAGE

OPT GARAGE STOR



GABLE TRIM



OPT GARAGE STOR or
3-CAR GARAGE
OPT BRICK FRONT

11x17 PRINTS ARE 1/8" SCALE

CLASSIC SERIES

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED ONLY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS HORIZONTAL. SEE SPECIFICATIONS FOR TRIM DIMENSIONS AND FINISHES.

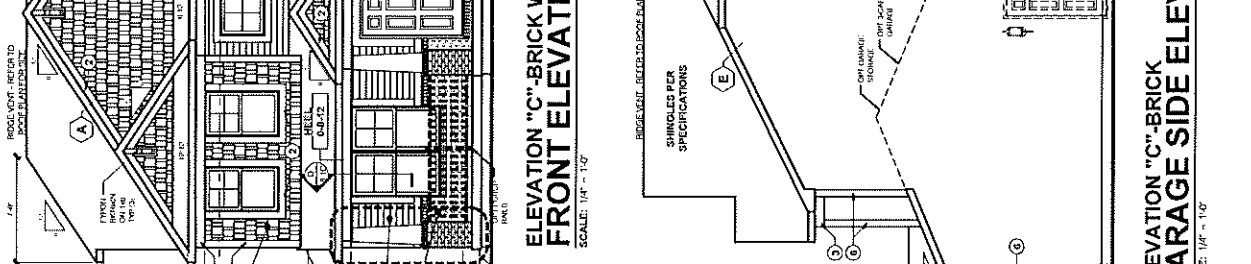
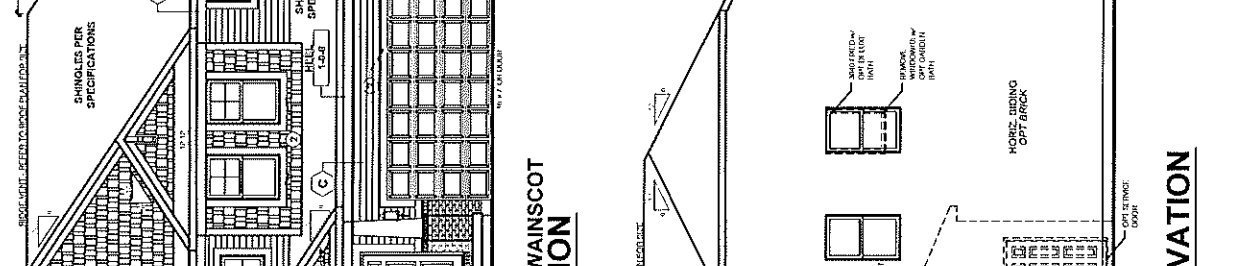
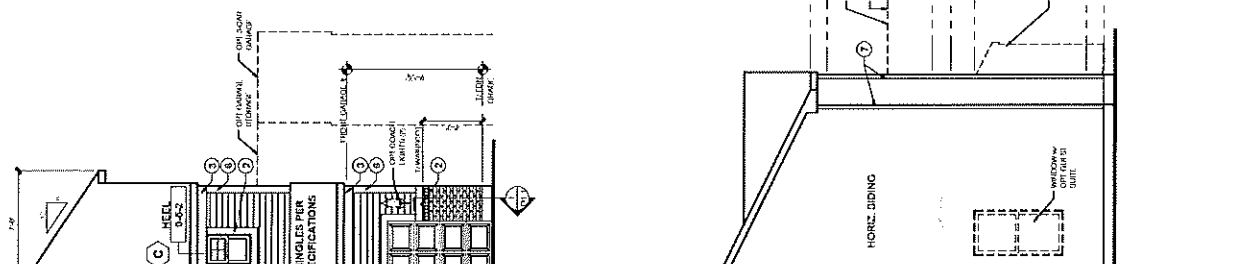
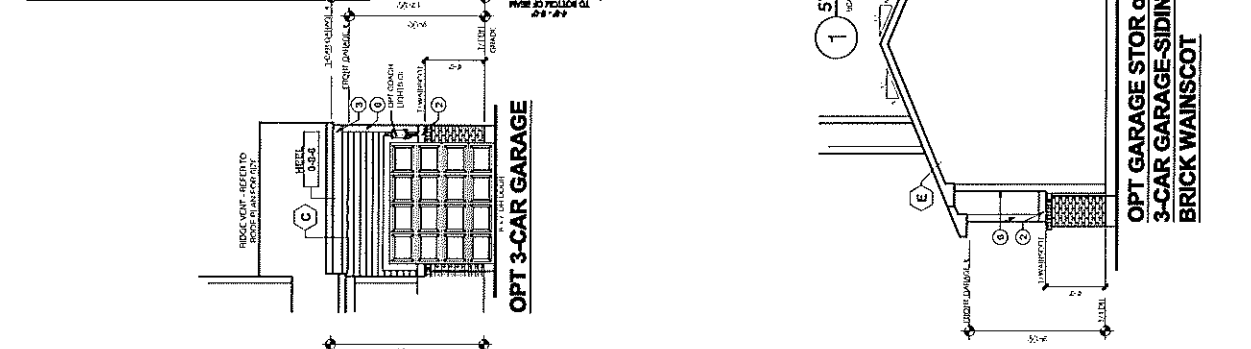
1	4" TRIM	(1/4" SHIM, 3/4" VINYL LINCOLN)
2	6" TRIM	(1/4" SHIM, 3/4" VINYL LINCOLN)
3	8" TRIM	(1/4" SHIM, 3/4" VINYL LINCOLN)
4	10" TRIM	(1/4" SHIM, 3/4" VINYL LINCOLN)
5	12" TRIM	(1/4" SHIM, 3/4" VINYL LINCOLN)
6	FRONT CORNERS	6" FINISH CORNER - SEE SPEC
7	REAR CORNERS	6" FINISH CORNER - SEE SPEC

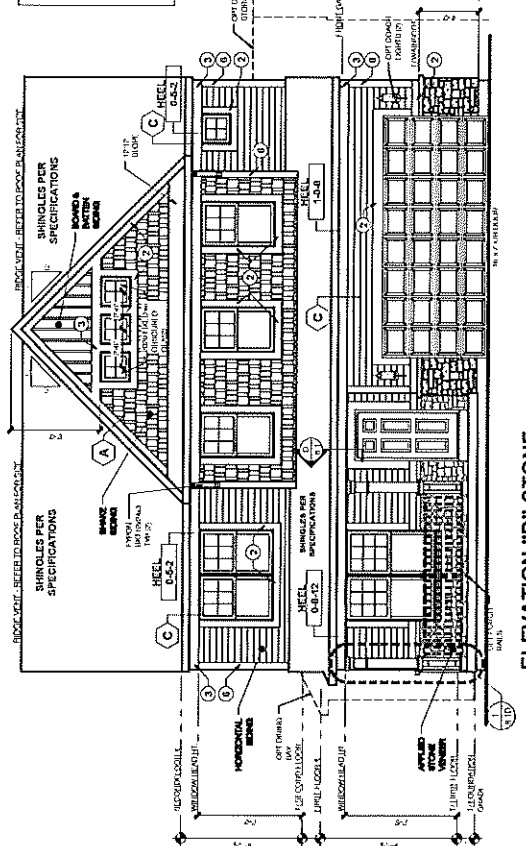
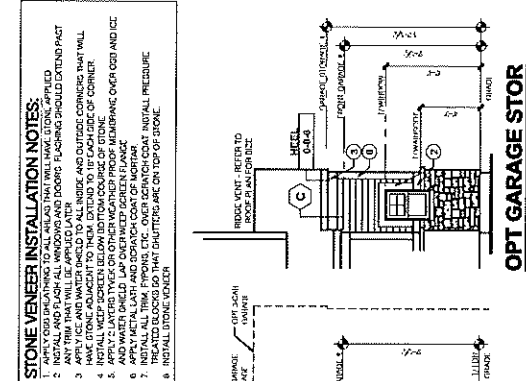
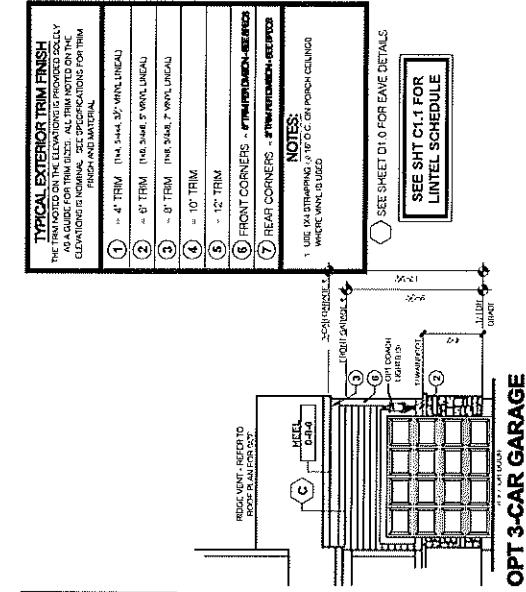
NOTES:

- USE THE STRAPPING IF IT IS ON PORCH CEILING WHERE NOTED.

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR LINTEL SCHEDULE

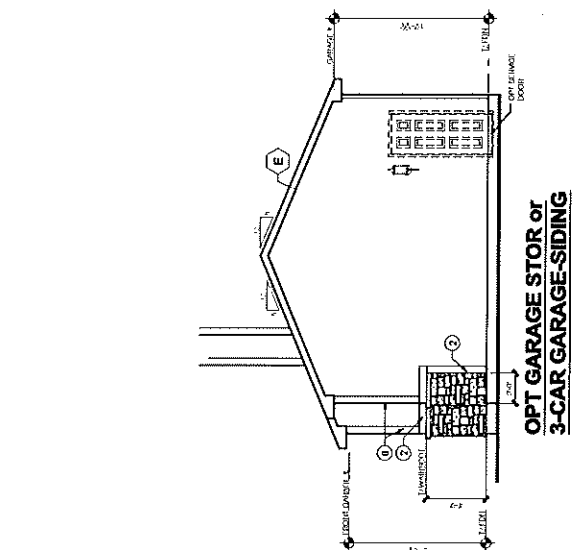




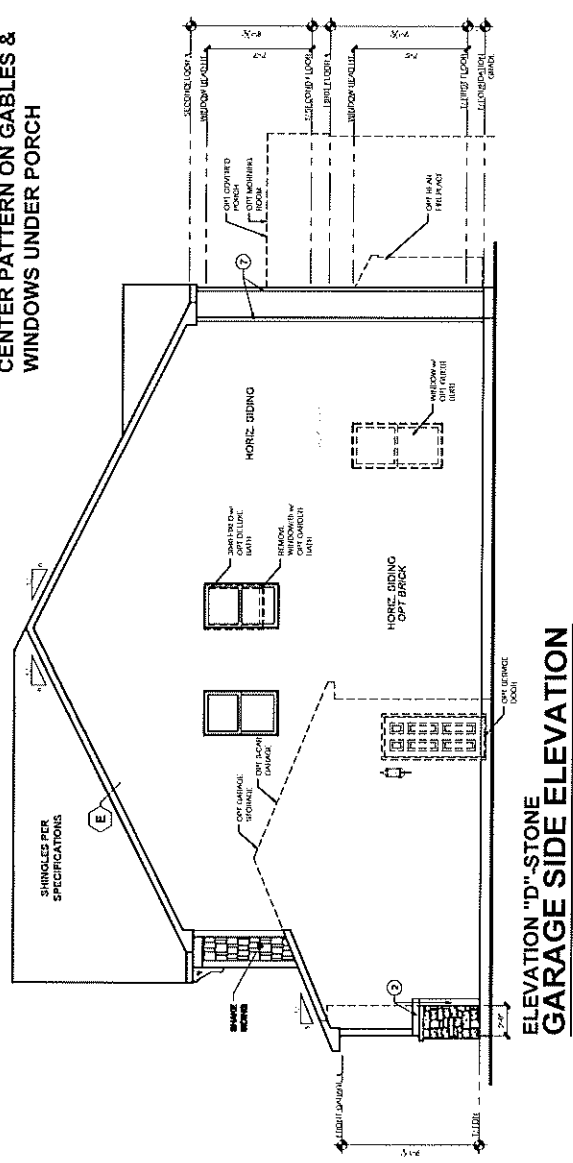
OPT GARAGE STOR

THE UNIVERSITY OF CHICAGO

**HARDI BOARD & BATTENS TO USE
2 1/2" BATTEN BOARDS @ 16" O.C.
CENTER PATTERN ON GABLES &
WINDOWS UNDER PORCH**




**OPT GARAGE STOR or
3-CAR GARAGE-SIDING**



ELEVATION "D"-STONE
GARAGE SIDE ELEVATION


REVISION TO HOUSE		
REV#	DATE	BY DESCRIPTION
6	6-1-11	CH# ENERGY STAR 3.0 REVISIONS
7	8-6-11	CH# RE-DESIGN FRONT ELEVATION TO OPT V R. EXTENSION TO NEW EXTERIOR WALLS. 15' CABINETS ADJACENT TO RANGE/REFCO CHANGED TO 12' CABINETS ADJACENT TO THE SINK CHANGED FROM W3030 TO W2700 AND B30 TO B30. BREAKFAST BAY WINDOWS CHANGED FROM 200% TO 160%. DELETED ELEVATION 'K'. DELETED PORCHES FROM MAIN AND SECOND FLOORS. DELETED PORCHES FROM CHANGES THE WINDOW CASING AND THE WINDOW SILL FROM A 5650 TO 2046 CASING. SEE THE PLAN FOR CLARIFICATION. MODIFIED THE LOCATION OF THE RIDGE IN THE OPTIONAL RETRACT WALKED CEILING ELEVATION 'C'. CORRECTED THE WIDTH OF THE EXTERIOR ARCHED OPENING FROM 10' TO 12'. DELETED THE EXTERIOR ARCHED OPENING FROM THE SECOND FLOOR DETECTOR TO COORDINATE DETECTOR ON THE SECOND FLOOR DETECTOR. DELETED THE EXTERIOR ARCHED OPENING FROM THE SECOND FLOOR DETECTOR. SEE PLAN FOR CLARIFICATION.
8	9-29-12	WCF REVISED CEILING, LOCATED CHIMNEY AND T-STAT
9	5-10-14	CH# REVISED CEILING, LOCATED CHIMNEY AND T-STAT
10	11-1-14	WCF Replaced ceiling mounted lights per Chl new spec and Scott's redlines
11	1-1-15	CH# REVISED CABINETS PER NEW SPEC. ADDED OPT CHEFS KITCHEN
12	5-14-15	CH# REVISED COVER SHEET FOR SUNROOM (1) 240 OF 240 (2) 240 OF 240 (3) 240 OF 240
13	10-1-15	CH# REVISED ISLAND IN GOURMET KITCHEN TO BE STANDARD
14	3-1-17	NAB GENERAL CLEAN-UP/RE-PUBLISH
15	2-9-18	WCF GENERAL CLEAN-UP / RE-PUBLISH
16	7-1-19	CH# 2019 RCD
17	11-1-19	CH# GENERAL CLEAN-UP/RE-PUBLISH
18	5-24-20	MAL GENERAL CLEAN-UP AND PUBLISH
19	10-21-20	Chad Added the brick wrap plan. Deleted the Luxury Bath. Deleted VDT options
20	2-5-24	Chad Added new Kitchens



M/I HOMES
PRESENTS
WINDSOR II
Elevation B
Owner's Name
FINAL
2-5-2024
Windsor II New Kitchens

2x6 EXTERIOR WALLS

WINDSOR II "B"	
Sheet Number	Sheet Title
C1.0	Cover Sheet Circum
C1.1	General Notes Ohio
C1.2	Option List
1.0B	Front and Garage Elevations
1.1B	Rear and Side Elevations
2.0B	Full Basement Plan
2.1	Finished Basement Plan
3.0B	1st Floor Subfloor
4.0B	1st Fl Plan - Basement
4.1	1st Fl Options - Gourmet Kitchen
4.2	1st Fl Options - Luxe Kitchen
5.0B	Second Floor Subfloor Plan
6.0B	2nd Fl Plan
M1.0B	1st MEP Plan
M1.1	1st Fl Options - Gourmet Kitchen - MEP
M1.2	1st Fl Options - Luxe Kitchen - MEP
M2.0B	2nd Fl MEP Plan
7.0B	Roof Plan - Basic Roof
8.0B	Section - Building Stair
8.1B	Section - Building
9.0	Cabinets - 1
9.1	Cabinets - 2 - Opt Gourmet Kitchen
9.2	Cabinets - 3 - Opt Luxe Kitchen
9.3	Cabinets - 4 - Second Floor
R1.0B	Opt Carago Storage
R2.0B	Opt 3-Car Front Entry
R3.0	Opt 6 Family Room Ext



M/I HOMES
9342 Waterford Blvd
Cincinnati, OH 45249
Ph 513.428.5400

WINDSOR II
FINAL
2-5-2024

C1.0
Sheet:
Sheet Title:
Sheet Number:
Sheet Date:
Sheet By:
Sheet Check:
Sheet Date:
Sheet By:

THIS RELEASE INCLUDES ALL CHANGES THROUGH CHANGE ORDER # _____

MI HOMES - COMMON ABBREVIATIONS ON PRINTS

1st - FIRST	INCL - INCLUDED	305 - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	3H - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
BL - BOTTOM	LGS - LOCATION	SPC - SPRUCE PINE FIR
BRFST - BREAKFAST	MANUF - MANUFACTURER	STR - STRIP
CATH - CATHEDRAL	MAD - MADROOM	DYP - DYPHEN
CONC - CONCRETE	OC - ON CENTER	YEL - YELLOW PINE
V - CENTERLINE	OH - OVERHANG	T - TYP
DBL - DOUBLE	OPT - OPTIONAL	TKND - THICKENED
DL - DOUBLE HUNG	PC - PULL CHAIN	UND - UNDES NOTED OTHERWISE
DIA - DIAMETER	PERF - PERFECTED	VF - VERIFY IN FIELD
DN - DOWN	PF - PER SQUARE	W - W/
DW - DOW WADDER	FOOT - FOOT	WO - WOOD
EQ - FLOOR CRAN	FT - TREATED	WH - WATER HEATER
FIN - FOUNDATION	PT - TREATED	WIC - WALK IN CLOSET
FLR - FLOOR	PRY - PANTRY	W - WALK IN CLOSET
FPB - FROST	PWD - POWDER	W - WALK IN CLOSET
HT - HATCH	PL - PLATE	W - WALK IN CLOSET
HTG - HEATING	R - BATH - RETREAT	W - WALK IN CLOSET
FTG - FOOTING	REF - REFRIGERATOR	W - WALK IN CLOSET
QWB - CYPRESS WALL BOARD	RET - RETREAT	W - WALK IN CLOSET
M - BATH - HALL BATH	RI - ROUN IN	W - WALK IN CLOSET
ILO - IN LIEU OF	SCH - SCHEDULE	W - WALK IN CLOSET

SQUARE FOOTAGE - ELEV "B"

1ST FLOOR	0934
2ND FLOOR	1100
TOTAL HEATED	2224
GARAGE	422
3-CAR FRONT LOAD GARAGE	+190
GARAGE STORAGE	+76
BASEMENT	1099
FINISHED BASEMENT	+510
BREAKFAST BAY (REAR)	+16
SUNROOM	+240
W/BLP TO FAMILY ROOM	+110

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

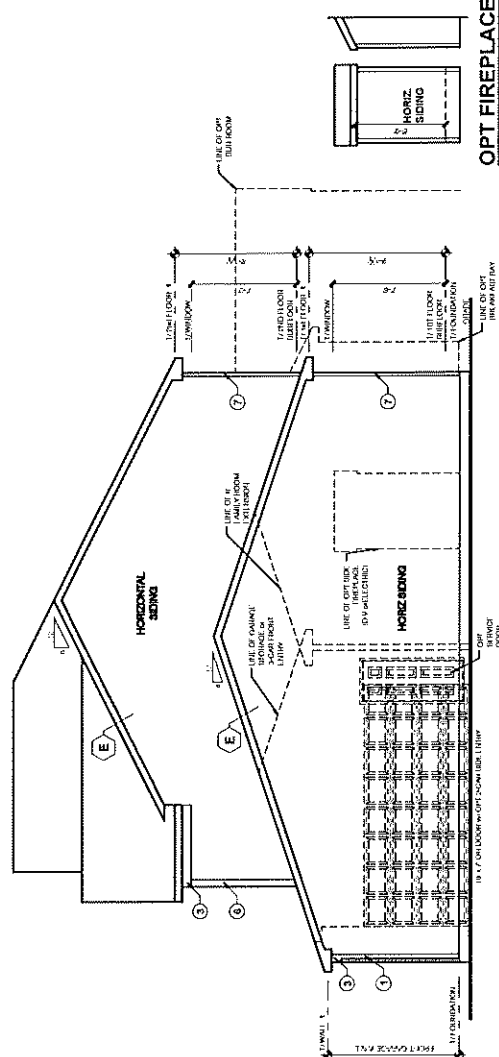
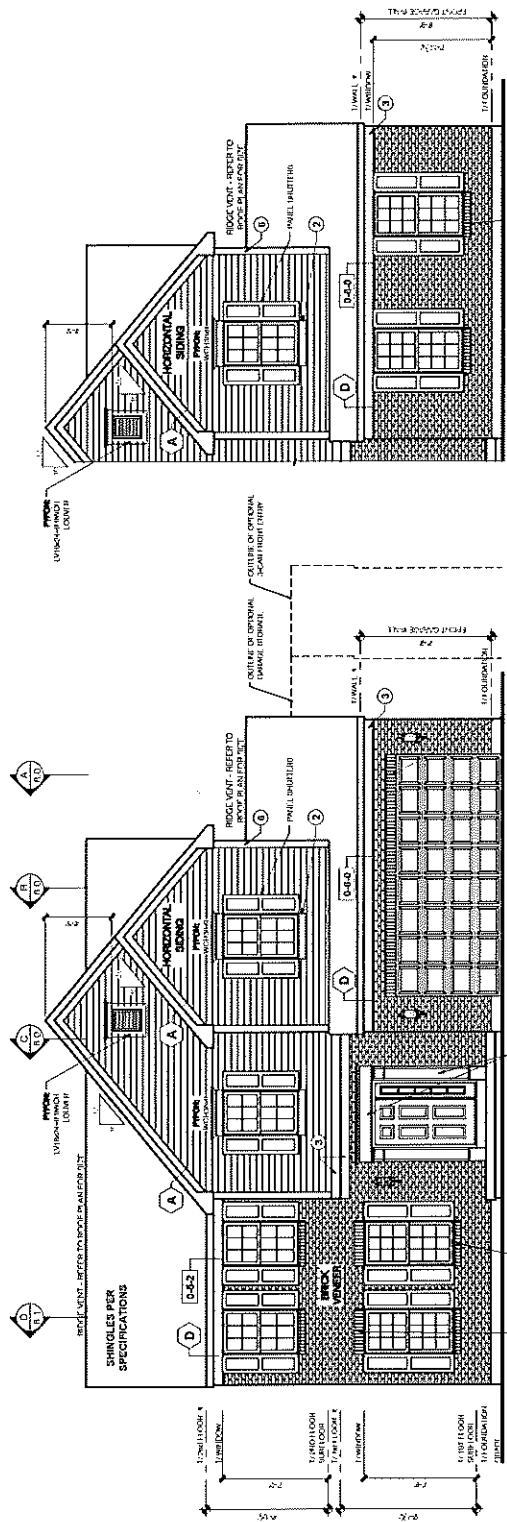
LINTEL SCHEDULE					REARING
MAX SPAN	HEIGHT OF VENEER			GREATER THAN SPAN	
	6"	18"	24"		32"
2'-0"	3'-0"x6"	3'-0"x6"	3'-0"x6"	3'-0"x6"	6"
5'-4"	3'-0"x6"	3'-0"x6"	3'-0"x6"	4'-0"x6"	6"
18'-4"	18'-0"x6"	18'-0"x6"	18'-0"	18'-0"	6"

ELEVATION "B" 2-CAR SIDE ENTRY

ELEVATION "B"
HOLD OUT 1/2" WILL
FRONT ELEVATION

**ELEVATION "B"
GARAGE SIDE ELEVATION**

OPT FIREPLACE
SCALE: 1/4" = 1'-0"

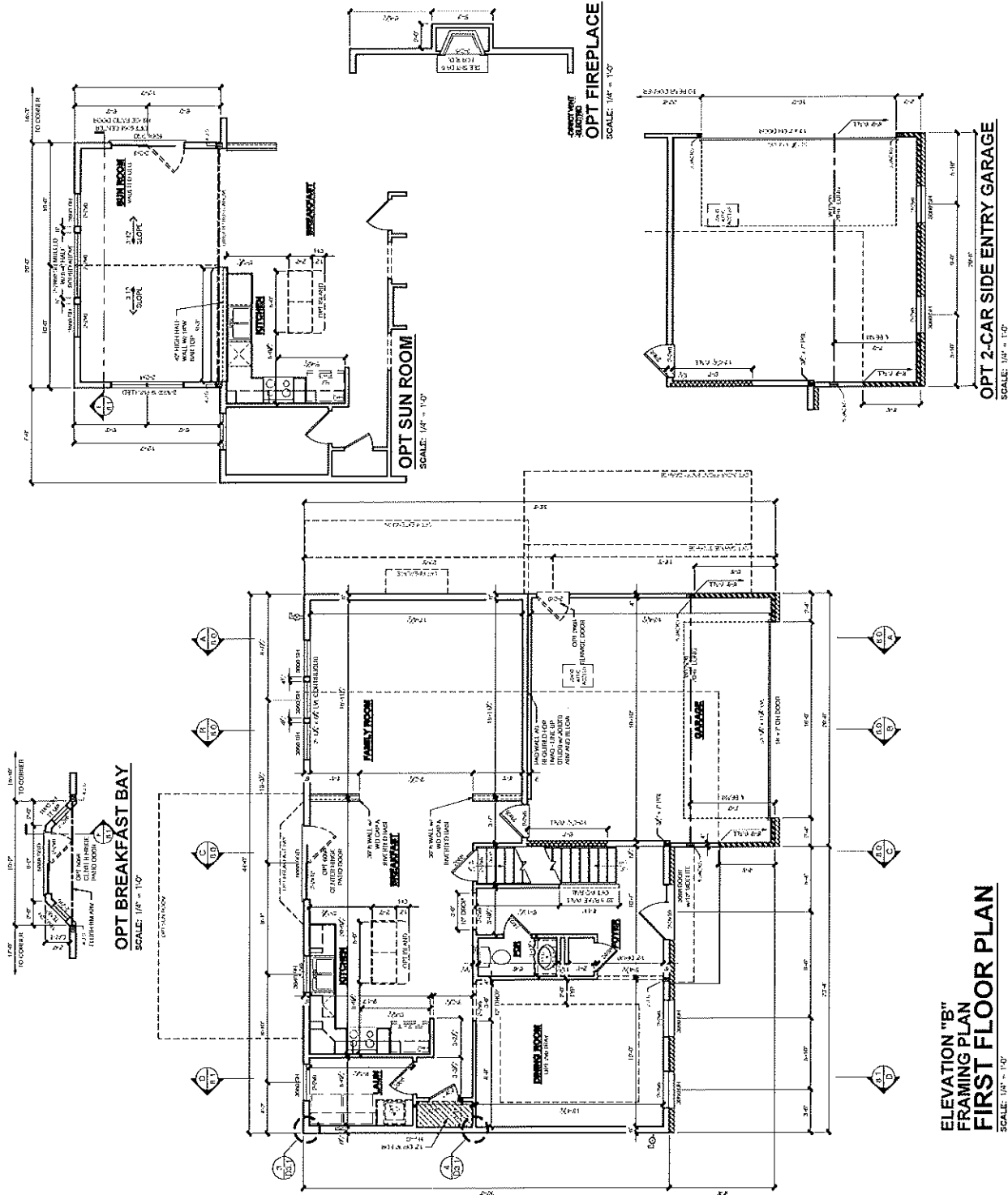


[illegible]

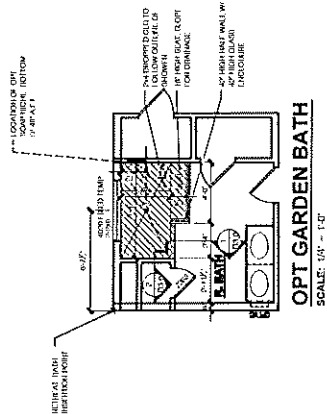
TYPICAL STUD WALL SIZES PER LOCATION:

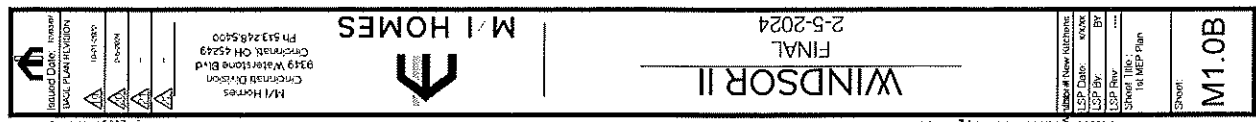
- EXT. BORN WALL AT CONCRETE RIGIDITY ARE 24" x 24" x 10'0" WIDE
- INT. BORN WALL AT CONCRETE RIGIDITY ARE 24" x 24" x 10'0" WIDE
- INTERIOR ACQUIC COMBINATION WALLS ARE 24" x 24" x 10'0" WIDE
- CORNER EXTERIOR WALLS ARE 24" x 24" x 10'0" WIDE
- CORNER EXTERIOR WALLS ARE 24" x 24" x 10'0" WIDE
- WALLS ADJACENT TO OTHER WALLS ARE 24" x 24" x 10'0" WIDE
- WALLS ADJACENT TO OTHER WALLS ARE 24" x 24" x 10'0" WIDE
- WALLS ADJACENT TO OTHER WALLS ARE 24" x 24" x 10'0" WIDE
- WALLS ADJACENT TO OTHER WALLS ARE 24" x 24" x 10'0" WIDE

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD
AND (1) KING STUD (A.D.C. UNO)
SEE DETAIL 2 SHEET D3.1
SEE SHEET D6.0 FOR ROUGH OPENING SIZES

[illegible]

**ELEVATION "B"
FRAMING PLAN
FIRST FLOOR PLAN**



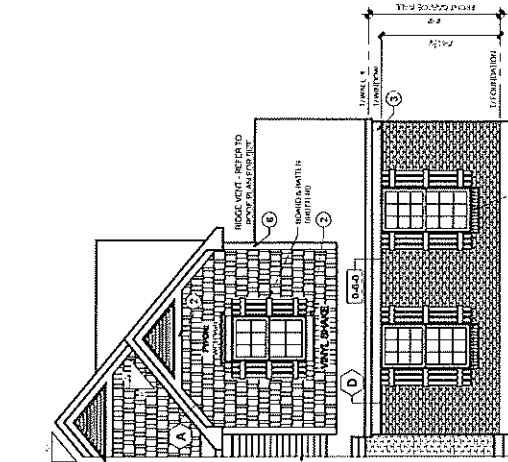


OPT 2-CAR SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"

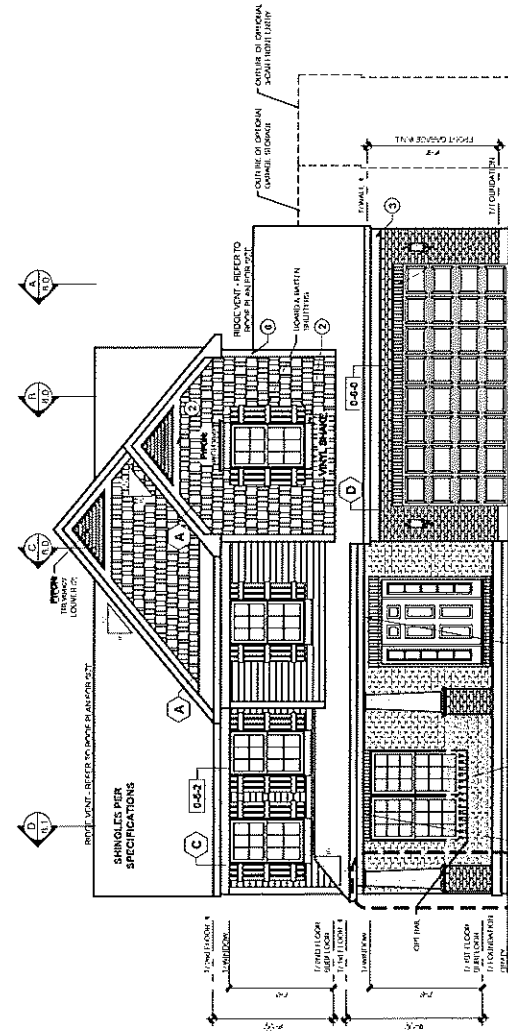
SCALE: 1/4" = 1'-0"

LINTEL SCHEDULE					BEARING
MAX SPAN	HEIGHT OF VENEER			GREATER THAN SPAN?	
	8"	16"	24"		32"
3 TO 8"	3" x 8" x 4"	3" x 8" x 4"	3" x 8" x 4"	3" x 8" x 4"	8"
8 TO 14"	3" x 8" x 4"	3" x 8" x 4"	3" x 8" x 4"	4" x 8" x 4"	8"
14 TO 18"	4" x 8" x 4"	4" x 8" x 4"	4" x 8" x 4"	4" x 8" x 4"	8"

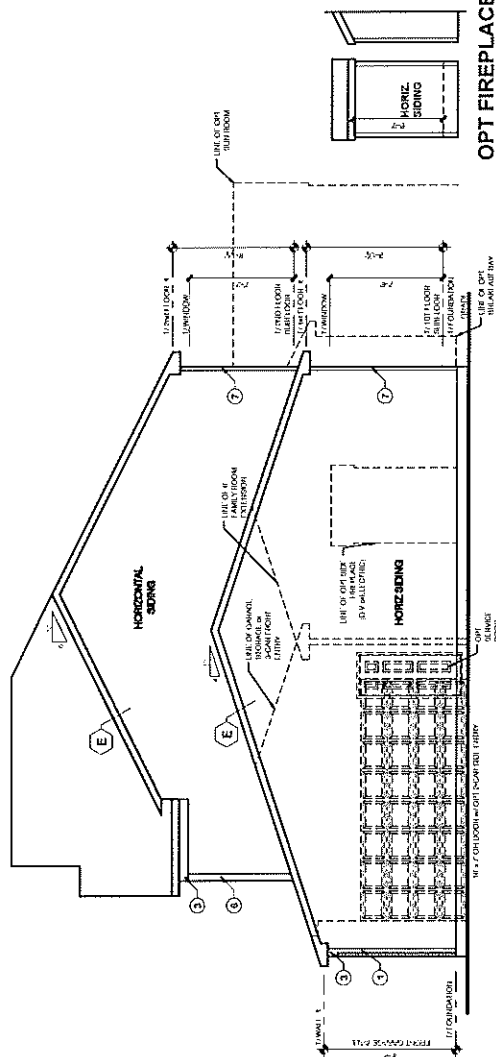
ELEVATION "D" 2-CAR SIDE ENTRY



ELEVATION "D"
FRONT ELEVATION



ELEVATION "D"
GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



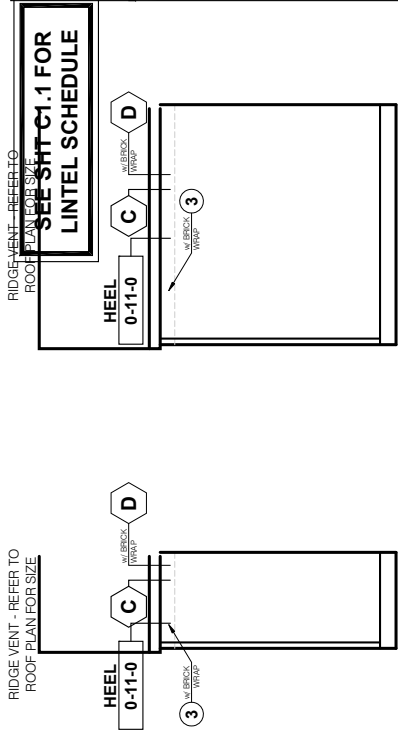
OPT FIREPLACE
SCALE: 1/4" = 1'-0"

11x17 PRINTS ARE 1/2 SCALE

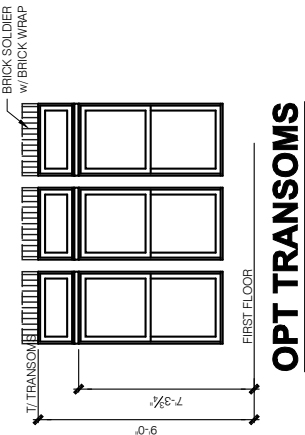




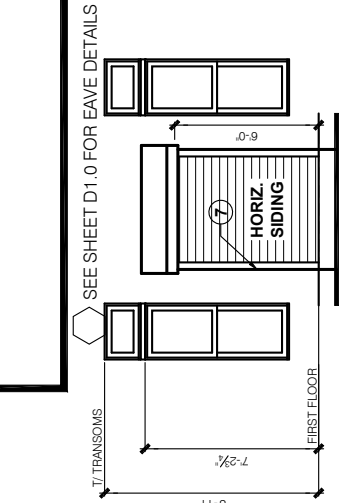
11x17 PRINTS ARE 1/2 SCALE



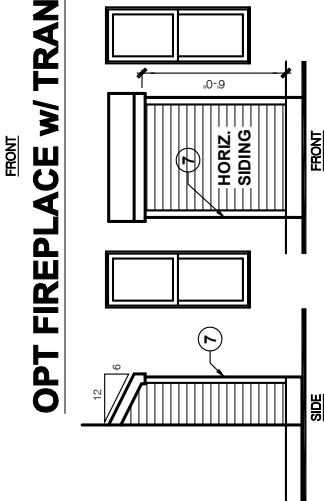
GARAGE STORAGE 3-CAR FRONT ENTRY



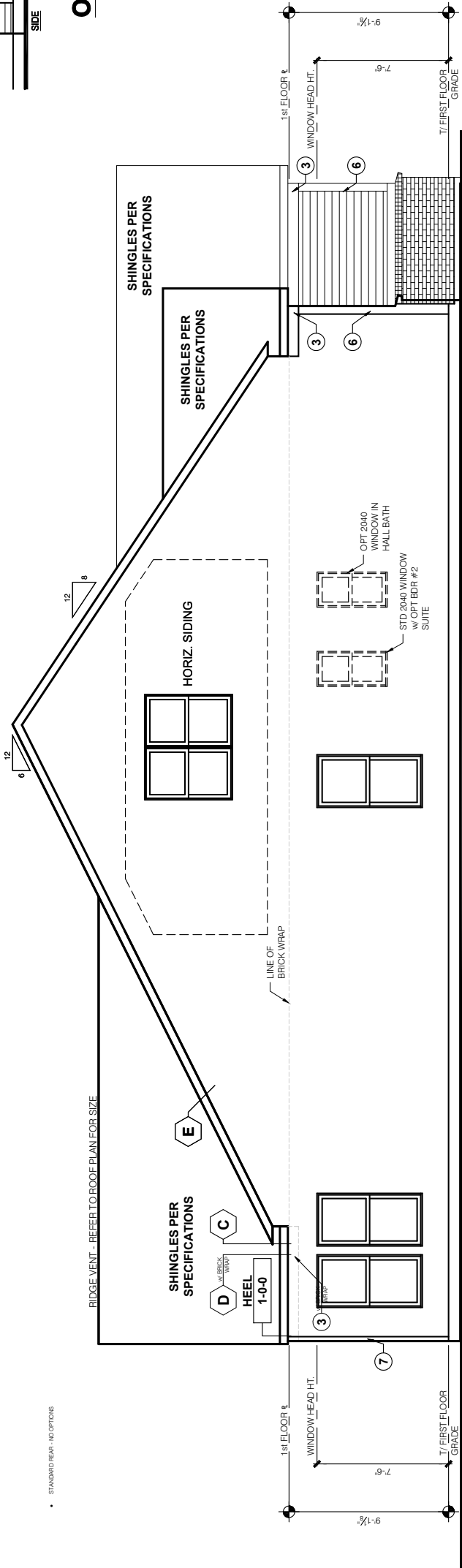
OPT TRANSOMS



OPT FIREPLACE w/ TRANSOMS



OPT FIREPLACE



ELEVATION "A"
REAR ELEVATION w/ 2nd FLOOR

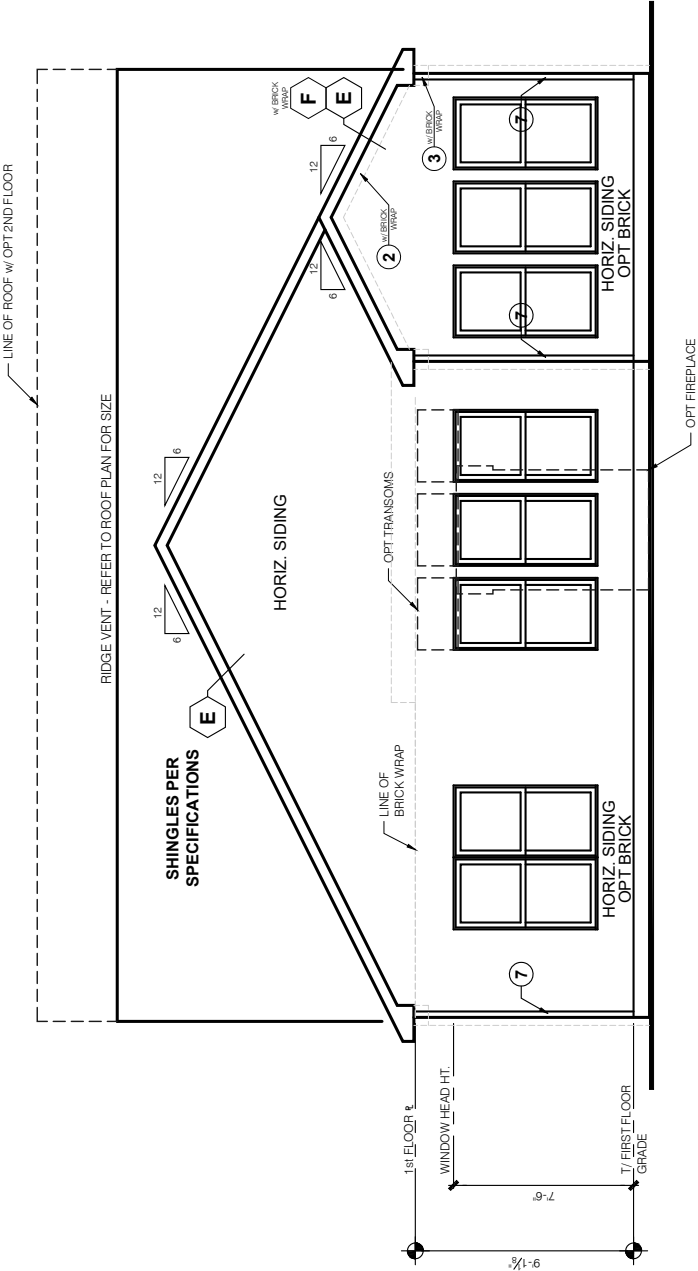
SCALE: 1/4" = 1'-0"

**ELEVATION "A" - BRICK WAINSCOT
SIDE ELEVATION w/ 2nd FLOOR**

SCALE: $1/4" = 1'-0"$

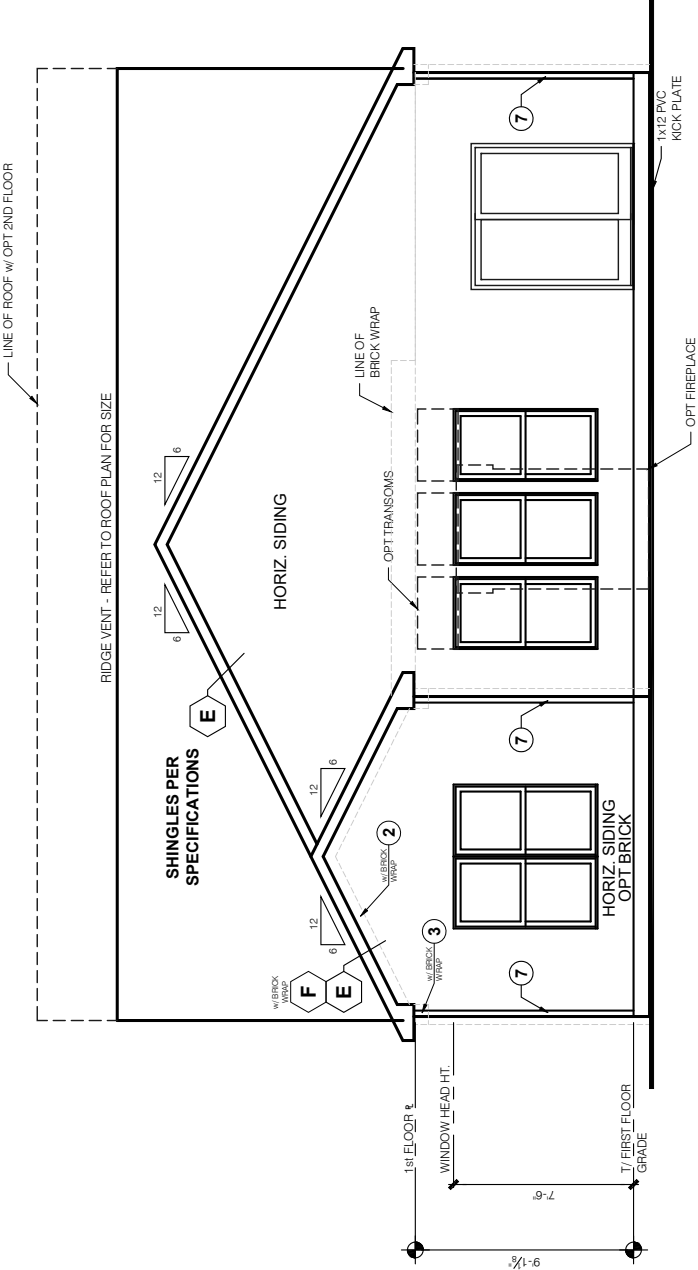
CLASSIC SERIES

11x17 PRINTS ARE 1/2" SCALE



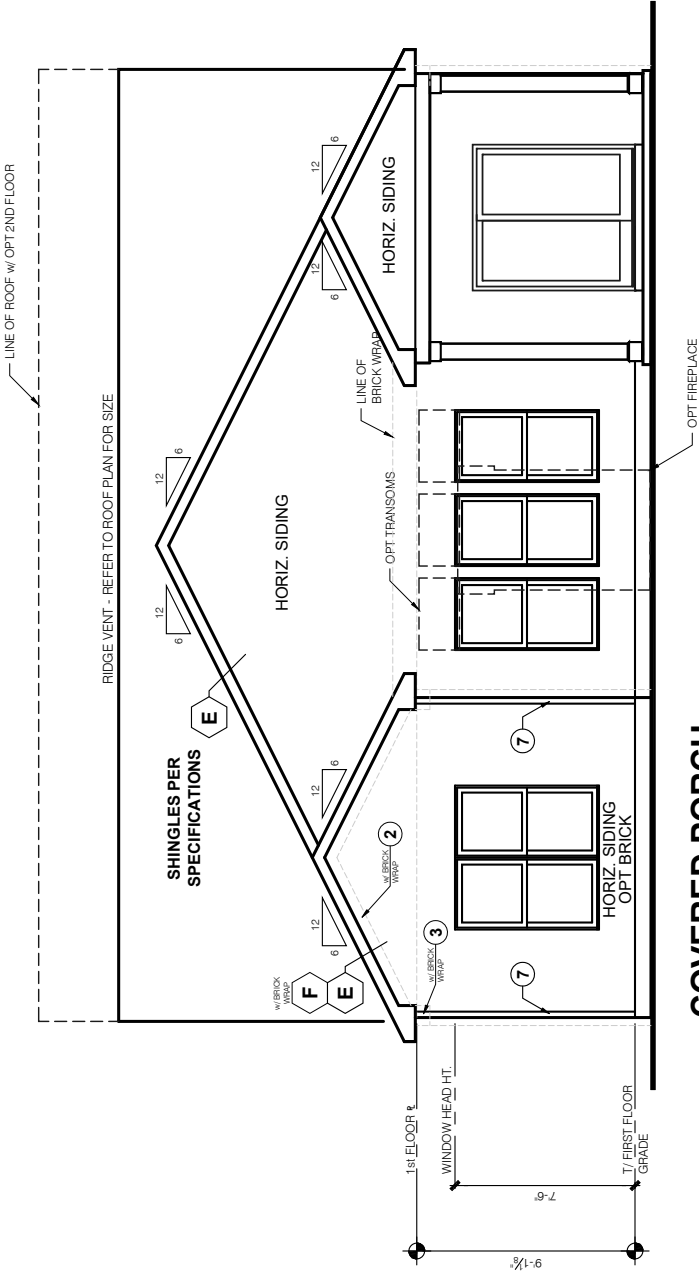
MORNING ROOM REAR ELEVATION

SCALE: 1/4" = 1'-0"



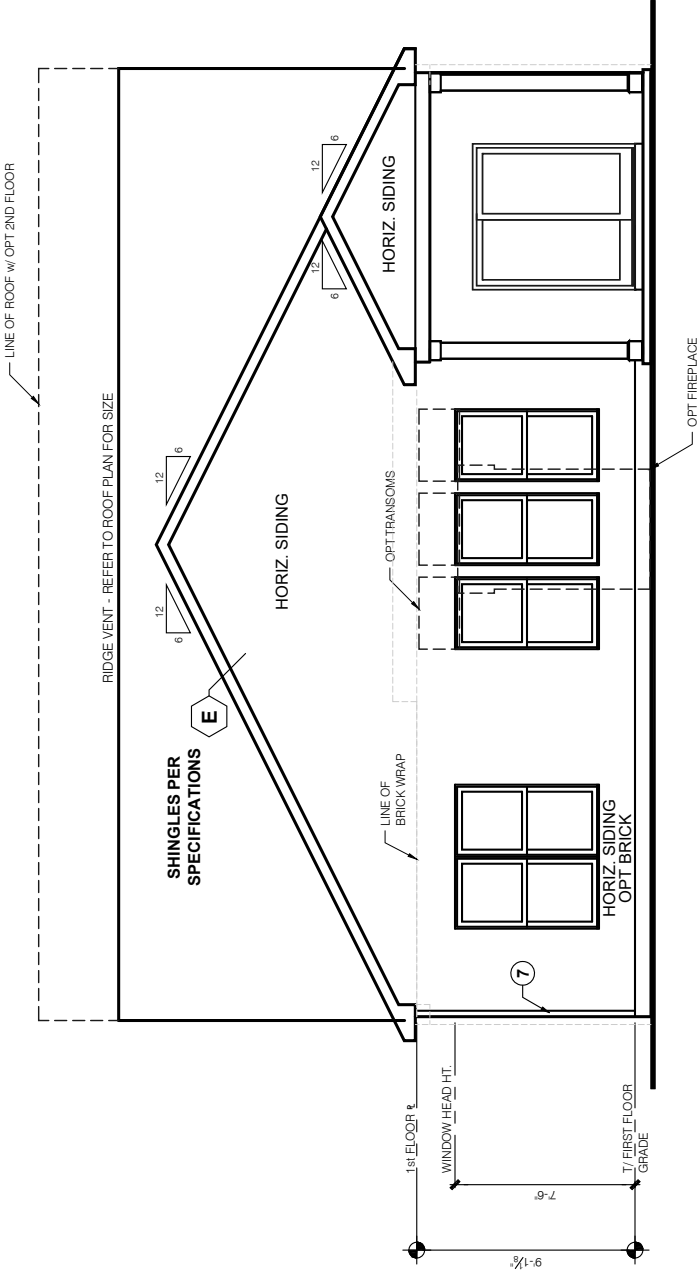
RETREAT EXTENSION REAR ELEVATION

SCALE: 1/4" = 1'-0"



COVERED PORCH RETREAT EXTENSION REAR ELEVATION

SCALE: 1/4" = 1'-0"



COVERED PORCH REAR ELEVATION

SCALE: 1/4" = 1'-0"















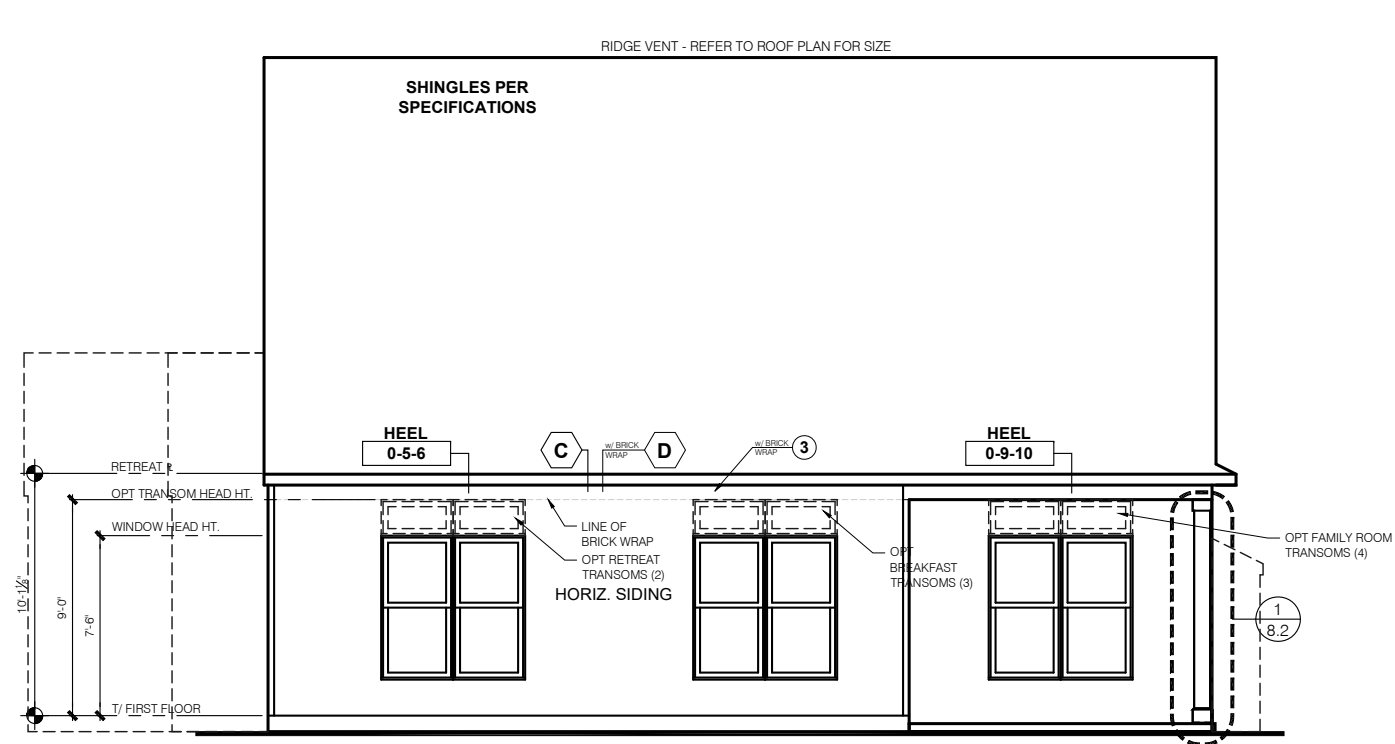






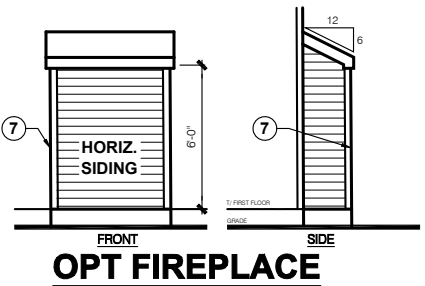
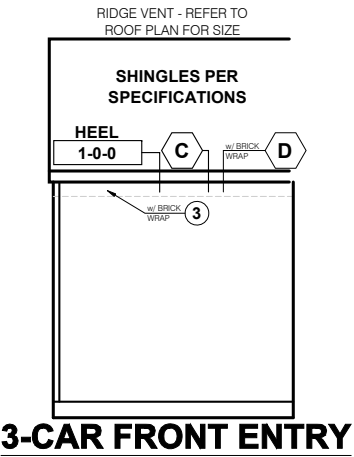
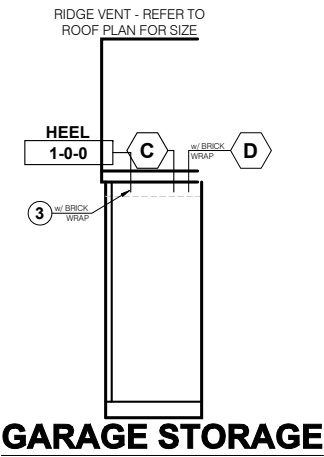






ELEVATION "A"
REAR ELEVATION

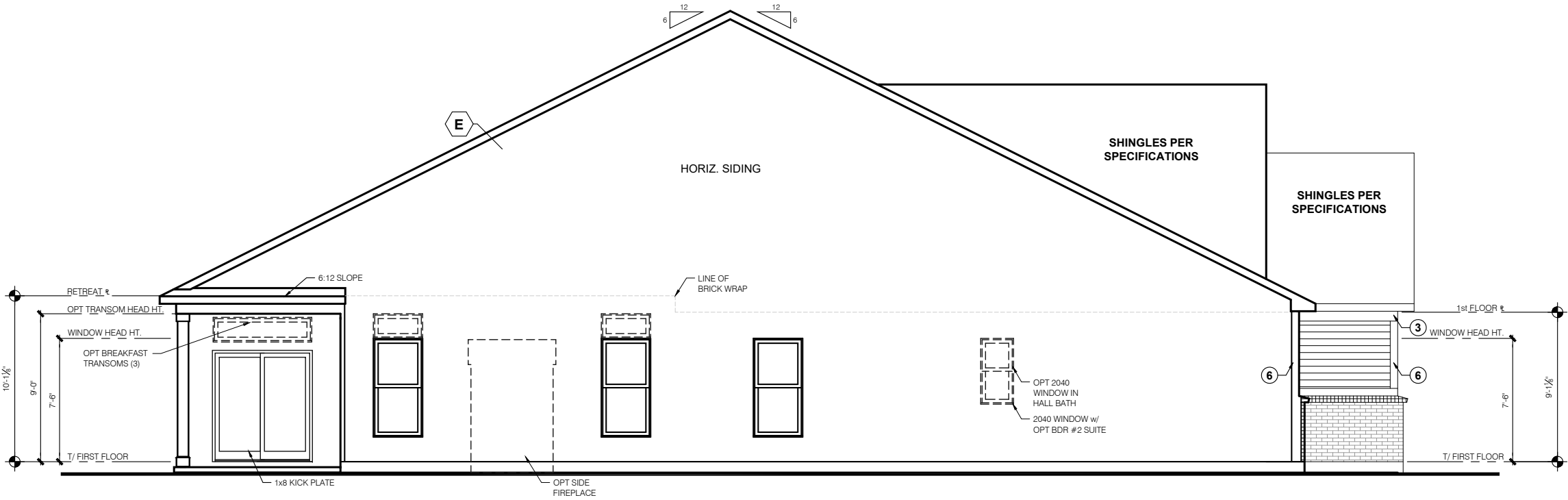
SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS
NOTES:	
1. USE 1X4 STRAPPING @ 16" O.C. ON PORCH CEILINGS WHERE VINYL IS USED	

SEE SHEET D1.0 FOR EAVE DETAILS

SEE SHT C1.1 FOR
LINTEL SCHEDULE



ELEVATION "A" - BRICK WAINSCOT
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

11x17 PRINTS ARE 1/2 SCALE

CLASSIC SERIES

© 2023 M/I Homes

Issued Date: 2-1-24

BASE PLAN REVISION:

1 7-1-24

2 ---

3 ---

4 ---

M/I Homes

Cincinnati Division

9349 Waterstone Blvd

Cincinnati, OH 45249

Ph 513.248.5400

Wallace

BID SET / REVIEW

7-1-24

Job #: ###

LSP Date: x/x/xx

LSP By: BY

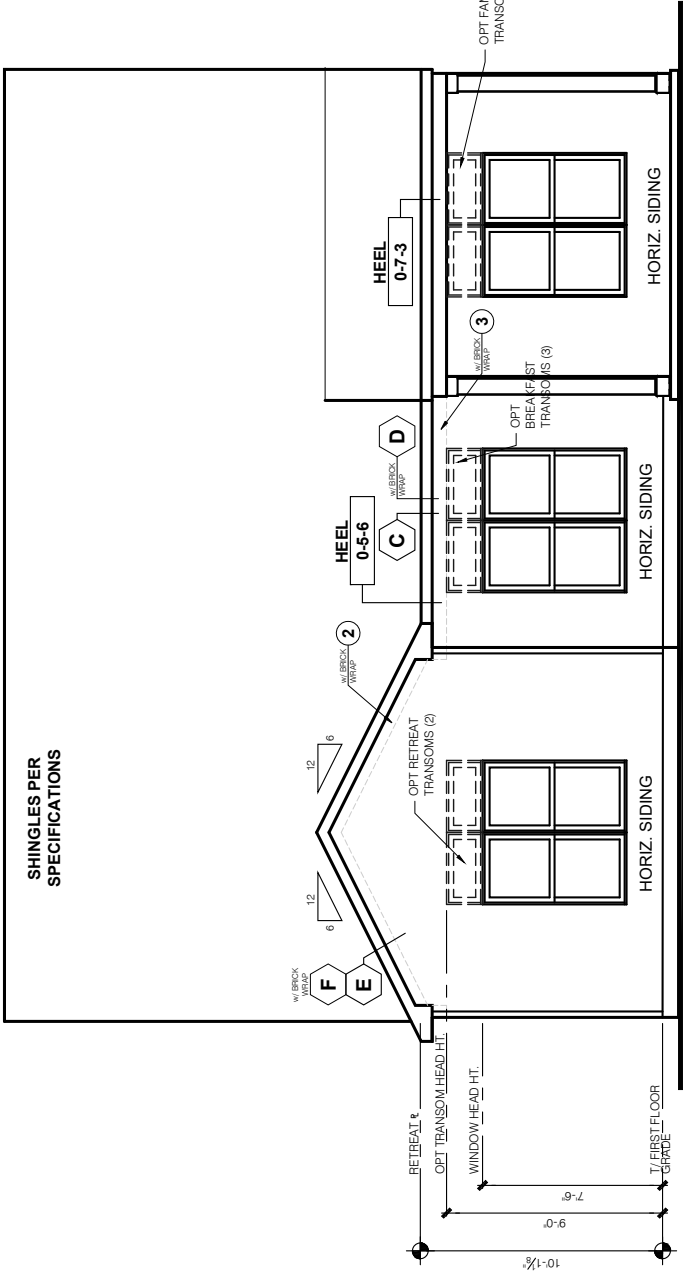
LSP Rev: ---

Sheet Title :
Rear and Side
Elevations -2

Sheet:
1.1A

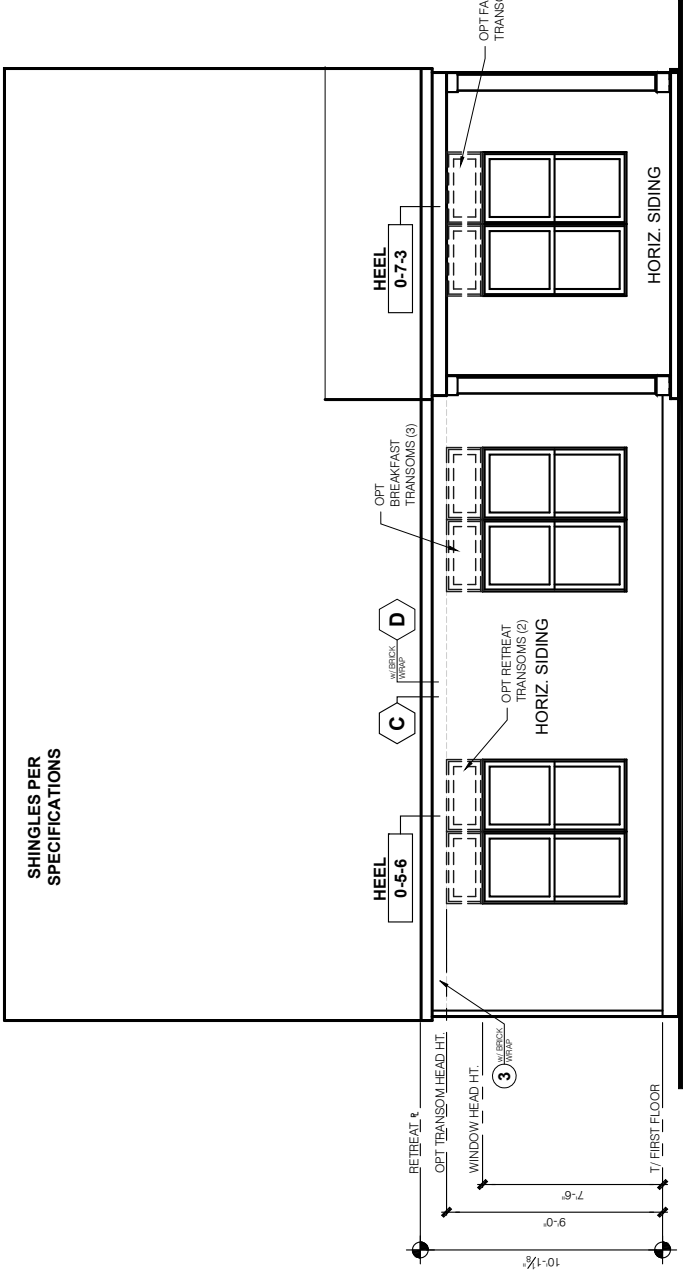
11x17 PRINTS ARE 1/2" SCALE

CLASSIC SERIES



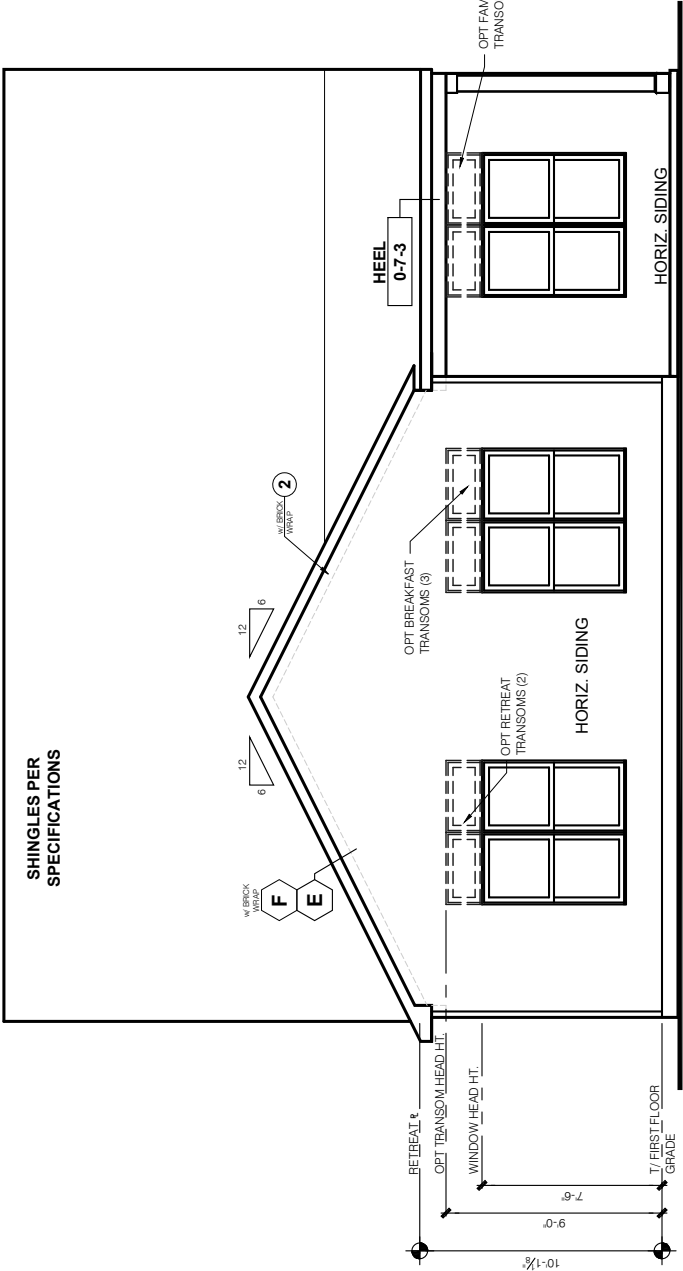
4' PORCH EXTENSION
4' RETREAT EXTENSION
REAR ELEVATION

SCALE: 1/4" = 1'-0"



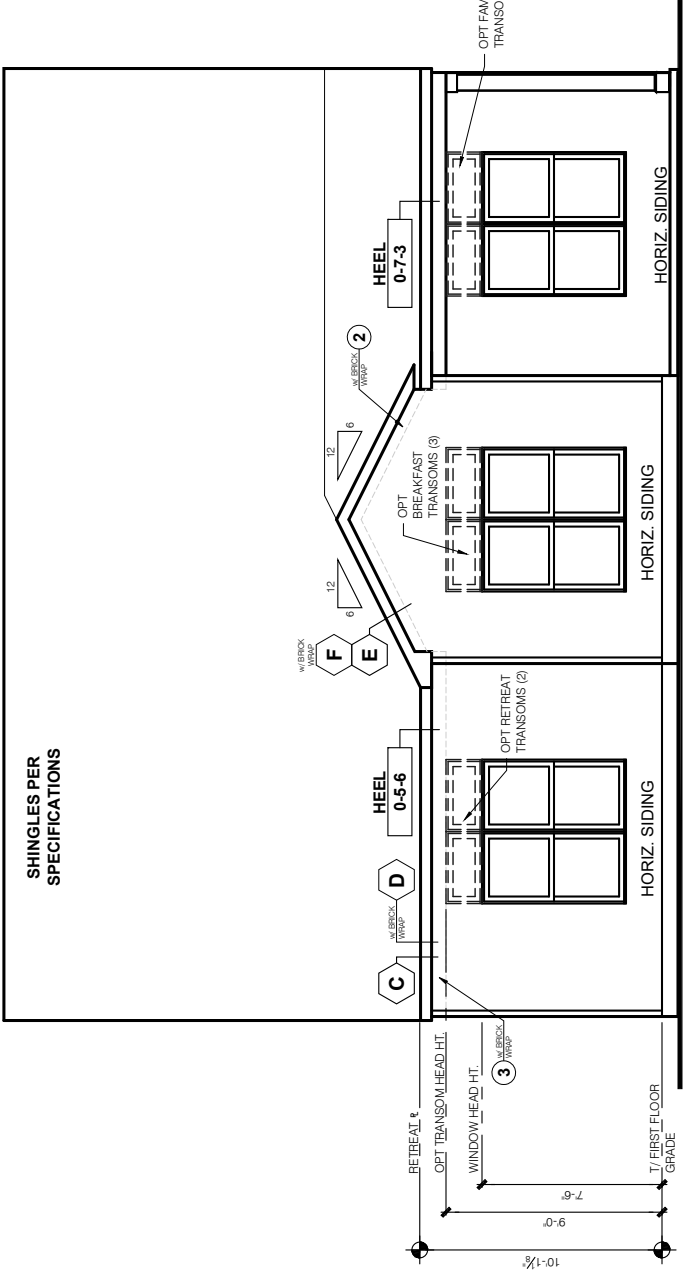
4' PORCH EXTENSION
4' BREAKFAST EXTENSION
REAR ELEVATION

SCALE: 1/4" = 1'-0"



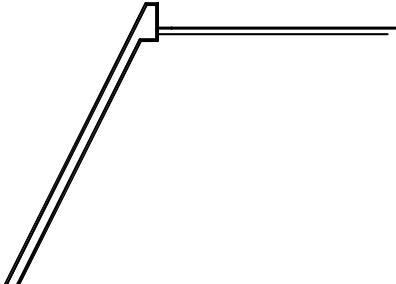
4' RETREAT EXTENSION
4' BREAKFAST EXTENSION - 4' PORCH EXTENSION
REAR ELEVATION

SCALE: 1/4" = 1'-0"



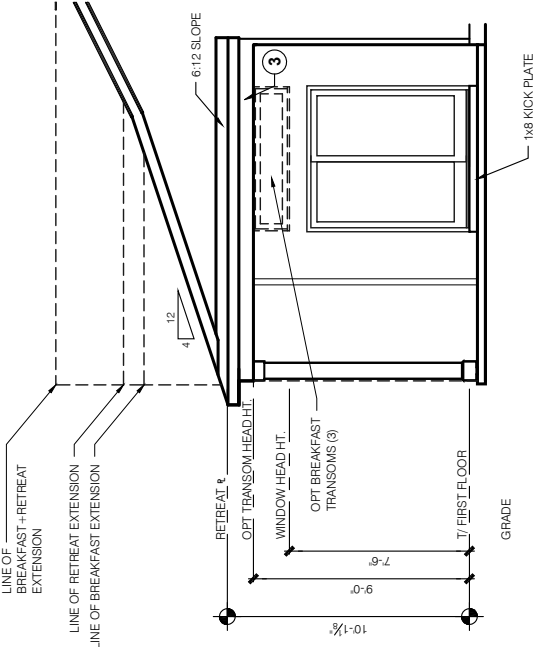
4' PORCH EXTENSION
4' BREAKFAST EXTENSION
REAR ELEVATION

SCALE: 1/4" = 1'-0"



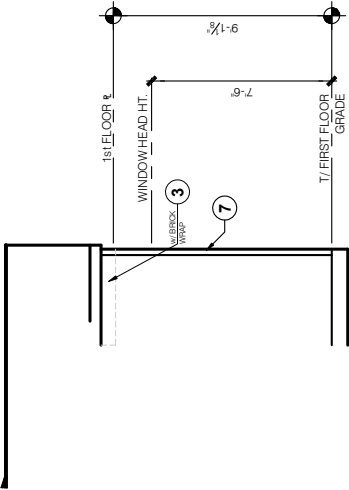
PORCH EXTENSION
GARAGE SIDE ELEV

SCALE: 1/4" = 1'-0"



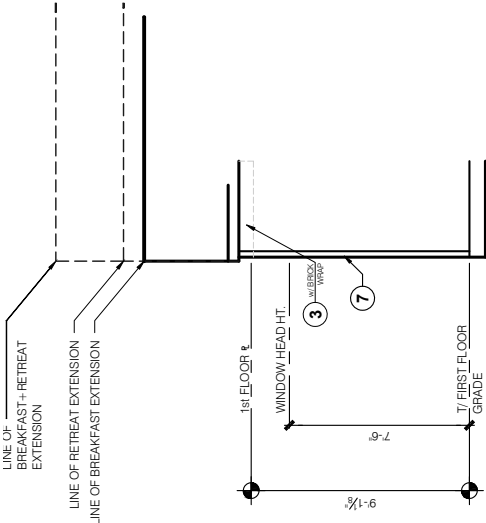
PORCH EXTENSION
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



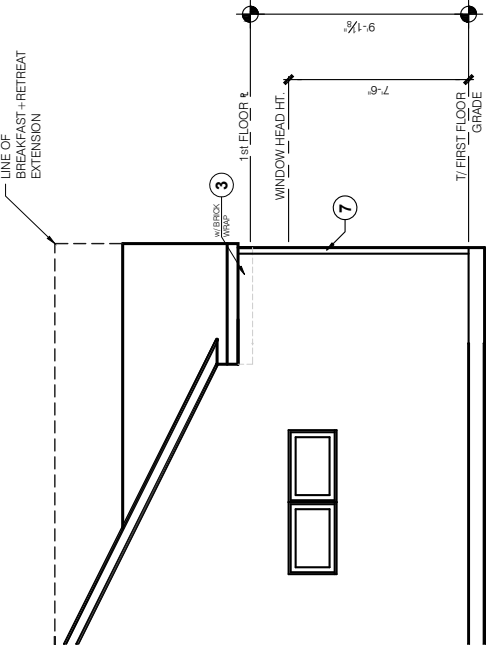
BREAKFAST EXTENSION
GARAGE SIDE ELEV

SCALE: 1/4" = 1'-0"



BREAKFAST or RETREAT EXTENSION
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RETREAT EXTENSION
GARAGE SIDE ELEV

SCALE: 1/4" = 1'-0"



























Preliminary Review, Thaler Machine Addition/new parking lot

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Ferguson Construction

Address: 400 Canal St
Sidney, OH 45365

Telephone No. (937) 449-2381

Fax No. () _____

Email Address: smeyer@ferguson-construction.com

PROPERTY OWNER NAME (IF OTHER): TFT Springboro OH LLC

Address: 21b Tahlequah Trail
Springboro, OH 45066

Telephone No. (937) 550-2400

Property Address or General Location: 21b Tahlequah Trail Springboro, OH 45066

Parcel Number(s): 04204020232 Zoning District: ED

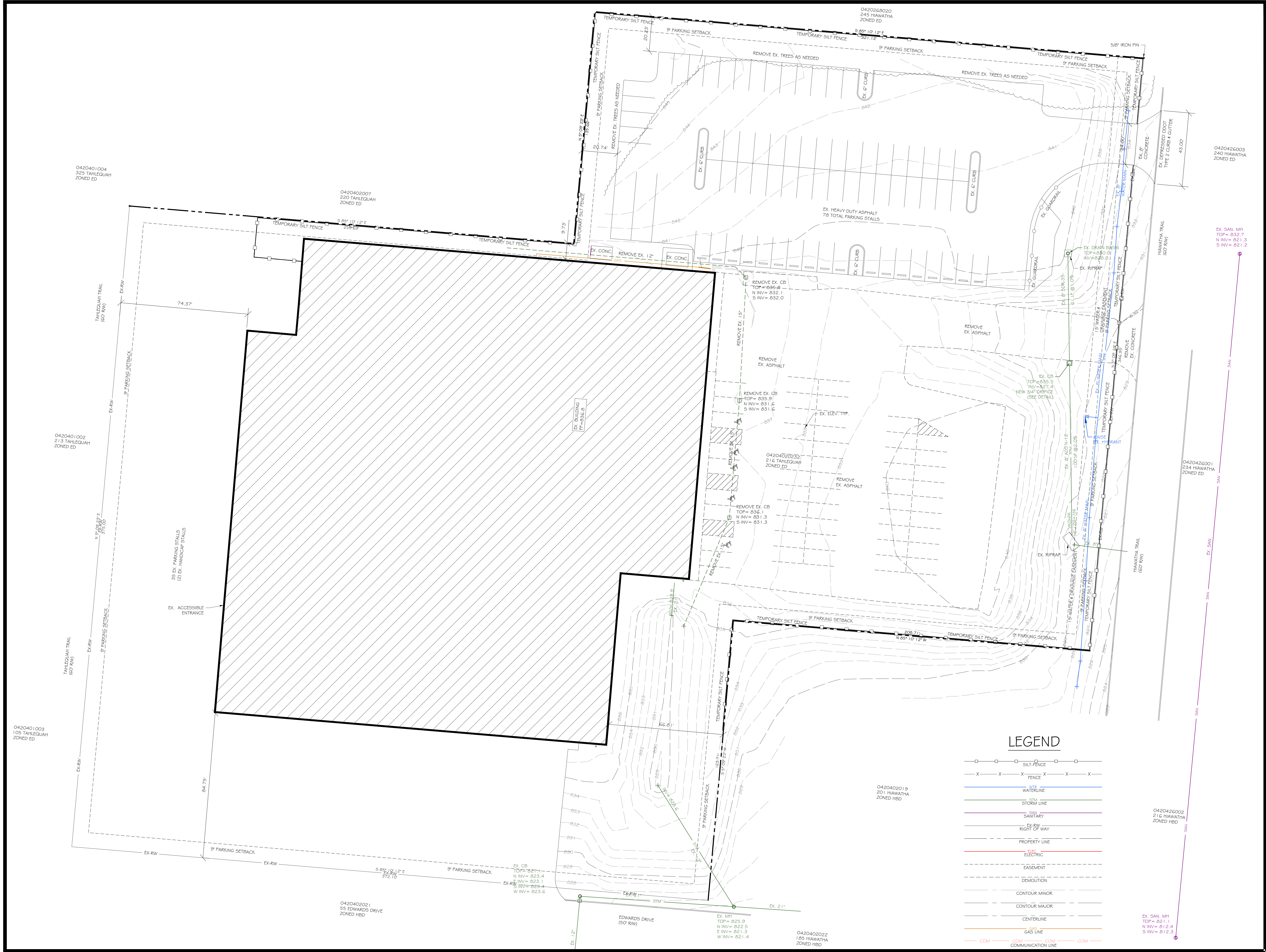
Proposed Use: A new 32,400 SF building addition.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

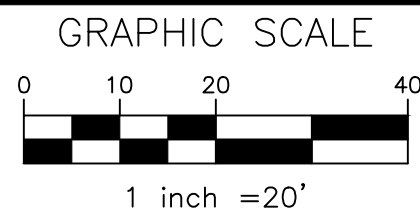
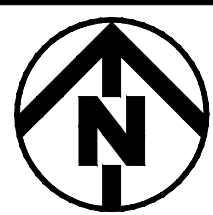
Shawn Meyer
(Signature of Applicant and/or Agent)

9/19/25
(Date)

Shawn Meyer
Printed Name



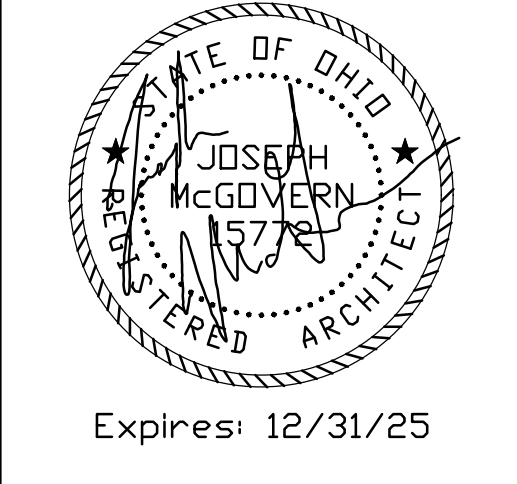
SITE PLAN
PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



LEGEND	
	SILT FENCE
	FENCE
	WATERLINE
	STORM LINE
	SANITARY
	RIGHT OF WAY
	PROPERTY LINE
	ELECTRIC
	EASEMENT
	DEMOLITION
	CONTOUR MINOR
	CONTOUR MAJOR
	CENTERLINE
	GAS LINE
	COMMUNICATION LINE

Revisions		
#	Date	Description

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NEW ADDITION
FOR
THALER MACHINE
WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number **E-45003**
Date **9/18/25**
Drawn By **SMM**
Checked By **JWM**

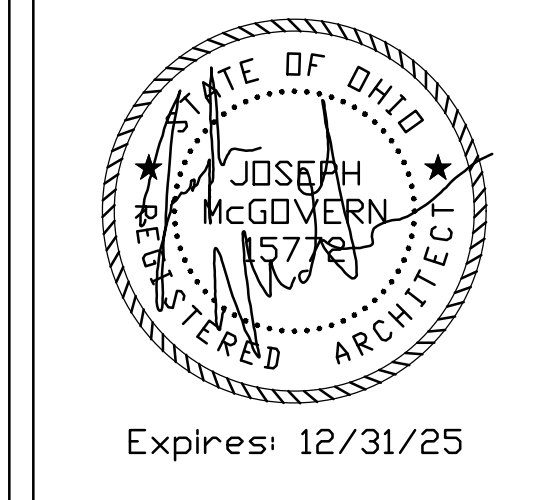
**PHASE II
DEMO PLAN**

C-1.1

[illegible]

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NEW ADDITION
FOR
THALER MACHINE
WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066



Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

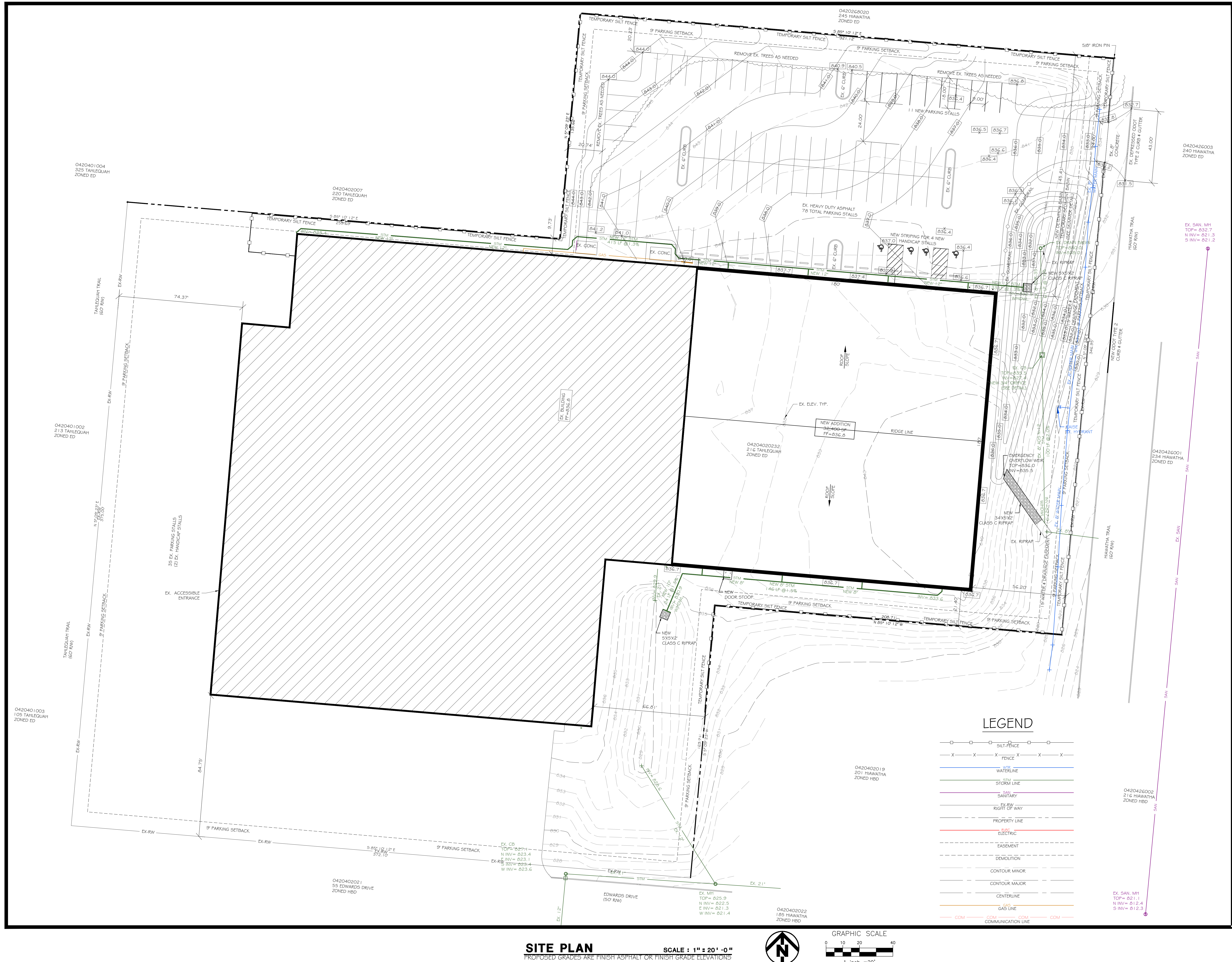
Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

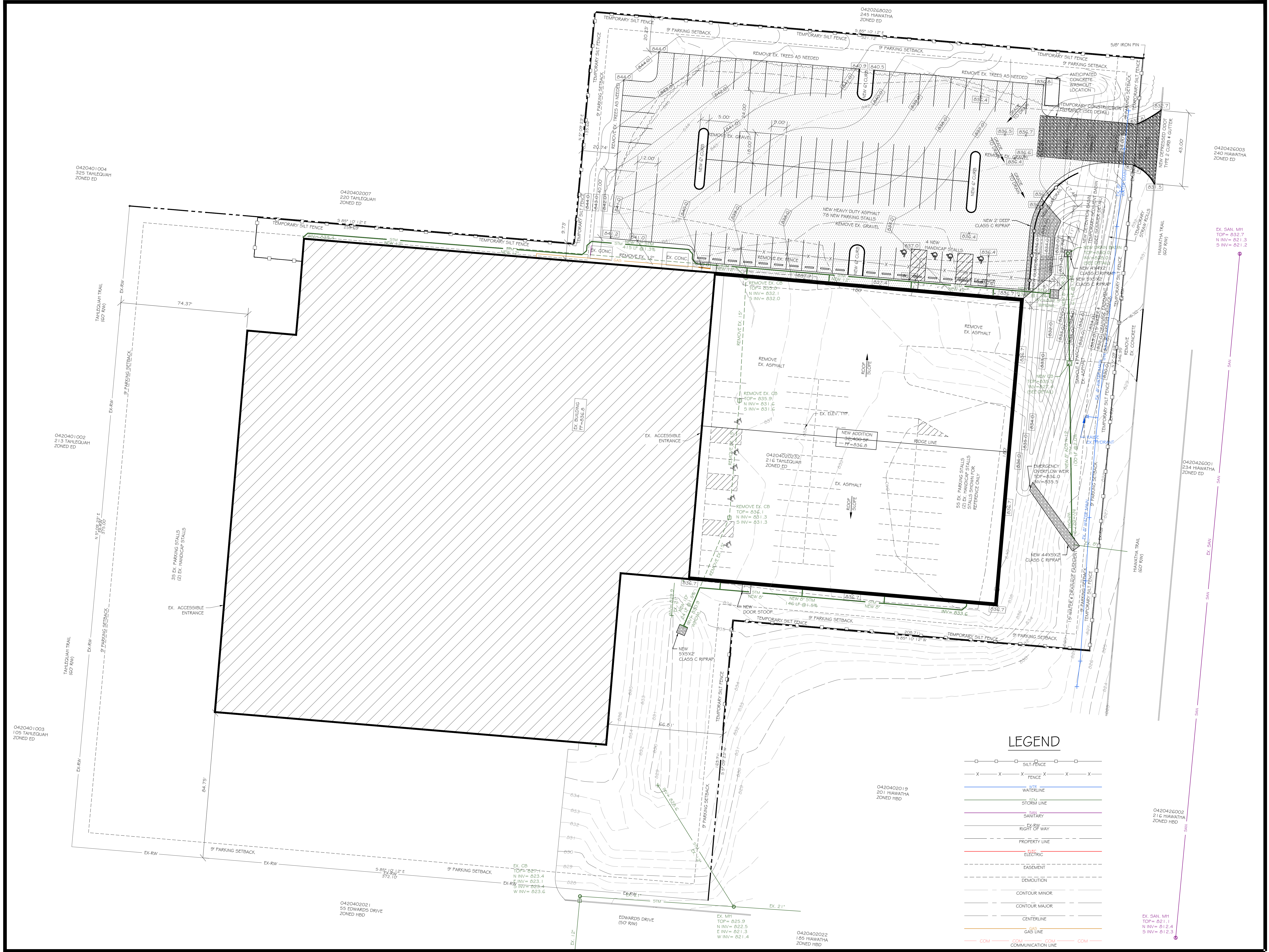
Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-45003
Date	9/18/25
Drawn By	SMM
Checked By	JWM

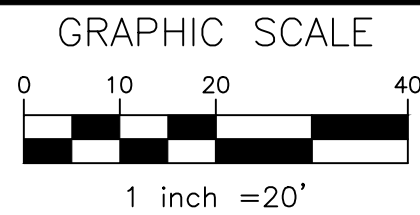
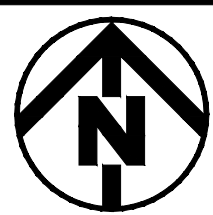
PHASE II SITE
PLAN

C-1.2





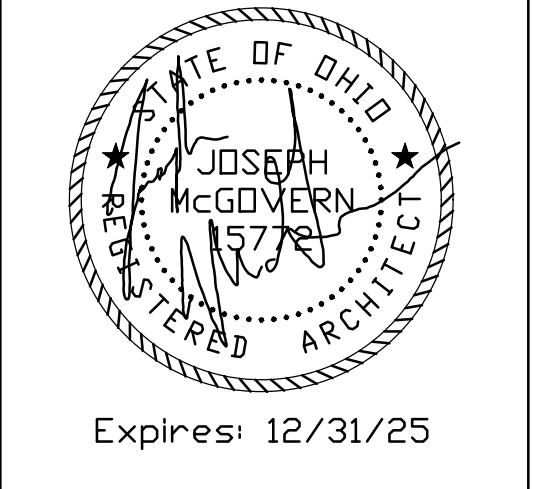
SITE PLAN
PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS



LEGEND	
	SILT FENCE
	FENCE
	WATERLINE
	STORM LINE
	SANITARY
	RIGHT OF WAY
	PROPERTY LINE
	ELECTRIC
	EASEMENT
	DEMOLITION
	CONTOUR MINOR
	CONTOUR MAJOR
	CENTERLINE
	GAS LINE
	COMMUNICATION LINE

Revisions		
#	Date	Description

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NEW ADDITION
FOR
THALER MACHINE
WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066



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400 Canal Street
Sidney, OH 45365-0726
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Dayton, Ohio
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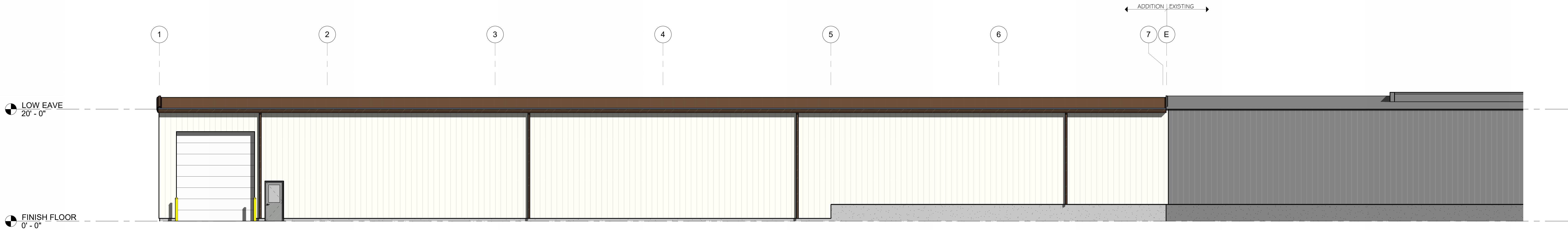
Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

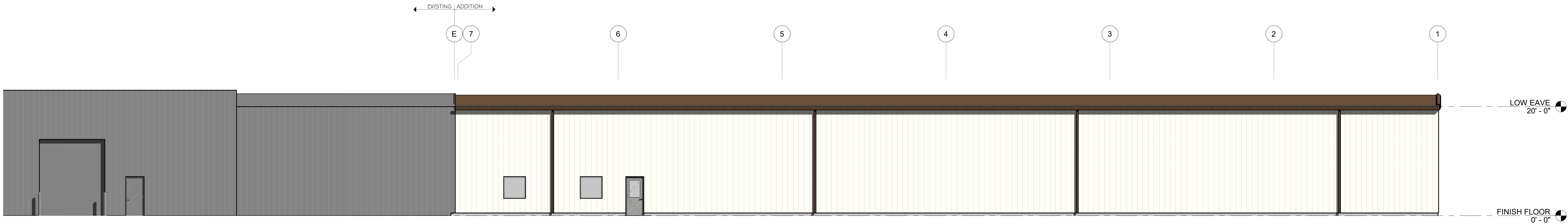
Job Number	E-45003
Date	9/18/25
Drawn By	SMM
Checked By	JWM

**STORMWATER
POLLUTION
PREVENTION PLAN**

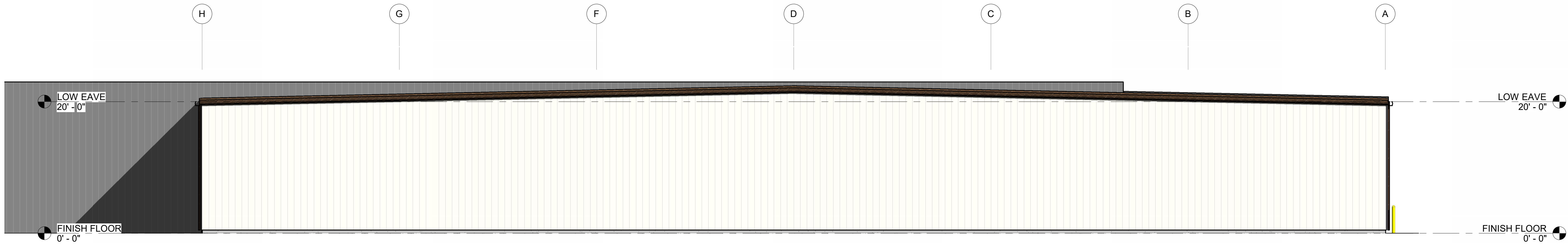
C-3.1



3 NORTH COLORED
1/8" = 1'-0"



2 SOUTH COLORED
1/8" = 1'-0"



1 EAST COLORED
1/8" = 1'-0"

Revisions

#	Date	Description

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FOR CONSTRUCTION

EXPIRES: 12/31/25

NEW ADDITION FOR

THALER MACHINE

WARREN COUNTY
216 TAHLEQUAH TRAIL
SPRINGBORO, OH 45066

www.ferguson-construction.com

Sidney, Ohio
400 Canal Street
Sidney, OH 45385-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
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Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-45003
Date	09/18/25
Drawn By	TRF
Checked By	JWM

COLORED
ELEVATIONS

A-3.2

9/19/2025 8:13:41 AM



China Cottage New Location / Building 610 N Main St

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner **APPLICANT NAME:** Wen H. Wang
☐ Agent
☐ Lessee Address 42 Pinehurst Place
☐ Signed Purchase Contract Springboro, OH 45066

Telephone No. (937) 286-8885

Fax No. (937) 436-0008

Email Address tigerwang_585@hotmail.com

PROPERTY OWNER NAME (IF OTHER): N/A

Address: _____

Telephone No. (_____) _____

Property Address or General Location: Near N. Main St. and Lytle-Five Point Rd.
(behind 590 N. Main Street)

Parcel Number(s): 0408101023 Zoning District: O-R

Proposed Use: Applicant is planning to build a five-unit commercial property, which would
include two restaurants and three other commercial units.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

9/24/2025

(Date)

Wen H. Wang

Printed Name



Attn: City of Springboro – Zoning & Planning

**Re: Proposed Occupancy & Use for new
development on 610 Main Street,
Springboro, OH**

To Whom it may concern,

This is a formal letter to highlight the intended use of the new proposed building development at 610 Main Street, Springboro, OH. The intention of said development is to construct a new multi-tenant commercial building. The building will consist of 5 lease spaces, they have been broken up into the following:

Two of the lease spaces (Units 1 & Unit 4) will have be occupied by restaurants or Assembly (A-2) use as these will have full commercial kitchens and a dining area. Both units will be approximately 5,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interiors.

Unit 2 is intended to be a Business (B) use group, with the intention of having a future nail salon. This space will be approximately 2,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Unit 3 is intended to be a retail space or Mercantile (M) use, with the intention of having a future retail tenant. This space will be approximately 3,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Unit 5 has the intention of being a café or coffee shop with a Business (B)/Assembly (A-2) use depending on if the number of occupants surpasses 49 or not. The coffee shop/cafe will be similar to Starbucks. This space will be approximately 2,000 square feet. The interior will be unfinished as the future tenants will be responsible for completing the interior.

Should any more information be needed, feel free to reach out directly via phone at (202) 774-6409 or via email at jmorales@reflectdbgroup.com.

Best regards,

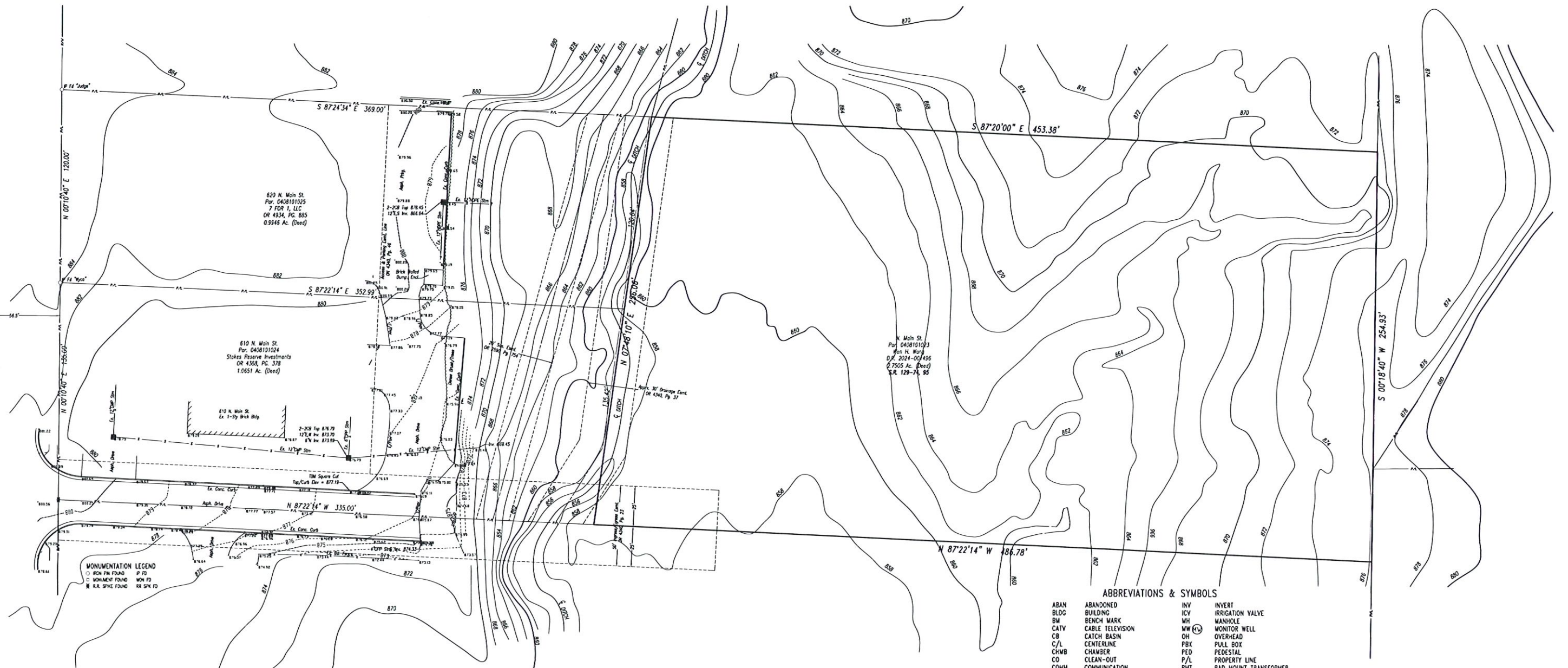
Jose E. Morales, CEO

HEADQUARTERS
1900 Market Street
Philadelphia, PA 19103

CONTACT
TEL: 484-695-2693
Email: contact@reflectdbgroup.com

ATLANTA • DALLAS • BOSTON • LOS ANGELES • DENVER • MIAMI • NEW YORK • DETROIT • CHICAGO • SANTO DOMINGO

N. MAIN STREET (S.R. 741)



MONUMENTATION LEGEND
○ ROCK PIN FOUND
□ MONUMENT FOUND
M. L.R. SPICE FOUND

ABBREVIATIONS & SYMBOLS	
ABANDONED	INVERT
BLDG	ICV
BW	MANHOLE
CATV	MONITOR WELL
CB	OVERHEAD
C/L	PULL BOX
CHWB	PEDESTAL
CO	PROPERTY LINE
COMM	PAD MOUNT TRANSFORMER
CONC	RIGHT OF WAY
DS	SANITARY
E, ELEC	SPRINKLER HEAD
C.L. FEN	STORM
S.R. FEN	TEMPORARY BENCH MARK
BO. FEN	TOP OF CURB
F/F	TELEPHONE
FH	UNDERGROUND
FD	WATER METER
GAS REG	WATER SERVICE VALVE
GW	WATER VALVE
GV	POWER POLE
EVERGREEN TREE	TELEPHONE POLE
	SIGNAL POLE

TOPOGRAPHIC SURVEY
N. MAIN STREET
SECTION 8, TOWN 2, RANGE 5N, M.Rs.
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
2.7505 ACRES

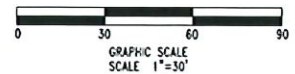
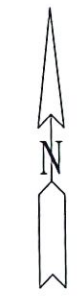
NOTES:
1. ELEVATIONS/CONTOURS & TBMs ON NAVD88 DATUM.
2. 2" CONTOURS SHOWN ON SUBJECT PARCEL SHOWN FROM WARREN COUNTY GIS DATA.

TOPOGRAPHIC SURVEY NOTES:
1. ANY BOUNDARY, LOT LINES, OR EASEMENT LINES THAT MIGHT BE DRAWN HEREON ARE SHOWN IN THEIR APPROXIMATE LOCATION AND ARE SUBJECT TO CHANGE, ADDITION OR DELETION SHOULD A COMPLETE BOUNDARY SURVEY AND/OR UP-TO-DATE TITLE REPORT BE CONDUCTED.
2. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO ABOVE-GROUND FIELD SURVEY OBSERVATIONS AND UTILITY PLANS PROVIDED THE SURVEYOR ONLY. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE OR COMPLETE. NOTIFY THE FOLLOWING 48 HOURS PRIOR TO CONSTRUCTION TO FIELD LOCATE UTILITIES. OHIO UTILITIES PROTECTION SERVICE DIAL 811

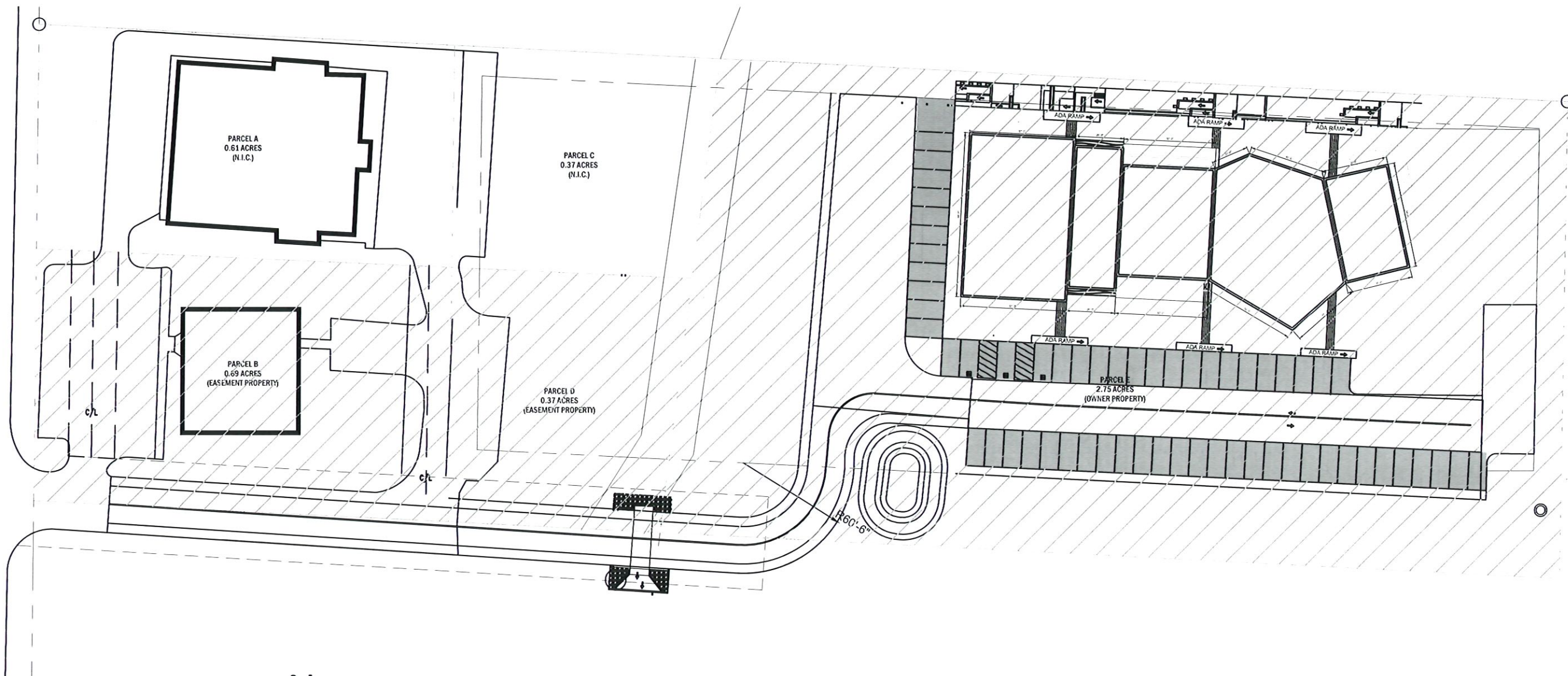
THIS TOPOGRAPHIC SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED UNDER MY SUPERVISION ON MAY 21, 2024.

LUIS G. RIANCHO
OHIO PROFESSIONAL SURVEYOR No. 5287

RECEIVED
SEP 19 2025
Springboro
Planning Department



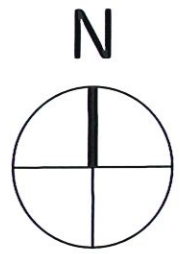
PREPARED BY:
LGR LUIS G. RIANCHO & ASSOCIATES, INC.
SURVEYING
JOB # 24022 MAY 2024
DRAWING NAME 240221TOP PLOT DATE 10-31-2024
TEL 937 836-1585
FAX 937 836-9974
LGRANCHOWH@SR.COM
140 WEST WENGER ROAD
ENGLEWOOD, OHIO 45322-2727



1

WORK AREA PLAN

SCALE: 1" = 60'-0"

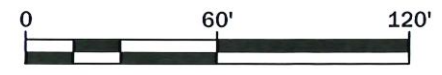


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ADDRESS: 610 N MAIN STREET, SPRINGBORO, OH 45066
DRAWN BY: JM
CHECKED BY: JM
DATE ISSUED: 2025/04/14

DocuSigned by:
Paul Jones
PAUL G. JONES
E-76998

RETAIL DEVELOPMENT

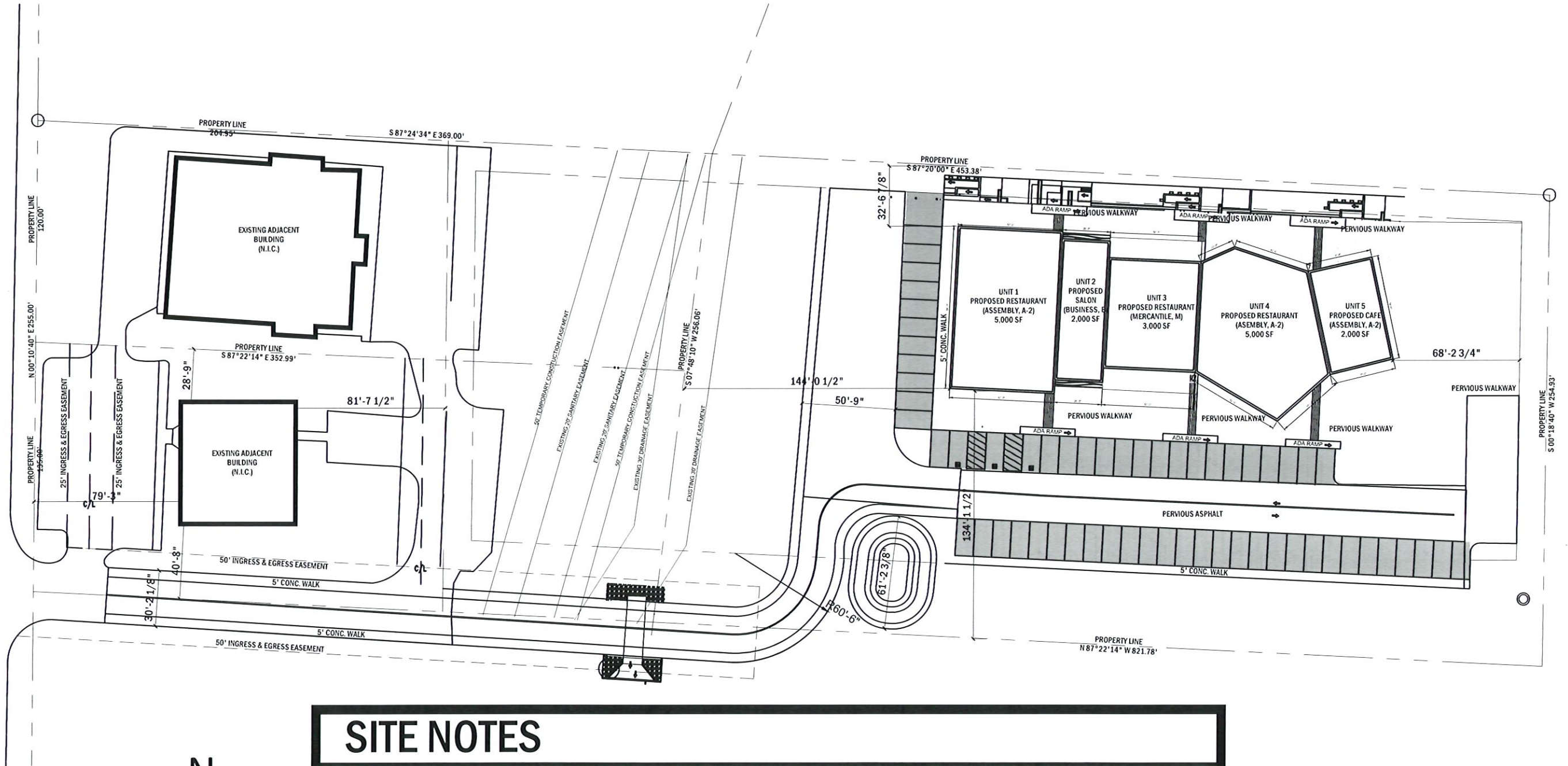
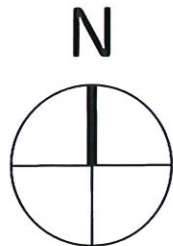


100

1

SITE PLAN

SCALE: 1" = 30'-0"



SITE NOTES

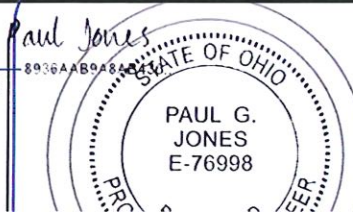
1. SITE PLAN IS FOR DESIGN PURPOSES ONLY. REFER TO SIGN AND SEAL SURVEY FOR PROPOSED STRUCTURE LOCATION.
2. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.
3. CONTRACTOR TO REVIEW DRAWINGS IN ITS ENTIRETY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.
4. OSHA REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES. CERTIFIED HARD HATS SHALL BE WORN WHILE ON SITE.
5. VERIFY SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
6. VERIFY ALL UTILITY LOCATIONS. MARK WITH IDENTIFIABLE FLUORESCENT PAINT PRIOR TO CONSTRUCTION.
7. DISCONNECT ANY UNNECESSARY SERVICES PRIOR TO CONSTRUCTION. CAP ANY UNUSED SERVICES BELOW GRADE.
8. ALL DEBRIS SHALL BE DISCARDED IN ASSIGNED LOCATION/S IE. DUMPSTER.

DocuSigned by:



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ADDRESS: 610 N MAIN STREET,
SPRINGBORO, OH 45066
DRAWN BY: JM
CHECKED BY: JM
DATE ISSUED: 2025/04/14



RETAIL DEVELOPMENT

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ZONING INFORMATION

	PROPOSED
TAX AUTHORITY	CITY OF SPRINBORO
ZONING	OFFICE RESIDENTIAL DISTRICT
ACRES/DIMENSIONS	2.75
MINIMUM LOT AREA	N/A
MINIMUM LOT WIDTH	100
MINIMUM FRONT YARD SETBACK	40'
MINIMUM REAR YARD SETBACK	40'
MINIMUM SIDE YARD SETBACK	10'
MAXIMUM BUILDING HEIGHT IN FEET	35'/2-1/2" STORIES
LOT COVERAGE	75%

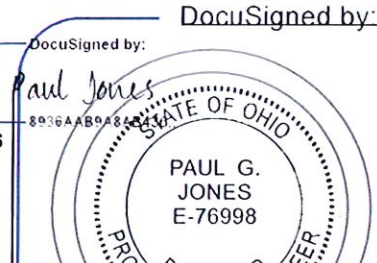
CODE SUMMARY

	PROPOSED
FINISHED AREA	18,370 SF
FINISHED BUILDING 1	18,370 SF
TOTAL FINISHED AREA	18,370 SF
LOT COVERAGE	18,370 SF
BUILDING & PATIOS	40,226 SF
SIDEWALKS	21,896 SF
DRIVEWAY (PERVIOUS)	36,184 SF
TOTAL COVERAGE	76,410 SF (63.8%)
ALLOWABLE COVERAGE	89,842.5 SF (75%)

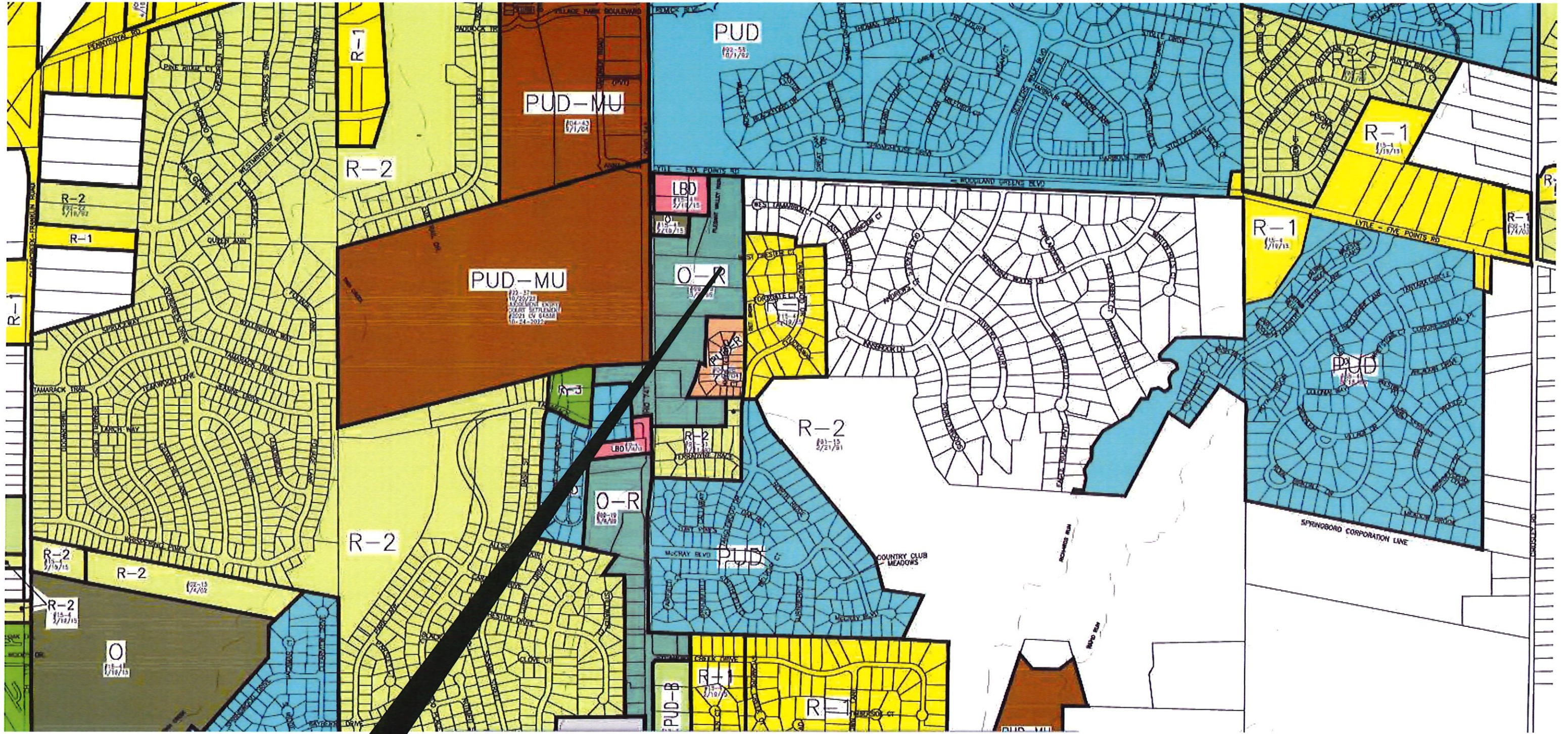


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CHECKED BY: JM
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Paul Jones
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SITE LOCATION

ZONING MAP



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 CHECKED BY: JM
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DocuSigned by:
 Paul Jones
 8936A8988484
 STATE OF OHIO
 PAUL G. JONES
 E-76998

RETAIL
 DEVELOPMENT

0 202

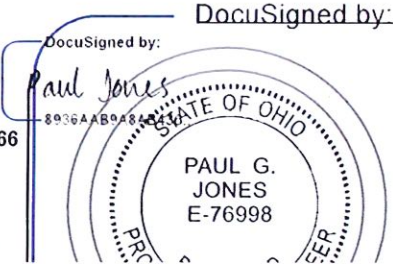
ZONING LEGEND

R-1	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
R-2	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
R-3	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
HBD	(HBD) HIGHWAY BUSINESS DISTRICT
LBD	(LBD) LOCAL BUSINESS DISTRICT
CBD	(CBD) CENTRAL BUSINESS DISTRICT
UVD	(UVD) URBAN VILLAGE DISTRICT
M-1	(M-1) LIGHT MANUFACTURING DISTRICT
M-2	(M-2) HEAVY MANUFACTURING DISTRICT
ED	(ED) EMPLOYMENT CENTER DISTRICT
PUD	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
PUD-MU	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
PUD-O	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
PUD-B	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
PUD-R	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
O-R	(O-R) OFFICE-RESIDENTIAL DISTRICT
O	(O) OFFICE PARK DISTRICT
ADD-1	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
ADD-2	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2



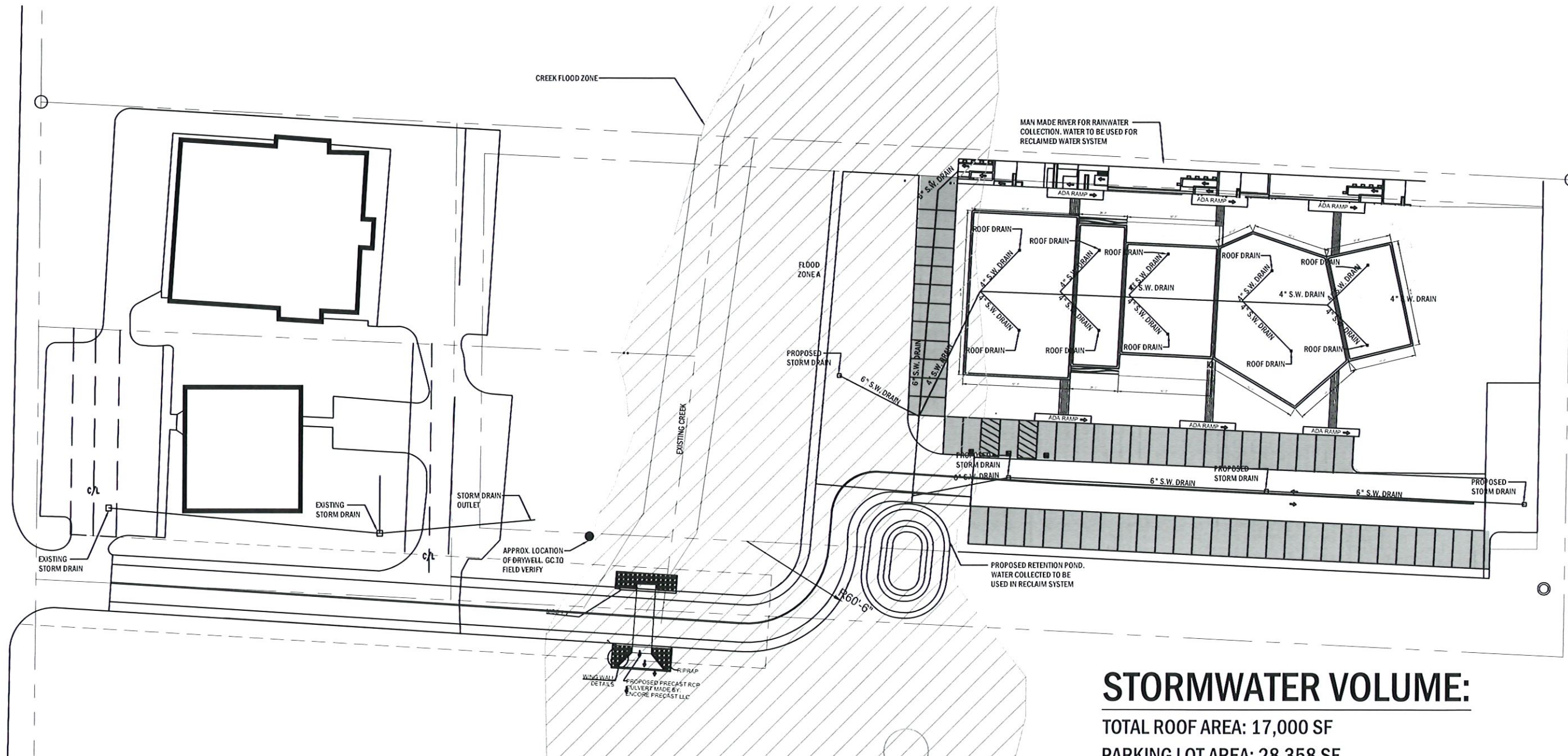
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0 202



STORMWATER VOLUME:

TOTAL ROOF AREA: 17,000 SF

PARKING LOT AREA: 28,358 SF

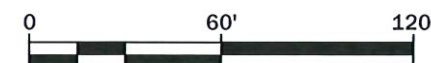
TOTAL IMPERVIOUS AREA: 45,358 SF

$45,358 \times 0.9 \times 2 = 81,644.4$ CUBIC FEET

1

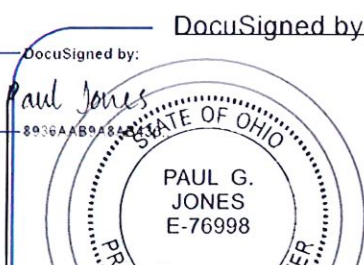
STORMWATER MANAGEMENT SITE PLAN

SCALE: 1" = 60'-0"



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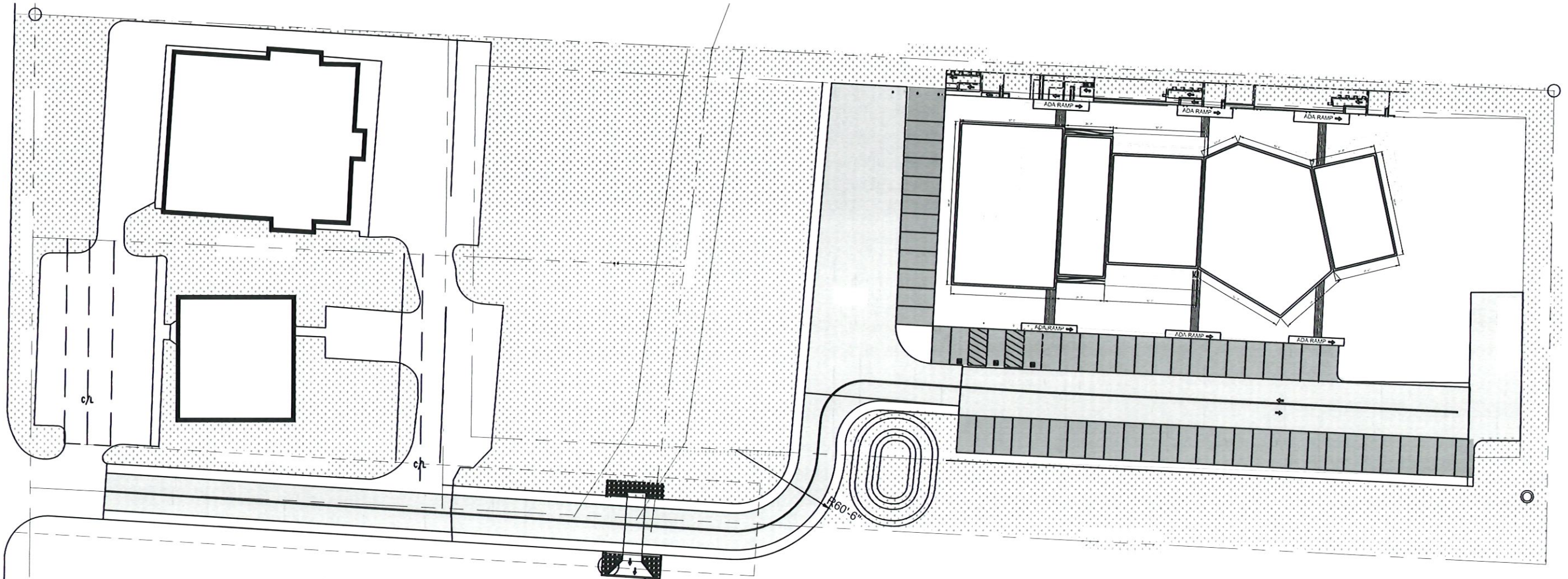
Paul Jones

RETAIL
DEVELOPMENT

1

HARDSCAPE PLAN

SCALE: 1" = 60'-0"



REQUIRED PARKING:

1 SPACE PER 400 SF

UNIT 1

5,000 SF / 400 SF / SPACE = 12.5 SPACES

UNIT 2

2,000 SF / 400 SF = 5 SPACES

UNIT 3

3,000 SF / 400 SF = 7.5 SPACES

UNIT 4

5,000 SF / 400 SF = 12.5 SPACES

UNIT 5

2,000 SF / 400 SF = 5 SPACES

MINIMUM DIMENSIONS

DRIVE AISLE (MINIMUM): 25'

STD. STALL (MIN.): 8.5'x18'

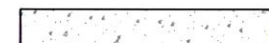
TOTAL REQUIRED:

43 SPACES

TOTAL PROVIDED:

62 SPACES

LEGEND



HEAVY DUTY PCC



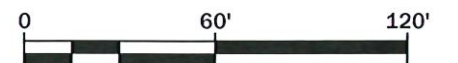
HEAVY DUTY AC



LIGHT DUTY AC

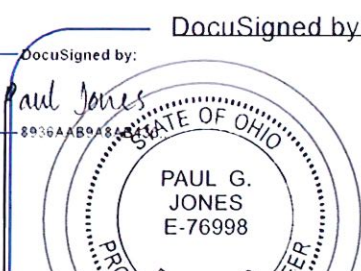


LANDSCAPE



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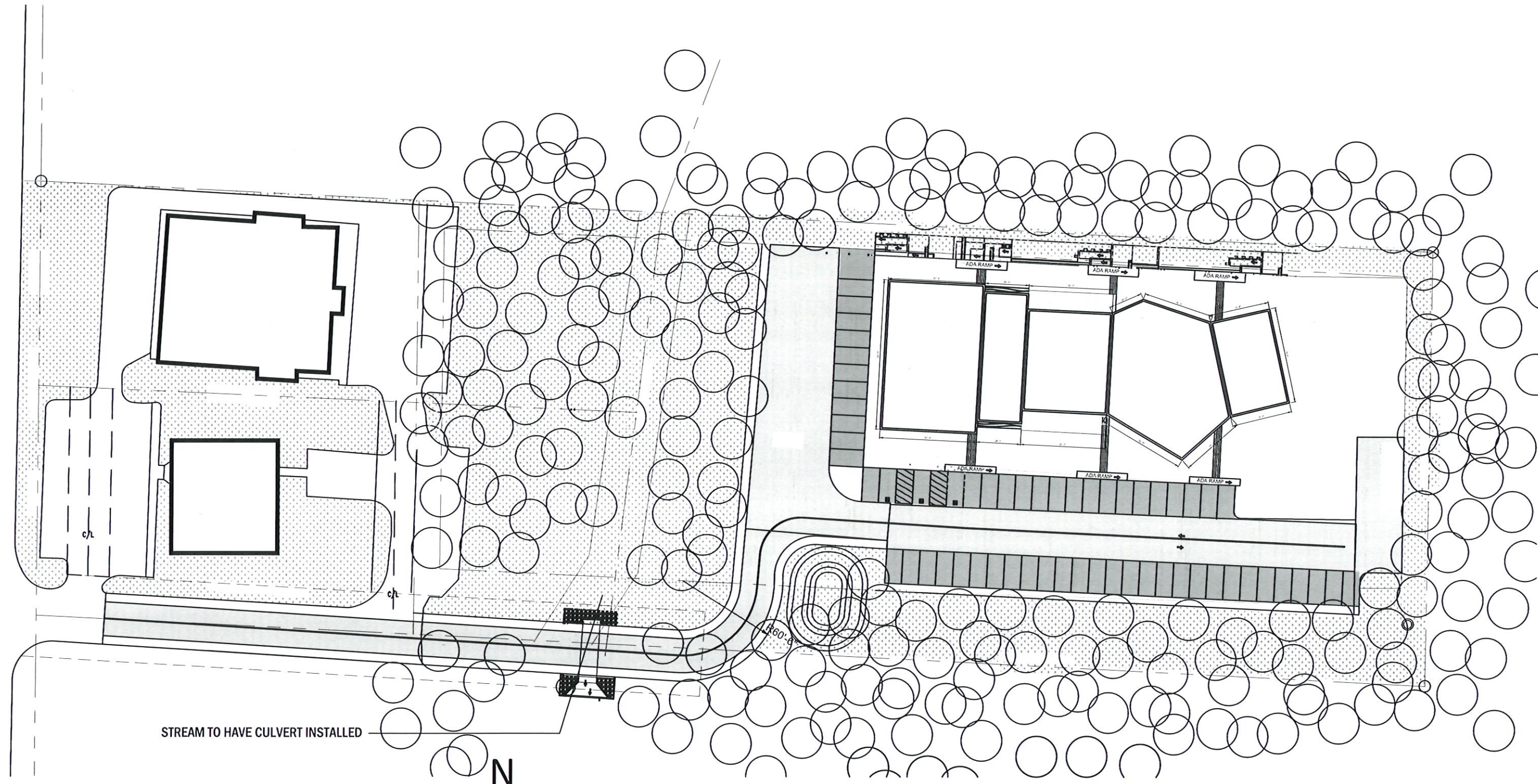
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RETAIL
DEVELOPMENT

C 400



1

LANDSCAPING PLAN

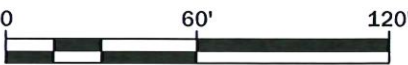
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DocuSigned by:
Paul Jones
8936AAB9884634
STATE OF OHIO
PAUL G. JONES
E-76998



RETAIL
DEVELOPMENT

C 500



1

NORTH ELEVATION

SCALE: 1/16" = 1'-0"



2

WEST ELEVATION

SCALE: 1/16" = 1'-0"



3

EAST ELEVATION

SCALE: 1/16" = 1'-0"



4

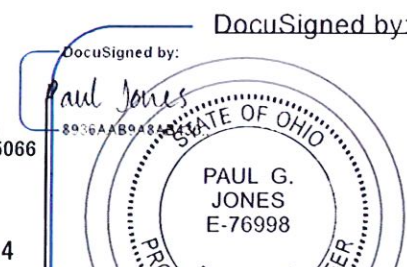
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



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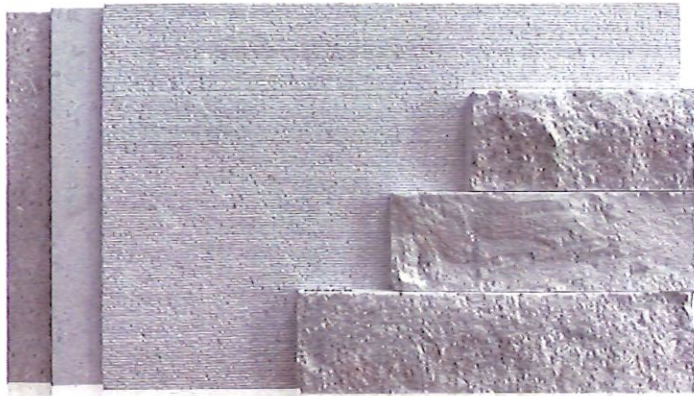
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DEVELOPMENT

100



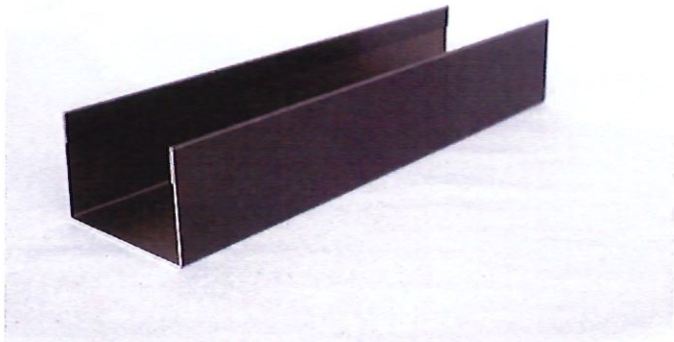
EXTERIOR WOOD PANELING

MANUFACTURER: FRONTEK
MODEL NO.: W300
COLOR: POPLAR WOOD PLANK



EXTERIOR STONE VENEER

MANUFACTURER: ARCHITESSA
MODEL NO.: 63610061780
COLOR: NATURAL STONE



BRAKE METAL TRIM

MANUFACTURER: TBD BY GC
MODEL NO.: N/A
COLOR: BLACK

BI-FOLD PANORAMIC WALL



DESIGN ESSENTIALS

STANDARD FEATURES

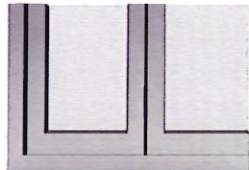
- Operation:
 - Inward Opening: Bi-fold from 2 to 14 sashes
 - Outward Opening: Bi-fold from 2 to 14 sashes
 - Possibility of a 90° corner sash without mullion
- Maximum dimensions/sash:
 - Width 47-1/4" (1,200 mm)
 - Height 118" (3,000 mm)
- Sections:
 - Frame: 2-7/8" (73 mm)
 - Sash: 2-7/8" (73 mm)
- Profile thickness:
 - Door: 1/16" (1.8 mm)
- Polyamide strip length:
 - Frame: 3/4" (20 mm)
 - Sash: 1-3/16" (30 mm)
- Max weight/sash: 264lb. (120 kg)
- Max glazing: 1-3/4" (45 mm)



OPTIONAL EMBEDDED ULTRA-LOW THRESHOLD

OPTIONS

- DUAL COLOR
- WIDE RANGE OF GLASS OPTIONS
- ANTI-BACTERIAL POWDER COATING
- ADJUSTABLE JAMB
- ARGON GAS INFILL
- LOW-E ENERGY-CONSERVING GLASS
- UNLIMITED COLORS (ANODIZED AND POWDER COAT)
- INSULATING PILE WEATHERSTRIPPING AND PERIMETER SEALS
- SYSTEM ALLOWS FOR DOUBLE AND TRIPLE CLAZING
- SECURITY AND ANTI-THEFT HARDWARE



ULTRA-SLIM CENTRAL SASH (4-3/8")

BI-FOLD PANORAMIC WALL



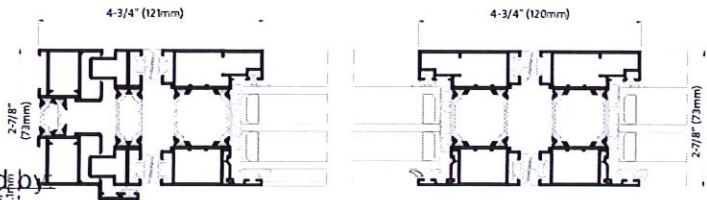
FLEXIBILITY AND PERFORMANCE

Vetrina's Panoramic V-Wall Aluminum Bi-Fold Door System is designed for use in both residential and commercial applications. Constructed from the highest grade 6063 T-5 thermal extrusion aluminum alloy, our bottom-running Bi-Fold system can be configured to be outward- or inward-opening as specified, and includes a choice of "fully weathered" or "low level" sills, as well as a range of integrated locking solutions for all levels of access control and security. The Bi-Fold system utilizes adjustable jambs technology for achieving a perfect fit.

PERFORMANCE

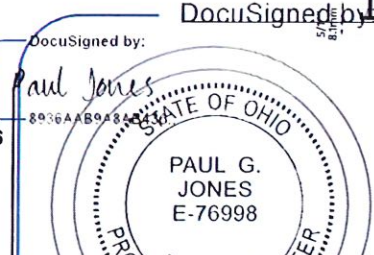
DESCRIPTION	VALUE*
Class:**	CW PG30 (type SP)
Air Infiltration (cfm/ft²)	0.1
Water resistance (psf)	12.53
U-Value	0.36
Maximum glazing thickness (in.)	1-3/4

*Values may vary depending on glazing packages utilized. Use of thermally efficient polyamide strips ensures better U-values.
**Test Specifications: NFPA North American Fenestration Standard Specification for windows, doors, and skylights
AAMA/ACMA/ASA/ISO/USAS/IAA/ISO-9001:2015, CANADIAN SUPPLEMENT, ASTM F 842-14 Forced Entry Resistance Tests for Sliding Glass Doors, CAN/ULC 100-06 Forced Entry Resistance Tests for Sliding Glass Doors, and AAMA 1904-02 Forced Entry Resistance Tests for Sliding Glass Doors. Full report available upon request.
Primary Designator: Class - CW PG30 3810 x 2438 mm (ISO x 55 in) Type: SP, Date of Test Report: 12-05-2019



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RETAIL
DEVELOPMENT



The Lawn @ SR73 & Clearcreek- Franklin Road

**Rezoning, mixed
use development
w/multi-family,
residential, retail &
public spaces**

APPLICATION—PLANNED UNIT DEVELOPMENTS

CITY OF SPRINGBORO PLANNING COMMISSION

☒ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Taft Stettinus & Hollister LLP, c/o Sonya Jindal Tork, Esq.

Address: 425 Walnut Street, Suite 1800

Cincinnati, OH 45202

Telephone No. (513) 498-8756

Fax No. (513) 381-0205

Email Address jindal@taftlaw.com

PROPERTY OWNER NAME (IF OTHER): Anne Easton-Hansen, Charles A. Easton,
Terry C. Easton, James Kevin Swallow, Carrie Kendall

Address: 503 Watkins Pond Blvd.

Rockville, MD 20850

Telephone No. (937) 776-9813

Property Address or General Location: 0 W. Central Avenue Springboro, OH 45066

Parcel Number(s): 0414301006 Acreage: 35.601

PUD Category: ☐ Residential ☐ Retail ☐ Office ☐ Manufacturing ☒ Mixed Use

If Mixed Use, Acreage in Each Category: Please see the General Plan for the acreage by category.

For Residential Proposed Density 20.8 du/ac Number of Residential Units 327

Proposed Use: The proposed use is a mixed-use development featuring multi-family residential, retail, and public space.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Sonya Jindal
(Signature of Applicant and/or Agent)

9/18/2025

(Date)

Sonya Jindal Tork, Esq.
Printed Name

List of Changes on the PUD Application

1. The traffic impact study has been updated to incorporate the City's suggested changes.
2. The Development Plan has been relabeled as the "General Plan."
3. Permitted uses have been added to the General Plan.
4. The table from page 17 of the submittal booklet has been incorporated into the General Plan.
5. The residential density statement has been revised to 20.8 units per acre.
6. A description of the carriage houses has been included on page 10 of the PUD booklet.
7. Minor vehicle repair has been removed as a permitted use in the retail component.
8. Public Water Supply (PWS) has been removed as a permitted use in the retail component.
9. Outdoor dining has been added as a permitted use on page 12.
10. Parking requirements on page 19 have been confirmed to meet the standards outlined in Chapter 1279 of the City Code.
11. A Property Owners Association (POA)/Homeowners Association (HOA) will be established prior to permit issuance, as noted on page 10 of the PUD booklet.
12. A note on page 20 references Chapter 1281, stating that "All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning and Zoning Code."
13. A note has been added to page 19 referencing Chapter 1280 parking lot landscaping requirements.
14. Imagery of the proposed signage has been included on page 20 of the PUD booklet.

[SEPTEMBER 19, 2025]

PLANNED UNIT DEVELOPMENT APPLICATION

CITY OF SPRINGBORO, OHIO

PLANNING COMMISSION

THE LAWN SPRINGBORO

PREPARED BY:

K+CO.

Development Team

KINGSLEY & CO.

Cincinnati, OH
(513) 903-7019
info@kingsleyandcompany.com

CHINEDUM NDUKWE, FOUNDER + CEO

Email: ck@kingsleyandcompany.com

DANIEL BUCHENROTH, DEVELOPMENT MANAGER

Email: daniel@kingsleyandcompany.com

DESIGN

YARD & CO.

Cincinnati, OH
(513) 813-8266

JOE NICKOL, PRINCIPAL

Email: joe@buildwithyard.com

ENGINEERING

KLEINGERS

West Chester, OH
(513) 779-7851

TROY MESSER, CIVIL ENGINEER

Email: troy.messer@kleingers.com

JAKE BLACKBURN, CIVIL ENGINEER

Email: jake.blackburn@kleingers.com

LEGAL

TAFT LAW

Cincinnati, OH
(513) 381-2838

SONYA JINDAL TORK, LEGAL COUNSEL

Email: jindal@taftlaw.com

Introduction

The Lawn in Springboro, Ohio, (project site) is located along West Central Avenue adjacent to The Enclave of Springboro (355 W Central Ave) and Tractor Supply Co. (505 W Central Ave). The 35-acre site sits centrally between the I-75 interchange and Wright Station at the Central Avenue and Main Street intersection and is across from the SureCare Medical Center and Springboro Municipal Building. Twin Creek runs through the middle of the site, providing a valuable natural asset.

The vision for the proposed mixed-use development of The Lawn supports the City's implementation of key goals and objectives included in the 2022 Springboro Master Plan. The Master Plan is founded on four themes: growth, experience, connectivity, and identity. The Lawn advances aspects of all four by: enhancing an existing neighborhood and community assets, introducing a diverse set of new housing types and retail opportunities, activating a vacant site, providing new pedestrian and bicycle connections, and enhancing the visual identity of Springboro along a major roadway.

The Lawn further aligns with the Master Plan's recommended Future Land Use. The project site is identified as mixed-use and is located within the Plan's Policy Area 7: City Services Center (p.60). This is described as a transitional area between the highway-oriented development patterns and the convenience retail focus at the Central Avenue & Main Street intersection. PA7 encourages these aspects which have been incorporated into the proposed Concept Plan for The Lawn:

- Pedestrian access along SR 73/Central Ave
- Retail to serve adjacent residents
- Connection between North Park and the Community Park
- Buildings oriented to SR73/Central Ave
- Mix of residential types
- Development that serves as a buffer between non-residential uses and surrounding neighborhoods



The 2022 Master Plan also provides connectivity recommendations. The proposed Concept Plan will “enhance pedestrian connections to adjacent residential areas” (p.90) through separated walkways, multi-use paths, and safe street crossings. It will also “enhance the character of the major roadways to slow down traffic” (p.94) by orienting buildings toward West Central Avenue and providing sidewalks, street trees, pedestrian-scaled fixtures, and mid-block crossings.

The thorough community engagement conducted throughout the master planning process provides an additional understanding of community preferences relevant to this proposed Concept Plan. Within the topic of housing, residents noted “a desire to see housing more friendly to young professionals, single people, young families, and older retirees (p. 20).” A majority of residents who intend to move within the next 5 years want to remain in Springboro and are seeking a smaller residence. Denser housing typologies like townhomes and small apartment buildings were most encouraged along Central Avenue and Main Street. Plan participants most commonly requested “more trails, parks, and naturalized areas” (p.19) when asked about future open space improvements. Additionally, residents are eager to have high-end dining, cafes, and entertainment venues to enjoy within Springboro. When presented with three growth scenarios, a balanced approach to development was most favored among plan participants (48%, p.24-25). This scenario included a diverse housing stock designed to attract younger and older populations and support new retail options while limiting impacts on the local school system.

The Lawn concept further provides an opportunity to implement a portion of a key project described in the 2020 Bicycle and Pedestrian Plan. The Plan describes a vision for a future Central Greenway intended to serve as the backbone of the City’s pedestrian and bicycle network. When built, the Central Greenway will link neighborhoods, parks, and people to each other and the regional trail system. This proposed concept plan incorporates trail development along the Twin Creek connecting North Park to the Community Park.



PLANNING COMMISSION APPROVAL CRITERIA

Fulfillment of all Requirements for Planning Commission Recommendation under Springboro Zoning Code Section 1266.10

The Lawn proposed development and its related application for amendment of the zoning map and General Plan meet all of the criteria required for the Planning Commission to recommend an amendment to the Official Zoning Map of the City of Springboro and the General Plan for approval to City Council, as outlined in Springboro Code Section 1266.10.

1. **Conformance with General Development Plan:** The proposed PUD zoning and General Plan for The Lawn Springboro are fully aligned with the City of Springboro's Master Plan (which replaced its previous General Development Plan), supporting plans, and related legislation. This alignment is particularly evident in how the project embodies the vision for Policy Area 7 (Central SR 73 Corridor), as outlined in the Master Plan. Specifically, The Lawn Springboro aligns with Policy Area 7 by:
 - Encouraging mixed-use development along a major corridor: The project's integration of residential, retail, and recreational spaces creates a vibrant mixed-use environment along the SR 73 corridor, precisely as envisioned in the Master Plan. This approach promotes a dynamic and interconnected community where residents can live, work, and play.
 - Supporting a blend of residential and commercial uses: The project thoughtfully balances residential and commercial elements, fostering a sense of community and providing convenient access to amenities for residents. This balanced approach aligns with the Master Plan's goal of creating diverse and sustainable neighborhoods.
 - Promoting walkability, connectivity, and community gathering spaces: The Lawn Springboro prioritizes pedestrian-friendly design, with interconnected walkways, inviting public spaces, and a focus on creating a walkable environment. This emphasis on connectivity and community gathering spaces directly supports the Master Plan's vision for Policy Area 7.

Furthermore, The Lawn Springboro's location in the SR 73 corridor aligns with the Master Plan's emphasis on strategic growth in this area. The Future Land Use Map specifically identifies this corridor as a key area for development that enhances community engagement and economic activity. By bringing new residents, businesses, and recreational opportunities to the area, The Lawn Springboro directly contributes to the realization of this vision.

2. **Justification for PUD Exemption:** An exemption to conventional zoning is fully justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more successfully implemented through the use of PUD zoning. Specifically, PUD zoning allows The Lawn Springboro to better achieve the City's vision and goals in the following ways:

- Encourages diverse housing options: The PUD enables the inclusion of a variety of housing types, including carriage houses, townhomes, and walk-up residential units. This diversity provides a range of housing options to meet the needs of a wider population and promotes a more inclusive community.
- Integrates housing, retail, and recreational spaces: The PUD facilitates the seamless integration of residential, commercial, and recreational spaces, creating a vibrant, pedestrian-friendly environment. This mixed-use approach fosters a sense of community and provides convenient access to amenities for residents.
- Enhances placemaking efforts: The PUD supports the creation of a strong sense of place, with well-designed public spaces, interconnected walkways, and a focus on community interaction. This aligns with the City's long-term goals of creating attractive and engaging public spaces.
- Provides flexibility in design and layout: The PUD offers the flexibility needed to achieve innovative design solutions that conventional zoning cannot accommodate. This allows for a more creative and responsive approach to site planning and development.

By utilizing PUD zoning, The Lawn Springboro can better align with Springboro's vision for a vibrant, mixed-use, pedestrian-oriented community. Conventional zoning, with its stricter regulations on land use and density, would limit the project's ability to achieve these goals. The PUD provides the necessary flexibility to create a development that truly embodies the City's vision for the future.

3. **Compatibility with Site and Surrounding Land Uses:** The Lawn Springboro's General Plan is compatible with the site's topography, location, and surrounding land uses, ensuring a harmonious integration with the existing community.
- **Strategic Location:** The site is strategically positioned along SR 73, an area designated for growth and mixed-use development in the City's Comprehensive Plan. This alignment with the City's vision for the area supports the project's compatibility.
 - **Balanced Land Use Transition:** The proposed retail spaces will complement existing commercial corridors along SR 73, ensuring a balanced transition from the surrounding residential areas to commercial uses. This thoughtful approach to land use minimizes disruption to the existing neighborhood character.
 - **Minimal Nuisance Potential:** The development's focus on residential and light commercial uses eliminates concerns about noise, smoke, dust, and debris typically associated with industrial or heavy commercial activities. This ensures a positive relationship with surrounding land uses.
 - **Sensitive Site Design:** The site's gentle slope allows for efficient stormwater management and the creation of varied and attractive streetscapes. The proposed building heights and setbacks are carefully considered to respect the privacy and light access of surrounding residential properties.
 - **Mitigation Measures:** To further minimize any potential impacts, the development will incorporate landscaping and buffering to reduce noise and visual impacts. Commercial uses will be strategically located and designed to minimize any disruption to nearby residential areas.
4. **Support for Public Improvements:** The General Plan is carefully designed to support and enhance existing infrastructure, including streets, utilities, other public improvements, and pedestrian connectivity. The development will connect to existing roadways and implement necessary street improvements such as turning lanes and traffic signal coordination. The Developer will coordinate with the City to ensure adequate utility capacity and develop pedestrian connections, including a trail system and pedestrian bridge, aligning with Springboro's Bicycle and Pedestrian Plan.
5. **Efficient and Economic Use of Land:** The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses. \The proposed development optimizes land utilization by integrating 335 residential units, 55,000-80,000 square feet of retail space, and community-focused green areas. This compact, walkable environment encourages local economic activity and enhances the quality of life for residents by providing convenient access to essential services and recreational amenities.
6. **Availability of Public Services:** All necessary public streets, utilities, and services are either available or will be extended to support the development. Specifically, water and sewer services are accessible, with the developer responsible for extending these utilities as needed. Roadway improvements along SR 73 will be undertaken to accommodate increased traffic, and emergency services and waste management will be fully supported within the project's design.

7. **Justification for Exception from Conventional Zoning:** An exception from conventional zoning is warranted for The Lawn Springboro because it allows for the achievement of key design goals and community objectives that are not possible under traditional zoning regulations. The PUD provides the flexibility needed to create a truly unique and integrated development that aligns with the City's vision for the future. Specifically, the PUD is justified by the following factors:

- **Creating a Cohesive, Walkable Environment:** Traditional zoning would severely limit the density and mixed-use potential of the development, hindering the creation of a walkable, pedestrian-friendly environment. The PUD allows for the seamless integration of residential, commercial, and recreational spaces, fostering a sense of community and reducing reliance on automobiles.
- **Addressing Housing Needs:** The variety of housing types offered within The Lawn Springboro, including townhomes, walk-up apartments, and carriage houses, directly addresses the age-in-place and affordability concerns outlined in the Master Plan. This diversity of housing options caters to a wider range of residents and promotes a more inclusive community.
- **Promoting Economic Growth and Quality of Life:** The integrated retail, dining, and recreation areas create a vibrant hub of activity that supports both economic growth and an enhanced quality of life for residents. This unique development model fosters a sense of community and provides convenient access to amenities.

The Lawn Springboro's PUD zoning enables the creation of a dynamic and integrated community that would not be possible under conventional zoning. This exception allows the project to better align with the City's vision for a thriving, pedestrian-friendly, and inclusive community.

8. **Protection of Natural Assets:** The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic. Additionally, the developer will work with the Army Corps of Engineers and the EPA to remediate a stream on the western portion of the site, ensuring environmental integrity and long-term sustainability. The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.
9. **Positive Effect on Health, Safety, and Welfare:** The proposed PUD will have a substantial positive impact on the health, safety, and general welfare of Springboro by expanding housing options to meet growing demand, creating job opportunities through new retail and service establishments, improving public spaces and recreational areas to encourage active lifestyles, enhancing pedestrian safety with dedicated trails and street improvements to reduce vehicle congestion, and boosting the city's tax base, supporting long-term community benefits.

10. **Implementability of General Plan:** The General Plan is structured to ensure seamless implementation through a Final Development Plan that adheres to all City requirements. The developer is committed to working closely with Springboro's planning department to ensure alignment with zoning codes and land use regulations, efficient phasing of construction to minimize disruption, and delivery of high-quality design standards, ensuring the development remains a long-term asset to the City.

The Lawn PUD rezoning application and General Plan demonstrably satisfy all the criteria outlined in Springboro Zoning Code Section 1266.10. The proposed development is consistent with the City's planning documents, provides significant community benefits, and represents a well-planned and sustainable approach to development.

Master Plan

**THE
LAWN**

Overview / Site Design

The City of Springboro has been working hard to incrementally improve and bring vitality to its West Central Avenue corridor. It also has been focused on becoming a preeminent trail town, connecting residents and visitors to outdoor recreation throughout the city. The Lawn at Springboro addresses these twin objectives from the ground up, creating a new highly amenitized neighborhood around an expanded park and trail network.

In addition to over five acres of park and 5,075 linear feet of new trails, the new master planned neighborhood will consist of a mix of convenience and food/beverage retail anchored by a destination hospitality experience (ie “The Lawn”) adjacent to the park. It will also have the opportunity to accommodate one or more mid-sized offices and a range of residential units with trailside access. The units will range from studios to three-bedroom in the form of carriage units, apartments, and townhomes.

An Association shall be created that maintains shared facilities that exist on private properties.



The Master Plan



Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Commercial Retail/Office (ac)	2.212
Hospitality (ac)	3.323
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.92
Total Units (du)	327
Average Density (du/ac)	20.8
Length of Trails (lf)	5,075

PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Attached townhome
- Carriage Unit
- Duplex/Attached/Two-Family Dwelling
- Triplex

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Restaurant- Outdoor Dining
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station

Common Spaces

The Lawn is all about bringing the residents of and visitors to Springboro together in a shared experience. This ethos centers on a four-acre park that provides a new front door to the park from West Central Avenue. Furthering Springboro's vision as a trail town, the park expansion also includes 2,475 linear feet of new publicly accessible trails.

Addressing the park and trails are two halves to the proposed master planned neighborhood. The east side of the park is anchored by a destination hospitality experience (ie "The Lawn") that is intended to combine food, an active biergarten, and active recreation such as, but not limited to, yard games, pickleball, and sand volleyball. Also on the park's eastern edge will be a commercial site and townhouses. Both of these supportive uses place their front doors and gardens along access drives or the park.

To the west of the park, the trail network extends into a largely residential community that includes a clubhouse that separates the public aspects of the trail from the private courtyards of the residential community. While each structure within the community will have patios or balconies associated with the units, the site, overall, is expected to have common open spaces that comprise approximately 9% of the community. Retail lines the West Central Avenue frontage and will include sidewalks and frontage landscape that complements the West Central Avenue streetscape and signage. It will be an integral part of an important gateway to Springboro.

The minimum amount of open space assumed to be part of each created lot is included in this application's Design Guidelines.

TOPOGRAPHIC AND HYDROLOGICAL FACTORS

The two major topographic challenges with this site are the two streams running through the site. One running from the northwest corner of the site through the western portion of the site before tying into the larger stream. The larger stream splits the site in two and content FEMA floodway and associated 100-year floodplain.

The smaller of the two streams starting at the northwest corner will be piped shortly after entering the site and piped under most of the development before being released at the same point where the stream ties into the larger stream on-site. The larger stream will be left intact throughout development and will have trails along it as required by the City of Springboro's mobility plan. Any earthmoving will be kept out of the FEMA restricted floodway

An exhibit has been provided showing the topo on site along with the FEMA mapped floodways and floodplains.



COMMON AREA MAINTENANCE

The Lawn Springboro will establish a Property Owners' Association (POA) responsible for the care and maintenance of all open spaces and recreational facilities within the development. The master developer will oversee maintenance operations, ensuring high-quality upkeep of landscaped areas, pedestrian pathways, plazas, and recreational amenities. Each tenant and property owner within the development will contribute to a Common Area Maintenance (CAM)-style fee, which will fund landscaping, lighting, cleaning, and repairs, ensuring long-term sustainability and aesthetic appeal of shared spaces.

Legal

DECLARATION OF LEGAL CONTROL AND OWNERSHIP INTERESTS

This Declaration is made as of the date set forth below by **Kingsley + Co.** (“Developer”), in connection with the zoning application for the proposed development located at **0 W. Central Ave. Springboro, OH 45066 (Parcel No. 0414301006)** (the “Property”).

1. Legal Control of the Property

The Developer hereby declares and affirms that it has legal control of the Property through an executed Purchase Agreement between Developer and the Property owners, who have signed letters of authorization, attached as Exhibit A.

2. Ownership and Beneficial Interests

The current ownership and beneficial interests in the Property and the proposed development are as follows:

- ☐ **Property Owner(s):** Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall
- ☐ **Developer Entity:** Kingsley + Co.
- ☐ **Beneficial Interest Holders:** None
- ☐ **Development Partnership Structure:** TBD at the time of purchasing the property. Kingsley + Co. will retain ownership and/or interest in the development.

3. Proposed Development

The Developer intends to undertake a mixed-use development on the Property, consistent with the rezoning request. The proposed development is a mixed-use development featuring residential, retail, and recreational spaces, designed to enhance walkability, community engagement, and connectivity to nearby parks and amenities.

4. Affirmation

The Developer affirms that the information provided herein is accurate and complete to the best of its knowledge and that it has the necessary authority to submit this zoning application.

Executed this 20th day of March, 2025.

Developer:
Kingsley + Co.

By: 

Chinedum Ndukwe
President + CEO

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Charles A Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 5 day of ^{March}~~February~~, 2025.

Property Owner:

Name: Charles A Easton

Signature: Charles A Easton

Title: OWNER 1/4 UNDIVIDED

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Anne Easton-Hansen, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of March, 2025.

Property Owner:

Name: Anne Easton-Hansen

Signature: 

Title: Owner

OWNER’S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Terry C. Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the “Property”).

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of February, 2025. 13, March, 2025

Property Owner:

Name: Terry C. Easton

Signature: s Terry C. Easton

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Carrie Kendall, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13 ^{March} day of February, 2025.

Property Owner:

Name: Carrie Kendall

Signature: Carrie Kendall

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, James Kevin Swallow, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this _____ day of February, 2025.

Property Owner:

Name: James Kevin Swallow

Signature: James Kevin Swallow

Title: _____

Design Guidelines

**THE
LAWN**

Overview

The Lawn is envisioned to be a colorful and modern neighborhood nestled against the park. Its look and feel will be contemporary, clean, lush, and active with its brand identity rooted in gathering for people of all ages. The look, feel, and identity is woven throughout all aspects of the site and building design standards for the neighborhood's development.

This vision is also represented in the mix of uses that will be attracted to the site. Retail and commercial spaces will address West Central Avenue while the park will be the shared address for hospitality and residential uses. Residential buildings will be a blend of human-scaled carriage units, townhouses, and apartment buildings that each face a courtyard, trail, and/or the park itself.

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Single Use Retail	60'	5%	10'	10'	5'	2 stories	1 story
Multiple/Mixed Use	80'	5%	10'	10'	5'	3 stories	1 story
Commercial	60'	10%	10'	10'	5'	3 stories	1 story
Hospitality	60'	10%	10'	15'	5'	2 stories	1 story
Multi-Family Residential Areas	80'	15%	5'	10'	5'	3 stories	2 stories
Multi-Family Attached (Townhomes-East)	16'	5%	5'	0'	3'	3 stories	2 stories
Accessory Structures, including Carriage Units	20'	n/a	5'	10'	3'	2 stories	1 story

General Site Development

STREETS AND SITE ACCESS

Street Right-of-Way (ROW)

Streets and lanes shall be primarily designed for safe pedestrian and bicycle movements with the following requirements: When divided, drive lanes shall be a minimum of 10 feet (10') wide. In nonmarked lanes, the total clear width shall be a minimum of eighteen feet (18') in width. Sidewalks shall be a minimum of five feet (5') in width. Trails shall be a minimum of twelve feet (12') in width. Planting beds where trees are anticipated shall be a minimum of six feet (6') in width. Flat or raised curbs are permitted. Bollards are permitted to separate vehicular and pedestrian traffic. Speed limits shall not exceed twenty (20) miles per hour.

Street Radii, Corner Radii & Clear Zones

Intersections shall be primarily designed for safe pedestrian and bicycle movements while ensuring emergency and service vehicles may adequately maneuver. Corner curb radii shall be between eight feet (8') and twenty-five feet (20') as determined by the intended use. Residential areas: up to fifteen feet (15'). Mixed-use areas: up to twenty-five feet (20'). In areas where larger turning radii may be warranted, this need shall be accommodated by mountable curbs and or textured pavements. Clear zones along primary access routes shall be maintained at a twenty-five foot (25') radius to allow emergency vehicles (e.g., fire ladder trucks) to turn corners. Secondary and internal streets and drives shall have a minimum of fifteen foot (15') clear zones.

Materials

The primary materials used are conventional standard asphalt or concrete. Alternative materials like brick, cobblestone, pavers, or other paving products are also anticipated.

PARKING

Parking Requirements

Residential

A minimum of one car per residential bedroom shall be provided. A minimum of two cars per townhouse unit shall be provided. A non-reserved quarter ($\frac{1}{4}$) parking space shall be provided for every unit. One secure bike parking space shall be provided for every unit. Accommodations for electric charging stations and golf cart parking are encouraged. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Non-residential

Non-residential parking shall be set by user requirements or per the City requirements, whichever is fewer. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Shared Parking

Parking areas that are shared by one or more uses that peak at different times may share up to twenty percent (20%) of the required parking spaces.

Parking Size and Location

On-street parking stalls shall be a minimum of seven by twenty-four feet (7' x 24') in width and length. Off-street parking stalls shall be a minimum of nine by eighteen feet (9' x 18') in width and length. The minimum drive aisle width shall be twenty-four feet (24') in width. Both on and off-street parking shall contribute to meeting the minimum parking requirements.

Parking shall be to the side or rear of buildings unless that building's primary orientation is to the park or trail in which case the primary location of the parking shall be to the side of the structure. In all cases, clear pedestrian passage from sidewalks and/or trails to the primary entrance to the building shall be clearly delineated and designed.

Parking Lot Landscape

Landscape islands/beds of at least five feet (5') in width must be provided at end caps of parking aisles. Parking lots that abut a street or lane for greater than sixty linear feet shall maintain a minimum five foot (5') planting bed along the edge. Parking lots that abut property that is not included in the master planned site, a minimum of ten feet (10') planting area shall be maintained. For other specifications, reference City requirements on Chapter 1280.

SITE SIGNAGE

The project shall include an overall project identity for entries, streets, and general wayfinding. Public facility signage will be established by the City. Individual project signage criteria will be developed as projects progress. All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning Zoning Code.



Reference imagery for entrance and wayfinding signage.

OTHER INFRASTRUCTURE

Minimizing the visual impact of utility and equipment may be accomplished by locating them discreetly and screening them from public view using various methods such as landscaping, walls, fences, and architectural elements. The goal is to maintain an aesthetically pleasing streetscape and protect the visual quality of public spaces.

Utility Easements along Streets

All public street utility easements should be accommodated within the planned street rights-of-way (ROW) or designated service lanes whenever feasible. These easements should be placed beneath pavement, landscaping, or sidewalks as needed. Any deviation from this standard will be considered by the City only in cases where specific site development requirements demonstrate that a variation is necessary.

Utility cabinets should be placed discreetly and screened with plant material. Exposed structures requiring open-air locations, such as rooftop mechanical/HVAC equipment, utility, and/or other functional hardware, must be adequately screened from public view. If a structure has a rooftop, these features must be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than fifty feet (50') or beyond any public-facing elevation that can be viewed from any public view. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal (excluding menu boards).

Loading Space Requirements

Retail and commercial areas, loading may be accomplished at specific curbside or parking lot locations as practical and necessary. Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character.

Screen Wall Construction and Materials

Masonry, brick, stone, decorative block, composite materials, pressure-treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached or free-standing service areas and bays. Storage facilities shall feature walls that reflect the surrounding architectural character and tall-growth landscaping.

Public Space

LANDSCAPE

Plant Material Selection

Plant materials should be chosen for their ability to thrive in the Springboro climate, moderate growth rate, and achievable maintenance requirements. All planted surfaces, whether in-ground or raised landscape beds, shall be fully irrigated and well-maintained.

The landscape design should consider the entire development site and consist of a mix of plants with year-round appeal, including annuals, perennials, shrubs, and trees. Plant selection for public facilities will be at the City's discretion.

LIGHTING

Public Space Lighting

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Lighting Design

All outdoor lighting shall be directed so as to prevent night sky pollution, glare on adjacent properties and streets, and to shield the lighting from residences, to the maximum extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of The Lawn.

Decorative Accent/ Architectural Lighting

Decorative accent/architectural lighting meant to illuminate a building feature or surface, is permitted in so much as it does not conflict with other standards included in this document.

SITE FURNISHINGS/COMMON AREAS

Pedestrian Access

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Streetscape

All major roads or circulation routes shall be planted with the same or otherwise complementary species and cultivar of street tree. Street tree species shall be selected to allow growth into a continuous sidewalk canopy and to provide shade, to the extent possible, the street. Street trees shall be spaced at equal intervals (approximately thirty feet depending on species) along street frontage to establish a consistent edge. Entrances/exits must not include plantings that obscure sight lines within three feet (3') and seven feet (7') above the finished grade.

DRAINAGE AND WATER DETENTION

Stormwater management will be handled throughout the site by storm sewers that ultimately lead to either detention or retention basins that will control water quality and runoff control for the development. Locations for these basin will be determined further into design.

SIGNAGE, WAYFINDING, AND GRAPHICS

Project Signage/Brand

A unified approach to signage shall be incorporated to enhance wayfinding, create visual consistency, and improve identification across The Lawn. Sign sizes should generally correspond to the scale of the structure they accompany. All signs must maintain uniformity in type, material, and color. A clear signage hierarchy will be established to support area recognition, business identification, directional guidance, and other related signage needs. Springboro Ordinance 96-38, Section 826 of the Springboro Sign Code contains additional details.

Individual Project and/or Tenant Sign Criteria

Signage for multi-tenant properties must present a coordinated design. A cohesive design theme shall be applied to all signage, regardless of variations in size or placement.

OUTDOOR STORAGE

On occasion, Outside Storage may be necessary in multi-family amenity areas and retail areas where outdoor dining and related activities are anticipated. Outside storage of merchandise, raw material, finished products, and/or equipment must be visually screened from any publicly visible right-of-way and private roadways.

Building Design

GENERAL ARCHITECTURAL CHARACTER

The Lawn's design aims to ensure consistent, high-quality design, materials, and construction that align with Site Development.

ORIENTATION TO STREET

Buildings shall orient themselves to the following preferential order, depending on the relevance to their specific location: trail, park, and then the street. Buildings located at the intersections of one or more of these types of addresses should be designed to meet both by 'turning the corner' with appropriate design attention given.

BUILDING MASSING AND REPETITION

All repeated building types/floor plans shall include a minimum of two facade options, not including options for color or corner treatments when relevant to that plan's usage. No two plans (except for town houses and carriage units) shall be used more than once in a row or across from one another. Any building longer than sixty feet shall be articulated to break down the continuous facade through the use of some combination of the following: window or bay patterns, height, step or setbacks at one or more floor levels, and/or balconies (inset or projecting).

Building Height

Building heights shall be measured in stories. No building shall exceed three stories above the highest ground on which the building sits. Finished floor elevations for residential buildings shall not be less than eighteen inches (18") above the space the building primarily addresses (i.e. a street, trail, or park).

Rooflines

Residential roofs may be flat or sloped. Flat roofs, when present, must have parapets or cornices to provide visual interest and screen rooftop equipment. Rooftop decks and patios are encouraged. All parapets and cornice features, including rooftop uses, are exempted from building height measurements.

Building Materials

Commercial-grade materials are required. Acceptable materials include pre-cast masonry, brick, decorative block, cementitious siding, wood, natural stone, cast or cultured stone, exposed metal, and stucco. Prohibited materials include EIFS, plywood, unadorned corrugated siding, and plastic panels in publicly visible locations.

Glass Materials

Clear or colored glass, translucent, sandblasted, and decorative glass are acceptable. Retail and commercial storefronts should be predominantly clear glass.

Visible Roofing Materials

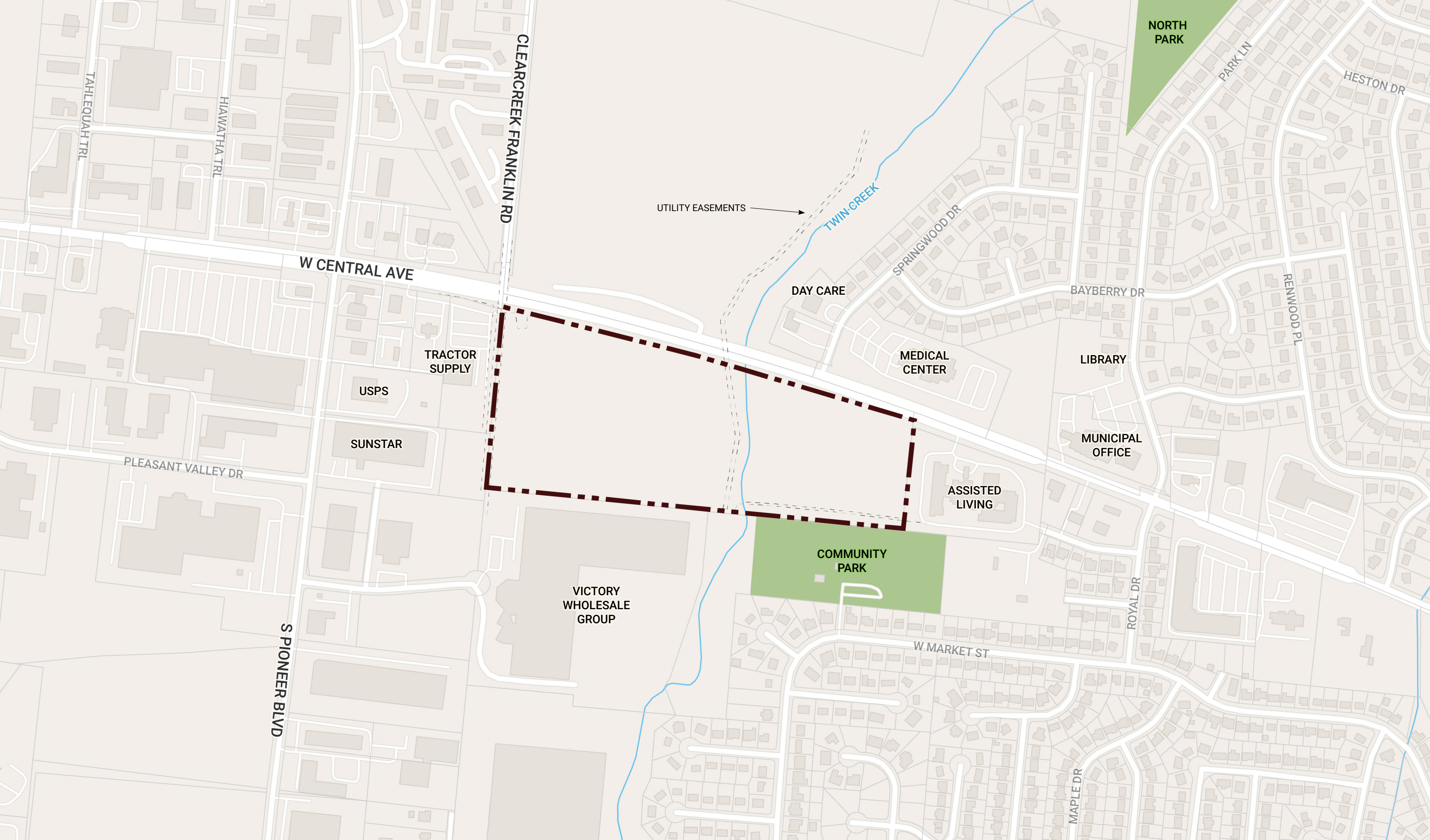
Sloped roofs may use slate-style shingles, fiberglass shingles, or standing seam metal.

Building Color

Color schemes should be limited to no more than two colors on a given facade, unless otherwise approved. Color schemes should visually tie the building's massing together. Monolithic color schemes are discouraged, but monochromatic palettes with shade variations are acceptable.

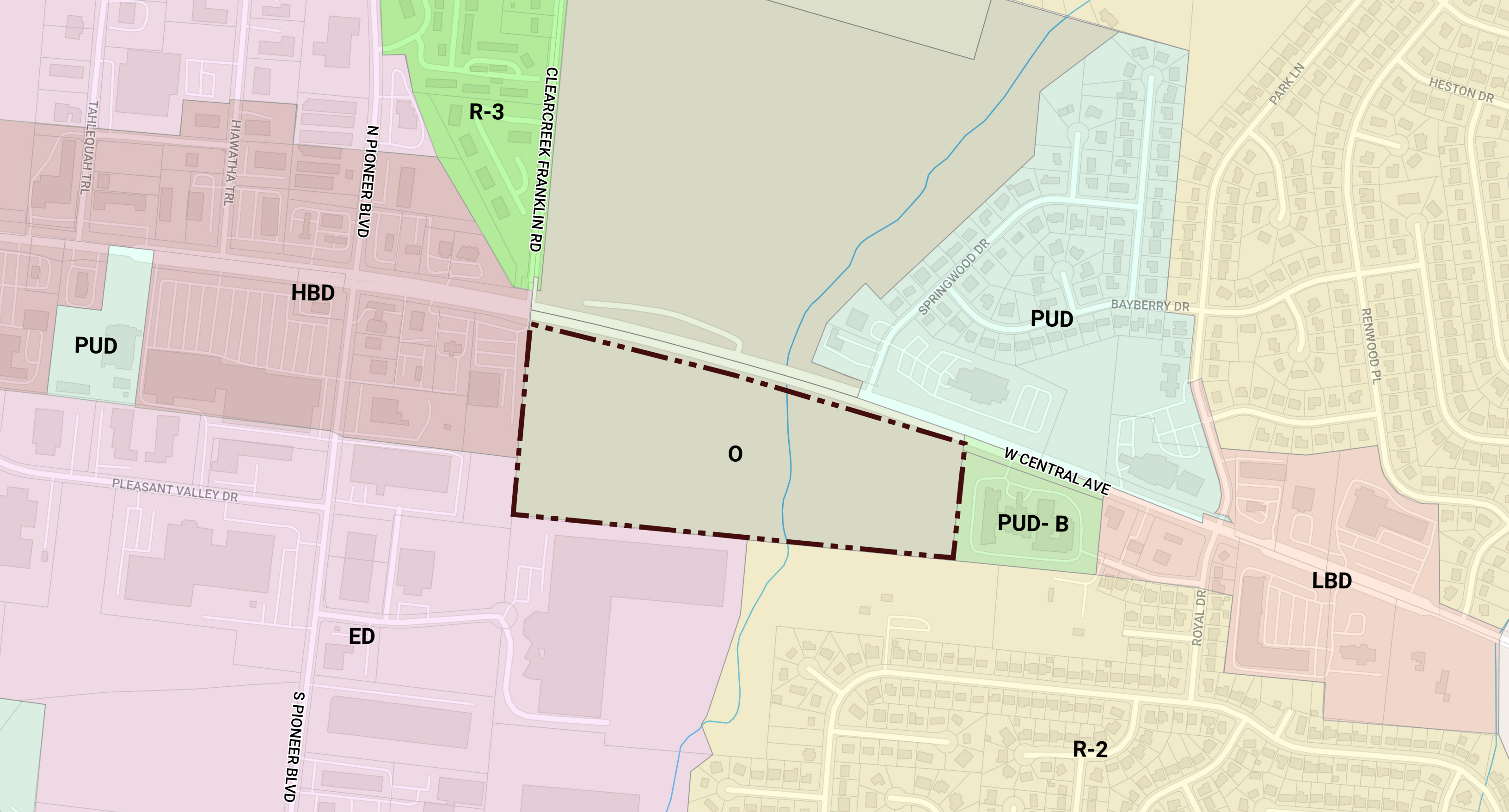
Appendix & Exhibits

**THE
LAWN**










Vicinity Map





Zoning

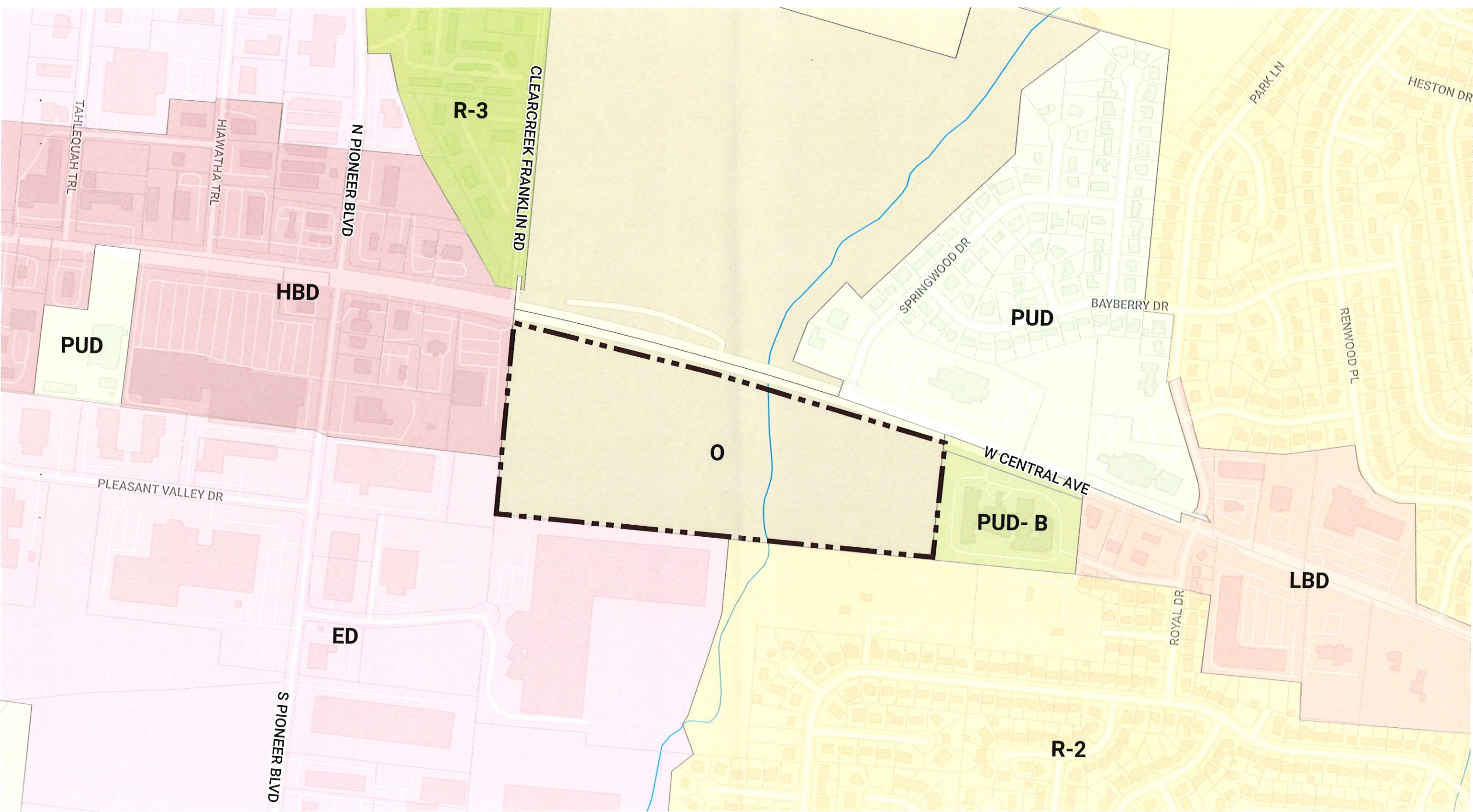
- | | | |
|--|---|---|
|  O - OFFICE PARK DISTRICT |  PUD - PLANNED UNIT DEVELOPMENT DISTRICT |  R-3 - MEDIUM DENSITY RESIDENTIAL |
|  HBD - HIGHWAY BUSINESS DISTRICT |  PUD-B - PLANNED UNIT DEVELOPMENT- BUSINESS | |
|  LBD - LOCAL BUSINESS DISTRICT |  R-2 - LOW DENSITY RESIDENTIAL DISTRICT | |

0 400 800 FEET





Development Plan

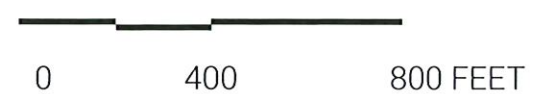


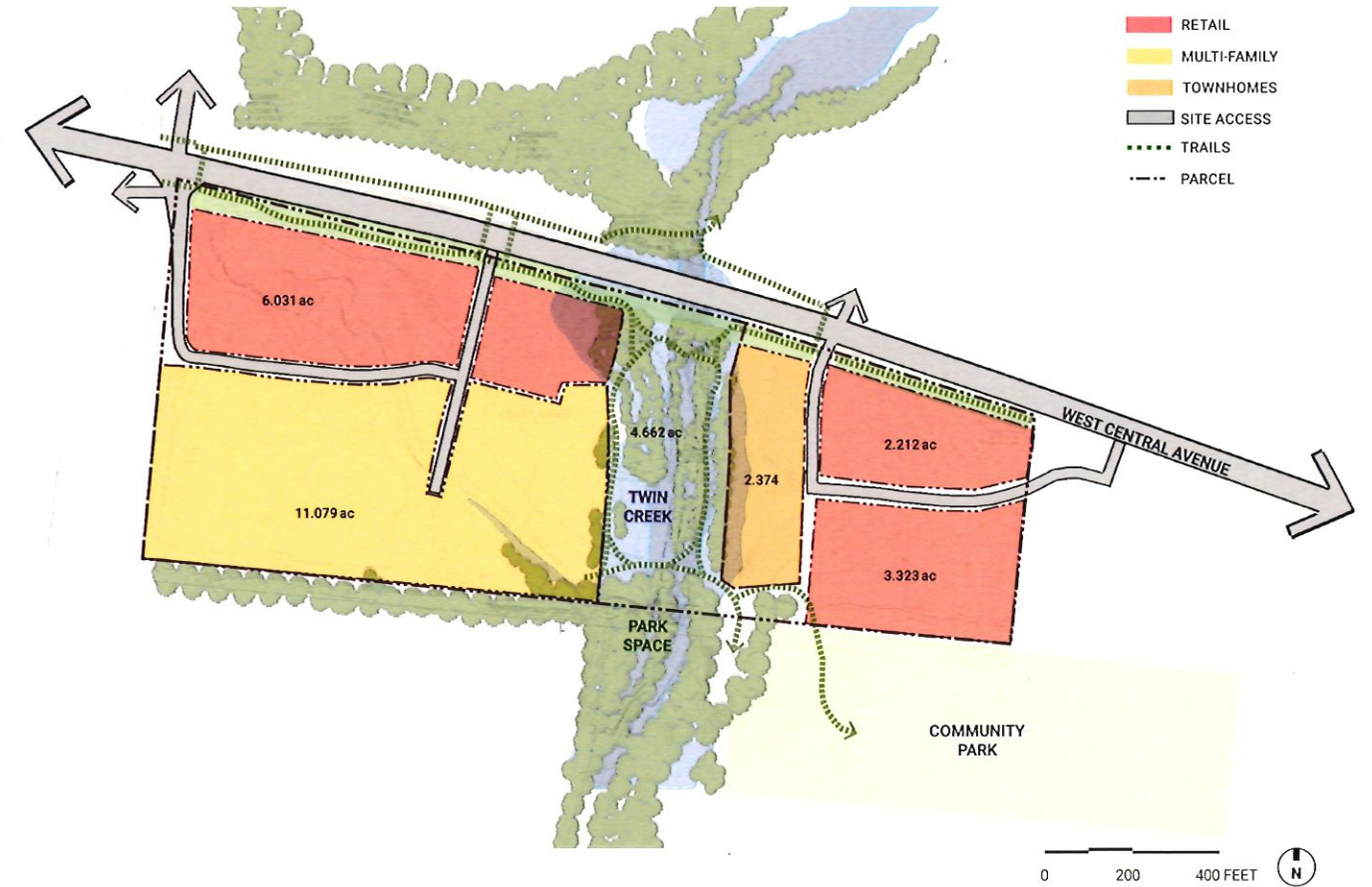
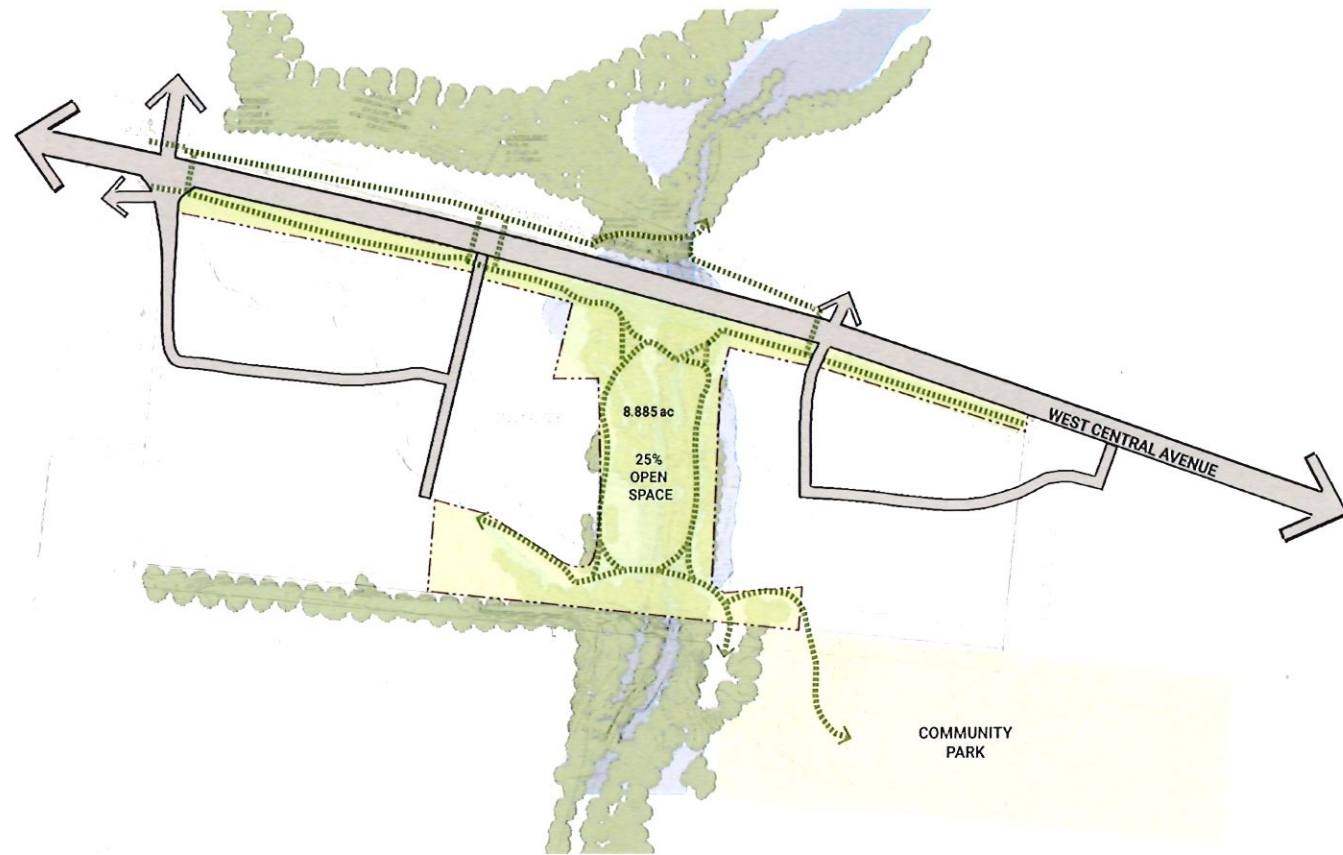
Zoning

- O** - OFFICE PARK DISTRICT
- HBD** - HIGHWAY BUSINESS DISTRICT
- LBD** - LOCAL BUSINESS DISTRICT

- PUD** - PLANNED UNIT DEVELOPMENT DISTRICT
- PUD-B** - PLANNED UNIT DEVELOPMENT- BUSINESS
- R-2** - LOW DENSITY RESIDENTIAL DISTRICT

- R-3** - MEDIUM DENSITY RESIDENTIAL





PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Duplex/Attached/Two-Family Dwelling
- Attached townhome
- Triplex
- Carriage Unit

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Restaurant- Outdoor Dining
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station

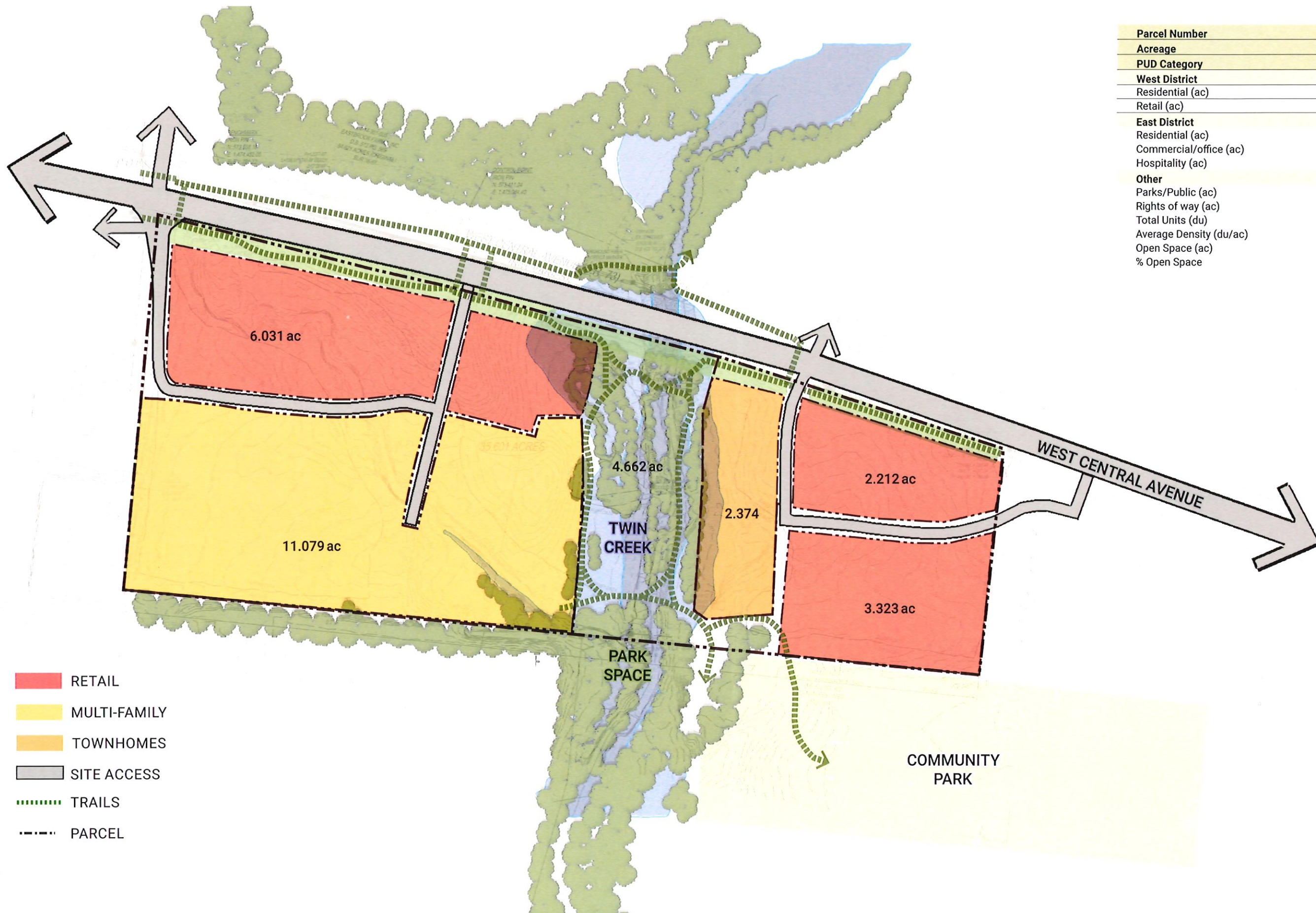
Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Commercial/office (ac)	2.212
Hospitality (ac)	3.323
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.92
Total Units (du)	327
Average Density (du/ac)	20.8
Open Space (ac)	8.885
% Open Space	25

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Single Use Retail	60'	5%	10'	10'	5'	2 stories	1 story
Multiple/Mixed Use	80'	5%	10'	10'	5'	3 stories	1 story
Commercial	60'	10%	10'	10'	5'	3 stories	1 story
Hospitality	60'	10%	10'	15'	5'	2 stories	1 story
Multi-Family Residential Areas	80'	15%	5'	10'	5'	3 stories	2 stories
Multi-Family Attached (Townhomes-East)	16'	5%	5'	0'	3'	3 stories	2 stories
Accessory Structures, including Carriage Units	20'	n/a	5'	10'	3'	2 stories	1 story

RESIDENTIAL UNITS MINIMUM FLOOR AREAS

- Minimum unit size: 500 square feet.
- Minimum building footprint: 500 square feet



Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Commercial/office (ac)	2.212
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Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.92
Total Units (du)	327
Average Density (du/ac)	20.8
Open Space (ac)	8.885
% Open Space	25





PROPOSED LEGEND

	REGULATORY FLOODWAY
	100 YEAR FLOODPLAIN
	500 YEAR FLOODPLAIN



NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILATION OF AVAILABLE RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-368-3763 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

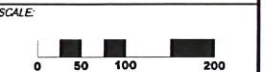
www.kleingers.com
6219 Centre Park Dr.
West Chester, OH 45069
513.779.7551

SEAL:

NO.	DATE	DESCRIPTION
1.	5/29/2024	SCHEMATIC DESIGN

KINGSLEY DEVELOPMENT
SPRINGBORO, OH
MONTGOMERY COUNTY

PROJECT NO. 240466.000
DATE: 5/29/2024



SHEET NAME:

GIS WITH FLOODPLAIN

SHEET NO.

1-1

1. SOURCE DOCUMENTS AS NOTED
2. OCCUPATION IN GENERAL FIES SURVEY.
3. MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED
4. IRON PINS SET ARE 58" DIAMETER X 30" IRON REBAR WITH ID CAP STAMPED "NLENGERS".
5. ALL DISTANCE POINTS ARE BASED ON THE US SURVEY FOOT DEFINITION (1" = 1200/3837 METERS)
6. BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, AND NORTH AMERICAN DATUM OF 1983 (2011) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON COOT CROS STATION "LEBA" WITH A BEARING OF N0518°47'E AS SHOWN ALONG THE SECTION LINE OF SECTION 29 AND SECTION 14.
7. PROJECT COORDINATES ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM AND HAVE BEEN SCALDED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000941997 APPLIED AT A BASED POINT OF 4572.932 N 11.473 421.00 GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
8. ALL ELEVATIONS ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON COOT CROS STATION "LEBA" USING GEOID CUS 18 IN REFERENCE TO THE FOLLOWING CONTROL MONUMENT: WARREN COUNTY BENCHMARK # 5-278, POSTED ELEVATION = 756.828
9. SITE BENCH MARK AS SHOWN HEREON
10. SUBJECT SITE IS LOCATED IN ZONE K - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER A GEOGRAPHIC INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 39-5550012E WITH AN EFFECTIVE DATE OF 12/17/2013 AND FEMA'S FLOOD INSURANCE RATE MAP NO. 39-5550032E WITH AN EFFECTIVE DATE OF 12/12/2013
11. SUBJECT SITE CONTAINS 0 PARKING SPACES OF WHICH
12. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS
13. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES
14. SUBJECT SITE HAS DIRECT VEHICULAR ACCESS TO WEST CENTRAL RD.
15. TOPOGRAPHIC INFORMATION IS BASED ON CONVENTIONAL SURVEYING METHODS AND GIS DATA

MATTHEW D HASEDANK _____ DATE _____
OHIO PROFESSIONAL SURVEYOR NO. 8111

1 OF 2

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILATION OF AVAILABLE RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

VICINITY M
N.T.S

WEST CENTRAL AVENUE (S.R. 73)
(RW VARIES)
- 5142625 E 2515' (MAR-73-4255)

35.601 ACRES

SURVEYOR'S CERTIFICATION

TO: STAR TITLE AGENCY, LLC; FINAL TER HOLDINGS II, LLC, AN OHIO LIMITED LIABILITY COMPANY, JAMES KEVIN SWALLOW (1/3 INTEREST), CARRIE KENDALL (1/3 INTEREST), ANNE HANSEN (1/4 INTEREST), TERRY C. EASTON (1/4 INTEREST), AND CHARLES A. EASTON (1/4 INTEREST);

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPSF LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPSF, AND INCLUDES ITEMS 1-5, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 10(a), 11(a), 13, 14 AND 15-19 OF TABLE A THEREOF.

STAR TITLE AGENCY LLC
COMMENT FOR TITLE INSURANCE
FILE NO 24-1137
EFFECTIVE DATE JULY 12, 2024

11. Access Easement granted to ColumbiaWegman Springtown, LLC, a Delaware limited liability company, dated September 8, 2014, and filed for record September 11, 2014 at 12:35:31 PM in Document Number 2014-024478, Warren County records.
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)

12. Storm Drain Easement granted to ColumbiaWegman Springtown, LLC, a Delaware limited liability company, dated September 5, 2014, and filed for record September 12, 2014 at 1:52:32 PM in Document Number 2014-023841, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #12.)

13. Sanitary Sewer Easement granted to the City of Springtown dated September 5, 2014, and filed for record September 10, 2014 at 1:52:31 PM in Document Number 2014-023841, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #13.)

14. Easement(s) and setback lines as shown in Record Plan Springtown Senior Living dated August 28, 2014 and filed for record August 28, 2014 in Deed Book 88, page 73, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #14.)

15. Terms and Conditions of easement for vehicular and pedestrian ingress and egress granted to Thomas G. Easton, Anne Easton Hansen R/a Anne S. Easton, Charles A. Easton and Terry C. Easton, dated March 31, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. 154 991, page 219, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #15.)

16. Easement for roadway purposes granted to the City of Springtown dated March 17, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. 154 991, page 210, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #16.)

17. Easement for limited access highway purposes (1-75) through and across 21.87 acres as referenced in Warranty Deed, dated March 26, 1993, and filed for record April 13, 1993, at 10:26 AM in O.R. Vol. 835, page 573, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, NOT PLOTTED.)

18. Vacation of a Portion of Highway Right of Way dated June 7, 1978, and filed for record June 27, at 12:57 AM, in Deed Vol. 520, page 37, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #18.)

19. Easement for sanitary sewer and water line purposes granted to the Village of Springtown, dated October 1, 1974, and filed for record October 8, 1974, at 2:12 PM, in Deed Vol. 473, page 434, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #19.)

20. Terms and conditions of easement granted to the Village of Springtown for sewer line purposes dated July 7, 1968, and filed for record November 26, 1968, at 2:23 PM, in Vol. 411, page 416, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #20.)

Assignment of Water and Sewer Tap Rights, dated January 16, 1978, and filed for record March 1, 1978, at 10:36 AM in Deed Vol. 515, page 200, Warren County records.
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)

21. Easements for highway and channel purposes granted to the State of Ohio dated November 22, 1968, and filed for record February 6, 1969, at 3:32 PM in Deed Vol. 453, page 91, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #21.)

22. Easement for waterline purposes granted to the Village of Springtown dated June 23, 1965, and filed for record July 12, 1965, at 9:15 AM in Vol. 365, page 353, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, NOT PLOTTED.)

23. Pipe Line Right-of-Way granted to Miami Valley Corporation, an Ohio corporation, dated July 26, 1950, and filed for record July 31, 1950, at 2:17 PM in Vol. 196, pg. 231, Warren County records.
(LES ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #23.)

Partial Release of Pipe Line Right-of-Way dated June 27, 1978, and filed for record June 28, 1978, at 11:54 AM in Vol. 520, page 172, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY, PLOTTED AND LABELED AS ITEM #23.)

Assignment to BP Exploration & Oil, Inc., an Ohio corporation, dated August 24, 1994, and filed for record October 7, 1994, at 9:06 AM in O.R. Vol. 1244, page 852, Warren County records.
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)

Assignment and Conveyance Agreement to BP Central Pipelines LLC, a Delaware limited liability company, dated October 25, 2019, and filed for record October 5, 2021 at 06:47:48 AM in Document Number 2021-043521, Warren County records.
(PERTAINS TO SURVEYED PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.)

24. Easement for electric purposes granted to The Cincinnati Gas & Electric Co. dated October 11, 1945, and filed for record December 3, 1945 at 10:25 AM, in Vol. 152, page 27, Warren County records.
(UNABLE TO DETERMINE WITH AVAILABLE INFORMATION.)

LEGAL DESCRIPTION

Situated in Section 14, Town 2, Range 5, M.Rs., City of Springtown, Clearcreek Township, Warren County, Ohio being part of a 42.887 acre (original) tract of land conveyed to Anne Stanton Easton Hansen (1/4 interest), Terry C. Easton (1/4 interest), Charles Arthur Easton (1/4 interest), Kevin James Swallow (1/8 interest) & Carrie Kandal (1/8 interest) as recorded in D.B. 481 Pg. 555 and D.N. 2019-024365 of the Warren County, Ohio Recorder's Office, the boundary of which being more particularly described as follows:

Beginning at a point in the west line of Section 14 at the intersection of the centerline of West Central Avenue (S.R. 73);

Thence along the centerline of said West Central Avenue (S.R. 73), the following three (3) courses:

1. Along a curve to the right an arc distance of 738.41 feet to a set 5/8" iron pin, said curve having a radius of 12277.67 feet, a delta of 13°25'43" and a chord bearing S 7°08'30" E a distance of 738.50 feet;

2. S 74°25'25" E a distance of 252.52 feet to a set 5/8" iron pin;

3. Along a curve to the right an arc distance of 1542.74 feet to a set 5/8" iron pin at the northwest corner of Springtown Senior Living as recorded in P.B. 88 Pg. 73, said curve having a radius of 12277.66 feet, a delta of 04°31'58" and a chord bearing S 72°00'29" E a distance of 1542.43 feet.

Thence along the west line of said Springtown Senior Living, S 55°36'13"N a distance of 571.85 feet to a found 5/8" iron pin at the southwest corner of Springtown Senior Living and in the north line of a 13.11 acre (dead) tract of land conveyed to Village of Springtown, Ohio as recorded in D.B. 30 Pg. 322.

Thence along the north line of said 13.11 acre (dead) tract and along the north line of a 22.463 acre (dead) tract of land conveyed to Promotional Wholesalers Partnership, P.L.L. as recorded in O.R. 4487 Pg. 278, N84°15'04"W a distance of 1568.90 feet to a set 5/8" iron pin in the aforementioned west line of Section 14.

Thence along said section line and along the east line of Lot 2 of Sundar as recorded in P.B. 87 Pg. 85 and the east line of a 3.524 acre (dead) tract of land conveyed to Locuputo Partnership, LLC as recorded in D.N. 2019-024591, N65°15'47"E, passing a set may nail at 892.96 feet, a total distance of 338.67 feet to the Point of Beginning.

Containing 35.601 acres of land, more or less and being subject to easements, restrictions and rights of way record.

All iron pins set are 5/8" diameter x 30" iron rebar with ID cap stamped "Kleingers".

Bearings are based on the Ohio State Plane Coordinate System, South Zone, and North American Datum of 1983 (2011) as established from a GPS survey originating on COOT CONS Station "LEBA" with a bearing of N09°15'47"E as shown along the Section Line of Section 20 and Section 14.

THE ABOVE DESCRIBED LEGAL DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON, IS ALL OF THE LANDS AS DESCRIBED IN D.B. 481 PG. 555 AND D.N. 2019-024365 WHICH IS CONTAINED WITHIN THE COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER 24-1137 AND IS DESCRIBED AS FOLLOWS:

Situate in Section 14, Town 2, Range 5, MRS. City of Springtown, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of State Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 143.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 143.36 feet, and a chord bearing of S 11°57'04" E, thence S 89°13'43" E a distance of 252.52 feet to a point, thence Southeastwardly on a curve to the right an arc distance of 1265.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1265.36 feet, and a chord bearing of S 77°41'43" E, thence S 75°09'43" E a distance of 629.33 feet to a point on the West line of said Royal Oaks Park, Section 12 as recorded in Book 5, Page 30, of the Warren County Plat Records, thence bearing said centerline S 71°42'58" E with said Royal Oaks Park West line a distance of 388.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 383 of said Royal Oaks Park, thence S 89°57'38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.67 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Dale Spring Farm, Inc., tract as recorded in Book 483, Page 588 of the Warren County Deed Records; thence N 0°30'34" W with the West line of said Section 14 a distance of 638.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT:

And being 7.2436 acres by record plat for Springtown Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 88 Page 72 and being situated in Section 14, Town 2, Range 5, MRS. City of Springtown, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.



SEAL:

NO. DATE DESCRIPTION
1 08-19-24 ALTA/NSPS TITLE SURVEY - ARI

ALTA/NSPS LAND
TITLE SURVEY
35.601 ACRES
SECTION 14, TOWN 2, RANGE 5, M.Rs.
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FOR: KINGSLEY AND COMPANY
PROJECT NO. 240466VSD000
DATE 08-19-2024
SCALE

SHEET NAME
KINGSLEY
DEVELOPMENT

SHEET NO
2 OF 2



100 – 150 East St Housing Redevelopment

Proposed Rezoning

R-2, Low-Density Residential District, to PUD-R, Planned Unit Development-Residential

Site Area: 1.07 acres gross.

Existing Use:

Vacant. Five homes on site were demolished in 2024, 2025.

Proposed Uses:

Single-Family Detached Dwellings

Accessory Buildings and Structures

Accessory Uses

Home Occupations

These are the same uses as permitted in R-2 District.

The existing east-west alley the bisects the site will be retained for vehicular and utility access. A second north-south alley is proposed; it will provide rear-year access to one-car garages proposed in the PUD-R. Both alleys will be publicly owned and maintained.

Current Gross Development Density: 4 units/acre

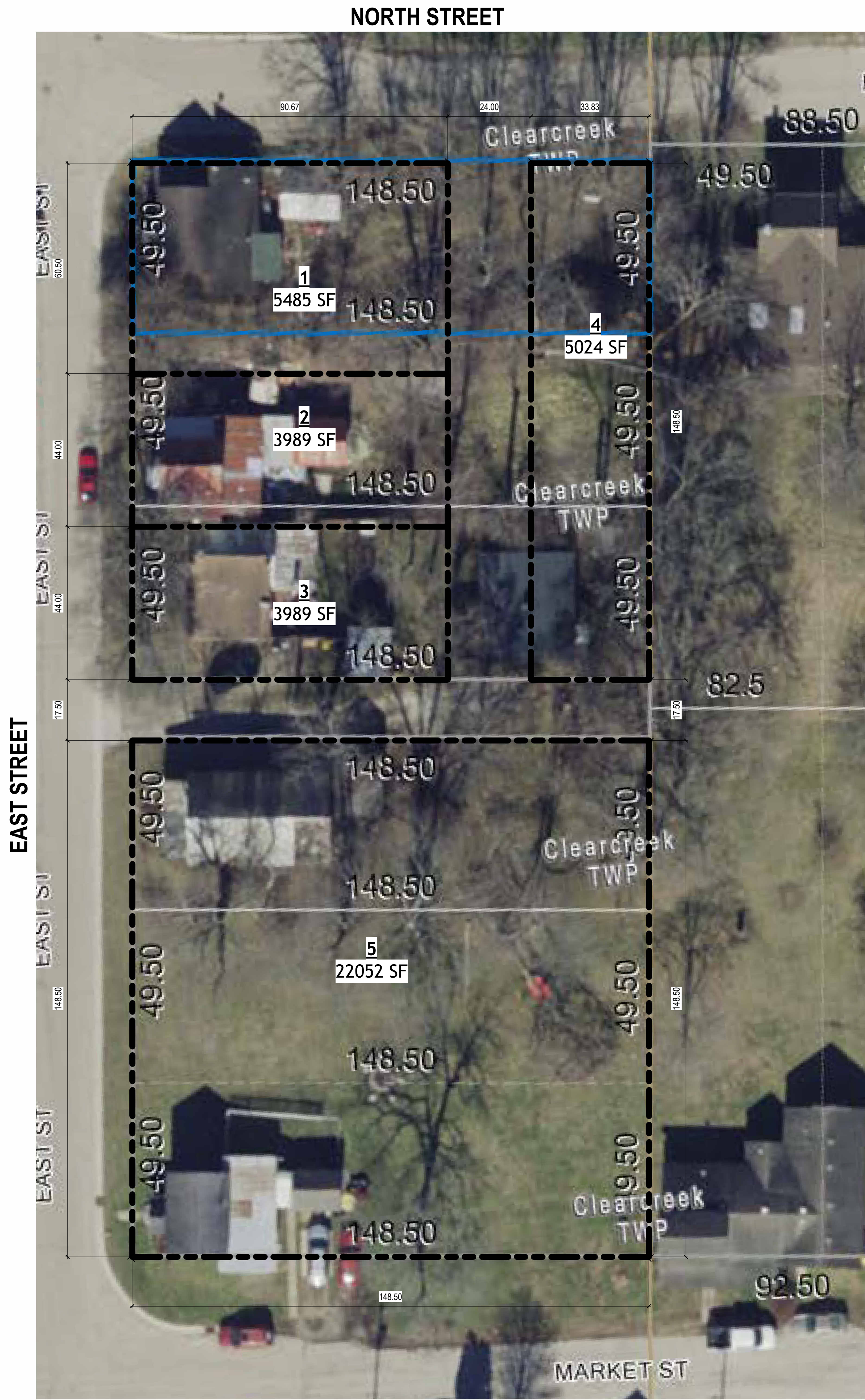
CBD, Central Business District, Gross Development Density: 6 units/acre

Proposed Gross Development Density: 7.46 units/acre

Development of the north half of the site only is proposed currently. Lots would range in size from 3,989 square feet (lots 1-2) to 5,485 square feet (lot 1).

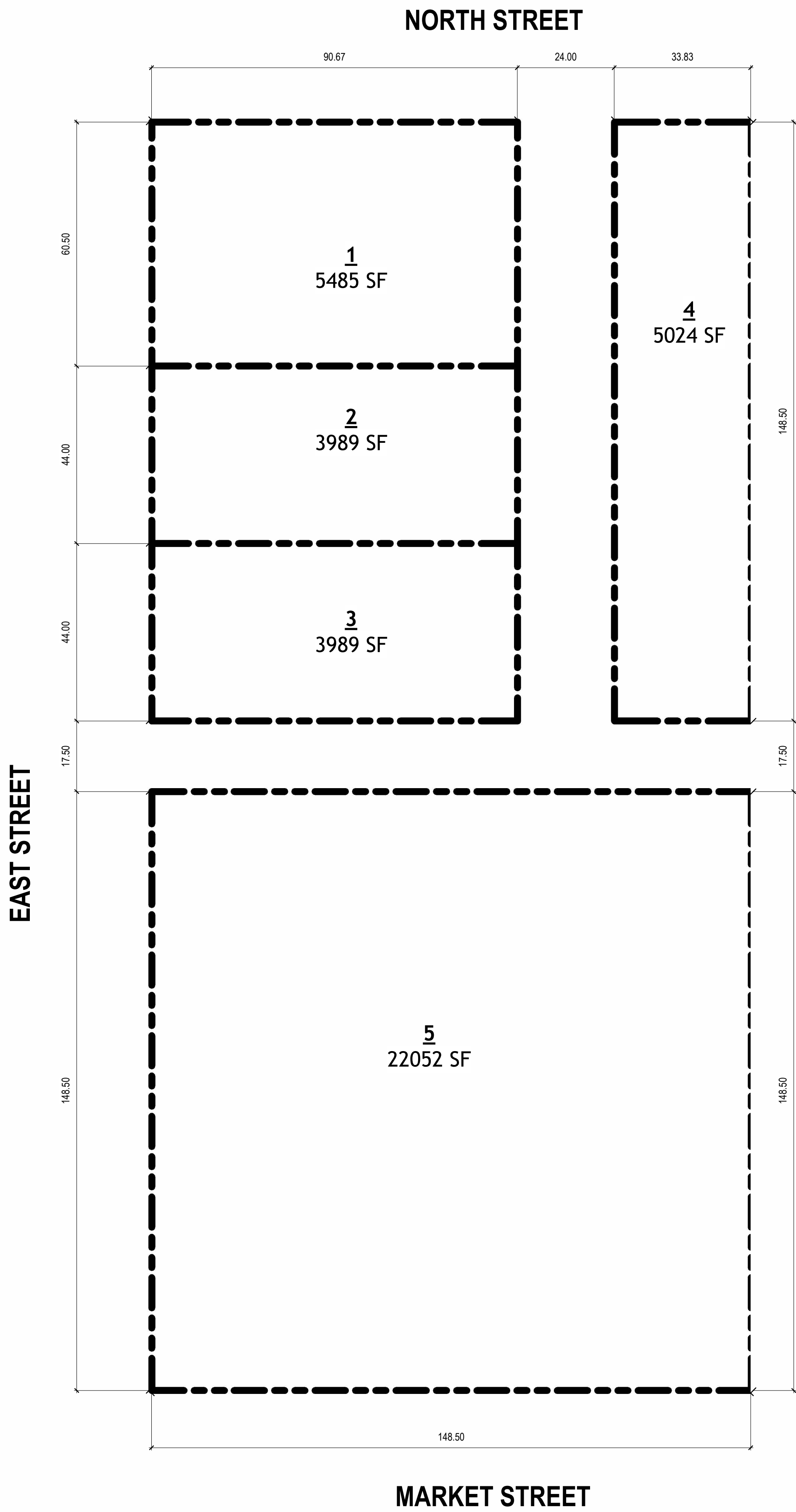
Site is located in Historic District. Vacate sites in the Historic District are contributing properties of the Springboro Historic District. Changes to site above maintenance and repair are subject to review by the Architectural Review Board.

The City is asking for the waiving of the 25% open space requirement for this PUD-R. Providing such open space would eliminate up to two lots in the long-term under this proposal. The rezoning site is 550 feet to Mills Park/320 South Main Street, and 1,025 feet from the common area within Wright Station.



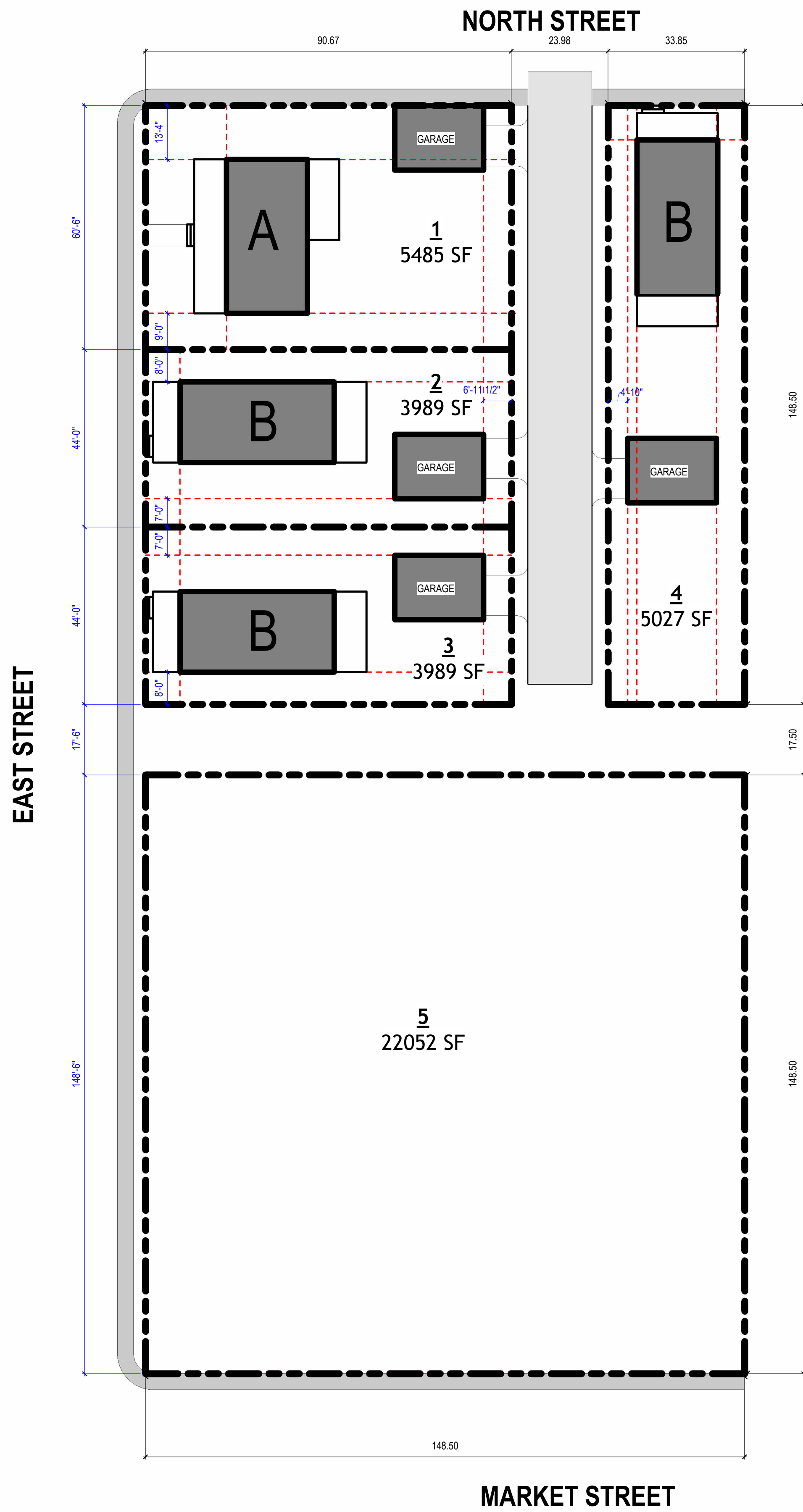
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SITE PLAN
SCALE: 1" = 20'-0"

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AS001

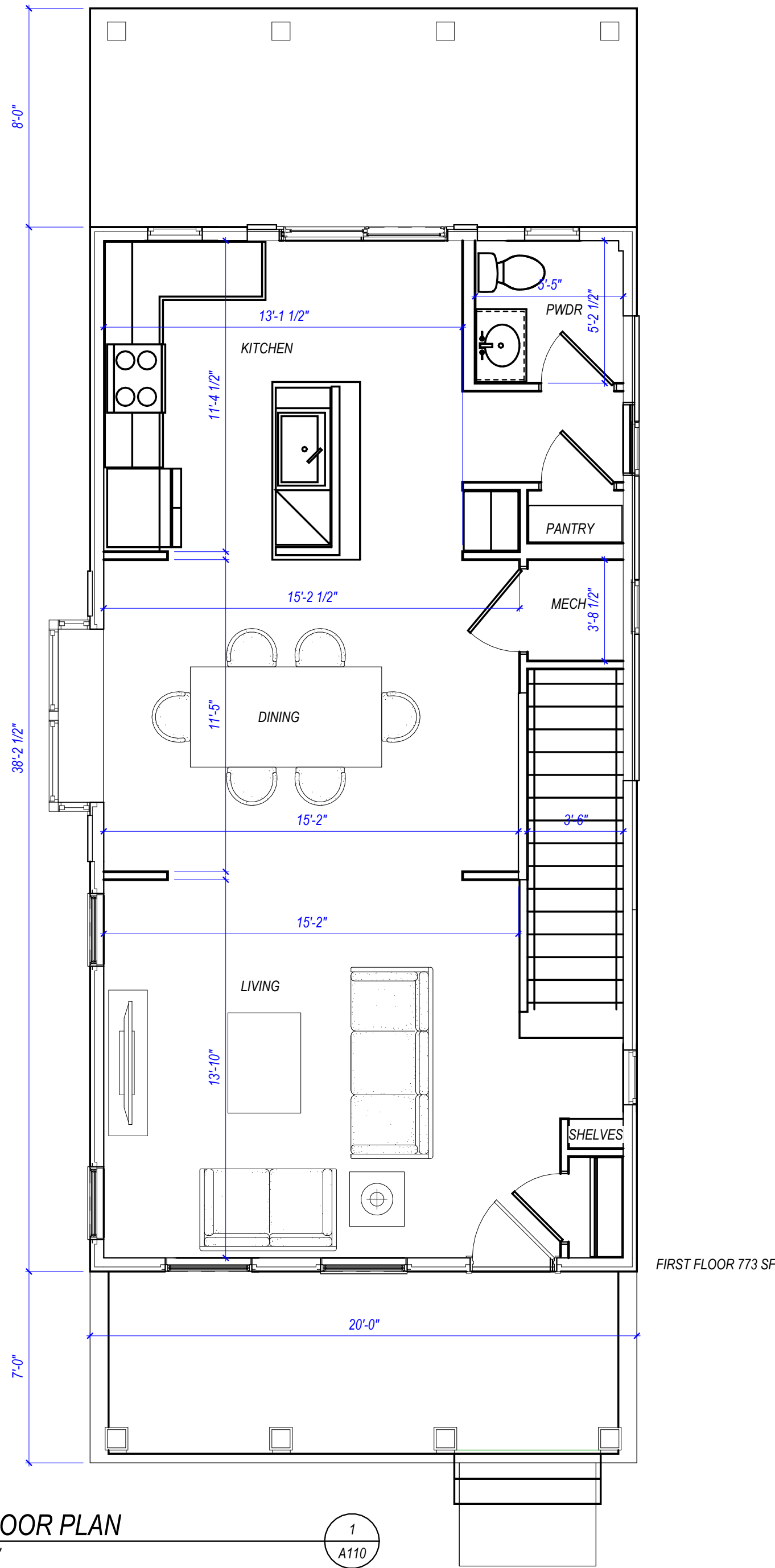


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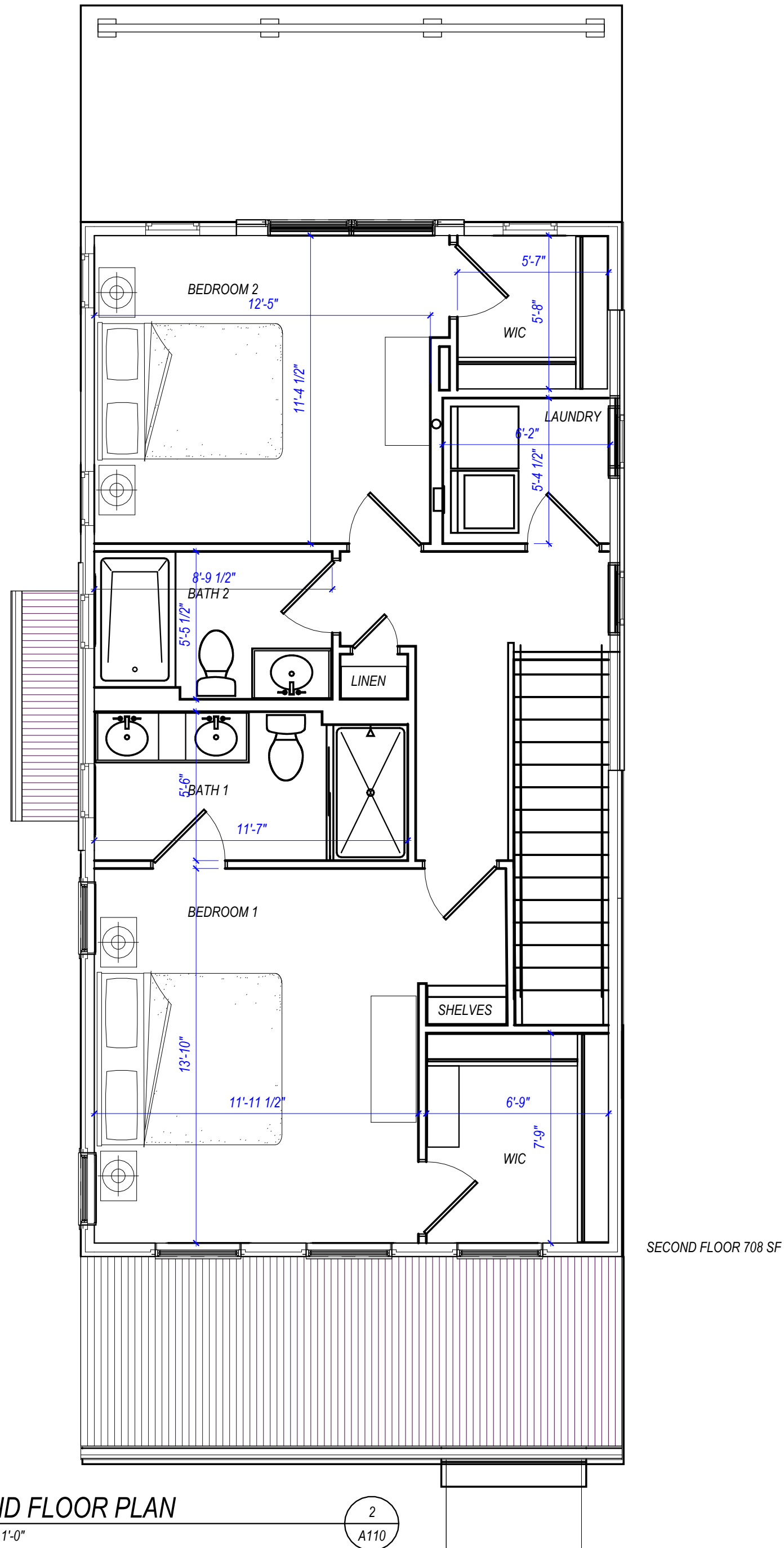
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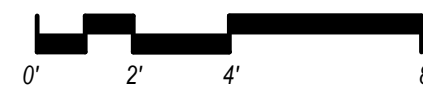


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A110

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
A110



? KEYNOTES

X DRAWING NOTES

1 in a keyed note



555 CARE ST., CINCINNATI, OH 45203 | P (513) 721-0600 F (513) 721-0661

SPRINGBORO HOUSING STUDY
EAST, NORTH & MARKET STREETS, SPRINGBORO, OHIO 45066
CITY OF SPRINGBORO
XXXX

NOT FOR
CONSTRUCTION

ISSUED DATE

SHEET TITLE

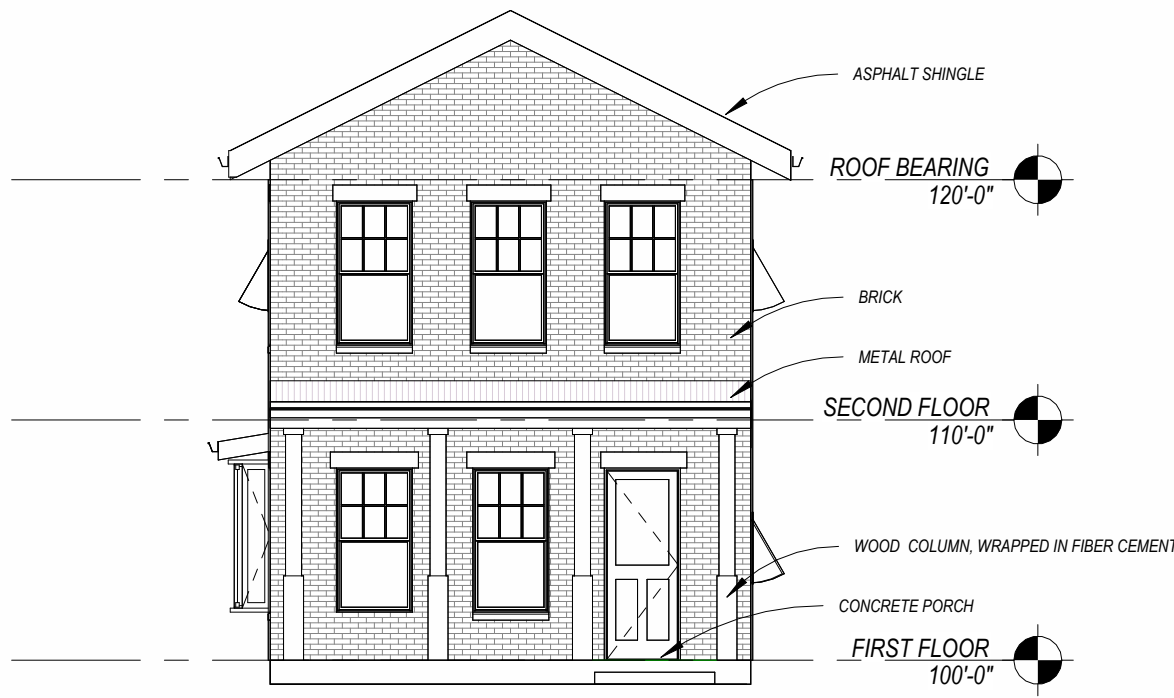
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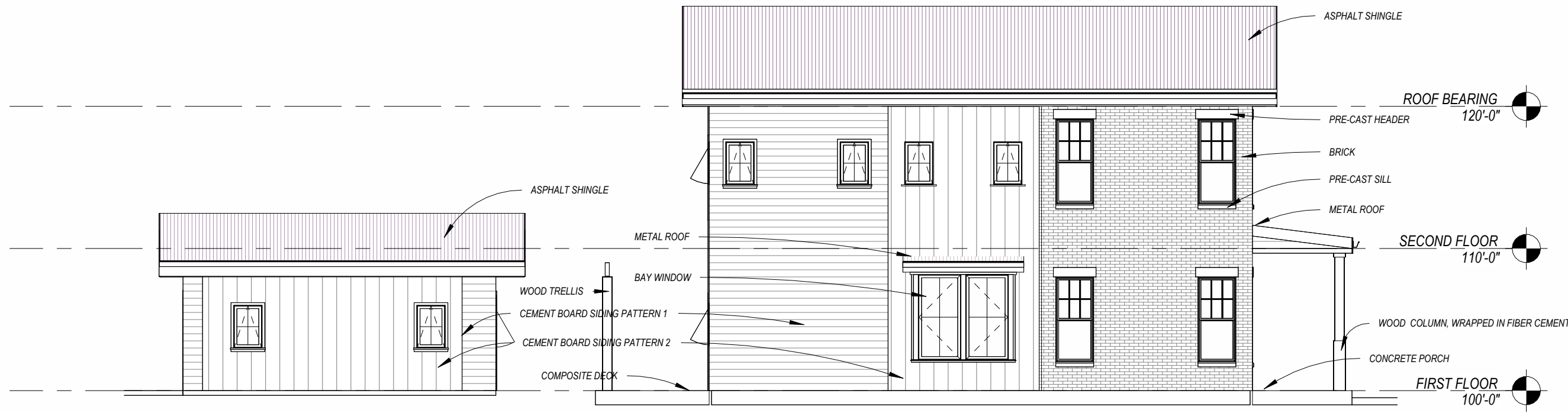
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elevator DESIGN GROUP



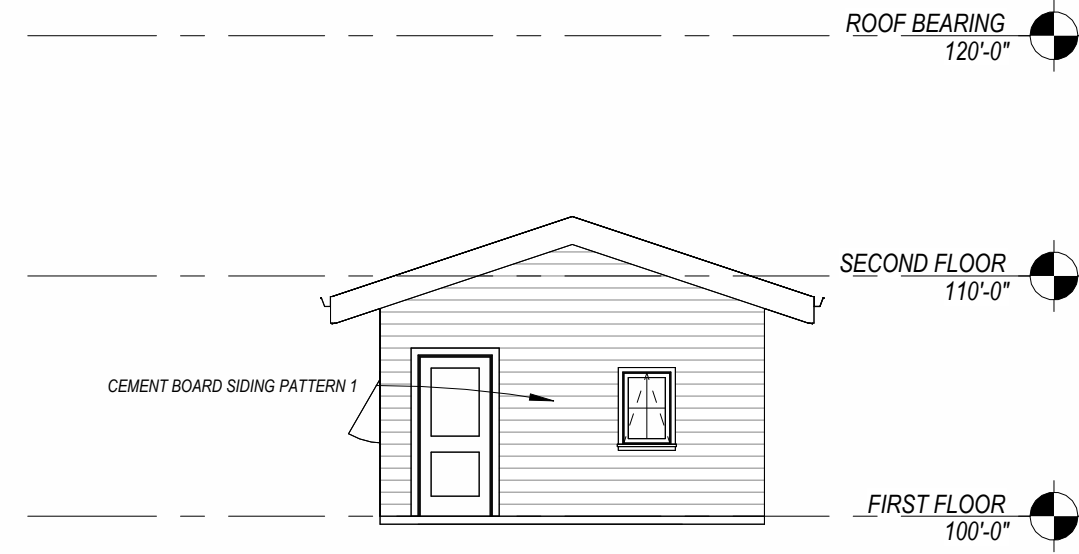
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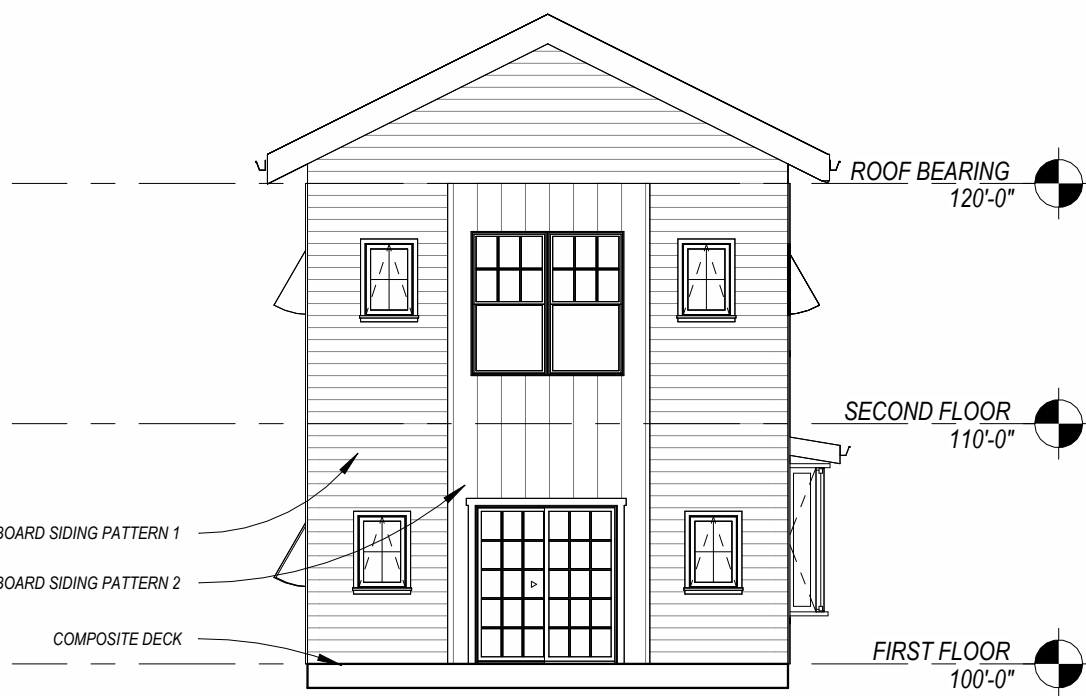
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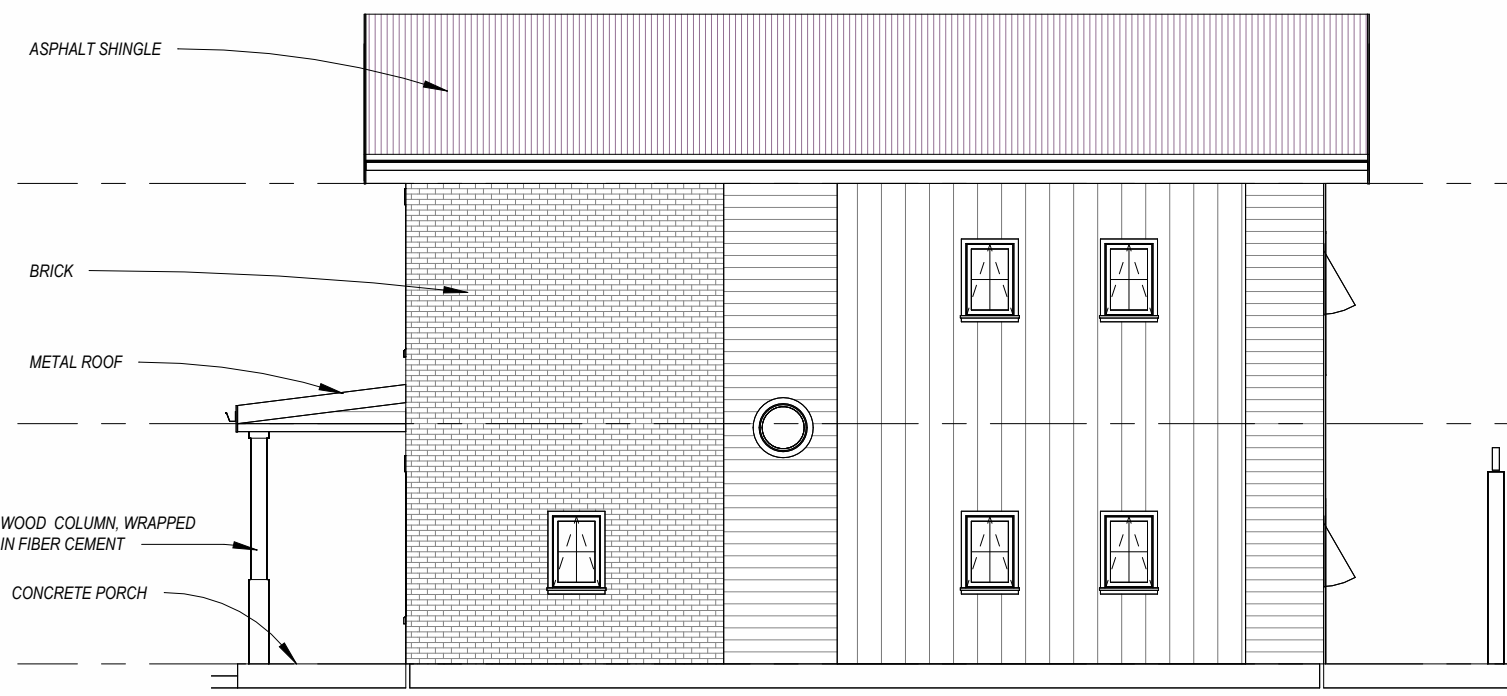
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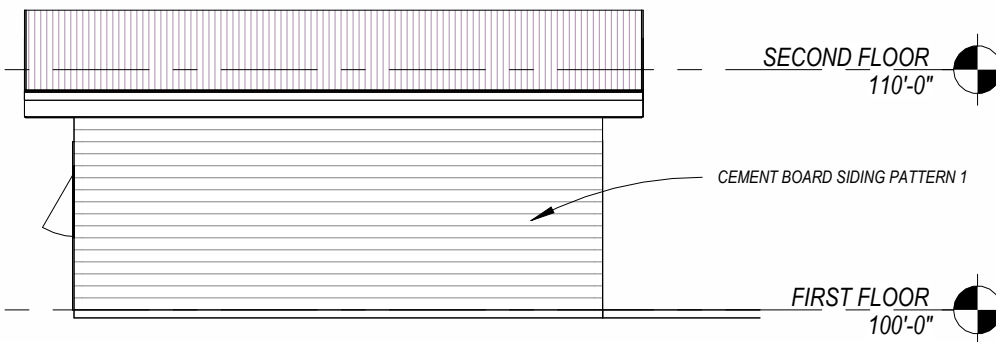
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PLAN EAST ELEVATION
SCALE: 1/8" = 1'-0"

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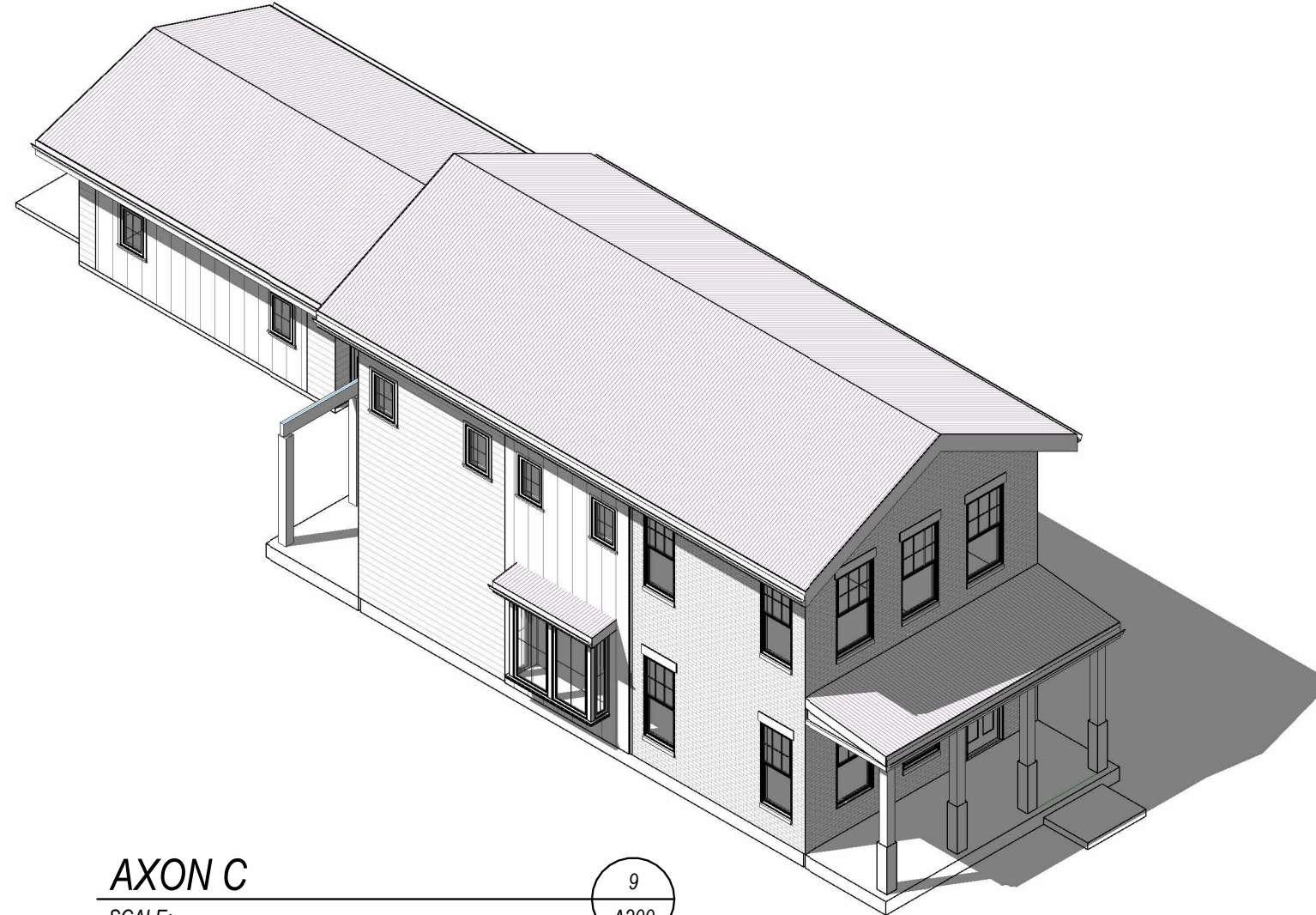
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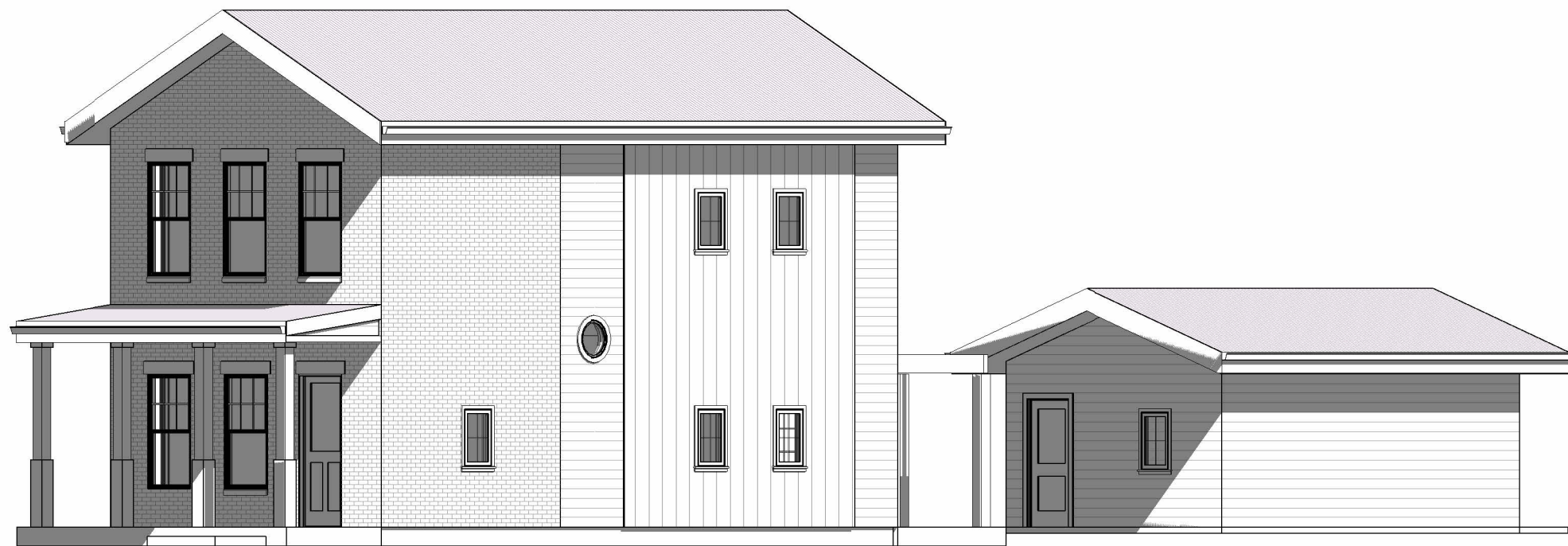
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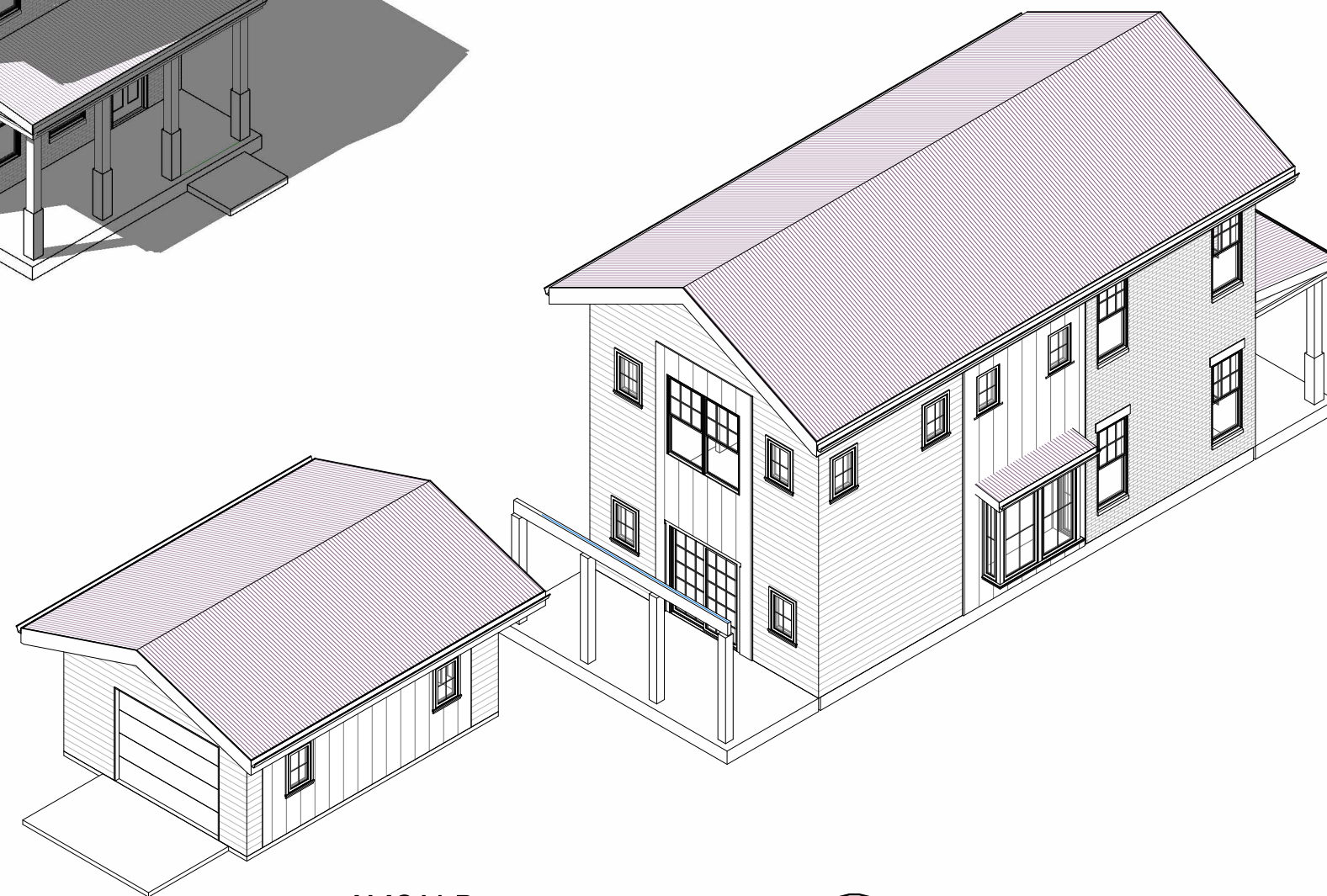
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AXON B
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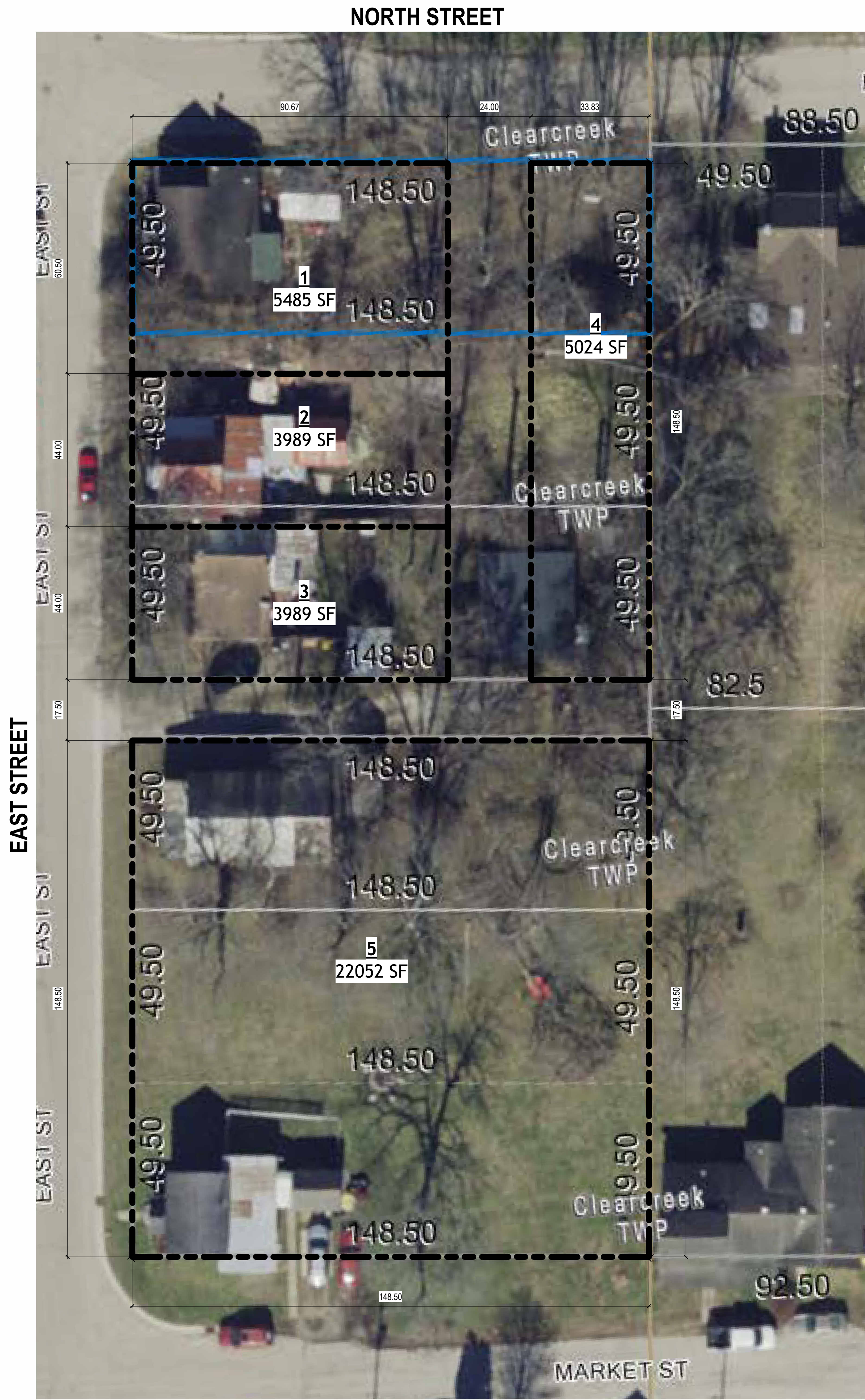
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KEYNOTES

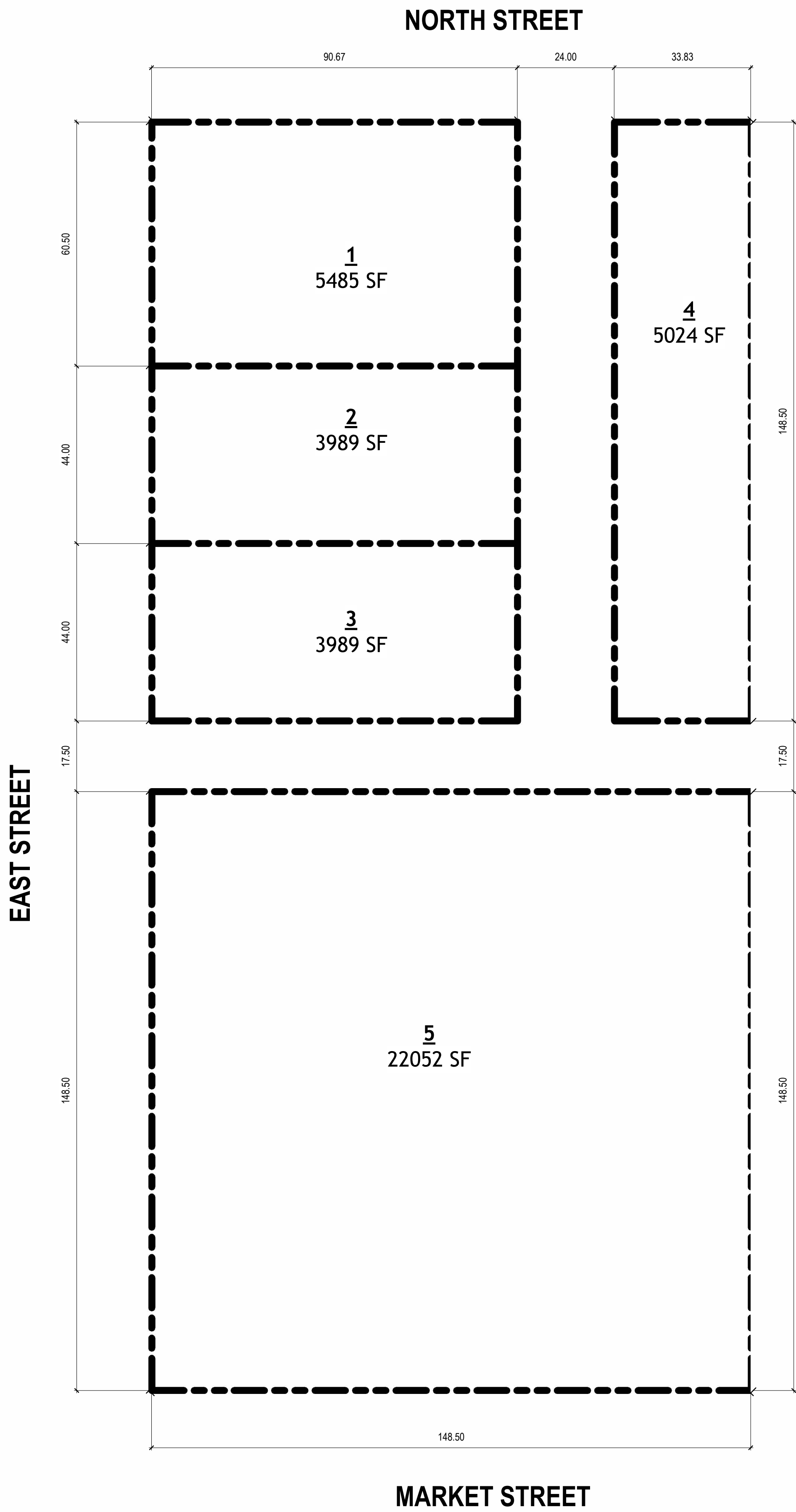
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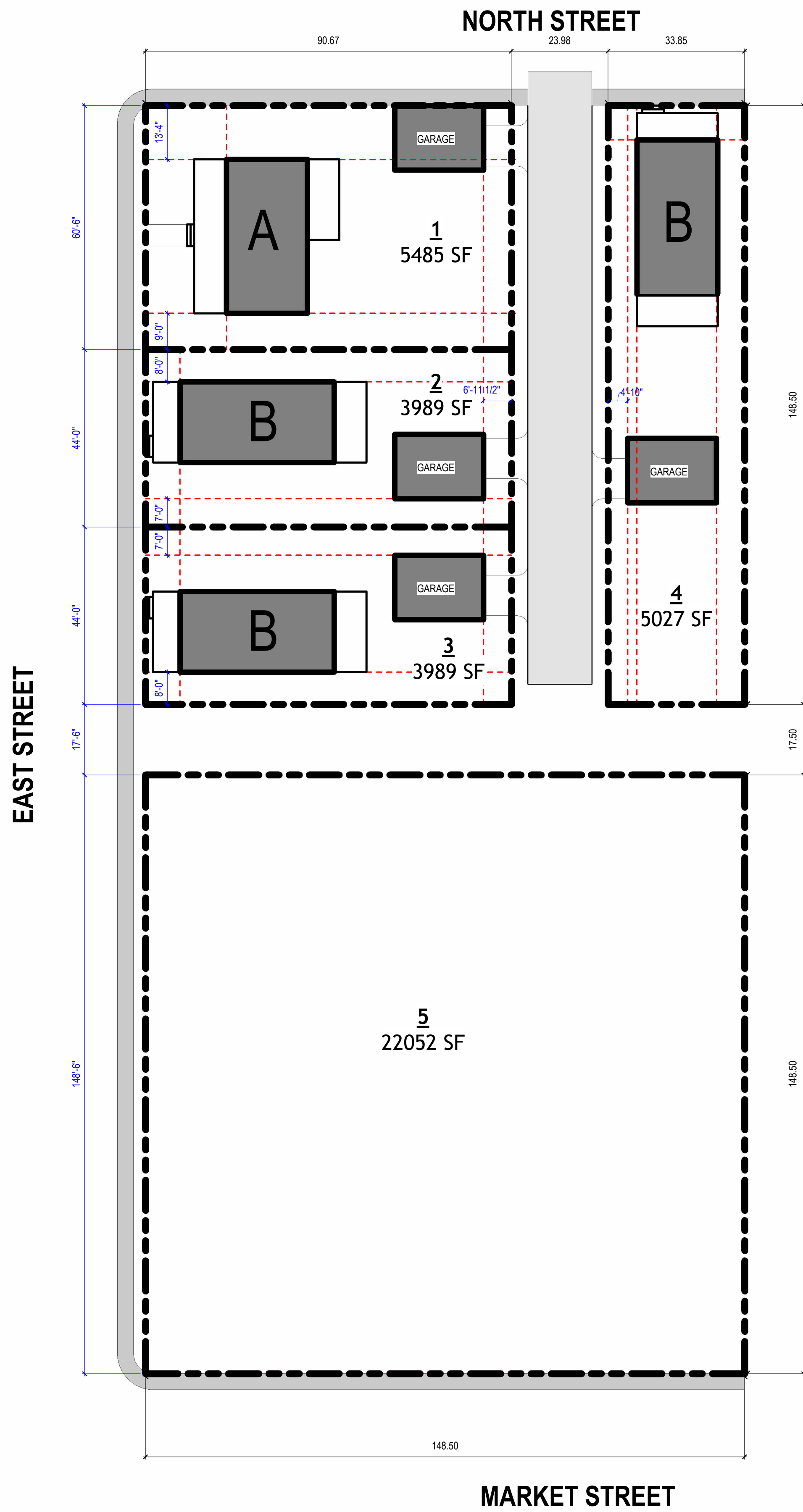
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SITE PLAN
SCALE: 1" = 20'-0"

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AS001



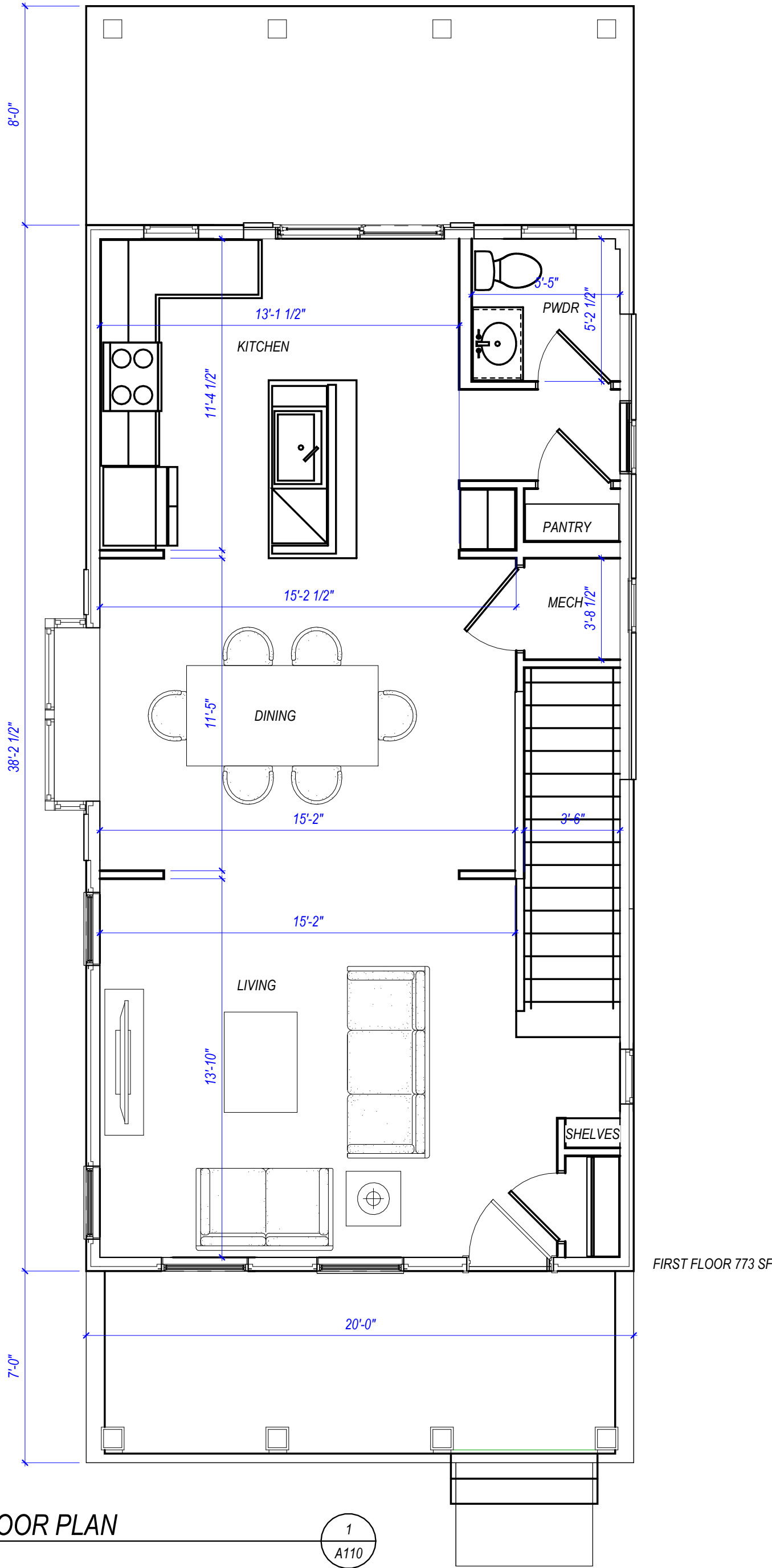
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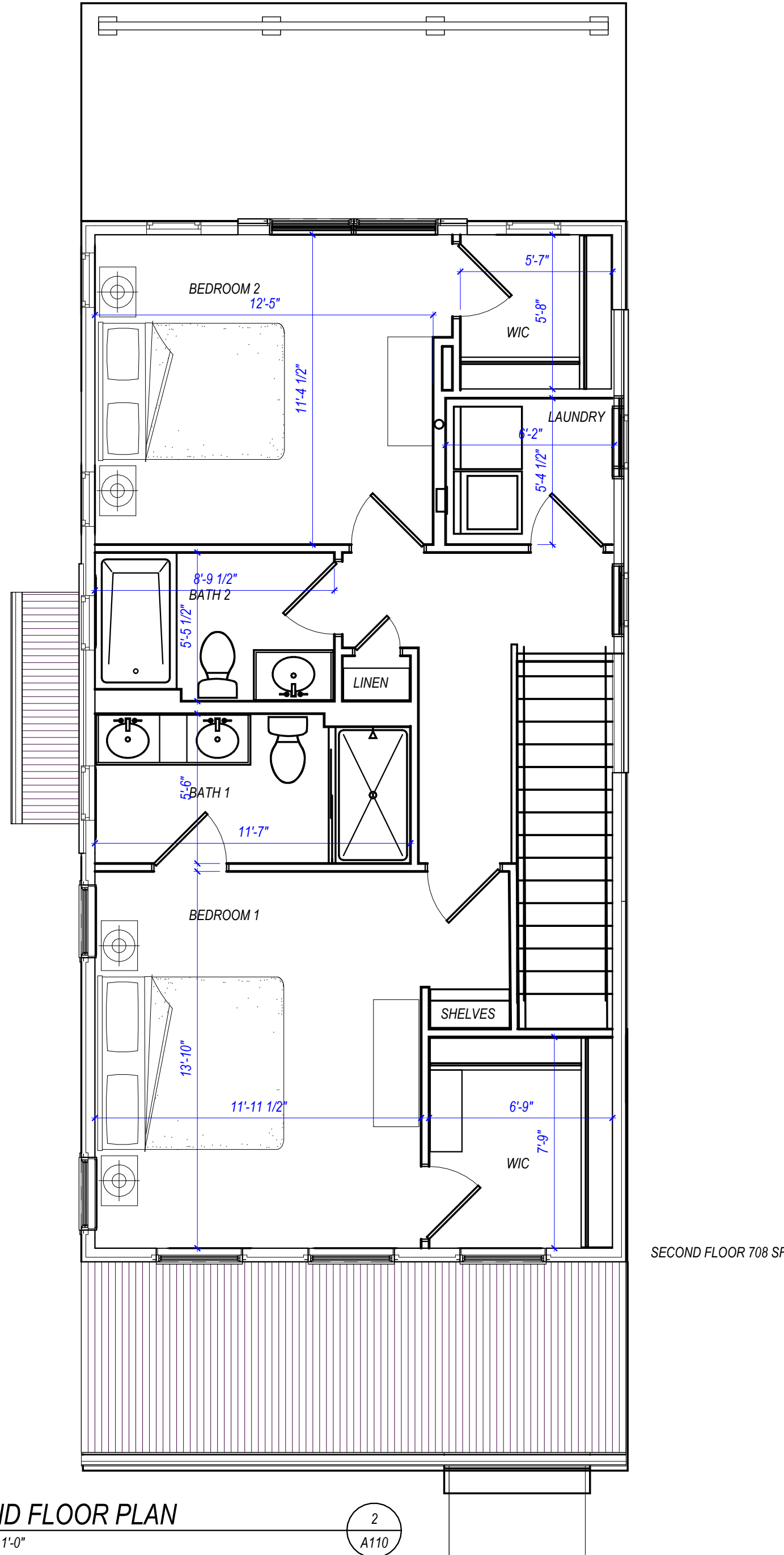
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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KEYNOTES

DRAWING NOTES

1 in a keyed note

NOT FOR
CONSTRUCTION

ISSUED DATE

SHEET TITLE

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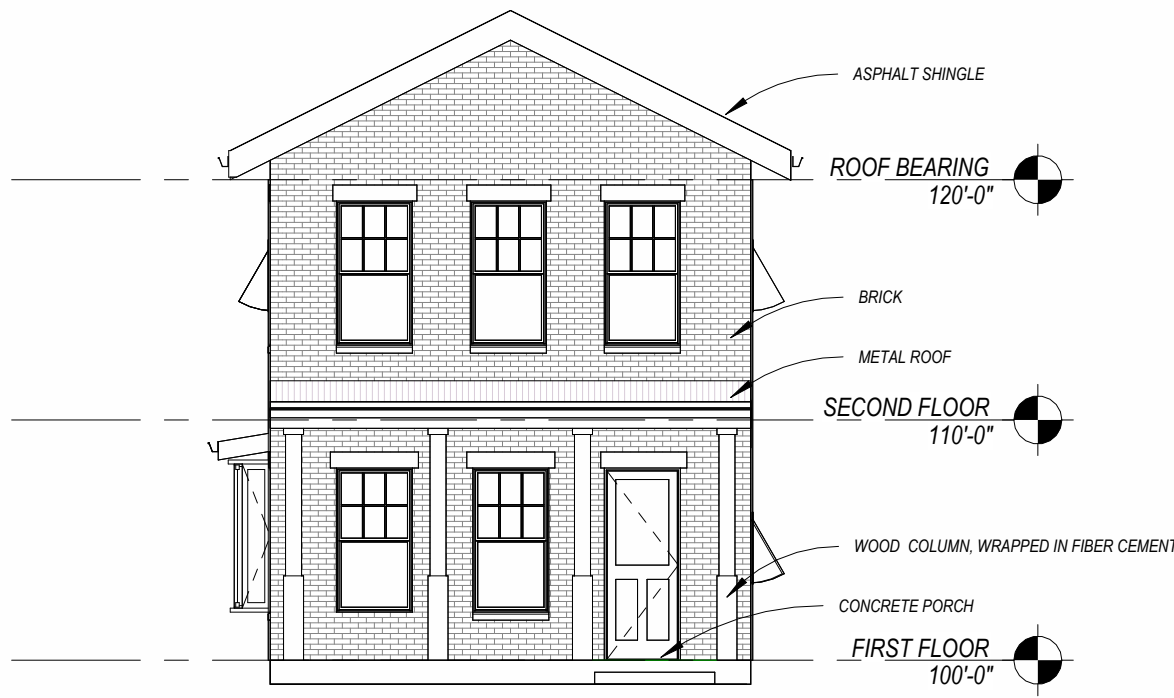
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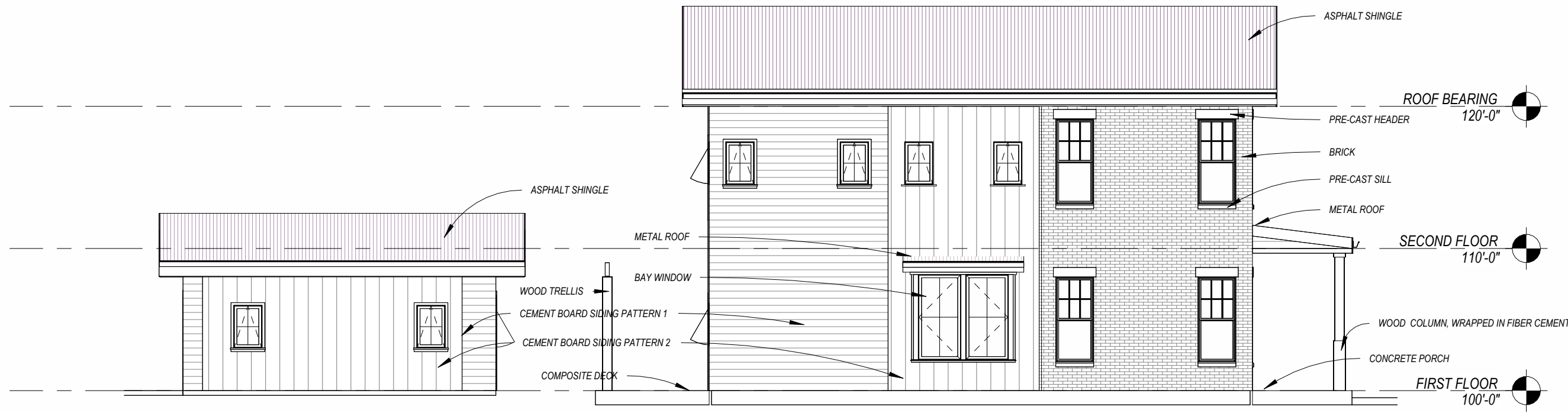
SPRINGBORO HOUSING STUDY
EAST, NORTH & MARKET STREETS, SPRINGBORO, OHIO 45066
CITY OF SPRINGBORO
XXXX

elevator
DESIGN GROUP
555 CARE ST., CINCINNATI, OH 45203 | P (513) 721-0600 F (513) 721-0601



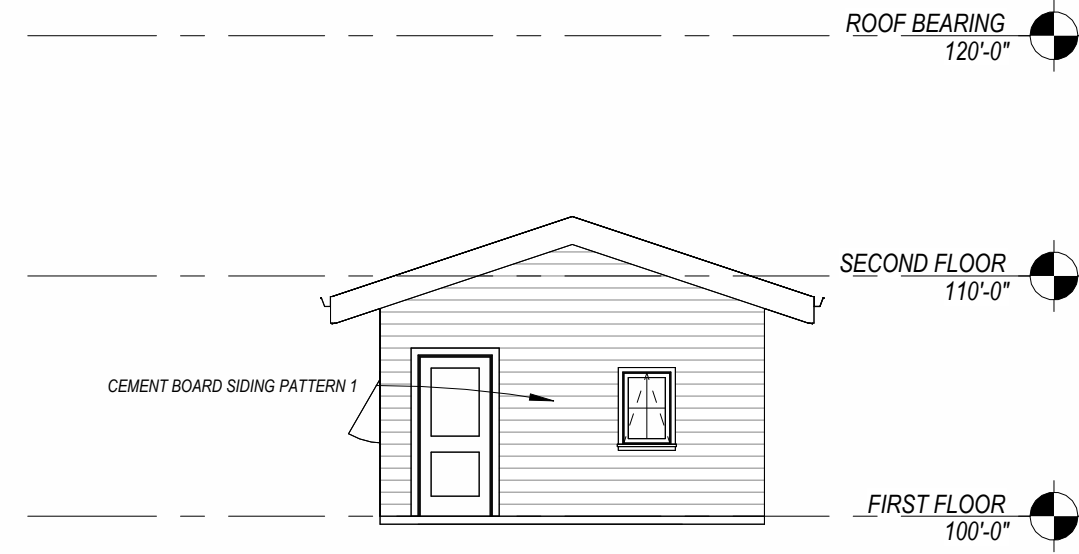
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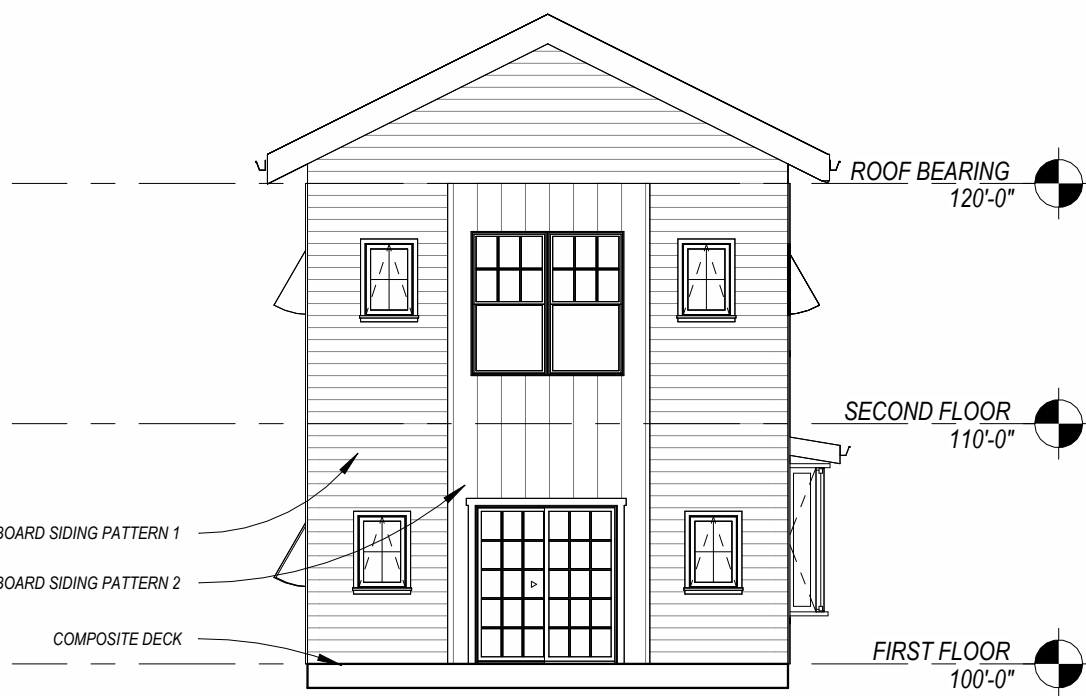
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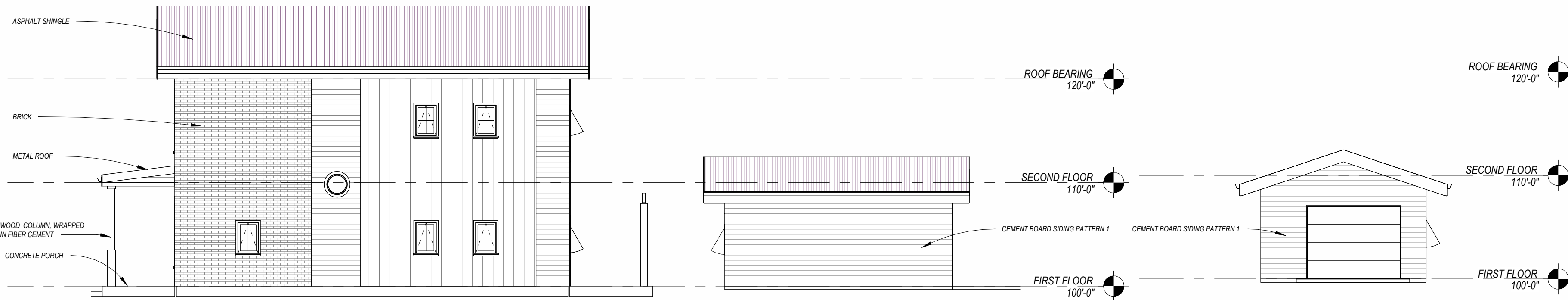
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SCALE: 1/8" = 1'-0"

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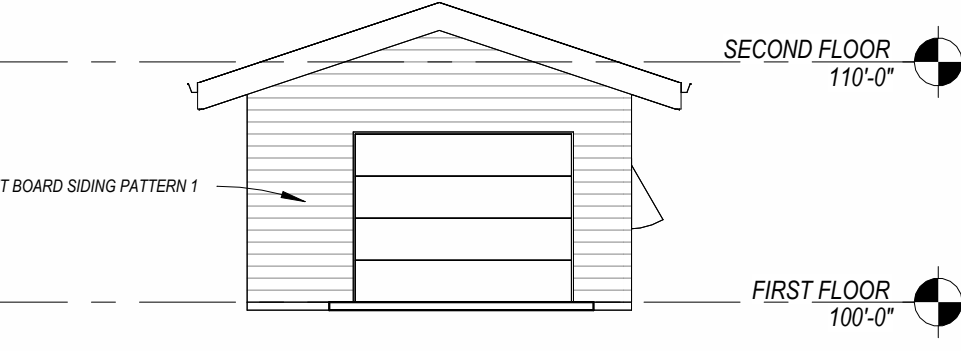
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PLAN EAST ELEVATION
SCALE: 1/8" = 1'-0"

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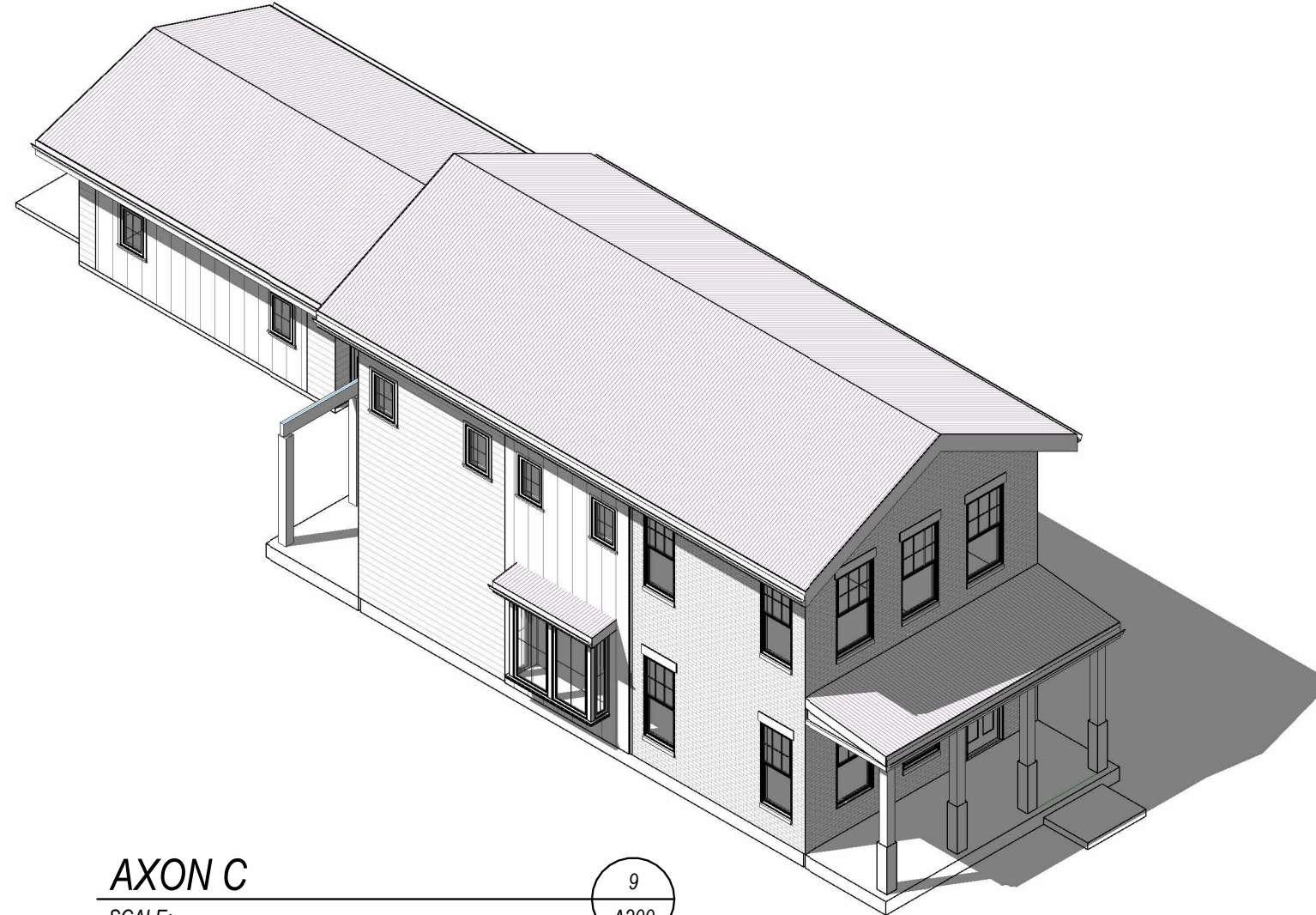
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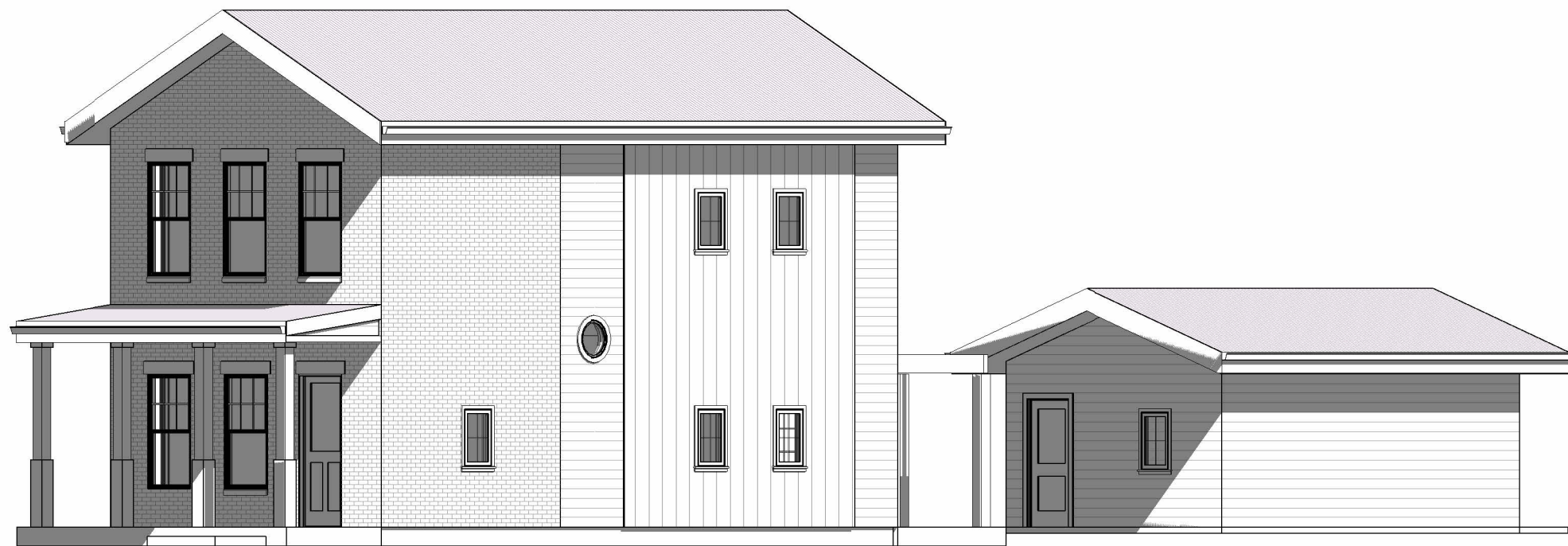
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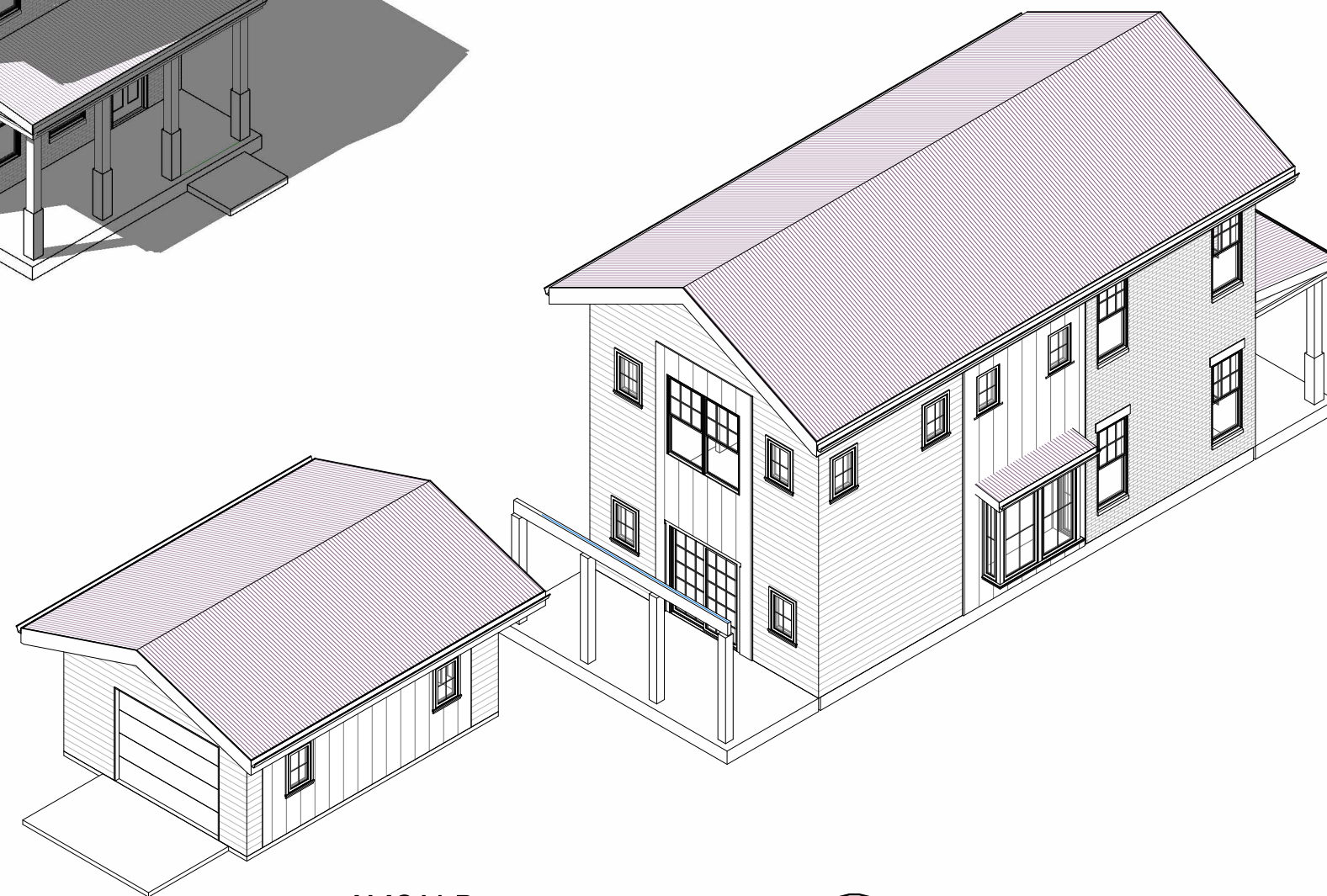
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KEYNOTES

LEGEND



September 10, 2025 PC Minutes for review

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, September 10, 2025

I. Call to Order

Chris Pearson, Vice Chair, called the Wednesday, September 10, 2025, Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Chris Pearson, Rob Dimmitt, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, and Elmer Dudas, Development Director.

Mr. Sillies motioned to excuse Becky Iverson and Steve Harding; Mr. Dimmitt seconded the motion.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

II. Approval of Minutes

August 20, 2025 Planning Commission Minutes

Mr. Pearson asked for corrections or additions to the minutes. There were none.

Mr. Marshall motioned to approve the August 20, 2025 Planning Commission minutes. Mr. Dimmitt seconded the motion.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

III. Agenda Items

A. Final Approval

Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear yard setback

Background Information & Staff Recommendation

This agenda item is an application, filed by Nathan Carmack, contactor, on behalf of Hannah and Daren Yingling, property owners, requesting a variance from the minimum rear setback to allow the construction of a covered patio on the residence located at 295 Montgomery Lane in the Beck Ridge subdivision. The rear yard setback for this property is 25 feet; the applicants would like to construct an attached covering to an existing patio to within 16 feet of the rear property line.

Beck Ridge is zoned PUD-R, Planned Unit Development-Residential. The Planning and Zoning Code provides relief from the strict interpretation of the code in PUDs such as Beck Ridge from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zoned properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

This item was reviewed on a preliminary basis at the August 20 Planning Commission meeting. The documentation requested by City staff—Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property—has been submitted.

City staff recommends approval of the variance request as submitted.

Discussion:

Mr. Nathan Carmack, contractor, and Mr. Daren Yingling, property owner, were present to answer questions from Planning Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of the agenda item.

Mr. Boron said this item was on the August 20 agenda for preliminary review of a variance request in a Planned Unit Development-Residential, PUD-R. The applicant has requested this variance to be allowed to have a patio cover installed over an existing patio. Letters from two adjoining property owners and the HOA stating they have no objections to the request have been received and entered into the record. Staff recommends approval of this request.

Mr. Pearson asked if there were any questions from Planning Commission members. There were none.

Mr. Pearson called for a motion to approve the Final Approval, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear setback.

Mr. Thompson made a motion to approve the Final Approval, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear setback. Mr. Sillies seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

**B. Final Approval
Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73)**

Background Information

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 A, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, includes 19 buildable lots on a total of 13.18 acres. The subdivision plan including this section was approved by Planning Commission in March. The original record plan for Eastbrook Farm has been broken into two phases due to the slow progress of construction. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions:

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon.
4. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

C. Final Approval

Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road West Central Avenue (SR 73)

Background Information

This agenda item is a request for record plan approval for Eastbrook Farm Section 1, Phase 1 B, located south of Whispering Pines. The record plan, zoned R-2, Low-Density Residential District, contains 26 buildable lots on a total of 7.67 acres. The subdivision plan including this section was approved by Planning Commission in March. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Provide off-site easement recorded documents prior to city council approval. The HOA will be responsible for maintaining the offsite easement areas, except for the public sanitary sewer. Add Warren County recording information on all blank document number locations.
2. Fill in HOA recording information on notes 5 and 6.
3. Label Buffer Easement as Landscape Buffer Easement and continue the 10-foot easement around the perimeter of the entire development.
4. Add general note: Subdivision shall comply with landscape requirements per City zoning code including 10-foot landscape buffer easement as shown hereon. Landscape buffer easement to be maintained by the Homeowner's Association.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. John Del Verne, Site Civil Engineer, Bayer-Becker, was present to answer questions from Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of this agenda item.

Mr. Boron deferred to Mr. Dudas, City Development Director, for comments regarding these two agenda items.

Mr. Dudas stated that these items was reviewed by Planning Commission at a previous meeting and was approved as a one-phase development, but due to construction issues, the applicant would like to split it into two phases, A and B. There are 19 lots in the first phase, Phase A, and the second phase, Phase B, will have 26 buildable lots. Engineering comments have been forwarded to the Engineer. After Planning Commission approval, this item will go before City Council for final approval.

Mr. Pearson said that both agenda items B and C will be discussed together, but there will be two separate votes for the two items. He asked Mr. Del Verne if he had any questions regarding the staff comments. He did not.

Mr. Sillies asked if anything had changed from what was previously approved other than splitting it into two phases.

Mr. Dudas confirmed that nothing else had changed.

There was a brief discussion about the expected construction timeline. Phase A construction will start this fall and Phase B will start in the spring of 2026 with a completion date of the entire project by the end of the summer.

There being no further questions or comments, Mr. Pearson called for a motion to approve the Final Approval, Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73).

Mr. Thompson made a motion to approve the Final Approval, Record Plan, Section 1, Phase A, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73). Mr. Sillies seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson called for a motion to approve the Final Approval, Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73).

Mr. Sillies made a motion to approve the Final Approval, Record Plan, Section 1, Phase B, Eastbrook Farms, northeast corner of Clearcreek-Franklin Road and West Central Avenue (SR 73). Mr. Marshall seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson said both agenda items were approved unanimously.

D. Final Approval

Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component

Background Information

This agenda item is a request for record plan approval for Easton Farm, Section Two. The plan is a replatting of the apartment component, adjusting for the additional property obtained at the southwest corner of that component of the Easton Farm PUD-MU, Planned Unit Development-Mixed Use. The record plan is also adding additional right of way along Noel Drive to match the frontage of the apartment site. This record plan corresponds to the final development plan approved at the August 20 Planning Commission meeting. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

Staff recommends approval of the record plan subject to the following conditions.

1. Revise the line weights of the plan to show the proposed new lot line/ROW in bold and the existing lot lines/ROW less bold.
2. Vacate existing right of way per record plan. Fill in blanks with Warren County recording information (document numbers).
3. Construction drawings to match record plan.
4. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. John Del Verne, Site Civil Engineer, Bayer-Becker, was present to answer questions from Commission members and staff.

Mr. Boron said that the staff recommendations for this agenda item were inadvertently left out of the meeting materials that were distributed on September 3 but had been submitted to all Commission members and the applicant. The applicant has agreed to all recommendations. The comments listed above in the minutes reflect the accurate comments. All comments are minor.

Mr. Pearson asked if there was any discussion about this matter. There were no questions or comments.

Mr. Pearson called for a motion to approve the Final Approval, Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component.

Mr. Thompson made a motion to approve the Final Approval, Record Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component. Mr. Marshall seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson said both agenda items were approved unanimously.

E. Preliminary Review

Site Plan Review, 216 Tahlequah Trail, building addition, new parking lot for Thaler Machine

Background Information

This agenda item is as request for site plan review approval for improvements to the Thaler Machine operation located at 216 Tahlequah Trail. Thaler Machine intends to construct a 31,500-square foot addition on the east side of the existing building. That site is the present location of Thaler's principal parking lot. At this time Ferguson Construction, on behalf of Thaler, is seeking approval to install a new 78-space parking lot on the northeast corner of site with access from Hiawatha Trail, install a new stormwater retention area on the Hiawatha Trail frontage, and prepare the existing parking lot site for the addition. Plans for the building addition are presently incomplete; Planning Commission's review of the building details would need to be presented at a future meeting.

This item is scheduled for preliminary review by the Planning Commission at the September 10 meeting. However, if Planning Commission finds the parking lot/stormwater retention plan acceptable, it may make a formal recommendation of approval by amending the agenda, with the building addition being excluded from the approval.

Staff Comments

City staff has the following comments regarding this agenda item:

1. Details on the proposed building addition—elevations and a floor plan—to be submitted to City staff for review of that portion of the site plan review process. Parking lot approval contingent on completion of proposed addition and review by Planning Commission at a future meeting.
2. Provide information on the proposed lighting of the parking lot including photometrics, fixtures, and other information to determine compliance with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code.
3. Provide a landscape buffer along the north side of the proposed parking lot and along Hiawatha Trail consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code.
4. Provide proposed building population (at build-out) that is being used to determine parking lot requirements for the site.
5. Provide information on how pedestrian access will be provided between the parking lot and existing/proposed building.
6. Detention design under review.
7. Locate existing 8-inch water main and verify min depth of 4.5 feet for improvements. Otherwise, lower watermain accordingly.
8. Add note at curb cut stating that existing curb and gutter to be removed and replaced with depressed ODOT Type 2 curb and gutter.
9. Provide Storm Water Pollution Prevention Plan (SWPPP) per EPA requirements.
10. Identify benchmark.

Discussion:

Mr. Brent Given and Mr. Shawn Meyer, Ferguson Construction, were present for the applicant, Thaler Machine.

Mr. Pearson asked Mr. Boron for a summary of this project.

Mr. Boron said this is a two-stage project: one portion will be for the addition of a new parking lot to accommodate employee parking for the second phase of the project, a new building addition to Thaler's existing

facility on the site of the existing parking lot. Tonight's discussion will be focused on the new parking lot. The new building addition plans will be submitted to the Planning Commission at a future meeting.

There was a general discussion about the need for the new parking lot to be constructed before the addition is built. There will be enough parking available to allow all employees to be able to park in the parking lot, off the street. Staff has reviewed the plans as if everything is on the table except the building. The applicant has requested that the parking lot receive final approval at this evening's meeting so they can start moving forward before the asphalt plants close.

After another discussion, Mr. Pearson called for a motion to amend the agenda to allow for final approval of the parking lot only.

Mr. Thompson motioned to amend the agenda to allow for final approval of the parking lot at 216 Tahlequah Trail. Mr. Sillies seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson called for a motion to approve the Final Approval, Site Plan Review, 216 Tahlequah Trail, new parking lot for Thaler Machine.

Mr. Dimmitt motioned to approve the Final Approval, Site Plan Review, 216 Tahlequah Trail, new parking lot for Thaler Machine. Mr. Thompson seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson said the new parking lot was approved unanimously.

VII. Guest Comments

Mr. Pearson called for guest comments. There were none.

VIII. Planning Commission and Staff Comments

Mr. Pearson asked Mr. Boron if he had any additional comments.

Mr. Boron said he wanted to update Planning Commission members about what transpired at the September 4, 2025 City Council meeting. The text change for allowing outdoor dining in the O-R District was approved by Council and will become effective October 3. He expects that China Cottage will present a preliminary site plan as early as October.

The rezoning and general plan for Phase 3 of Northampton was also approved by City Council on September 4 as well. City Council made several revisions to the approved plan recommended by Planning Commission with respect to the landscaping on the frontage. Guardrails along appropriately sized ponds will also be required.

IX. Adjournment

Mr. Pearson called for a motion to adjourn.

Mr. Marshall motioned to adjourn the September 10, 2025 Planning Commission Meeting at 6:30 pm.

Mr. Thompson seconded the motion.

Vote: Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (5 yes – 0 no)

Mr. Pearson said the motion was approved unanimously and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary