

Agenda
City of Springboro Planning Commission Meeting
Wednesday, January 21, 2026, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order

- II. Approval of Minutes
 - A. December 17, 2025 Planning Commission Meeting

- III. Appointment of Officers for 2026—Chair, Vice Chair

- IV. Agenda Items
 - A. Final Approval, Minor Change to Approved General Plan, Clearview Crossing PUD-R, Planned Unit Development-Residential, southeast corner East Central Avenue (SR 73) and Red Lion-Five Points Road, addition of home plans and exterior elevations to approved list

 - B. Preliminary Review, Final Development Plan, Northampton Phase 3 PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), residential subdivision

- V. Guest Comments

- VI. Planning Commission and Staff Comments

- VII. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, January 21, 2026, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

IV. Agenda Items

- A. Final Approval, Minor Change to Approved General Plan, Clearview Crossing PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, addition of home plans and exterior elevations to approved list**

Background Information

This agenda item is a request submitted by Cristo Homes seeking approval for a minor revision to the approved general plan for the Clearview Crossing PUD-R, Planned Unit Development-Residential, located at the southwest corner of East Central Avenue (SR 73) and Red Lion-Five Points Road. Clearview Crossing was approved for rezoning and general plan review as a PUD by Planning Commission in January 2023, and by City Council in April 2023. The final development plan was approved by the Planning Commission in July 2023, and record plan review and approval from Planning Commission and City Council took place in 2024. The developer of the subdivision has been Maronda Homes of Cincinnati; Maronda Homes has also been the sole home builder to this point, and their home designs were included in the approved general plan. Maronda Homes has sold a number of remaining unbuilt lots to Cristo Homes; in turn Cristo Homes has submitted a request to allow 16 new home designs with variations for use in the subdivision. These designs are like the ones originally approved for the subdivision in 2024; the plans will need to meet other conditions of the 2024 approval including excluding the use of vinyl siding.

Chapter 1266, PUDs, of the Planning and Zoning Code classifies the proposed change as a minor revision to the approved general plan. Minor revisions such as the one proposed are approved by Planning Commission; no City Council action is necessary. Two similar revisions to the Northampton PUD-R were approved by the Planning Commission in 2025.

Staff Recommendation

Staff recommends approval of the revision to the approved general plan for Clearview Crossing PUD-R, Planned Unit Development-Residential, subject to the following comments:

1. Vinyl may not be used as a primary exterior building material in the subdivision.
2. Setbacks are measured from the overhang.
3. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
4. Will the proposed house plans fit on homesite with the existing setbacks and other development standards for the subdivision?

- B. Preliminary Review**

Final Development Plan, Northampton Phase 3 PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), residential subdivision

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, owner and developer, requesting preliminary review of the final development plan for the Northampton 3 PUD-R, Planned Unit Development-Residential, located at 1525 South Main Street (SR 741). The Northampton 3 subdivision was rezoned to PUD-R by City Council in September 2025 following review and approval by Planning Commission earlier in the year. The subdivision includes 34 single-family lots and open space. The subdivision ties in the developing Northampton 1-2 subdivision to the south by way of the primary entrance drive, Highlands Street, and a secondary access point to Perthside Drive.

The final development plan is like the general plan reviewed by Planning Commission in 2025, however the following changes to the general plan were requested by City Council:

- That additional screening along South Main Street be added.
- That ODOT-approved safety rails be added along the walk-bike path adjacent to the retention pond.
- That any ponds be consistent in design with similar subdivisions within the City, and not like those installed in Northampton 1-2.
- That all conditions of approval of the general plan/rezoning be incorporated.

Exhibit 1, enclosed in the meeting materials, includes all conditions referenced above.

Staff Comments

City staff has the following comments on the proposed general plan:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
2. Regarding the landscaping plan, revise as follows:
 - a. Landscaping along South Main Street frontage meets September 4 Council approval for evergreen and shade trees (11 provided, 9 required), and ornamentals (4 provided, 3 required).
 - b. West buffer landscaping exceeds requirement (14 provided, 12 required).
 - c. For north buffer requirement, 44 trees are required (1,740 linear feet/1 tree per 40 linear feet), but 80 are provided between the 68 equivalent tree calculation provided on sheet 8 of 11 for meeting, and the 12 trees shown between lot #25 and South Main Street (12 trees). Credit for the 36-tree overage to the site landscaping requirement. See also (f) below.
 - d. Provide landscaping on south property line at rate of 1 tree/40 feet (1,880 linear feet or 47 trees (1 tree/40 linear feet)).
 - e. Provide 93 shade (1 shade tree/40 feet of 3,700 feet of frontage) and 37 ornamental (1 ornamental tree/100 feet of 3,700 feet of frontage) trees on internal street network. Staff identified 74 trees on the internal network. Trees may be clustered to provide impact at key areas of the subdivision.
 - f. A total of 205 site trees required per code Section 1280.04(f). Less the 36 trees recommended in (b) above, and the 44 trees included in the buffer on lots 25-34, 125 trees to be installed elsewhere on the site.
 - g. Indicate mechanism for maintenance of landscape buffer shown on lots 25-34.
3. All multiuse trails to be built to current AASHTO standard. Proposal for internal paths under review by non-motorized transportation consultant.

4. Detention pond grading to remain outside of proposed right of way line along the internal roadway and along SR 741. Add retaining walls if necessary.
5. Retaining walls to be maintained by the HOA. Add appropriate easements.
6. Verify street names.
7. Verify lot square footage on lots 25 through 34. Revise accordingly.
8. Cluster Mailbox Units to be reviewed and approved by the postmaster.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, January 15, 2026 at 12:00 p.m.



**Cristo Homes
Minor Change to PUD-R,
New Elevations /
Floor Plans at Clearview
Crossing,
W Central Ave
(SR 73) & Red Lion-Five
Pts Rd**



City of Springboro
Planning Commission and Planning Staff
320 West Central Avenue
Springboro, OH 45066

Re: Narrative Letter – Minor Change to PUD-R
Clearview Crossing Residential Subdivision

To Whom It May Concern:

Cristo Homes, Inc. is a locally based residential home builder operating throughout Southwest Ohio. We are submitting this application in connection with our intent to purchase select residential lots from Maronda Homes within the Clearview Crossing subdivision and to seek approval of the attached home elevations and floor plans.

The proposed plans represent the full set of structural elevations that Cristo Homes offers to its customers within this community. These elevations establish the architectural massing, rooflines, window placement, and overall structural appearance of the homes and are the only structural elevation options permitted.

While the structural elevations are fixed, customers are provided limited flexibility to add or remove areas of brick and stone veneer for architectural enhancement, subject to the constraints of the approved elevations and applicable City requirements. These variations do not alter the underlying structural elevation or overall architectural intent.

Additionally, where lot conditions allow, customers may have the option to add garage expansions, including garage bump-outs or third-car garages. Any such options will be designed to remain consistent with the approved elevations, subdivision standards, and applicable zoning and PUD requirements.

The proposed homes are single-family residences intended to be consistent with the character, scale, and quality of the existing Clearview Crossing development. All homes will comply with the established Planned Unit Development (PUD) standards and all applicable zoning and building regulations of the City of Springboro.

Key architectural and construction features of the proposed homes include the following:

- Hardie or other cementitious siding on all homes
- Twelve-inch (12”) front roof overhangs
- Two-inch (2”) rear roof overhangs



- Post-mounted exterior lamp at each residence
- Distinct and varied elevations designed to provide visual interest and architectural differentiation

Attached for review are the completed application, along with the proposed elevations and floor plans to be considered by Planning Commission and staff as part of this minor change request to the General Plan.

Cristo Homes is committed to delivering high-quality residential construction that aligns with the City's standards and the established design intent of Clearview Crossing. We appreciate your time and consideration and look forward to working with the City throughout the review process.

Please feel free to contact me with any questions or if additional information is required.

Sincerely,

Bryan Berning
Vice President
Cristo Homes, Inc.
P: 513-427-0879
E: bberning@cristohomes.com
www.CristoHomes.com
7594 Tyler's Place Blvd.
West Chester, OH 45069

January 15, 2026

City of Springboro
Planning Department
Springboro, Ohio

Re: Letter of Intent – Clearview Crossing Development

This letter is intended to confirm that Red Lion Development, LLC, Maronda Homes of Cincinnati, LLC, and Cristo Homes, LLC have agreed upon terms regarding future home construction within the Clearview Crossing development located in the City of Springboro, Ohio.

Cristo Homes, LLC intends to purchase a portion of the remaining residential lots within the development from Red Lion Development, LLC and plans to construct homes on those lots.

Maronda Homes of Cincinnati, LLC currently owns several lots within the development and intends to retain ownership of those lots for future new home construction.

All parties acknowledge and agree to this arrangement and are supportive of Cristo Homes' participation as a builder within the Clearview Crossing development.

This letter is provided for planning and informational purposes.

Sincerely,

Red Lion Development, LLC

By: _____

Name:

Title:

Maronda Homes of Cincinnati, LLC

By: _____

Name:

Title:

Cristo Homes, LLC

By: _____

Name:

Title:

APPLICATION—PLANNED UNIT DEVELOPMENTS

CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN
 FINAL DEVELOPMENT PLAN
 RECORD PLAN
 VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** Cristo Homes
 Agent
 Lessee Address: 7594 Tylers Place Blvd
 Signed Purchase Contract West Chester Township, OH 45069
 Telephone No. (513) 291-0955
 Fax No. ()
 Email Address bberning@crisohomes.com

PROPERTY OWNER NAME (IF OTHER): Maronda Homes
 Address: 4710T Interstate Drive
Cincinnati, OH 45246
 Telephone No. (513) 224-5577

Property Address or General Location: Clearview Crossing (Magnolia Lane and Chestnut Street)

Parcel Number(s): 0401305002 Acreage: _____

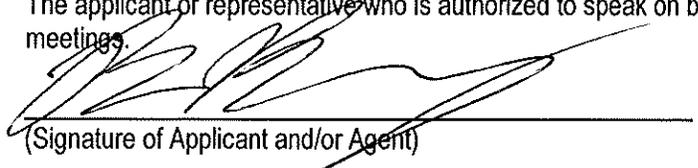
PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 20 Number of Residential Units 20

Proposed Use: Revise PUD with new elevations and floor plans from new builder

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



12/18/25
(Date)

Bryan Berning
Printed Name

Approx. SQ. FT: 1,500
3 Bedrooms, 2 Baths



C6



B5



D6

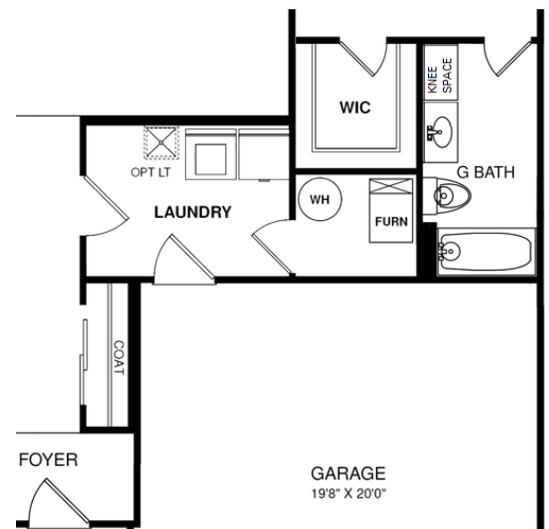
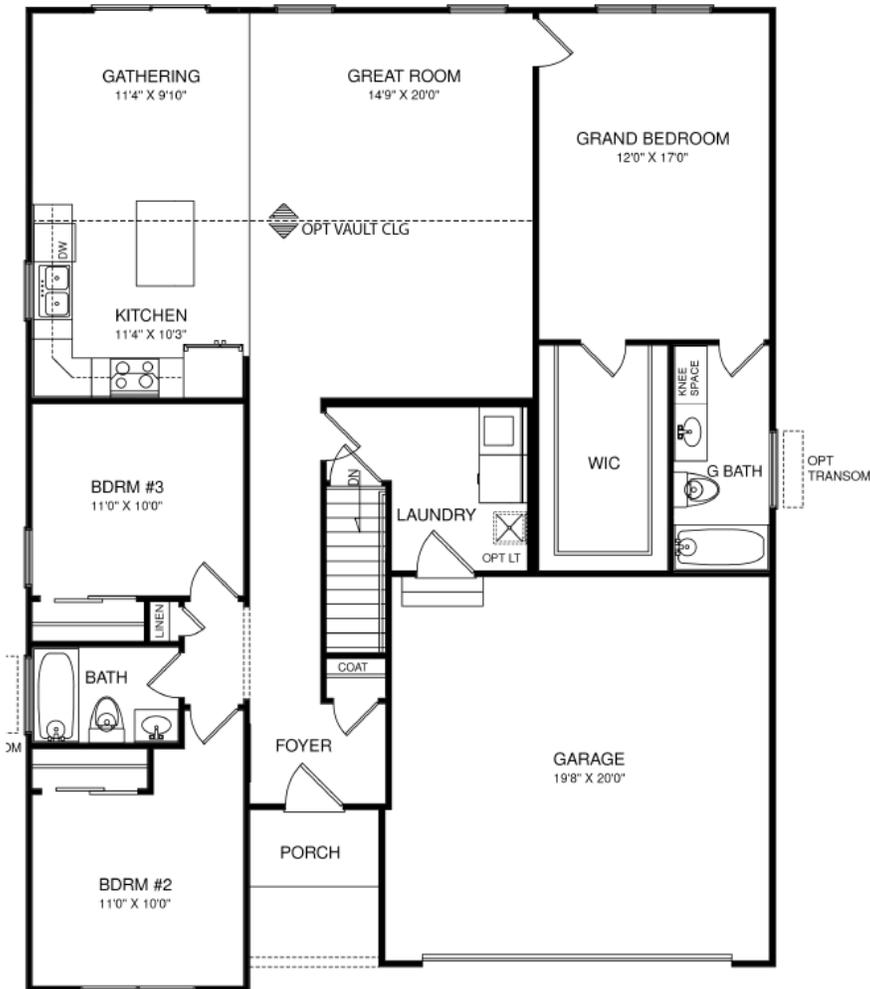


A4



E2

FIRST FLOOR



Opt. Slab Foundation



B4



A5



C6

FIRST FLOOR





B4

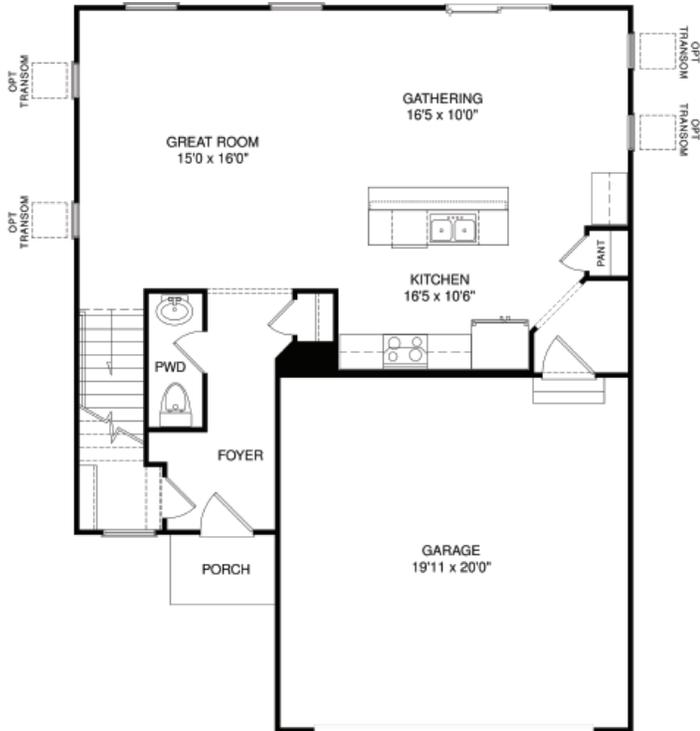


A5

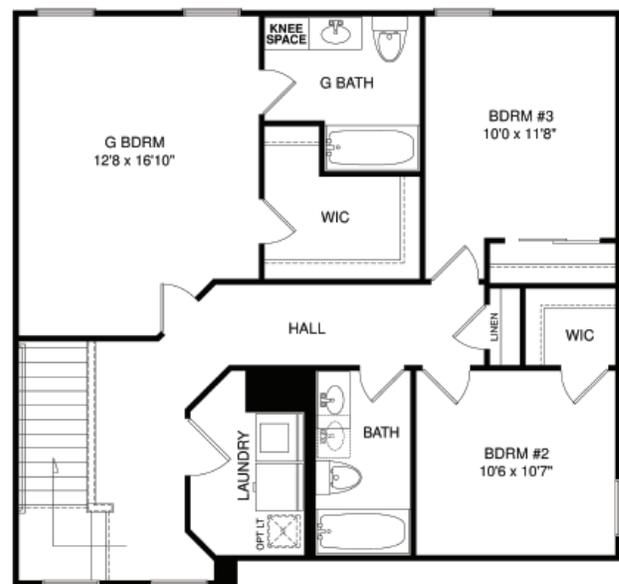


C6

FIRST FLOOR



SECOND FLOOR



Approx. SQ. FT: 1,873
4 Bedrooms, 2.5 Baths



D6



A6

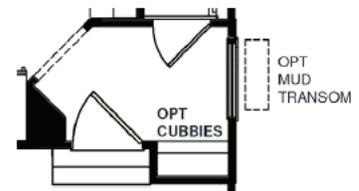
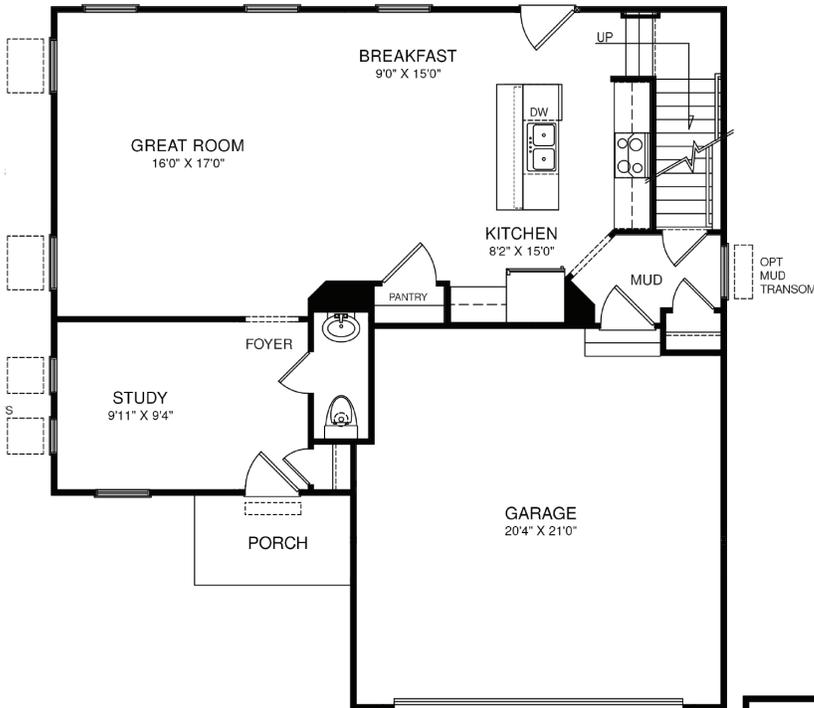


B2



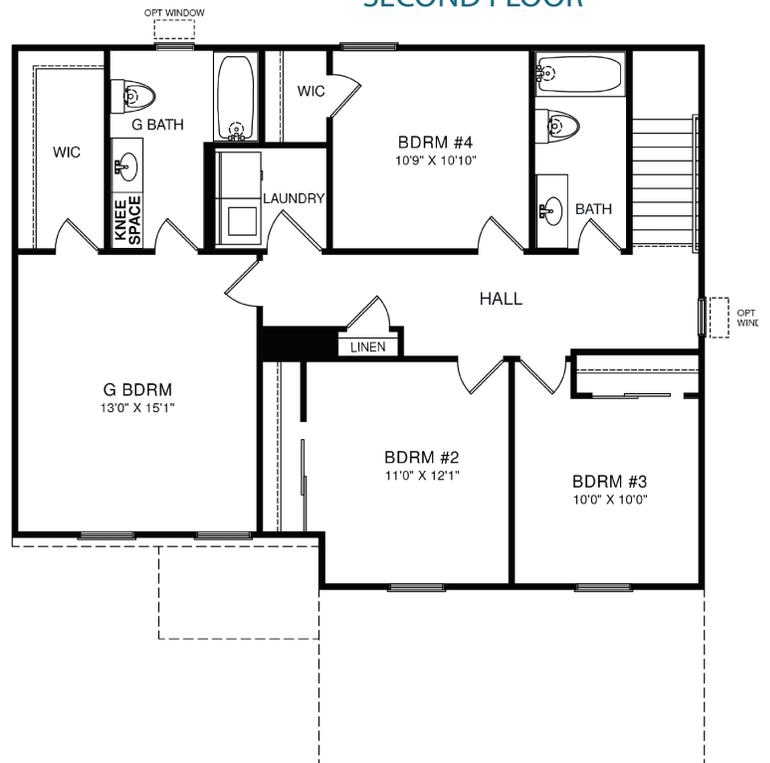
C3

FIRST FLOOR



Opt. Cubbies

SECOND FLOOR



Approx. SQ. FT: 2,156
4 Bedrooms, 2.5 Baths



E4



B2



A2

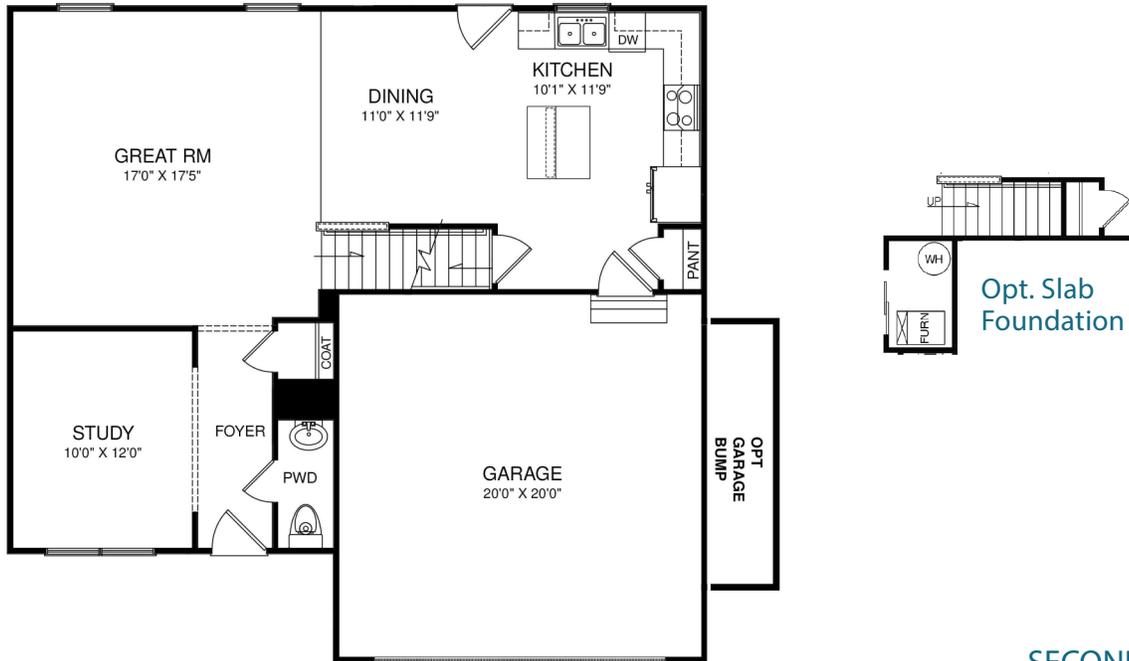


C4

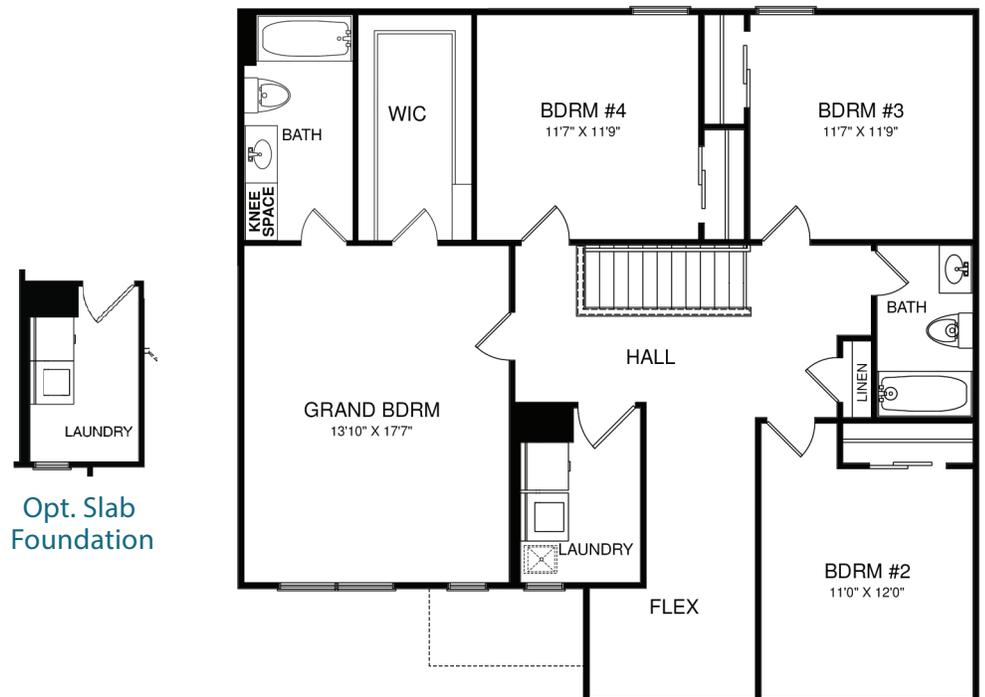


D5

FIRST FLOOR



SECOND FLOOR



Approx. SQ. FT: 2,254
4 Bedrooms, 2.5 Baths



B4

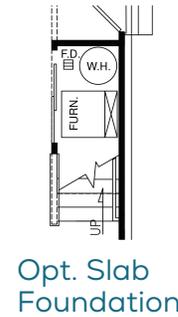
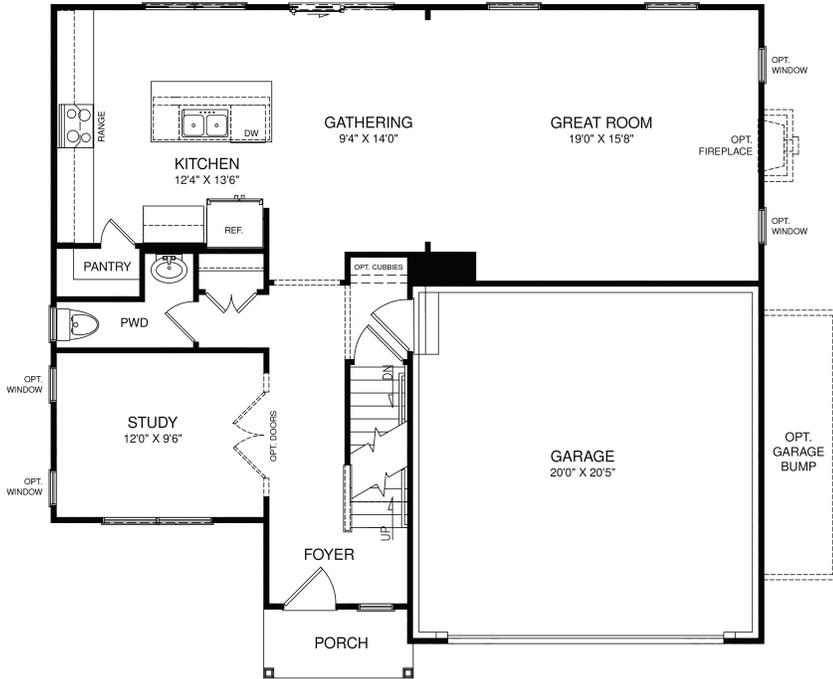


A5

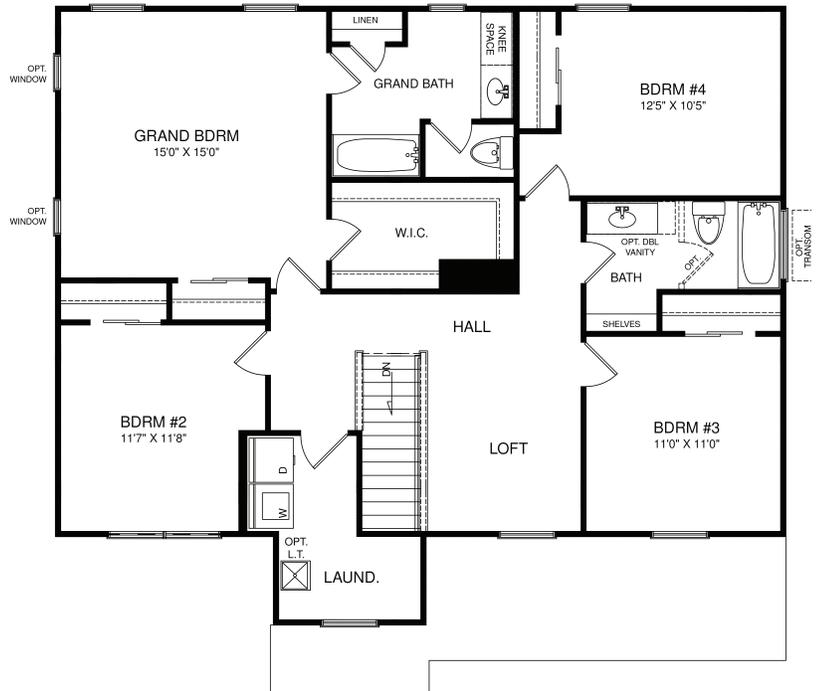


C6

FIRST FLOOR



SECOND FLOOR



Approx. SQ. FT: 1,643
3 Bedrooms, 2 Baths



B3



D2

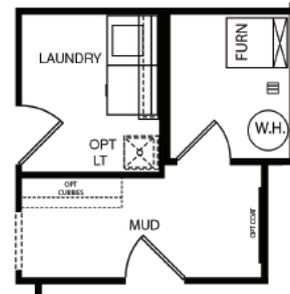
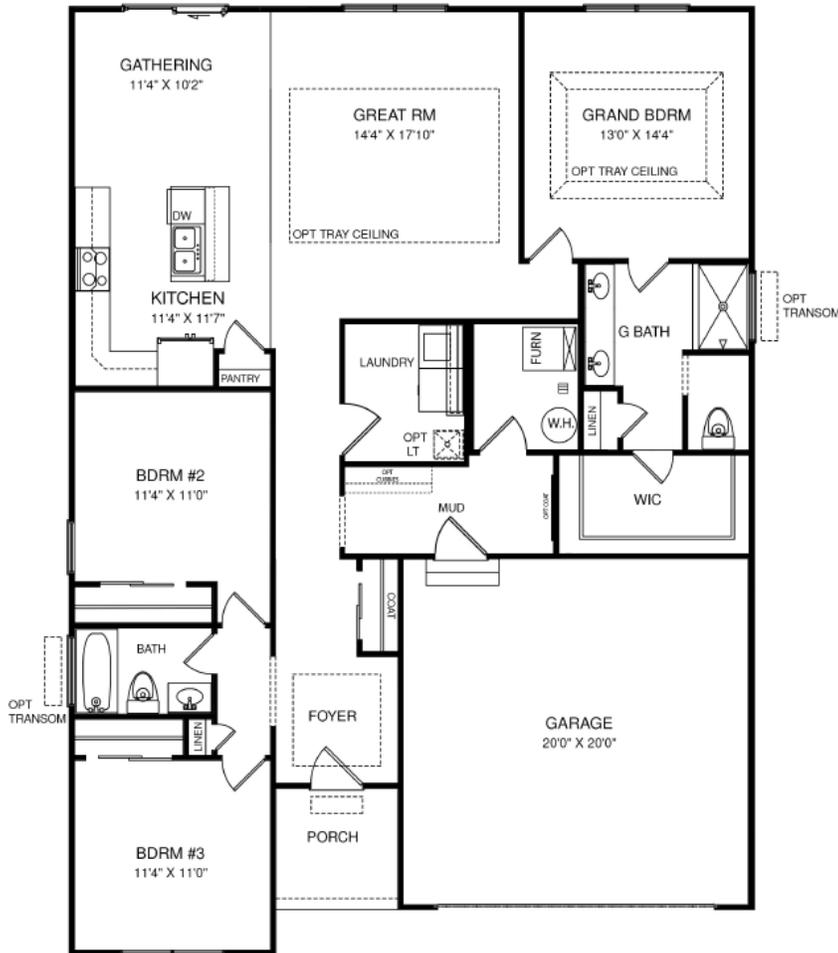


A4

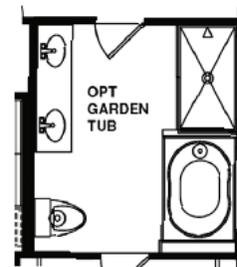


C4

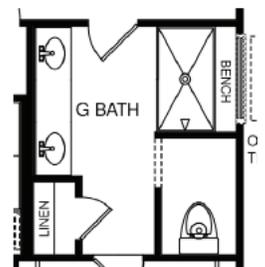
FIRST FLOOR



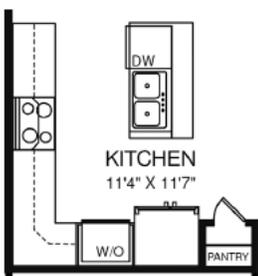
Opt. Slab Layout



Opt. Garden Tub



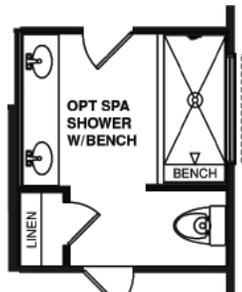
Opt. Shower w/ Bench



Opt. Gourmet Kitchen



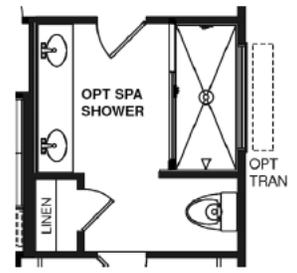
Opt. Study



Opt. Spa Shower w/ Benches



Opt. Roman Shower w/ Benches



Opt. Spa Shower

Approx. SQ. FT: 1,803
3 Bedrooms, 2 Baths



B3



D2



A4



C4

Approx. SQ. FT: 1,803
3 Bedrooms, 2 Baths



B3



C4

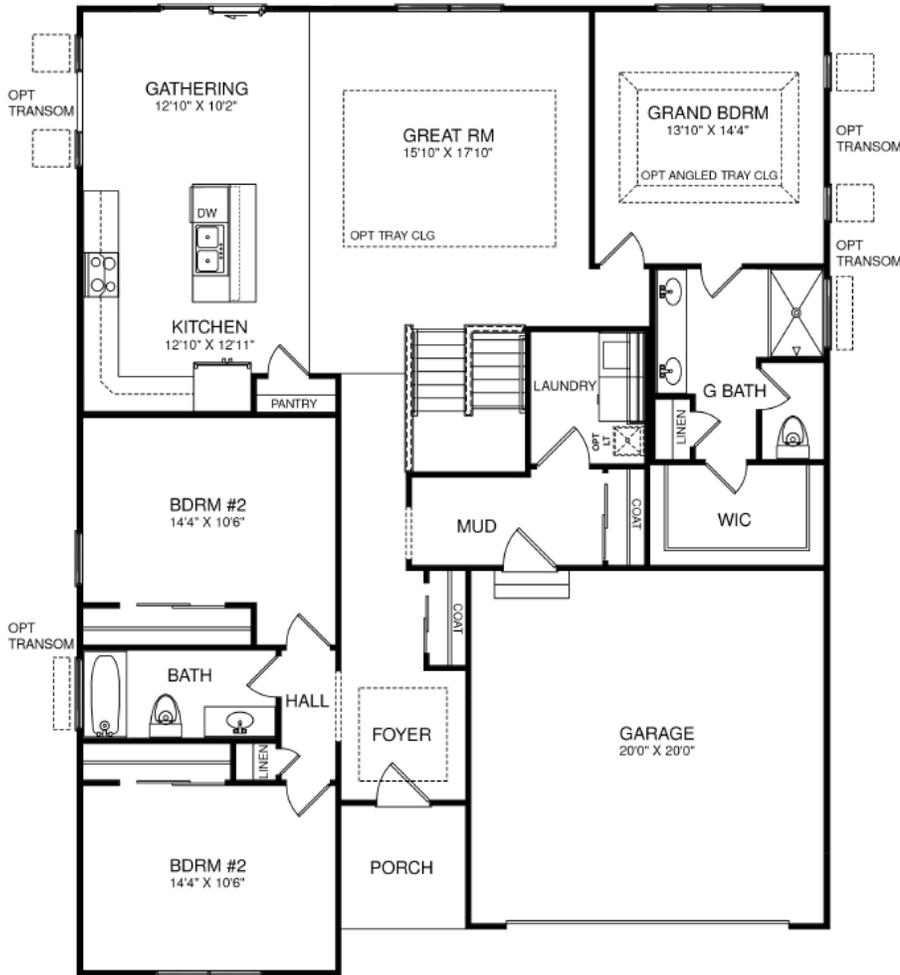


A2

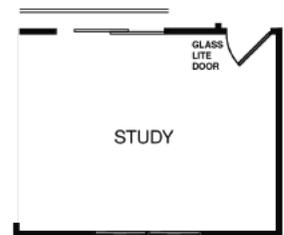


D3

FIRST FLOOR



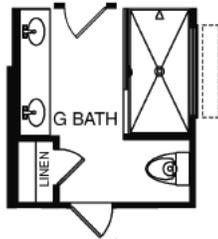
Opt. Slab Layout



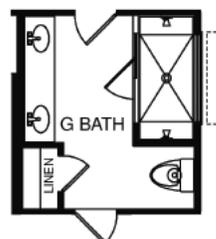
Opt. Study



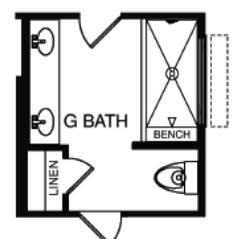
Opt. Garden Bath



Opt. Spa Shower



Opt. Roman Shower w/ Benches



Opt. Spa Shower w/ Benches

Approx. SQ. FT: 2,111
3 Bedrooms, 2 Baths



C3

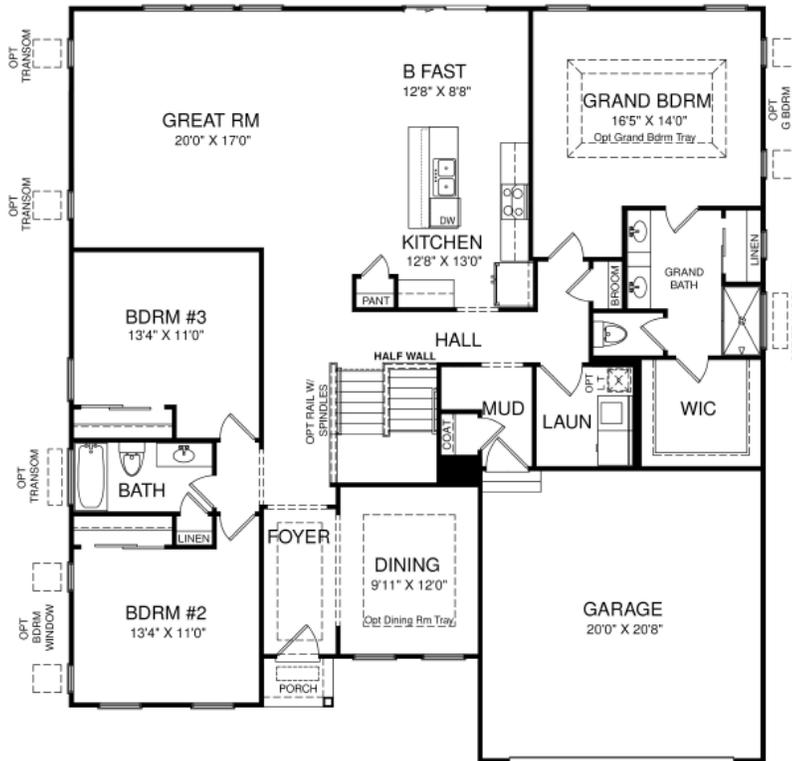


B4

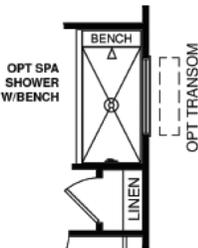


A2

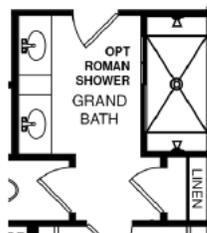
FIRST FLOOR



Opt. Spa Shower



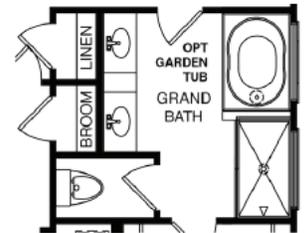
Opt. Spa Shower
W/ Benches



Opt. Roman Shower
w/ Benches



Opt. 5' Shower Bench



Opt. Soaker Tub

Approx. SQ. FT: 2,114
4 Bedrooms, 2.5 Baths



C3



B4



A2

FIRST FLOOR



SECOND FLOOR



Approx. SQ. FT.:2,433
4 Bedrooms, 2.5 Baths



C4

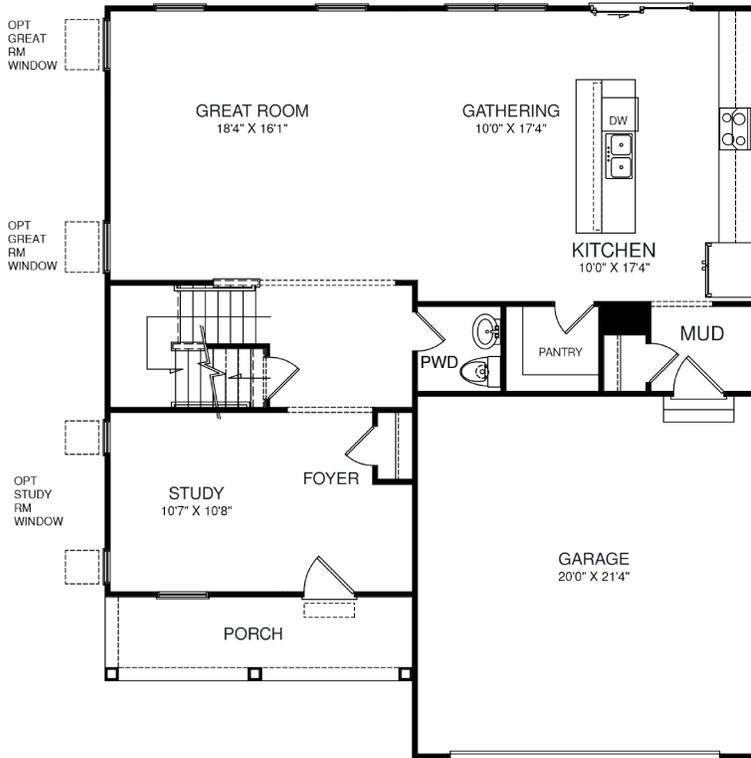


B2

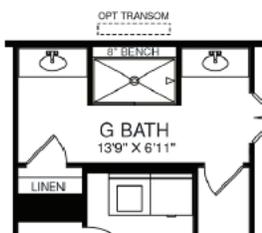
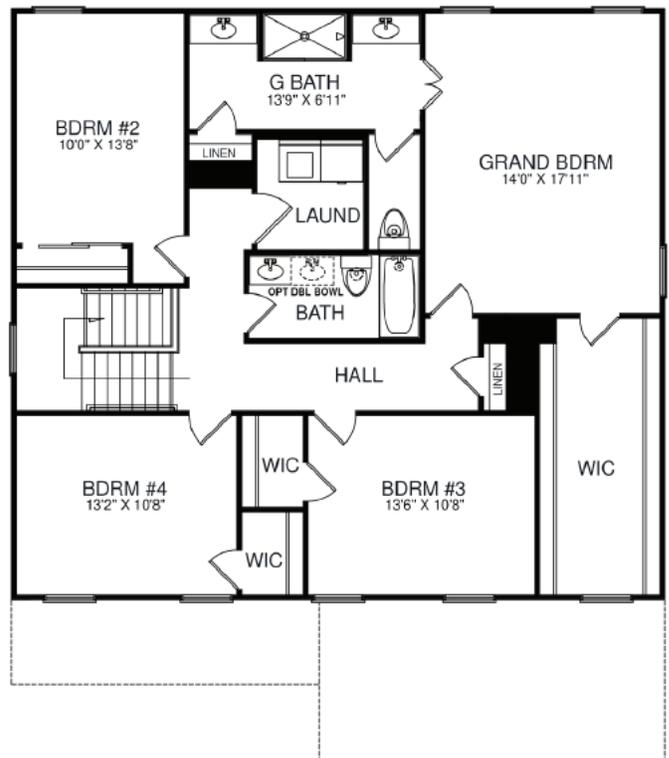


A3

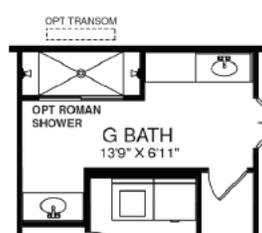
FIRST FLOOR



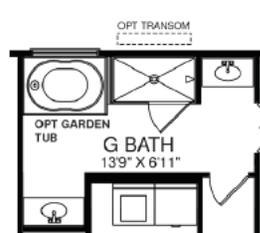
SECOND FLOOR



Opt. Shower w/Bench



Opt. Roman Shower



Opt. Garden Bath



Opt. Spa Shower

Approx. SQ. FT: 2,680
4 Bedrooms, 2.5 Baths



C3



B4



A2

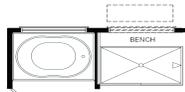


D1

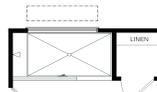
FIRST FLOOR



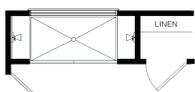
SECOND FLOOR



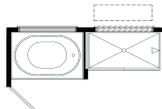
Soaker Tub w/
Benches



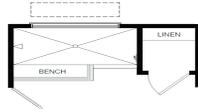
Spa Shower Bath



Roman Shower
w/ Benches



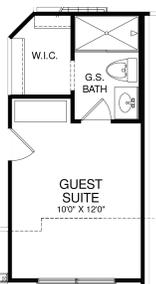
Soaker Tub Bath



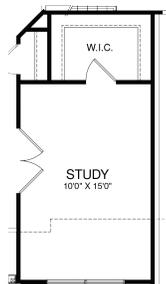
Spa Shower w/
Benches



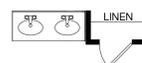
Bath 3 w/
Bed 5
ILO of Loft



Opt. Guest Suite



Opt. Study



Double Bowl
in H. Bath

LOFT
12'1" x 15'6"



Bath 3
w/ Loft

Approx. SQ. FT: 2,798
4 Bedrooms, 2.5 Baths



C3

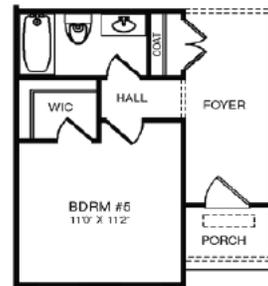


B4

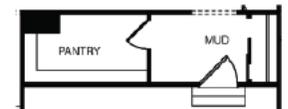


A2

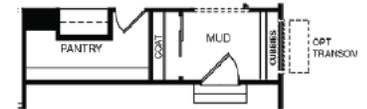
FIRST FLOOR



Opt. Bedroom #5
With Full Bath

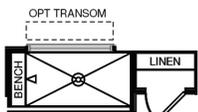
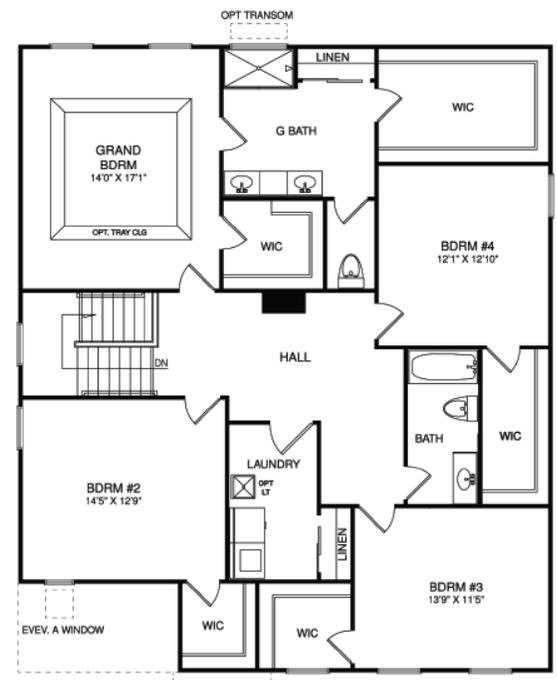


Opt. Pantry
Door In MudRoom



Opt. Cabinet Run

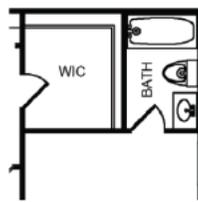
SECOND FLOOR



Opt. Spa Shower
with Bench



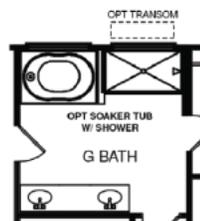
Opt. Spa Shower



Opt. Full Bath
Bed #4



Opt. Roman
Shower



Opt. Soaker Tub

Approx. SQ. FT: 3,317
4 Bedrooms, 2.5 Baths



A



B



C



D

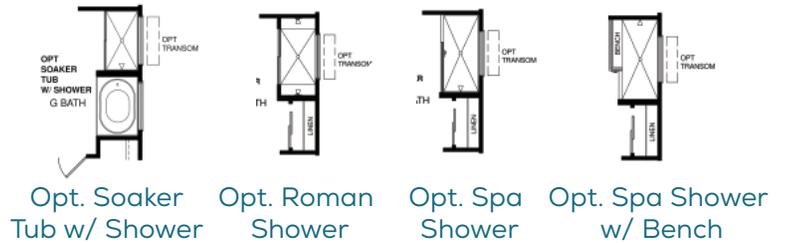
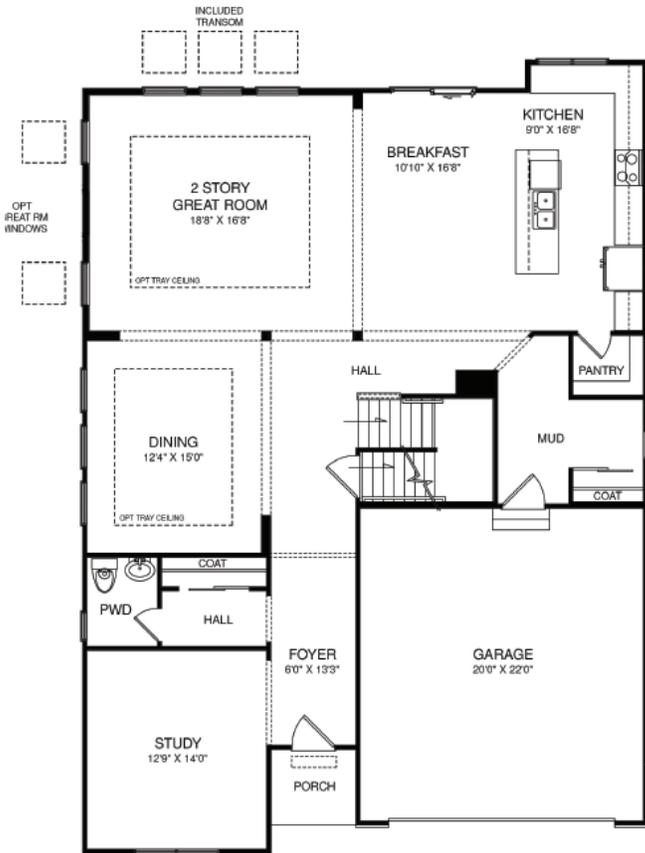


E

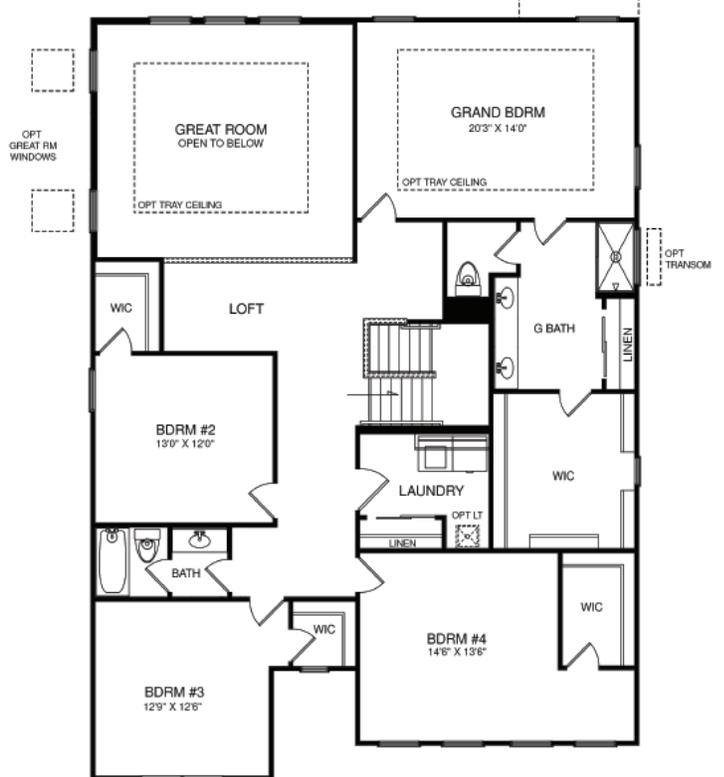


F

FIRST FLOOR



SECOND FLOOR



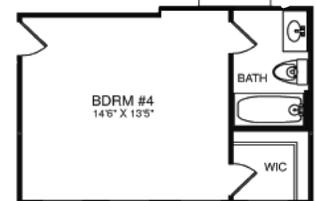
Opt. Guest Suite
ILO Study



Opt. Bonus Rm ILO
2-Story Great Rm



Opt. Bed 5 w/ Full Bath
ILO 2-Story Great Rm



Opt. Full Bath
@ Bed 4

Approx. SQ. FT: 3,484
4 Bedrooms, 2.5 Baths



B1



D2

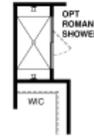
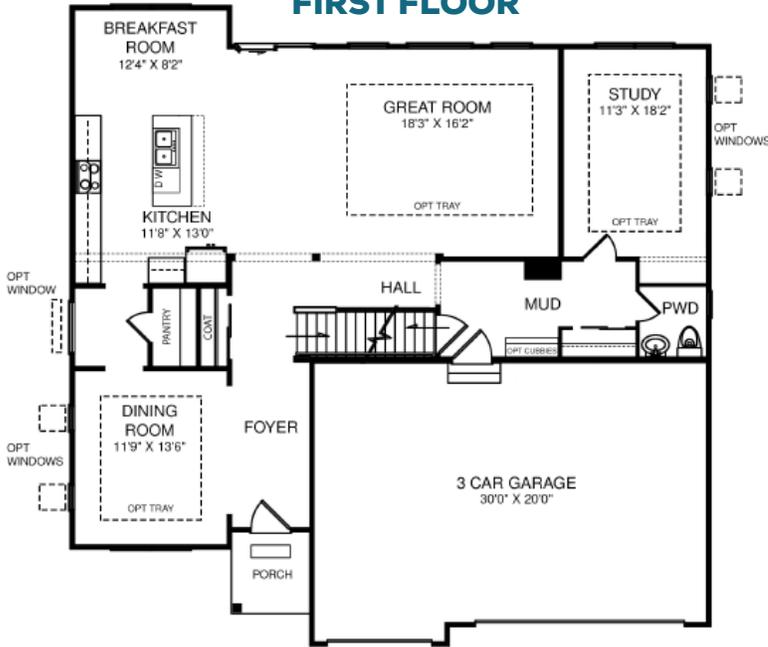


A2

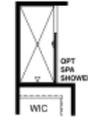


B1-F

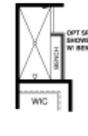
FIRST FLOOR



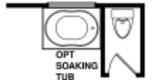
Opt. Roman Shower



Opt. Soaking Tub

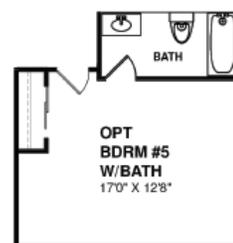
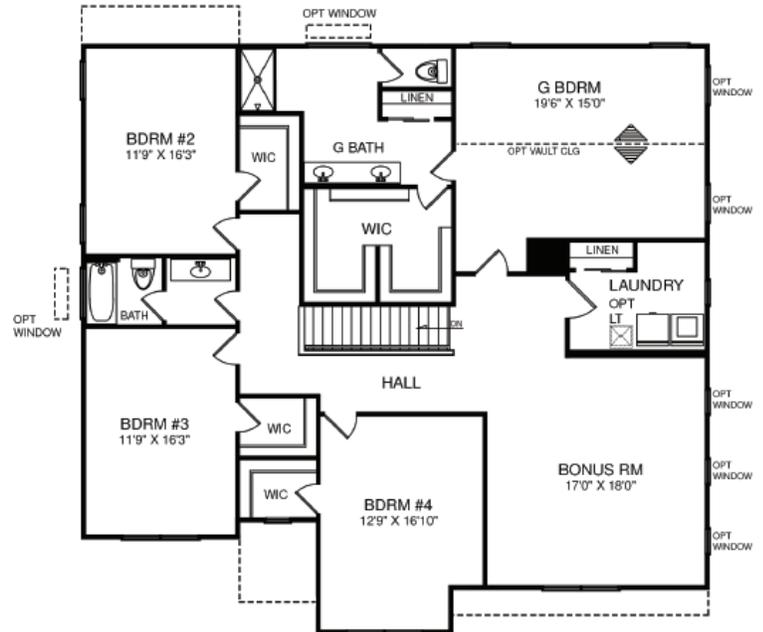


Opt. Spa Shower w/ Bench

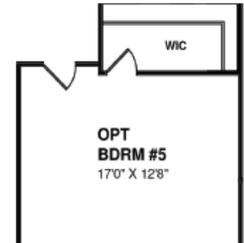


Opt. Spa Shower

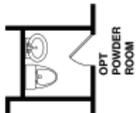
SECOND FLOOR



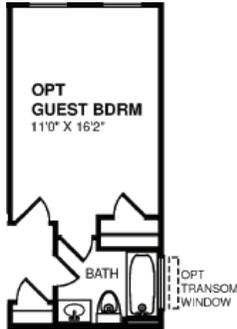
Opt. Bed 5 w/ Full Bath ILO Bonus Rm



Opt. Bed 5 ILO Bonus Rm



Pwd ILO Coat Closet w/ Guest Suite Opt.



Opt. Guest Bed ILO Study



Opt. Sun Rm ILO Study



Opt. Mrng Rm



**M/I Homes
Final Development
Plan
Northampton Ph 3
1405 S Main St
Preliminary
Review**

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN FINAL DEVELOPMENT PLAN RECORD PLAN VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
 Agent
 Lessee Address 9349 Waterstone Boulevard Suite 100
 Signed Purchase Cincinnati, OH 95249
Contract
Telephone No. (513) 551-3954
Fax No. () N/A
Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Same as above

Address: _____

Telephone No. () _____

Property Address or General Location: 1405 SR741 Springboro, OH 45066

Parcel Number(s): 08-18-200-017-0 Acreage: 16.65

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 2.04 Number of Residential Units 34

Proposed Use: Seeking approval of the final development plan for Northampton Ph. 3

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



(Signature of Applicant and/or Agent)

12-4-2025

(Date)

Justin Lanham

Printed Name

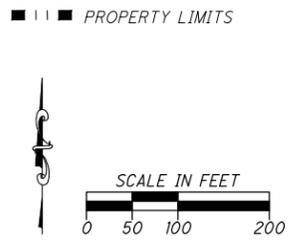
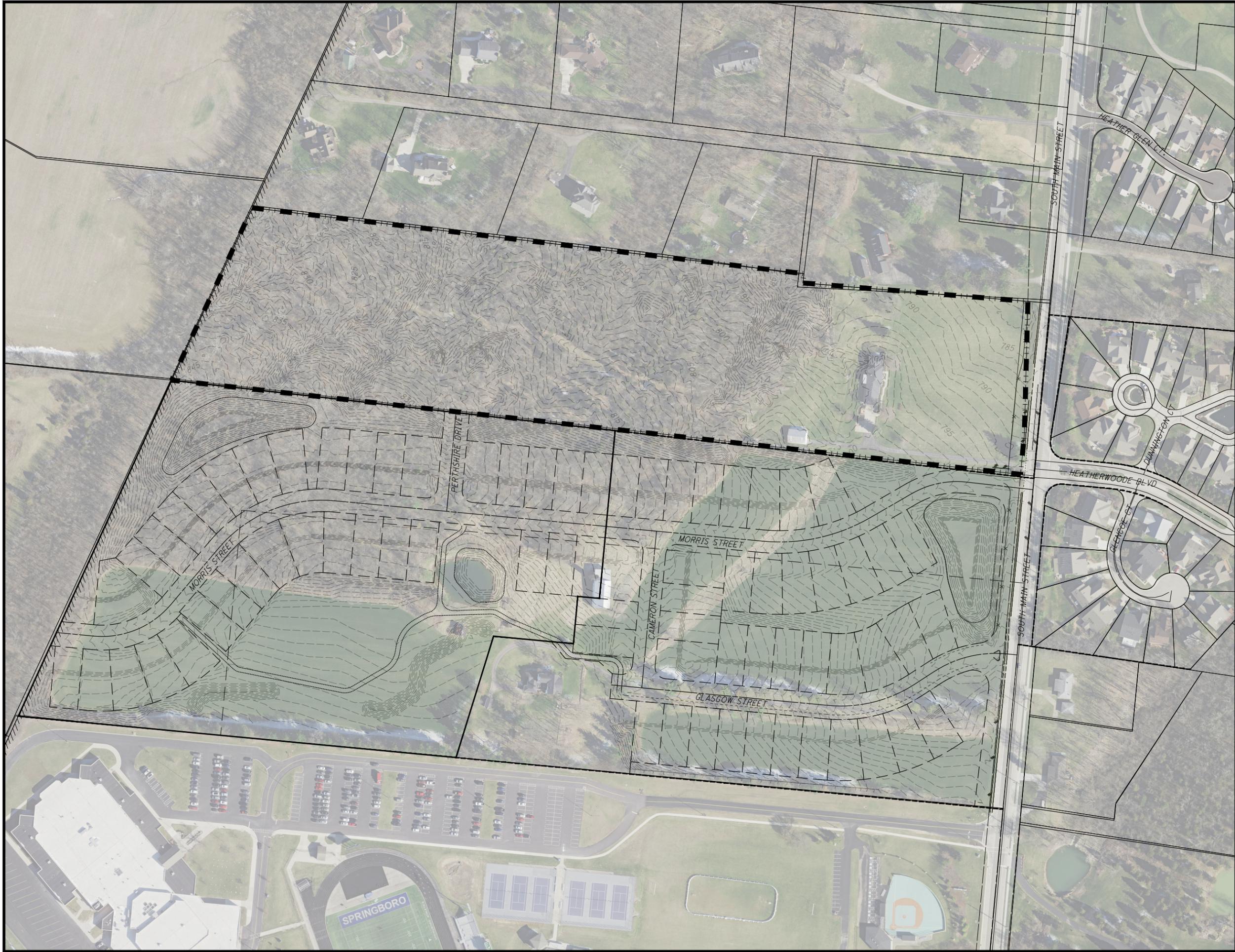
Exhibit 1, Northampton subdivision Conditions of Approval.

At its meeting on May 14, 2025 the Springboro Planning Commission approved recommendations to City Council to approve the rezoning and general plan for the proposed Northampton subdivision Phase 3 located at 1405 South Main Street (SR 741) subject to the following comments:

1. Home plans to comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. No vinyl siding to be used within the subdivision except as trim material.
3. All homes with exposed foundations to be bricked to within 30 inches of grade. For such homes/areas, provide plans.
4. For general plan preliminary review, identify all existing vegetation 4 inches DBH or greater on the site, then indicate those to be preserved.
5. Following preliminary review of general plan, submit a landscaping plan incorporating comments #3-4 above, and other required landscaped areas.
6. Development signage subject to review by Zoning Inspector.
7. Allow for public use of dedicated open space (paths, trails specifically) within the subdivision.
8. Following preliminary review of final development plan, submit an exterior lighting plan, if applicable, consistent with Chapter 1273 of Planning and Zoning Code.
9. Add note stating that all public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.
10. Create an HOA for Phase 3.
11. Detention pond grading to remain outside of proposed right of way line. Adjust accordingly.
12. All public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.

The following conditions of approval were added by City Council at their meeting on Thursday, September 4, 2025:

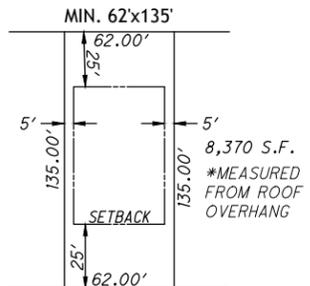
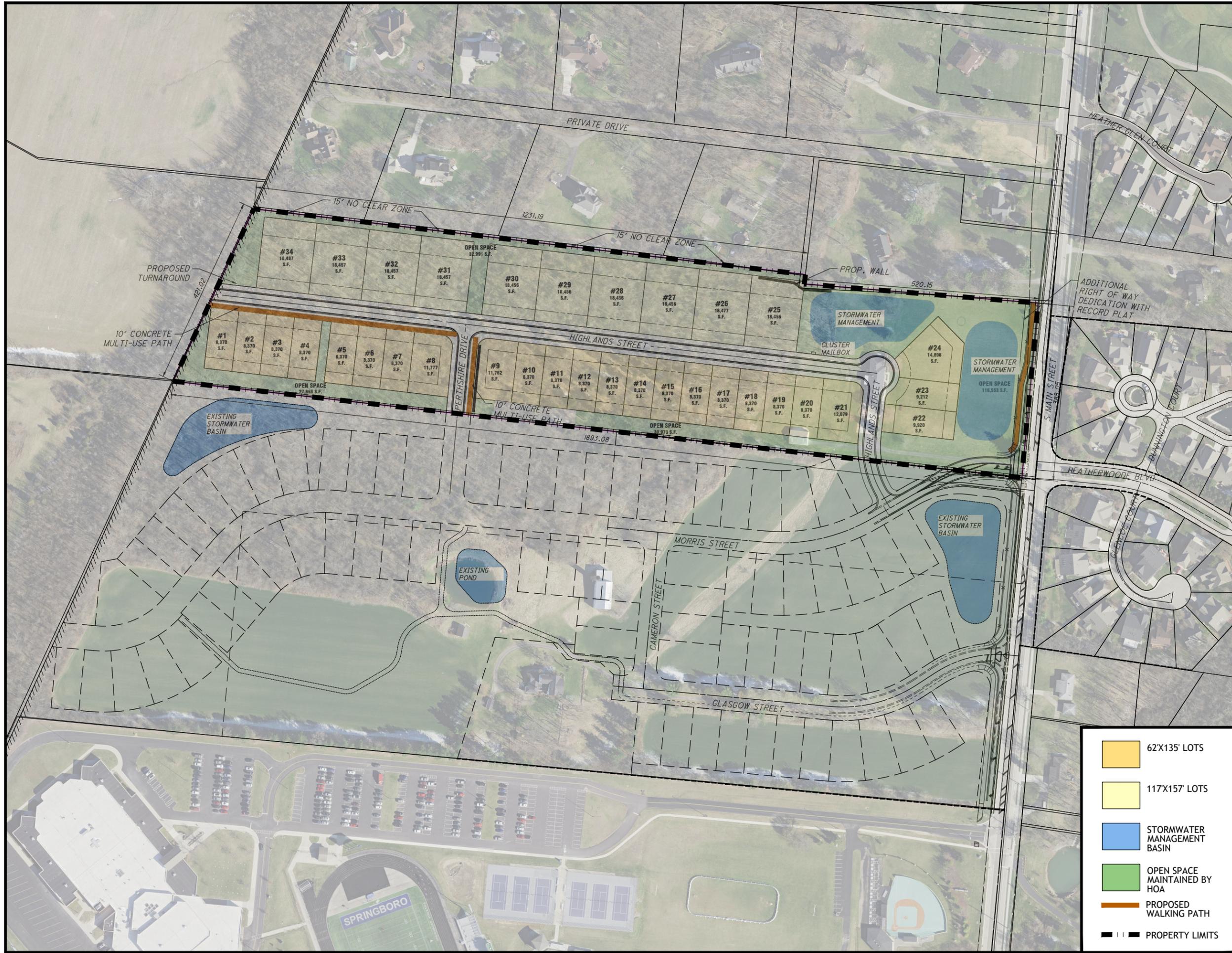
- (1) It includes the addition of the new screening along 741 on both the new Phase 3 section and the existing Phase 1 & 2 sections as agreed upon by the applicant and substantially as presented to staff;
- (2) It includes the ODOT approved safety rails along the path by the ponds substantially as presented to staff;
- (3) That any ponds in Phase 3 be consistent in design with similar subdivision ponds within the City and not like the existing Northampton pond; and
- (4) That all the Conditions of Approval on Exhibit 1 of the Ordinance rezoning this property be included as part of the General Plan.



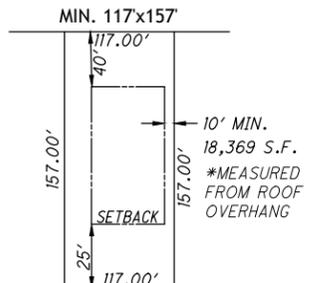
— — — — — PROPERTY LIMITS

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
EXISTING CONDITIONS

REVISIONS:
FILE NAME Ex GRADING
DRAWN BY JLH
CHECKED BY JSP
PROJECT No. WARSPR2410
DATE 12/18/2025
SHEET NUMBER 2 OF 11



STREET MINIMUM LOT
8,370 S.F.

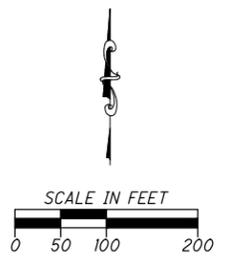


STREET MINIMUM LOT
18,369 S.F.

PROPOSED STREET RIGHTS OF WAY TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK TO BACK CURB WITH 5' SIDEWALKS.
ALL ROADWAYS AND UTILITIES TO MEET CITY REQUIREMENTS.

SITE: 16.65 Ac.
SUMMARY TABLE:
PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELLING UNITS: 34
NET DENSITY OF RESIDENTIAL USES:
34 UNITS / 16.65 Ac.
= 2.04 UNITS / ACRE
EXISTING ZONING: R-1 ZONING
PROPOSED ZONING: PUD-R ZONING
OPEN SPACE: 4.786 Ac. / 28.7%
STORMWATER MANAGEMENT: 1.27 Ac. / 7.7%
BUFFER AREA: 0.42 Ac. / 2.5%
24 LOTS 62x135'
FRONT SETBACK = 25'
REAR SETBACK = 25'
SIDE SETBACK = 5', 10' TOTAL, MEASURED FROM ROOF OVERHANG
10 LOTS 117x157'
FRONT SETBACK = 25'
REAR SETBACK = 40'
SIDE SETBACK = 10', 25' TOTAL, MEASURED FROM ROOF OVERHANG
34 TOTAL LOTS DEVELOPED IN ONE PHASE

- 62'X135' LOTS
- 117'X157' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS





SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
CONCEPTUAL PLAN

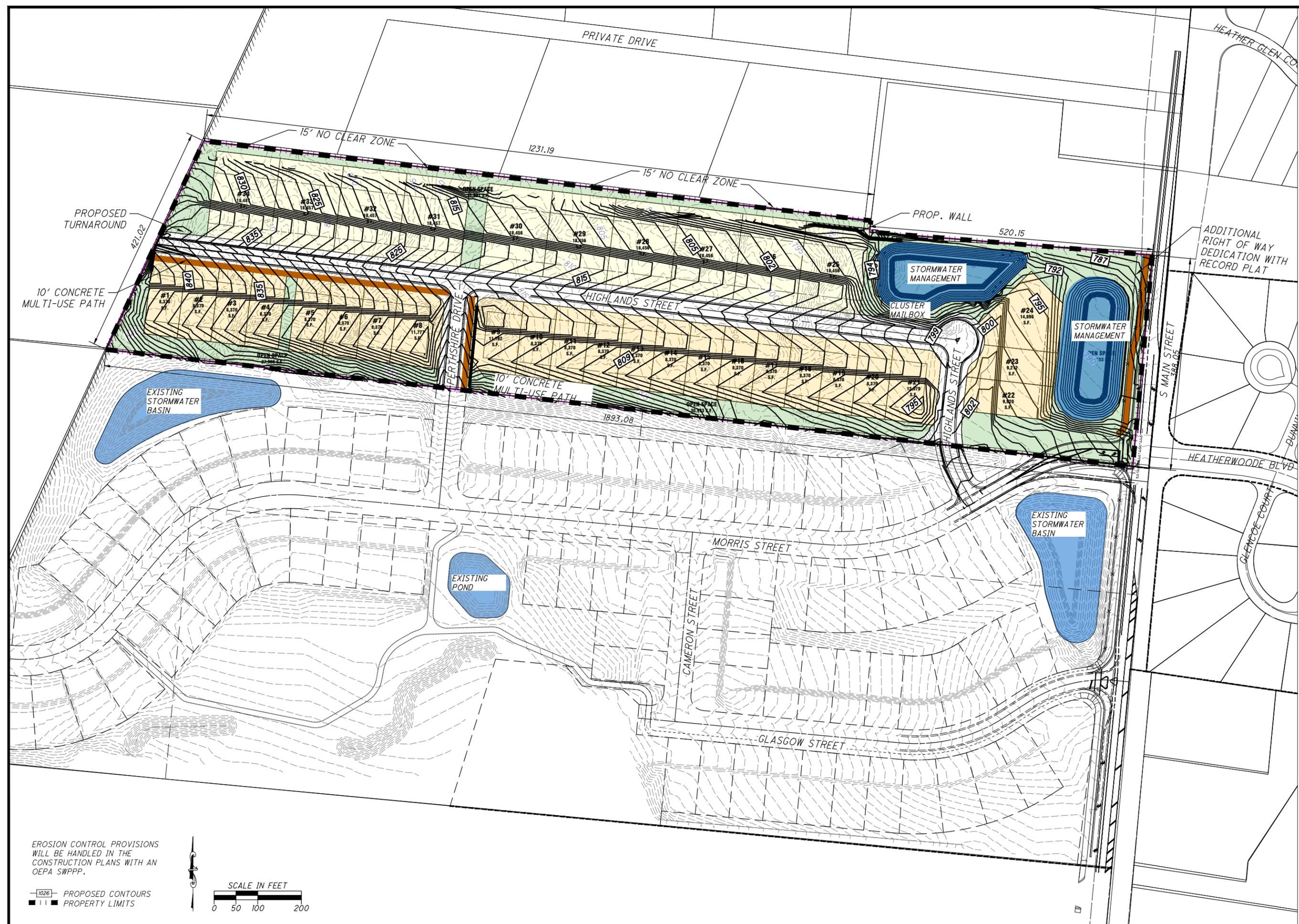
REVISIONS:

FILE NAME	PHASE
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2410
DATE	12/18/2025
SHEET NUMBER	3 OF 11

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
PRELIMINARY GRADING PLAN

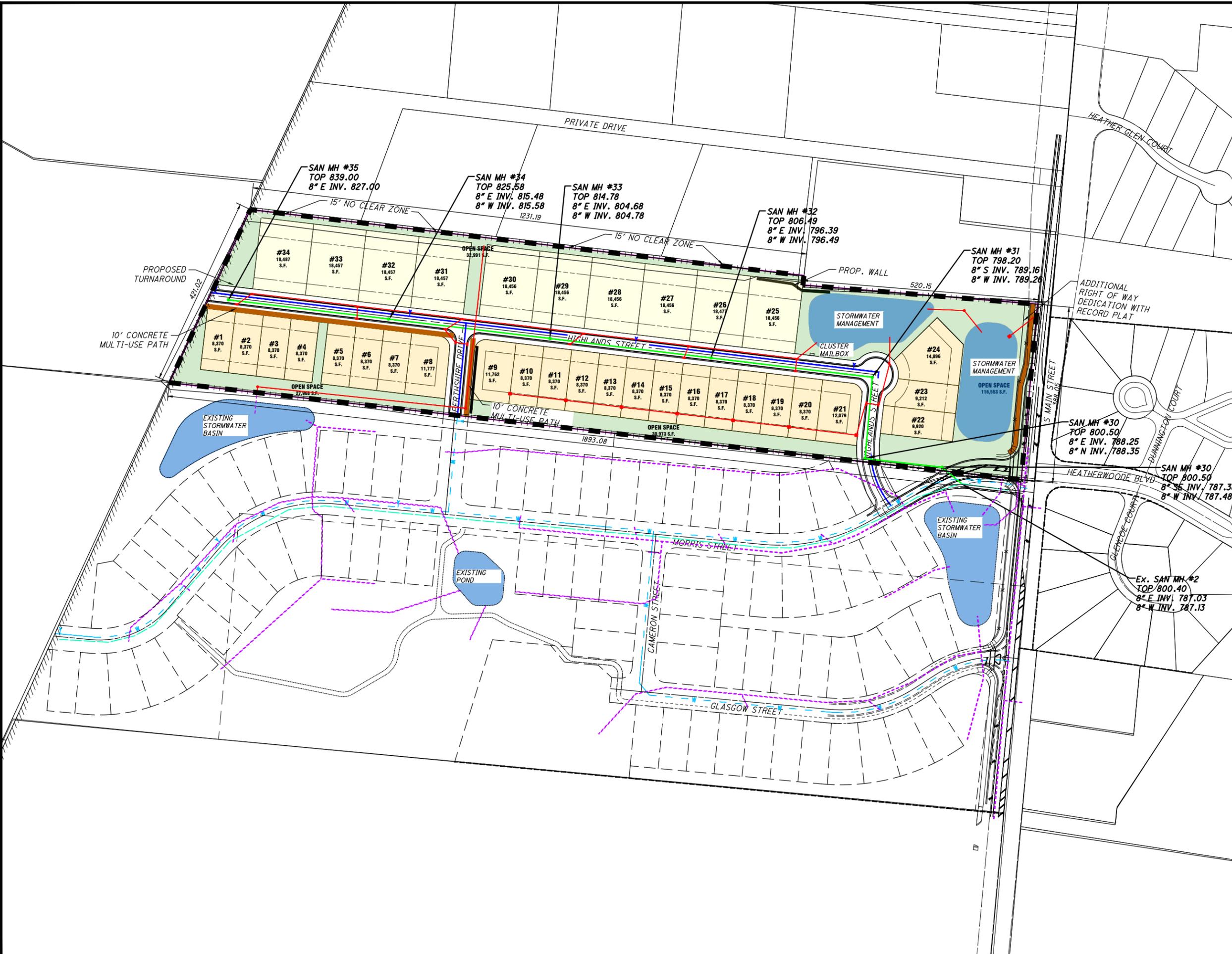
REVISIONS:

FILE NAME	GRADING
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT NO.	WARSPR2410
DATE	12/18/2025
SHEET NUMBER	



EROSION CONTROL PROVISIONS WILL BE HANDLED IN THE CONSTRUCTION PLANS WITH AN OEPA SWPPP.





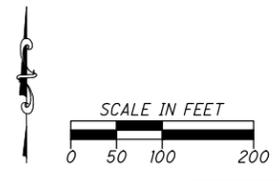
LEGEND

- PROP. WATER MAIN
- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. STORM MAIN
- PROP. SANITARY MANHOLE
- PROP. SANITARY MAIN
- Ex. SANITARY MAIN
- Ex. WATER MAIN
- SETBACK LINE

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

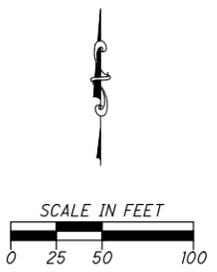
NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
PRELIMINARY UTILITY PLAN

REVISIONS:
FILE NAME UTILITY
DRAWN BY JLH
CHECKED BY JSP
PROJECT No. WARSPR2410
DATE 12/18/2025
SHEET NUMBER 5 OF 11





- 62'X135' LOTS
- 117'X157' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

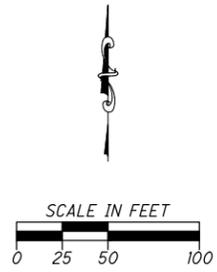


NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
LOT DIMENSIONING PLAN

REVISIONS:
FILE NAME 50 SCALE-1
DRAWN BY JLH
CHECKED BY JSP
PROJECT No. WARSPR2410
DATE 12/18/2025
SHEET NUMBER 6 OF 11

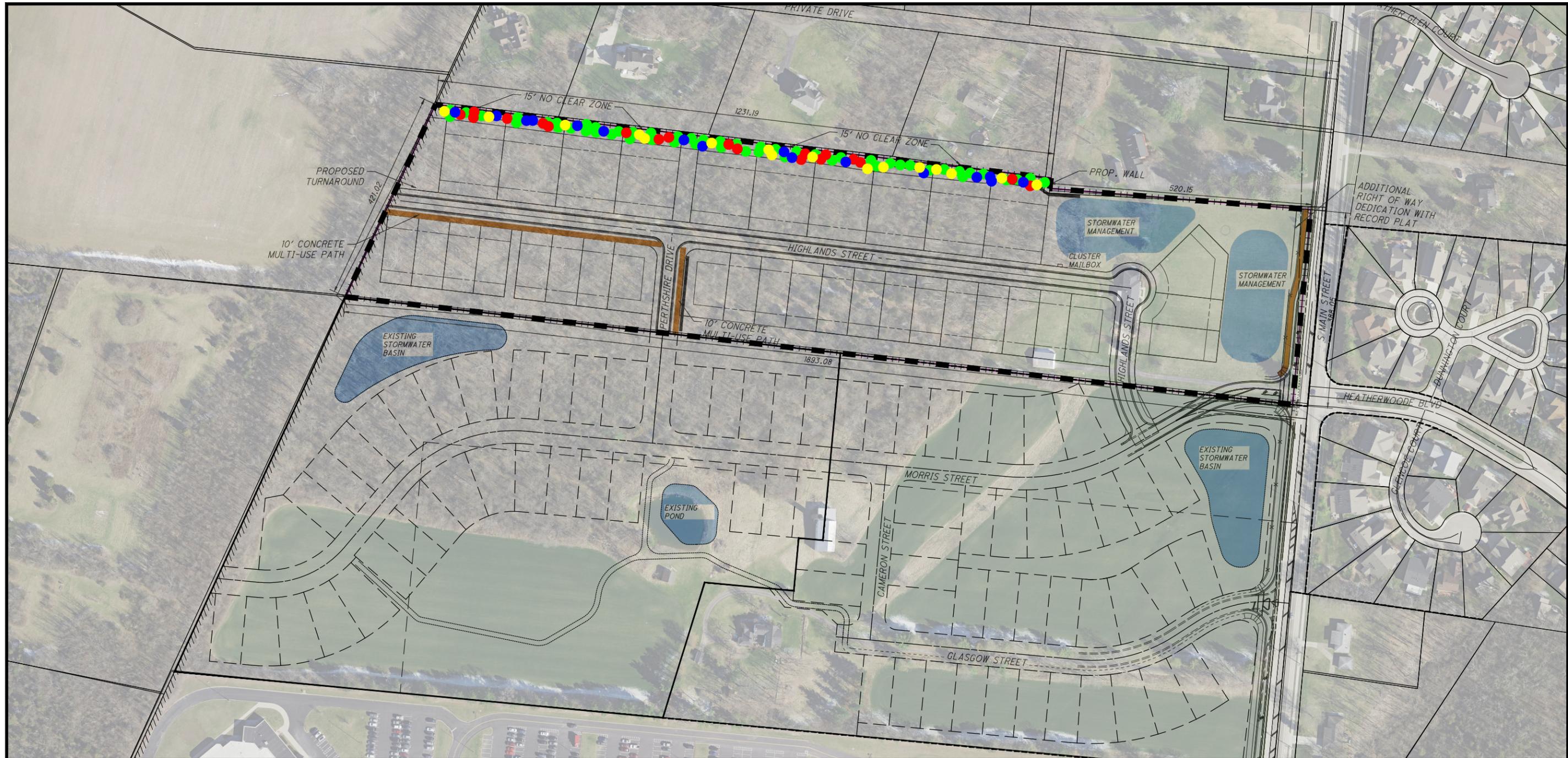


- 62'X135' LOTS
- 117'X157' LOTS
- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

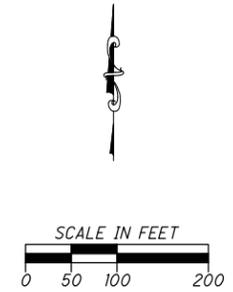


NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
LOT DIMENSIONING PLAN

REVISIONS:	
FILE NAME	50 SCALE-2
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT NO.	WARSPR2410
DATE	12/18/2025
SHEET NUMBER	7 OF 11



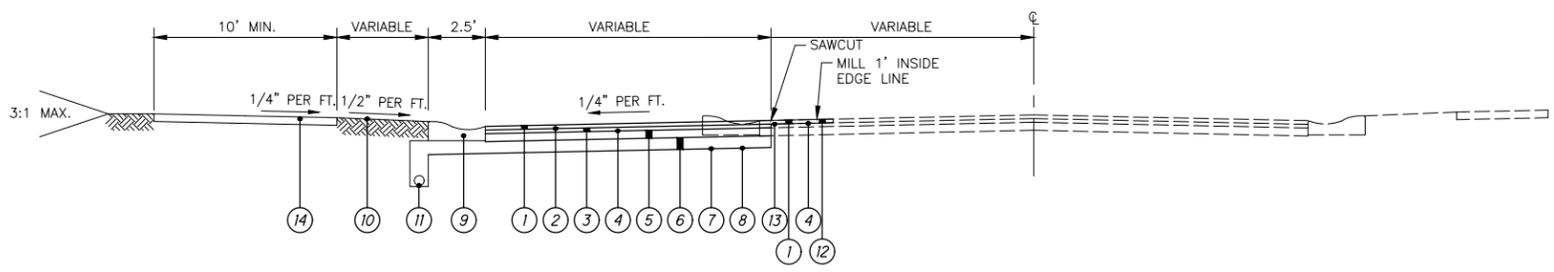
SYMBOL IN PLAN	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	NUMBER OF TREES ON SITE TO REMAIN	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
●	4.00 - 6 INCHES	52 TREES	1 TREE	52 TREES
●	6.01 - 14 INCHES	19 TREES	2 TREES	38 TREES
●	14.01 - 20 INCHES	16 TREES	3 TREES	48 TREES
●	20.01 + INCHES	16 TREES	4 TREES	64 TREES
TOTALS		103 TREES		202 TREES



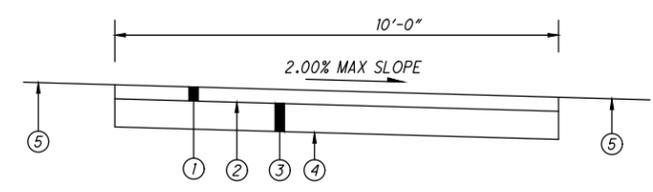
NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
EXISTING TREE LOCATION EXHIBIT

REVISIONS:

FILE NAME	TREES
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2410
DATE	12/18/2025
SHEET NUMBER	8 OF 11

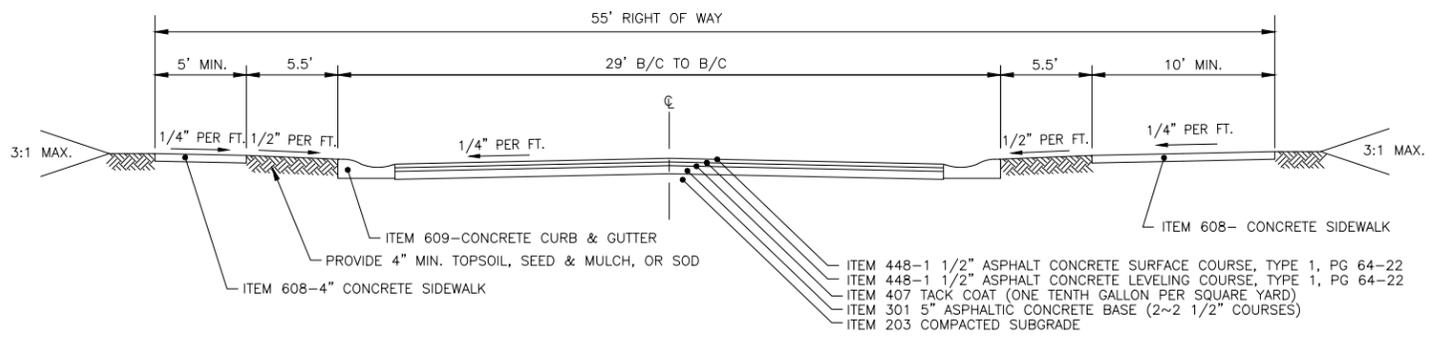


MAIN STREET - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

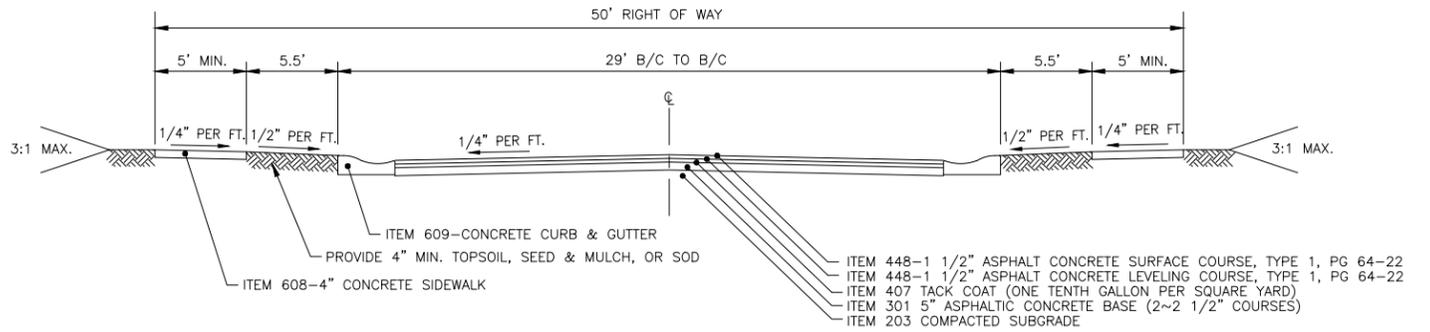


- LEGEND**
- ① ITEM 441 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG 64-22
 - ② ITEM 407 - NON-TRACKING TACK COAT @ 0.06 GAL./S.Y.
 - ③ ITEM 301 - 4-1/2" ASPHALT BASE
 - ④ ITEM 204 - SUBGRADE COMPACTION
 - ⑤ ITEM 659 - SEEDING AND MULCHING

- ① ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ② ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ③ ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ④ ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ⑤ ITEM 301 - 6" ASPHALT CONCRETE BASE
- ⑥ ITEM 304 - 8" AGGREGATE BASE (APPLY IN TWO EQUAL COURSES)
- ⑦ ITEM 204 - SUBGRADE COMPACTION
- ⑧ ITEM 204 - PROOF ROLLING
- ⑨ ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ⑩ ITEM 659 - SEEDING AND MULCHING
- ⑪ ITEM 605 - 6" BASE PIPE UNDERDRAIN
- ⑫ ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ⑬ ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ⑭ ITEM 608 - CONCRETE SIDEWALK



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH
PERTSHIRE RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

REVISIONS:

FILE NAME
TYPICAL SECTION

DRAWN BY
JLH

CHECKED BY
JSP

PROJECT No.
WARSPR2410

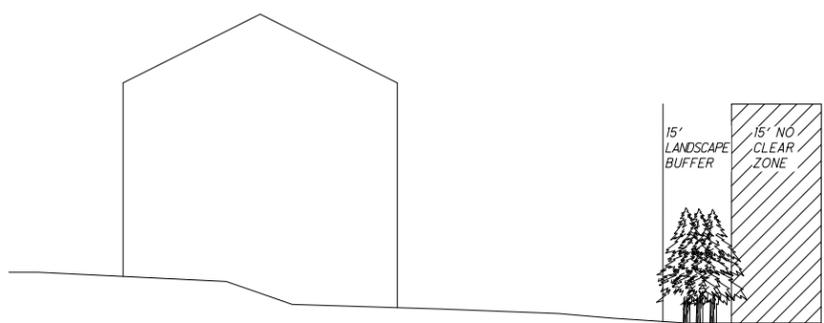
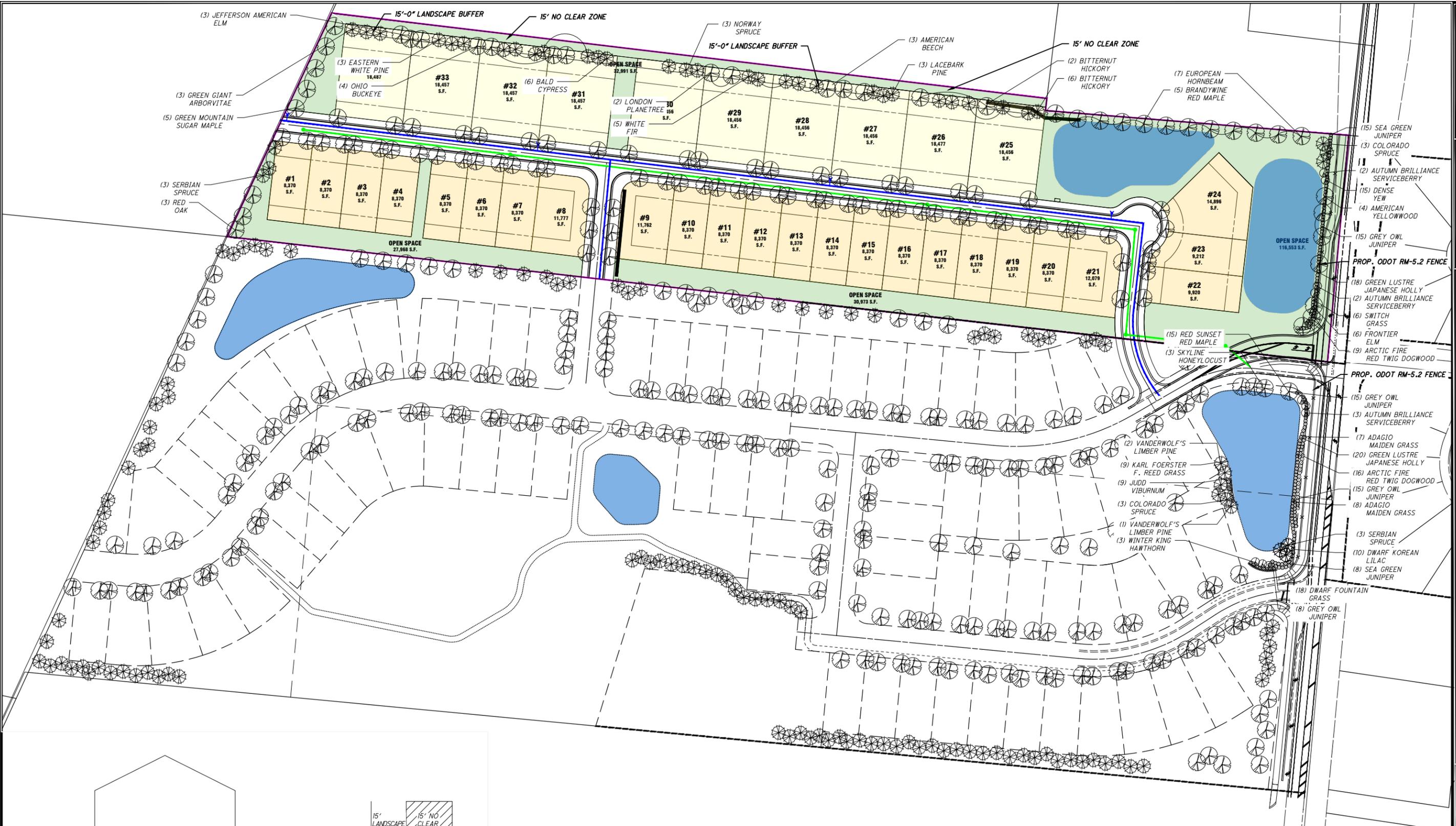
DATE
12/18/2025

SHEET NUMBER

9 OF 11

REVISIONS:

FILE NAME: LANDSCAPE
DRAWN BY: JLH
CHECKED BY: JSP
PROJECT No.: WARSR2410
DATE: 12/18/2025
SHEET NUMBER: 10 OF 11



BUFFER REQUIREMENTS:
1 SHADE/EVERGREEN TREE / 40'
NORTHERN BUFFER: 31 REQUIRED
WESTERN BUFFER: 11 REQUIRED

LANDSCAPE ADJACENT TO ROADS REQUIREMENTS:
1 SHADE/EVERGREEN TREE / 40'
10 REQUIRED
1 ORNAMENTAL TREE / 100'
4 REQUIRED
1 SHRUB PER 5'
78 REQUIRED

OVERALL REQUIREMENTS:
1 SHADE/EVERGREEN TREE / 3,000 SF
242 REQUIRED

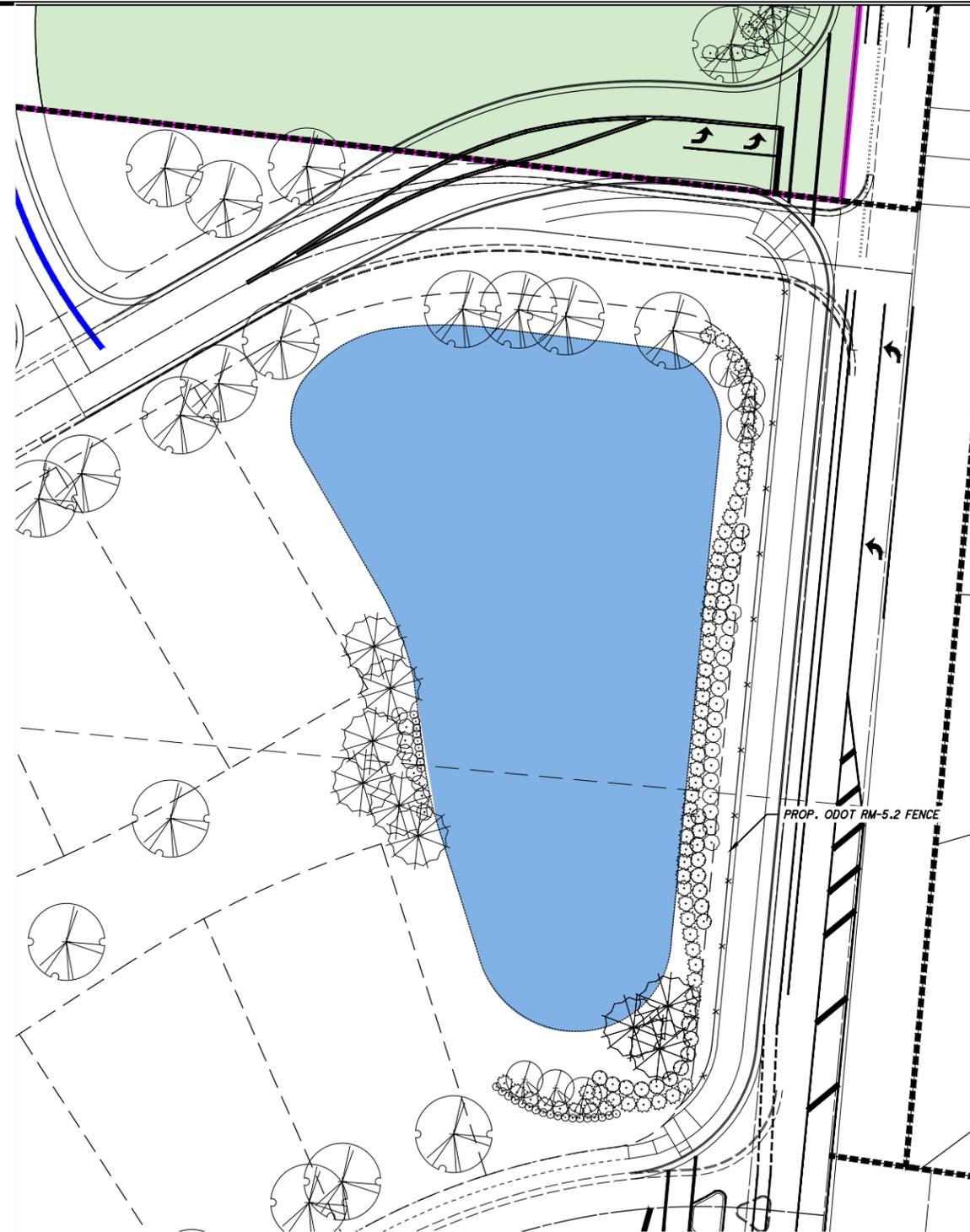
EXISTING TREES TO REMAIN

QTY	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
52	4.00 - 6 INCHES	1 TREE	52 TREES
19	6.01 - 14 INCHES	2 TREES	38 TREES
16	14.01 - 20 INCHES	3 TREES	48 TREES
16	20.01 + INCHES	4 TREES	64 TREES

PROPOSED TREES

	BUFFER AREAS	EXTERNAL & INTERNAL STREET FRONTAGES
SHADE TREE	34	83
EVERGREEN TREE	32	3
ORNAMENTAL TREE		4
SHRUBS		78





LEGEND

-  EVERGREEN TREE
-  SHADE TREE
-  SHRUBS

BUFFER REQUIREMENTS:
 1 SHADE/EVERGREEN TREE / 40'
 NORTHERN BUFFER: 31 REQUIRED
 WESTERN BUFFER: 11 REQUIRED

LANDSCAPE ADJACENT TO ROADS REQUIREMENTS:
 1 SHADE/EVERGREEN TREE / 40'
 10 REQUIRED
 1 ORNAMENTAL TREE / 100'
 4 REQUIRED
 1 SHRUB PER 5'
 78 REQUIRED

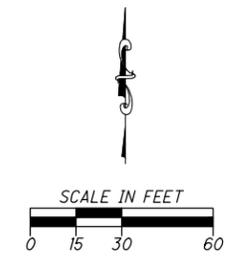
OVERALL REQUIREMENTS:
 1 SHADE/EVERGREEN TREE / 3,000 SF
 242 REQUIRED

EXISTING TREES TO REMAIN

QTY	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
52	4.00 - 6 INCHES	1 TREE	52 TREES
19	6.01 - 14 INCHES	2 TREES	38 TREES
16	14.01 - 20 INCHES	3 TREES	48 TREES
16	20.01 + INCHES	4 TREES	64 TREES

PROPOSED TREES

	BUFFER AREAS	EXTERNAL STREET FRONTAGES
SHADE TREE	34	7
EVERGREEN TREE	32	3
ORNAMENTAL TREE		4
SHRUBS		78





**December 17,
2025
PC Minutes
for review**

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, December 17, 2025

I. Call to Order

Chair Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Steve Harding, Scott Marshall, John Sillies.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary.

Ms. Iverson announced that longtime Springboro resident Mike Thompson, a valued member of Planning Commission, and the Historical Society, has passed away. A moment of silence was observed for Mr. Thompson and his family.

II. Approval of Minutes

November 12, 2025 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the November 12, 2025 Planning Commission minutes. Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

III. Appointment of Board of Zoning Appeals Representative for Planning Commission

Ms. Iverson called for a motion to amend the agenda to appoint a representative from the Planning Commission Board to the Board of Zoning Appeals (BZA).

Mr. Pearson motioned to amend the agenda to recommend appointment of a representative from the Planning Commission to the Board of Zoning Appeals. Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson called for volunteers or nominations for BZA Representative.

Mr. Harding nominated Mr. Sillies to be the new BZA Representative for Planning Commission.

Ms. Iverson called for a motion to appoint Mr. Sillies as the new Planning Commission BZA Representative.

Mr. Harding motioned recommending appointing Mr. Sillies as the Planning Commission BZA Representative. Mr. Marshall seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

IV. Agenda Items

A. Preliminary Review

Rezoning, South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive, M-1, Light Manufacturing District, to M-2, Heavy Manufacturing District; PUD-O, Planned Unit Development-Office, to M-2 District; and R-1, Estate-Type Residential District, to M-2 District

Background Information

This agenda item is an application filed by LJB, Inc. on behalf of High Concrete Group, LLC, property owner, requesting the rezoning of 12.123 acres of land on South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive to M-2, Heavy Manufacturing District. The applicants are requesting the rezoning to consolidate zoning for company-owned property and to accommodate expansion of the concrete plant west of current operations.

The proposal includes the rezoning of the following sub-parcels; descriptions correspond to sheet C300 in the application included in the meeting materials:

- The rezoning of an undeveloped 1.486-acre site, labeled rezone parcel A, from R-1, Estate-Type Residential District, to M-2 District. This site was the location of a home prior to the construction of South Richards Run Road.
- A 2.886-acre area, labeled rezone parcel B, on the northeast corner of Mound Park Drive and Duvall Drive from M-1, Light Industrial District, to M-2 District. This is the site of a small High Concrete building and off-street parking.
- The rezoning of 7.751 acres of land, labeled rezone parcels C-D, from PUD-O, Planned Unit Development-Office, to M-2. This site is mostly undeveloped but includes a High Concrete vehicle storage area at the northwest corner of Duvall Drive and South Richards Run Road.

The M-2 District is established in the Planning and Zoning Code "...to provide land for major manufacturing, processing, storage and warehousing, and research and testing establishments which require large sites, extensive community services and facilities, ready access to regional transportation, [and that] generate heavy traffic and create no nuisance discernable beyond the district." In addition to the description above, uses permitted in the district include vehicle repair, offices, business service establishments, kennels and dog day care facilities, hospitals, public recreation, essential services (utilities, public facilities), garden centers, and accessory uses and structures. The M-2 District requires large lots with corresponding large setbacks. Buildings up to 40 feet in height are permitted, with 55 feet permitted for uninhabited structures. The M-2 District includes most of High Concrete's operation as well as Mound Steel's facility to the southwest.

High Concrete intends to expand their Springboro operation upon approval of the rezoning request. No plans have been formally submitted at this time; when they are, they will be subject to review by the Planning Commission through the site plan review process. The Planning Commission review will address the architecture of the buildings, site access and internal circulation, stormwater management, the provision of utilities and public services, external lighting, fencing and walls, and landscaping including screening from adjacent property, the retention of existing vegetation, and more.

Adjacent land uses include the remainder of the High Concrete operation to the west, to the north on the north side of East Central Avenue the common space, entrance, and south-most homes in the Richards Run subdivision; to the east on the east side of South Richards Run Road the South Richards Run Business Park (Irongate Realty, Imagination Station daycare, offices, Empowered Community Service), and undeveloped City-owned land; and to the south the City of Springboro Public Service Garage, and the Mound Steel operation to the southwest. Adjacent zoning includes M-2 District to the west and southwest, PUD corresponding to the Richards Run subdivision, PUD-MU, Planned Unit Development-Mixed Use, corresponding to the South Richards Run Business Park, PUD-O, Planned Unit Development-Office, corresponding to the City-owned land to the southeast and a portion of the City service operation to the south, and M-1 District to the south corresponding to the remainder of the City service operation.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other characteristics. Policy Area 14, South Richards Run Corridor, includes the subject property and others in the vicinity. The master plan recommends, among other actions, infill development around the existing High Concrete operation, the use of South Richards Run Road as a bypass to South Main Street to reduce traffic congestion and heavy truck traffic there, and the development of other areas as office. The plan also encourages landscaping and design standards that coordinate building and lot design, with other portions of the policy area developing with non-industrial operations.

Staff Comments

City staff has no comments. Following Planning Commission and City Council consideration of this application and its approval, the applicants are encouraged to coordinate with City staff early to work through the requirements of the site plan review process.

Discussion

Ms. Iverson called for the applicants to join Board members at the conference table.

Mr. Pete Battaglia, LBJ Engineering, Mr. Alan Schenke, High Concrete, Mr. Michal Popow, High Concrete Plant Manager, Springboro and Mr. Gary Burkhouse, High Concrete Quality Control Manager, Springboro were present to answer questions from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this item.

Mr. Boron said the goal of this request is to rezone the properties marked in the exhibit to M-2. Most of High Concrete's facility is zoned M-2 District. A portion of the property is zoned M-1 District, and another portion of the property from Duvall Drive to East Central Avenue (SR 73) is zoned PUD-R. The original intent for the PUD-O portion of the property was to build offices for the company and other facilities. There is also a

section that used to have a house on the site that is still R-1 District. The intent is to expand the facility. This review is to lay the table to permit the zoning change, which would allow for the extension of the facility. All property owners within 300 feet were notified of the rezoning request; no responses have been received by the City.

Ms. Iverson asked the applicants if they wanted to add anything to the proposed plan.

Mr. Battaglia said they were open to any questions that Planning Commission members might have, but the impetus for this is to try to expand the plant capacity. High Concrete explored options for doing that expansion on the current facility, but there is a large embankment on the side of the property and it was too crowded and there was not enough room to do any expansion.

Part of this is to take a piece of what their process is and move it to another part of the parcel; down in the lower area and to help facilitate allowing the building to expand for the main production areas and so forth.

This is what's driving this rezoning request and then as part of this they have talked with Dan to clean up all of the partial zonings in the area to make them all one zoning district so that they can make this work for what the operation is projecting for increased production.

Mr. Pearson asked where the building is located on the property currently.

Mr. Battaglia indicated on the map where the current building is located and noted where they would like to make additions to the property (see exhibits submitted with meeting materials).

Mr. Sillies asked if there were any noise concerns.

Mr. Popow replied that they try to limit their operations to reasonable hours, and their cranes have the OSHA-required backup signals, it is not overly noisy because of its location below SR 73.

Mr. Popow added the existing equipment in the plant today is 30 years old and is worn out and needs to be replaced and moving the batch-plant equipment to the corner area at Duvall Drive would allow them to extend the plant and all the concrete pouring facilities.

Mr. Pearson asked why the staff had no comments regarding this request.

Mr. Boron stated because this is a request to rezone property, and there is no site plan or other proposed changes to the sites currently, there are no staff comments on the specific proposal at this time. The applicant is aware of all the M-2 District requirements and building standards for the district. He asked Mr. Battaglia to explain their plans for the expansion.

The expansion would not be along Richards Run Road directly but down farther to the corner of the property along Duvall Drive. The property along Richards Run Road would be used for trailer parking in general; the construction traffic would flow out onto West Mill Street/Lower Springboro Road. For screening, there will be 6 – 7-foot mounds constructed along with trees and vegetation as required by City code.

There was a discussion about High Concrete's operations as they are now and how they would be affected by the new expansion. It was agreed that the operations are not a nuisance now and the expansions should only help operations run more smoothly.

Ms. Iverson asked if there were any further questions.

Mr. Boron asked if the applicants knew what the job creation would be because of the rezoning and expansion.

Mr. Popow said as part of the business plan they have proposed, they are looking expecting a 30 – 50 % growth being attached to this move and expansion of the plant that will hopefully be finished by the end of the 2026 or the first quarter of 2027. They currently have approximately 80 employees on the site.

Mr. Marshall asked if High Concrete runs more than one shift.

Mr. Popow said in general they only run one shift per day. There have been occasions when large projects have required multiple crane deliveries that sometimes run later into the evening, but that is not the norm. At some point a second shift might be required but concrete has a certain daily cycle and it needs to cure so a third shift would not be considered.

Ms. Iverson asked Mr. Battaglia if he would be ready to come back to the next Planning Commission meeting in January for what is needed for approval.

Mr. Battaglia said they were eager to move the process along as quickly as possible since it still must go before City Council for final approval.

There was a general discussion about the upcoming meeting dates for both City Council and Planning Commission. This agenda item would be included on the January Planning Commission agenda if members approve.

Mr. Sillies asked if they could take a vote for formal approval tonight instead of this being just a preliminary review.

Mr. Boron said that Planning Commission members would need to make a motion to amend the agenda and then have a motion for final approval of this item.

Ms. Iverson asked for a motion to amend the agenda from preliminary review to vote on formal approval of this item.

Mr. Pearson motioned to amend the December 17, 2025 Planning Commission agenda from preliminary review to final approval. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson called for a motion to approve the plan.

Mr. Harding motioned to approve this plan for final approval. Mr. Marshall seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion carries.

Mr. Boron said he would let Council know at their meeting on December 18 that this item is ready to be set for a public hearing and he would notify the applicant when that date is determined. Planning Commission

members will see this item again sometime in the spring when construction plans have been drawn up as part of the site plan review process.

V. Guest Comments

Ms. Iverson asked for any guest comments. There were none

VI. Staff Comments.

Ms. Iverson said that she has a work conflict on the January 14, 2026 Planning Commission meeting but would be available for the following Wednesday, January 21 if the other Board members were available for that date. All members present said they would be available for January 21, 2026. It was agreed that the meeting will be rescheduled to January 21, 2026. Ms. Lori Martin, Clerk of Council, will be notified of the change.

Ms. Iverson asked for further questions or comments There were none.

VII. Adjournment

*Mr. Harding motioned to adjourn the December 17, 2025 Planning Commission Meeting at 6:26 pm
Mr. Pearson seconded the motion.*

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Becky Iverson, Planning Commission Chairperson

Dan Boron, City Planner

September Bee, Planning Commission Secretary